ELEVATION 'A'

ELEVATION 'B'

ELEVATION 'C'

THE RIVERVIEW - 5013

SB-12 ENERGY EFFICIENCY DESIGN MATRIX

PRESCRIPTIVE COMPLIANCE — SB-12 (SECTION 3.1.1) TABLE 3.1.1.2.A

PACKAGE A1

SPACE HEATING FUEL: ☒ GAS ☐ OIL ☐ ELECTRIC ☐ PROPANE ☐ EARTH ☐ SOLID FUEL

BUILDING COMPONENT	REQUIRED	PROPOSED
INSULATION RSI (R) VALUE		
CEILING W/ ATTIC SPACE	10.56 (R60)	10.56 (R60)
CEILING W/O ATTIC SPACE	5.46 (R31)	5.46 (R31)
EXPOSED FLOOR	5.46 (R31)	5.46 (R31)
WALLS ABOVE GRADE	3.87 (R22)	3.87 (R22)
BASEMENT WALLS * PROPOSED VALUES MAY BE SUBSTITUTED IN 2.11 + 1.7(ci) (R12 + R10ci)	3.52 ci (R20 ci) *	3.52 ci (R20 ci) *
BELOW GRADE SLAB ENTIRE SURFACE > 600mm BELOW GRADE	-	-
EDGE OF BELOW GRADE SLAB ≤ 600mm BELOW GRADE	1.76 (R10)	1.76 (R10)
HEATED SLAB OR SLAB ≤ 600mm BELOW GRADE	1.76 (R10)	1.76 (R10)
WINDOWS & DOORS		
WINDOWS/SLIDING GLASS DOORS (MAX U-VALUE)	1.6	1.6
SKYLIGHTS (MAX. U-VALUE)	2.8	2.8
APPLIANCE EFFICIENCY		
SPACE HEATING EQUIP. (AFUE%)	96%	96%
HRV EFFICIENCY (%)	75%	75%
DHW HEATER (EF)	0.8	0.8

1 - TITLE PAGE
2 - BASEMENT PLAN, EL. 'A'
3 - GROUND FLOOR PLAN, EL. 'A'
4 - SECOND FLOOR PLAN, EL. 'A'
5 - SECOND FLOOR PLAN W/O. LOFT, EL. 'A'
6 - OPT. 5 BEDROOM SECOND FLOOR PLAN, EL. 'A'
7 - OPT. 5 BEDROOM SECOND FLOOR PLAN W/O. LOFT, EL. 'A'
8 - PARTIAL FLOOR PLANS, EL. 'B'
9 - PARTIAL SECOND FLOOR PLANS W/O LOFT, EL. 'B'
10 - PART. OPT. 5-BDRM. SECOND FLOOR PLANS, EL. 'B'
11 - PART. OPT. 5-BDRM. SECOND FLOOR PLANS W/O. LOFT, EL. 'B'
12 - PARTIAL FLOOR PLANS, EL. 'C'
13 - PART. OPT. 5 BEDROOM SECOND FLOOR PLAN, EL. 'C'
14 - FRONT ELEVATION 'A'
15 - LEFT ELEVATION 'A'
16 - RIGHT ELEVATION 'A'
17 - REAR ELEVATION 'A'
18 - FRONT ELEVATION 'B'
19 - LEFT ELEVATION 'B'
20 - RIGHT ELEVATION 'B'
21 - REAR ELEVATION 'B'
22 - FRONT ELEVATION 'C'
23 - LEFT ELEVATION 'C'
24 - RIGHT ELEVATION 'C'
25 - REAR ELEVATION 'C'
26 - CROSS SECTION 'A-A'
27 - CONSTRUCTION NOTES
W1 - DECK CONDITIONS
W2 - DECK CONDITIONS

AREA CALCULATIONS	EL. 'A' STD.OPT.	EL. 'A' STD.OPT.W/ELEV.	EL. 'A' W/ LOGGIA	EL. 'B' STD. PLAN	EL. 'B' STD.OPT.W/ELEV.	EL. 'B' W/ LOGGIA	EL. 'C' STD. PLAN	EL. 'C' STD.OPT.W/ELEV.	EL. 'C' W/ LOGGIA
GROUND FLOOR AREA	2106 sq. ft.	2106 sq. ft.	2106 sq. ft.	2122 sq. ft.	2122 sq. ft.	2122 sq. ft.	2108 sq. ft.	2108 sq. ft.	2108 sq. ft.
SECOND FLOOR AREA	2740 sq. ft.	2740 sq. ft.	2740 sq. ft.	2778 sq. ft.	2778 sq. ft.	2778 sq. ft.	2783 sq. ft.	2783 sq. ft.	2783 sq. ft.
SUBTOTAL	4846 sq. ft.	4846 sq. ft.	4846 sq. ft.	4900 sq. ft.	4900 sq. ft.	4900 sq. ft.	4891 sq. ft.	4891 sq. ft.	4891 sq. ft.
DEDUCT ALL OPEN AREAS	399 sq. ft.	429 sq. ft.	399 sq. ft.	399 sq. ft.	429 sq. ft.	399 sq. ft.	389 sq. ft.	429 sq. ft.	389 sq. ft.
TOTAL NET AREA	4447 sq. ft. (413.14 sq. m.)	4417 sq. ft. (410.35 sq. m.)	4447 sq. ft. (413.14 sq. m.)	4501 sq. ft. (418.16 sq. m.)	4471 sq. ft. (415.37 sq. m.)	4501 sq. ft. (418.16 sq. m.)	4502 sq. ft. (418.25 sq. m.)	4472 sq. ft. (415.46 sq. m.)	4502 sq. ft. (418.25 sq. m.)
THIRDED BASEMENT AREA	198 sq. ft.	198 sq. ft.	198 sq. ft.	198 sq. ft.	198 sq. ft.	198 sq. ft.	198 sq. ft.	198 sq. ft.	198 sq. ft.
COVERAGE	2786 sq. ft.	2786 sq. ft.	2786 sq. ft.	2861 sq. ft.	2861 sq. ft.	2861 sq. ft.	2787 sq. ft.	2787 sq. ft.	2787 sq. ft.
WITHOUT PORCH	(258.83 sq. m.)	(258.83 sq. m.)	(258.83 sq. m.)	(265.22 sq. m.)	(265.22 sq. m.)	(265.22 sq. m.)	(258.92 sq. m.)	(258.92 sq. m.)	(258.92 sq. m.)
COVERAGE W/ PORCH	3097 sq. ft. (287.72 sq. m.)	3097 sq. ft. (287.72 sq. m.)	3348 sq. ft. (311.04 sq. m.)	3122 sq. ft. (290.24 sq. m.)	3122 sq. ft. (290.24 sq. m.)	3375 sq. ft. (313.55 sq. m.)	3107 sq. ft. (288.65 sq. m.)	3107 sq. ft. (288.65 sq. m.)	3348 sq. ft. (311.05 sq. m.)

WINDOW / WALL AREA CALCULATIONS	EL. 'A' STD.-PLAN	EL. 'A' STD.-WOD	EL. 'A' STD.-LOD	EL. 'A' STD.-WOB	EL. 'A' OPT.-BEDRM	EL. 'A' OPT.-WOD	EL. 'A' OPT.-LOD	EL. 'A' OPT.-WOB
GROSS WALL AREA	4650 sq. ft. (431.92 sq. m.)	4533 sq. ft. (421.13 sq. m.)	4592 sq. ft. (426.61 sq. m.)	4483 sq. ft. (416.49 sq. m.)	4650 sq. ft. (431.92 sq. m.)	4534 sq. ft. (421.22 sq. m.)	4592 sq. ft. (426.61 sq. m.)	4483 sq. ft. (416.49 sq. m.)
GROSS WINDOW AREA INCL. GLASS DOORS & SKYLIGHTS	671 sq. ft. (62.34 sq. m.)	674 sq. ft. (62.62 sq. m.)	684 sq. ft. (63.55 sq. m.)	746 sq. ft. (69.31 sq. m.)	679 sq. ft. (63.08 sq. m.)	682 sq. ft. (63.36 sq. m.)	692 sq. ft. (64.26 sq. m.)	754 sq. ft. (70.05 sq. m.)
TOTAL WINDOW %	15.08 %	14.87 %	14.90 %	16.64 %	15.26 %	15.04 %	15.07 %	16.10 %

WINDOW / WALL AREA CALCULATIONS	EL. 'B' STD. PLAN	EL. 'B' STD. - WOD	EL. 'B' STD.-LOD	EL. 'B' STD.-WOB	EL. 'B' OPT. BEDRM	EL. 'B' OPT.-WOD	EL. 'B' OPT.-LOD	EL. 'B' OPT.-WOB
GROSS WALL AREA	4462 sq. ft. (414.38 sq. m.)	4365 sq. ft. (405.10 sq. m.)	4624 sq. ft. (429.50 sq. m.)	4715 sq. ft. (438.94 sq. m.)	4462 sq. ft. (414.39 sq. m.)	4366 sq. ft. (424.10 sq. m.)	4624 sq. ft. (429.50 sq. m.)	4715 sq. ft. (438.94 sq. m.)
GROSS WINDOW AREA INCL. GLASS DOORS & SKYLIGHTS	723 sq. ft. (67.17 sq. m.)	726 sq. ft. (67.45 sq. m.)	736 sq. ft. (68.38 sq. m.)	798 sq. ft. (74.14 sq. m.)	731 sq. ft. (67.91 sq. m.)	734 sq. ft. (68.19 sq. m.)	744 sq. ft. (69.12 sq. m.)	806 sq. ft. (74.85 sq. m.)
TOTAL WINDOW %	16.13 %	15.90 %	15.92 %	16.92 %	16.31 %	16.08 %	16.09 %	17.09 %

WINDOW / WALL AREA CALCULATIONS	EL. 'C' STD. PLAN	EL. 'C' STD. - WOD	EL. 'C' STD.-LOD	EL. 'C' STD.-WOB	EL. 'C' OPT.-BEDRM	EL. 'C' OPT.-WOD	EL. 'C' OPT.-LOD	EL. 'C' OPT.-WOB
GROSS WALL AREA	4615 sq. ft. (428.75 sq. m.)	4668 sq. ft. (433.68 sq. m.)	4618 sq. ft. (429.03 sq. m.)	4848 sq. ft. (450.28 sq. m.)	4618 sq. ft. (429.03 sq. m.)	4668 sq. ft. (433.68 sq. m.)	4757 sq. ft. (441.94 sq. m.)	4848 sq. ft. (450.28 sq. m.)
GROSS WINDOW AREA INCL. GLASS DOORS & SKYLIGHTS	764 sq. ft. (70.96 sq. m.)	767 sq. ft. (71.24 sq. m.)	764 sq. ft. (70.96 sq. m.)	839 sq. ft. (77.95 sq. m.)	772 sq. ft. (71.72 sq. m.)	775 sq. ft. (72.00 sq. m.)	785 sq. ft. (72.93 sq. m.)	847 sq. ft. (78.69 sq. m.)
TOTAL WINDOW %	16.55 %	16.33 %	16.54 %	17.31 %	16.72 %	16.60 %	16.50 %	17.47 %

GOLDPARK WORTH MORE

PINE VALLEY FOREVERGREEN

7. -	-	-
6. -	-	-
5. -	-	-
4. ISSUED FOR PERMIT	-	-
3. REVISED PER ENG. STRUCT. COMMENTS	2022.08.05	WT
2. CO-ORD. W/ FLOOR & TRUSS LAYOUTS	2022.05.19	SP
1. ISSUED FOR CLIENT REVIEW	2022/02/25	WT
REVISIONS	DATE (YYYY/MM/DD)	BY

HUNT DESIGN ASSOCIATES INC.
8996 Woodbine Ave. Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326
www.huntdesign.ca

TITLE PAGE
GOLDPARK HOMES - 221081 **'THE RIVERVIEW' - 5013**
PINE VALLEY PH. 2, VAUGHAN, ON. REV.2022.08.05

DRAWN	CHECKED	DATE	FILE	PLOT SCALE	PROJECT NUMBER	PAGE NUMBER
WT	AW	3/16"=1'-0"	221081WS5013.dwg		1	of 27

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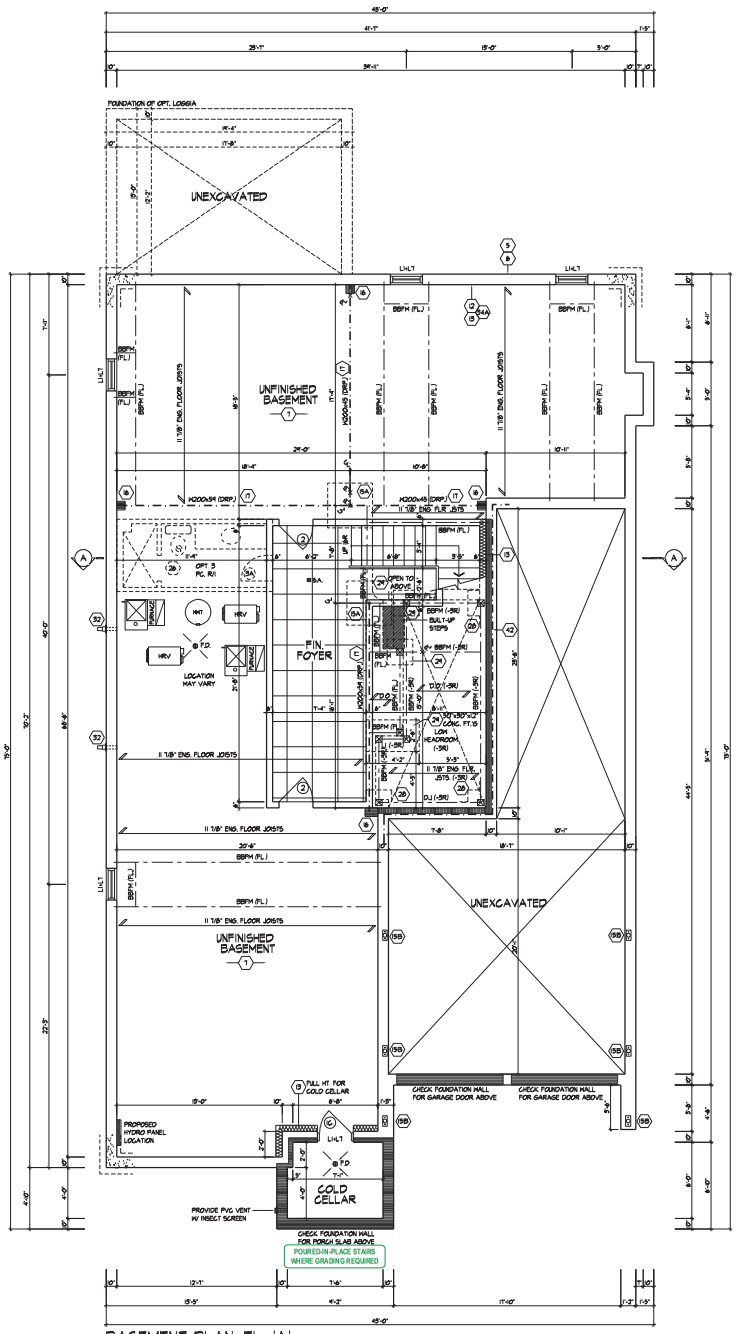
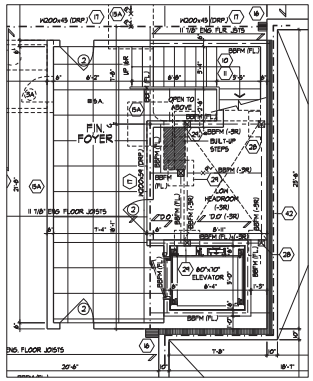


BASEMENT PLAN, EL. 'A'



PARTIAL BASEMENT PLAN, EL. 'A'
W/ OPT. ELEVATOR

STRIP FOOTING ARE DESIGNED BASED ON ASSUMPTION THAT SOIL W/ 125kPa (5.5) BEARING CAPACITY.

PROVIDE SOLID WOOD BLOCKING @ 24" O.C. FOR FIRST JOIST SPAN WHEN PARALLEL W/ EXTERIOR WALL.

SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

REFER TO FLOOR JOIST MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, BLOCKING & STRAPPING REQUIREMENTS, INSTALLATION DETAILS AND HANGER SIZES, & SUBFLOOR THICKNESS

LICENSED PROFESSIONAL ENGINEER
A. KONG
100184942
August 06, 2022
PROVINCE OF ONTARIO

wsp
10 KENNEDY VILLAGE PLACE,
TORONTO, ONTARIO CANADA L3T 0H1
TEL: 1.416.799.1500 | WWW.WSPGLOBAL.COM

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GOLDPARK HOMES - 221081
PINE VALLEY PH. 2, VAUGHAN, ON.

BASEMENT PLAN, EL. 'A'
THE RIVERVIEW - 5013
REV.(2022.08.05)

DATE: AUG. 2022 | SCALE: 3/16"=1'-0" | DRAWN: WT | CHECKED: AW | 8665 Woodbine Ave, Markham, ON L3R 5G1 | T 905.475.2555 F 905.475.7538 | 221081WS0013.dwg

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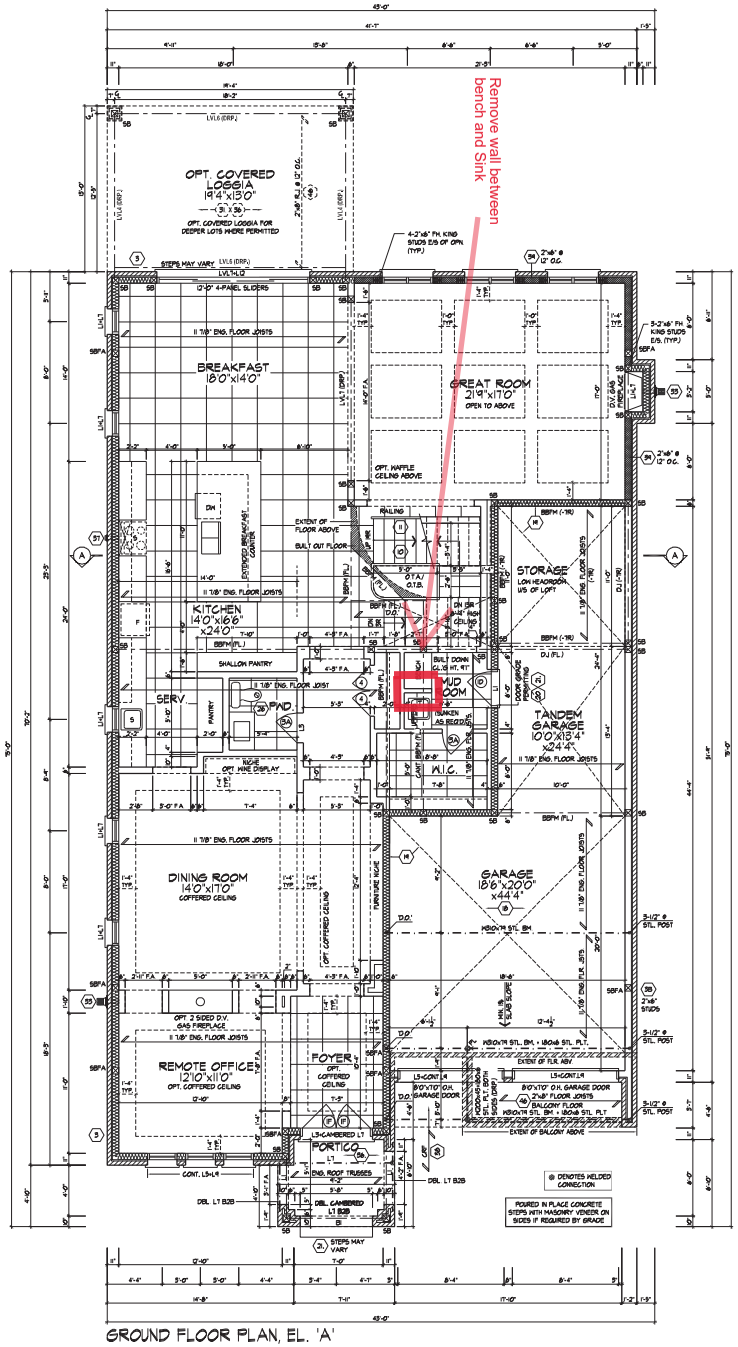
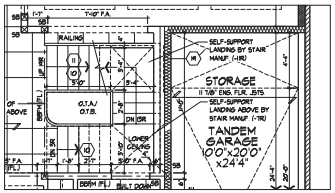
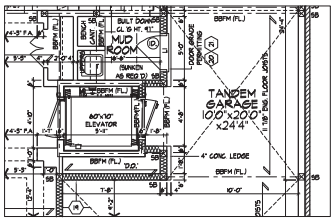


GROUND FLOOR PLAN, EL. 'A'



PART. GROUND FLOOR PLAN, W/ NO LOFT CONDITION, EL. 'A'

SIMILAR FOR EL. 'B' & 'C'



PART. GROUND FLOOR PLAN, W/ OPT. ELEVATOR, EL. 'A'

SIMILAR FOR EL. 'B' & 'C'

PROVIDE SOLID WOOD BLOCKING @ 24" O.C. FOR FIRST JOIST SPAN WHEN PARALLEL W/ EXTERIOR WALL

REFER TO FLOOR JOIST MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, BLOCKING & STRAPPING REQUIREMENTS, INSTALLATION DETAILS AND HANGER SIZES, & SUBFLOOR THICKNESS.

SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

REFER TO ROOF TRUSS MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, INSTALLATION DETAILS AND HANGER SIZES.

MASONRY WALL BRACING

SOLID MASONRY WALL W/ 2 -10M VERT. REBARS (LAP 1'-6" GROUTED INTO BRICK JOINT)

2"x6" SILL PLATE @ TOP ANCHORED TO SOLID MASONRY WALL W/ 1/2" x 12" BOLTS @ 24" O.C. STAGGERED

MASONRY VENEER TIED TO MASONRY VENEER WITH GALV. METAL TIES @ 16" O.C. AND 24" VERTICAL. FILL VOID BETWEEN MASONRY VENEER W/THIES SOLID W/ MORTAR

LICENSED PROFESSIONAL ENGINEER
A. KONG
100184942
August 06, 2022
PROVINCE OF ONTARIO

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APPROVED FOR CONSTRUCTION
DATE: 2022/08/09
This Plan is not to be used for construction purposes until signed by the Building Inspector

FOR CITY OF VAUGHAN USE ONLY

GOLDPARK HOMES - 221081
PINE VALLEY PH. 2, VAUGHAN, ON.
THE RIVERVIEW - 5013
REV.2022.08.05

GROUND FLOOR PLAN, EL. 'A'

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3 of 27

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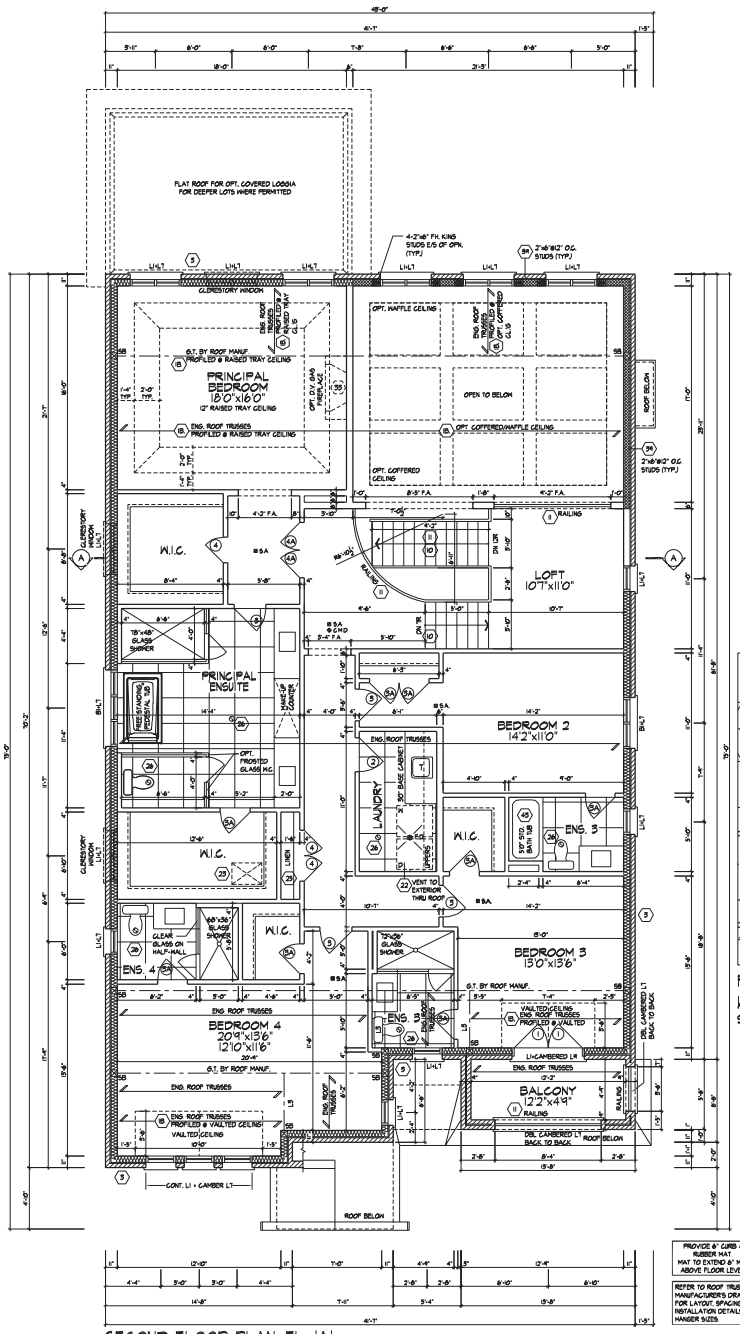
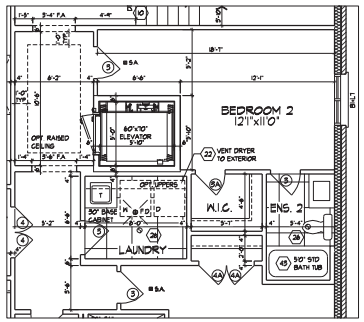


SECOND FLOOR PLAN, EL. 'A'



PART. SECOND FLOOR PLAN, W/ OPT. ELEVATOR, EL. 'A'
SIMILAR FOR EL. 'C'

PROVIDE 6" CURB & RUBBER MAT MAT TO EXTEND 6" MIN ABOVE FLOOR LEVEL

REFER TO ROOF TRUSS MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, INSTALLATION DETAILS AND HANGER SIZES

LICENSED PROFESSIONAL ENGINEER
A. KONG
100184942
August 08, 2022
PROVINCE OF ONTARIO

wsp

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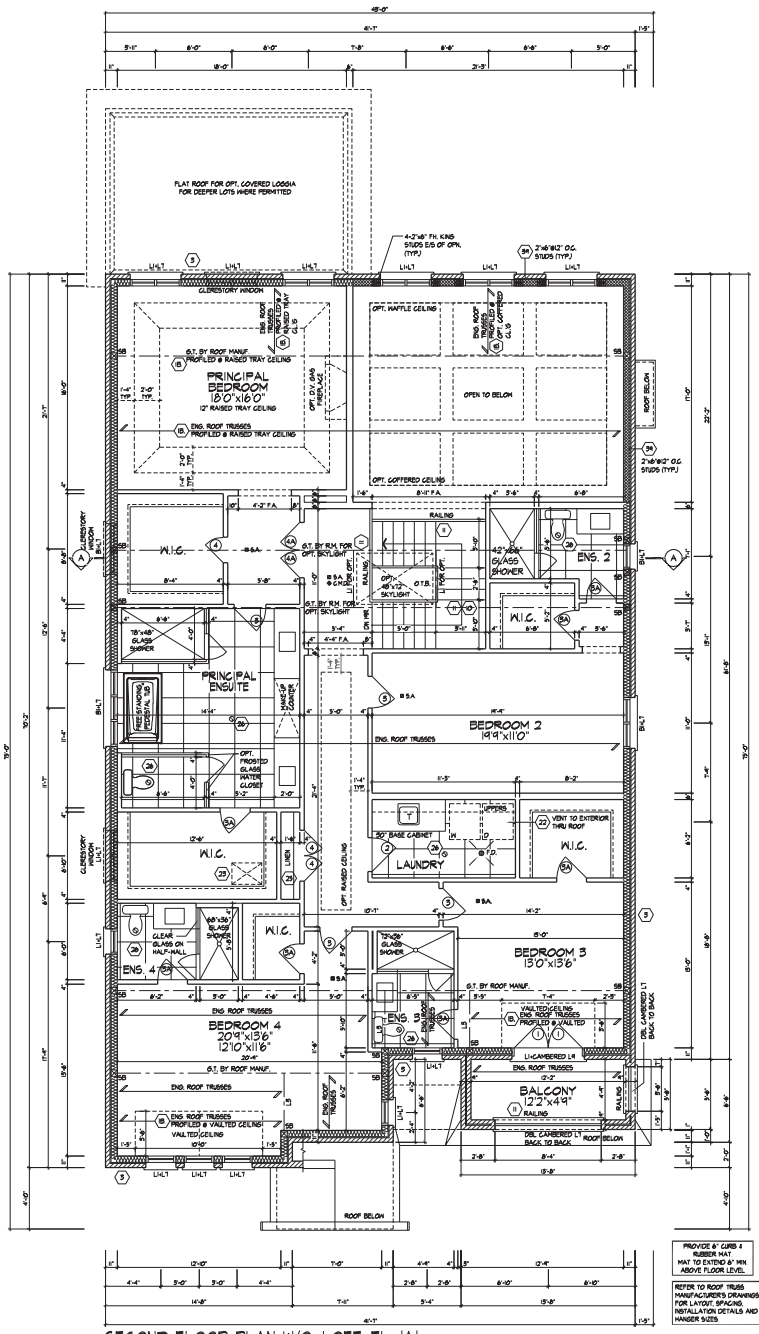
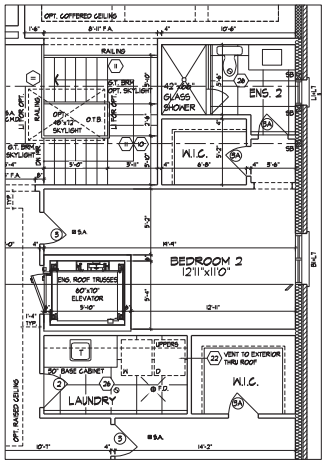
GOLDPARK HOMES - 221081
PINE VALLEY PH. 2, VAUGHAN, ON.

SECOND FLOOR PLAN, EL. 'A'
THE RIVERVIEW - 5013
REV.2022.08.05

4 of 27



SECOND FLOOR PLAN W/O. LOFT, EL. 'A'
SIMILAR FOR EL. 'C'



PART. SECOND FLOOR PLAN W/O. LOFT W/ ELEVATOR, EL. 'A'
SIMILAR FOR EL. 'C'

PROVIDE 6" CURB & RUBBER MAT MAT TO EXTEND 6" MIN ABOVE FLOOR LEVEL

REFER TO ROOF TRUSS MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, INSTALLATION DETAILS AND HANGER SIZES

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GOLDPARK HOMES - 221081
PINE VALLEY PH. 2, VAUGHAN, ON.
THE RIVERVIEW - 5013
SECOND FLOOR PLAN W/O. LOFT, EL. 'A'
REV.2022.08.05
SCALE: 3/16"=1'-0"
DATE: AUG 2022
DRAWN BY: WT
CHECKED BY: AW
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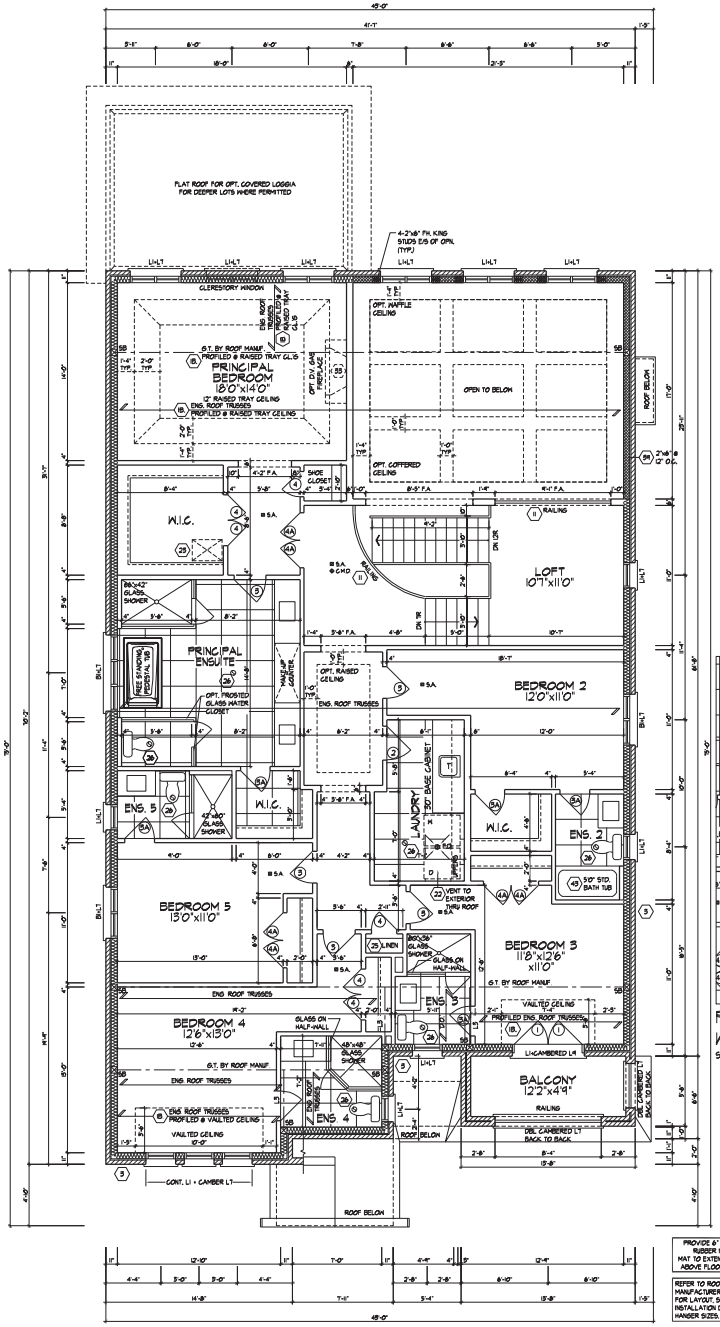
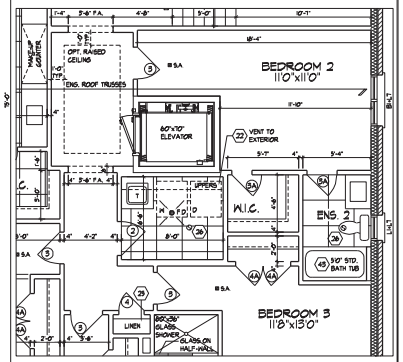
5 of 27



OPT. 5 BEDROOM SECOND FLOOR PLAN, EL. 'A'
SIMILAR FOR EL. 'C'



PART. OPT. 5 BEDROOM SECOND FLOOR W/ ELEVATOR, EL. 'A'
SIMILAR FOR EL. 'C'

PROVIDE 6" CURB & RUBBER MAT. MAT TO EXTEND 6" MIN. ABOVE FLOOR LEVEL

REFER TO ROOF TRUSS MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, INSTALLATION DETAILS AND HANGER SIZES.

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TEL 1.416.755.7777 WWW.WSPGLOBAL.COM

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APPROVED FOR CONSTRUCTION
ARCHITECTURAL CONSULTANTS
DATE: 2022-08-08
Signature: [illegible]
Name: Jonathan Hunt
Designation: President
Company: Hunt Design

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DESIGN ARCHITECTURE
8685 Weston Rd., Woodbridge, ON. L4H 0J7
T 905.370.0555 F 905.370.7508
www.huntdesignassociates.com

PROJECT:	GOLDPARK HOMES - 221081
	PINE VALLEY PH. 2, VAUGHAN, ON.
DRAWN BY:	WT
CHECKED BY:	AW
SCALE:	3/16"=1'-0"
DATE:	2022-08-08
PROJECT NO.	221081WS0013.2mng
REVISIONS:	1 2022-08-05

OPT. 5 BEDROOM SECOND FLOOR PLAN, EL. 'A'
THE RIVERVIEW - 5013
REV.2022.08.05

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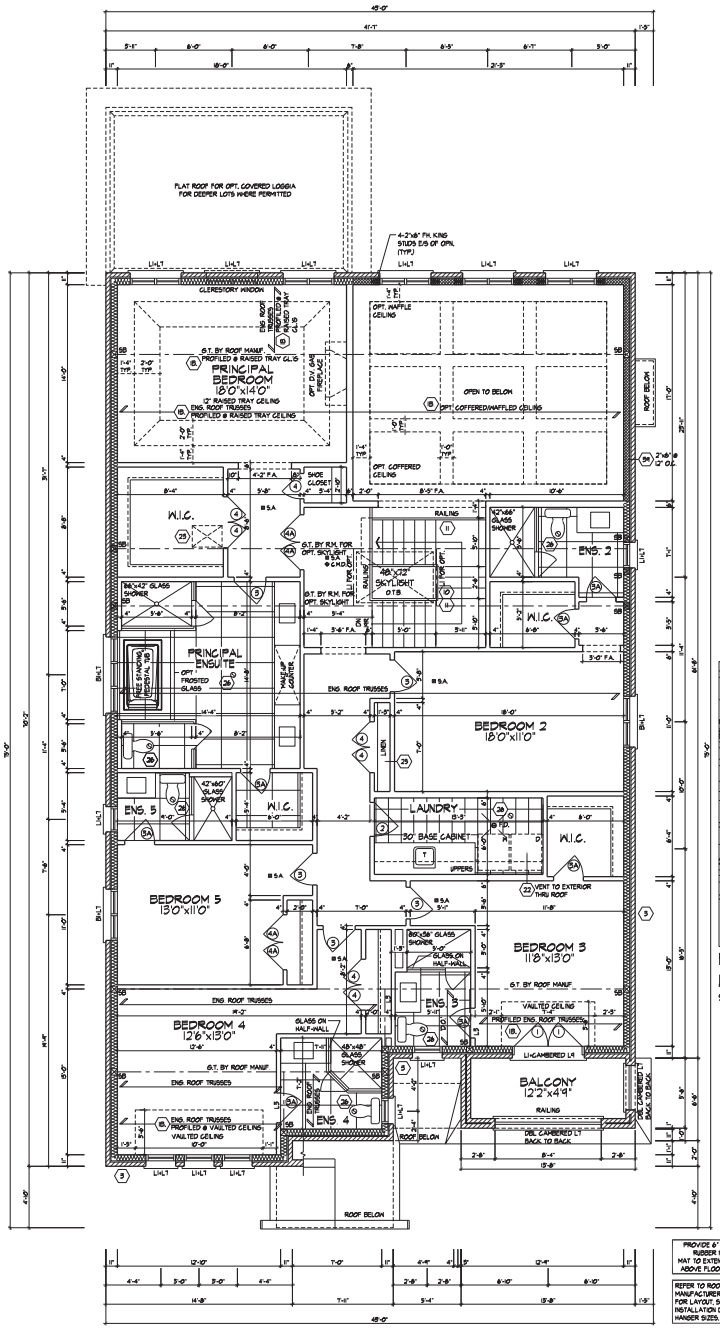
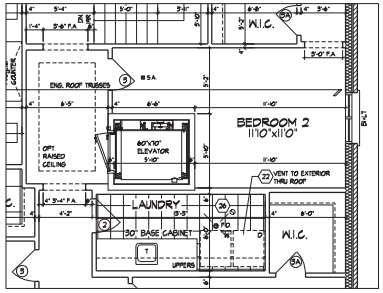


OPT. 5 BEDROOM SECOND FLOOR PLAN W/O. LOFT, EL. 'A'
SIMILAR FOR EL. 'C'



PART. OPT. 5 BEDROOM SECOND FLOOR PLAN, W/O. LOFT W/ ELEVATOR, EL. 'A'
SIMILAR FOR EL. 'C'

PROVIDE 6" CURB & RUBBER MAT. MAT TO EXTEND 6" MIN. ABOVE FLOOR LEVEL

REFER TO ROOF TRUSS MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, INSTALLATION DETAILS AND HANGER SIZES.

LICENSED PROFESSIONAL ENGINEER
A. KONG
100184942
August 08, 2022
PROVINCE OF ONTARIO

FOR STRUCTURAL ONLY. EXCLUDING ENGINEERED ROOF TRUSS, FLOOR JOIST, AND FLOOR LVL BEAM DESIGN.

APPROVED AS NOTED
CITY OF VAUGHAN
BUILDING STANDARDS (STRUCTURAL)
Signature
Date

APPROVED AS NOTED
CITY OF VAUGHAN
PLANNING
Signature
Date

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OPT. 5 BEDROOM SECOND FLOOR PLAN W/O. LOFT, EL. 'A'
GOLDPARK HOMES - 221081
THE RIVERVIEW - 5013
PINE VALLEY PH. 2, VAUGHAN, ON.
REV. 2022.08.05

HUNT DESIGN ASSOCIATES INC.
8685 Woodbine Ave, Markham, ON L3R 5G1
T 905.475.2555 F 905.475.7508
www.huntdesignassociates.com

DATE	AUG 5, 2022
SCALE	3/16"=1'-0"
DRAWN	AW
CHECKED	WT
JOB NO.	221081WS01(Xref)
SHEET	7 of 27

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LICENSED PROFESSIONAL ENGINEER
A. KONG
100184942
August 08, 2022
PROVINCE OF ONTARIO

wsp

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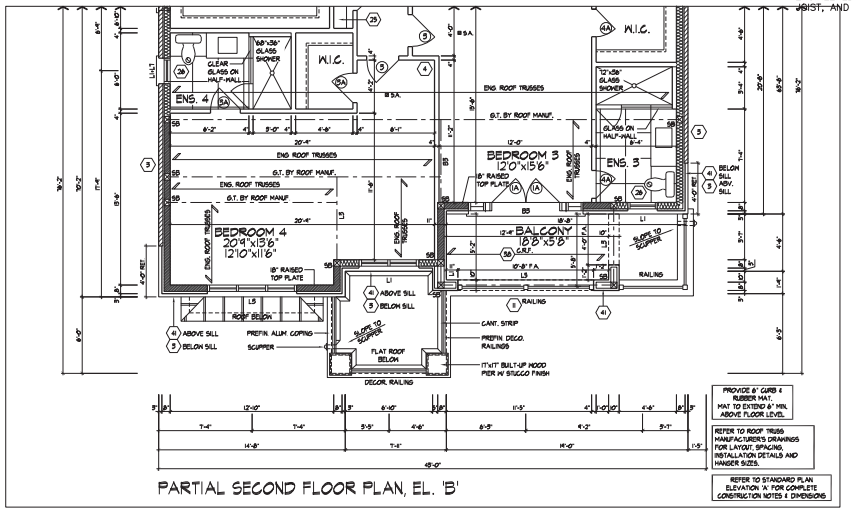
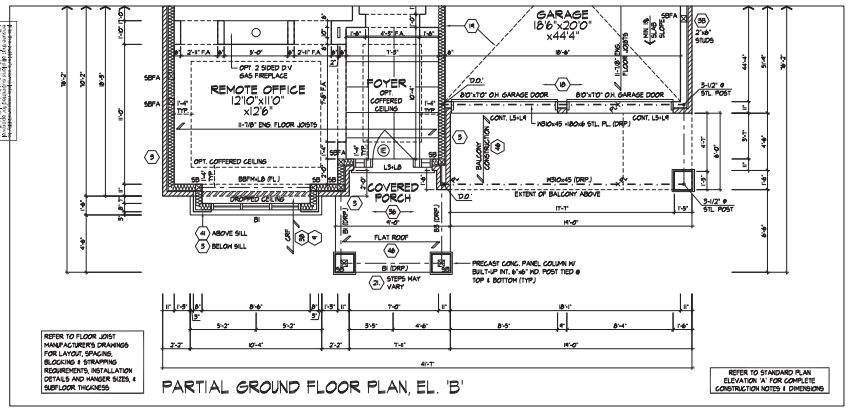
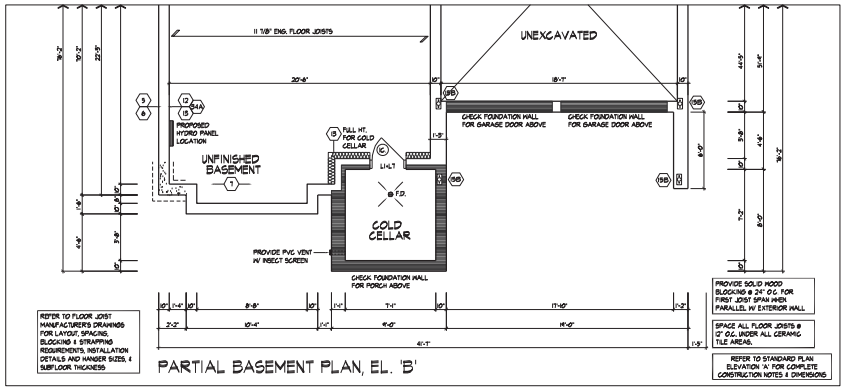


PARTIAL SECOND FLOOR PLAN, EL. 'B'



PARTIAL GROUND FLOOR PLAN, EL. 'B'



PARTIAL BASEMENT PLAN, EL. 'B'

STRIP FOOTING ARE DESIGNED BASED ON ASSUMPTION THAT SOIL W/ 1254Pa (SLS) BEARING CAPACITY.

PRIVATE VERSION LTD. ARCHITECT
MICHAEL MARTINGAY
APPROVED BY
Michael Martingay
This plan is authorized for construction
Ministry of Municipal Affairs and Housing
Building Code Commission

Approved by the municipal building official for construction in accordance with the Ontario Building Code. Approval by the municipal building official does not relieve the owner or his agent from the requirements of any other applicable law, nor does it authorize any work not in conformity with the Ontario Building Code or any other applicable law. Approval of this plan does not preclude the municipal building official from requiring changes to be made to the plans if it is found that the plans do not comply with the Ontario Building Code or any other applicable law.

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www.huntdesignassociates.com

DATE	DRAWN BY	CHECKED BY
2022-08-05	AW	WT
SCALE		
3/16"=1'-0"		

GOLDPARK HOMES - 221081
PINE VALLEY PH. 2, VAUGHAN, ON.

PARTIAL FLOOR PLANS, EL. 'B'
THE RIVERVIEW - 5013
REV.2022.08.05

221081WS013.dwg

8 of 27

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LICENSED PROFESSIONAL ENGINEER
A. KONG
100184942
August 06, 2022
PROVINCE OF ONTARIO

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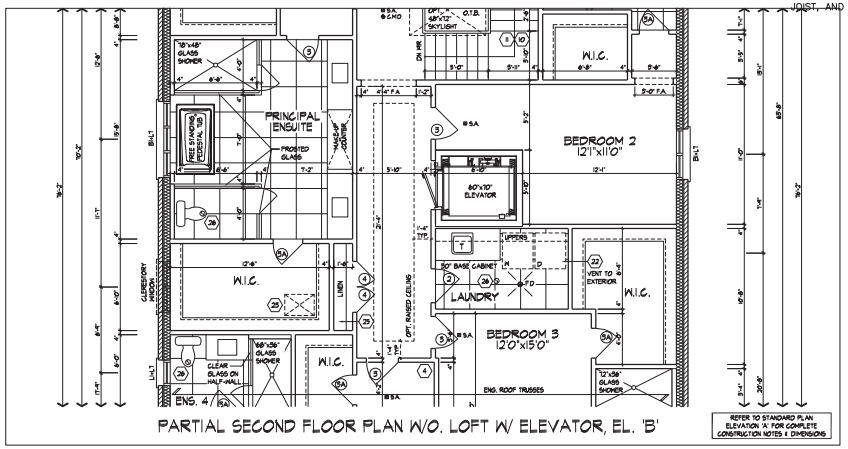
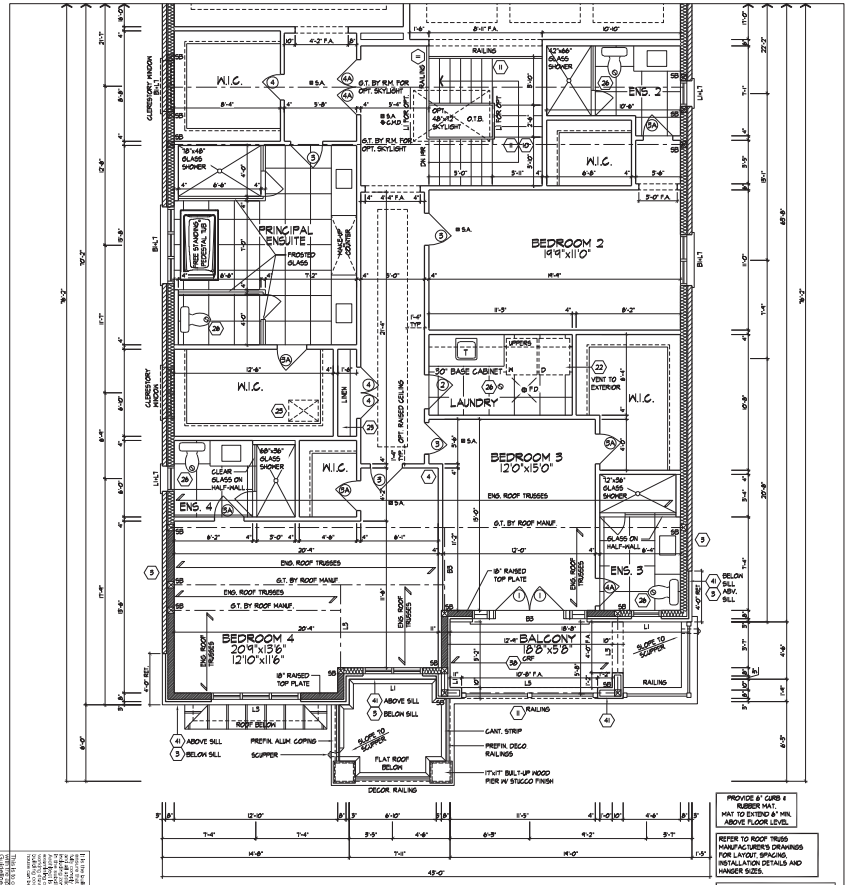


PARTIAL SECOND FLOOR PLAN W/O. LOFT W/ ELEVATOR, EL. 'B'



PARTIAL SECOND FLOOR PLAN W/O. LOFT, EL. 'B'

PARTIAL SECOND FLOOR PLANS W/O LOFT, EL. 'B'
GOLDPARK HOMES - 221081
THE RIVERVIEW - 5013
PINE VALLEY PH. 2, VAUGHAN, ON.
REV.2022.08.05

HUNT DESIGN ASSOCIATES INC.
8685 Woodbine Ave, Markham, ON. L3R 0J7
T 905.475.2555 F 905.475.7535
www.huntdesignassociates.com

DATE: 2022-08-05
SCALE: 3/16"=1'-0"
DRAWN: WT
CHECKED: AW
FILE: 221081WS0113.dwg
PROJECT: 221081WS0113

APPROVED BY:
DATE:
Signature of Qualified Designer
Name of Qualified Designer
Registration Number
Date
Signature of Authority Having Jurisdiction
Date

THIS PLAN IS NOT TO BE SCALED. ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO CONSTRUCTION. ALL DIMENSIONS ARE TO FACE OF STUD UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE TO FACE OF CONCRETE UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE TO FACE OF BLOCK UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE TO FACE OF STUCCO UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE TO FACE OF BRICK UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE TO FACE OF STONE UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE TO FACE OF ALUMINUM UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE TO FACE OF VINYL UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE TO FACE OF WOOD UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE TO FACE OF GLASS UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE TO FACE OF METAL UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE TO FACE OF PLASTIC UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE TO FACE OF RUBBER UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE TO FACE OF CERAMIC UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE TO FACE OF PORCELAIN UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE TO FACE OF MARBLE UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE TO FACE OF GRANITE UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE TO FACE OF SLATE UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE TO FACE OF TILE UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE TO FACE OF CARPET UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE TO FACE OF VINYL UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE TO FACE OF WOOD UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE TO FACE OF GLASS UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE TO FACE OF METAL UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE TO FACE OF PLASTIC UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE TO FACE OF RUBBER UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE TO FACE OF CERAMIC UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE TO FACE OF PORCELAIN UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE TO FACE OF MARBLE UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE TO FACE OF GRANITE UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE TO FACE OF SLATE UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE TO FACE OF TILE UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE TO FACE OF CARPET UNLESS OTHERWISE NOTED.

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LICENSED PROFESSIONAL ENGINEER
A. KONG
100154042
August 05, 2022
ONTARIO
PROVINCE OF

WSP
100 CONSTELLATION CRESCENT, SUITE 400
TORONTO, ONTARIO M5J 1R7
TEL: 416-799-1400 FAX: 416-799-1400
WWW.WSP.COM

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PART. OPT. 5 BEDROOM SECOND FLOOR PLAN W/ ELEVATOR, EL. 'B'

PART. OPT. 5 BEDROOM SECOND FLOOR PLAN, EL. 'B'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements of the municipality and any other authorities. In the event a discrepancy appears, the Control Architect is not responsible in any way for examining or approving site drawings, plans or working drawings with respect to any zoning or other municipal requirements, which may have been overlooked or missed by the builder or his/her agents.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL ARCHITECT
AND APPROVAL
APPROVED BY: _____
DATE: _____
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

Drawn	Checked	Date	Scale	Drawing		Page number	
WT	AW	3/16"=1'-0"	221081WS5013.dwg			10 of 27	

PART, OPT, 5-BDRM, SECOND FLOOR PLANS, EL. 'B'
GOLDPARK HOMES - 221081 **'THE RIVERVIEW' - 5013**
PINE VALLEY PH. 2, VAUGHAN, ON. REV.2022.08.05

HUNT DESIGN ASSOCIATES INC.
8996 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326
www.huntdesign.ca

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LICENSED PROFESSIONAL ENGINEER
A. KONG
100154042
August 05, 2022
PROVINCE OF ONTARIO

WSP
1600 RENE-LEVESQUE WEST, 11TH FLOOR
MONTREAL, QUEBEC, H3H 1P9
514-928-1700 FAX: 514-928-1666
TO CONTACT BY: CONTACT@WSPGLOBAL.COM

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PART. OPT. 5 BEDROOM SECOND FLOOR PLAN
W/O LOFT W/ ELEVATOR, EL. 'B'

PART. OPT. 5 BEDROOM SECOND FLOOR PLAN W/O. LOFT, EL. 'B'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements of the municipality and other authorities having jurisdiction. In the application, approval and review, the Control Architect is not responsible in any way for examining or approving site drawings, plans or working drawings with respect to any zoning or other municipal requirements, all of which shall rester upon the owner and/or his/her/their architect.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY: JC Williams
DATE: AUG 2022
This stamp certifies compliance with the applicable Design Guidelines only and does not further professional responsibility.

NO DESIGNED ELEVATIONS AND FACADES PROVIDED					
FOR ROOF PLAN, SEE ROOF PLAN DRAWINGS					
FOR TRUSS PLAN, SEE TRUSS DRAWINGS					
Qualified Designer Name	AW	21-7-7			
Title / Position					
Signature					
Registration Information					
HUNT DESIGN ASSOCIATES INC.		16185			

HUNT DESIGN ASSOCIATES INC.
www.huntdesign.ca
8996 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

PART. OPT. 5-BDRM, SECOND FLOOR PLANS W/O. LOFT, EL. 'B'
GOLDPARK HOMES - 221081 **'THE RIVERVIEW' - 5013**
PINE VALLEY PH. 2, VAUGHAN, ON. REV.2022.08.05

Drawn	Checked	Date	Scale	Drawing	Sheet
WT	AW	3/16"=1'-0"	221081WS5013.dwg	11	of 27

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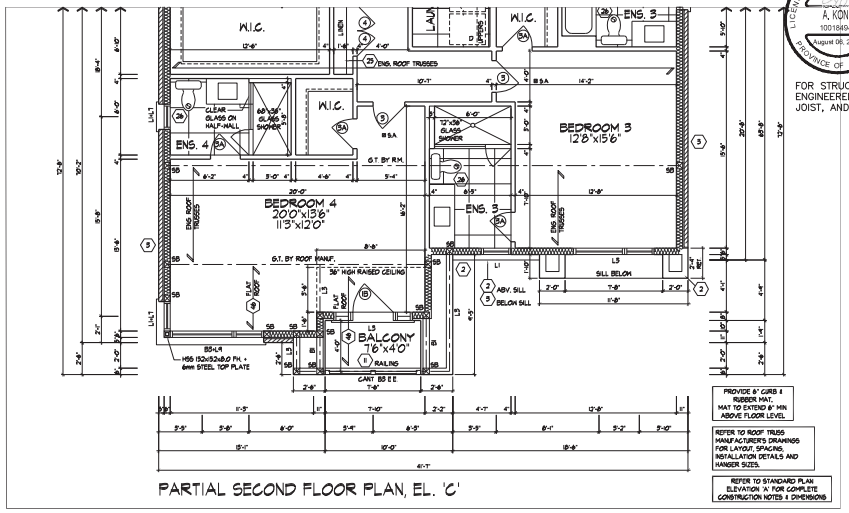
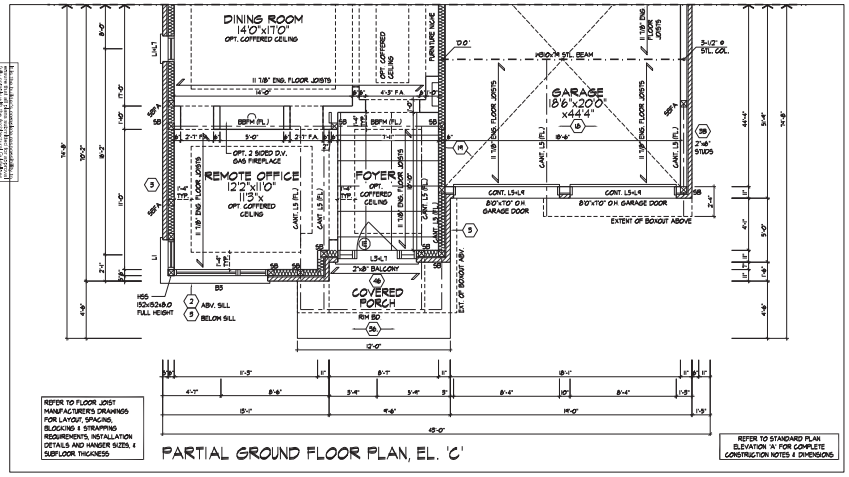


PARTIAL SECOND FLOOR PLAN, EL. 'C'

PROVIDE 6" CURB & RUBBER MAT. MAT TO EXTEND 6" MIN ABOVE FLOOR LEVEL

REFER TO ROOF TRUSS MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, INSTALLATION DETAILS AND HANGER SIZES.

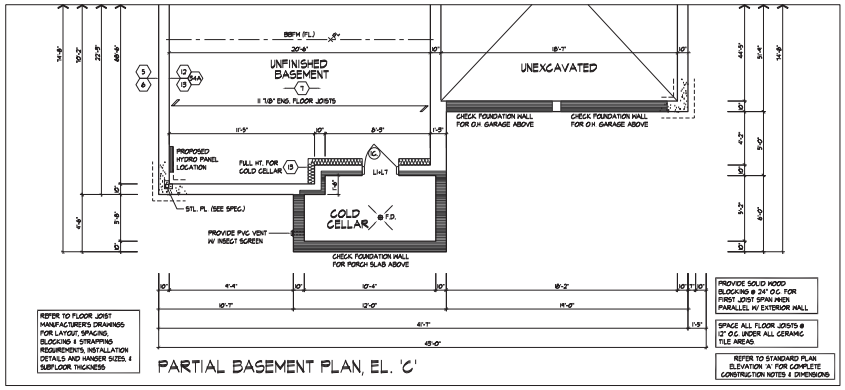
REFER TO STANDARD PLAN ELEVATION 'A' FOR COMPLETE CONSTRUCTION NOTES & DIMENSIONS



REFER TO FLOOR JOIST MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, BLOCKING & STRAPPING REQUIREMENTS, INSTALLATION DETAILS AND HANGER SIZES, & SUBFLOOR THICKNESS

PARTIAL GROUND FLOOR PLAN, EL. 'C'

REFER TO STANDARD PLAN ELEVATION 'A' FOR COMPLETE CONSTRUCTION NOTES & DIMENSIONS



REFER TO FLOOR JOIST MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, BLOCKING & STRAPPING REQUIREMENTS, INSTALLATION DETAILS AND HANGER SIZES, & SUBFLOOR THICKNESS

PROVIDE SOLID WOOD BLOCKING @ 24" O.C. FOR FIRST JOIST SPAN WHEN PARALLEL W/ EXTERIOR WALL

SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS

REFER TO STANDARD PLAN ELEVATION 'A' FOR COMPLETE CONSTRUCTION NOTES & DIMENSIONS

PARTIAL BASEMENT PLAN, EL. 'C'

STRIP FOOTING ARE DESIGNED BASED ON ASSUMPTION THAT SOIL W/ 125kPa (15.5) BEARING CAPACITY.

LICENSED PROFESSIONAL ENGINEER
A. KONG
100184942
August 08, 2022
PROVINCE OF ONTARIO

wsp
10 KENNEDY CIRCLE ROAD,
TORONTO, ONTARIO CANADA L4K 2X1
TEL 905.882.4311 FAX 905.882.4399 WWW.WSP.COM

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ARCHITECTS
ARCHITECTS
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HUNT DESIGN ASSOCIATES INC.
DESIGN ARCHITECTS
www.huntdesignarch.com

1	ISSUED FOR CONSTRUCTION	2021-11-17
0	ISSUED FOR REVIEW	2021-11-05
NO.	REVISIONS	DATE

GOLDPARK HOMES - 221081
PINE VALLEY PH. 2, VAUGHAN, ON.
THE RIVERVIEW - 5013
REV.(2022.08.05)

PARTIAL FLOOR PLANS, EL. 'C'

DRAWN BY: WT	SCALE: 3/16"=1'-0"
CHECKED BY: AW	DATE: 2021-11-05
8665 Woodbine Ave, Markham, ON. L3R 0J7 T 905.475.2555 F 905.475.7526	221081WS013.dwg

12 of 27

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WSP
WSP CANADA INC.
TEL: 416-647-6000
FAX: 416-647-6001
TOLL FREE: 1-800-268-7943
EMAIL: ANDREW.KONG@WSPGLOBAL.COM

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: _____
DATE: _____
This stamp certifies compliance with the applicable Design Guidelines only and bears no further architectural responsibility.

PART, OPT, 5 BEDROOM SECOND FLOOR PLAN, EL. 'C'

GOLDPARK HOMES - 221081 **'THE RIVERVIEW' - 5013**

PINE VALLEY PH. 2, VAUGHAN, ON. REV.2022.08.05

Drawn	Checked	Date	Scale	Drawing	Page number
WT	AW	3/16"=1'-0"	221081WS5013.dwg		13 of 27

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8996 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

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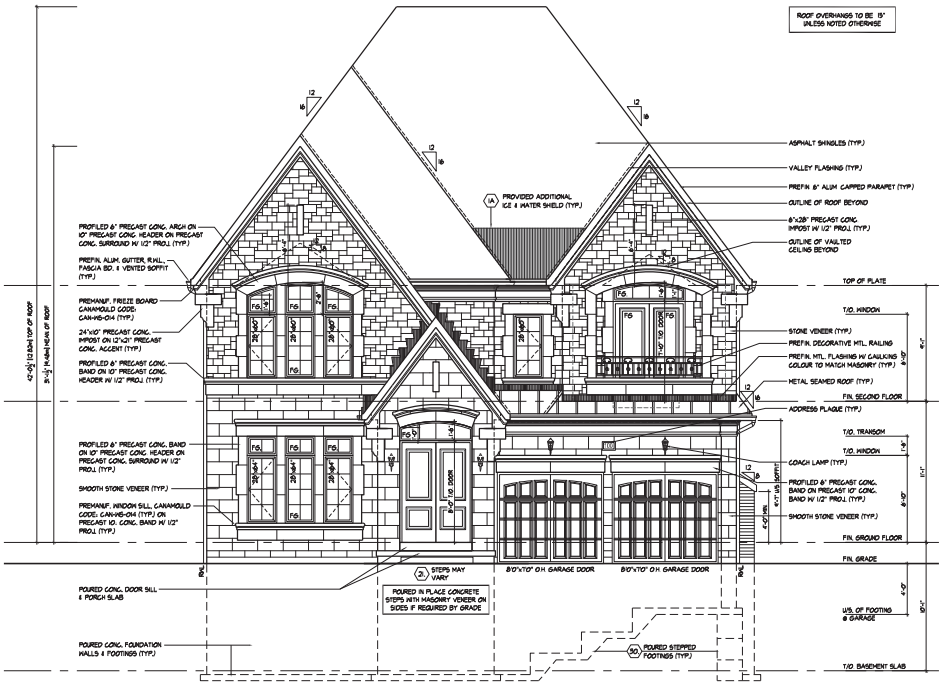
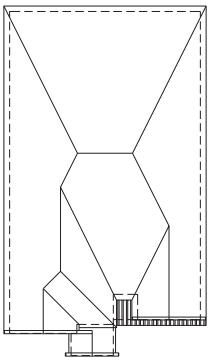


FRONT ELEVATION 'A'



ROOF PLAN, EL. 'A'
NTS

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY: _____
DATE: _____
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www.huntdesign.ca
8996 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

GOLDPARK HOMES - 221081
PINE VALLEY PH. 2, VAUGHAN, ON.

FRONT ELEVATION 'A'
'THE RIVERVIEW' - 5013
REV.2022.08.05

drawn	checked	date	scale	drawing number	sheet	of
WT	AW	3/16"=1'-0"	221081WS5013.dwg	14	of	27

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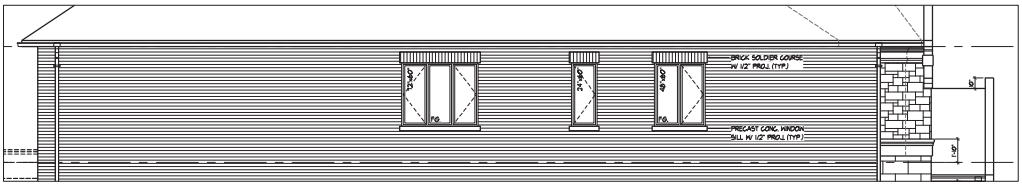
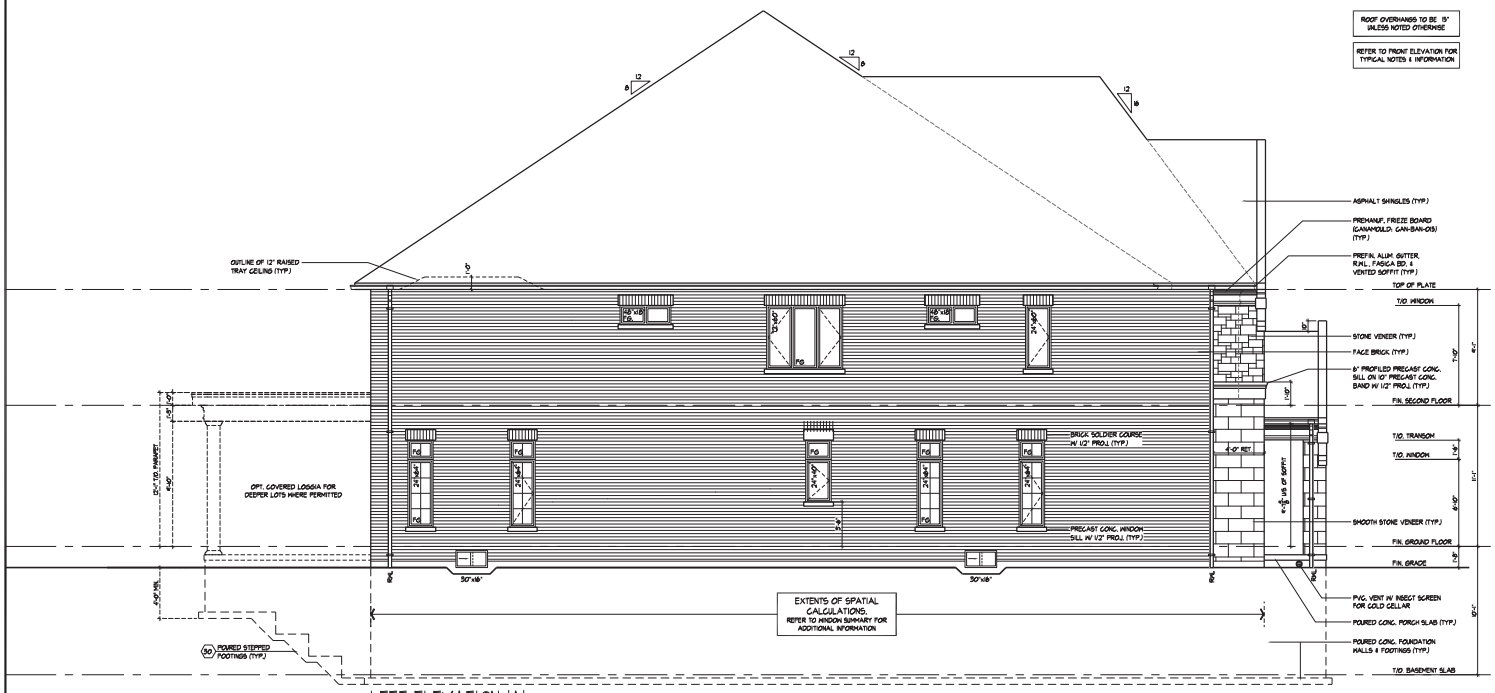
WINDOW SUMMARY									
PER O.B.C. TABLE 9.7.5.4					PER O.B.C. TABLE 9.7.5.4				
LEFT ELEVATION 'A'					LEFT ELEVATION 'A' - OPT.				
QTY	W	H	SILL	WINDOW / DOOR FRAME SIZE (S.F.)	QTY	W	H	SILL	WINDOW / DOOR FRAME SIZE (S.F.)
1	30"	60"		12.5	1	30"	60"		12.5
1	28"	60"		11.6	1	28"	60"		11.6
1	60"	60"		25.0	1	60"	60"		25.0
1	60"	48"		20.0	1	60"	48"		20.0
2	30"	60"		25.0	2	30"	60"		25.0
2	28"	60"		23.3	2	28"	60"		23.3
2	6'-0"	6'-0"		72.0	2	6'-0"	6'-0"		72.0
2	5'-0"	6'-0"		60.0	2	5'-0"	6'-0"		60.0
1	48"	120"	30"	40.0	1	48"	120"	30"	40.0
1	48"	120"	30"	40.0	1	48"	120"	30"	40.0
1	48"	120"	30"	40.0	1	48"	120"	30"	40.0
1	48"	120"	30"	40.0	1	48"	120"	30"	40.0
SPATIAL CALCULATION					SPATIAL CALCULATION				
EXISTING BUILDING					EXISTING BUILDING				
FACE AREA	1620.0	S.F.			FACE AREA	1620.0	S.F.		
FENESTRATION AREA	1296.0	S.F.			FENESTRATION AREA	1296.0	S.F.		
	80%	ACCEPTABLE				80%	ACCEPTABLE		
ADDITIONAL GLAZING					ADDITIONAL GLAZING				
REAR 1 STOREY GLAZING	0.0	S.F.			REAR 1 STOREY GLAZING	0.0	S.F.		
OPTIONAL GLAZING	0.0	S.F.			OPTIONAL GLAZING	0.0	S.F.		
GRAND TOTAL GLAZING	1296.0	S.F.			GRAND TOTAL GLAZING	1296.0	S.F.		
ADDITIONAL NOTES					ADDITIONAL NOTES				
GLAZED AREA CALCULATED W/ FRAME SIZE WHICH IS 2" AROUND ENTIRE PERIMETER					GLAZED AREA CALCULATED W/ FRAME SIZE WHICH IS 2" AROUND ENTIRE PERIMETER				



OPT. 5 BEDROOM LEFT ELEVATION 'A'

ROOF OVERHANGS TO BE 8" UNLESS NOTED OTHERWISE

REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFORMATION



LEFT ELEVATION 'A'

It is the builder's complete responsibility to return (1) set of plans stamped "approved for construction" by the Design Review Panel and all applicable municipal and requirements including zoning conditions and any conditions in the subdivision agreement. The Control Architect will not review plans for zoning, building engineering or approving lot grading/drainage or wording/drawings with respect to any zoning or building code or property matter or that any house can be properly built on located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY: [signature]
DATE: AUG 05 2022
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

NO DESIGNER'S WORKING DRAWINGS AND TECHNICAL REPORTS MAY BE REPRODUCED OR USED FOR OTHER PURPOSES THAN THE ONE AUTHORIZED BY THE DESIGNER IN WRITING.			
Qualified Designer	[signature]		
Alex Whitney		QI-177	
print name	signature		
Registration Information		RFP	
HUNT DESIGN ASSOCIATES INC.		16935	

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GOLDPARK HOMES - 221081
PINE VALLEY PH. 2, VAUGHAN, ON.

LEFT ELEVATION 'A'
'THE RIVERVIEW' - 5013
REV.2022.08.05

drawn by	checked by	date	scale	file name	sheet	total sheets
WT	AW	3/16/22	1/4"	221081WS5013.dwg	15	of 27

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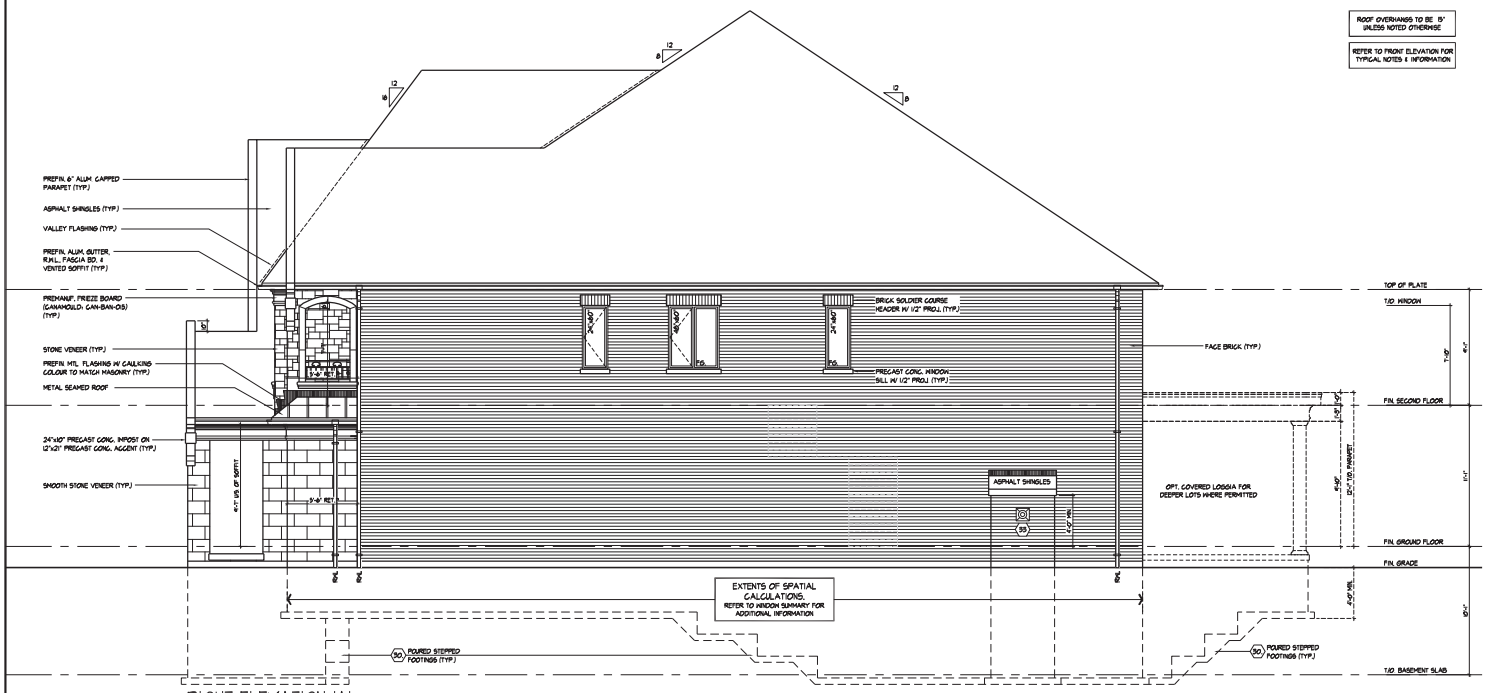
WINDOW SUMMARY				
PER O.B.C. TABLE 9.7.5.1				
RIGHT ELEVATION 'A'				
QTY	HT	WD	MANUFACTURER FRAME MTL	WINDOW / DOOR FRAME SIZE (S.F.)
1	2'0"	2'0"		3.00
1	4'0"	5'0"		20.00
1	5'0"	5'0"		25.00
1	5'0"	5'0"		25.00
1	5'0"	5'0"		25.00
1	5'0"	5'0"		25.00
1	5'0"	5'0"		25.00
1	5'0"	5'0"		25.00
1	5'0"	5'0"		25.00
1	5'0"	5'0"		25.00
1	4'0"	5'0"		20.00
1	3'0"	5'0"		15.00
1	3'0"	5'0"		15.00
1	3'0"	5'0"		15.00
1	3'0"	5'0"		15.00
SPATIAL CALCULATION				
EXTERIOR BUILDING FACE AREA		HEIGHT	WIDTH	S.F.
		16'0"	53'0"	848.00
FRONTOM WALL AREA		HEIGHT	WIDTH	S.F.
		16'0"	53'0"	848.00
ALLOWABLE GLAZING		10%		84.80
MAX. % OPENINGS		7.0		5
OPENINGS (ELEVATION)		1000		90.0
OPENINGS PROPOSED		1000		90.0
SKYLIGHTS / DORMERS				
GLAZED AREA CALCULATED IN PRIMARY WALL				YES
HEIGHT AROUND ENTIRE PERIMETER				

ROOF OVERHANGS TO BE 15" UNLESS NOTED OTHERWISE

REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFORMATION



RIGHT ELEVATION 'A'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any conditions of approval. Approval by the City of Vaughan Architects not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to and zoning or building code or permit matter or that any issues can be properly met or treated on the AC.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City Of VAUGHAN.

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY: [signature]
DATE: AUG 08 2022
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO THE COMMENCEMENT OF WORK. DO NOT SCALE THE DRAWING. REPORT ANY ERRORS AND OMISSIONS TO THE DESIGNER.			
DRAWN BY	CHECKED BY	DATE	
AW		2017	
REVISIONS / INFORMATION	STATUS	BY	
HUNT DESIGN ASSOCIATES INC.		HDA	

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RIGHT ELEVATION 'A'
'THE RIVERVIEW' - 5013
REV.2022.08.05

DRAWN BY	CHECKED BY	SCALE	FILE NUMBER	PAGE NUMBER
WT	AW	3/16"=1'-0"	221081WS5013.dwg	16 of 27

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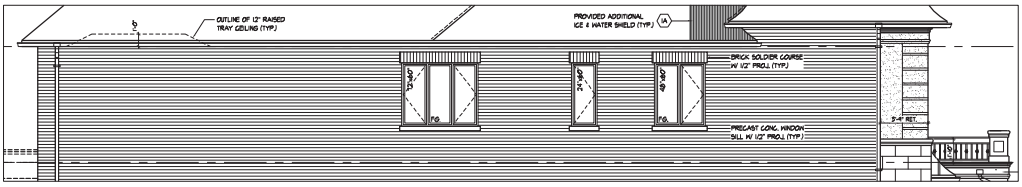
ROOF OVERHANGS TO BE 15" UNLESS NOTED OTHERWISE

WINDOW SUMMARY			
PER GEN. NOTES SHEET			
REAR ELEVATION 'A'			
QUAN.	HEIGHT	WIDTH	WINDOW / DOOR FRAME SIZE (S.O.)
1	48"	48"	16.00
1	48"	48"	16.00
1	48"	48"	16.00

ROOF OVERHANGS TO BE 15" UNLESS NOTED OTHERWISE
PREFIN. 10" PROFILED ALUM. CLAD WOOD TRIM (TYP.)
2"x4" PREFIN. ALUM. CLAD WOOD TRIM (TYP.)
RAISED SOFFIT
PROFILED STUCCO WINDOW SURROUND (TYP.)
PREFIN. MTL. FLASHING W/ CAULKING COLOUR TO MATCH MASONRY (TYP.)
CONT. PROFILED 6" PRECAST CONC. SILL W/ 1/2" PROJ. (TYP.)
METAL SEAMED ROOF (TYP.)
SMOOTH STONE VENEER (TYP.)
STUCCO FINISH W/ RAISED STUCCO TRIM (TYP.)
PROFILED 6" PRECAST CONC. WINDOW SILL W/ 1/2" PROJ. (TYP.)
POURED CONC. FOUNDATION WALLS & FOOTINGS (TYP.)
PREFIN. METAL DECORATIVE FINIAL (TYP.)
ASPHALT SHINGLES (TYP.)
VALLEY FLASHING (TYP.)
OUTLINE OF ROOF BEYOND
(1A) PROVIDE ADDT'L. ICE & WATER SHIELD (TYP.)
PREFIN. ALUM. GUTTER, R.W.L., FASCIA BD. & VENTED SOFFIT (TYP.)
TOP OF PLATE
T/O. TRANSOM
T/O. WINDOW
PREMANUF. FRIEZE BOARD (CANAMOULD CAN-BAN-OS) (TYP.)
SMOOTH STUCCO FINISH W/ RAISED STUCCO TRIM (TYP.)
(11) DECORATIVE ALUM. RAILING (TYP.)
FIN. SECOND FLOOR
SCUPPER (TYP.)
PREFIN. 10" FASCIA BOARD (TYP.)
T/O. TRANSOM
T/O. WINDOW
PRECAST 4"x10" CONC. HEADER W/ 1/2" PROJ. (TYP.)
COACH LAMP (TYP.)
ADDRESS PLAQUE
PRECAST CONC. PANEL COL. W/ STL. POST TIED @ TOP & BOTTOM (TYP.)
FIN. GROUND FLOOR
FIN. GRADE
U/S. OF FOOTING @ GARAGE
T/O. BASEMENT SLAB
(21) STEPS MAY VARY
POURED IN PLACE CONCRETE STEPS WITH MASONRY VENEER ON SIDES IF REQUIRED BY GRADE
(50) POURED STEPPED FOOTINGS (TYP.)
8'0"x7'0" O.H. GARAGE DOOR
8'0"x7'0" O.H. GARAGE DOOR
36'-0" TO ridge of "TOP OF ROOF"
35'-0" TO ridge of "TOP OF ROOF"
4'-1" U/S OF SOFFIT
P.O.T. TO DOOR
P.O.T. TO DOOR
P.O.T. TO DOOR
P.O.T. TO DOOR
4'-0"
4'-0"
4'-0"

WINDOW SUMMARY				
PER O.B.C., TABLE 9.7.5.4				
LEFT ELEVATION 'B'				
QTY	H	W	TYPE	WINDOW / DOOR FRAME SIZE (S.F.)
1	5'0"	5'0"		25.0
1	5'0"	5'0"		25.0
1	5'0"	5'0"		25.0
1	5'0"	5'0"		25.0
2	5'0"	5'0"		50.0
2	5'0"	5'0"		50.0
2	5'0"	5'0"		50.0
2	5'0"	5'0"		50.0
1	3'0"	5'0"		15.0
1	3'0"	5'0"		15.0
1	3'0"	5'0"		15.0
1	3'0"	5'0"		15.0
1	2'6"0"	5'0"		12.5
1	2'6"0"	5'0"		12.5
1	2'6"0"	5'0"		12.5
1	2'6"0"	5'0"		12.5
SPATIAL CALCULATION				
EXISTING BUILDING		1556.11	S.F.	
FAVELA AREA		1112.11	S.F.	
FRONT ELEVATION WALL AREA		1556.11	S.F.	
LEFT ELEVATION		1556.11	S.F.	
WALL TO OPENINGS		1112	S.F.	
OPENINGS (ELEVATION)		1556.11	S.F.	
OPENINGS FRAME SIZE		1556.11	S.F.	
ADDITIONAL NOTES				
GLAZED AREA CALCULATED W/ FRAME SIZE WALLS 2' AROUND ENTIRE PERIMETER				

WINDOW SUMMARY				
PER O.B.C., TABLE 9.7.5.4				
LEFT ELEVATION 'B' - OPT.				
QTY	H	W	TYPE	WINDOW / DOOR FRAME SIZE (S.F.)
1	5'0"	5'0"		25.0
1	5'0"	5'0"		25.0
1	5'0"	5'0"		25.0
1	5'0"	5'0"		25.0
2	5'0"	5'0"		50.0
2	5'0"	5'0"		50.0
2	5'0"	5'0"		50.0
2	5'0"	5'0"		50.0
1	3'0"	5'0"		15.0
1	3'0"	5'0"		15.0
1	3'0"	5'0"		15.0
1	3'0"	5'0"		15.0
1	2'6"0"	5'0"		12.5
1	2'6"0"	5'0"		12.5
1	2'6"0"	5'0"		12.5
1	2'6"0"	5'0"		12.5
SPATIAL CALCULATION				
EXISTING BUILDING		1556.11	S.F.	
FAVELA AREA		1112.11	S.F.	
FRONT ELEVATION WALL AREA		1556.11	S.F.	
LEFT ELEVATION		1556.11	S.F.	
WALL TO OPENINGS		1112	S.F.	
OPENINGS (ELEVATION)		1556.11	S.F.	
OPENINGS FRAME SIZE		1556.11	S.F.	
ADDITIONAL NOTES				
GLAZED AREA CALCULATED W/ FRAME SIZE WALLS 2' AROUND ENTIRE PERIMETER				



OPT. 5 BEDROOM LEFT ELEVATION 'B'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning conditions and any conditions of site plan approval. Huntdesign Associates Architects is not responsible in any way for overlooking or exceeding site distinct plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL ARCHITECT

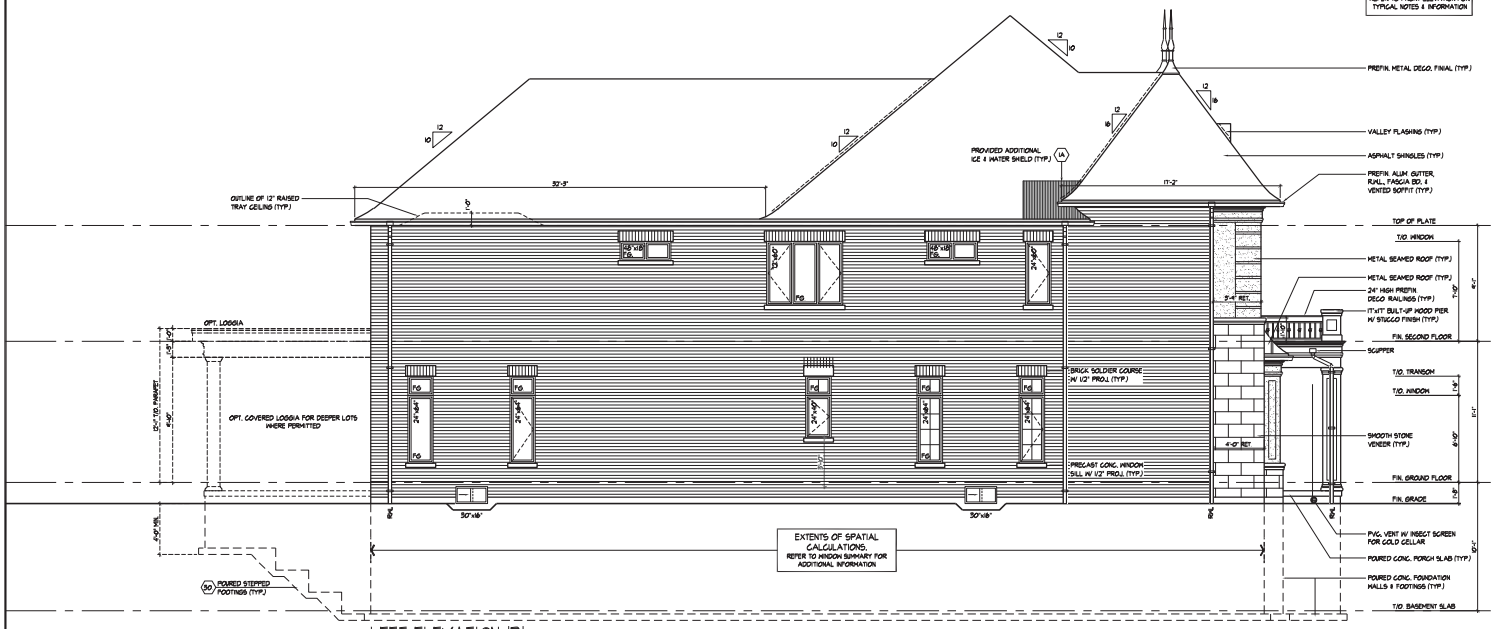
APPROVED BY: _____

DATE: _____

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

ROOF OVERHANGS TO BE 5" UNLESS NOTED OTHERWISE

REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFORMATION



LEFT ELEVATION 'B'

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND REPORT ANY ERRORS OR OMISSIONS TO THE DESIGNER BEFORE PROCEEDING WITH THE WORK. DO NOT SCALE THE DRAWING. USE ONLY FIGURED DIMENSIONS.
ALL DIMENSIONS ARE IN MILLIMETRES UNLESS OTHERWISE NOTED.

Drawn by:	Checked by:	Date:	File name:
AW		2017	
Revision by:	SIGNATURE	DATE:	

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GOLDPARK HOMES - 221081
PINE VALLEY PH. 2, VAUGHAN, ON.

LEFT ELEVATION 'B'
'THE RIVERVIEW' - 5013
REV.2022.08.05

Drawn by:	Checked by:	Scale:	File name:	Page number:
WT	AW	3/16"=1'-0"	221081WS5013.dwg	19 of 27

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WINDOW SUMMARY				
PER O.B.C. TABLE 9.7.5.1				
RIGHT ELEVATION 'B'				
QTY	HT	WD	TYP	MINIMUM ROUGH FRAME SIZE (S.F.)
1	5'0"	3'0"		15.0
1	6'0"	3'0"		18.0
1	5'0"	3'0"		15.0
1	5'0"	3'0"		15.0
1	5'0"	3'0"		15.0
1	5'0"	3'0"		15.0
1	5'0"	3'0"		15.0
1	5'0"	3'0"		15.0
1	5'0"	3'0"		15.0
1	5'0"	3'0"		15.0
1	4'0"	3'0"		12.0
1	4'0"	3'0"		12.0
1	4'0"	3'0"		12.0
1	4'0"	3'0"		12.0
SPATIAL CALCULATION				
EXTERIOR BUILDING FACE AREA		1,000.24	S.F.	
		93.00	S.M.	
FRONTOUT WALL AREA		1,000.24	S.F.	
		93.00	S.M.	
LOT COVERAGE		40% MAX.		
MAX. % OPENINGS		74%	%	
OPENINGS (ELEVATION)		15.0	S.F.	
OPENINGS (PROPERTY)		15.0	S.F.	
ADDITIONAL NOTES				
GLAZED AREA CALCULATED IN FRAME SIZE				
MINUS 2" AROUND ENTIRE PERIMETER				

ROOF OVERHANGS TO BE 'B' UNLESS NOTED OTHERWISE

REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFORMATION

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements. Any deviation from the approved plans shall result in the application approval being void. The Control Architect is not responsible in any way for examining or approving the (building) plans or working drawings with respect to any zoning or other municipal by-laws, restrictions or regulations. Home can be properly built or located on lot.

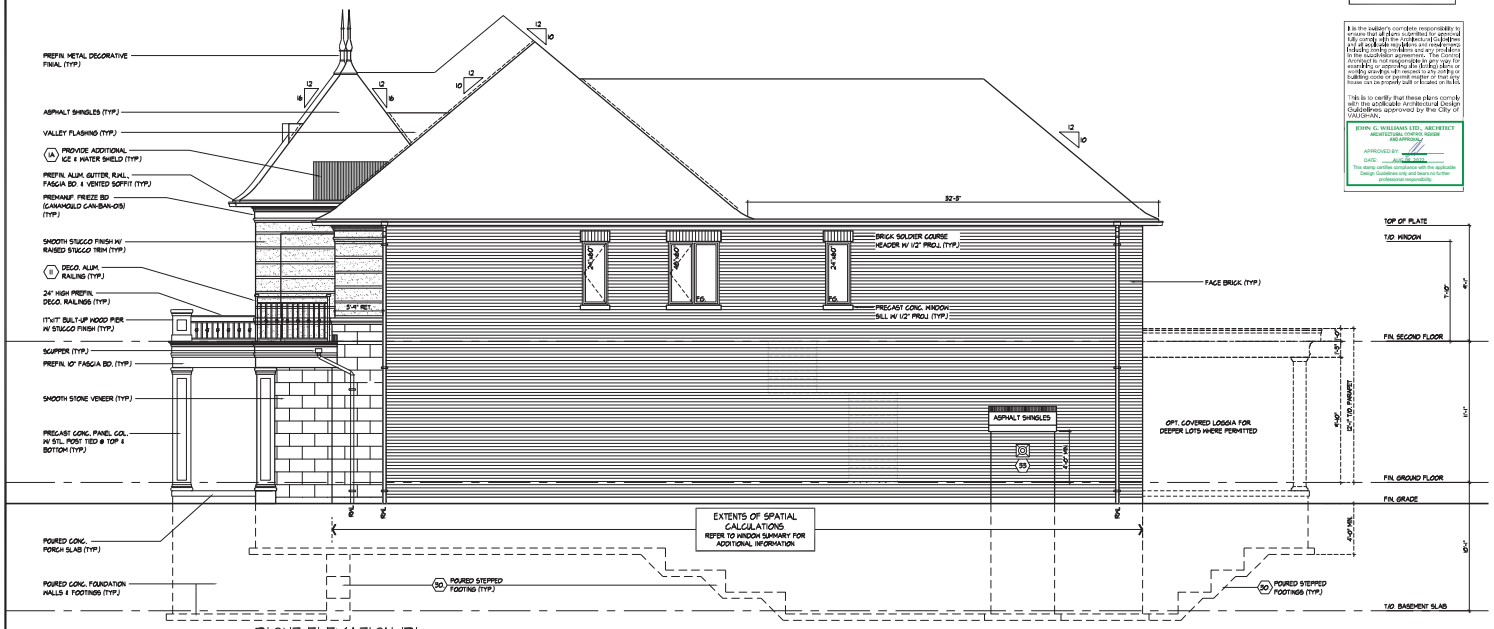
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL ARCHITECT
AND ASSOCIATES

APPROVED BY: _____

DATE: AUG 26, 2021

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.



RIGHT ELEVATION 'B'

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DO NOT SCALE DRAWING
ALL DIMENSIONS TO BE VERIFIED ON SITE
ALL ERRORS & OMISSIONS TO BE REPORTED TO THE DESIGNER
Alex Whitney 29.07.21
REVISION DESCRIPTION DATE

HUNT DESIGN ASSOCIATES INC.
www.huntdesign.ca

GOLDPARK HOMES - 221081
PINE VALLEY PH. 2, VAUGHAN, ON.

RIGHT ELEVATION 'B'
'THE RIVERVIEW' - 5013
REV.2022.08.05

DRAWN	CHECKED	DATE	FILE	PAGE
WT	AW	3/16"=1'-0"	221081WS5013.dwg	20 of 27

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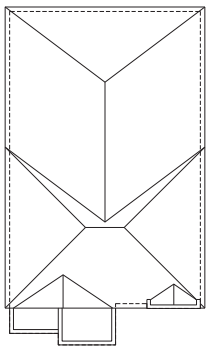
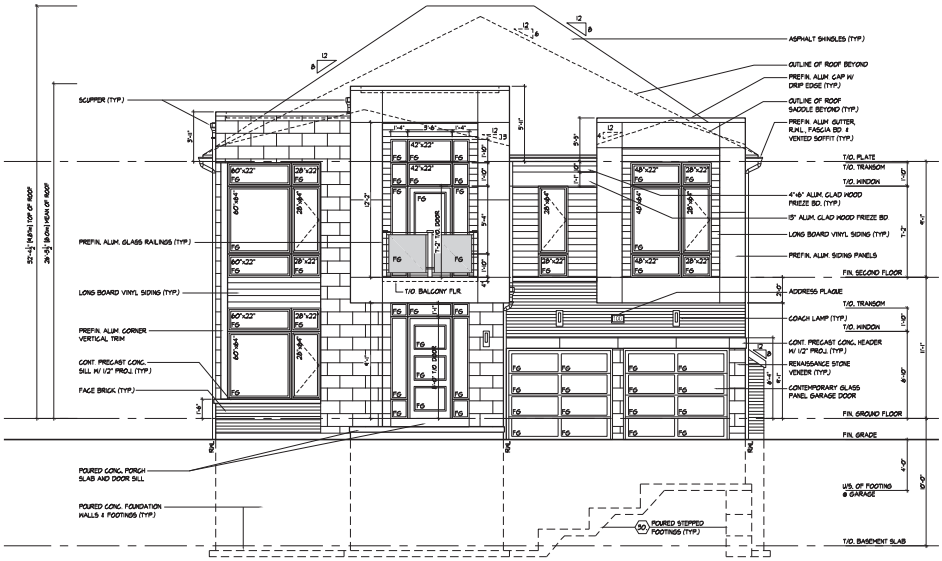
ROOF OVERHANGS TO BE 16" UNLESS NOTED OTHERWISE

WINDOW SUMMARY			
PER GALC TABLE 9.7.5.4			
REAR ELEVATION 'B'			
QUAN.	HT.	WIDTH	WINDOW / DOOR FRAME REF. S.O.
1	48"	48"	16.00
1	48"	48"	16.00
1	48"	72"	24.00
1	48"	48"	16.00
1	48"	48"	16.00
1	48"	72"	24.00
1	48"	48"	16.00
1	48"	72"	24.00
1	48"	48"	16.00
1	48"	48"	16.00
1	48"	48"	16



ROOF PLAN, EL. 'C'
NTS

ROOF OVERHANGS TO BE 12" UNLESS NOTED OTHERWISE



FRONT ELEVATION 'C'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements of the City of Vaughan. The Consultant Architect is not responsible in any way for modifying or approving site plan(s) plans or drawings which do not comply with the Architectural Guidelines or zoning matters or any other Properties property lines or limits.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL ARCHITECT
AND APPROVAL
APPROVED BY: _____
DATE: Aug 18, 2022
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

No Construction or shop drawings shall be released for construction purposes unless signed and sealed by the Consultant Architect. Do not scale drawings. Contractor to check and verify all dimensions, notify the Consultant Architect of any discrepancies before proceeding with work.

Alex Whitney		21/77
ISSUED FOR REVIEW	2021/12/06	FR
HUNT DESIGN ASSOCIATES INC.		16935

HUNT DESIGN ASSOCIATES INC.
www.huntdesign.ca

GOLDPARK HOMES - 221081
PINE VALLEY PH. 2, VAUGHAN, ON.

FRONT ELEVATION 'C'
'THE RIVERVIEW' - 5013
REV.2022.08.05

Drawn	Checked	Scale	File Name	Sheet
WT	AW	3/16"=1'-0"	221081WS5013.dwg	22 of 27

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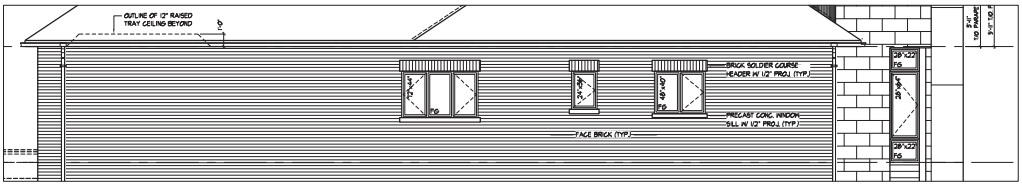
WINDOW SUMMARY				
PER O.B.C. TABLE 9.4.1.5-A				
LEFT ELEVATION 'C'				
QTY	H	W	TYPE	WINDOW / DOOR FRAME SIZE (S.F.)
1	5'0"	5'0"		25.00
2	5'0"	5'6"		55.00
1	5'0"	6'0"		30.00
1	5'0"	7'0"		35.00
2	5'0"	5'0"		50.00
2	5'0"	5'6"		55.00
1	6'0"	6'0"		36.00
1	6'0"	7'0"		42.00
1	2'0"	1'0"		2.00
1	2'0"	1'6"		3.00
1	2'0"	2'0"		4.00
1	2'0"	2'6"		5.00
1	2'0"	3'0"		6.00
1	2'0"	3'6"		7.00
1	2'0"	4'0"		8.00
1	2'0"	4'6"		9.00
1	2'0"	5'0"		10.00
1	2'0"	5'6"		11.00
1	2'0"	6'0"		12.00
1	2'0"	7'0"		14.00
1	2'0"	8'0"		16.00
1	2'0"	9'0"		18.00
1	2'0"	10'0"		20.00
SPATIAL CALCULATION				
EXTERIOR BUILDING	DEAD	S.F.		
FACE AREA	1802.7	S.F.		
PORTION WALL AREA	1802.7	S.F.		
	1802.7	S.F.		
LIVE DEAD RATIO	0.000			
BRICK TO WINDOWS	7.19	1		
OPENINGS REQUIRED	1.000	S.F.		
OPENINGS PROVIDED	1.000	S.F.		
ADDITIONAL NOTES				
GLAZED AREA CALCULATED W/ FRAME SIZE WHICH IS 2" AROUND ENTIRE PERIMETER				

WINDOW SUMMARY				
PER O.B.C. TABLE 9.4.1.5-A				
LEFT ELEVATION 'C' - OPT.				
QTY	H	W	TYPE	WINDOW / DOOR FRAME SIZE (S.F.)
1	5'0"	5'0"		25.00
1	5'0"	5'6"		55.00
1	5'0"	6'0"		30.00
1	5'0"	7'0"		35.00
2	5'0"	5'0"		50.00
2	5'0"	5'6"		55.00
1	6'0"	6'0"		36.00
1	6'0"	7'0"		42.00
1	2'0"	1'0"		2.00
1	2'0"	1'6"		3.00
1	2'0"	2'0"		4.00
1	2'0"	2'6"		5.00
1	2'0"	3'0"		6.00
1	2'0"	3'6"		7.00
1	2'0"	4'0"		8.00
1	2'0"	4'6"		9.00
1	2'0"	5'0"		10.00
1	2'0"	5'6"		11.00
1	2'0"	6'0"		12.00
1	2'0"	7'0"		14.00
1	2'0"	8'0"		16.00
1	2'0"	9'0"		18.00
1	2'0"	10'0"		20.00
SPATIAL CALCULATION				
EXTERIOR BUILDING	DEAD	S.F.		
FACE AREA	1802.7	S.F.		
PORTION WALL AREA	1802.7	S.F.		
	1802.7	S.F.		
LIVE DEAD RATIO	0.000			
BRICK TO WINDOWS	7.19	1		
OPENINGS REQUIRED	1.000	S.F.		
OPENINGS PROVIDED	1.000	S.F.		
ADDITIONAL NOTES				
GLAZED AREA CALCULATED W/ FRAME SIZE WHICH IS 2" AROUND ENTIRE PERIMETER				



OPT. 5 BEDROOM LEFT ELEVATION 'C'

ROOF OVERHANGS TO BE 12" UNLESS NOTED OTHERWISE

REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFORMATION

LEFT ELEVATION 'C'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and that the house as built and all site works including grading conditions and any conditions in the sign-off/clearance agreements. The Control Architect is not responsible in any way for examining or approving site (grading) plans or drawings with respect to any building code or building code or permit matter or that any house can be properly built or located on the lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY:
DATE: AUG 18 2022
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

NO.	DESCRIPTION	BY	DATE
1	ISSUED FOR REVIEW	AW	21/11/17
2	ISSUED FOR REVIEW	AW	22/08/05

HUNT DESIGN ASSOCIATES INC.
www.huntdesign.ca
8996 Woodbine Ave, Markham, ON L3R 0J7 T 905.757.5133 F 905.757.7926

GOLDPARK HOMES - 221081
PINE VALLEY PH. 2, VAUGHAN, ON.

LEFT ELEVATION 'C'
'THE RIVERVIEW' - 5013
REV.2022.08.05

DRAWN	CHECKED	DATE	SCALE	FILE NUMBER	PAGE	PAGE NUMBER
WT	AW	3/16/22	1/4"	221081WS5013.dwg	23	of 27

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WINDOW SUMMARY			
PER O.B.C. TABLE 9.7.5.2			
RIGHT ELEVATION 'C'			
QTY	W	H	WINDOW / DOOR FRAME SIZE (S.F.)
1	2'-0"	5'-0"	10.0
1	4'-0"	5'-0"	20.0
1	1'-0"	1'-0"	1.0
1	1'-0"	1'-0"	1.0
1	1'-0"	1'-0"	1

ROOF OVERHANGS TO BE 15" UNLESS NOTED OTHERWISE

WINDOW SUMMARY			
PER ELECTRICAL DESIGN			
REAR ELEVATION 'C'			
QUANT.	HT.	WIDTH	WINDOW / DOOR FRAME SIZE (U.L.)
1	48"	36"	19X30
1	48"	48"	24X48
1	48"	12"	12X48
1	60"	48"	24X60
1	60"	36"	19X60
1	60"	12"	12X60
2	36"	12"	12X36
2	48"	12"	12X48
1	48"	12"	12X48
1	72"	108"	120X72
6	72"	36"	36X72
6	72"	30"	30X72
6	72"	30"	30X72
6	72"	30"	30X72

SPATIAL CALCULATION		
EXPOSING BUILDING FACE AREA	1012.0	S.F.
	74.25	50%
PORTION WALL AREA	937.75	S.F.
	56.25	30%
LIMITING DISTANCE	14.5 m	
AREA OF UNPROTECTED	56.25	S.F.
MAX. PERMITTED UNPROTECTED	937.75	S.F.
ACTUAL UNPROTECTED	56.25	S.F.

ELEVATED AREA CALCULATED IN FRONT 30' MINUS 2' AROUND ENTIRE PERIMETER

REAR ELEVATION 'C'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and restrictions of the City of Vaughan. Unless specifically stated in the applicable agreement, The Control Architect is not responsible in any way for enforcing or governing site grading, lot or building elevations, or any other matter that a building inspector or zoning inspector may find on Properties properly staked or located on lots.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL ARCHITECT
AND APPROVAL

APPROVED BY: _____

DATE: _____

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

THE CONSULTANT HAS PREPARED THESE DRAWINGS AND SPECIFICATIONS IN ACCORDANCE WITH THE OBLIGATIONS SET OUT IN THE CONSULTANT'S CONTRACT WITH THE OWNER AND ACCEPTED PROFESSIONAL STANDARDS. THE CONSULTANT DOES NOT WARRANT THE ACCURACY OF ANY INFORMATION PROVIDED BY OTHERS.

Qualified Designer
Alex Whitney
BCIN 21177
Signature
Registration Information
HUNT DESIGN ASSOCIATES INC.
BCIN: 16935

HUNT DESIGN ASSOCIATES INC.
www.huntdesign.ca

GOLDPARK HOMES - 221081
PINE VALLEY PH. 2, VAUGHAN, ON.

REAR ELEVATION 'C'
'THE RIVERVIEW' - 5013
REV.2022.08.05

Drawn	Checked	Date	Scale	File name	Sheet number
WT	AW	3/16/22	3/16"=1'-0"	221081WS5013.dwg	25 of 27

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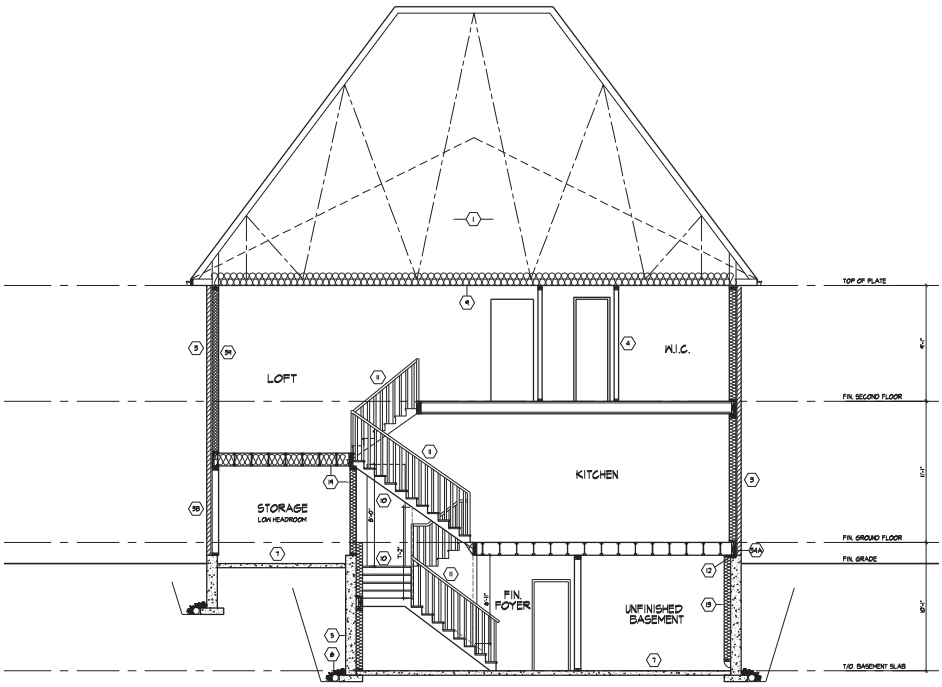
LICENSED PROFESSIONAL ENGINEER
A. KONG
100184042
August 05, 2022
PROVINCE OF ONTARIO

FOR STRUCTURAL ONLY:, EXCLUDING
ENGINEERED ROOF TRUSS, FLOOR
JOIST, AND FLOOR LVL BEAM DESIGN.



HUNT DESIGN ASSOCIATES INC.	GOLDPARK HOMES - 221081 PINE VALLEY PH. 2, VAUGHAN, ON.				CROSS SECTION "A-A" "THE RIVERVIEW" - 5013 REV.2022.08.05
	Drawn WT	Checked AW	Scale 3/16"=1'-0"	File Number 221081WS5013.dwg	Page number 26 of 27
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SECTION 1.0. CONSTRUCTION NOTES

1 **ROOF CONSTRUCTION** (9.26.1/9.23.3, 9.23.13)
NO. 210 (10.23 KG/M2) ASPHALT SHINGLES; 3/8" (9.5) PLYWOOD SHEATHING NAILED TO RAFTERS; APPROVED WOOD STRUTS OR PURLINS TO MAINTAIN THE REQUIRED SPACE PROTECTION TO EXTEND 2x10" (140) FROM EDGE OF ROOF AND MIN. 12" (305) BEYOND INNER FACE OF EXTERIOR WALL; 2"x4" (38x89) WOOD BRACING @ 4'-0" (1220) O.C. AT BOTTOM CHORD; PRETIE ALIGN. CONSTRUCTION TO FORM 2nd & 3rd STORIES; PLATES TO COMPLY WITH 1300.17 INSULATED CEILING AREA WITH MIN. 20 cm OF WOOD OR OTHER OPENING LOCATED IN THE CEILING OF THE TOP STORY TO BE PROVIDED WITH A COVER OF SAME CONSTRUCTION AS THE CEILING. PROVIDE CLEARANCE OF 50 mm BETWEEN CONCRETE, SPLASH PADS OR PER MUNICIPAL REQUIREMENTS, WITH WOOD USED TO WALL STUDS, EXCEPTIONS OR WITH WELLS, TANGLED HEATER CABLE, FLYING BAKSTEEN (OR AND ORDER)

1A **ICE AND WATER SHIELD**
PROTECTED AND WATER FIELD IN THE AREAS INDICATED, THE ICE AND WATER SHIELD SHALL BE A SELF-ADHERING AND SELF SEALING MEMBRANE, SIDE LAPS MUST BE A MINIMUM 3 1/2" (90) AND END LAPS A MINIMUM 6" (150), AND TO EXTEND UP DORMER WALLS A MINIMUM 12" (305).

2 **PROFILED ROOF TRUSSES**
ROOF TRUSSES SHALL BE PROFILED AND/OR ATTACHED AT RAISED CORNER/TRAY CLIENS, ANGLED TRAY CLIENS AND SHEATHED IN 3/8" (9.5) PLYWOOD.

2 **SIDING WALL CONSTRUCTION (2"x4")**
SIDING MATERIAL AS PER ELEVATION ATTACHED TO FRAMING MEMBERS. FURRING MEMBERS OR BLOCKS ATTACHED TO FRAMING MEMBER ON APPROVED SHEATHING PAPER ON 3/8" (9.5) EXT. GRADE SHEATHING ON STUDS CONFORMING TO CSA O121/O151, & SECTION 1.0. INSULATION. APPROVED FOIL POLYETHYLENE APPROVED BARRIER ON 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. GYPSUM SHEATHING, RIGID INSULATION, AND FIBERBOARD SHALL NOT BE USED FOR THE ATTACHMENT OF SIDING (9.23.13.2). (REFER TO SIDING NOTE AS REQ.)

2A **SIDING WALL CONSTRUCTION (2"x6") W/ CONTIN. INSULATION**
SIDING MATERIAL AS PER ELEVATION ATTACHED TO FRAMING MEMBERS ON APPROVED SHEATHING PAPER ON 3/8" (9.5) EXT. GRADE SHEATHING ON STUDS CONFORMING TO CSA O121/O151, & SECTION 1.0. INSULATION. APPROVED FOIL POLYETHYLENE APPROVED BARRIER ON 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. GYPSUM SHEATHING, RIGID INSULATION, AND FIBERBOARD SHALL NOT BE USED FOR THE ATTACHMENT OF SIDING (9.23.13.2). (REFER TO SIDING NOTE AS REQ.)

2B **SIDING WALL @ GARAGE CONSTRUCTION**
SIDING MATERIAL AS PER ELEVATION ATTACHED TO FRAMING MEMBERS. FURRING MEMBERS OR BLOCKING BETWEEN STUDS ATTACHED TO FRAMING ON APPROVED SHEATHING PAPER ON 3/8" (9.5) EXTERIOR TYPE SHEATHING ON STUDS CONFORMING TO CSA O121/O151, & SECTION 1.0. INSULATION. WALLBOARD INTERIOR FINISH. GYPSUM SHEATHING, RIGID INSULATION, AND FIBERBOARD SHALL NOT BE USED FOR THE ATTACHMENT OF SIDING (9.23.13.2). (REFER TO SIDING NOTE AS REQ.)

3 **BRICK VENEER WALL CONSTRUCTION (2"x6")**
3 1/2" (90) BRICK VENEER ON 1" (25) AIR SPACE. 15#/FT2 (73.1kN/m) GALV. METAL TIES @ 16" (400) O.C. HORIZ. 24" (600) O.C. VERT. BONDING AND FASTENING PER TIES TO CONFORM WITH 9.20.9. OR PROVIDE 3/8" (9.5) EXTERIOR TYPE SHEATHING. STUDS CONFORMING TO CSA O121/O151, & SECTION 1.0. INSULATION AND 4 MIL POLYETHYLENE VAPOUR BARRIER ON APPROVED CONTIN. AIR BARRIER. 1/2" (12.7) GYPSUM WALLBOARD INTERIOR FINISH. PROVIDE WEEP HOLES @ 33" (800) O.C. BOTTOM COURSE AND OVER OPENINGS. PROVIDE BASE FLASHING AT 1" (25) BEYOND BUILDING PAPER (9.20.13.2). (REFER TO NOTE AS REQUIRED)

3A **BRICK VENEER WALL CONSTRUCTION (2"x6") W/ CONTIN. INSULATION**
3 1/2" (90) BRICK VENEER ON 1" (25) AIR SPACE. 15#/FT2 (73.1kN/m) GALV. METAL TIES @ 16" (400) O.C. HORIZ. 24" (600) O.C. VERT. BONDING AND FASTENING PER TIES TO CONFORM WITH 9.20.9. OR PROVIDE 3/8" (9.5) EXTERIOR TYPE SHEATHING. STUDS CONFORMING TO CSA O121/O151, & SECTION 1.0. INSULATION AND 4 MIL POLYETHYLENE VAPOUR BARRIER ON APPROVED CONTIN. AIR BARRIER. 1/2" (12.7) GYPSUM WALLBOARD INTERIOR FINISH. PROVIDE WEEP HOLES @ 33" (800) O.C. BOTTOM COURSE AND OVER OPENINGS. PROVIDE BASE FLASHING AT 1" (25) BEYOND BUILDING PAPER (9.20.13.2). (REFER TO NOTE AS REQUIRED)

3B **BRICK VENEER WALL CONSTRUCTION (2"x6") W/ CONTIN. INSULATION**
3 1/2" (90) BRICK VENEER ON 1" (25) AIR SPACE. 15#/FT2 (73.1kN/m) GALV. METAL TIES @ 16" (400) O.C. HORIZ. 24" (600) O.C. VERT. BONDING AND FASTENING PER TIES TO CONFORM WITH 9.20.9. OR PROVIDE 3/8" (9.5) EXTERIOR TYPE SHEATHING. STUDS CONFORMING TO CSA O121/O151, & SECTION 1.0. INSULATION AND 4 MIL POLYETHYLENE VAPOUR BARRIER ON APPROVED CONTIN. AIR BARRIER. 1/2" (12.7) GYPSUM WALLBOARD INTERIOR FINISH. PROVIDE WEEP HOLES @ 33" (800) O.C. BOTTOM COURSE AND OVER OPENINGS. PROVIDE FLASHING AT 1" (25) OVER WEEP HOLES (9.20.13.2). (REFER TO NOTE AS REQUIRED)

4 **BRICK VENEER WALL CONSTRUCTION (2"x4") W/ CONTIN. INSULATION**
3 1/2" (90) BRICK VENEER ON 1" (25) AIR SPACE. 15#/FT2 (73.1kN/m) GALV. METAL TIES @ 16" (400) O.C. HORIZ. 24" (600) O.C. VERT. BONDING AND FASTENING PER TIES TO CONFORM WITH 9.20.9. OR PROVIDE 3/8" (9.5) EXTERIOR TYPE SHEATHING. STUDS CONFORMING TO CSA O121/O151, & SECTION 1.0. INSULATION AND 4 MIL POLYETHYLENE VAPOUR BARRIER ON APPROVED CONTIN. AIR BARRIER. 1/2" (12.7) GYPSUM WALLBOARD INTERIOR FINISH. PROVIDE WEEP HOLES @ 33" (800) O.C. BOTTOM COURSE AND OVER OPENINGS. PROVIDE FLASHING AT 1" (25) OVER WEEP HOLES (9.20.13.2). (REFER TO NOTE AS REQUIRED)

5 **EXTERIOR STUD PARTITIONS** (9.23.3.2, 9.23.10)
BEARING PARTITIONS SHALL BE A MINIMUM 2"x4" (38x89) @ 16" (400) O.C. FOR 2 STORIES AND 12" (305) O.C. FOR 3 STORIES. NON-BEARING PARTITIONS 2"x4" (38x89) @ 24" (610) O.C. PROVIDE 2"x4" (38x89) BOTTOM PLATE AND 2"x4" (38x89) TOP PLATE. 1" (12.7) INSULATION BETWEEN STUDS OR STUDS PROVIDE 2"x6" (38x140) STUDS WHERE NOTED. PROVIDE 2"x6" (38x89) @ 24" (610) O.C. LADDER FRAMING WHERE WALL IS TERMINATED PERPENDICULAR TO THE GABLE END. PROVIDE 2"x4" (38x89) WOOD BLOCKING ON FLAT @ 24" (610) O.C. MAX. BETWEEN FLOOR JOISTS WHEN NON-LOADED BEARING WALL IS PARALLEL TO JOISTS.

6A **EXT. LOFT WALL CONSTRUCTION (2"x6") - NO CLADDING**
3/8" (9.5) EXTERIOR TYPE SHEATHING. STUDS CONFORMING TO CSA O121/O151, & SECTION 1.0. INSULATION AND 4 MIL POLYETHYLENE VAPOUR BARRIER ON APPROVED CONTIN. AIR BARRIER. 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (9.23.3)

6B **EXT. LOFT WALL CONSTRUCTION (2"x6") NO CLADDING W/ CONTINUOUS INSULATION**
APPROVED SHEATHING PAPER ON 3/8" (9.5) EXTERIOR TYPE SHEATHING. RIGID INSULATION. LOFT STUDS MECHANICALLY FASTENED AS PER MANUFACTURER'S SPECIFICATIONS. ON 1/8" (9.5) EXTERIOR TYPE SHEATHING. STUDS CONFORMING TO CSA O121/O151, & SECTION 1.0. INSULATION AND 4 MIL POLYETHYLENE VAPOUR BARRIER ON APPROVED CONTIN. AIR BARRIER. 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (9.23.3)

6 **FOUNDATION WALL/FOOTINGS**
POURED CONC. FOUNDATION WALLS AS PER CHART BELOW ON CONTINUOUS POURED CONCRETE FOOTING. FOUNDATION WALLS SHALL EXTEND NO LESS THAN 4" (100) ABOVE FINISHED GRADE. THE LOWEST OF THE FOUNDATION SHALL BE EMBAPPORTED FROM THE TOP OF THE FOOTING TO FINISHED GRADE AND BACKFILLED TO PROVIDE A FALL AWAY FROM THE FOUNDATION WALL. THE FOOTINGS SHALL BE PLACED ON UNDISTURBED NATURAL SOIL OR COMPACTED FILL. THE BOTTOM OF THE CONC. FOOTINGS SHALL BE PLACED BELOW THE CONCRETE FOOTINGS SUPPORTING WOOD SPANS GREATER THAN 3.0m (10') AND 1' (300) BELOW THE FROST LINE. PROVIDE 2"x4" (38x89) PT SILL PLATE ANCHORED TO FOUNDATION WALL PRIOR TO BACKFILLING ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OF 150kPa (3,132 lb/ft2) CONFORMING TO ULT. MIN. FIELD BEARING CAPACITY OF 150kPa (3,132 lb/ft2). SOIL BEARING DOES NOT MEET MINIMUM OF 150kPa PROFESSIONAL ENGINEER MUST PROVIDE ACTUAL SOIL BEARING CAPACITY TO BE VERIFIED WITH SOIL ENGINEERING REPORT.
REFER TO CONSTRUCTION NOTES FOR ADDITIONAL DETAILS FOR FOUNDATION WALL STRENGTH AND THICKNESS AND 9.15.4.
FOUNDATION WALL IS SHALL NOT EXCEED 1.2m (4') OF BACKFILL IN UNSUPPORTED HEIGHT UNLESS OTHERWISE NOTED. (9.15.4.2(7))

	UNREINFORCED SOLID CONCRETE FOUNDATION WALLS (9.15.3.2)			
	MAX. HEIGHT FROM FINISHED GRADE TO CEILING			
	UNSUPPORTED AT TOP	SUPPORTED AT TOP		
		1.2m (4')	1.5m (4'-11")	1.8m (5'-11")
200 (8")	2.1m (6'-11")	2.0m (6'-11")	2.0m (6'-11")	2.0m (6'-11")
250 (10")	2.4m (7'-11")	2.4m (7'-11")	2.4m (7'-11")	2.4m (7'-11")
300 (12")	2.6m (8'-7")	2.6m (8'-7")	2.6m (8'-7")	2.6m (8'-7")
200 (8")	2.1m (6'-11")	2.0m (6'-11")	2.0m (6'-11")	2.0m (6'-11")
250 (10")	2.4m (7'-11")	2.4m (7'-11")	2.4m (7'-11")	2.4m (7'-11")
300 (12")	2.6m (8'-7")	2.6m (8'-7")	2.6m (8'-7")	2.6m (8'-7")

* IF MIN. THICK FOUNDATION WALL IS REQUIRED FOR MASONRY VENEER PROVIDE 10" (250) MIN. WITH 2 COURSES OF 8" (200) BLOCK IN A PLACE OF 10" (250) THICK FOUNDATION WALL. ACTUAL SOIL BEARING CAPACITY TO BE VERIFIED WITH SOIL ENGINEERING REPORT.
REFER TO CONSTRUCTION NOTES FOR ADDITIONAL DETAILS FOR FOUNDATION WALL STRENGTH AND THICKNESS AND 9.15.4.
FOUNDATION WALL IS SHALL NOT EXCEED 1.2m (4') OF BACKFILL IN UNSUPPORTED HEIGHT UNLESS OTHERWISE NOTED. (9.15.4.2(7))

	REINFORCED CONCRETE FOUNDATION WALLS (9.15.3.3)		
	MAX. HEIGHT FROM FINISHED GRADE TO CEILING		
	UNSUPPORTED AT TOP	SUPPORTED AT TOP	
		1.2m (4')	1.5m (4'-11")
200 (8")	2.1m (6'-11")	2.0m (6'-11")	2.0m (6'-11")
250 (10")	2.4m (7'-11")	2.4m (7'-11")	2.4m (7'-11")
300 (12")	2.6m (8'-7")	2.6m (8'-7")	2.6m (8'-7")
200 (8")	2.1m (6'-11")	2.0m (6'-11")	2.0m (6'-11")
250 (10")	2.4m (7'-11")	2.4m (7'-11")	2.4m (7'-11")
300 (12")	2.6m (8'-7")	2.6m (8'-7")	2.6m (8'-7")

NUMBER FLOORS SUPPORTED	REINFORCEMENT (9.15.3.3)		
	SUPPORTING BASEMENT WALL	SUPPORTING PARTIAL	SUPPORTING PARTIAL
1	10M @ 2'-0" (600)	10M @ 1'-8" (500)	10M @ 1'-8" (500)
2	10M @ 1'-8" (500)	10M @ 1'-0" (300)	10M @ 1'-0" (300)
3	15M @ 1'-8" (500)	15M @ 1'-8" (500)	15M @ 1'-8" (500)

REFER TO SB-12 ENERGY EFFICIENCY DESIGN MATRIX ON THE TITLE PAGE FOR ALL VALUES AS REQUIRED PER 9.36. & 9.25.2. OF THE OBC.

9A **FOUNDATION REDUCTION IN THICKNESS FOR MASONRY**
WHERE THE TOP OF THE FOUNDATION WALLS REDUCED IN THICKNESS TO PERMIT THE INSTALLATION OF MASONRY VENEER ABOVE THE REDUCED SECTION SHALL BE NOT LESS THAN 3 1/2" (90) THICK. THE BRICK VENEER SHALL BE TIED TO THE FOUNDATION WALL WITH CORROSION RESISTANT METAL TIES 3 1/2" (90) VERTICAL AND 24" (610) HORIZONTAL, FILLED WITH MORTAR BETWEEN WALL AND BRICK VENEER (9.15.4.2(2)(b) & (9.20.9.4))

10 **FOUNDATION REDUCTION IN THICKNESS FOR JOISTS**
WHERE THE TOP OF THE FOUNDATION WALLS REDUCED IN THICKNESS TO PERMIT THE INSTALLATION OF FLOOR JOISTS. THE REDUCED SECTION SHALL BE NOT MORE THAN 1/2 (50) OF THE WALL AND NOT LESS THAN 3 1/2" (90) THICK. (9.15.4.2(1))

11 **WEEPING TILE** (9.14.3)
4" (100) WEEPING TILE WITH 12" (300) OVER WRAP & 6" (150) CRUSHED STONE COVER

7 **BASEMENT SLAB ON SLAB ON GRADE** (9.16.4, 9.16.5)
4" (100) MIN. 20MPa (2900psi) CONC. SLAB ON 4" (100) COARSE GRANULAR FILL OR 20MPa (2900psi) CONC. WITH DAMPPROOFING BELOW SLAB. PROVIDE 1/2" (12.7) INSULATION BOARD FOR BOND BREAK AT EDGE, WHERE A BASEMENT SLAB IS PLACED ON TOP OF THE FOUNDATION WALL. PROVIDE REBAR AROUND THE PERIMETER EXTENDING MIN. 24" (610) BELOW GRADE. FOR SLAB ON GRADE CONSTRUCTION REFER TO SLAB SHALL BE APPLIED TO THE UNDERSIDE OF THE ENTIRE SLAB. (9.8.1.3, 9.17.2.4, 9.8)

8 **EXPOSED FLOOR TO EXTERIOR** (9.10.17.3, 9.10.19.3)
PROVIDE SPRAY FOAM INSULATION BETWEEN JOIST AND INSTALL OSB CONFORMING TO 9.23.15.6 FIN SOFFIT OR CLADDING AS PER ELEVATION TO LIS OF EXPOSED CANT. JOISTS.

9 **EXPOSED CEILING TO EXTERIOR w/ ATTIC** (9.25.2.4)
INSULATION, 4 MIL POLYETHYLENE VAPOUR BARRIER. 1/2" (12.7) GYPSUM BOARD INTERIOR FINISH (APPROVED EQ.)

EXPOSED CEILING TO EXTERIOR w/o ATTIC
CLADDING SHALL BE AS PER ELEVATION ATTACHED TO FRAMING MEMBERS ON APPROVED SHEATHING PAPER ON 3/8" (9.5) EXT. GRADE SHEATHING ON STUDS CONFORMING TO CSA O121/O151, & SECTION 1.0. INSULATION. APPROVED FOIL POLYETHYLENE APPROVED BARRIER ON 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. GYPSUM SHEATHING, RIGID INSULATION, AND FIBERBOARD SHALL NOT BE USED FOR THE ATTACHMENT OF SIDING (9.23.13.2). (REFER TO NOTE AS REQ.)

10 **STAIRWELL OPENINGS** (9.8.2, 9.8.4)

1	1" (25)	1" (25)	1" (25)
2	1" (25)	1" (25)	1" (25)
3	1" (25)	1" (25)	1" (25)
4	1" (25)	1" (25)	1" (25)
5	1" (25)	1" (25)	1" (25)
6	1" (25)	1" (25)	1" (25)
7	1" (25)	1" (25)	1" (25)
8	1" (25)	1" (25)	1" (25)
9	1" (25)	1" (25)	1" (25)
10	1" (25)	1" (25)	1" (25)

CHANGE IN OPTIONS TO BE REMEASURED AT A POINT 300mm FROM THE CENTER OF INSIDE WINDOWS. (9.8.4.3)
* REQUIRED CANOPIES IN GARAGE - 0.25 (1/4) SQ.FT.
FOR AN EXTERIOR SAMPLE STAIRS IN A GARAGE, W. BURE TIANA 3 (REFER), BUILDING PERMIT REQUIRED & STEPS AS PER CONSTRUCTION NOTE 10 & 11.

11 **GUARDS/RAILINGS** (9.8.8, 9.8.9)
GUARDS TO BE DESIGNED NOT TO FACILITATE CLIMBING AND PROVIDING MAX. OPENING CONFORMING TO 9.8.8.(1)(b) & 9.8.8.(4). AND BE ABLE TO WITHSTAND LOADS AS PER TABLE 9.8.8.(A).
GUARD HEIGHTS - 0.8m (2'-7") REQUIRED
INTERIOR GUARDS: 3'-11" (1200) MIN.
EXTERIOR GUARDS: 3'-11" (1200) MIN. (LESS THAN 1m 11" (1800) TO GRADE)
EXTERIOR GUARDS: 4'-3" (1300) MIN. (MORE THAN 1m 11" (1800) TO GRADE)
GUARDS FOR SMALL DOMESTIC STAIRS: 2'-11" (900)
GUARDS FOR FLOORS & RAMPS IN GARAGES: (GERALT STAIRS)
FLOOR OR RAMP WOOD OR BRICK WALLS THAT EXCEED 5'-0" (1520) OR MORE ABOVE ADJACENT SURFACE REQUIRES CONC. CURBING 3" (100) HIGH AND BARRIER MIN. 3'-11" (1070) HIGH.
ROOF TOP GUARDS
BETWEEN WALKING SURFACE & ADJACENT SURFACE WITH A DIFFERENCE IN ELEVATION MORE THAN 23" (570) REQUIRE GUARDS. GUARDS SHALL BE 3'-11" (1200) IN HEIGHT. GUARDS SURFACE NO A SLOPE MORE THAN 1 IN 12 SHALL BE PROTECTED WITH GUARDS PROVIDING NO FOOTHOLD TO CLIMB.
HANDRAIL HEIGHTS - 0.86m (2'-10") REQUIRED AS PER 9.8.7.(1)
HEIGHT OF HANDRAILS ON STAIRS SHALL BE 2'-11" (900) MIN. MAX. HEIGHT AT STAIRS, RAMP AND LANDINGS 3'-6" (1070)

12 **SILL PLATES**
2"x6" (38x89) SILL PLATE WITH 1/2" (12.7) ø ANCHOR BOLTS @ 2'-0" (600) LONG EMBEDDED 4" (100) INTO CONC. FOUNDATION PLACED 2" (50) FROM EDGE OF CONCRETE BETWEEN PLATE AND TOP OF FOUNDATION WALL. USE NON-SHRINK GROUT TO EVEL SILL PLATE. (9.23.6.1)

13 **BASEMENT INSULATION** (9.8.10.1(1), 9.25.2.)
PROVIDE CONTINUOUS BLANKET INSULATION W/ SILLT IN A PERFECT FIT LENE LAYOUT BARRIER (INSULATION TO EXTEND NO MORE THAN 2" (50) ABOVE FINISHED BASEMENT FLOOR. DAMPPROOFED WITH BUILDING PAPER BETWEEN THE FOUNDATION WALL AND INSULATION UP TO GRADE LEVEL.

14 **BEARING STUD PARTITION IN BASEMENT** (9.23.3.2, 9.23.10.1)
2"x4" (38x89) STUDS @ 16" (400) O.C. 2"x6" (38x140) PLATE. 2"x8" (38x140) AS REQUIRED. ON DAMPPROOFING MATERIAL OR 2 MIL POLYETHYLENE FILM. 1/2" (12.7) OR MORE BOLTS @ 2'-0" (600) LONG, EMBEDDED 4" (100) MIN. INTO CONC. (9.23.6.1) 2"x8" (38x90) CONC. CURB ON CONC. FOOTING. FOR USE REFER TO TABLE 9.23.3.(A). 2"x4" (38x89) STUDS @ 16" (400) O.C. 2"x6" (38x140) PLATE. 2"x8" (38x140) AS REQUIRED. ON DAMPPROOFING MATERIAL OR 2 MIL POLYETHYLENE FILM. 1/2" (12.7) OR MORE BOLTS @ 2'-0" (600) LONG, EMBEDDED 4" (100) MIN. INTO CONC. (9.23.6.1) 2"x8" (38x90) CONC. CURB ON CONC. FOOTING. FOR USE REFER TO TABLE 9.23.3.(A). 2"x4" (38x89) STUDS @ 16" (400) O.C. 2"x6" (38x140) PLATE. 2"x8" (38x140) AS REQUIRED. ON DAMPPROOFING MATERIAL OR 2 MIL POLYETHYLENE FILM. 1/2" (12.7) OR MORE BOLTS @ 2'-0" (600) LONG, EMBEDDED 4" (100) MIN. INTO CONC. (9.23.6.1) 2"x8" (38x90) CONC. CURB ON CONC. FOOTING. FOR USE REFER TO TABLE 9.23.3.(A).

15 **ADJUSTABLE STEEL BASEMENT COLUMN** (9.15.3.4)
3"x3" (90x90) MAX. SPAN BETWEEN COLUMNS. 3'-11" (1200) SINGLE TUBE PLACED WITHIN BEAM. PROVIDE 1/2" (12.7) ø BOLTS TO CONNECT BEAM AND WITH 4"x4"x1/4" (100x100x6.35) STEEL PLATE TOP & BOTTOM. WELD WELD BASEMENT COLUMN CONNECTION. PROVIDE CONCRETE FOOTING IN NATURE UNDISTURBED SOIL OR 150kPa (3,132 LB/FT2) OR COMPACTED ENGINEERED FILL WITH MIN. BEARING CAPACITY OF 150kPa (3,132 LB/FT2)

SUPPORTING 1 STOREY FULL LOAD PROVIDE 2"x4" (38x89)	1.8m (5'-11")
SUPPORTING 1 STOREY FULL LOAD PROVIDE 2"x6" (38x140)	2.0m (6'-11")

16 **NON-ADJUSTABLE STEEL BASEMENT COLUMN**
3"x3" (90x90) 4.78# (100x100x6.35) NON-ADJUSTABLE STEEL COLUMN WITH 4"x4" (100x100) STEEL PLATE TOP & BOTTOM PLATE PLACED WITHIN BEAM. PROVIDE 1/2" (12.7) ø BOLTS TO CONNECT BEAM AND WITH 4"x4"x1/4" (100x100x6.35) STEEL PLATE TOP & BOTTOM. WELD WELD BASEMENT COLUMN CONNECTION. PROVIDE CONCRETE FOOTING IN NATURE UNDISTURBED SOIL OR 150kPa (3,132 LB/FT2) OR COMPACTED ENGINEERED FILL WITH MIN. BEARING CAPACITY OF 150kPa (3,132 LB/FT2) OR PROFESSIONAL ENGINEER MUST PROVIDE ACTUAL SOIL BEARING CAPACITY TO BE VERIFIED WITH SOIL ENGINEERING REPORT.

SUPPORTING 1 STOREY FULL LOAD PROVIDE 2"x4" (38x89)	1.8m (5'-11")
SUPPORTING 1 STOREY FULL LOAD PROVIDE 2"x6" (38x140)	2.0m (6'-11")

17 **STEEL BEAM BEARING AT FOUNDATION WALL** (9.23.9.1)
BEAM SHALL BE 4" (100) MIN. FOR BEARING ON CONC. OR MASONRY.

18 **WOOD STRUCTURAL BEAM BEARING** (9.23.4.1(1), 9.23.8.2)
2"x4" (38x89) CONTROL WOOD STRAPPING BOTH SIDES OF STEEL BEAM.

19 **GARAGE SLAB** (9.16, 9.25)
4" (100) 20MPa (2900psi) CONC. SLAB WITH 3.5% (3") ENTRAPMENT ON OPT. 4" (100) COARSE GRANULAR FILL WITH COMPACTED SUBGRADE OR COMPACTED FILL. (9.8.1.3)

20 **GARAGE TO HOUSE WALLS/CEILING** (9.10.9.16)
1/2" (12.7) GYPSUM BOARD ON WALLS AND CEILING BETWEEN HOUSE AND GARAGE. PLUS REQUIRED INSULATION IN WALLS AND SPRAY FOAM FOR CEILINGS, TAPE AND SEAL ALL JOINTS AND TRIMS. (9.10.9.16.(1), (2), (3), (4), (5), (6), (7), (8))

20 **GARAGE TO HOUSE WALLS/CEILING W/ CONTIN. INSULATION**
1/2" (12.7) GYPSUM BOARD ON CEILINGS AND ON WALLS INSTALLED OVER BETWEEN RIGID INSULATION (WHERE INSTALLED) MECHANICALLY FASTENED AS PER MANUFACTURER'S SPECIFICATIONS ON 3/8" EXTERIOR GRADE SHEATHING ON STUDS BETWEEN HOUSE AND GARAGE. PLUS REQUIRED INSULATION IN WALLS & SPRAY FOAM FOR CEILINGS, TAPE AND SEAL ALL JOINTS AND TRIMS. (9.10.9.16.(1), (2), (3), (4), (5), (6), (7), (8))

20 **GARAGE DOOR TO HOUSE** (9.10.9.16, 9.10.13.15, 9.10.9.13.2)
GAS-PROOF DOOR AND FRAME, DOOR EQUIPPED WITH SELF CLOSING DEVICE AND WEATHER STRIPPING

21 **EXTERIOR AND GARAGE STEPS**
PRECAST CONC. STEP OR WOOD STEP WHERE NOT EXPOSED TO WEATHER. MAX. RISE 7" (180). MIN. TREAD 10" (255). FOR THE REQUIRED NUMBER OF STEPS REFER TO GRADING AND GRADING DRAWINGS. EXTERIOR CONCRETE STAIRS WITH MORE THAN 2 RISERS AND 2 TREADS SHALL BE PROVIDED WITH FOUNDATION AS REQUIRED BY ARTICLE 9.8.3.2. OR SHALL BE CANTILEVERED AS PER SUBSECTION 9.8.1.5.

22 **DRYER EXHAUST**
CAPPED DRYER EXHAUST VENTED TO EXT. CONFORMING TO PART 6, OBC 9.32.

23 **ATTIC ACCESS** (9.25.5.2)
ATTIC ACCESS PATH WITHIN AREA OF 5.0m2 AND NO LESS THAN 2'-0" (610) WITH OVERHEAD STRAPPING AND WARNINGS TO THE ATTIC OR ROOF SPACE. WILL BE FITTED WITH DOORS OR COVERS AND WILL BE INSULATED WITH FIBERGLASS (9.25.2.3.(1)).

24 **FIREPLACE CHIMNEYS** (9.21.2)
TOP OF FIREPLACE CHIMNEY SHALL BE 2'-0" (610) ABOVE THE HIGHEST POINT OF WHERE CHIMNEY PASSES THROUGH THE ROOF AND 2'-0" (610) ABOVE THE ROOF SURFACE WITHIN A HORIZONTAL DISTANCE OF 10'-0" (3048) FROM THE CHIMNEY.

25 **LINEN CLOSET**
SHELVES - 3 SHELVES MIN. 14" (356) DEEP.

26 **MECHANICAL VENTILATION** (9.32.3.4)
MECHANICAL EXHAUST FAN, DUCTED TO EXTERIOR, TO PROVIDE AT LEAST ONE AIR CHANGE PER HOUR. SEE GENERAL NOTE 3.2.

27 **PARTY WALL BEARING** (9.23.9)
2"x4" (38x89) BEARING PLATE, PLATE FOR STEEL BEAMS AND WALL PLATE (50x89) (9.23.9). STEEL PLATE FOR WOOD BEAMS BEARING MIN. 3"x3" (89) ON CONC. BLOCK PARTY WALL, ANCHORED WITH 2"x4" (38x89) (9.23.9.4) 1/2" (12.7) LONG BOLT ANCHORS WITHIN WOOD BLOCK COURSE, LEVEL W/ NONSHRINK GROUT. REFER TO NOTES FOR SLIP BEARING (SECTION 2.0) FOR WOOD, STEEL PARTY WALL.

28 **WOOD FRAMING IN CONTACT TO CONCRETE**
WOOD BEARING WALLS, THE LOWEST PLATE OF BUILT UP WOOD POSTS AND SILLS SHALL BE WRAPPED WITH 4 MIL POLYETHYLENE FOR PROTECTION FROM FOUNDATION WALL SHALL BE A MINIMUM OF 1" (25) BELOW THE BEARING WALL AND/OR WOOD POST. (9.17.2.4.)

29 **BUILT-UP WOOD POST AND FOOTING** (9.17.4.2, 9.15.3.2)
2"x4" (38x89) BUILT-UP WOOD POST (2x4s) UNLESS OTHERWISE NOTED ON METAL BASE ONLY ANCHORED TO CONC. WITH 1/2" (12.7) BOLT. 3"x3" (90x90) (EXTRA) CONC. FOOTING OR AS PROVIDED ON PLAN. METER TO NOTE 28

30 **STEP FOOTINGS** (9.15.3.4)
MIN. HORIZ. STEP = 20" (510). MAX. VERT. STEP = 23" (610).

31 **CONC. PORCH SLAB** (9.16.4)
4" (100) 20MPa (2900psi) CONC. SLAB ON GRADE ON 4" (100) COARSE GRANULAR FILL. REINFORCED WITH 6x6x6x6 (W9xW9) MESH PLACED NEAR MIDDEPTH OF SLAB. CONC. STRENGTH 30MPa (4400psi). WITH 5-8% AIR ENTRAINMENT ON CONTRACTOR SUBGRADE.

32 **FURNACE VENTING** (9.32.)
DIRECT VENT FURNACE TERMINAL MIN. 3'-0" (915) FROM A GAS REGULATOR. MIN. 12" (305) ABOVE THE GRADE, FROM ALL OPENINGS, EXHAUST AND INTAKE VENTS, AND INTAKE TO BE A MIN. OF 6'-0" (1830) FROM ALL EXHAUST VENTS ALL. REFER TO GAS UNIFORM CODE.

33 **FIREPLACE VENTING** (9.32.3.)
DIRECT VENT GAS FIREPLACE VENT TO BE A MIN. 3'-0" (915) FROM ANY OPENING AND ABOVE FINAL GRADE. REFER TO GAS UNIFORM CODE.

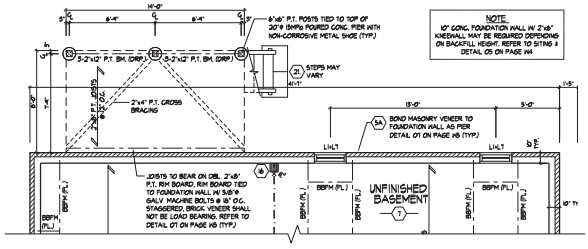
34 **FLOOR FRAMING** (9.23.3.3, 9.23.4.2, 9.23.14.)
2"x10" (38x235) SPRUCE JOISTS, FOR SPANS REFER TO TABLE 9.23.3.(A). 2"x10" (38x235) SPRUCE JOISTS, FOR SPANS REFER TO TABLE 9.23.4.(A). 2"x10" (38x235) SPRUCE JOISTS, FOR SPANS REFER TO TABLE 9.23.14.(A). 2"x10" (38x235) SPRUCE JOISTS, FOR SPANS REFER TO TABLE 9.23.14.(B). JOISTS TO BE SPACED NO MORE THAN 2'-0" (610) O.C. MAX. ALL JOISTS TO BE STRAPPED WITH 1"x1" (19x19) @ 8'-0" (2438) O.C. UNLESS A CEILING IS ATTACHED TO THE JOISTS.

34A **HEADER CONSTRUCTION**
PROVIDE CONTINUOUS APPROVED WATERVAPOUR BARRIER (FASTER WRAP) UNDER SILL, ALL SIDES OF THE WINDOW OR DOOR AND UNDER THE HEADER. PROVIDE 2" (50) MIN. OF SPRAY FOAM INSULATION BETWEEN BOTH FOR A TOTAL OF 3" (76) MIN. OF SPRAY FOAM. (SPF 75 1.5#/CUBIC FOOT) - SHIMS SHIMMED TIGHT BETWEEN THE FACE OF THE HEADER AND THE FACE OF THE STUD WALL AND OVERLAP WITH THE VAPOUR BARRIER AND SEAL. STAPLING AND FASTENERS TO THE FRAME AND STUDS ONLY.

35 **EXPOSED BUILDING FACE w/ LIMITING DISTANCE >= 3'-11" (1.20m)**
WALL ASSEMBLY CONFORMING TO LIMITING DISTANCE TO WALL ASSEMBLY RATING. A MASS OF NOT LESS THAN 22.5kg/m2 (4.6 lb/ft2) OR HAVE A FIRE RESISTANCE OF 45 MIN. (9.10.14.5(1)(a)) SPRAY FOAM INSULATION BETWEEN THE OPENING & WINDOW FRAME. PROVIDE 2" (50) MIN. OF SPRAY FOAM INSULATION BETWEEN THE FACE OF THE WINDOW FRAME AND THE FACE OF THE FOUNDATION WALL ON EACH SIDE OF THE WINDOW OPENING. - SHIMS TO WRAP WITH 6 MIL POLYETHYLENE COVER.
- BARS TO EXTEND 24" (610) BEYOND BOTH SIDES OF OPENING

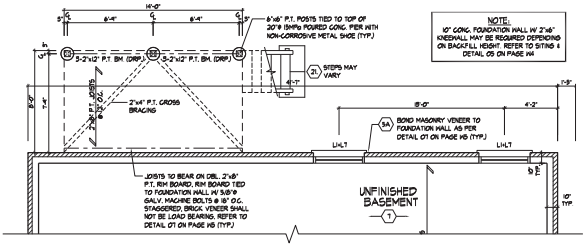
36 **STUD WALL REINFORCEMENT**
PROVIDE STUD WALL REINFORCEMENT IN BATHROOM (BATHROOM CONFORMING TO CSA-B651-95) (REFER TO DETAILS)

37 **WINDOW WELLS**
WHERE A WINDOW OPENING INTO A WINDOW WELL A CLEARANCE OF NOT LESS THAN 2'-0" (610) SHALL BE PROVIDED IN FRONT OF THE WINDOW. EVERY WINDOW WELL SHALL BE DRAINED TO THE FOOTING LEVEL ON OTHER SUITABLE LOCATION WITH A 4" (100) WEEPING TILE ON A FILTER DUCT. REFER TO TILE DRAINS FOR CHILDREN B



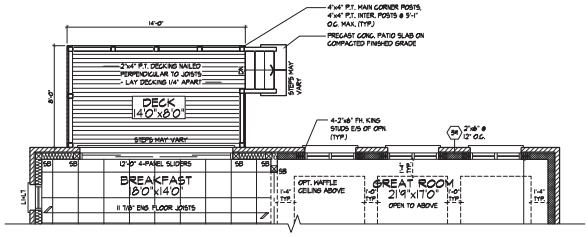
PART. BASEMENT PLAN, EL. 'A', 'B' & 'C' - W.O.D. CONDITION

REFER TO STANDARD PLAN FOR COMPLETE CONSTRUCTION NOTES & DIMENSIONS



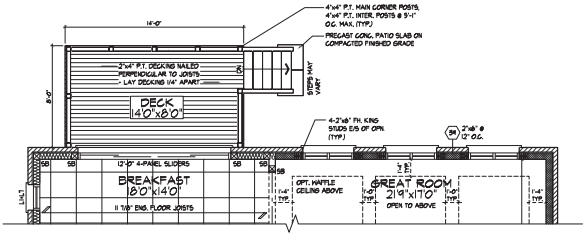
PART. BASEMENT PLAN, EL. 'A', 'B' & 'C' - L.O.D. CONDITION

REFER TO STANDARD PLAN FOR COMPLETE CONSTRUCTION NOTES & DIMENSIONS



PART. GROUND FLOOR PLAN, EL. 'A', 'B' & 'C' - W.O.D. CONDITION

REFER TO STANDARD PLAN FOR COMPLETE CONSTRUCTION NOTES & DIMENSIONS



PART. GROUND FLOOR PLAN, EL. 'A', 'B' & 'C' - L.O.D. CONDITION

REFER TO STANDARD PLAN FOR COMPLETE CONSTRUCTION NOTES & DIMENSIONS

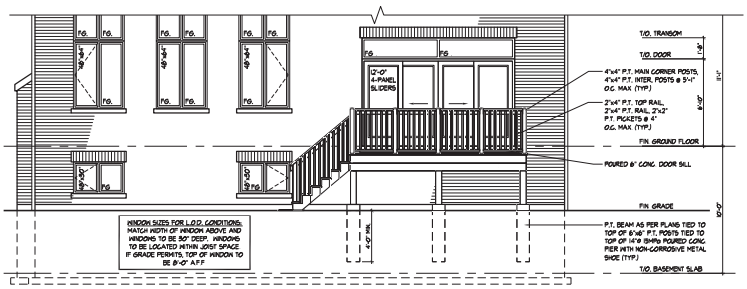
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements of the City of Vaughan (unless specifically noted in the subdivision agreement). The Control Architect is not responsible in any way for examining or reporting the Building plans or drawings to the City of Vaughan for building code or permit review or compliance. House design presently built in Enclave on the R.C.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY:
DATE: April 18, 2022
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

PART. REAR ELEVATION 'A', 'B' & 'C' - W.O.D. CONDITION

REFER TO FRONT ELEVATION & STANDARD REAR FOR TYPICAL NOTES & INFO



PART. REAR ELEVATION 'A', 'B' & 'C' - L.O.D. CONDITION

REFER TO FRONT ELEVATION & STANDARD REAR FOR TYPICAL NOTES & INFO

LICENSED PROFESSIONAL ENGINEER
A. WONG
100158462
PROVINCE OF ONTARIO
Expiry Date: 2022

FOR STRUCTURAL ONLY, EXCLUDING FRAMING OF FLOOR SYSTEM, JOIST, AND FLOOR LVL BEAM DESIGN.

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PINE VALLEY PH. 2, VAUGHAN, ON.

W.O.D., LO.D. CONDITIONS
'THE RIVERVIEW' - 5013
REV.2022.08.05

Drawn	Checked	Date	Scale	File Number	Sheet number
WT	AW	3/16"=1'-0"	221081WS5013.dwg		W1 of W2

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A. KONG
100154042
August 05, 2022
PROVINCE OF ONTARIO

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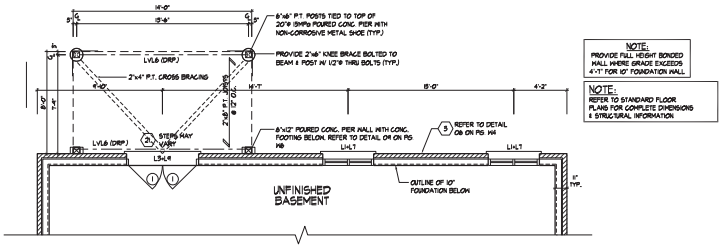
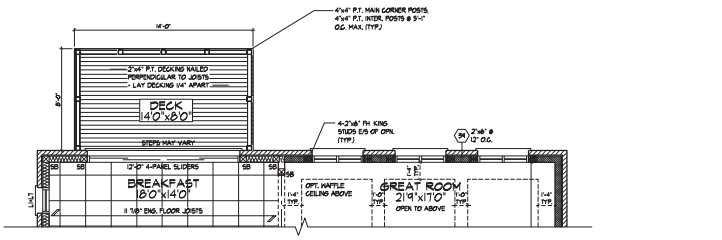


NOTE:
PROVIDE FULL HEIGHT BONDED WALL WHERE GRADE EXCEEDS 4'-1" FOR 10" FOUNDATION WALL.

NOTE:
REFER TO STANDARD FLOOR PLANS FOR COMPLETE DIMENSIONS & STRUCTURAL INFORMATION

PART. BASEMENT PLAN, EL. 'A', 'B' & 'C' - W.O.B. CONDITION

REFER TO STANDARD PLAN FOR COMPLETE CONSTRUCTION NOTES & DIMENSIONS



PART. GROUND FLOOR PLAN, EL. 'A', 'B' & 'C' - W.O.B. CONDITION

REFER TO STANDARD PLAN FOR COMPLETE CONSTRUCTION NOTES & DIMENSIONS

PART. REAR ELEVATION. 'A', 'B' & 'C' - W.O.B. CONDITION

REFER TO FRONT ELEVATION & STANDARD REAR FOR TYPICAL NOTES & INFO.

WINDOW SIZES FOR W.O.B. CONDITIONS:
- W.O.B. = MATCH WIDTH OF WINDOW ABOVE AND WINDOWS TO BE 54" DEEP. TOP OF WINDOW TO BE @ 7'-10" A.F.F.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable laws, codes and ordinances. In the event of any conflict between such laws and in the Architectural Guidelines, the Control Architect is not responsible in any way for approving or disapproving any filing(s) that is in violation of any applicable law, code or building code or being inaccurate or deficient in any respect be properly built or located on lot(s).

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL ISSUER
AND APPROVER
APPROVED BY: [signature]
DATE: Aug 05, 2022
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

DRAWN	CHECKED	DATE	SCALE				
WT	AW	3/16"=1'-0"	221081WS5013.dwg				W2 of W2

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W.O.B. CONDITION
'THE RIVERVIEW' - 5013
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