

[illegible]

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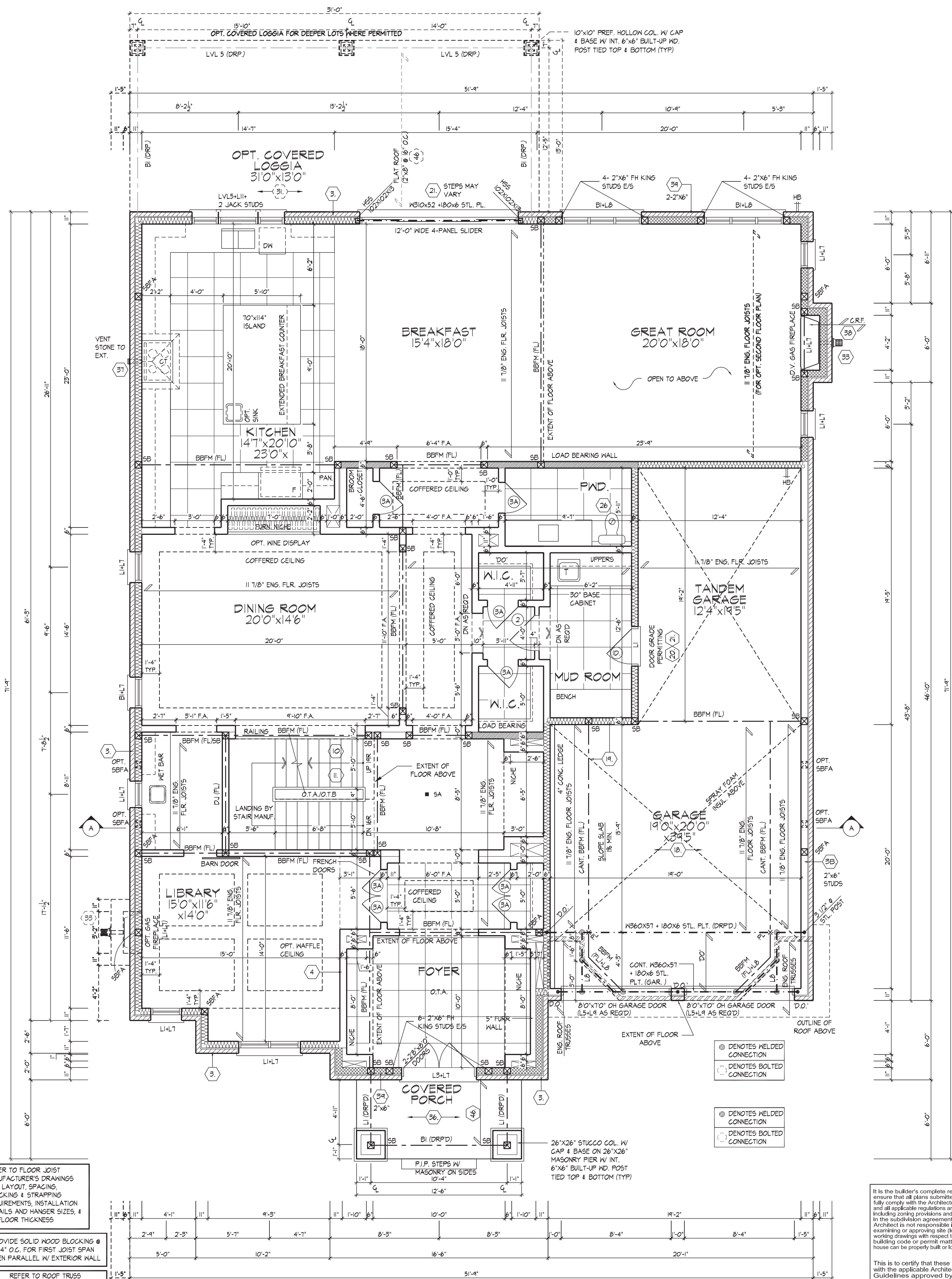
JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: _____
DATE: AUG 04, 2022

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.



FOR STRUCTURAL ONLY. EXCLUDING
ENGINEERED ROOF TRUSS, FLOOR
JOIST, AND FLOOR LVL BEAM DESIGN.



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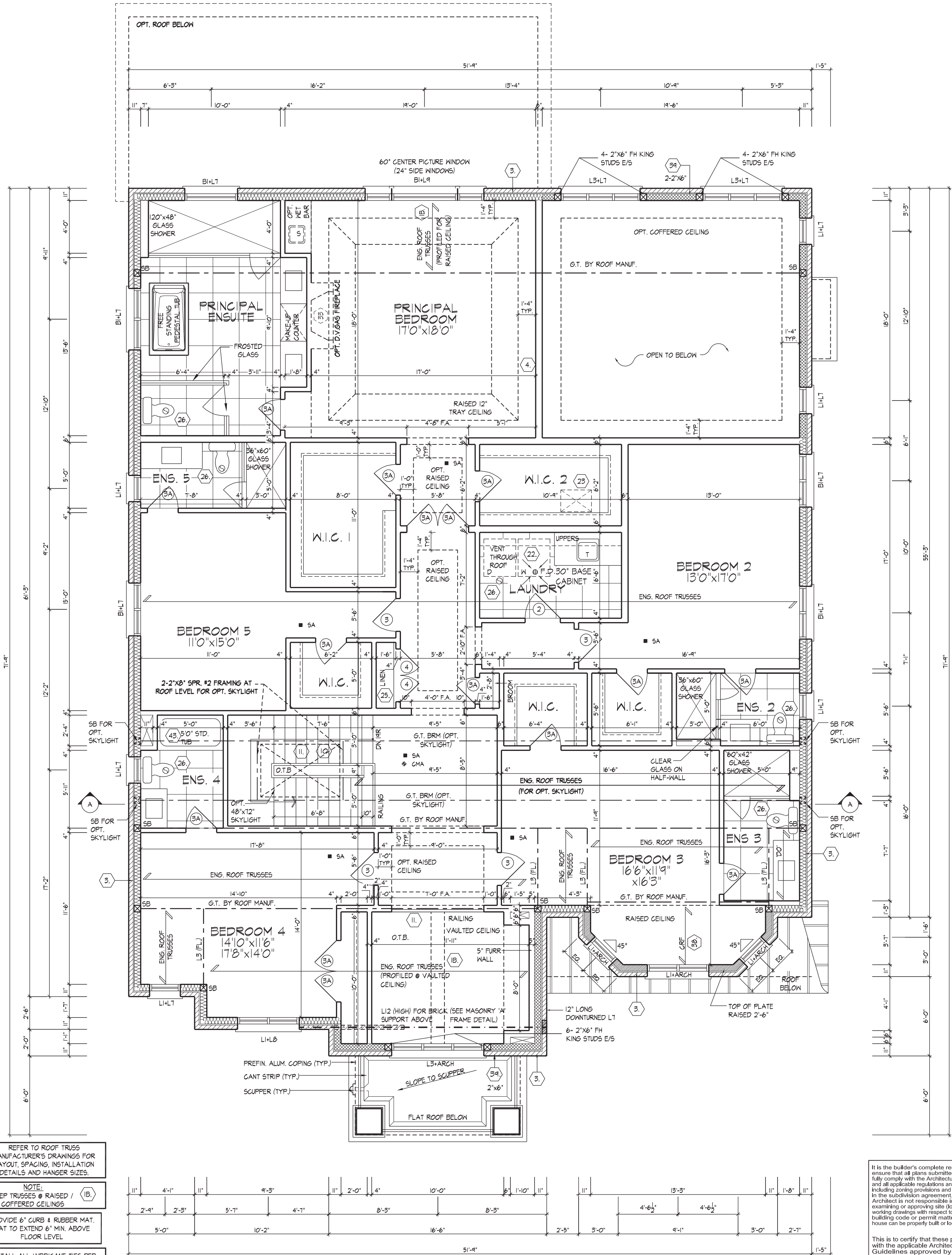
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100 COMMERCE VALLEY DR. W.
THORNHILL, ONTARIO CANADA L3T 0A1
TEL: 1-905-882-4211 FAX: 1-905-822-0055 WWW.WSPGROUP.CA

FOR STRUCTURAL ONLY. EXCLUDING
ENGINEERED ROOF TRUSS, FLOOR
JOIST, AND FLOOR LVL BEAM DESIGN.



- REFER TO ROOF TRUSS
MANUFACTURER'S DRAWINGS FOR
LAYOUT, SPACING, INSTALLATION
DETAILS AND HANGER SIZES.
- NOTE:
STEP TRUSSES @ RAISED /
COFFERED CEILINGS
- PROVIDE 6" CURB & RUBBER MAT.
MAT TO EXTEND 6" MIN. ABOVE
FLOOR LEVEL
- INSTALL ALL HURRICANE TIES PER
ROOF MANUFACTURER C/M S&T
L5TA30 AT 6" C/C. BETWEEN 2F &
1F AND S&T M5TAM24 AT 6" C/C.
BETWEEN 1F AND FDN WALL FOR
ALL EXTERIOR WALLS UNO.

SECOND FLOOR PLAN, EL. 'A'

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Guidelines approved by the City of
VAUGHAN.



[illegible]

REFER TO ROOF TRUSS
MANUFACTURER'S DRAWINGS FOR
LAYOUT, SPACING, INSTALLATION
DETAILS AND HANGER SIZES.

NOTE:
STEP TRUSSES @ RAISED /
COFFERED CEILINGS

PROVIDE 6" CURB & RUBBER MAT.
MAT TO EXTEND 6" MIN. ABOVE
FLOOR LEVEL

INSTALL ALL HURRICANE TIES PER
ROOF MANUFACTURER C/W SST
L3STA30 AT 6" C/C. BETWEEN 2F &
IF AND SST M5TM24 AT 6" C/C.
BETWEEN IF AND FDN WALL FOR
ALL EXTERIOR WALLS U.N.O.

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: 

DATE: AUG 04, 2022

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Design Guidelines only and bears no further
professional responsibility.

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FOR STRUCTURAL ONLY. EXCLUDING
ENGINEERED ROOF TRUSS, FLOOR
JOIST, AND FLOOR LVL BEAM DESIGN.

INSTALL ALL HURRICANE TIES PER
ROOF MANUFACTURER C/W S5T
L5TA30 AT 6' C/C. BETWEEN 2F &
IF AND S5T M5TAM24 AT 6' C/C.
BETWEEN IF AND FDN WALL FOR
ALL EXTERIOR WALLS UNO.

PARTIAL OPT. SECOND FLOOR PLAN W/ ELEVATOR, EL.'A'

(ELEVATION 'B' & 'C' SIMILAR)

PARTIAL SECOND FLOOR PLAN W/ ELEVATOR, EL.'A'

(ELEVATION 'B' & 'C' SIMILAR)

PARTIAL GROUND FLOOR PLAN W/ ELEVATOR, EL.'A'

(ELEVATION 'B' & 'C' SIMILAR)

PARTIAL BASEMENT PLAN W/ ELEVATOR, EL.'A'

(ELEVATION 'B' & 'C' SIMILAR)

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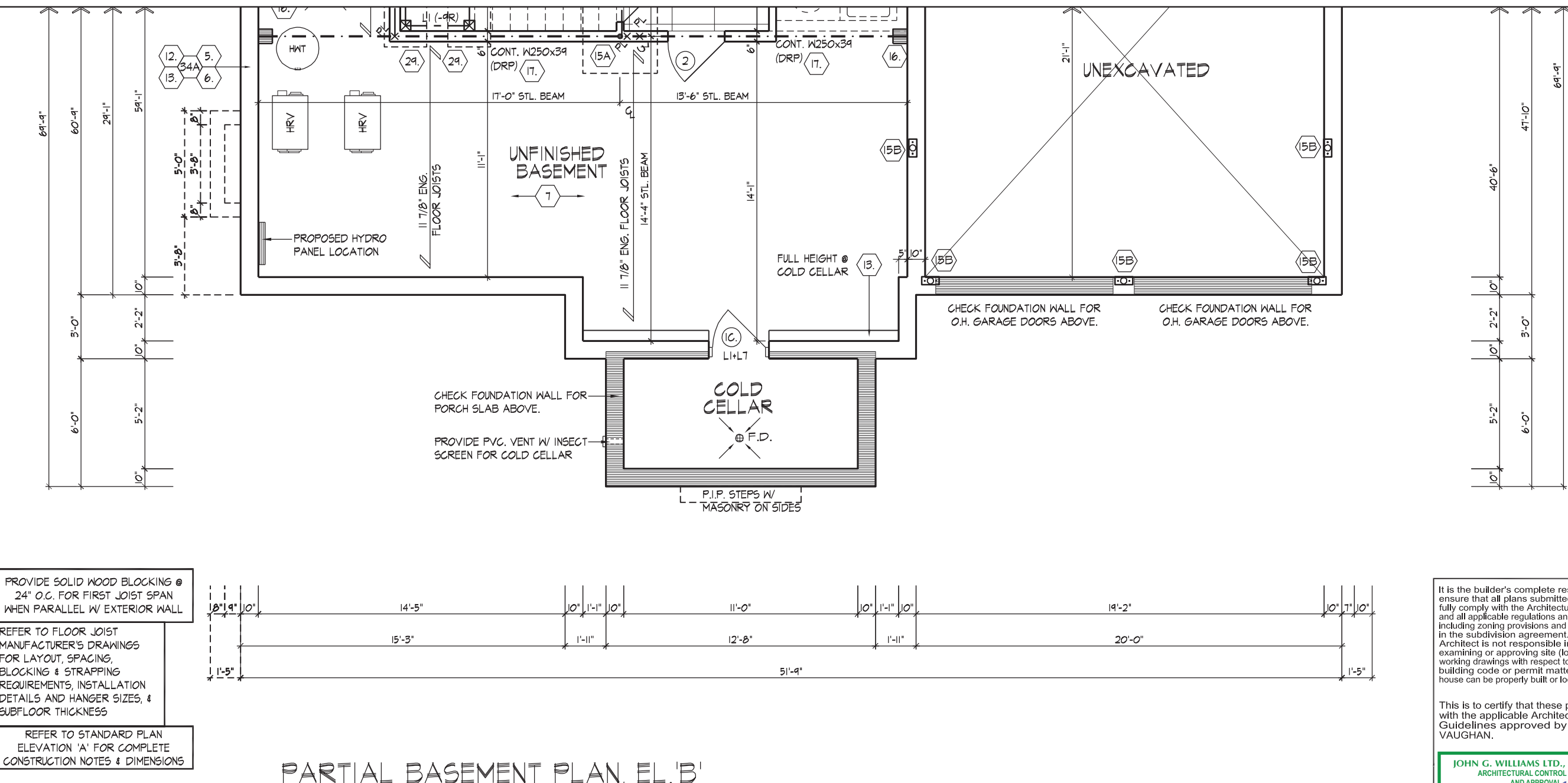
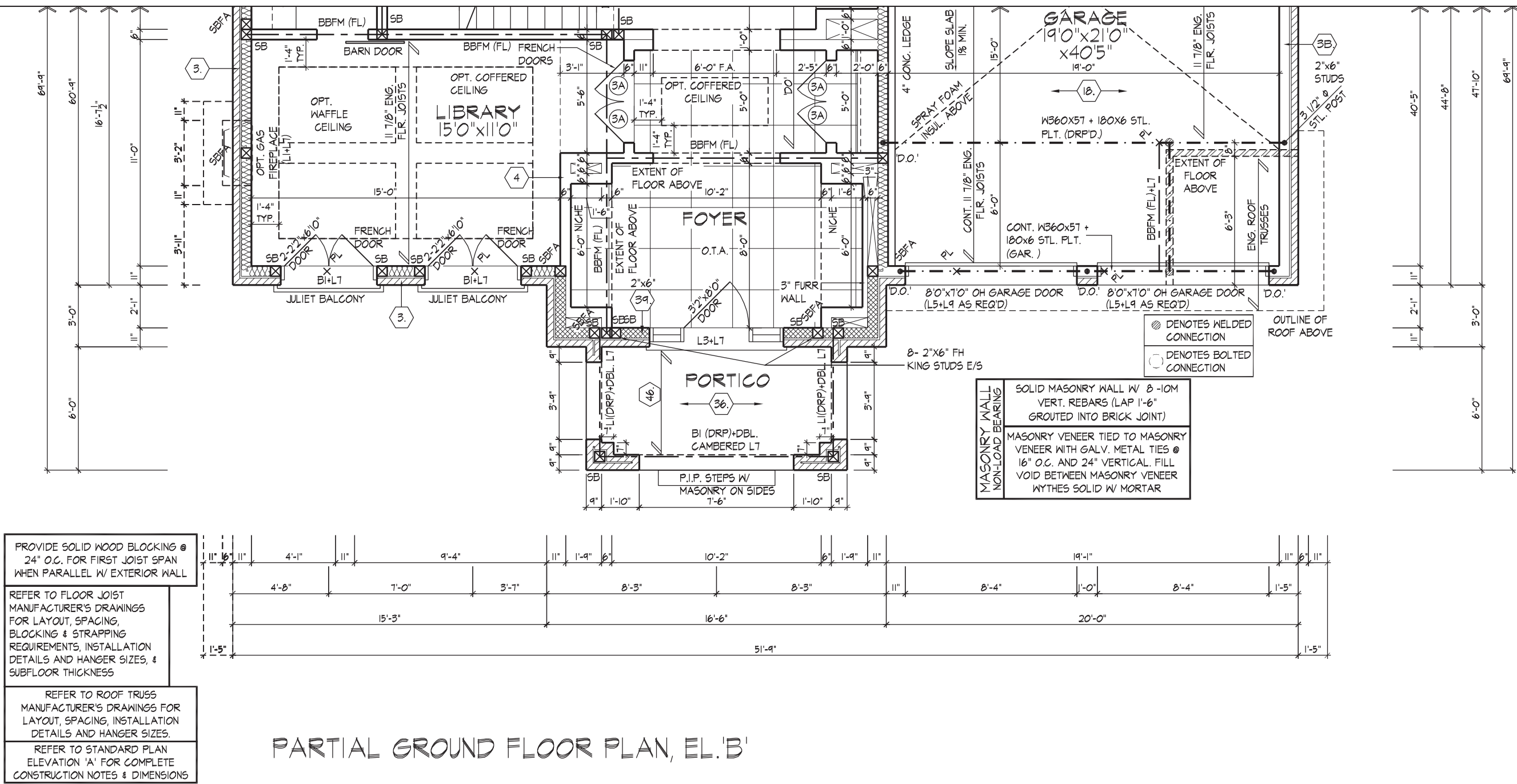
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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: AUG 04, 2022
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101 COMMERCE VALLEY DR. W.
THORNHILL, ONTARIO CANADA L3T 0A1
TEL: 1-905-882-4211 FAX: 1-905-822-0055 WWW.WSPGROUP.CA

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: [Signature]
DATE: AUG 04, 2022

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THE DESIGN AND CONSTRUCTION OF THE BUILDING AND MEETS THE REQUIREMENTS SET IN THE DIVISION'S REGULATIONS AND THE BUILDING ACT, 1995.

Author: [Signature] 2022

Checker: [Signature] 2022

DATE: 2022

DESIGN ASSOCIATES INC.

8866 Woodbine Ave. Markham, ON L3R 0J7 T 905.727.9133 F 905.727.7288

316-1-07

221081WS0001

7 of 22

PART FLOOR PLANS ELEV. 'B'

GOLDPARK HOMES - 221081 THE QUEENSLAND-UNIT 6007

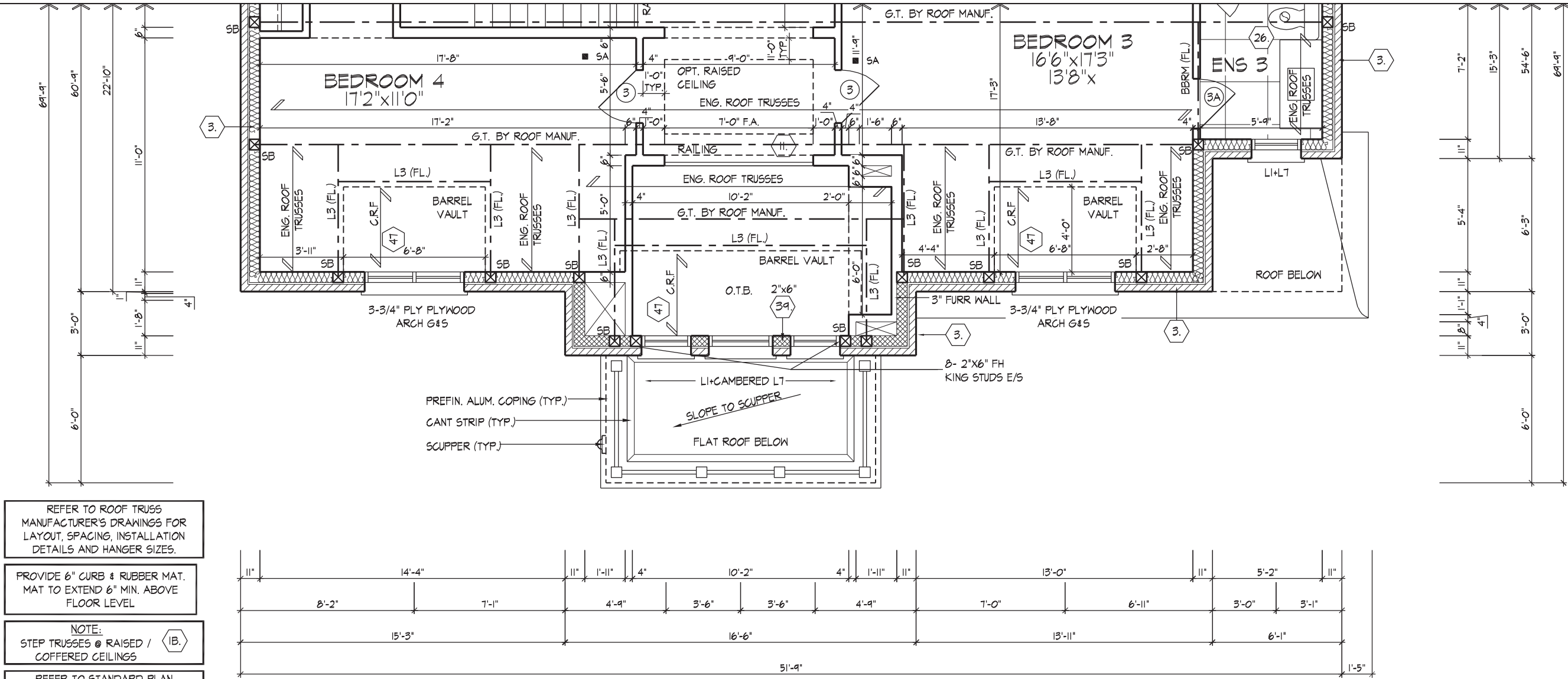
PINE VALLEY-PHASE2, VAUGHAN ONT.

REV. 2022.08.02

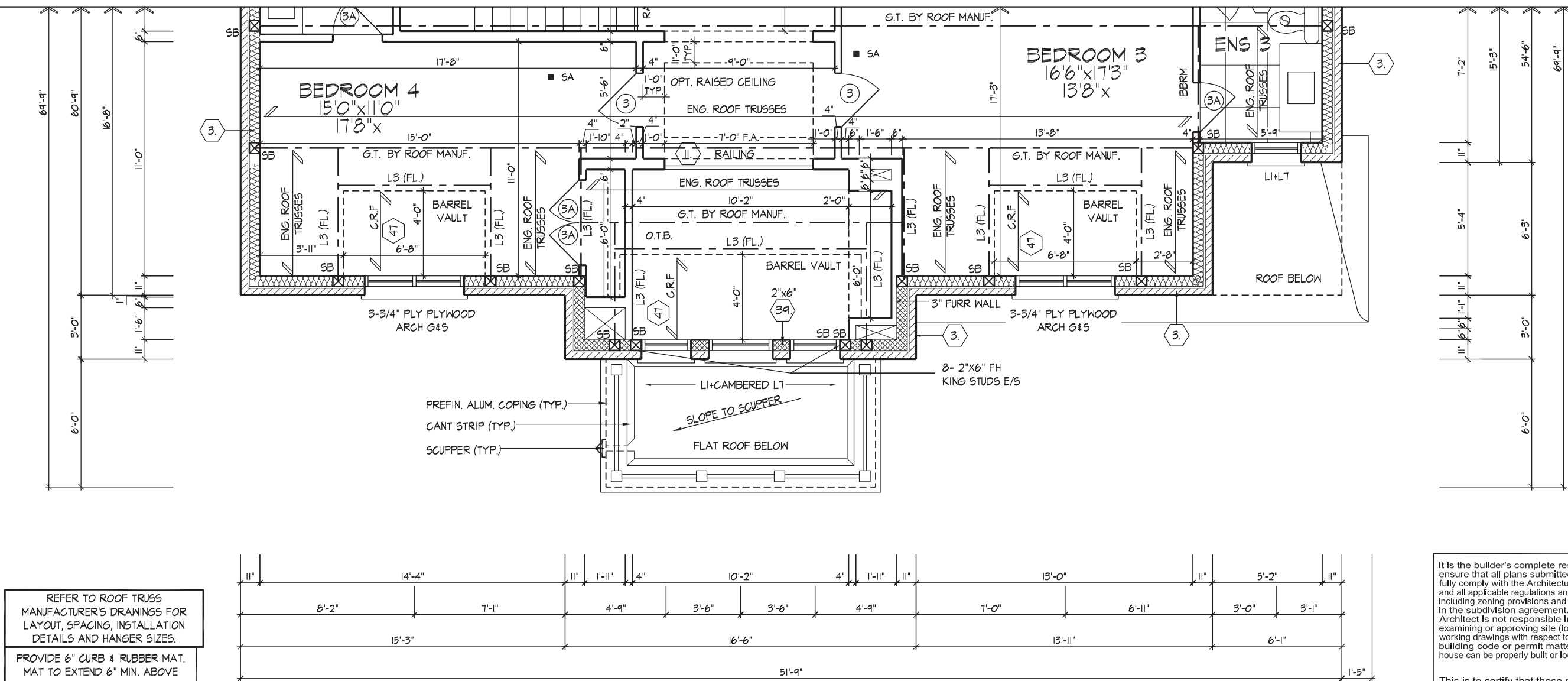


101 COMMERCE VALLEY BLVD. W.
THORNHILL, ONTARIO CANADA L3T 0A1
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PARTIAL OPT. SECOND FLOOR PLAN, EL. 'B'



PARTIAL SECOND FLOOR PLAN, EL. 'B'

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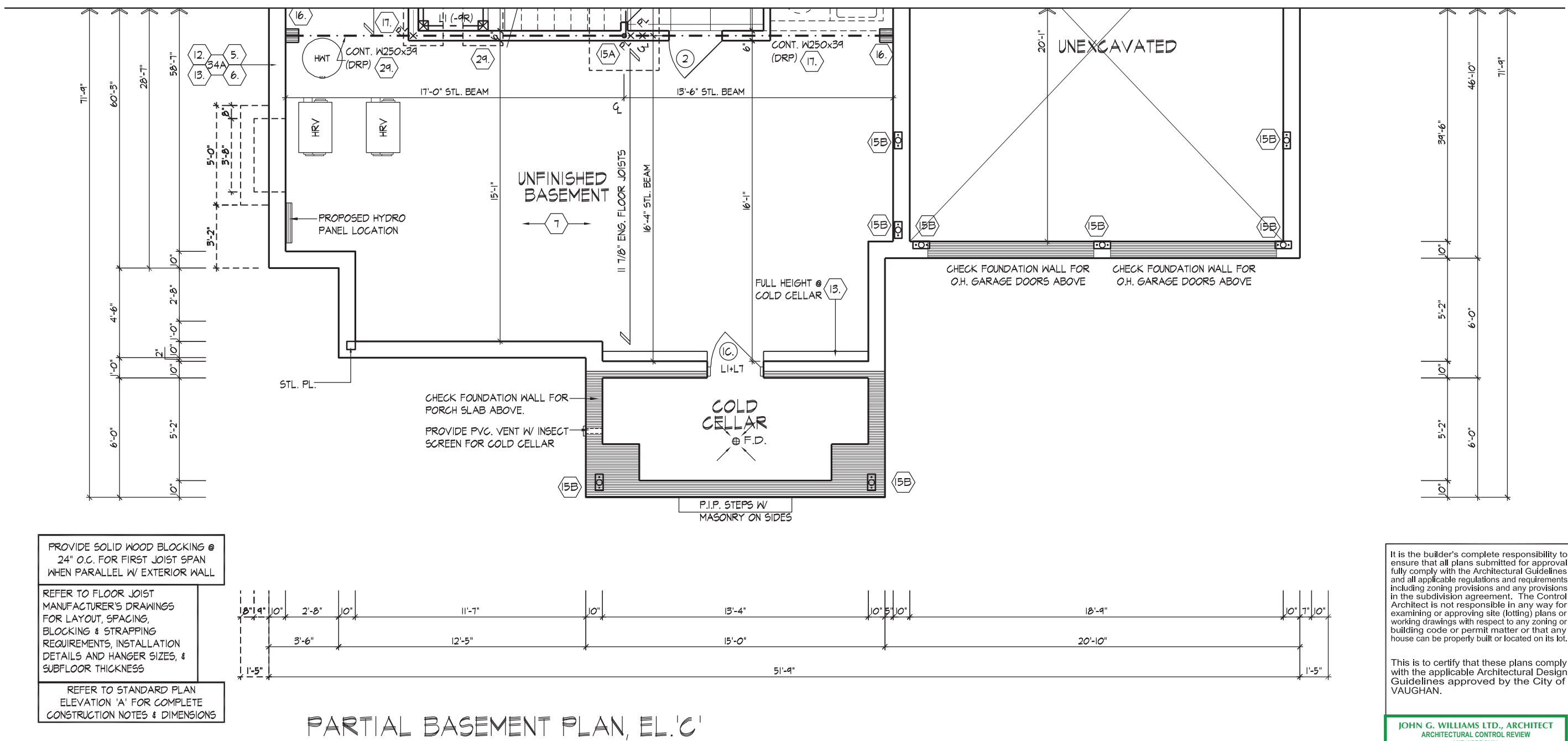
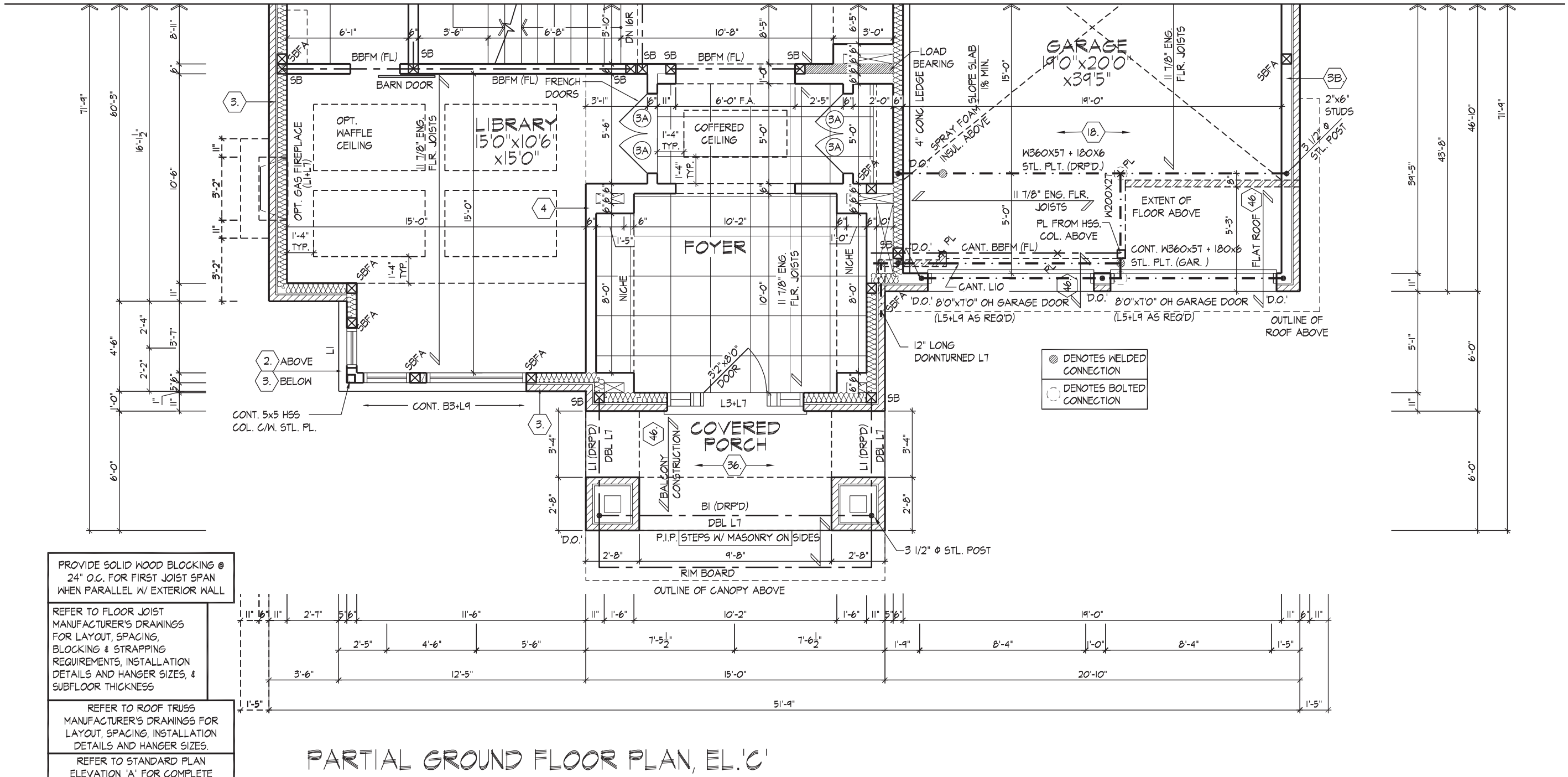
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AND APPROVAL
APPROVED BY: [Signature]
DATE: AUG 05, 2022
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INSTALL ALL HURRICANE TIES PER
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LSTA30 AT 6' C/C. BETWEEN 2F &
IF AND SST M5TAM24 AT 6' C/C.
BETWEEN IF AND FDN WALL FOR
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APPROVED BY: [Signature]

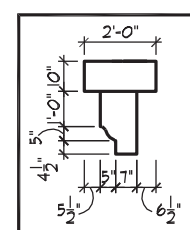
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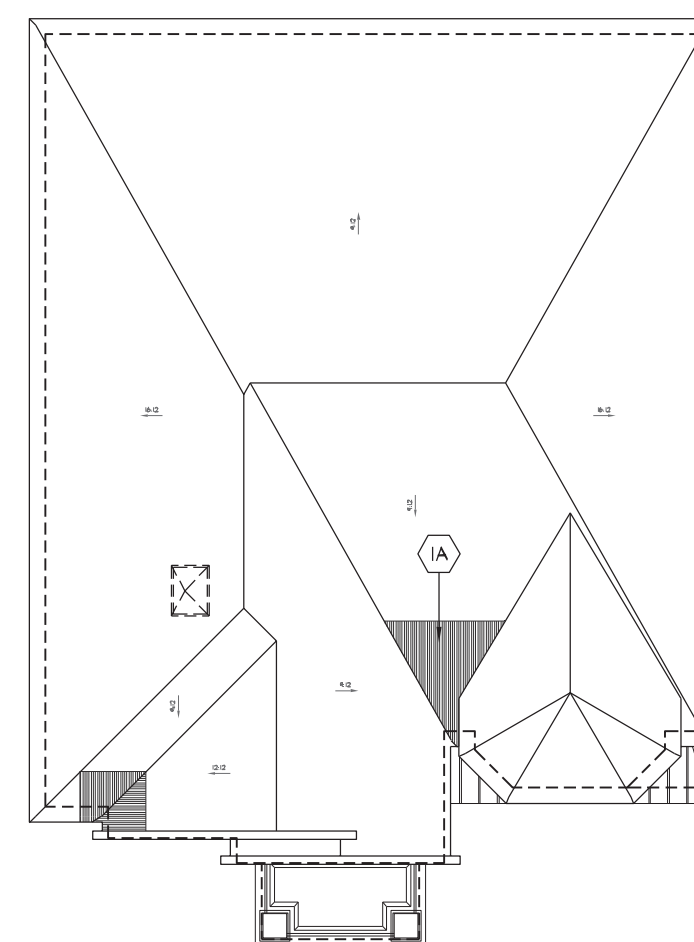
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APPROVED BY: 
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ROOF OVERHANGS TO BE 15'
UNLESS NOTED OTHERWISE



Architectural elevation drawing of a two-story house. The drawing includes detailed annotations for materials, dimensions, and construction notes. Key features include a central entrance with a transom, a balcony, and two large garage doors. The roof is asphalt shingled with a decorative finial. The drawing is oriented with the house's front facing left.

Annotations (Left Side):

- OPT. SKYLIGHT
- STUCCO FINISH W/ 6" RAISED TRIM (TYP.)
- PREMANUF. 16"x40" LOUVRE
- 2"x6" PREFIN. ALUM. CLAD WOOD FASCIA BOARD
- PREMANUF. FRIEZE BRD. CANAMOULD CODE: CAN-MS-014 (TYP.)
- 6"x24" PRECAST CONC. IMPOST W/ 1/2" PROJ. (TYP.)
- 6" PROFILED PRECAST CONC. SILL & KEYSTONE ON 10" PRECAST CONC. SURROUND W/ 1/2" PROJ. (TYP.)
- PREFIN. ALUM. GUTTER, RAIL, FASCIA BOARD & VENTED SOFFIT (TYP.)
- 24"x10" PRECAST CONC. IMPOST ON 12"x21" PRECAST CONC. ACCENT (TYP.)
- 10" PRECAST CONC. HEADER ON 10" PRECAST CONC. SURROUND W/ 1/2" PROJ. (TYP.)
- 24" PREMANUF. MTL. RAILING (TYP.)
- SCUPPER
- 26"x26" STUCCO COL. W/ GAP & BASE ON 26"x26" MASONRY PIER W/ INT. 6"x6" BUILT-UP WD. POST TIED TOP & BOTTOM (TYP.)
- STUCCO FINISH W/ 4" RAISED TRIM (TYP.)
- POURED CONC. PORCH SLAB & DOOR SILL (TYP.)
- POURED CONC. FOUNDATION WALL AND FOOTING (TYP.)

Annotations (Right Side):

- PREFIN. METAL DECORATIVE FINIAL (TYP.)
- ASPHALT SHINGLES (TYP.)
- VALLEY FLASHING (TYP.)
- OUTLINE OF RAISED CEILING
- 6" PROFILED PRECAST CONC. SILL ON 10" PRECAST CONC. SURROUND W/ 1/2" PROJ. (TYP.)
- PREMANUF. FRIEZE BOARD (CANAMOULD: CAN-BAN-015) (TYP.)
- FACE BRICK (TYP.)
- PROFILED PRECAST CONC. SILL (TYP.)
- PREFIN. MTL. FLASHING W/ CAULKING TO MATCH MASONRY COLOUR (TYP.)
- COPPER ROOF (TYP.)
- ADDRESS PLAQUE
- COACH LAMP (TYP.)
- PROFILED PRECAST CONC. BAND ON 10" PRECAST CONC. HEADER W/ 1/2" PROJ. (TYP.)
- STONE VENEER (TYP.)

Dimensions and Notes:

- 42'-1 1/2" (12.5m) TOP OF ROOF
- 31'-5" (9.57m) MEAN OF ROOF
- 11'-4" TOP OF PARAPET
- 6'-10" ON GARAGE DOOR
- 8'-0" X 8'-0" ON GARAGE DOOR
- POURED IN PLACE STEPS (21)
- 16" PREMANUF. MTL. RAILING (TYP.)
- STEPPED FOOTING (TYP.)
- 4'-0" MIN. U/S OF FOOTING
- 1'-0" FIN. GRADE
- 6'-10" FIN. GROUND FLR.
- 11'-1" T.O.W.
- 1'-6" TOP OF TRANSOM
- 6'-10" FIN. SECOND FLR.
- 9'-1" TOP OF WINDOW
- TOP OF PLATE

**100 COMMERCIAL VALLEY DRIVE
THIRD FLOOR
TEL: 1-866-862-4211 FAX: 1-866-862-0088 INFO@RGP-CA.COM**

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS
THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING
CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION

Alban Whiting		2317
NAME	SIGNATURE	BC

REGISTRATION INFORMATION

HUNT DESIGN ASSOCIATES INC.	1969
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www.huntdesign.ca

FRONT ELEVATION 'A'

GOLDPARK HOMES - 221081 THE QUEENSLAND-UNIT 6001

PINE VALLEY-PHASE2, VAUGHAN ONT. REV. 2022.08.02

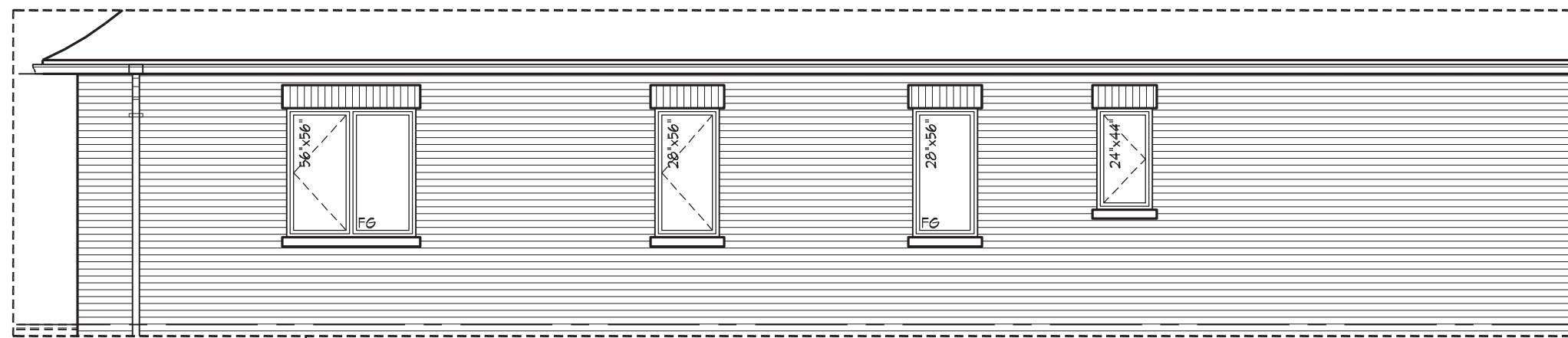
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BY	AW	3/16" = 1'-0"	221081WS6001	11 of 22

8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

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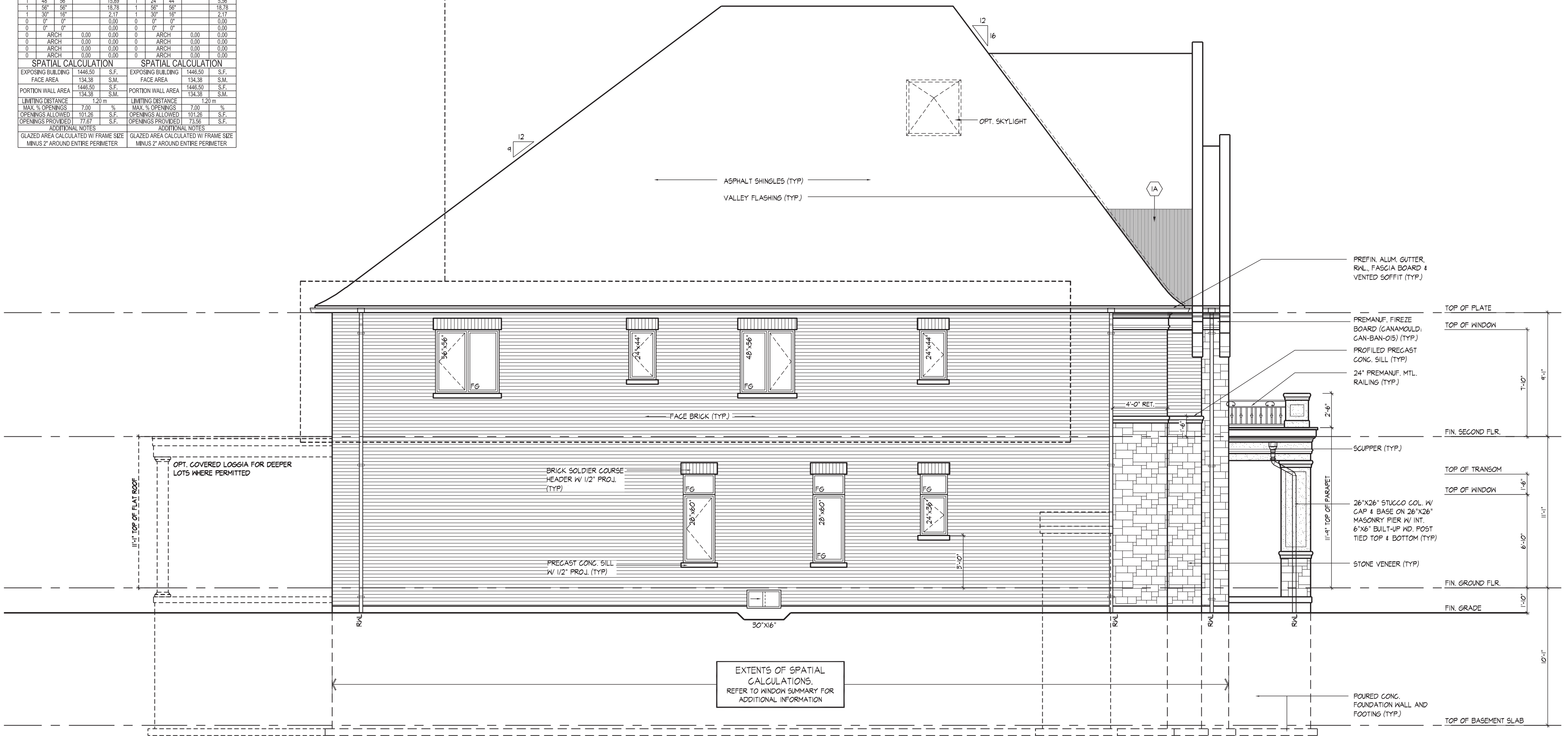
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ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: 
DATE: AUG 04, 2022
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WINDOW SUMMARY				WINDOW SUMMARY			
PER O.B.C. TABLE 9.10.15.4				PER O.B.C. TABLE 9.10.15.4			
LEFT SIDE ELEVATION A				OPT. LEFT SIDE ELEVATION A			
QUAL.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	QUAL.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)
2	28"	60"	18.67	2	28"	60"	18.67
2	28"	18"	4.67	2	28"	18"	4.67
1	24"	36"	4.44	1	24"	36"	4.44
1	24"	18"	1.94	1	24"	18"	1.94
2	24"	44"	11.11	2	28"	56"	17.33
1	48"	56"	15.89	1	24"	44"	5.56
1	60"	56"	18.75	1	56"	56"	18.75
1	30"	16"	2.17	1	30"	16"	2.17
0	0"	0"	0.00	0	0"	0"	0.00
0	0"	0"	0.00	0	0"	0"	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
SPATIAL CALCULATION				SPATIAL CALCULATION			
EXPOSING BUILDING	1446.50	S.F.		EXPOSING BUILDING	1446.50	S.F.	
FACE AREA	134.38	S.M.		FACE AREA	134.38	S.M.	
PORTION WALL AREA	134.38	S.F.		PORTION WALL AREA	134.38	S.F.	
LIMITING DISTANCE	1.20	m		LIMITING DISTANCE	1.20	m	
MAX. % OPENINGS	7.00	%		MAX. % OPENINGS	7.00	%	
OPENINGS ALLOWED	101.28	S.F.		OPENINGS ALLOWED	101.28	S.F.	
OPENINGS PROVIDED	77.67	S.F.		OPENINGS PROVIDED	73.56	S.F.	
ADDITIONAL NOTES				ADDITIONAL NOTES			
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER				GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER			



PART. LEFT SIDE ELEVATION 'A' FOR OPT. SECOND FLOOR

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION
ROOF OVERHANGS TO BE 15"
UNLESS NOTED OTHERWISE



LEFT SIDE ELEVATION 'A'

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.
QUALIFICATION INFORMATION
Albin Whiting
SIGNATURE
BCIN
23177
HUNT DESIGN ASSOCIATES INC.
19995

HUNT
DESIGN ASSOCIATES INC.
www.huntdesign.ca

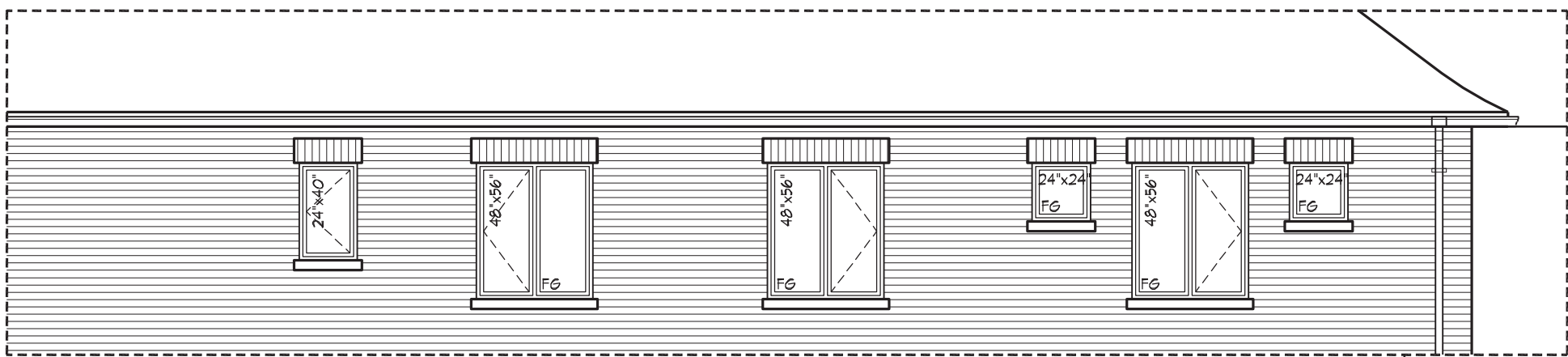
LEFT SIDE ELEVATION 'A'
GOLDPARK HOMES - 221081 THE QUEENSLAND-UNIT 6001
PINE VALLEY-PHASE2, VAUGHAN ONT.
REV.2022.08.02
Down By: BY
Checked By: AW
Scale: 3/16"=1'-0"
File Number: 221081WS6001
Page Number: 12 of 22

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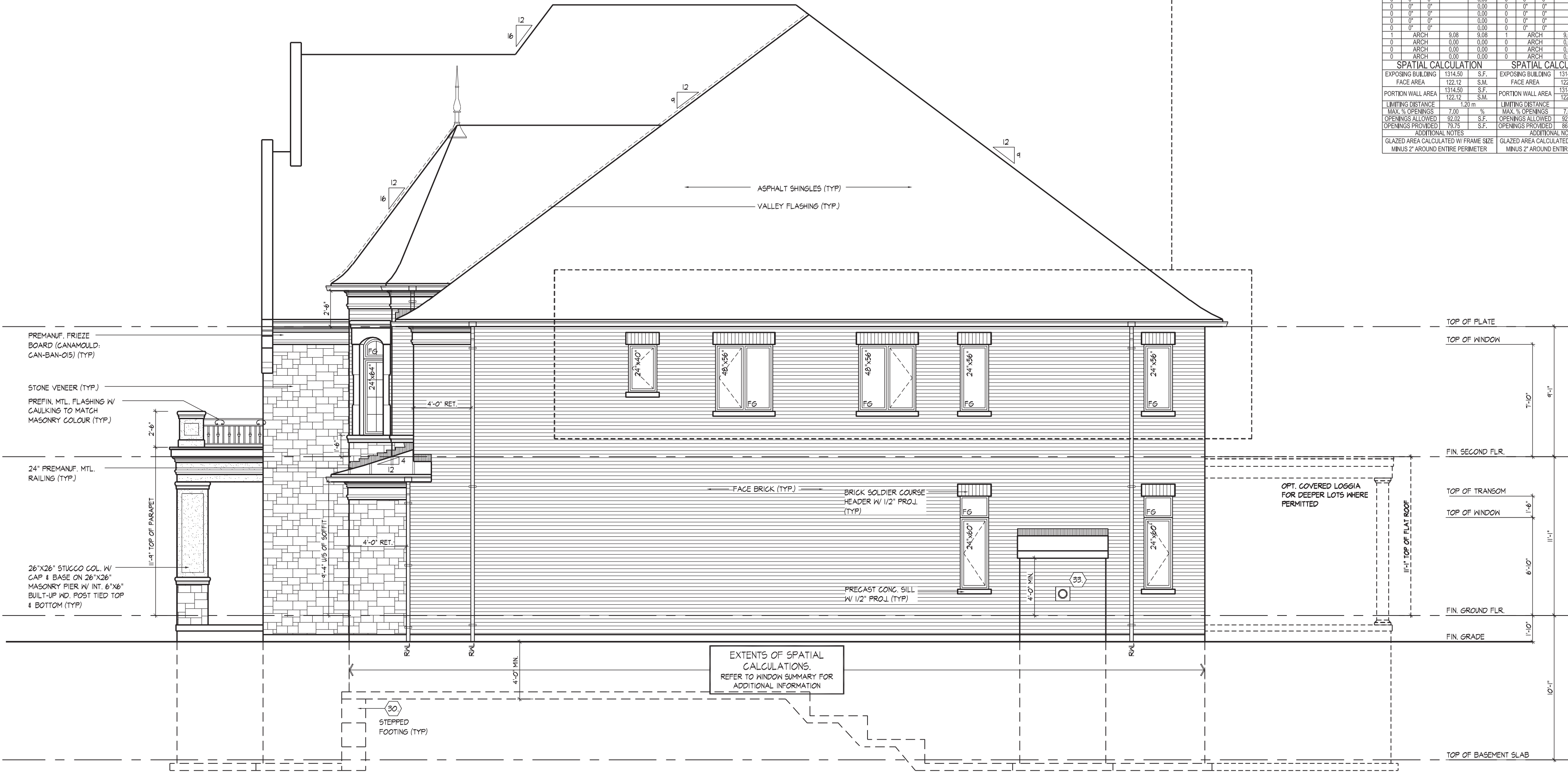
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PART. RIGHT SIDE ELEVATION 'A' FOR OPT. SECOND FLOOR

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION
ROOF OVERHANGS TO BE 15"
UNLESS NOTED OTHERWISE

WINDOW SUMMARY				WINDOW SUMMARY			
PER O.B.C. TABLE 9.10.15.4				PER O.B.C. TABLE 9.10.15.4			
RIGHT SIDE ELEVATION A				OPT. RIGHT SIDE ELEVATION A			
QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)
1	24"	40"	5.00	1	24"	40"	5.00
2	48"	56"	31.78	3	48"	56"	47.67
2	24"	56"	14.44	2	24"	24"	5.56
2	24"	60"	15.56	2	24"	60"	15.56
2	24"	18"	3.89	2	24"	18"	3.89
0	0"	0"	0.00	0	0"	0"	0.00
0	0"	0"	0.00	0	0"	0"	0.00
0	0"	0"	0.00	0	0"	0"	0.00
0	0"	0"	0.00	0	0"	0"	0.00
0	0"	0"	0.00	0	0"	0"	0.00
1	ARCH	9.08	9.08	1	ARCH	9.08	9.08
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
SPATIAL CALCULATION				SPATIAL CALCULATION			
EXPOSING BUILDING				EXPOSING BUILDING			
FACE AREA	1314.50	S.F.	1314.50	FACE AREA	1314.50	S.F.	1314.50
PORTION WALL AREA	122.12	S.M.	122.12	PORTION WALL AREA	122.12	S.M.	122.12
LIMITING DISTANCE	1.20 m		1.20 m	LIMITING DISTANCE	1.20 m		1.20 m
MAX. % OPENINGS	7.00	%	7.00	MAX. % OPENINGS	7.00	%	7.00
OPENINGS ALLOWED	92.02	S.F.	92.02	OPENINGS ALLOWED	92.02	S.F.	92.02
OPENINGS PROVIDED	79.75	S.F.	79.75	OPENINGS PROVIDED	86.75	S.F.	86.75
ADDITIONAL NOTES				ADDITIONAL NOTES			
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER				GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER			



RIGHT SIDE ELEVATION 'A'

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.
QUALIFICATION INFORMATION
Albin Whiting
SIGNATURE
REGISTRATION INFORMATION
HUNT DESIGN ASSOCIATES INC.
19995

23177

BCIN

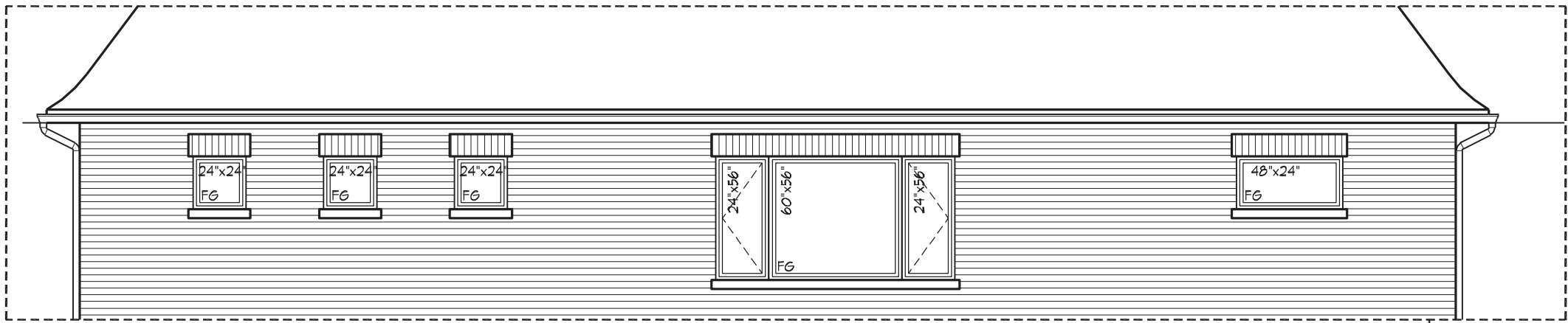
19995

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RIGHT SIDE ELEVATION 'A'
GOLDPARK HOMES - 221081 THE QUEENSLAND-UNIT 6001
PINE VALLEY-PHASE2, VAUGHAN ONT.
REV.2022.08.02
Down By: **AW** Scale: **3/16"=1'-0"** File Number: **221081WS6001** Page Number: **13 of 22**
8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326
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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: 
DATE: AUG 04, 2022
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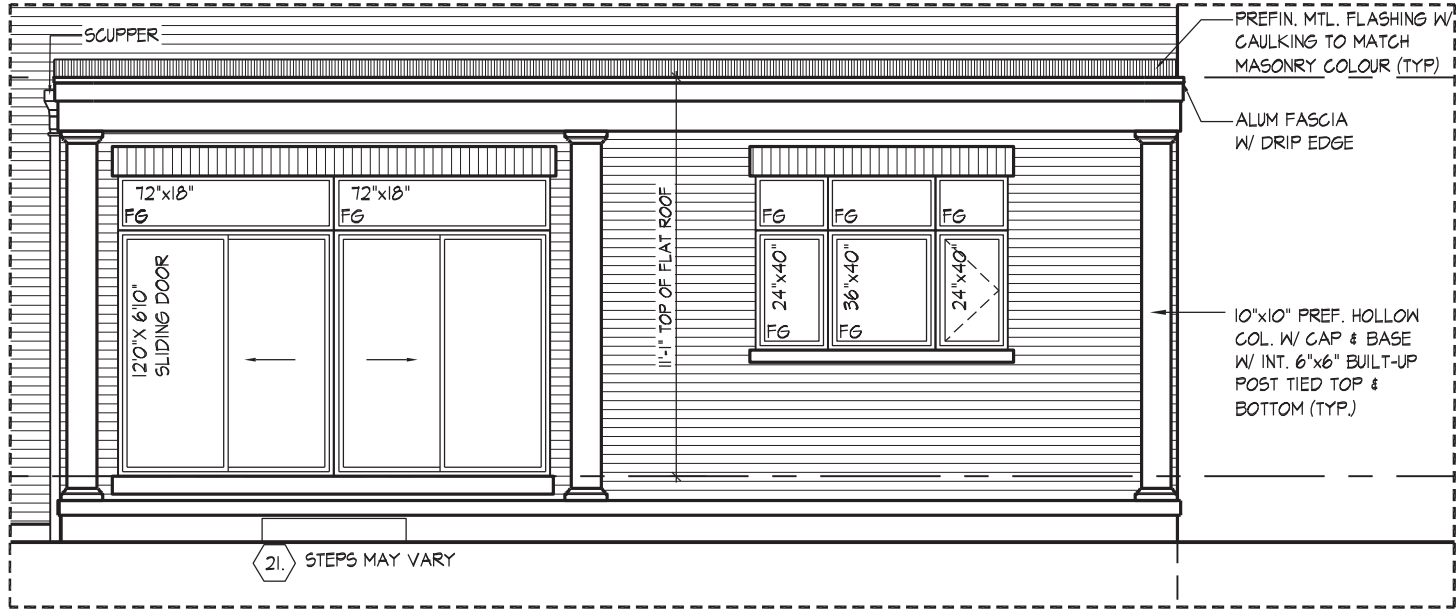


WINDOW SUMMARY			
PER O.B.C. TABLE 8.10.15.4			
REAR ELEVATION A, B & C			
QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)
3	24"	24"	48.11
1	24"	56"	14.44
1	60"	56"	20.22
1	48"	24"	6.11
2	72"	60"	52.89
4	72"	18"	26.44
1	144"	82"	75.83
1	84"	56"	30.00
2	30"	16"	4.33
0	0"	0"	0.00
0	ARCH.	0.00	0.00
0	ARCH.	0.00	0.00
0	ARCH.	0.00	0.00
0	ARCH.	0.00	0.00
SPATIAL CALCULATION			
EXPOSING BUILDING	1138.50	S.F.	
FACE AREA	105.77	S.M.	
PORTION WALL AREA	1138.50	S.F.	
	105.77	S.M.	
LIMITING DISTANCE	8.00 m		
MAX. % OPENINGS	28.00	%	
OPENINGS ALLOWED	318.78	S.F.	
OPENINGS PROVIDED	279.39	S.F.	
ADDITIONAL NOTES			
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER			

WINDOW SUMMARY			
PER O.B.C. TABLE 8.10.15.4			
OPT. REAR ELEVATION A, B & C			
QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)
3	24"	24"	8.33
2	24"	56"	14.44
1	60"	56"	20.22
1	48"	24"	6.11
2	72"	60"	52.89
4	72"	18"	26.44
1	144"	82"	75.83
1	84"	56"	30.00
2	30"	16"	4.33
0	0"	0"	0.00
0	ARCH.	0.00	0.00
0	ARCH.	0.00	0.00
0	ARCH.	0.00	0.00
SPATIAL CALCULATION			
EXPOSING BUILDING	1138.50	S.F.	
FACE AREA	105.77	S.M.	
PORTION WALL AREA	1138.50	S.F.	
	105.77	S.M.	
LIMITING DISTANCE	8.00 m		
MAX. % OPENINGS	28.00	%	
OPENINGS ALLOWED	318.78	S.F.	
OPENINGS PROVIDED	238.51	S.F.	
ADDITIONAL NOTES			
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER			

REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFORMATION

ROOF OVERHANGS TO BE 15" UNLESS NOTED OTHERWISE



PART. REAR ELEVATION 'A', 'B', & 'C' W/ COVERED LOGGIA



REAR ELEVATION 'A', 'B' & 'C'

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION

Albin Whiting  23177

NAME SIGNATURE BCIN

REGISTRATION INFORMATION

HUNT DESIGN ASSOCIATES INC. 19895

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GOLDPARK HOMES - 221081
PINE VALLEY-PHASE2, VAUGHAN ONT.

Drawn By: BY
Checked By: AW
Scale: 3/16"=1'-0"

8966 Woodbine Ave, Markham, ON L3R 0J7
T 905.737.5133 F 905.737.7326

REAR ELEVATION 'A', 'B' & 'C'
THE QUEENSLAND-UNIT 6001
REV.2022.08.02

File Number: 221081WS6001
Page Number: 14 of 22

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: 
 DATE: AUG 04, 2022

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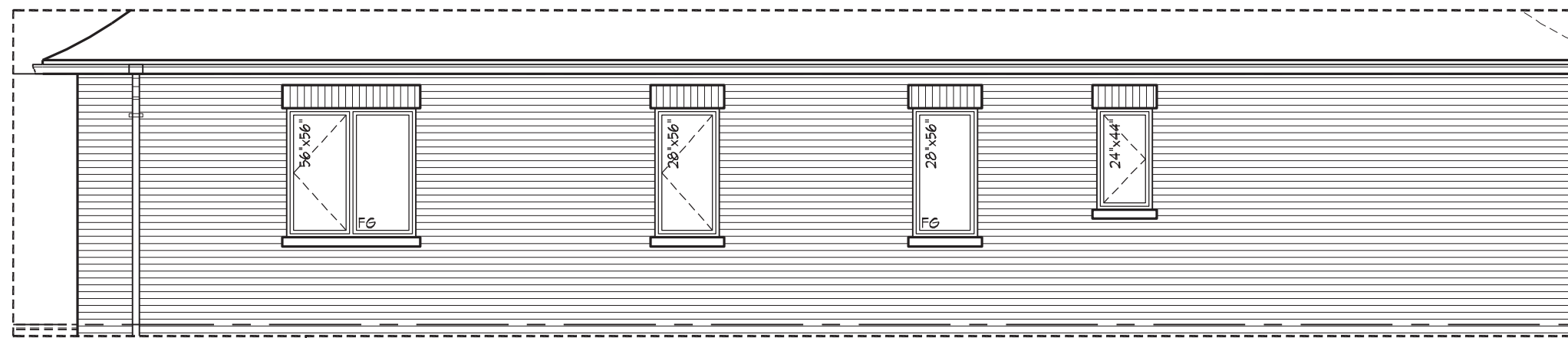
ROOF PLAN, EL. 'B'



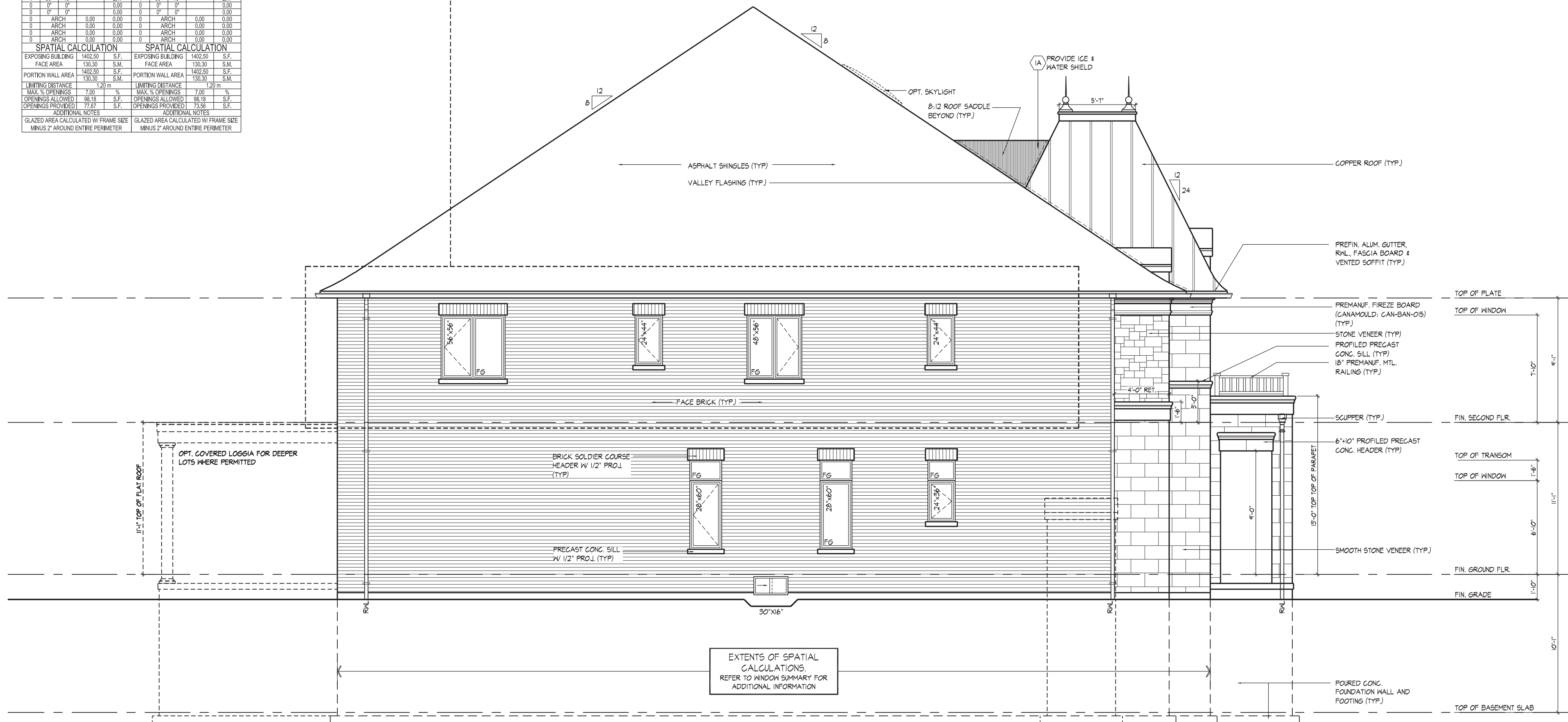
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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: 
DATE: AUG 01, 2022
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

WINDOW SUMMARY					WINDOW SUMMARY				
PER O.B.C. TABLE 9.10.15.4					PER O.B.C. TABLE 9.10.15.4				
LEFT SIDE ELEVATION B					OPT. LEFT SIDE ELEVATION B				
QUAL.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)		QUAL.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	
2	28"	60"	18.67		2	28"	60"	18.67	
2	28"	18"	4.67		2	28"	18"	4.67	
1	24"	36"	4.44		1	24"	36"	4.44	
1	24"	18"	1.94		1	24"	18"	1.94	
2	24"	44"	11.11		2	28"	56"	17.33	
1	48"	56"	15.89		1	24"	44"	5.56	
1	60"	60"	18.75		1	60"	60"	18.75	
1	30"	16"	2.17		1	30"	16"	2.17	
0	0"	0"	0.00		0	0"	0"	0.00	
0	0"	0"	0.00		0	0"	0"	0.00	
0	ARCH	0.00	0.00		0	ARCH	0.00	0.00	
0	ARCH	0.00	0.00		0	ARCH	0.00	0.00	
0	ARCH	0.00	0.00		0	ARCH	0.00	0.00	
0	ARCH	0.00	0.00		0	ARCH	0.00	0.00	
SPATIAL CALCULATION					SPATIAL CALCULATION				
EXPOSING BUILDING	1402.50	S.F.			EXPOSING BUILDING	1402.50	S.F.		
FACE AREA	130.30	S.M.			FACE AREA	130.30	S.M.		
PORTION WALL AREA	1402.50	S.F.			PORTION WALL AREA	1402.50	S.F.		
	130.30	S.M.				130.30	S.M.		
LIMITING DISTANCE	1.20	m			LIMITING DISTANCE	1.20	m		
MAX. % OPENINGS	7.00	%			MAX. % OPENINGS	7.00	%		
OPENINGS ALLOWED	98.18	S.F.			OPENINGS ALLOWED	98.18	S.F.		
OPENINGS PROVIDED	77.67	S.F.			OPENINGS PROVIDED	73.56	S.F.		
ADDITIONAL NOTES					ADDITIONAL NOTES				
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER					GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER				



PART. LEFT SIDE ELEVATION 'B' FOR OPT. SECOND FLOOR



LEFT SIDE ELEVATION 'B'

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.
QUALIFICATION INFORMATION
Alban Whiting
SIGNATURE
HUNT DESIGN ASSOCIATES INC.
19995

23177

BCIN

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LEFT SIDE ELEVATION 'B'
GOLDPARK HOMES - 221081 THE QUEENSLAND-UNIT 6001
PINE VALLEY-PHASE2, VAUGHAN ONT.
REV.2022.08.02
Down By: AW Scale: 3/16"=1'-0"
File Number: 221081WS6001
Page Number: 16 of 22

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ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: 
DATE: AUG 04, 2022

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ROOF OVERHANGS TO BE 15"
UNLESS NOTED OTHERWISE

WINDOW SUMMARY

PER O.C. TABLE 9.10.15.4

RIGHT SIDE, ELEVATION B

Q	UNIT	WINDO	DOOR
		FRAME	FRAME
1	QUAN		
2	24"	4"	5.00
3	24"	56"	31.78
4	24"	56"	31.78
5	24"	0"	0.00
6	24"	18"	3.89
7	0"	0"	0.00
8	0"	0"	0.00
9	0"	0"	0.00
10	0"	0"	0.00
11	0"	0"	0.00
12	0"	0"	0.00
13	0"	0"	0.00
14	0"	0"	0.00
15	0"	0"	0.00
16	0"	0"	0.00
17	0"	0"	0.00
18	0"	0"	0.00
19	0"	0"	0.00
20	0"	0"	0.00
21	0"	0"	0.00
22	0"	0"	0.00
23	0"	0"	0.00
24	0"	0"	0.00
25	0"	0"	0.00
26	0"	0"	0.00
27	0"	0"	0.00
28	0"	0"	0.00
29	0"	0"	0.00
30	0"	0"	0.00
31	0"	0"	0.00
32	0"	0"	0.00
33	0"	0"	0.00
34	0"	0"	0.00
35	0"	0"	0.00
36	0"	0"	0.00
37	0"	0"	0.00
38	0"	0"	0.00
39	0"	0"	0.00
40	0"	0"	0.00
41	0"	0"	0.00
42	0"	0"	0.00
43	0"	0"	0.00
44	0"	0"	0.00
45	0"	0"	0.00
46	0"	0"	0.00
47	0"	0"	0.00
48	0"	0"	0.00
49	0"	0"	0.00
50	0"	0"	0.00
51	0"	0"	0.00
52	0"	0"	0.00

WINDOW SUMMARY

PER O.C. TABLE 9.10.15.4

OPT RIGHT SIDE, ELEVATION B

Q	UNIT	WINDO	DOOR
		FRAME	FRAME
1	QUAN		
2	24"	4"	5.00
3	48"	56"	47.67
4	24"	56"	5.56
5	24"	0"	0.00
6	24"	18"	3.89
7	0"	0"	0.00
8	0"	0"	0.00
9	0"	0"	0.00
10	0"	0"	0.00
11	0"	0"	0.00
12	0"	0"	0.00
13	0"	0"	0.00
14	0"	0"	0.00
15	0"	0"	0.00
16	0"	0"	0.00
17	0"	0"	0.00
18	0"	0"	0.00
19	0"	0"	0.00
20	0"	0"	0.00
21	0"	0"	0.00
22	0"	0"	0.00
23	0"	0"	0.00
24	0"	0"	0.00
25	0"	0"	0.00
26	0"	0"	0.00
27	0"	0"	0.00
28	0"	0"	0.00
29	0"	0"	0.00
30	0"	0"	0.00
31	0"	0"	0.00
32	0"	0"	0.00
33	0"	0"	0.00
34	0"	0"	0.00
35	0"	0"	0.00
36	0"	0"	0.00
37	0"	0"	0.00
38	0"	0"	0.00
39	0"	0"	0.00
40	0"	0"	0.00
41	0"	0"	0.00
42	0"	0"	0.00
43	0"	0"	0.00
44	0"	0"	0.00
45	0"	0"	0.00
46	0"	0"	0.00
47	0"	0"	0.00
48	0"	0"	0.00
49	0"	0"	0.00
50	0"	0"	0.00
51	0"	0"	0.00
52	0"	0"	0.00

SPATIAL CALCULATION

EXPOSING BUILDING	1314.50	S.F.
FACE AREA	122.12	S.F.
PORTRON WALL AREA	1314.50	S.F.
GLAZED AREA CALCULATED W/ FRAME SIZE	122.12	S.F.
MINUS 2' AROUND ENTIRE PERIMETER	70.67	S.F.
OPENINGS PROVIDED	70.67	S.F.

ADDITIONAL NOTES

GLAZED AREA CALCULATED W/ FRAME SIZE
MINUS 2' AROUND ENTIRE PERIMETER

SPATIAL CALCULATION

EXPOSING BUILDING	1314.50	S.F.
FACE AREA	122.12	S.F.
PORTRON WALL AREA	1314.50	S.F.
GLAZED AREA CALCULATED W/ FRAME SIZE	122.12	S.F.
MINUS 2' AROUND ENTIRE PERIMETER	71.67	S.F.
OPENINGS PROVIDED	71.67	S.F.

ADDITIONAL NOTES

GLAZED AREA CALCULATED W/ FRAME SIZE
MINUS 2' AROUND ENTIRE PERIMETER



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RIGHT SIDE ELEVATION 'B'

GOLDPARK HOMES - 221081 THE QUEENSLAND-UNIT 6001

PINE VALLEY-PHASE2, VAUGHAN ONT. **REV.2022.08.02**

Drawn By	Checked By	Scale	File Number	Page Number
BY	AW	3/16"=1'-0"	221081WS6001	17 of 22

8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: 
DATE: AUG 04, 2022

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ROOF PLAN
N.T.S.

ASPHALT SHINGLES (TYP.)
VALLEY FLASHING (TYP.)

2:12 ROOF SADDLE BEYONDING (TYP.)
4" ALUM. GAP W/ DRIP EDGE (TYP.)
PREFIN. ALUM. GUTTER, RAIL, FASCIA BOARD & VENTED SOFFIT (TYP.)
4" x 6" x 13" ALUM. CLAD WOOD FRIEZE BRD. (TYP.)
MAG METAL PANEL OR EQUIV. (TYP.)
PREFIN. BLACK ALUM. RAILING W/ GLASS (TYP.)
CONT. 4" PRECAST CONG. SILL W/ 1/2" PROJ. (TYP.)
PREMANUF. LONGBOARD SIDING (TYP.)
FACE BRICK (TYP.)
PREMANUF. FYPON BRACKET (BK10x10x9 OR EQ.) (TYP.)

OPT. SKYLIGHT

1A PROVIDE ICE & WATER SHIELD

MINIMUM 2:12 ROOF SADDLE BEYOND PROVIDE EXTENDED ICE AND WATER SHIELD LOW SLOPE SHINGLE APPLICATION (TYP.)

12" TOP OF PARAPET

10" TOP OF PARAPET

SCUPPER

POURED IN PLACE STEPS (21)

8'0" x 8'0" OH GARAGE DOOR

8'0" x 8'0" OH GARAGE DOOR

POURED CONG. PORCH SLAB & DOOR SILL (TYP.)
POURED CONG. FOUNDATION WALL AND FOOTING (TYP.)

30" STEPPED FOOTING (TYP.)

6" MTL. FLASHING W/ CAULKING BEYOND (TYP.)
PREFIN. MTL. FLASHING W/ CAULKING TO MATCH MASONRY COLOUR (TYP.)

ADDRESS PLAQUE
CONTEMPORARY LAMP (TYP.)
CONT. 10" PRECAST CONG. HEADER W/ 1/2" PROJ. (TYP.)
SMOOTH STONE VENEER (TYP.)
CONTEMPORARY GLASS PANEL GARAGE DOOR

TOP OF PLATE
TOP OF WINDOW
FIN. SECOND FLR.
TOP OF TRANSOM
TOP OF WINDOW
FIN. GROUND FLR.
FIN. GRADE
1/5 OF FOOTING
TOP OF BASEMENT SLAB

9'-1" MIN. 11'-1" 10'-1" 4'-0" MIN.

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GOLDPARK HOMES - 221081 **THE QUEENSLAND-UNIT 6001**
PINE VALLEY-PHASE2, VAUGHAN ONT. **REV.2022.08.02**

Drawn By	Checked By	Scale	File Number	Page Number
BY	AW	3/16"=1'-0"	221081WS6001	18 of 22

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS
THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING
CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION

Allan Whiting		23
NAME	SIGNATURE	

REGISTRATION INFORMATION

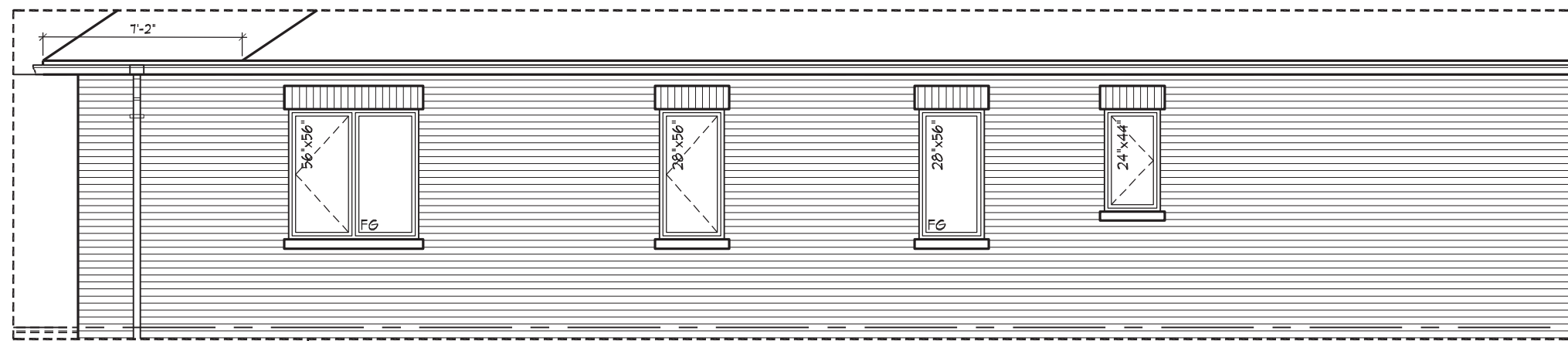
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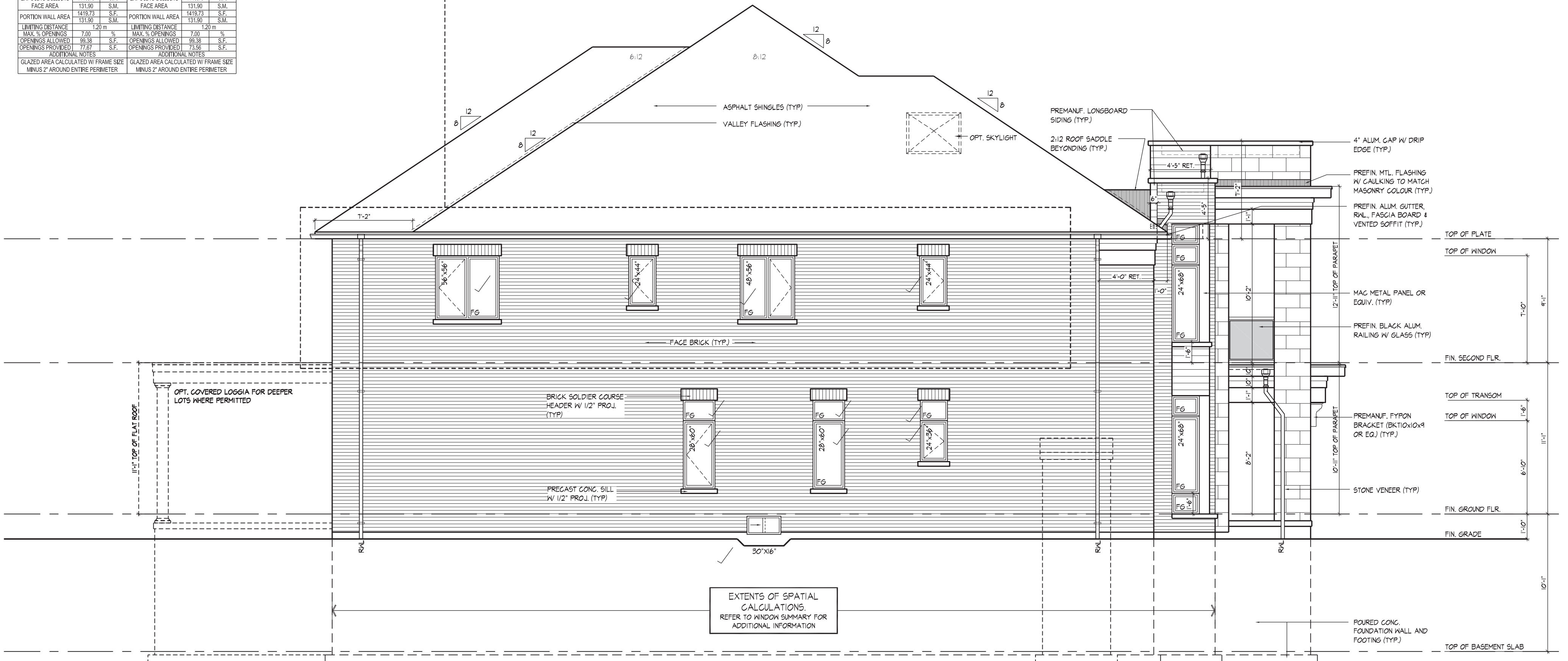
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ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: 
DATE: AUG 04, 2022
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WINDOW SUMMARY				WINDOW SUMMARY			
PER O.B.C. TABLE 9.10.15.4				PER O.B.C. TABLE 9.10.15.4			
LEFT SIDE ELEVATION C				OPT. LEFT SIDE ELEVATION C			
QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)
2	28"	60"	18.67	2	28"	60"	18.67
2	28"	18"	4.67	2	28"	18"	4.67
1	24"	36"	4.44	1	24"	36"	4.44
1	24"	18"	1.94	1	24"	18"	1.94
2	24"	44"	11.11	2	28"	56"	17.33
1	48"	56"	15.89	1	24"	44"	5.56
1	60"	60"	18.75	1	60"	60"	18.75
1	30"	16"	2.17	1	30"	16"	2.17
0	0"	0"	0.00	0	0"	0"	0.00
0	0"	0"	0.00	0	0"	0"	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
SPATIAL CALCULATION				SPATIAL CALCULATION			
EXPOSING BUILDING	1419.73	S.F.	EXPOSING BUILDING	1419.73	S.F.	EXPOSING BUILDING	1419.73
FACE AREA	131.90	S.M.	FACE AREA	131.90	S.M.	FACE AREA	131.90
PORTION WALL AREA	1419.73	S.F.	PORTION WALL AREA	1419.73	S.F.	PORTION WALL AREA	1419.73
PORTION WALL AREA	131.90	S.M.	PORTION WALL AREA	131.90	S.M.	PORTION WALL AREA	131.90
LIMITING DISTANCE	1.20 m		LIMITING DISTANCE	1.20 m		LIMITING DISTANCE	1.20 m
MAX. % OPENINGS	7.00	%	MAX. % OPENINGS	7.00	%	MAX. % OPENINGS	7.00
OPENINGS ALLOWED	99.38	S.F.	OPENINGS ALLOWED	99.38	S.F.	OPENINGS ALLOWED	99.38
OPENINGS PROVIDED	77.67	S.F.	OPENINGS PROVIDED	73.56	S.F.	OPENINGS PROVIDED	73.56
ADDITIONAL NOTES				ADDITIONAL NOTES			
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER				GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER			



PART. LEFT SIDE ELEVATION 'C' FOR OPT. SECOND FLOOR

REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFORMATION
ROOF OVERHANGS TO BE 15" UNLESS NOTED OTHERWISE



LEFT SIDE ELEVATION 'C'

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.
QUALIFICATION INFORMATION
Alban Whiting
SIGNATURE
HUNT DESIGN ASSOCIATES INC.
19695

23177

BCIN

19695

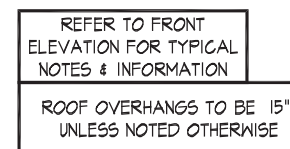
HUNT
DESIGN ASSOCIATES INC.
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LEFT SIDE ELEVATION 'C'
GOLDPARK HOMES - 221081 THE QUEENSLAND-UNIT 6001
PINE VALLEY-PHASE2, VAUGHAN ONT.
REV.2022.08.02
Down By: **BY** Scale: **3/16"=1'-0"** File Number: **221081WS6001** Page Number: **19** of **22**
8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326
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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: 
DATE: AUG 04, 2022

This stamp certifies compliance with the applicable
Design Guidelines only and bears no further
professional responsibility.

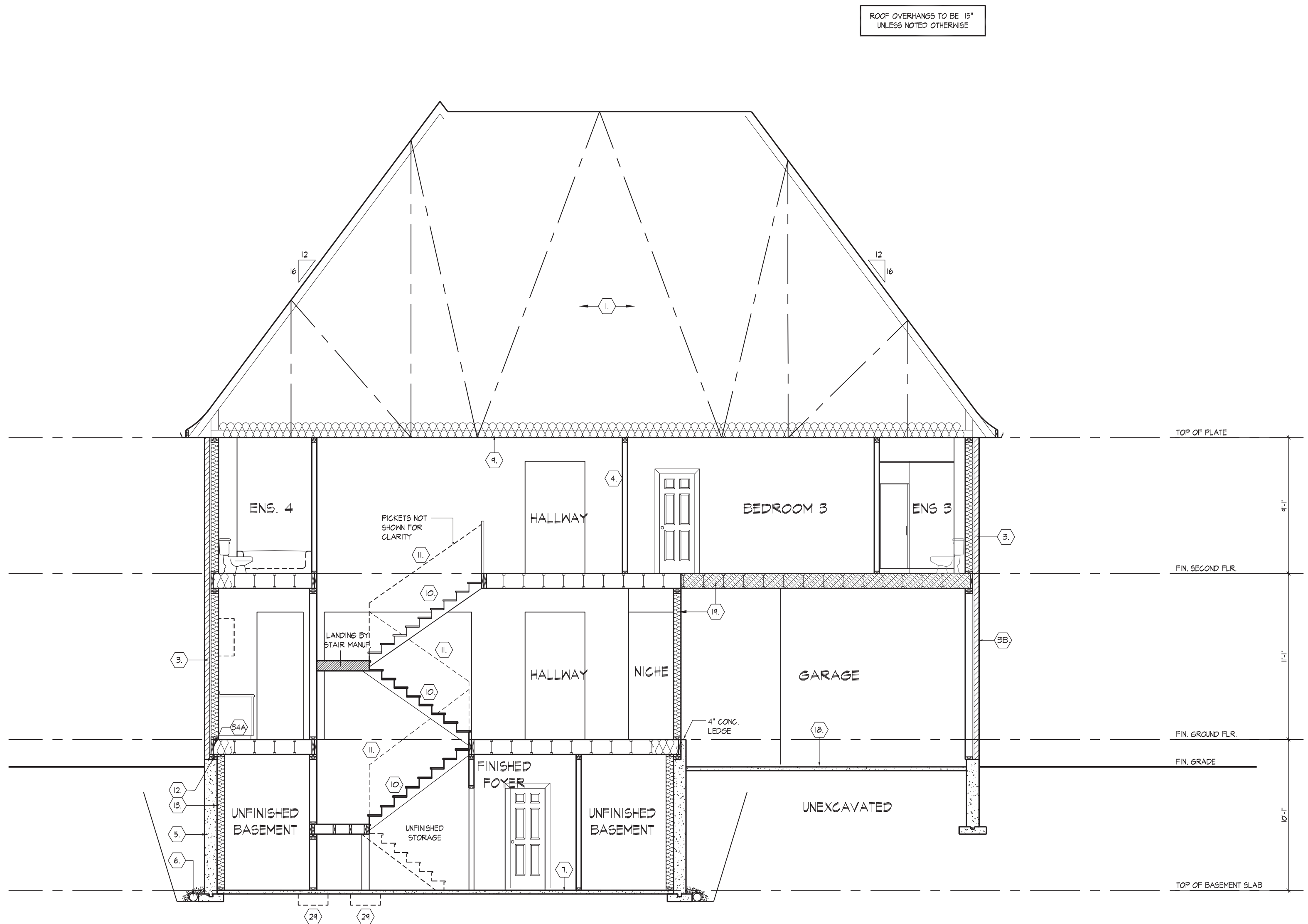


WINDOW SUMMARY					WINDOW SUMMARY				
PER O.B.C. TABLE 9.10.15.4					PER O.B.C. TABLE 9.10.15.4				
RIGHT SIDE ELEVATION					OPT. RIGHT SIDE ELEVATION				
QUANTITY	UNIT	WINDOW FRAME SIZE (F.T.)	WINDOW DOOR FRAME SIZE (F.T.)	WINDY FLOOR	QUANTITY	UNIT	WINDOW FRAME SIZE (F.T.)	WINDOW DOOR FRAME SIZE (F.T.)	WINDY FLOOR
2	24"	40"	50.00	5.00	3	24"	40"	50.00	5.00
2	48"	56"	31.78	3	48"	56"	31.78	47.8	3
2	24"	56"	14.44	2	24"	24"	56"	0.00	5.00
2	24"	60"	15.50	2	24"	60"	15.50	0.00	5.00
3	24"	18"	5.83	5	24"	18"	5.83	0.00	5.00
2	24"	66"	8.89	1	24"	66"	8.88	0.00	5.00
0	0"	0"	0.00	0	0"	0"	0.00	0.00	0.00
0	0"	0"	0.00	0	0"	0"	0.00	0.00	0.00
0	0"	0"	0.00	0	0"	0"	0.00	0.00	0.00
0	0"	0"	0.00	0	0"	0"	0.00	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00	0.00	0.00
SPATIAL CALCULATION					SPATIAL CALCULATION				
EXPOSING BUILDING		1314.50	S.F.		EXPOSING BUILDING		1314.50	S.F.	
FACE AREA		122.12	S.F.		FACE AREA		122.12	S.F.	
PORTION WALL AREA		1314.50	S.F.		PORTION WALL AREA		1314.50	S.F.	
PORTION WALL AREA		122.12	S.F.		PORTION WALL AREA		122.12	S.F.	
LIMITING DISTANCE		1.20m			LIMITING DISTANCE		1.20m		
MAX. % OPENINGS		7.00	%		MAX. % OPENINGS		7.00	%	
OPENINGS PROVIDED		92.02	S.F.		OPENINGS PROVIDED		92.02	S.F.	
OPENINGS PROVIDED		81.50	S.F.		OPENINGS PROVIDED		88.50	S.F.	
ADDITIONAL NOTES					ADDITIONAL NOTES				
GLAZED AREA CALCULATED W/ FRAME SIZE AS 4" AROUND ENTIRE PERIMETER					GLAZED AREA CALCULATED W/ FRAME SIZE AS 4" AROUND ENTIRE PERIMETER				



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GOLDPARK HOMES - 221081		RIGHT SIDE ELEVATION 'C'	
PINE VALLEY-PHASE2, VAUGHAN ONT.		THE QUEENSLAND-UNIT 6001	
Drawn by	Checked by	Scale	File Number
BY	AW	3/16"=1'-0"	221081WS6001
8966 Woodbine Ave, Markham, ON L3R 0J7	T 905.737.5133	P 905.737.7326	20 of 22



CROSS SECTION 'A-A'



FOR STRUCTURAL ONLY. EXCLUDING
ENGINEERED ROOF TRUSS, FLOOR
JOIST, AND FLOOR LVL BEAM DESIGN.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.		HUNT DESIGN ASSOCIATES INC.		GOLDPARK HOMES - 221081 THE QUEENSLAND-UNIT 6001	
QUAIFICATION INFORMATION		www.huntdesign.ca		PINE VALLEY-PHASE2, VAUGHAN ONT.	
NAME	SIGNATURE	BCIN	Scale	File Number	Page Number
Albin Whiting	<i>AW</i>	23177	3/16"=1'-0"	221081WS6001	21 of 22
HUNT DESIGN ASSOCIATES INC. 19995			8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326		
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1

ROOF CONSTRUCTION (R.9, R.23.3, R.92.3, R.92.5)

NO. 210 (10.25 KG/M²) ASPHALT SHINGLES, 3/8" (9.5) PLYWOOD SHEATHING WITH "A" CLIPS, APPROVED WOOD TRUSSES (R.24) (610) O.C. MAX. APPROVED EAVES PROTECTION TO EXTEND 2'-4" (600) FROM EDGE OF ROOF AND MIN. 12" (305) BEYOND INNER FACE OF EXTERIOR WALL, 2'x4" (38x89) TRUSS BRACING (R.27) (18.00) O.C. HORIZ. 2'x4" (38x89) OR 2" (51) DIA. ALUM. EAVESTROUGH, FASCIA, RAIL & VENTED SCOTCH. ATTIC VENTILATION: 1:300 OF INSULATED CEILING AREA WITH MIN. 25% OF REQUIRED OPENINGS LOCATED AT TOP OF SPACE & MIN. 25% OF REQUIRED OPENINGS LOCATED AT BOTTOM OF SPACE. EAVESTROUGH TO BE 1:300 OF INSULATED CEILING AREA. ON CONCRETE SPLASH PADS OR PER MUNICIPAL REQUIREMENTS, TOWNHOUSES TO HAVE 5' MIN. EAVESTROUGH WITH ELEC. TRACED HEATER CABLE ALONG EAVESTROUGH AND INSULATION. ICE AND WATER SHIELD SHALL NOT BE USED FOR THE ATTACHMENT OF SIDING (R.92.3,6.3,1.1) (REFER TO 35 NOTE AS REQ.)

1A

ICE AND WATER SHIELD

ICE AND WATER SHIELD IN AREAS INDICATED. THE ICE AND WATER SHIELD SHALL BE A SELF-ADHERING AND SELF-SEALING MEMBRANE. SIDE LAPES SHALL BE A MINIMUM 3 1/2" (90) AND END LAPES A MINIMUM 6" (152), AND TO EXTEND UP DORMER WALLS A MINIMUM 12" (305).

1B

PROFILED ROOF TRUSSES

ROOF TRUSSES SHALL BE PROFILED AND/OR STEPPED AT RAISED CORNER/TRAY CORNER, ANGLED TO 12:12 (30:60) O.C. AND SHEATHED W/ 3/8" (9.5) PLYWOOD.

2

SIDING WALL CONSTRUCTION (2"x6")

SIDING MATERIAL AS PER ELEVATION ATTACHED TO FRAMING MEMBERS, FURRING MEMBERS OR BLOCKING BETWEEN THE FRAMING MEMBERS ON APPROVED SHEATHING PAPER ON 3/8" (9.5) EXT. GRADE SHEATHING ON STUDS CONFORMING TO O.B.C. (R.23.3,10.1) & SECTION 1.1, INSULATION, APPROVED 6 MIL POLYETHYLENE VAPOUR BARRIER, ON 1/2" (12.7) GYPSUM WALLBOARD INT. F. (GYPSUM SHEATHING, RIGID INSULATION, AND FIBERBOARD SHALL NOT BE USED FOR THE ATTACHMENT OF SIDING (R.92.3,6.3,1.1) (REFER TO 35 NOTE AS REQ.)

2A

SIDING WALL CONSTRUCTION (2"x6") W/ CONTIN. INSULATION

SIDING MATERIAL AS PER ELEVATION ATTACHED TO FURRING MEMBERS ON APPROVED AIR/WATER BARRIER AS PER O.B.C. 9.2.7.3, ON EXTERIOR TYPE RIGID INSULATION (JOINTS UNFASTENED) MECHANICALLY FASTENED AS PER MANUFACTURERS SPECIFICATIONS ON 3/8" (9.5) EXT. GRADE SHEATHING ON STUDS CONFORMING TO O.B.C. (R.23.3,10.1) & SECTION 1.1, INSULATION, APPROV. 6 MIL POLYETHYLENE AIR/VAPOUR BARRIER, ON 1/2" (12.7) GYPSUM WALLBOARD INT. F. (GYPSUM SHEATHING, RIGID INSULATION, AND FIBERBOARD SHALL NOT BE USED FOR THE ATTACHMENT OF SIDING (R.92.3,6.3,1.1) (REFER TO 35 NOTE AS REQ.)

2B

SIDING WALL @ GARAGE CONSTRUCTION

SIDING MATERIAL AS PER ELEVATION ATTACHED TO FRAMING MEMBERS, FURRING MEMBERS OR BLOCKING BETWEEN THE FRAMING MEMBERS ON APPROVED SHEATHING PAPER ON 3/8" (9.5) EXTERIOR TYPE SHEATHING ON STUDS CONFORMING TO O.B.C. (R.23.3,10.1) & SECTION 1.1, INSULATION, APPROVED 6 MIL POLYETHYLENE VAPOUR BARRIER, ON 1/2" (12.7) GYPSUM WALLBOARD INTERIOR FINISH, (GYPSUM SHEATHING, RIGID INSULATION AND FIBERBOARD SHALL NOT BE USED FOR THE ATTACHMENT OF SIDING (R.92.3,6.3,1.1) (REFER TO 35 NOTE AS REQ.)

3

BRICK VENEER WALL CONSTRUCTION (2"x6")

3 1/2" (90) BRICK VENEER 1" (25) AIR SPACE, 7/8"x7"x0.03" (22x180x76) GALV. METAL TIES (R.24) (610) O.C. HORIZ. 2'x4" (38x89) OR 2" (51) DIA. ALUM. EAVESTROUGH FOR TIES TO CONFORM WITH 9:20.8, ON APPROVED SHEATHING PAPER, 3/8" (9.5) EXTERIOR TYPE SHEATHING, STUDS CONFORMING TO O.B.C. (R.23.3,10.1) & SECTION 1.1, INSULATION AND 6 mil POLYETHYLENE VAPOUR BARRIER WITH APPROVED CONTIN. AIR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INTERIOR FINISH, PROVIDE WEEP HOLES @ 32" (800) O.C. BOTTOM COURSE AND OVER OPENINGS. PROVIDE BASE FLASHING UP MIN. 6" (150) BEHIND BUILDING PAPER (R.92.3,6.3,1.1) (REFER TO 35 NOTE AS REQ.)

3A

BRICK VENEER WALL CONSTRUCTION (2"x6") W/ CONTIN. INSULATION

3 1/2" (90) BRICK VENEER 1" (25) AIR SPACE, 7/8"x7"x0.03" (22x180x76) GALV. METAL TIES (R.24) (610) O.C. HORIZ. 2'x4" (38x89) O.C. VERT. BONDING AND FASTENING FOR TIES TO CONFORM WITH 9:20.8, ON APPROVED AIR/WATER BARRIER AS PER O.B.C. 9.2.7.3, ON EXTERIOR TYPE RIGID INSULATION (JOINTS UNFASTENED) MECHANICALLY FASTENED AS PER MANUFACTURERS SPECIFICATIONS, ON 3/8" (9.5) EXTERIOR TYPE SHEATHING, STUDS CONFORMING TO O.B.C. (R.23.3,10.1) & SECTION 1.1, INSULATION AND 6 mil POLYETHYLENE VAPOUR BARRIER, ON 1/2" (12.7) GYPSUM WALLBOARD INTERIOR FINISH, PROVIDE WEEP HOLES @ 32" (800) O.C. BOTTOM COURSE AND OVER OPENINGS. PROVIDE BASE FLASHING UP MIN. 6" (150) BEHIND RIGID INSULATION (R.92.3,6.3,1.1) (REFER TO 35 NOTE AS REQ.)

3B

BRICK VENEER WALL @ GARAGE CONSTRUCTION

3 1/2" (90) BRICK VENEER 1" (25) AIR SPACE, 7/8"x7"x0.03" (22x180x76) GALV. METAL TIES (R.24) (610) O.C. HORIZ. 2'x4" (38x89) O.C. VERT. BONDING AND FASTENING FOR TIES TO CONFORM WITH 9:20.8, ON APPROVED SHEATHING PAPER, 3/8" (9.5) EXTERIOR TYPE SHEATHING ON STUDS CONFORMING TO O.B.C. (R.23.3,10.1) & SECTION 1.1, INSULATION AND 6 mil POLYETHYLENE VAPOUR BARRIER AS PER O.B.C. 9.2.7.3, PROVIDE WEEP HOLES @ 32" (800) O.C. AT BOTTOM COURSE AND OVER OPENINGS. PROVIDE BASE FLASHING UP @ 6" (150) MIN. BEHIND BUILDING PAPER (R.92.3,6.3,1.1) (REFER TO 35 NOTE AS REQ.)

4

INTERIOR STUD PARTITIONS (R.23.3.8, R.92.3.10)

BRACING PARTITIONS SHALL BE A MINIMUM 2"x4" (38x89) @ 16" (406) O.C. FOR 2 STOREY AND 12" (305) O.C. FOR 3 STOREY, NON-BEARING PARTITIONS 2"x4" (38x89) @ 16" (406) O.C. OR 12" (305) O.C. HORIZ. 2'x4" (38x89) OR 2" (51) DIA. ALUM. EAVESTROUGH FOR TIES TO CONFORM WITH 9:20.8, ON APPROVED SHEATHING PAPER, 3/8" (9.5) EXTERIOR TYPE SHEATHING ON STUDS CONFORMING TO O.B.C. (R.23.3,10.1) & SECTION 1.1, INSULATION AND 6 mil POLYETHYLENE VAPOUR BARRIER AS PER O.B.C. 9.2.7.3, PROVIDE WEEP HOLES @ 32" (800) O.C. AT BOTTOM COURSE AND OVER OPENINGS. PROVIDE BASE FLASHING UP @ 6" (150) MIN. BEHIND BUILDING PAPER (R.92.3,6.3,1.1) (REFER TO 35 NOTE AS REQ.)

4A

EXT. LOFT WALL CONSTRUCTION (2"x6") - NO CLADDING

(R.9.5) EXTERIOR TYPE SHEATHING, STUDS CONFORMING TO O.B.C. (R.23.3,10.1) SECTION 1.1, INSULATION AND 6 mil POLYETHYLENE VAPOUR BARRIER WITH APPROVED CONT. AIR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH, (9.2)

4B

EXT. LOFT WALL CONSTRUCTION (2"x6")

APPROVED AIR/WATER BARRIER AS PER O.B.C. 9.2.7.3, ON EXTERIOR TYPE RIGID INSULATION (JOINTS UNFASTENED) MECHANICALLY FASTENED AS PER MANUFACTURERS SPECIFICATIONS, ON 3/8" (9.5) EXTERIOR TYPE SHEATHING, STUDS CONFORMING TO O.B.C. (R.23.3,10.1) & SECTION 1.1, INSULATION AND 6 mil POLYETHYLENE VAPOUR BARRIER, ON 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH, (9.2.3)

5

FOUNDATION WALL/FOOTINGS

POURED CONC. FOUNDATION WALL AS PER CHART BELOW ON CONTINUOUS KEYED CONCRETE FOOTING. FOUNDATION WALLS SHALL EXTEND NOT LESS THAN 6" (150) ABOVE FINISHED GRADE, THE OUTSIDE OF THE FOUNDATION WALLS SHALL BE DAMPROOFED WITH 1:300 OF INSULATED CEILING AREA AND BRUSH COAT FROM THE TOP TO 2" BELOW GRADE, PROVIDE A DRAINAGE LAYER ON THE OUTSIDE OF THE FOUNDATION WALL, SEAL THE DRAINAGE LAYER AT THE TOP, THE TOP OF THE CONC. FOOTING SHALL BE DAMPROOFED. REFER TO CONSTRUCTION DETAILS FOR FOUNDATION WALLS WITH BEARING CAPACITY OF 125KPA SLS. IF SOIL BEARING DOES NOT MEET MINIMUM CAPACITY, ENGINEERING FOOTINGS ARE REQUIRED, ACTUAL SOIL BEARING CAPACITY TO BE VERIFIED WITH SOIL ENGINEERING REPORT. REFER TO CONSTRUCTION DETAILS FOR FOUNDATION WALL STRENGTH AND THICKNESS AND 9.15.4.

FOUNDATION WALLS SHALL NOT EXCEED 9'0" (2.0m) IN UNSUPPORTED HEIGHT UNLESS OTHERWISE NOTED, (R.91.5,4.2.1) OF THE O.B.C.

UNREINFORCED SOIL CONCRETE FOUNDATION WALLS (R.91.5,4.2)	
MAX. HEIGHT FROM FIN. SLAB TO GRADE	
MIN. WALL THICKNESS (15 MPa)	
UNSUPPORTED AT TOP	SUPPORTED AT TOP
1'0" (305)	
1'0" - 1'3" (1.2m) - 7'4" (2.15m)	>2.5m & 2.75m - 2.75m & 3.0m
1'0"	1'0" - 1'3" (1.2m) - 7'4" (2.15m)
1'0"	1'0" - 1'3" (1.2m) - 7'4" (2.15m)
1'0"	1'0" - 1'3" (1.2m) - 7'4" (2.15m)
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1'0"	1'0" - 1'3" (1.2m) - 7'4" (2.15m)
1'0"	1'0" - 1'3" (1.2m) - 7'4" (2.15m)
1'0"	1'0" - 1'3" (1.2m) - 7'4" (2.15m)
1'0"	1'0" - 1'3" (1.2m) - 7'4" (2.15m)
1'0"	1'0" - 1'3" (1.2m) - 7'4" (2.15m)
1'0"	1'0" - 1'3" (1.2m) - 7'4" (2.15m)
1'0"	1'0" - 1'3" (1.2m) - 7'4" (2.15m)
1'0"	1'0" - 1'3" (1.2m) - 7'4" (2.15m)
1'0"	1'0" - 1'3" (1.2m) - 7'4" (2.15m)
1'0"	1'0" - 1'3" (1.2m) - 7'4" (2.15m)
1'0"	1'0" - 1'3" (1.2m) - 7'4" (2.15m)
1'0"	1'0" - 1'3" (1.2m) - 7'4" (2

5A

FOUNDATION REDUCTION IN THICKNESS FOR MASONRY

WHERE THE TOP OF THE FOUNDATION WALL IS REDUCED IN THICKNESS TO PERMIT THE INSTALLATION OF MASONRY EXTERIOR FINISH, THE REDUCED SECTION SHALL BE NOT LESS THAN 3 1/2" (90) THICK. THE BRICK VENEER SHALL BE TIED TO THE FOUNDATION WALL WITH CORROSION-RESISTANT METAL TIES @ 2' O.C. (200) VERTICALLY AND 2x11" (889) HORIZONTALLY. FILL VOID WITH MORTAR BETWEEN WALL AND BRICK VENEER @ (9.15,47.2)(3) & (9.20,49.3).

5B

FOUNDATION REDUCTION IN THICKNESS FOR JOISTS

WHERE THE TOP OF THE FOUNDATION WALL IS REDUCED IN THICKNESS TO PERMIT THE INSTALLATION OF FLOOR JOISTS, THE REDUCED SECTION SHALL BE NOT MORE THAN 13 3/4" (350) HIGH AND NOT LESS THAN 3 1/2" (90) THICK @ (9.15,47.7)(1)

6

WEEPING TILE (R.14.3.)

#1000 @ WEEPING TILE W/ FILTER CLOTH WRAP & 6" (152) CRUSHED STONE COVER

BASEMENT SLAB ON SLAB ON GRADE (R.16.4) (R.13.)

3" (80) MIN. 25MPa (3600psi) CONC. SLAB ON 4" (100) COARSE GRANULAR FILL OR 2" (50) (2000PSI) FILL WITH DAMPPROOF WALL. PROVIDE 1/2" (12.7) IMPERVIOUS BOARD FOR BOND BREAK AT EDGE. WHERE A BASEMENT SLAB IS WITHIN 24" (610) OF THE EXTERIOR GARAGE PROVIDE RIGID INSUL. BETWEEN THE PERIMETER WALLS AND 2x11" (889) BELOW GRADE. FOR SLAB ON GRADE CONDITIONS RIGID INSULATION SHALL BE APPLIED TO THE UNDERSIDE OF THE ENTIRE SLAB. ((SB-12| 3.1.1.7.5) & (6))

8

EXPPOSED FLOOR TO EXTERIOR (R.10.1,7.10) & CANVULC(S705.2)

PROVIDE SPRAY FOAM INSULATION BETWEEN CONT. JOIST AND INSTALL OPS CONFORMING TO 9.29.9.9. FIN. SOFFIT OR CLADDING AS PER ELEVATION TO US OF EXP. EXPOSED CONT. JOIST.

9

EXPPOSED CEILING TO EXTERIOR W/ ATTIC (R.9.2,24)

INSULATION, 6 mil POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYSUM BOARD, INTERIOR FINISH, INTERIOR TRIM.

EXPPOSED CEILING TO EXTERIOR W/O ATTIC (R.9.2,24)

JOIST/TRUSSES AS PER PLANS W/ 2x7 (38x8) PURLINS @ 16" (406) O.C. PERPENDICULAR TO JOISTS (PURLINS NOT REQ. W/ SPRAY FOAM OR ROOF TRUSSES). W/ INSULATION BETWEEN JOIST, 6 mil POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYSUM BOARD, INTER. FINISH OR APPROVED OC. (CANVULC(S705.2, 9.18.1, 9.10.17.10))

10

ALL STAIRS-EXTERIOR STAIRS (9.8.1.2, 9.8.2, 9.8.4.)

MIN. TREAD	MIN. RISE	MAX. RUN	MIN. RISER	MIN. NOSING	R25
10"	7"	17"	11"	1"	
10"	7"	17"	11"	1"	
AVERAGE MIN. TREAD		MIN. RUN	12"	15"	12"
PROJ. MAX. TREAD	2'-10"	MIN. RUN	12"	15"	12"
AVERAGE MIN. TREAD		MIN. RUN	12"	15"	12"
PUBLIC	2'-10"	MIN. RUN	12"	15"	12"

FLOOR RUN OF TAPERED TREAD MEASURED AT A POINT 300mm FROM THE CENTLINE

INTERIOR HANDRAIL: 3'-4" (1070) MIN., LOCATE THAN 5'-11" (1800) TO GRADE)

* HEIGHT OVER STAIRS HEADROOM IS MEASURED VERTICALLY ACROSS WIDTH OF STAIRS FROM A STRAIGHT LINE TO THE TREAD & LANDING NOSING TO LOWEST POINT ABOVE AND NOT LESS THAN 6'-8" (1950) FOR SINGLE DWELLING UNIT & 6'-8 3/4" (2050) FOR EVERYTHING ELSE. (9.8.2.2)

REQUIRED LANDINGS IN GARAGE - O.B.C. 9.8.6.2.(3)

FOR AN EXTERIOR STAIR SERVING A GARAGE, W/ MORE THAN 3 RISERS, GUARDS, HANDRAILS & STEPS AS PER CONSTRUCTION HX NOTE 10 & 11.

11

GUARDS/RAILINGS (9.8.7, 9.8.8)

GUARDS TO BE DESIGNED NOT TO FACILITATE CLIMBING AND PROVIDING MAX OPENING CONFORMING TO O.B.C. 9.8.8.5, 9.8.8.6, AND BE ABLE TO RESIST LOADS AS PER TAB. 9.8.8.2.

GUARD HEIGHTS - O.B.C. 9.8.8.

INTERIOR GUARDS: 2'-11" (660) MIN.

EXTERIOR GUARDS: 3'-0" (910) MIN. (LESS THAN 5'-11" (1800) TO GRADE)

GUARDS FOR EXITS: 3'-4" (1070) MIN., LOCATE THAN 5'-11" (1800) TO GRADE)

GUARDS FOR LANDINGS @ EXIT STAIRS: 3'-4" (1070) MIN.

GUARDS FOR FLOORS & RAMPS IN GARAGES (SERVICE STAIRS)

FLOOR OR RAMP W/ EXTERIOR WALLS THAT IS 23 5/8" (600) OR MORE ABOVE ADJACENT SURFACE REQUIRES CONT. CURB MIN. 6" (150) HIGH, AND GUARD MIN. 3'-6" (1070) HIGH.

REQUIRED GUARDS:

BETWEEN WALKING SURFACE & ADJACENT SURFACE WITH A DIFFERENCE IN ELEVATION MORE THAN 23 5/8" (600) GRADIENT SURFACE WITHIN 3'-11" (1200) TO ADJACENT SURFACE WITH A SLOPE MORE THAN 1:12 SHALL BE PROTECTED WITH GUARDS PER CONSTRUCTION HX NOTE 11.

HANDRAIL HEIGHTS - O.B.C. 9.8.7 - REQUIRED AS PER 9.8.7.1.(3)

MIN. HEIGHT AT STAIRS, RAMP AND LANDINGS: 2'-10" (665)

MAX. HEIGHT AT STAIRS, RAMP AND LANDINGS: 3'-6" (1070)

12

SILL PLATES

2"x4" (38x89) SILL PLATE WITH 1/2" (12.7) JOINT ANCHOR BOLTS @ 200" LONG, EMBEDDED MIN. (4") INTO CONCRETE @ 4x4" (120) O.C., CAULKING OR GASKET BETWEEN PLATE AND PARTITION WALL. USE NON-SHRINK GROUT TO LEVEL SILL PLATE WHEN REQUIRED (9.23.7).

13

BASEMENT INSULATION ((SB-12| 3.1.1.7)

PROVIDE CONTINUOUS BLANKET INSULATION W/ BUILT IN 6 mil POLYETHYLENE VAPOUR BARRIER, INSULATION TO EXTEND NO MORE THAN 8" (200) ABOVE FINISHED BASEMENT FLOOR, DAMPPROOF WITH BUILDING PAPER BETWEEN THE FOUNDATION WALL AND INSULATION. PROVIDE 1/2" (12.7) INSULATED STUD PARTITION IN BASEMENT (R.15.3.6, 9.23.10.1)

14

BEARING STUD PARTITION IN BASEMENT (R.15.3.6, 9.23.10.1)

2"x4" (38x89) STUDS @ 16" (406) O.C. 2"x4" (38x89) SILL PLATE 2"x6" (38x140) AS REQUIRED ON DAMPPROOF MATERIAL OR 2 mil POLYETHYLENE FILM, 1/2" (12.7) JOINT ANCHOR BOLTS @ 100" LONG, EMBEDDED 4" (100) MIN. INTO CONCR. @ 7'-10" (2300) O.C. @ 100" HIGH CURB ON CONC. FOOTING, FOR SIZE REFER TO 9.23.10.5, ADD 1/2" (12.7) INSULATED STUD PARTITION IF WALL IS UNFINISHED.

15

ADJUSTABLE STEEL BASEMENT COLUMN (R.15.3.4)

9'-10" (300) MAX. SPAN BETWEEN COLUMNS, 3 1/2" (90) SINGLE TUBE ADJUSTABLE STEEL COLUMN CONFORMING TO CAN/COSB-7.2M, AND W/ 6"x6"x3/8" (152x152x9.5) STEEL PLATE TOP & BOTTOM, FIELD WEBSMOUNT COLUMN CONNECTION, POURED CONCRETE FOOTING ON NATURAL UNDISTURBED SOIL TOP 12x24x3' & 24x24x3' COMPACTED 12" BOTTOM PLATE, MIN. BEARING CAPACITY OF 12KPSA S.L.S. AS PER SLOTT REPORT.

SUPPORTING 2 STOREY FLR. LOAD PROVIDE 34"x34"x16" (870x870x104) CONC. FOOTING

SUPPORTING 3 STOREY FLR. LOAD PROVIDE 40"x40"x19" (1066x1066x489) CONC. FOOTING

15A

NON-ADJUSTABLE STEEL BASEMENT COLUMN

3 1/2" (90) O.1188 x 7.40 NON-ADJUSTABLE STEEL COLUMN WITH 6"x6"x3/8" (152x152x9.5) STEEL PLATE TOP & BOTTOM, BOTTOM PLATE CW 2 1/2"x2" x 12" LONG@2" HOOK ANCHORS, FIELD WEBSMOUNT COLUMN CONNECTION, POURED CONCRETE FOOTING ON NATURAL UNDISTURBED SOIL OF 15KPSA S.L.S. OR COMPACTED 12" (305) DEEP FILL WITH 1/2" (12.7) CONC. TO 12KPSA S.L.S. AS PER SLOTT REPORT

SUPPORTING 2 STOREY FLR. LOAD PROVIDE 42"x42"x19" (1070x1070x489) CONC. FOOTING

SUPPORTING 3 STOREY FLR. LOAD PROVIDE 48"x48"x24" (1220x1220x610) CONC. FOOTING

15B

NON-ADJUSTABLE STL. COLUMN AT FOUNDATION WALL

3 1/2" (90) O.1188 x 7.40 NON-ADJUSTABLE STEEL COLUMN WITH 6"x6"x3/8" (152x152x9.5) STEEL PLATE TOP & BOTTOM, BOTTOM PLATE CW 2 1/2"x2" x 12" LONG@2" HOOK ANCHORS @ 12"x21"x10"1/2" (120x250x12.7) WITH 2" (50) X 12" LONG x 2" HOOK ANCHORS @ (2.14,7.20,30x50x50) FIELD WEBSMOUNT TO BASE PLATE & STEEL BM.

16

STEEL BEAM BEARING AT FOUNDATION WALL (R.23.8.1)

STEAM POCKET OR 6"x6" (200x200) POURED CONC. NB WALLS, MIN. BEARING 3 1/2" (90), CONC. NB WALLS TO HAVE EXTENDED FOOTINGS.

17

WOOD STRAPPING AT STEEL BEAMS (R.23.4.3.(3), 9.23.9.3.)

1"x2" (19x4) CONTIN. WOOD STRAPPING BOTH SIDES OF STEEL BEAM.

GARAGE SLAB (R.16.4) (R.13.)

4" (100) 32MPa (4600psi) CONC. SLAB WITH 5-8% AIR ENTRAINMENT ON OPT. 4" (100) COARSE GRANULAR FILL WITH COMPACTED SUB-BASE OR COMPACTED NATIVE FILL, SLOPE TO FRONT @ 1% MIN.

19

GARAGE TO HOUSE WALLS/CEILING (R.10.9.16)

1/2" (12.7) GYSUM BOARD ON WALL AND CEILING BETWEEN HOUSE AND GARAGE, PLUS REQUIRED INSULATION IN WALLS AND SPRAY FOAM FOR CEILINGS, TAPE AND SEAL ALL JOINTS GAS TIGHT. (R.10.9.17.10, CANVULC(S705.2)

19A

GARAGE TO HOUSE WALLS/CEILING W/ CONTIN. INSULATION (R.10.9.16)

1/2" (12.7) GYSUM BOARD ON CEILING AND ON WALLS INSTALLED OVER EXTERIOR TYPE RIGID INSULATION (JOINTS UNTAPED) MECHANICALLY FASTENED AS PER MANUFACTURERS SPECIFICATIONS ON 3"X3" EXTERIOR GARAGE SHEATHING ON STUDS BETWEEN HOUSE AND GARAGE. PLUS REQUIRED INSULATION IN WALLS & SPRAY FOAM FOR CEILINGS, TAPE AND SEAL ALL JOINTS GAS TIGHT. (R.10.9.17.10, CANVULC(S705.2)

39

TWO STOREY VOLUME SPACES

(9.23.101, 9.23.11, 9.23.16)

WALL ASSEMBLY		WIND LOADS	
EXTERIOR	STUDS	<= 0.5 kPa (g50)	0.5 kPa (g50)
		SPACING MAX HEIGHT	SPACING MAX HEIGHT
BRICK	2"x6" (2x38-140) SFR.#1/2	12" (305) C.O. 18'-4" (5688)	8" (200) C.O. 18'-4" (5688)
SIDING	2"x6" (2x38-140) SFR.#2	16" (406) C.O. 18'-4" (5688)	12" (305) C.O. 18'-4" (5688)
BRICK	2"x6" (2x38-140) SFR.#1/2	12" (305) C.O. 21'-4" (6400)	12" (305) C.O. 21'-4" (6400)
SIDING	2"x6" (2x38-140) SFR.#2	16" (406) C.O. 21'-4" (6400)	16" (406) C.O. 21'-4" (6400)

*** STUD SIZE & SPACING TO BE VERIFIED BY STRUCTURAL ENGINEER ***

STUDS ARE TO BE CONTINUOUS C/W 3/8" (9.5) THICK EXTERIOR PLYWOOD SHEATHING, PROVIDE SOLID WOOD BLOCKING BETWEEN WOOD STUDS @ 4'-0" (1220) O.C. VERTICALLY.

- FOR HORIZ. DISTANCES LESS THAN 8'-0" (2386) PROVIDE 2"x6" (38x140) STUDS 16" (406) O.C. WITH CONTIN. 2"x6" (2x38-140) TOP PLATE. 2"x6" (2x38-140) BOTTOM PLATE & MIN. OF 3"x2" (38x84) CORN. HEADER AT GROUND FLOOR CEILING LEVEL TOE-NAILLED & GLUED AT TOP, BOTTOM PLATES & HEADERS.

40

1 HR. PARTY WALL (CONC. BLOCK)

(ISB-3) WALL TYPE 'B66' & 'B15'

1/2" (12.7) GYPSUM SHEATHING ON EACH SIDE ON 2"x2" (38x38) VERTICAL W/ STRAPPING @ 24" (610) C.O. ON 8" (200) CONC. BLOCK BLK STRAPPING. CAVITY EACH SIDE WITH AT LEAST 80% OF ABSORPTIVE MATERIAL PROCESSED FROM ROCK, SLAG OR GLASS, TAPE FILL & SAND ALL GYPSUM JOINTS. EXPOSED BLOCK MUST BE SEALED W/ 2 COATS OF PAINT OR FURRED WITH 2"x2" (38x38) W/ STRAPPING & 1/2" (12.7) GYPSUM SHEATHING TO COMPLY TO C.O. 15 M.S.1.

40

08.15.00

1 HR. PARTY WALL (DOUBLE STUD)

(ISB-3) WALL TYPE 'W130'

5/8" (15.9) TYPE 'X' GYPSUM SHEATHING ON EXTERIOR SIDE OF 2 ROWS OF 2"x4" (38x89) STUDS @ 16" (406) O.C. MIN. 1" (25) APART ON SEPARATE 2"x4" (38x89) SLATS. 2"x6" (38x140) AS REQUIRED FILL ONE SIDE OF STUD CAVITY. AT LEAST 80% OF ABSORPTIVE MATERIAL PROCESSED FROM ROCK, SLAG OR GLASS, TAPE FILL AND SAND ALL GYPSUM JOINTS.

40A

2 HR. FIREWALL

(ISB-3) WALL TYPE 'B66' & 'B15'

1/2" (12.7) GYPSUM SHEATHING ON EACH SIDE ON 2"x2" (38x38) VERTICAL W/ STRAPPING @ 24" (610) C.O. ON 8" (200) CONC. BLOCK 7/8" SOLID. FILL STRAPPING CAVITY EACH SIDE WITH AT LEAST 90% OF ABSORPTIVE MATERIAL PROCESSED FROM ROCK, SLAG OR GLASS, TAPE FILL & SAND ALL GYPSUM JOINTS. AT UNFINISHED AREAS, EXTERIOR FACE OF CONC. BLOCK TO BE SEALED WITH 2 COATS OF PAINT, GYPSUM SHEATHING TO COMPLY TO C.O. 15 M.S.1.

41

STUCCO WALL CONSTRUCTION (2"x6")

STUCCO FINISH CONFORMING TO O.B.C. SECTION 9.28, AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1/2" (38) C.F.L.F.S. MINIMUM ON APPROVED DRAINAGE MAT ON 1/2" (12.7) DENSGLASS GOLD GYPSUM BOAF. ON STUDS CONFORMING TO O.B.C. (9.23.10.1) & SECTION 1.1. INSULATION APPROVED 6 MIL. POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (REFER TO 35 NOTE AS REQUIRED).

41A

STUCCO WALL CONSTRUCTION (2"x6") W/ CONC. INSUL.

STUCCO FINISH CONFORMING TO O.B.C. SECTION 9.28, AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1/2" (38) C.F.L.F.S. MINIMUM ON APPROVED DRAINAGE MAT ON APPROVED AIRWATER BARRIER. AS PER O.B.C. 9.27.3, ON EXTERIOR TYPE 1/2" (12.7) DENSGLASS GOLD GYPSUM BOAF. FASTENED AS PER MANUFACTURERS SPECIFICATIONS, ON 7/16" EXTERIOR SHEATHING ON STUDS CONFORMING TO O.B.C. (9.23.10.1) & SECTION 1.1. INSULATION, APPROVED 6 MIL. POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (REFER TO 35 NOTE AS REQUIRED).

41B

STUCCO WALL @ GARAGE CONSTRUCTION

STUCCO FINISH CONFORMING TO O.B.C. SECTION 9.28, AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1/2" (38) C.F.L.F.S. MINIMUM ON APPROVED DRAINAGE MAT ON 1/2" (12.7) DENSGLASS GOLD GYPSUM BOAF. CONFORMING TO O.B.C. (9.23.10.1) & SECTION 1.1. 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (REFER TO 35 NOTE AS REQUIRED).
*** FOR DWELLINGS USING CONTIN. INSULATION CONSTRUCTION, PROVIDE APPROVED DRAINAGE MAT ON 7/16" (11) EXTERIOR TYPE SHEATH. OVER PURLINS (AS REQ.) AND STUDS IN LIEU OF 1/2" (38) C.F.L.F.S. MINIMUM ON APPROVED DRAINAGE MAT ON 1/2" (12.7) DENSGLASS GOLD GYPSUM BOAF.

42

UNSUPPORTED FOUNDATION WALLS

(R.15.4.2)

REINFORCING AT STAIRS AND SUNKEN FLOOR AREAS
- 2-20M BARS IN TOP PORTION OF WALL (UP TO 8'-0" OPENING)
- 3-20M BARS IN TOP PORTION OF WALL (8'-0" TO 10'-4" OPENING)
- 4-20M BARS IN TOP PORTION OF WALL (10'-4" TO 15'-0" OPENING)
- BARS SPACED VERTICALLY AT INTERIOR FACE OF WALL @ 8" O.C.
REINFORCING AT BASEMENT WINDOWS
- 2-15M HORIZ. REINFORCING ON THE INSIDE AND OUTSIDE FACE OF THE FOUNDATION WALL BELOW THE WIN. SILL, EXTEND BARS 24" (610) BEYOND THE OPENING, 2-15M VERTICAL REINFORCING ON THE INSIDE AND OUTSIDE FACE OF THE FOUNDATION WALL BELOW THE WIN. SILL, EXTEND BARS 24" (610) BEYOND THE OPENING.
- BARS TO HAVE MIN. 1" (25) CONC. COVER
- BARS TO EXTEND 2'-0" (610) BEYOND BOTH SIDES OF OPENING

43

STUD WALL REINFORCEMENT

PROVIDE STUD WALL REINFORCEMENT IN MAIN BATHROOM CONFORMING TO O.B.C. (9.5.23.11) (REFER TO DETAILS)

44

WINDOW WELLS

WHERE A WINDOW OPENS INTO A WINDOW WELL, A CLEARANCE OF NOT LESS THAN 21" (508) SHALL BE PROVIDED IN FRONT OF THE WINDOW. EVERY WINDOW WELL MUST BE DRAINED TO THE FOOTING LEVEL OR OTHER SUITABLE LOCATION WITH A (100) WEEFING TILE C/W A FILTER CLOTH RAMP AND FILLED WITH CRUSHED STONE, (9.30.1.5) & (9.4.6.3)

44

SLOPED CEILING CONSTRUCTION

(ISB-12) 3.1.1.5, 9.23.4.2)

2"x12" (38x286) ROOF JOISTS @ 16" (406) O.C. MAX. (UNLESS OTHERWISE NOTED) W/ 2"x2" (38x89) PURLINS @ 16" (406) O.C. PERPENDICULAR TO ROOF JOIST (PURLINS NOT REQ. W/ SPRAY FOAM). W/ INSULATION BETWEEN JOIST 6 MIL POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD IN FINISH OR APPROVED EQ. INSULATION VALUE DIRECTLY ABOVE THE INNER SURFACE OF EXTERIOR WALLS SHALL, NOT BE LESS THAN R20 (3.52 RSI).

46

FLAT ROOF/BALCONY CONSTRUCTION

WATERPROOFING MEMBRANE (9.28.11, 9.26.15, 9.26.16) FULLY ADHERED TO (15.9) 18x EXTERIOR GRADE PLYWOOD SHEATHING ON 2"x2" (38x38) PURLINS ANGLED TOWARDS SCUPPER @ (2% MINIMUM LAID PERPENDICULAR TO 2"x4" (38x184) FLOOR JOISTS @ 16" (406) O.C. (UNLESS OTHERWISE NOTED), BUT NOT BE (110) MIN. AWAY FROM WALL. 1/2" (12.7) DENSGLASS FLOOR CONTINGENT TRIM DRIP EDGE TO BE PROVIDED ON OUTSIDE FACE OF CURB. SURFACING TO BE LOCATED 24" (610) MIN. AWAY FROM FLOOR, PREFINISHED ALUMINUM PANEL FOR UNDERSIDE OF SOFFIT (9.23.23). REMOVE CURB WHERE REQ. FOR BALCONY CONSTRUCTION.

46

SEAL FLAT ROOF/BALCONY CONSTRUCTION NOTE, INCLUDE 2"x4" (38x89) PL DECKING W/ 1/4" (6.4) GAPS LAID FLAT PARALLEL TO JOISTS ON 2"x2" (38x38) PL. SLEEPERS @ 12" (305) O.C. LAID FLAT PERPENDICULAR TO JOISTS

BALCONY OVER HEATED SPACE CONDITION

SEAL FLAT ROOF/BALCONY CONSTRUCTION NOTE FOR ASSEMBLY, REFER TO FLOOR FLOOR JOIST & REFER TO HEX NOTE 9 FOR INSULATION AT INTERIOR FINISH

47

BARREL VAULT CONSTRUCTION

CANTILEVERED 2"x4" (38x89) SPACERS LAID FLAT ON 2"x10" (38x235) SFR. #1 ROOF JOIST NAILLED TO BUILT-UP 3"x4" (19) PLYWOOD FLOOR. PREFINISHED BARREL. SPRAY FOAM INSULATION BETWEEN JOISTS W/ GYPSUM BOARD. INTERIOR FIN. (REFER TO DETAILS)

SECTION 1.1. WALL STUDS

• REFER TO THIS CHART FOR STUD SIZE & SPACING AS REQUIRED FOR EXTERIOR WALLS ONLY. REFER TO STEEL & GRADING PLAN OF THIS UNIT FOR CONFIRMATION OF TOP OF FOUNDATION WALL AND ADDITIONAL INFORMATION.

• IF STUD WALL HEIGHT EXCEEDS MAX. UNSUPPORTED HEIGHT, WALL NEEDS TO BE REVIEWED AND APPROVED BY ENGINEER.

SIZE & SPACING OF STUDS: (OBC REFERENCE - TABLE 9.2.3.1.1.)

MIN. STUD SIZE (in mm)	SUPPORTED LOADS [EXTERIOR]				
	ROOF OR w/o ATTIC		ROOF w/ OR w/o ATTIC & 1 FLOOR ATTIC & 2 FLOOR ATTIC & 3 FLOOR		
	MAX. STUD SPACING (in mm) (O.C.)				
	MAX. UNSUPPORTED HT. (ft/m) (ft/m)				
2"x4" (38x89)	24" (610)	16" (405)	12" (305)	12" (305)	N/A
2"x6" (38x140)	9'-10" (3.0)	9'-10" (3.0)	9'-10" (3.0)	9'-10" (3.0)	N/A
2"x8" (38x203)	-	24" (610)	16" (405)	12" (305)	12" (305)
3"x6" (76x140)	-	9'-10" (3.0)	11'-10" (3.6)	5'-11" (1.8)	

SECTION 2.0. GENERAL NOTES

2.1. WINDOWS

1. ACCEPT WHERE A DOOR ON THE SAME FLOOR LEVEL AS THE BEDROOM PROVIDES DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL CONTAINING A BEDROOM TO HAVE AT LEAST ONE OUTSIDE WINDOW W/ MIN. 0.35m² UNOBSTRUCTED OPEN PORTION W/ NO DIMENSION LESS THAN 1'-3" (380). METHOD OF MAINTAINING THE OPENING WITHOUT THE NEED FOR ADDITIONAL SUPPORT, CONFORMING TO 9.3.2.10.

2. WINDOW GUARDS: A GUARD ON A WINDOW WITH A MAXIMUM RESTRICTED OPENING WIDTH OF 4' (1016) IS REQUIRED WHERE THE TOP OF THE WINDOW SILL IS LOCATED LESS THAN 1'-7" (480) ABOVE FIN. FLOOR AND THE DISTANCE FROM THE WINDOW SILL TO THE ADJACENT GRADE IS GREATER THAN 5'-11" (1800). (9.3.2.11). WINDOWS IN EXIT STAIRWAYS ARE REQUIRED TO LESS THAN 2'-11" (800) [600] (1016) OR ALL OTHER BUILDINGS SHALL BE PROTECTED BY GUARDS IN ACCORDANCE WITH NOTE #2 (ABOVE). OR THE WINDOW SHALL BE NON-OPERABLE AND DESIGNED TO WITHSTAND THE SPECIFIED LOADS FOR BALCONY GUARDS AS PROVIDED IN 9.3.2.10.

3. REFER TO TITLE PAGE FOR MAX. W-VALUE REQUIREMENTS

2.2. CEILING HEIGHTS

THE CEILING HEIGHTS OF ROOMS AND SPACES SHALL CONFORM TO TABLE 9.5.3.1.

ROOM OR SPACE	MINIMUM HEIGHTS
LIVING ROOM, DINING ROOM AND KITCHEN	7'-7" OVER 75% OF REQUIRED FLOOR AREA WITH A CLEAR HEIGHT OF 6'-11" AT ANY POINT
BEDROOM	7'-7" OVER 50% OF REQUIRED FLOOR AREA OR 6'-11" OVER ALL OF THE REQUIRED FLOOR AREA.
BASEMENT	6'-11" OVER AT LEAST 75% OF THE BASEMENT AREA EXCEPT THAT UNDER BEAMS AND DUCTS THE CLEARANCE IS PERMITTED TO BE REDUCED TO 6'-5".
BATHROOM, LAUNDRY AREA ABOVE GRADE	6'-11" IN ANY AREA WHERE A PERSON WOULD NORMALLY BE STANDING
FINISHED FLOOR NOT MENTIONED ABOVE	6'-11"
MEZZANINES	6'-11" ABOVE & BELOW FLOOR ASSEMBLY (9.5.3.2)
STORAGE GARAGE	6'-5" (95.3.3)

2.3. MECHANICAL / PLUMBING

1. MECHANICAL VENTILATION IS REQUIRED TO PROVIDE 0.7 AIR CHANGE PER HOUR IF NOT AIR CONDITIONED / 1 PER HOUR IF AIR CONDITIONED AVERAGED OVER 24 HOURS. WHEN A VENTILATION FAN (PRINCIPAL EXHAUST) IS REQUIRED, CONFORM TO 9.5.3.1.1. REFER TO MECHANICAL DRAWINGS.

2. REFER TO HOT WATER TANK MANUFACTURER SPECS. CONFORM TO OBC 9.3.1.6.

3. REFER TO TITLE PAGE FOR SPACE HEATING EQUIPMENT, HRV AND DOMESTIC HOT WATER HEATER MINIMUM EFFICIENCIES.

4. DRAIN WATER HEAT RECOVERY UTILITY WILL BE INSTALLED CONFORMING TO THE REQUIREMENTS OF SB12 - 3.1.1.12, OF THE O.B.C.

2.4. LUMBER

1. ALL LUMBER SHALL BE SPRUCE No.2 GRADE OR BETTER, UNLESS NOTED OTHERWISE.

2. STUDS SHALL BE STUD GRADE SPRUCE, UNLESS NOTED OTHERWISE.

3. LUMBER EXPOSED TO THE EXTERIOR TO BE SPRUCE NO. 2 GRADE PRESSURE TREATED OR CEDAR, UNLESS NOTED OTHERWISE.

4. ALL LAMINATED VENEER LUMBER (LVL) BEAMS, GROSS TRIDERS, AND METAL HANGER CONNECTIONS SUPPORTING ROOF FRAMING TO BE DESIGNED & CERTIFIED BY A QUALIFIED STRUCTURAL MANUFACTURER.

5. JOIST HANGERS: PROVIDE APPROVED METAL HANGERS FOR ALL JOISTS AND BUILT-UP WOOD MEMBERS INTERSECTING WITH FLUSH BUILT-UP WOOD MEMBERS.

6. WOOD FRAMING NOT TREATED WITH A WOOD PRESERVATIVE, IN CONTACT WITH CONCRETE, SHALL BE SEPARATED FROM THE CONC. BY AT LEAST 1/2" POLYETHYLENE FILM. ALSO POLYETHYLENE FILM OVER OTHER DAMPROOFING MATERIAL, EXCEPT WHERE THE WOOD MEMBER IS AT LEAST 6" (152) ABOVE THE GROUND.

2.5. STEEL (9.2.3.43)

1. STRUCTURAL STEEL SHALL CONFORM TO CAN/CSA-G40-21 GRADE 350W, HOLLOW SECTION STEEL SHALL CONFORM TO CAN/CSA-G40-21 GRADE 350W CLASS 35.

2. REINFORCING STEEL SHALL CONFORM TO CSA-S308-18M GRADE 400R.

2.6. FLAT ARCHES

1. FOR 8'-0" (2400) CEILINGS, FLAT ARCHES SHALL BE 6'-0" (2080) A.F.F.

2. FOR 9'-0" (2740) CEILINGS, FLAT ARCHES SHALL BE 7'-0" (2400) A.F.F.

3. FOR 10'-0" (3040) CEILINGS, FLAT ARCHES SHALL BE 8'-0" (2600) A.F.F.

2.7. ROOF OVERHANGS

1. ALL ROOF OVERHANGS SHALL BE 1'-0" (305), UNLESS NOTED OTHERWISE.

2.8. FLASHING (9.2.0.3, 9.2.6.4 & 9.2.7.3)

1. FLASHING MATERIALS & INSTALLATION SHALL CONFORM TO O.B.C.

2.9. GRADING

1. ALL GRADING SHALL BE LOCATED OR THE BUILDING SITE GRADED SO THE WATER WILL NOT ACCUMULATE AT OR NEAR THE BUILDING AND WILL NOT ADVERSELY AFFECT ADJACENT PROPERTIES. CONFORM TO 9.14.6.

2.10. ULC SPECIFIED ASSEMBLIES

ALL REQUIRED INDIVIDUAL COMPONENTS THAT FORM PART OF ANY ULC LISTED ASSEMBLY SPECIFIED WITHIN THESE DRAWINGS, CANNOT BE ALTERED OR SUBSTITUTED FOR ANY OTHER MATERIAL, PRODUCT OR SPECIFIED MANUFACTURER THAT IS IDENTICAL TO THAT SPECIFIED ULC LISTING. THERE SHALL BE NO DEVIATIONS UNDER ANY CIRCUMSTANCES IN ANY ULC LISTED ASSEMBLY IDENTIFIED IN THESE DRAWINGS.

SECTION 3.0. LEGEND

3.1. WOOD LINTELS AND BUILT-UP WOOD

(DIVISION B PART 9, TABLES A10 TO A10 AND A12, A15, & A16)

FORMING PART OF SENTENCE 9.2.3.42 (2), 9.2.3.42 (4), 9.2.3.12.3 (1), (3), 9.2.3.13.8 (2), 9.3.7.3.

	2"x8" SPRUCE #12	2"x10" SPRUCE #2	2"x12" SPRUCE #2
L1	2"x8" (238x184)	L3 2"x10" (238x235)	L5 2"x12" (238x286)
B1	3"x8" (63x184)	B3 3"x10" (338x235)	B5 3"x12" (338x286)
B2	4"x8" (438x184)	B4 4"x10" (438x235)	B6 4"x12" (438x286)
B7	5"x8" (538x184)	B8 5"x10" (538x235)	B9 5"x12" (538x286)

ENGINEERED LUMBER SCHEDULE - GRADE 2.0E (UNLESS NOTE OTHERWISE)

	1 3/4" x 1 1/2" LVL	1 3/4" x 1 7/8" LVL	1 3/4" x 1 1/4" LVL
UL1	1-1 3/4x9 1/2" LVL	UL3 1-1 3/4x11 7/8" LVL	UL5 1-1 3/4x14 1/4" LVL
UL2	1 3/4" x 9 1/2" LVL	UL4 1-1 3/4x11 7/8" LVL	UL6 1-1 3/4x14 1/4" LVL
UL3	1 3/4" x 9 1/2" LVL	UL7 1-1 3/4x11 7/8" LVL	UL8 1-1 3/4x14 1/4" LVL
UL4	1 3/4" x 9 1/2" LVL	UL9 1-1 3/4x11 7/8" LVL	UL13 1-1 3/4x14 1/4" LVL

3.2. STEEL LINTELS SUPPORTING MASONRY VENEER

(DIVISION B PART 9, TABLE 9.2.0.5.2.5)

FORMING PART OF SENTENCE 9.2.0.5.2.2 (2), 9.2.0.5.2.3 (2)

CODE	SIZE	SPACING	STONE
L7	3 1/2" x 3 1/2" x 1 1/4" (89 x 89 x 6.4)	8'-1" (2.47m)	7-6" (2.30)
L8	4 x 3 1/2" x 1 1/4" (102 x 89 x 6.4)	8'-9" (2.66m)	8'-1" (2.48)
L9	4 7/8" x 3 1/2" x 1 1/4" (127 x 89 x 7.9)	10'-10" (3.31m)	10'-1" (3.03)
L10	4 7/8" x 3 1/2" x 3/8" (127 x 89 x 11)	11'-5" (3.48m)	10'-7" (3.24)
L11	5 7/8" x 3 1/2" x 3/8" (152 x 89 x 11)	12'-6" (3.82m)	11'-7" (3.56)

3.3. DOOR SCHEDULE

CONFORMING TO SECTIONS 9.5.11, 9.6, 9.7.2.1, 9.7.5.2, & 9.10.13.10

1	EXTERIOR	2'-8" x 6'-8" x 1'-3/4" (815 x 2030 x 45)	INSULATED MIN. R4 (RSI 0.7)
1A	EXTERIOR	2'-10" x 6'-8" x 1'-3/4" (865 x 2030 x 45)	INSULATED MIN. R4 (RSI 0.7)
1B	EXTERIOR	3'-0" x 6'-8" x 1'-3/4" (915 x 2030 x 45)	INSULATED MIN. R4 (RSI 0.7)
1C	EXTERIOR	2'-8" x 6'-8" x 1'-3/4" (760 x 2030 x 45)	INSULATED MIN. R4 (RSI 0.7)
1D	EXTERIOR	2'-8" x 6'-8" x 1'-3/4" (815 x 2030 x 45)	INS. MIN. R4 (RSI 0.7) (SEE HEX NOTE 20)
1E	EXTERIOR	3'-0" x 6'-0" x 1'-3/4" (915 x 2440 x 45)	INSULATED MIN. R4 (RSI 0.7)
1F	EXTERIOR	2'-8" x 6'-0" x 1'-3/4" (815 x 2440 x 45)	INSULATED MIN. R4 (RSI 0.7)
2A	EXTERIOR	2'-8" x 6'-8" x 1'-3/4" (815 x 2030 x 45) 20 MIN. F.R.R. DOOR FRAME WITH APP. SELF CLOSING DEVICE	
2	INTERIOR	2'-8" x 6'-8" x 1'-3/8" (815 x 2030 x 35)	PROVIDE 6'-0" HIGH INTERIOR DOORS FOR ALL 10' CEILING CONDITIONS
3	INTERIOR	2'-8" x 6'-8" x 1'-3/8" (815 x 2030 x 35)	
3A	INTERIOR	2'-4" x 6'-8" x 1'-3/8" (710 x 2030 x 35)	
4	INTERIOR	2'-4" x 6'-8" x 1'-3/8" (610 x 2030 x 35)	
4A	INTERIOR	2'-2" x 6'-8" x 1'-3/8" (660 x 2030 x 35)	
5	INTERIOR	1'-6" x 6'-8" x 1'-3/8" (460 x 2030 x 35)	

3.4. ACRONYMS

AF	ABOVE FINISHED FLOOR	JST	JOIST
BFM	BEAM BY FLOOR MANUFACTURER	LIN	LINEN CLOSET
BG	FIXED GLASS W/ BLACK BACKING	LVL	LAMINATED VENEER LUMBER
BM	BEAM	OTBA	OPEN TO BELOW/ABOVE
BBM	BEAM BY ROOF MANUFACTURER	PL	POINT LOAD
CRF	CONVENTIONAL ROOF FRAMING	PLT	PLATE
CW	COMPLETE WITH	PT	PRESSURE TREATED
DJ/TJ	DOUBLE JOIST/ TRIPLE JOIST	PTD	PAINTED
DO	DO OVER	PWD	POWDER ROOM
DRP	DROPPED	RWL	RAIN WATER LEADER
ENG	ENGINEERED	SB	SOLID BEARING WOOD POST
EST	ESTIMATED	SBFA	SB FROM ABOVE
FA	FLAT ARCH	SJ	SINGLE JOIST
FD	FLOOR DRAIN	SPR	SPRIGGLE
FG	FIXED GLASS	STL	STEEL
FL	FLUSH	T/O	TO TOP OF
FLR	FLOOR	TY	TYPICAL
GT	GIRDER TRUSS	U/S	UNDERSIDE
HB	HOSE BIB	WD	WOOD
HRV	HEAT RETURN VENTILATION UNIT	WC	WALK IN CLOSET
HWT	HOT WATER TANK	WP	WEATHER PROOF

3.5. SYMBOLS

ALL ELECTRICAL FACILITIES SHALL BE INSTALLED IN ACCORDANCE WITH SECTION 9.34.

	CLASS 'B' VENT		EXHAUST VENT
	DUPLEX OUTLET (12" HIGH)		DUPLEX OUTLET (HEIGHT AS NOTED A.F.F.)
	HEAVY DUTY OUTLET		SWITCH (2/3/4 WAY)
	POT LIGHT		LIGHT FIXTURE (CEILING MOUNTED)
	LIGHT FIXTURE (PULL CHAIN)		LIGHT FIXTURE (WALL MOUNTED)
	CABLE T.V. JACK		TELEPHONE JACK
	CENTRAL VACUUM OUTLET		CHANDELIER (CEILING MOUNTED)

■ SMOKE ALARM (9.10.19.1)

PROVIDE ONE PER FLOOR, NEAR THE STAIRS CONNECTING THE FLOOR LEVEL. ALARMS ARE TO BE INSTALLED IN EACH SLEEPING ROOM AND IN A LOCATION BETWEEN SLEEPING ROOMS AND CONNECTING HALLWAYS AND WIRED TO BE INTERCONNECTED TO ACTIVATE ALL ALARMS IF ONE SOUNDS. ALARMS ARE TO BE CONNECTED TO AN ELECTRICAL CIRCUIT AND WITH A BATTERY BACKUP. ALARM SIGNAL SHALL MEET TEMPORAL SOUND PATTERNS MIN. ALARMS SHALL HAVE A VISUAL SIGNALLING COMPONENT AS PER THE NATIONAL FIRE ALARM AND SIGNALING CODE 72".

◆ CMD CARBON MONOXIDE ALARM (9.33.4)

** CHECK LOCAL BY-LAWS FOR REQUIREMENTS ** A CARBON MONOXIDE ALARM(S) CONFORMING TO CAN/CSA-C-19 SHALL BE INSTALLED ON OR NEAR THE CEILING IN EACH DWELLING UNIT ADJACENT TO EACH SLEEPING AREA. (CARBON MONOXIDE ALARMS) SHALL BE PERMANENTLY WIRED WITH NO DISCONNECT SWITCH, WITH AN ALARM THAT IS AUDIBLE WITHIN SLEEPING ROOMS WHEN THE INTERVENING DOORS ARE CLOSED.

□ SB SOLID BEARING (BUILT-UP WOOD COLUMNS AND STUD POSTS)

THE WIDTH OF A WOOD COLUMN SHALL NOT BE LESS THAN THE WIDTH OF SUPPORTED MEMBER. BUILT-UP WOOD COLUMNS SHALL BE NAILLED TOGETHER WITH NOT LESS THAN 3" (76) NAILS SPACED NOT MORE THAN 11 3/4" (300) O.C. THE NUMBER OF STUDS IN A WALL DIRECTLY BELOW A GIRDER TRUSS OR ROOF BEAM SHALL CONFORM TO TABLES A-34 TO A-37. (8.17.4, 9.23.10.7.)

TWO STOREY VOLUME SPACE. SEE CONSTRUCTION NOTE 39.

VARYING PLATES, BUILT-UP FLOORS, BEARING WALLS, ICE & WATER SHIELD

EXPOSED BUILDING FACE - O.B.C. 9.10.14, 9.9 & 9.10.15. REFER TO HEX NOTE 35, & DETAILS FOR TYPE AND SPECIFICATIONS.

1 HR. PARTY WALL
REFER TO HEX NOTE 40.

2 HR. FIRE WALL
REFER TO HEX NOTE 40A.

SECTION 4.0. CLIMATIC DATA

DESIGN SNOW LOAD (9.4.2.2.):1.01 kPa

WIND PRESSURE (q50) (SB-1.2.):0.44 kPa

STAMP

CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB. REPORT ANY DISCREPANCIES TO HUNT DESIGN ASSOCIATES INC. (H.D.A.) BEFORE PROCEEDING WITH THE WORK. ALL THE DRAWINGS & SPECIFICATIONS ARE THE INSTRUMENTS OF SERVICE AND ARE THE PROPERTY OF H.D.A. ALL CONSTRUCTION TO ADHERE TO THESE PLANS AND SPECIFICATIONS AND TO CONFORM TO THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. THESE REQUIREMENTS ARE TO BE TAKEN AS MINIMUM SPECIFICATIONS. ONT. REG. 2832.12. CONSTRUCTION NOTE REVISION DATE: DECEMBER 15, 2021

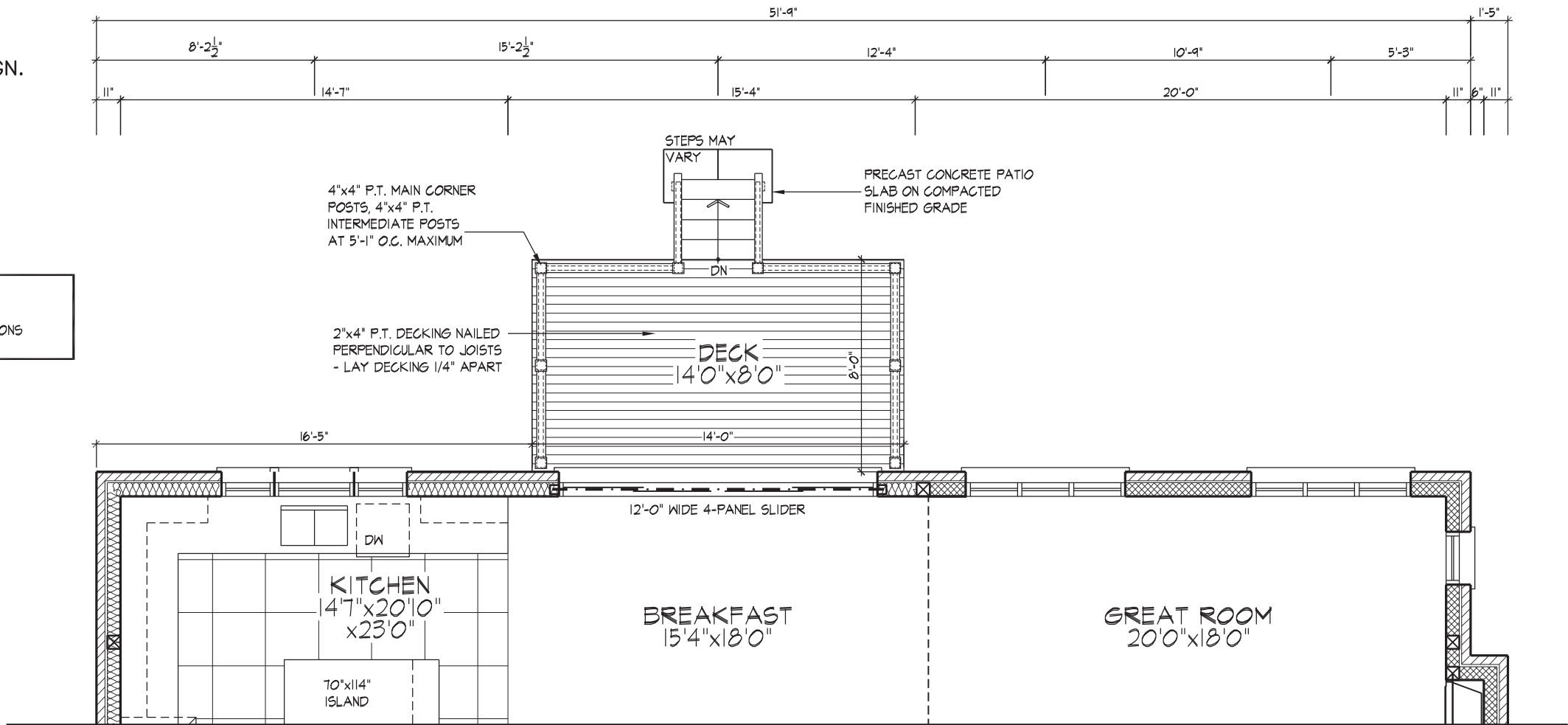
CONSTRUCTION NO. 221081
THE QUEENSLAND-UNIT 6
REV.2022.



100 COMMERCE VALLEY DR. W.
THORNHILL, ONTARIO CANADA L3T 0A1
TEL: 1-905-882-4211 FAX: 1-905-822-0055 WWW.WSPGROUP.CA

FOR STRUCTURAL ONLY. EXCLUDING
ENGINEERED ROOF TRUSS, FLOOR
JOIST, AND FLOOR LVL BEAM DESIGN.

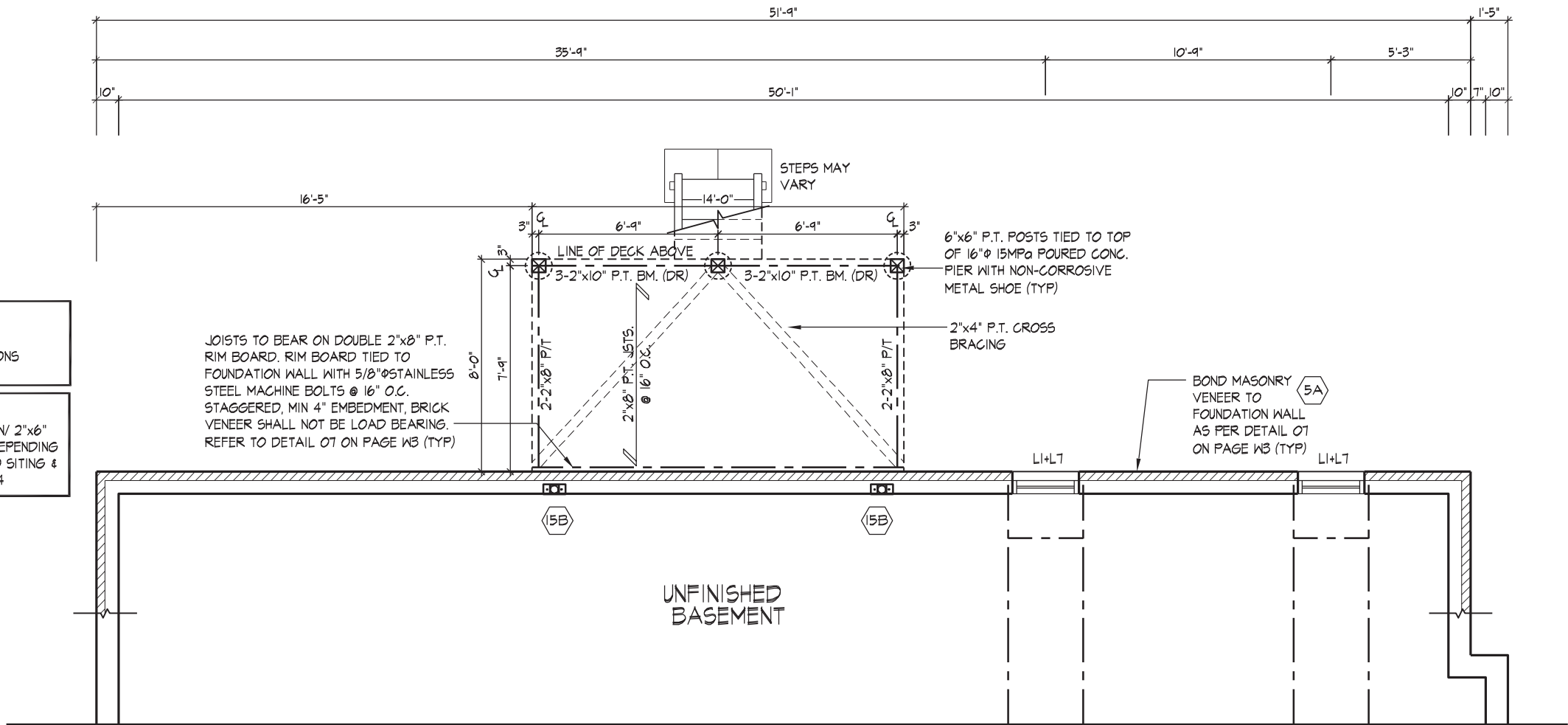
NOTE:
REFER TO STANDARD FLOOR
PLANS FOR COMPLETE DIMENSIONS
& STRUCTURAL INFORMATION



PART. BASEMENT PLAN ELEV. 'A', 'B' & 'C' - W.O.D. COND.

NOTE:
REFER TO STANDARD FLOOR
PLANS FOR COMPLETE DIMENSIONS
& STRUCTURAL INFORMATION

NOTE:
10" CONC. FOUNDATION WALL W/ 2"x6"
KNEEWALL MAY BE REQUIRED DEPENDING
ON BACKFILL HEIGHT. REFER TO SITING &
DETAIL 05 ON PAGE 114



PART. BASEMENT PLAN ELEV. 'A', 'B' & 'C' - W.O.D. COND.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Vaughan.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: AUG 04, 2022
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.



PART. REAR ELEVATION 'A', 'B' & 'C' - W.O.D. CONDITION

WINDOW SIZES FOR W.O.D. CONDITIONS:
WINDOWS TO BE LOCATED WITHIN JOIST
SPACE. IF GRADE PERMITS, TOP OF
WINDOW TO BE 1'-10" A.F.F.
REFER TO FRONT ELEVATION & STANDARD
REAR FOR TYPICAL NOTES & INFO.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THE DESIGN AND CONSTRUCTION OF THE BUILDING AND THE QUALITY OF THE WORKMANSHIP AND THE COMPLETION OF THE PROJECT. THE UNDERSIGNED IS NOT RESPONSIBLE FOR THE DESIGN OR CONSTRUCTION OF ANY OTHER BUILDING OR STRUCTURE. THE UNDERSIGNED IS NOT RESPONSIBLE FOR THE DESIGN OR CONSTRUCTION OF ANY OTHER BUILDING OR STRUCTURE. THE UNDERSIGNED IS NOT RESPONSIBLE FOR THE DESIGN OR CONSTRUCTION OF ANY OTHER BUILDING OR STRUCTURE.

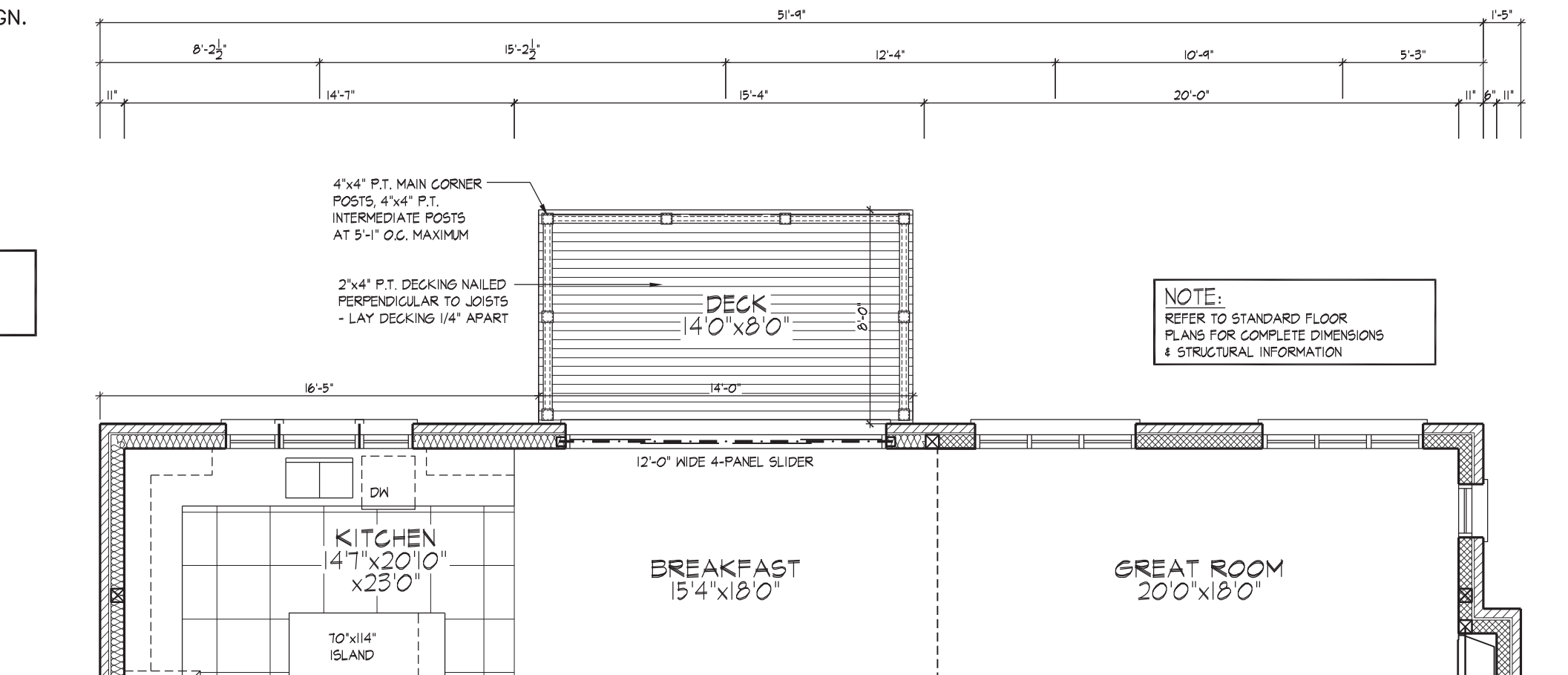
DESIGN ASSOCIATES INC.
PINE VALLEY-PHASE2, VAUGHAN ONT.
GOLDPARK HOMES - 221081 THE QUEENSLAND-UNIT 6001
8966 Woodbine Ave. Markham, ON L3R 0J7 T 905.727.9133 F 905.727.7282
REV/2022.08.02



101 COMMERCE VALLEY DR. W.
THORNHILL, ONTARIO CANADA L3T 0A1
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FOR STRUCTURAL ONLY. EXCLUDING
ENGINEERED ROOF TRUSS, FLOOR
JOIST, AND FLOOR LVL BEAM DESIGN.

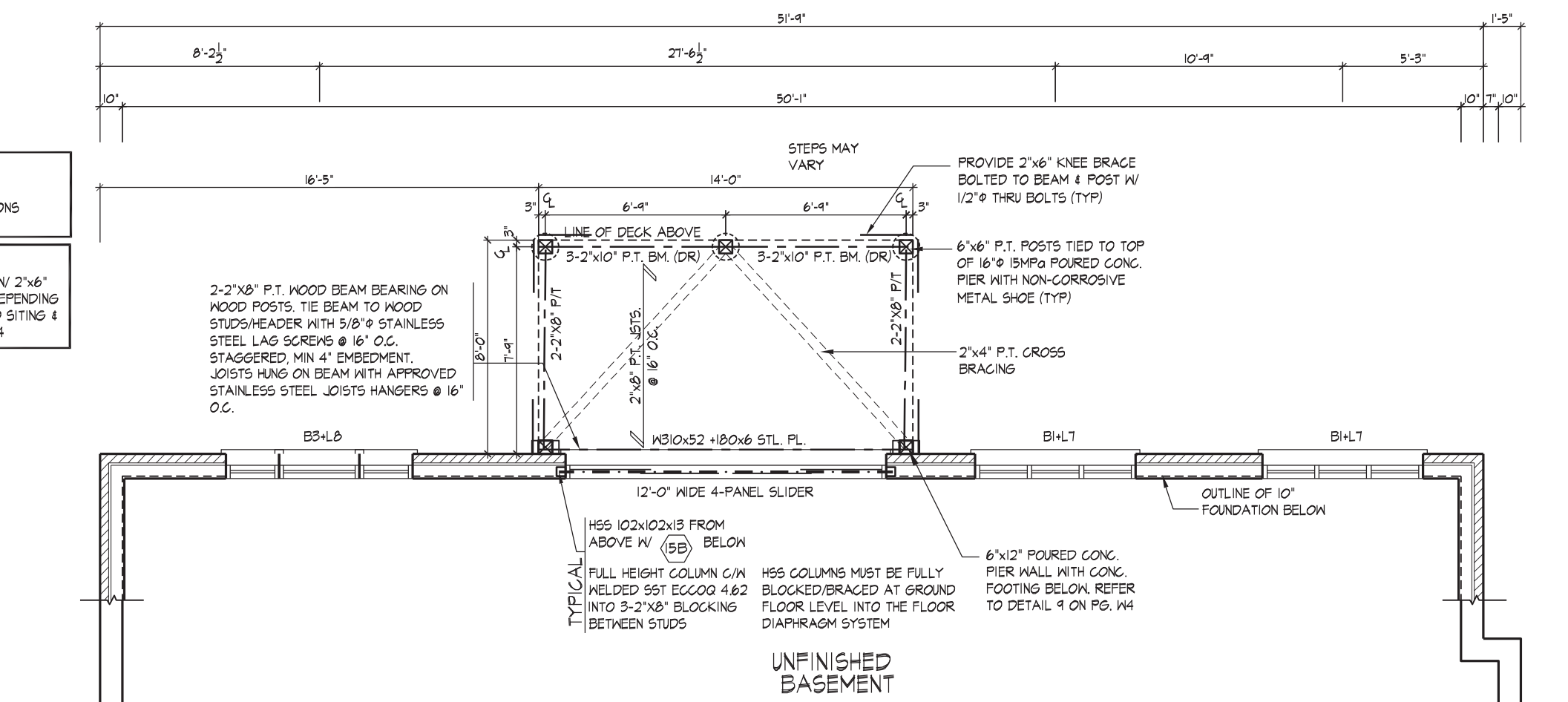
NOTE:
REFER TO STANDARD FLOOR
PLANS FOR COMPLETE DIMENSIONS
& STRUCTURAL INFORMATION



PART. GROUND FLOOR PLAN ELEV. 'A', 'B' & 'C' - W.O.B. COND.

NOTE:
REFER TO STANDARD FLOOR
PLANS FOR COMPLETE DIMENSIONS
& STRUCTURAL INFORMATION

NOTE:
10" CONC. FOUNDATION WALL W/ 2"x6"
KNEEWALL MAY BE REQUIRED DEPENDING
ON BACKFILL HEIGHT. REFER TO SITING &
DETAIL 05 ON PAGE W4



PART. BASEMENT PLAN ELEV. 'A', 'B' & 'C' - W.O.B. COND.



PART. REAR ELEV. 'A', 'B' & 'C' - W.O.B. COND.

REFER TO STANDARD ELEVATION FOR
TYPICAL NOTES & INFO.

WINDOW SIZES FOR W.O.B. CONDITIONS:
- W.O.B. = MATCH WIDTH OF WINDOW
ABOVE AND WINDOWS TO BE 56" DEEP.
TOP OF WINDOW TO BE @ 1'-10" A.F.F.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (setting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: [Signature]
DATE: AUG 04, 2022

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THE DESIGN AND CONSTRUCTION OF THE ABOVE DESCRIBED PROJECT. THE DESIGNER HAS VERIFIED THAT THE CALCULATIONS AND MEETS THE REQUIREMENTS SET IN THE DIVISION'S BUILDING CODE. THE DESIGNER HAS VERIFIED THAT THE DESIGN MEETS THE REQUIREMENTS SET IN THE DIVISION'S BUILDING CODE. THE DESIGNER HAS VERIFIED THAT THE DESIGN MEETS THE REQUIREMENTS SET IN THE DIVISION'S BUILDING CODE.

DESIGNER'S INFORMATION
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EMAIL: info@hunt-design.com
WEBSITE: www.hunt-design.com

DATE: 2022.08.02
SCALE: 3/16"=1'-0"
SHEET: 221081WS6001
WALK OUT BASEMENT CONDITION
PINE VALLEY-PHASE2, VAUGHAN ONT.
GOLDPARK HOMES - 221081 - THE QUEENSLAND-UNIT 6001
REV: 2022.08.02

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