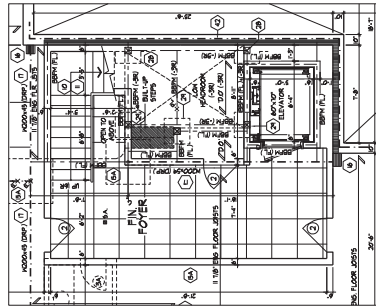
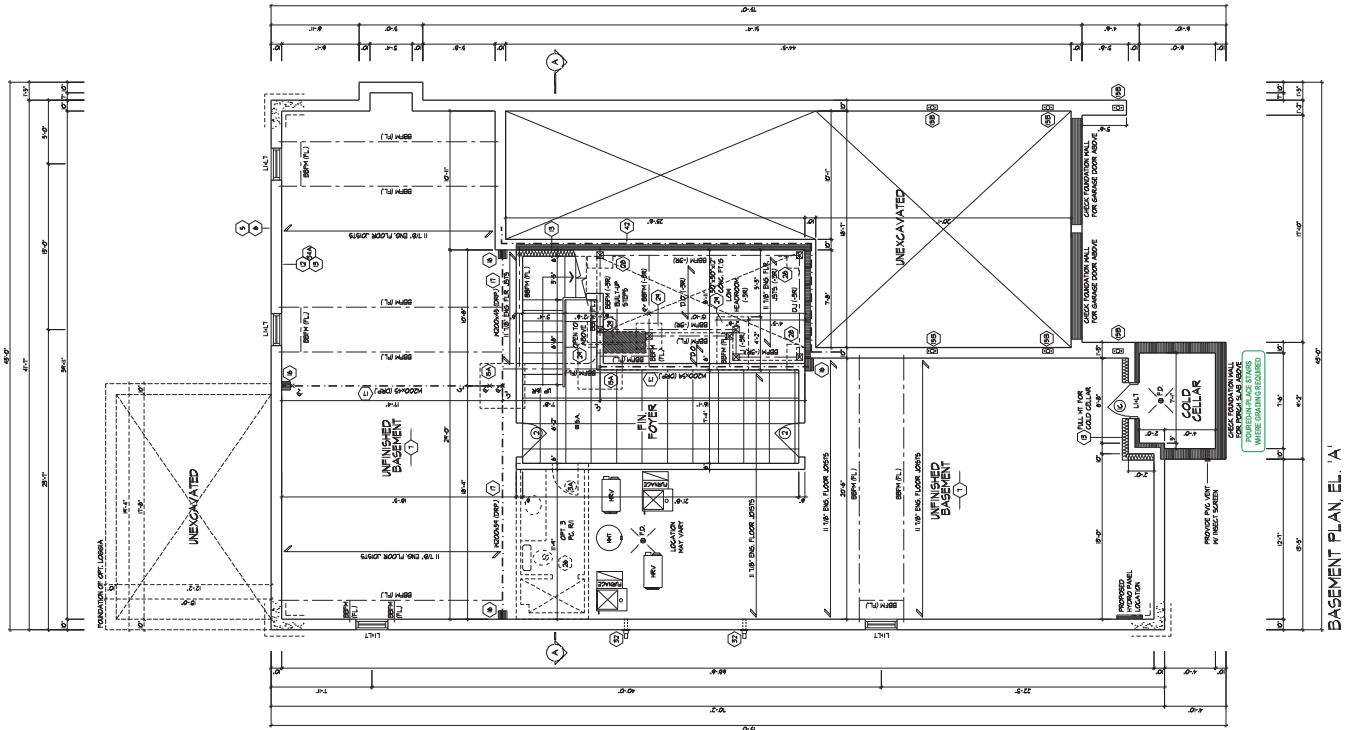




ELEVATION 'C'



FOR STRUCTURAL ONLY, EXCLUDING  
ENGINEERED ROOF TRUSS, FLOOR  
JOIST, AND FLOOR LVL BEAM DESIGN.



PARTIAL BASEMENT PLAN, EL. 'A'  
W/OPT. ELEVATOR

- THIS DRAWING IS FOR INFORMATION ONLY. IT IS NOT TO BE USED FOR CONSTRUCTION WITHOUT THE APPROVAL OF THE ENGINEER.
- PROVIDE SLOPE INDICATOR FOR ALL FLOORS AND ROOFS.
- PROVIDE SLOPE INDICATOR FOR ALL EXTERIOR WALLS.
- PROVIDE SLOPE INDICATOR FOR ALL EXTERIOR WALLS.
- PROVIDE SLOPE INDICATOR FOR ALL EXTERIOR WALLS.

This is to certify that these plans comply with the applicable Ontario Building Code and all applicable regulations. The Engineer's name and signature are required on all drawings. The Engineer's name and signature are required on all drawings. The Engineer's name and signature are required on all drawings.

PROJECT: GOLDPARK HOMES - 221081  
SHEET: 221081-01  
DATE: 2022-08-05  
DRAWN BY: [Signature]  
CHECKED BY: [Signature]  
APPROVED BY: [Signature]

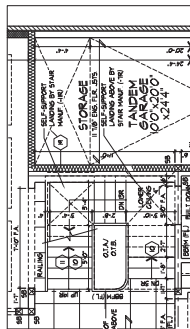
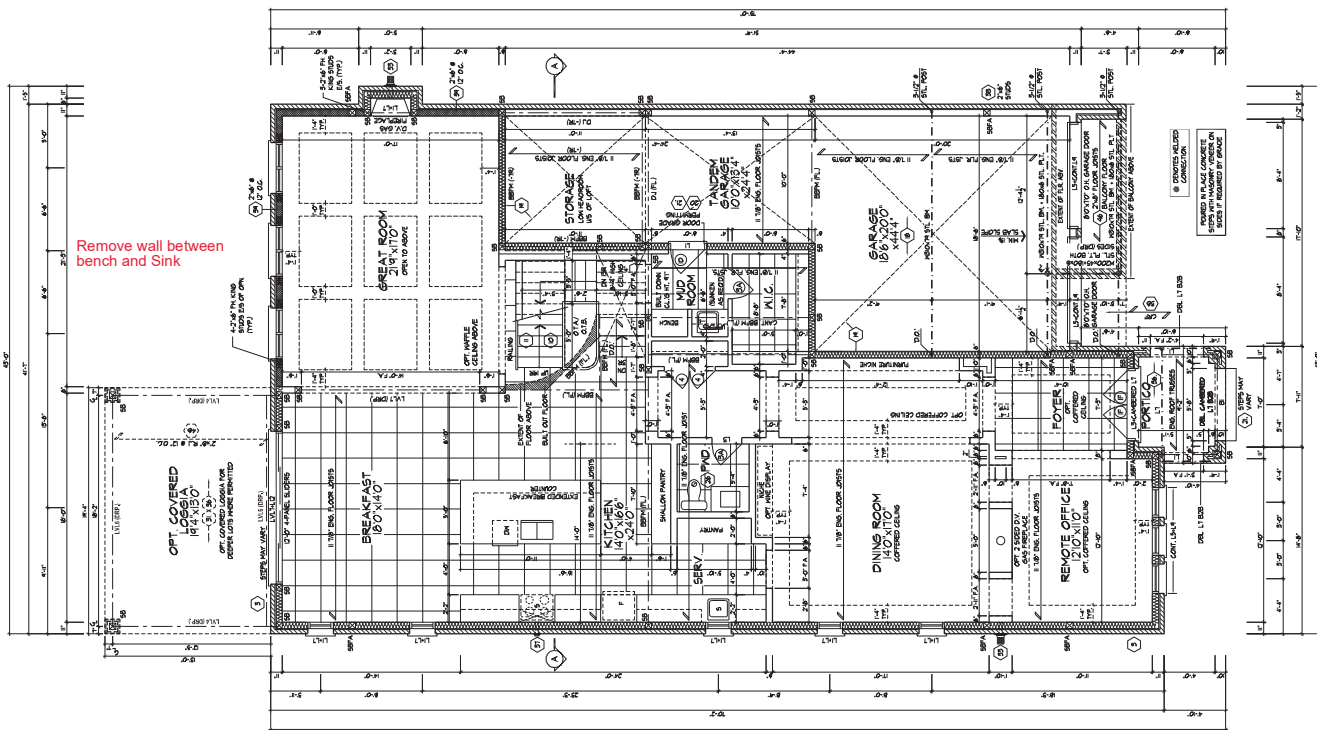
**HUNT**  
DESIGN ASSOCIATES INC.  
1000 Woodbine Ave., Markham, ON L3R 9W7  
Tel: 905.709.0138  
Fax: 905.709.0139  
www.hunt-design.com

**GOLDPARK HOMES - 221081**  
ONE VALLEY PL. 2, VAUGHAN, ON.  
REV: 2022-08-05  
2 of 27

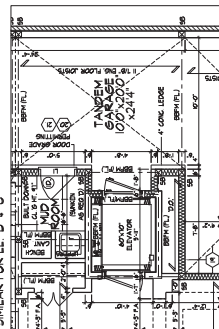


FOR STRUCTURAL ONLY. EXCLUDING  
ENGINEERED ROOF TRUSS, FLOOR  
JOIST, AND FLOOR LVL BEAM DESIGN.

Remove wall between bench and Sink



PART. GROUND FLOOR PLAN, W/  
NO LOFT CONDITION, EL. 'A'



PART. GROUND FLOOR PLAN,  
W/ OPT. ELEVATOR, EL. 'A'  
SIMILAR FOR EL. 'B' & 'C'

PROVIDE SOLID WOOD  
BLOCKING @ 24" O.C. FOR  
FIRST JOIST SPAN WHEN  
PARALLEL W/ EXTERIOR WALL.

REFER TO FLOOR JOIST  
MANUFACTURER'S DRAWINGS  
FOR LAYOUT, SPACING,  
BLOCKING & STRAPPING  
REQUIREMENTS, INSTALLATION

SPACE ALL FLOOR JOISTS @  
12" O.C. UNDER ALL CERAMIC  
TILE AREAS.

REFER TO ROOF TRUSS  
MANUFACTURER'S DRAWINGS  
FOR LAYOUT, SPACING,  
INSTALLATION DETAILS AND

INSTALLATION DETAILS AND HANGER SIZES.	<p>SOLID MASONRY WALL WITH VERT. REBARS (LAP 14" GROUTED INTO BRICK JOINTS)</p> <p>17.</p>
--	--

2" x 8" 5/8" PLATE @ TOP ANCHORED TO SOLID MASONRY WALL WITH 12" BOLTS @ 24" O.C. STAGGERED	MASONRY VENEER TIED TO MASONRY SUBSTRATE WITH ALL LEADERS
CAST INTO BRICK JOINTS	

MASS  
LOU  
VENEER WITH GALV. METAL  
18" O.C. AND 24" VERTICAL  
VOID BETWEEN MASONRY V  
WITHES SOLID W/ MORTAR

It is the **owner's** complete responsibility to ensure that all plans submitted for approval comply with the Architectural Guidelines of the applicable jurisdiction and meet the requirements of the applicable zoning ordinance. In the submittal agreement, this Control Agreement is not responsible in any way for exceeding or approving any federal plans or zoning ordinances with respect to any zoning or building code compliance. The Control Agreement can be properly executed on this poster can be properly executed on this poster.

It is so certified that these plans comply with the applicable Architectural Guidelines of the applicable jurisdiction approved by the City of VALHOLM.

**JOHN C. WILLIAMS LTD., ARCHITECT**  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY: \_\_\_\_\_  
DATE: **AUGUST 2008**

This stamp certifies compliance with the applicable Design Guidelines and any zoning or building code compliance.

GROUND FLOOR PLAN, EL. 'A'

THE UNDERSIGNED HEREBY CERTIFIES AND TAKES RESPONSIBILITY FOR THE FOLLOWING AS THE ONLY PERSONS WHO KNOW AND AGREE THE SIGNATURE(S) SET OUT IN THE DATA(S) COLUMN OF THIS TO BE A SIGNATURE.		
NAME OF THE ORGANIZATION	<i>aw</i>	2317
John Whiting		
NAME	<i>signature</i>	03
ROLE/TITLE OF PERSON(S)		
HEAVY CREATION ASSOCIATES INC.		1668

**HUNT**  
DESIGN ASSOCIATES INC.  
www.huntdesign.ca

**GOLDPARK HOMES - 221081**  
**PINE VALLEY PH. 2, VAUGHAN, ON.**

Sheet No.	Quantity	Unit
WT	AW	3/16" = 14"

8996 Woodbine Ave. Markham, ON L3R 0J7 T 905.75

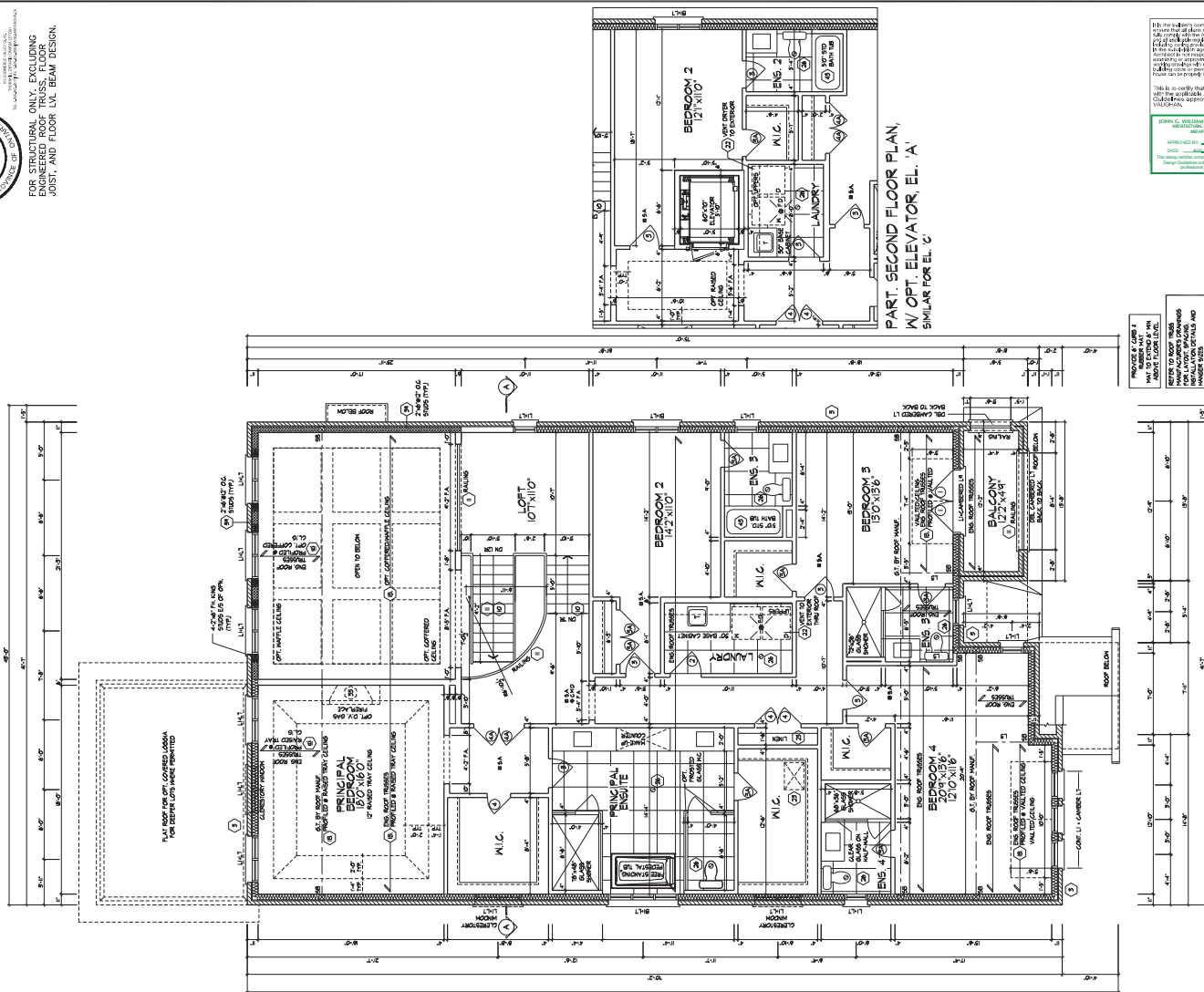
GROUND FLOOR PLAN, EL. 'A'  
 'THE RIVERVIEW' - 5013  
 REV.2022.08.05

Number Page Number  
 221081WS5013.dwg 3 of 27

6133 F 935,737,7326



FOR STRUCTURAL ONLY. EXCLUDING  
ENGINEERED ROOF TRUSS, FLOOR  
JOIST, AND FLOOR LVL BEAM DESIGN.



This is the owner's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines of the applicable jurisdiction and are not in violation of any applicable laws and/or regulations. It is the owner's responsibility to obtain all necessary permits for the proposed project. The Contractor is not responsible in any way for the existence or accuracy of the listed plans or any other drawings with respect to any zoning or building code or permit requirements. The house can be properly constructed in accordance with the plans.

This is to certify that these plans comply with the applicable Architectural Guidelines approved by the City of VALUOGHAN.

**JOHN C. WILLIAMS LTD., ARCHITECT**  
ARCHITECTS, CONSTRUCTION  
AND INTERIORS

APPROVED BY:  
DATE: August 2013

This stamp certifies compliance with the applicable Design Guidelines only and does not constitute professional responsibility.

PROVIDE 6" CURB &  
RUBBER MAT.  
MAT TO EXTEND 6" MIN  
ABOVE FLOOR LEVEL.

SECOND FLOOR PLAN, EL. 'A'

THE UNDERSIGNED WITNESSES AND JURY HAVE RESPONDED TO THE OATH AND HAVE  
THE OATH AND HAVE RESPONDED TO THE OATH AND HAVE RESPONDED TO THE OATH  
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OATH TO A TRUE VERDICT.  
After Reading \_\_\_\_\_ 23  
JURY \_\_\_\_\_  
RETURN TO THE COURT \_\_\_\_\_  
HARRY ESTIMAN ASSOCIATES INC. \_\_\_\_\_ 18  
All documents associated with this document and related can be found at \_\_\_\_\_



**HUNT**  
DESIGN ASSOCIATES INC.

**GOLDPARK HOMES - 221081**  
PINE VALLEY PH. 2, VAUGHAN, ON.

SECOND FLOOR PLAN, EL. 'A'  
 'THE RIVERVIEW' - 5013  
 REV.2022.08.05

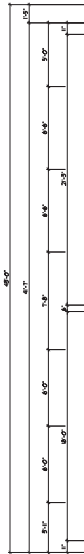
Page number  
4 of 27



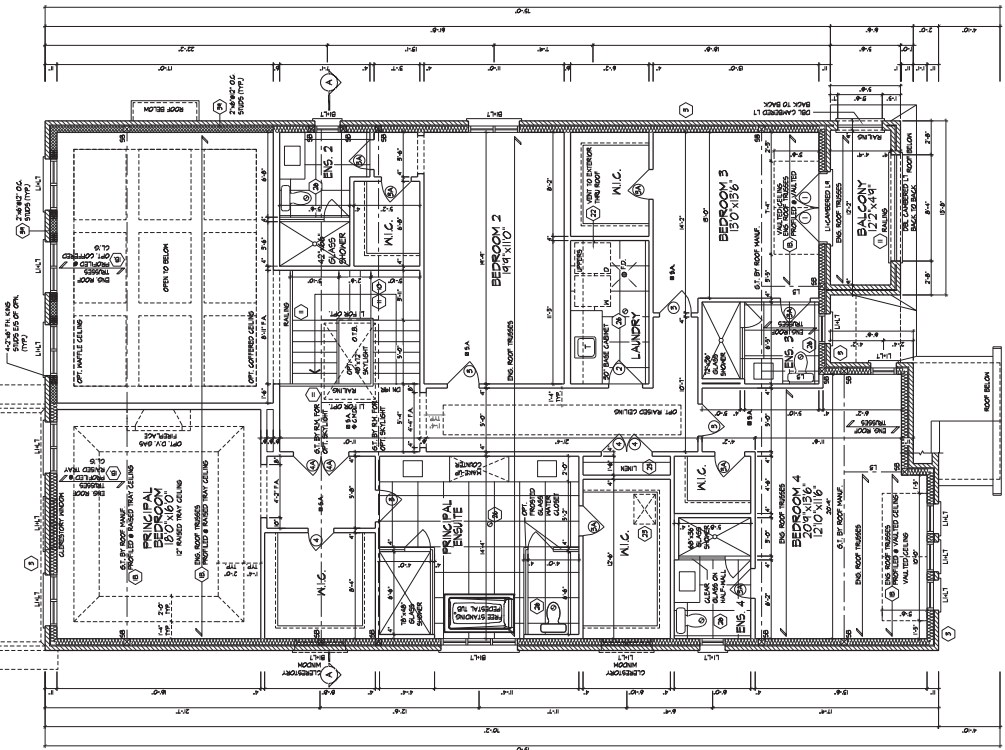


**WSP**  
WILLIS TOWERS WATSON  
PROFESSIONAL ENGINEER  
A. LONG  
LICENSE NO. 20000  
DATE 2020

FOR STRUCTURAL ONLY, EXCLUDING  
ENGINEERED ROOF TRUSS, FLOOR  
JOIST, AND FLOOR LVL BEAM DESIGN.

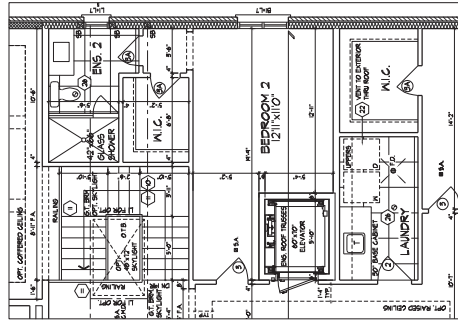


PLAN ROOF FOR OPT. COVERED LOGGIA  
FOR DECKS LOTS WERE REMOVED



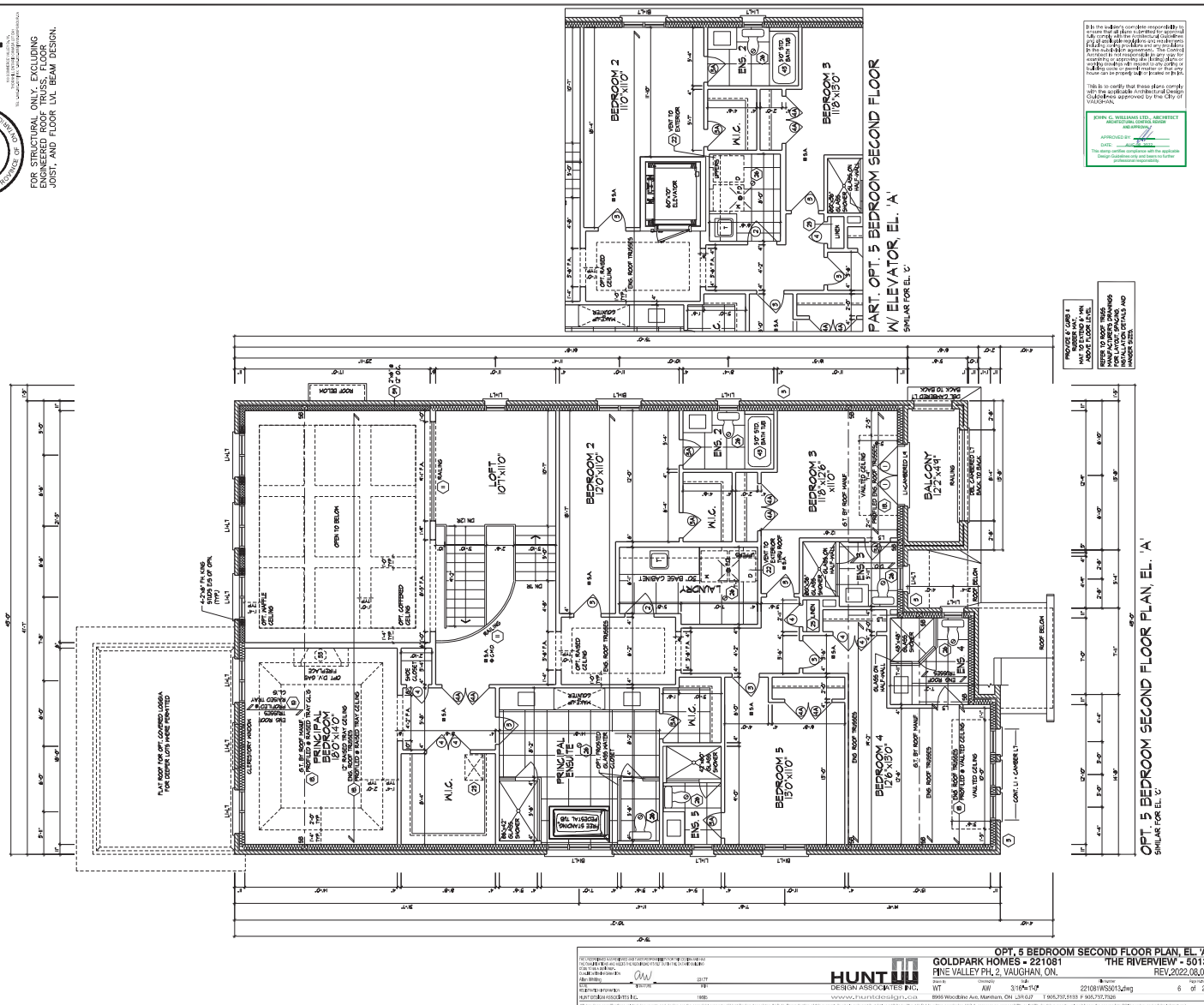
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96. REVISION 96  
97. REVISION 97  
98. REVISION 98  
99. REVISION 99  
100. REVISION 100

SECOND FLOOR PLAN W/O. LOFT, EL. 'A'  
SIMILAR FOR EL. 'C'



PART. SECOND FLOOR PLAN W/O.  
LOFT W/ ELEVATOR, EL. 'A'  
SIMILAR FOR EL. 'C'

This is to certify that these plans comply with the applicable provisions of the Building Code as approved by the City of Vaughan.  
JOHN C. WILSON LTD. ARCHITECT  
ARCHITECT  
DATE: 2020-08-10  
The undersigned hereby certifies that the undersigned is a duly qualified and licensed architect in the Province of Ontario and is duly qualified and licensed to practice in the Province of Ontario.



This is the owner's complete responsibility to ensure that all plans submitted for approval comply with the City of Vaughan's **Code of Official By-Laws** and the **City of Vaughan's** **Official Plan**. The **City of Vaughan** is not responsible in any way for the content or accuracy of any plan submitted for approval with respect to any other building code or permit matter or that any house can be properly built or located on the lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

**JOHN C. WILLIAMS LTD., ARCHITECT**  
ARCHITECTURAL DESIGN, DESIGN  
AND APPROVAL

APPROVED BY:  
DATE: \_\_\_\_\_ ARCHITECT

This stamp certifies compliance with the applicable Design Guidelines only, and does not constitute professional endorsement.

---

OPT. 5 BEDROOM SECOND FLOOR PLAN. 'A'

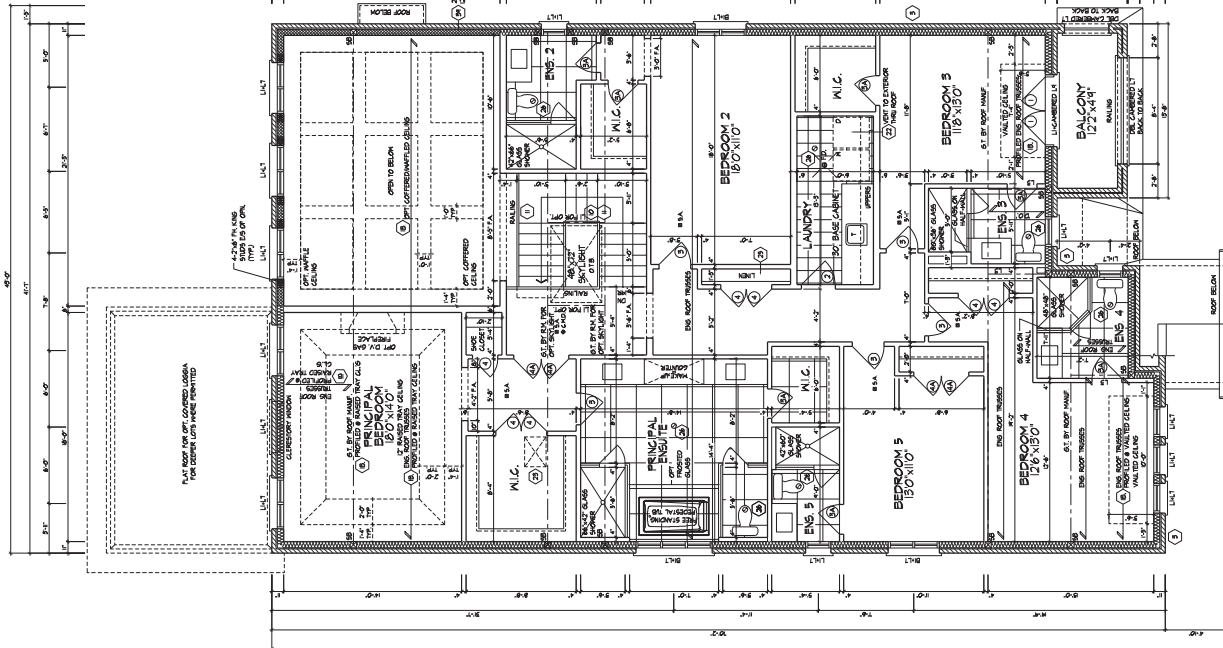
PROVIDE 6" CURBS & RUBBER MAT. MAT TO EXTEND 6" MIN ABOVE FLOOR LEVEL.



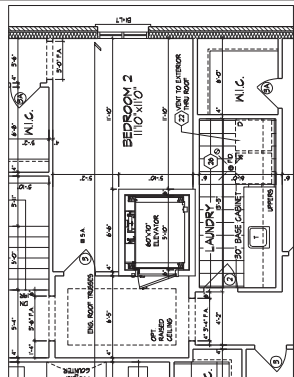
**HUNT**  
DESIGN ASSOCIATES INC.

OPT, 5 BEDROOM SECOND FLOOR PLAN, EL. 'A'  
GOLDPARK HOMES - 221081 'THE RIVERVIEW' - 5013  
PINE VALLEY PH. 2, VAUGHAN, ON. REV.2022.08.05

Drawn by	Checked by	Date	Number	Page number
WT	AW	3/16/24	221081WS013.dwg	6 of 27



OPT. 5 BEDROOM SECOND FLOOR PLAN W/O. LOFT, EL. 'A'



PART. OPT. 5 BEDROOM SECOND FLOOR PLAN,  
W/O. LOFT W/ ELEVATOR, EL. 'A'

This is the owner's complete responsibility to ensure that all plans submitted for approval fully comply with the provisions of the Guidelines for Architectural Design and Review and the Submittal Procedures and any other rules in the submittal agreement. The Control Architect is not responsible in any way for exceeding or approving any financial plan or any other stipulations with respect to any kind of building cost or permit matter or that any house can be properly built or located on the lot.

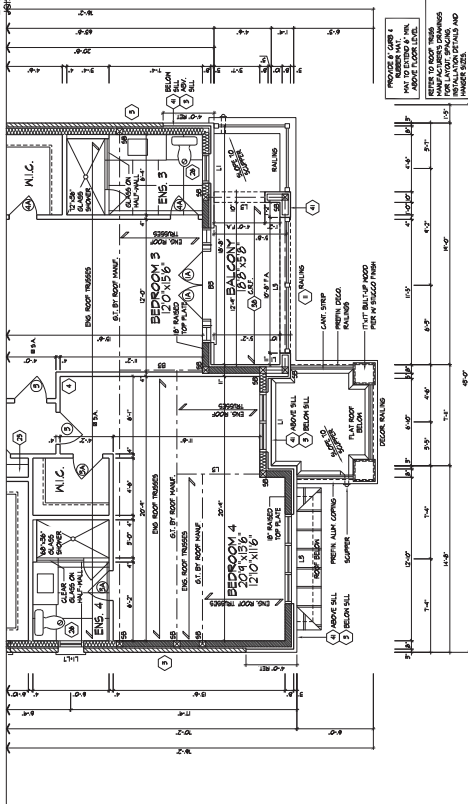
This is to certify that these plans comply with the applicable Architectural Design and Review Guidelines approved by the City of VAUGHAN.

**JOHN C. WILLIAMS LTD., ARCHITECT**  
ARCHITECTURAL, CIVIL, DESIGN  
AND ENGINEERING

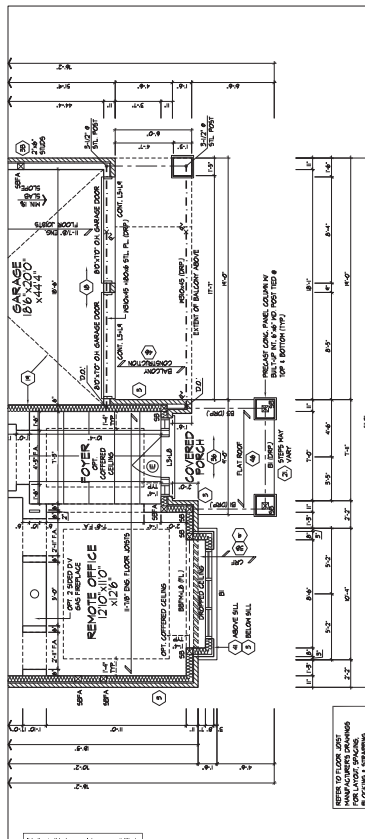
APPROVED BY:  
DATE: August 1, 2013

This stamp certifies compliance with the applicable City Guidelines and any Submittal Procedures and the architect's professional responsibility.

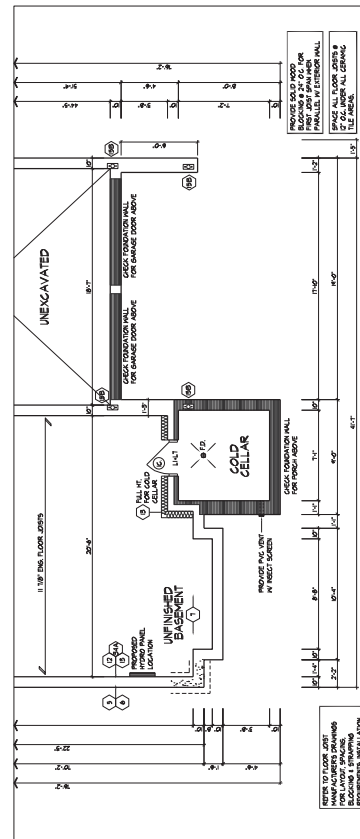
PROVIDE 6" CURB &  
RUBBER MAT,  
MAT TO EXTEND 6" MIN  
ABOVE FLOOR LEVEL.



PARTIAL SECOND FLOOR PLAN, EL. 'B'



PARTIAL GROUND FLOOR PLAN. EL. 'B'



PARTIAL BASEMENT PLAN, EL. 'B'

It is the publisher's responsibility to ensure that all plans submitted for approval fully comply with the Architectural Code and all applicable regulations and codes, including zoning ordinances and any conditions in the submission agreement. The Contract Architect is not responsible in any way for securing or approving site (setting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY: \_\_\_\_\_  
DATE: AUG 08, 2022

This stamp certifies compliance with the applicable  
Design Guidelines only and bears no further  
professional responsibility.

[illegible]

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DESIGN ASSOCIATES INC.  
www.huntcl.com

**GOLDPARK HOMES - 221081**  
**PINE VALLEY PH. 2, VAUGHAN, ON.**

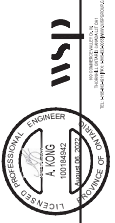
Draw No.	Quantity	Unit
WT	AW	3/16"=1/4"

9666 Woodbine Ave. Markham, ON L3R 0Y7 T 905

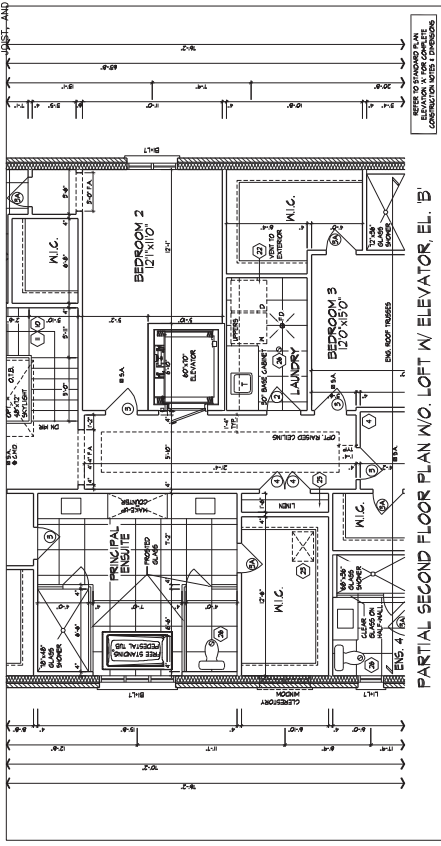
PARTIAL FLOOR PLANS, EL. 'B'  
'THE RIVERVIEW' - 5013  
REV. 2022.08.05

File Number	Page Number
221081WS013.dwg	8 of 27

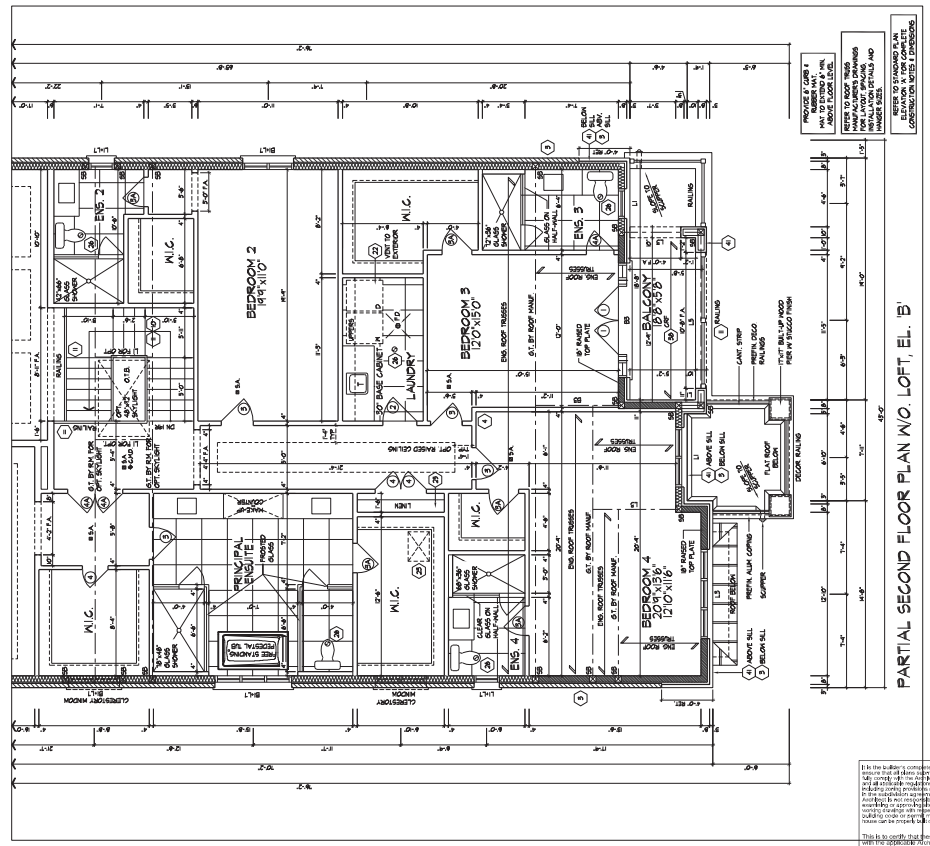
STRIP FOOTINGS ARE DESIGNED BASED ON ASSUMPTION THAT SOIL W/ 1250 LBS (M.S) BEARING



FOR STRUCTURAL ONLY, EXCLUDING  
ENGINEERED ROOF TRUSS, FLOOR  
JIST-AND FLOOR LVL BEAM DESIGN.



PARTIAL SECOND FLOOR PLAN NO. LOFT W/ ELEVATOR, EL. 'B'



PARTIAL SECOND FLOOR PLAN NO. LOFT, EL. 'B'

DESIGNED BY: **WSP**

DATE: 01/17

SCALE: 1/8" = 1'-0"

PROJECT: **GOLDPARK HOMES - 221081**

LOCATION: **ONE VALLEY PK, 2, VAUGHAN, ON**

CLIENT: **THE RIVERVIEW - 5013**

REV: 2022/08/05

**HUNT**

DESIGN ASSOCIATES INC.

221081 WSP/01/17

9 of 27

**PARTIAL SECOND FLOOR PLANS W/O LOFT, EL. 'B'**

**GOLDPARK HOMES - 221081**

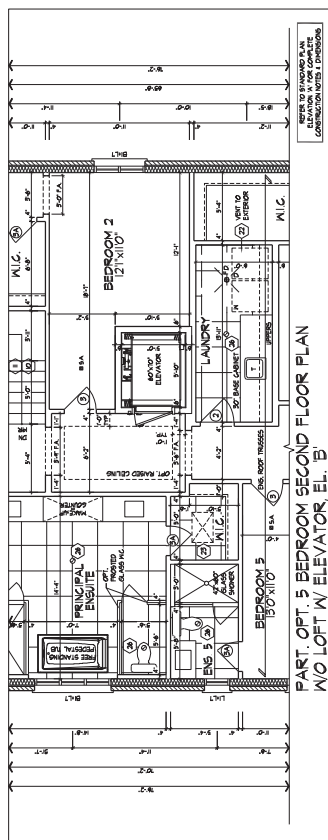
**ONE VALLEY PK, 2, VAUGHAN, ON**

**THE RIVERVIEW - 5013**

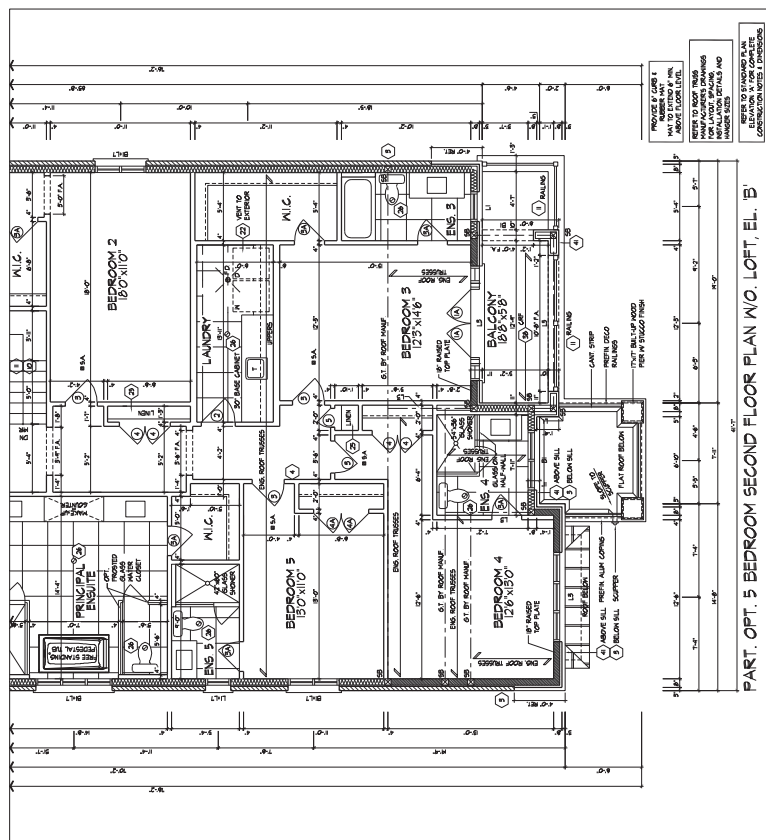
**REV: 2022/08/05**



FOR STRUCTURAL ONLY. EXCLUDING  
ENGINEERED ROOF TRUSS, FLOOR  
JOIST, AND FLOOR LVL BEAM DESIGN.



PART. OPT. 5 BEDROOM SECOND FLOOR PLAN  
W/O LOFT W/ ELEVATOR, EL. 'B'



PART. OPT. 5 BEDROOM SECOND FLOOR PLAN W/O. LOFT, EL. 'B'

This is to certify that these plans consist with the applicable Architectural Guidelines and Guidelines approved by the City of Natick.

JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY: 

DATE: June 20, 2000

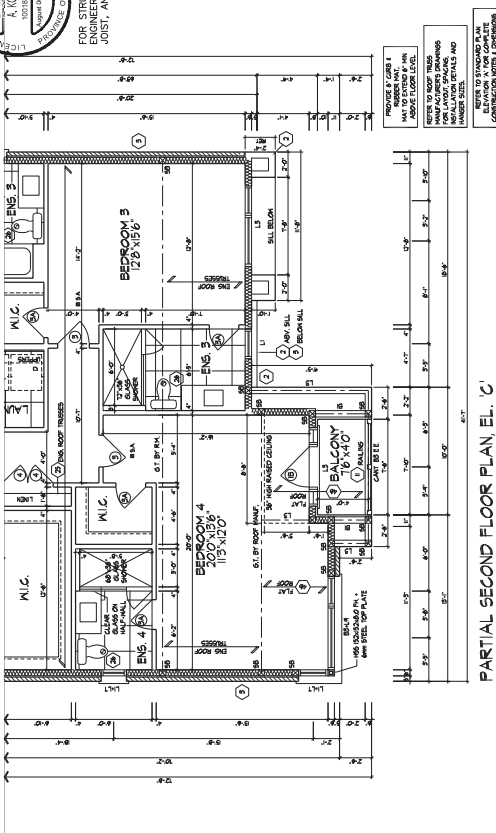
This stamp certifies compliance with the applicable  
Design Guidelines only and bears no further  
endorsement or liability.

[illegible]

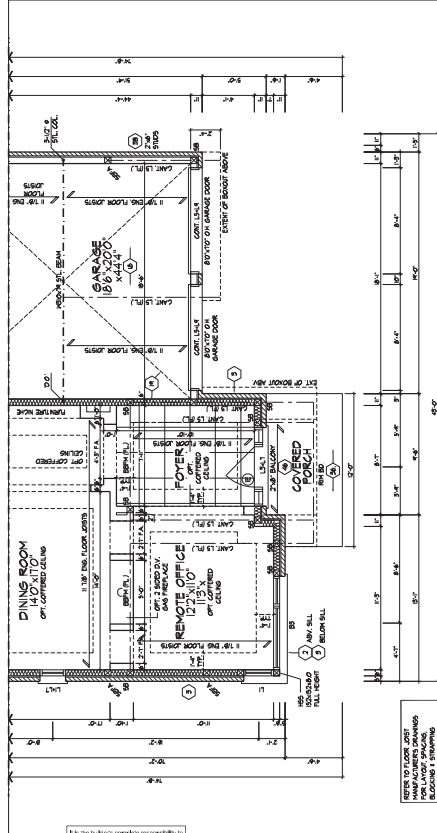




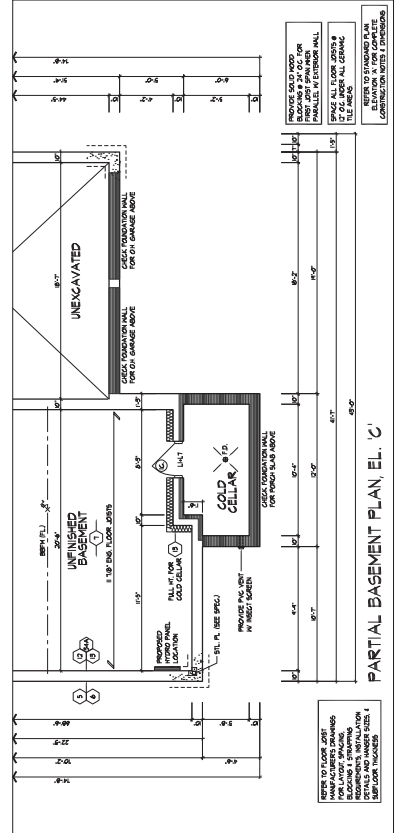
FOR STRUCTURAL ONLY, EXCLUDING  
ENGINEERED ROOF TRUSS, FLOOR  
JOIST, AND FLOOR LVL BEAM DESIGN.



PARTIAL SECOND FLOOR PLAN, EL. 'C'



PARTIAL GROUND FLOOR PLAN, EL. 'C'



PARTIAL BASEMENT PLAN, EL. 'C'

This is to certify that these plans comply with the applicable Ontario Building Code as approved by the City of Vaughan.

APPROVED BY: [Signature]  
DATE: AUG 2022  
The plans were prepared and the Engineer's Stamp is valid only when used in accordance with the Ontario Building Code.

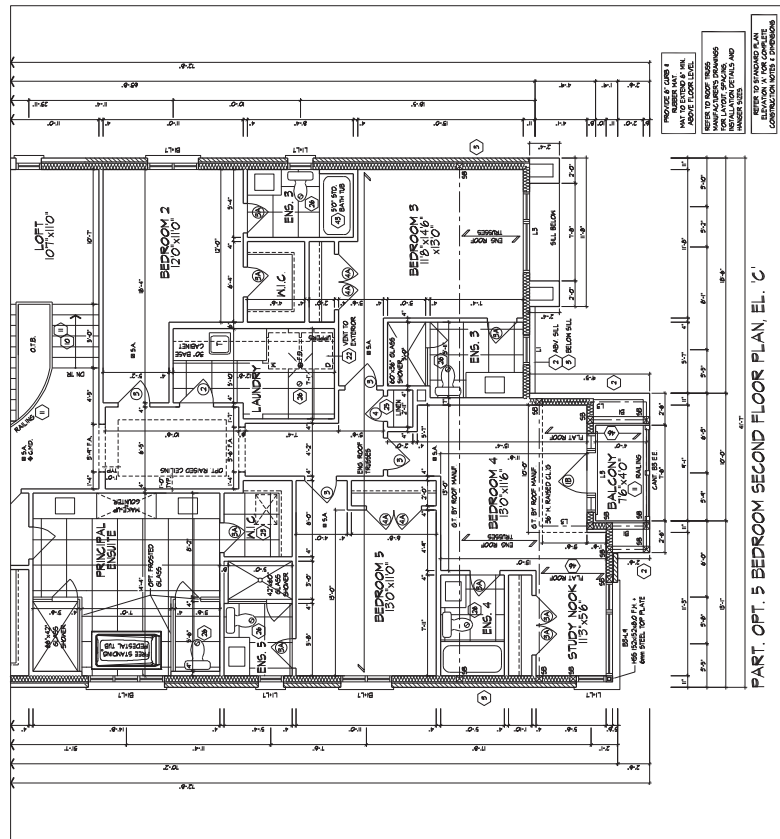
HUNT & HUNT  
DESIGN ASSOCIATES INC.

GOLDPARK HOMES - 221081  
ONE VALLEY PL. 2, VAUGHAN, ON.  
REV. 2022-08-05  
12 of 22



**wsp**  
WSP GROUP INC.

FOR STRUCTURAL ONLY, EXCLUDING  
ENGINEERED ROOF TRUSS, FLOOR  
JOIST, AND FLOOR LVL BEAM DESIGN.

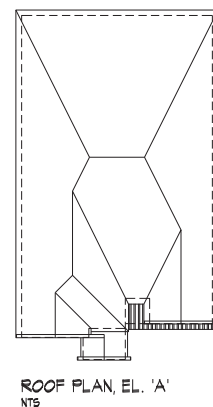


PART. OPT. 5 BEDROOM SECOND FLOOR PLAN, EL. 'C'

This is to certify that these plans comply with the applicable Architectural Design Code/Regulations approved by the City of Vaughan.



PART. OPT. 5 BEDROOM SECOND FLOOR PLAN, EL. 'C'		GOLDPARK HOMES - 221081		THE RIVERVIEW - 5013	
HUNT DESIGN ASSOCIATES INC.		ONE VALLEY PL. 2, VAUGHAN, ON.		REV. 2022.08.05	
DESIGN ASSOCIATES INC.		221081		13 of 27	
221081		221081		221081	
221081		221081		221081	



**It is the builder's complete responsibility to ensure that all plans submitted for approval comply with the applicable Guidelines and all applicable regulations and requirements including zoning provisions and any applicable local jurisdictional assessments. The County Architect is not responsible in any way for forwarding or approving the design. Plans violating Guidelines with respect to any zoning or building code or zoning map(s) or that otherwise cannot be properly located on a lot shall be rejected.**

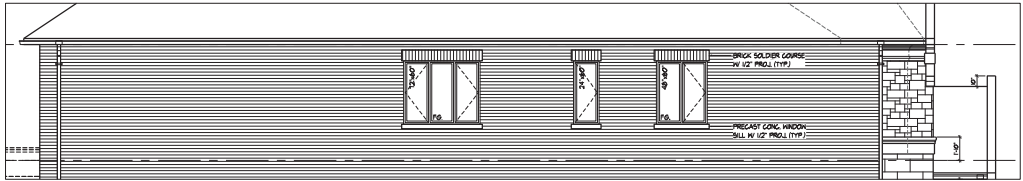
**It is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VALUOGHAN.**

**JOHN C. WILKESMAN LTD., ARCHITECT**  
ARCHITECTURAL, CONSTRUCTION REVIEW  
AND APPROVAL

APPROVED BY:   
DATE: August 11, 2014

This stamp certifies compliance with the applicable Design Guidelines only and does not further

WINDOW SUMMARY				WINDOW SUMMARY			
LEFT ELEVATION 'A'				LEFT ELEVATION 'A' - OPT.			
NO.	TYPE	FINISH	GLASS	NO.	TYPE	FINISH	GLASS
1	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)	1	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)
2	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)	2	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)
3	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)	3	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)
4	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)	4	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)
5	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)	5	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)
6	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)	6	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)
7	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)	7	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)
8	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)	8	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)
9	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)	9	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)
10	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)	10	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)
11	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)	11	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)
12	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)	12	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)
13	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)	13	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)
14	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)	14	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)
15	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)	15	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)
16	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)	16	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)
17	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)	17	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)
18	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)	18	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)
19	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)	19	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)
20	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)	20	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)
21	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)	21	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)
22	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)	22	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)
23	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)	23	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)
24	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)	24	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)
25	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)	25	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)
26	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)	26	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)
27	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)	27	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)
28	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)	28	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)
29	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)	29	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)
30	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)	30	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)
31	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)	31	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)
32	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)	32	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)
33	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)	33	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)
34	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)	34	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)
35	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)	35	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)
36	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)	36	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)
37	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)	37	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)
38	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)	38	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)
39	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)	39	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)
40	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)	40	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)
41	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)	41	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)
42	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)	42	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)
43	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)	43	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)
44	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)	44	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)
45	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)	45	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)
46	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)	46	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)
47	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)	47	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)
48	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)	48	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)
49	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)	49	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)
50	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)	50	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)
51	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)	51	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)
52	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)	52	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)
53	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)	53	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)
54	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)	54	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)
55	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)	55	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)
56	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)	56	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)
57	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)	57	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)
58	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)	58	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)
59	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)	59	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)
60	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)	60	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)
61	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)	61	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)
62	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)	62	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)
63	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)	63	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)
64	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)	64	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)
65	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)	65	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)
66	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)	66	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)
67	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)	67	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)
68	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)	68	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)
69	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)	69	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)
70	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)	70	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)
71	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)	71	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)
72	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)	72	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)
73	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)	73	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)
74	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)	74	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)
75	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)	75	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)
76	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)	76	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)
77	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)	77	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)
78	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)	78	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)
79	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)	79	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)
80	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)	80	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)
81	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)	81	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)
82	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)	82	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)
83	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)	83	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)
84	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)	84	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)
85	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)	85	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)
86	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)	86	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)
87	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)	87	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)
88	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)	88	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)
89	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)	89	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)
90	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)	90	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)
91	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)	91	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)
92	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)	92	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)
93	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)	93	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)
94	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)	94	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)
95	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)	95	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)
96	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)	96	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)
97	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)	97	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)
98	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)	98	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)
99	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)	99	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)
100	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)	100	12" x 12" PICTURE	BRICK	1/2" PIRGL (TYP)



OPT. 5 BEDROOM LEFT ELEVATION 'A'

OUTLINE OF 12" RAISED  
TRAY CEILING (TYP)

OPT. COVERED LOGGIA FOR  
DEEPER LOTS WHERE PERMITTED

POURED STEPPED  
FOOTINGS (TYP)

EXTENTS OF SPATIAL  
CALCULATIONS  
REFER TO WINDOW SUMMARY FOR  
ADDITIONAL INFORMATION

ASPHALT SHINGLES (TYP)

PREFABRIC FREE BOARD  
(DRAINAGE BOARD) (TYP)

PREFAB ALUM. GUTTER  
RAIL, FASCIA BO. &  
V-BOARDS (TYP)

TOP OF PLATE

STONE VENEER (TYP)

FACE BRICK (TYP)

6" PROFILED PRECAST CONC.  
SILL ON 12" PRECAST CONC.  
BASE ON 12" PIRGL (TYP)

FIN. SECOND FLOOR

12" TRANSOM

12" WINDOW

6" x 6" VENT

SMOOTH STONE VENEER (TYP)

FIN. SECOND FLOOR

FIN. BRIDGE

PAC. VENT. IN BRICK SCREEN  
FOR GOLF CELLAR

POURED CONC. PORCH SLAB (TYP)

POURED CONC. FOUNDATION  
WALLS & FOOTINGS (TYP)

12" BASEMENT SLAB

I, the undersigned, hereby certify that the information contained herein is true and correct to the best of my knowledge and belief, and that I am a duly qualified and licensed professional engineer in the Province of Ontario, Canada.

This is to certify that these plans comply with the applicable provisions of the Building Code of the City of Vaughan.

JOHN G. WILLIAMS LTD., ARCHITECTS  
AND ENGINEERS  
APPROVED BY: [Signature]  
DATE: [Date]  
This drawing is the property of the undersigned and shall remain their property. It shall not be used for any other purpose without the written consent of the undersigned.

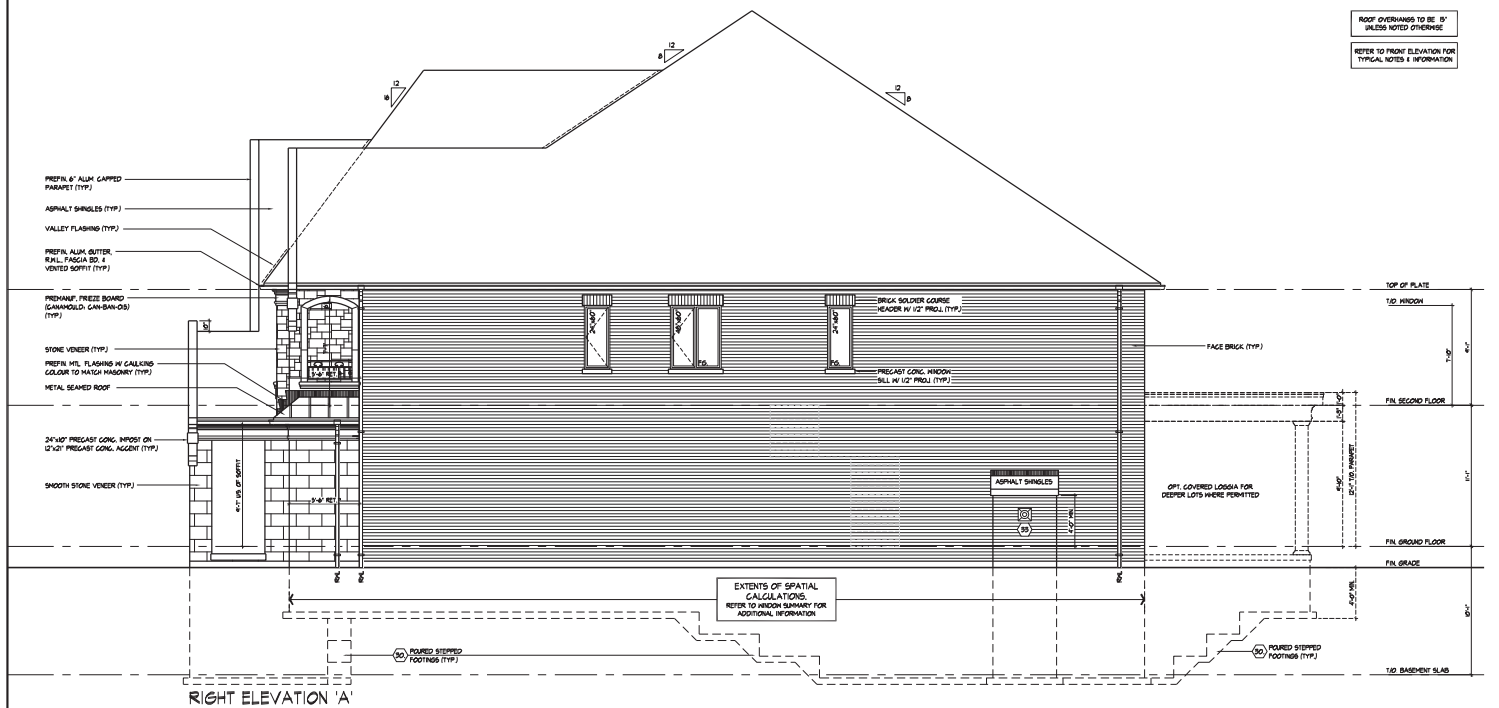
DESIGN ASSOCIATES INC.  
[Signature]  
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HUNT  
DESIGN ASSOCIATES INC.  
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[Date]  
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[Fax]  
[Email]

GOLDPARK HOMES - 221081  
ONE VALLEY PL. 2, VAUGHAN, ON.  
[Signature]  
[Date]  
[Address]  
[Phone]  
[Fax]  
[Email]

LEFT ELEVATION 'A'  
THE RIVERVIEW - 5013  
REV. 2022.08.05  
15 of 27

WINDOW SUMMARY			
FROM GLUC, TABLE 3.11.5.4			
RIGHT ELEVATION 'A'			
QVAL	NTY	WINDOW / DOOR	FRAME SLIP
1	W	1000	0.00
2	W	1000	0.00
3	W	1000	0.00
4	W	1000	0.00
5	W	1000	0.00
6	W	1000	0.00
7	W	1000	0.00
8	W	1000	0.00
9	W	1000	0.00
10	W	1000	0.00
11	W	1000	0.00
12	W	1000	0.00
13	W	1000	0.00
14	W	1000	0.00
15	W	1000	0.00
16	W	1000	0.00
17	W	1000	0.00
18	W	1000	0.00
19	W	1000	0.00
20	W	1000	0.00
21	W	1000	0.00
22	W	1000	0.00
23	W	1000	0.00
24	W	1000	0.00
25	W	1000	0.00
26	W	1000	0.00
27	W	1000	0.00
28	W	1000	0.00
29	W	1000	0.00
30	W	1000	0.00
31	W	1000	0.00
32	W	1000	0.00
33	W	1000	0.00
34	W	1000	0.00
35	W	1000	0.00
36	W	1000	0.00
37	W	1000	0.00
38	W	1000	0.00
39	W	1000	0.00
40	W	1000	0.00
41	W	1000	0.00
42	W	1000	0.00
43	W	1000	0.00
44	W	1000	0.00
45	W	1000	0.00
46	W	1000	0.00
47	W	1000	0.00
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80	W	1000	0.00
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112	W	1000	0.00
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121	W	1000	0.00
122	W	1000	0.00
123	W	1000	0.00
124	W	1000	0.00
125	W	1000	0.00
126	W	1000	0.00
127	W	1000	0.00
128	W	1000	0.00
129	W	1000	0.00
130	W	1000	0.00
131	W	1000	0.00
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140	W	1000	0.00
141	W	1000	0.00
142	W	1000	0.00
143	W	1000	0.00
144	W	1000	0.00
145	W	1000	0.00
146	W	1000	0.00
147	W	1000	0.00
148	W	1000	0.00
149	W	1000	0.00
150	W	1000	0.00
151	W	1000	0.00
152	W	1000	0.00
153	W	1000	0.00
154	W	1000	0.00
155	W	1000	0.00
156	W	1000	0.00
157	W	1000	0.00
158	W	1000	0.00
159	W	1000	0.00
160	W	1000	0.00
161	W	1000	0.00
162	W	1000	0.00
163	W	1000	0.00
164	W	1000	0.00
165	W	1000	0.00
166	W	1000	0.00
167	W	1000	0.00
168	W	1000	0.00
169	W	1000	0.00
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171	W	1000	0.00
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173	W	1000	0.00
174	W	1000	0.00
175	W	1000	0.00
176	W	1000	0.00
177	W	1000	0.00
178	W	1000	0.00
179	W	1000	0.00
180	W	1000	0.00
181	W	1000	0.00
182	W	1000	0.00
183	W	1000	0.00
184	W	1000	0.00
185	W	1000	0.00
186	W	1000	0.00
187	W	1000	0.00
188	W	1000	0.00
189	W	1000	0.00
190	W	1000	0.00
191	W	1000	0.00
192	W	1000	0.00
193	W	1000	0.00
194	W	1000	0.00
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203	W	1000	0.00
204	W	1000	0.00
205	W	1000	0.00
206	W	1000	0.00
207	W	1000	0.00
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210	W	1000	0.00
211	W	1000	0.00
212	W	1000	0.00
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295	W	1000	0.00
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341	W	1000	0.00
342	W	1000	0.00
343	W	1000	0.00
344	W	1000	0.00
345	W		



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements. Including zoning provisions and any provisions in the subdivision agreements. The Central Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of

JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY: \_\_\_\_\_  
DATE: AUG 18 2022

This stamp certifies compliance with the applicable  
Design Guidelines only and bears no further  
professional responsibility.

THE LINDSEY-BAIRD AGREEMENTS ARE CURRENTLY IN FORCE FOR THE 2012-2014 FISCAL YEAR. THE COMMISSIONERS AND MEMBERS OF THE BOARD ARE NOT OUT OF THE COUNTRY ON BUSINESS DURING THE 2012-2014 FISCAL YEAR.

Alan Whiting 23

DATE: 1/1/2014

RECEIVED: 1/1/2014

HUNT CREDIT ASSOCIATES INC. 18

**HUNT**  
DESIGN ASSOCIATES INC.  
[www.huntdesign.ca](http://www.huntdesign.ca)

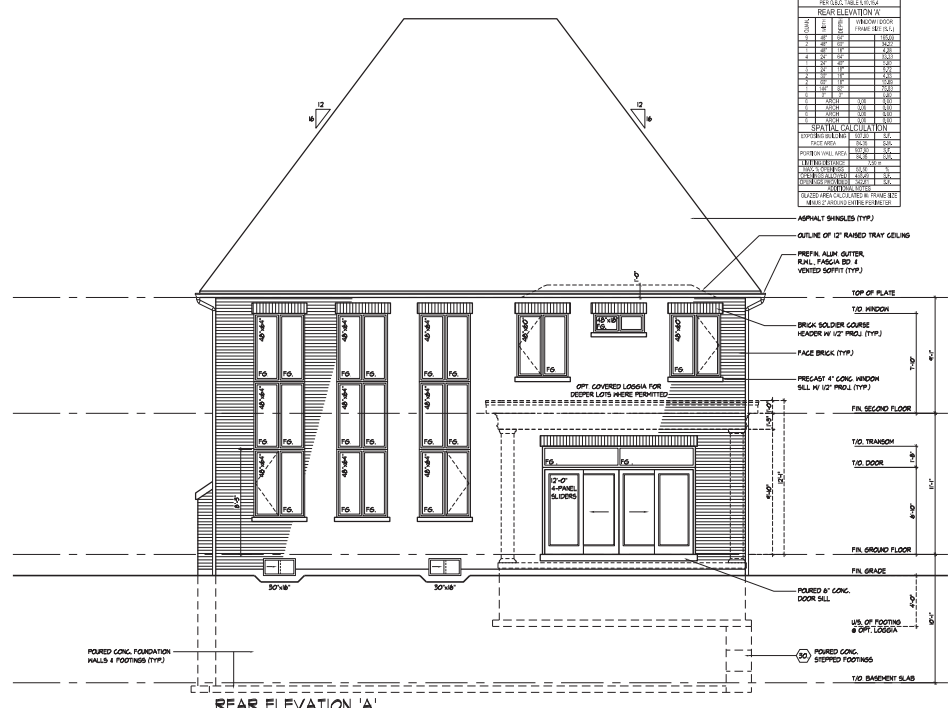
**GOLDPARK HOMES - 221081**  
**PINE VALLEY PH. 2, VAUGHAN, ON.**

Drawn By	Checked By	Title
WT	AW	3/16" = 1/4"

8936 Woodbine Ave. Markham, ON L3R 0J7 T 905.75

RIGHT ELEVATION 'A'  
THE RIVERVIEW - 5013  
REV.2022.08.05  
Page Number  
16 of 27  
WS5013.dwg  
37,7326

<div> <div>ROOF OVERHANGS TO BE 18" UNLESS NOTED OTHERWISE</div> </div>			
<div>WINDOW SUMMARY</div>			
<div>PER GLAZ. TABLE &amp; VOLUME</div>			
<div>REAR ELEVATION "A"</div>			
NO.	QUANT.	UNIT	WINDOW DOOR FRAME SIZE (F.T.)
1	1	SF	10.50
2	1	SF	10.50
3	1	SF	10.50
4	1	SF	10.50
5	1	SF	10.50
6	1	SF	10.50
7	1	SF	10.50
8	1	SF	10.50
9	1	SF	10.50
10	1	SF	10.50
11	1	SF	10.50
12	1	SF	10.50
13	1	SF	10.50
14	1	SF	10.50
15	1	SF	10.50
16	1	SF	10.50
17	1	SF	10.50
18	1	SF	10.50
19	1	SF	10.50
20	1	SF	10.50
21	1	SF	10.50
22	1	SF	10.50
23	1	SF	10.50
24	1	SF	10.50
25	1	SF	10.50
26	1	SF	10.50
27	1	SF	10.50
28	1	SF	10.50
29	1	SF	10.50
30	1	SF	10.50
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32	1	SF	10.50
33	1	SF	10.50
34	1	SF	10.50
35	1	SF	10.50
36	1	SF	10.50
37	1	SF	10.50
38	1	SF	10.50
39	1	SF	10.50
40	1	SF	10.50
41	1	SF	10.50
42	1	SF	10.50
43	1	SF	10.50
44	1	SF	10.50
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50	1	SF	10.50
51	1	SF	10.50
52	1	SF	10.50
53	1	SF	10.50
54	1	SF	10.50
55	1	SF	10.50
56	1	SF	10.50
57	1	SF	10.50
58	1	SF	10.50
59	1	SF	10.50
60	1	SF	10.50
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72	1	SF	10.50
73	1	SF	10.50
74	1	SF	10.50
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81	1	SF	10.50
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83	1	SF	10.50
84	1	SF	10.50
85	1	SF	10.50
86	1	SF	10.50
87	1	SF	10.50
88	1	SF	10.50
89	1	SF	10.50
90	1	SF	10.50
91	1	SF	10.50
92	1	SF	10.50
93	1	SF	10.50
94	1	SF	10.50
95	1	SF	10.50
96	1	SF	10.50
97	1	SF	10.50
98	1	SF	10.50
99	1	SF	10.50
100	1	SF	10.50



It is the applicant's complete responsibility to ensure that all plans submitted for approval fully comply with the applicable Code and all applicable regulations and requirements including zoning provisions and any provisions in the submitted Conditional Approval are not responsible in any way for engineering or approving the structural design or working drawings with respect to any zoning or building code or permit matter or that any issue can be properly dealt or resolved on his/her.

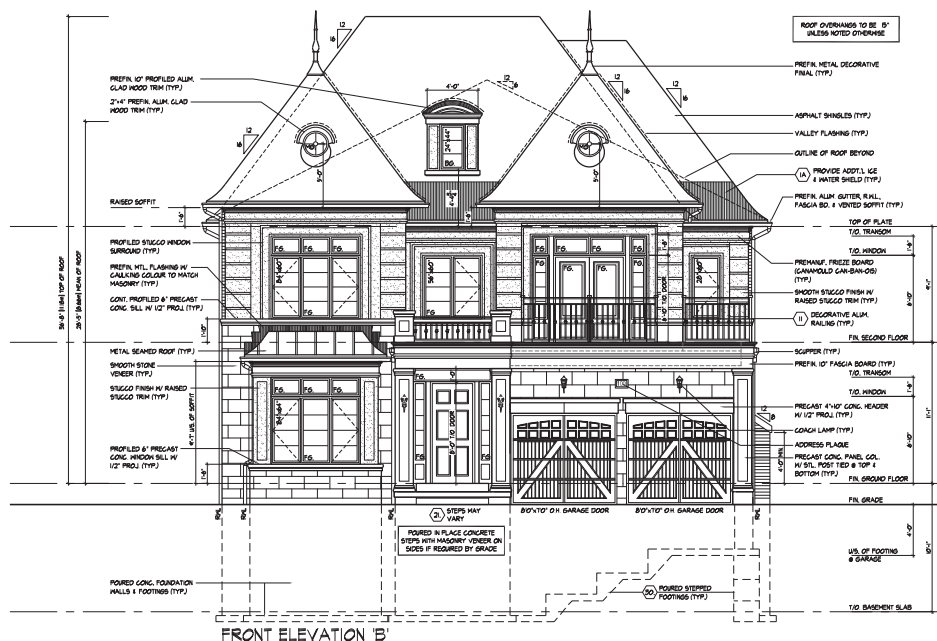
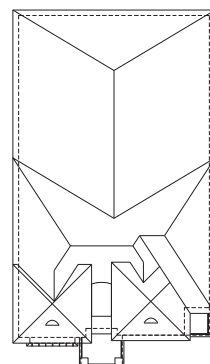
It is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VALHART.

**JOHN G. WILLIAMS LTD., ARCHITECT**  
ARCHITECTURE, INTERIOR DESIGN  
AND FINISHES

APPROVED BY:

DATE: 06/01/2022

This design certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.



This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTENT REVIEW  
AND APPROVAL  
APPROVED BY: [Signature]  
DATE: August 2019  
This stamp certifies compliance with the applicable  
Design Guidelines only and bears no further  
professional responsibility.

[illegible]

**HUNT**  
DESIGN ASSOCIATES INC.

**GOLDPARK HOMES - 221081**  
PINE VALLEY PH. 2, VAUGHAN, ON.

FRONT ELEVATION 'B'  
'THE RIVERVIEW' - 5013  
REV. 2022.08.05

81WS5013.dwg 18 of 27  
737.7326



[illegible]

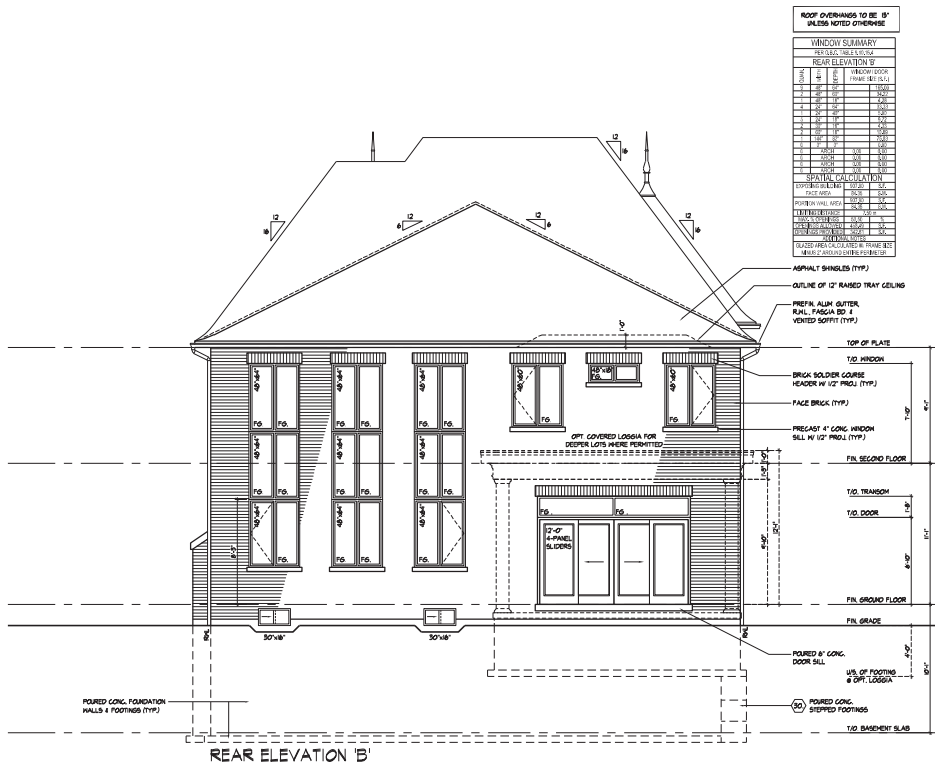
OPT. 5 BEDROOM LEFT ELEVATION 'B'

ROOF OVERHANGS TO BE 3" UNLESS NOTED OTHERWISE

REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFORMATION

LEFT ELEVATION 'B'





WINDOW SUMMARY			
REAR ELEVATION B			
NO.	TYPE	SIZE (H x W)	FINISH
1	WINDOOR	6'0" x 6'0"	WOOD
2	WINDOOR	6'0" x 6'0"	WOOD
3	WINDOOR	6'0" x 6'0"	WOOD
4	WINDOOR	6'0" x 6'0"	WOOD
5	WINDOOR	6'0" x 6'0"	WOOD
6	WINDOOR	6'0" x 6'0"	WOOD
7	WINDOOR	6'0" x 6'0"	WOOD
8	WINDOOR	6'0" x 6'0"	WOOD
9	WINDOOR	6'0" x 6'0"	WOOD
10	WINDOOR	6'0" x 6'0"	WOOD
11	WINDOOR	6'0" x 6'0"	WOOD
12	WINDOOR	6'0" x 6'0"	WOOD
13	WINDOOR	6'0" x 6'0"	WOOD
14	WINDOOR	6'0" x 6'0"	WOOD
15	WINDOOR	6'0" x 6'0"	WOOD
16	WINDOOR	6'0" x 6'0"	WOOD
17	WINDOOR	6'0" x 6'0"	WOOD
18	WINDOOR	6'0" x 6'0"	WOOD
19	WINDOOR	6'0" x 6'0"	WOOD
20	WINDOOR	6'0" x 6'0"	WOOD
21	WINDOOR	6'0" x 6'0"	WOOD
22	WINDOOR	6'0" x 6'0"	WOOD
23	WINDOOR	6'0" x 6'0"	WOOD
24	WINDOOR	6'0" x 6'0"	WOOD
25	WINDOOR	6'0" x 6'0"	WOOD
26	WINDOOR	6'0" x 6'0"	WOOD
27	WINDOOR	6'0" x 6'0"	WOOD
28	WINDOOR	6'0" x 6'0"	WOOD
29	WINDOOR	6'0" x 6'0"	WOOD
30	WINDOOR	6'0" x 6'0"	WOOD
31	WINDOOR	6'0" x 6'0"	WOOD
32	WINDOOR	6'0" x 6'0"	WOOD
33	WINDOOR	6'0" x 6'0"	WOOD
34	WINDOOR	6'0" x 6'0"	WOOD
35	WINDOOR	6'0" x 6'0"	WOOD
36	WINDOOR	6'0" x 6'0"	WOOD
37	WINDOOR	6'0" x 6'0"	WOOD
38	WINDOOR	6'0" x 6'0"	WOOD
39	WINDOOR	6'0" x 6'0"	WOOD
40	WINDOOR	6'0" x 6'0"	WOOD
41	WINDOOR	6'0" x 6'0"	WOOD
42	WINDOOR	6'0" x 6'0"	WOOD
43	WINDOOR	6'0" x 6'0"	WOOD
44	WINDOOR	6'0" x 6'0"	WOOD
45	WINDOOR	6'0" x 6'0"	WOOD
46	WINDOOR	6'0" x 6'0"	WOOD
47	WINDOOR	6'0" x 6'0"	WOOD
48	WINDOOR	6'0" x 6'0"	WOOD
49	WINDOOR	6'0" x 6'0"	WOOD
50	WINDOOR	6'0" x 6'0"	WOOD
51	WINDOOR	6'0" x 6'0"	WOOD
52	WINDOOR	6'0" x 6'0"	WOOD
53	WINDOOR	6'0" x 6'0"	WOOD
54	WINDOOR	6'0" x 6'0"	WOOD
55	WINDOOR	6'0" x 6'0"	WOOD
56	WINDOOR	6'0" x 6'0"	WOOD
57	WINDOOR	6'0" x 6'0"	WOOD
58	WINDOOR	6'0" x 6'0"	WOOD
59	WINDOOR	6'0" x 6'0"	WOOD
60	WINDOOR	6'0" x 6'0"	WOOD
61	WINDOOR	6'0" x 6'0"	WOOD
62	WINDOOR	6'0" x 6'0"	WOOD
63	WINDOOR	6'0" x 6'0"	WOOD
64	WINDOOR	6'0" x 6'0"	WOOD
65	WINDOOR	6'0" x 6'0"	WOOD
66	WINDOOR	6'0" x 6'0"	WOOD
67	WINDOOR	6'0" x 6'0"	WOOD
68	WINDOOR	6'0" x 6'0"	WOOD
69	WINDOOR	6'0" x 6'0"	WOOD
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71	WINDOOR	6'0" x 6'0"	WOOD
72	WINDOOR	6'0" x 6'0"	WOOD
73	WINDOOR	6'0" x 6'0"	WOOD
74	WINDOOR	6'0" x 6'0"	WOOD
75	WINDOOR	6'0" x 6'0"	WOOD
76	WINDOOR	6'0" x 6'0"	WOOD
77	WINDOOR	6'0" x 6'0"	WOOD
78	WINDOOR	6'0" x 6'0"	WOOD
79	WINDOOR	6'0" x 6'0"	WOOD
80	WINDOOR	6'0" x 6'0"	WOOD
81	WINDOOR	6'0" x 6'0"	WOOD
82	WINDOOR	6'0" x 6'0"	WOOD
83	WINDOOR	6'0" x 6'0"	WOOD
84	WINDOOR	6'0" x 6'0"	WOOD
85	WINDOOR	6'0" x 6'0"	WOOD
86	WINDOOR	6'0" x 6'0"	WOOD
87	WINDOOR	6'0" x 6'0"	WOOD
88	WINDOOR	6'0" x 6'0"	WOOD
89	WINDOOR	6'0" x 6'0"	WOOD
90	WINDOOR	6'0" x 6'0"	WOOD
91	WINDOOR	6'0" x 6'0"	WOOD
92	WINDOOR	6'0" x 6'0"	WOOD
93	WINDOOR	6'0" x 6'0"	WOOD
94	WINDOOR	6'0" x 6'0"	WOOD
95	WINDOOR	6'0" x 6'0"	WOOD
96	WINDOOR	6'0" x 6'0"	WOOD
97	WINDOOR	6'0" x 6'0"	WOOD
98	WINDOOR	6'0" x 6'0"	WOOD
99	WINDOOR	6'0" x 6'0"	WOOD
100	WINDOOR	6'0" x 6'0"	WOOD

I, the undersigned, certify that the above is a true and correct copy of the original drawing as submitted to the City of Vaughan for review and approval.

APPROVED BY: [Signature]  
DATE: [Date]

THIS DRAWING IS THE PROPERTY OF HUNT DESIGN GROUP INC. AND IS NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF HUNT DESIGN GROUP INC.

REAR ELEVATION B

THE RIVERVIEW - 5013

REV 2022/03/05

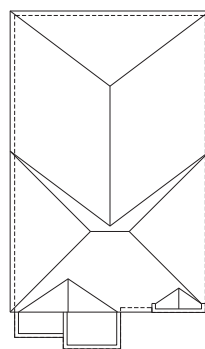
GOLDPARK HOMES - 221081

ONE VALLEY PK 2, VAUGHAN, ON

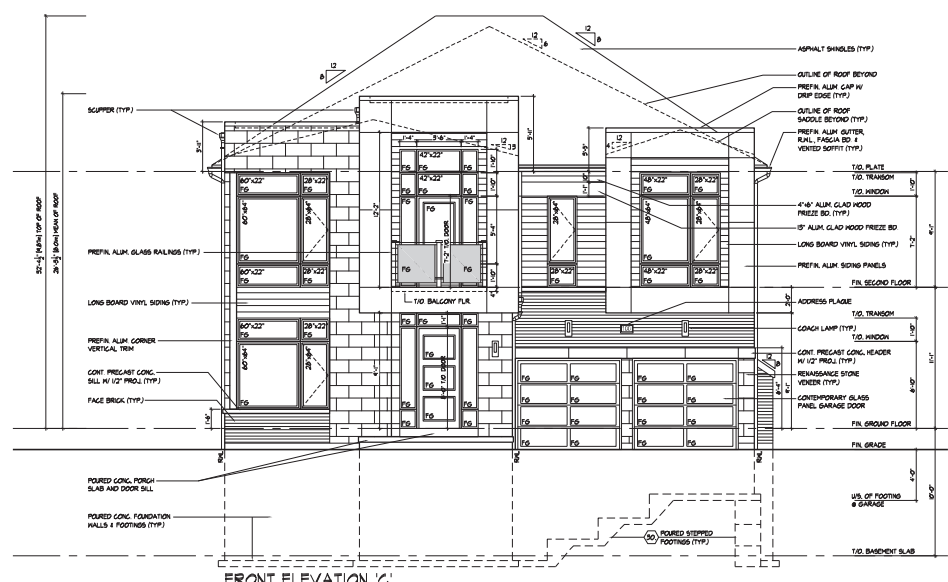
HUNT DESIGN GROUP INC.

221081/03/05

21 of 27



ROOF PLAN, EL. 'C'  
NTS



FRONT ELEVATION 'C'

I, the undersigned, certify that I am the owner of the above described property and that the same is being offered for sale by public auction. I further certify that the same is being offered for sale by public auction in accordance with the provisions of the Real Estate Act, R.S.O. 1990, Chapter 160, and that the same is being offered for sale by public auction in accordance with the provisions of the Real Estate Act, R.S.O. 1990, Chapter 160, and that the same is being offered for sale by public auction in accordance with the provisions of the Real Estate Act, R.S.O. 1990, Chapter 160.

JOHN C. WILSON, LTD., ARCHITECT  
APPROVED BY:  
DATE: 2022/03/05  
This drawing complies with the applicable Ontario Building Code and is subject to the approval of the relevant authority.

[illegible]

OPT. 5 BEDROOM LEFT ELEVATION 'C'



This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VALICAN.

JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL  
APPROVED BY:   
DATE: AUG 08, 2022  
This stamp certifies compliance with the applicable  
Design Guidelines only and bears no further  
confidentiality responsibility.

THE UNDERSIGNED ASSURES AND REPRESENTS FOR THE COMPANY THAT THE ONLY PERSON WHO HAS ACCESS TO THE RECORDS SET OUT IN THE OUTLINE OUTLINE IS THE ONE TO BE A SIGNING OFFICIAL.

DATE OF THE INFORMATION: aw 23/11/2011

After Whiting aw 23/11/2011

NAME: aw 23/11/2011

ROLE/TITLE/POSITION: aw 23/11/2011

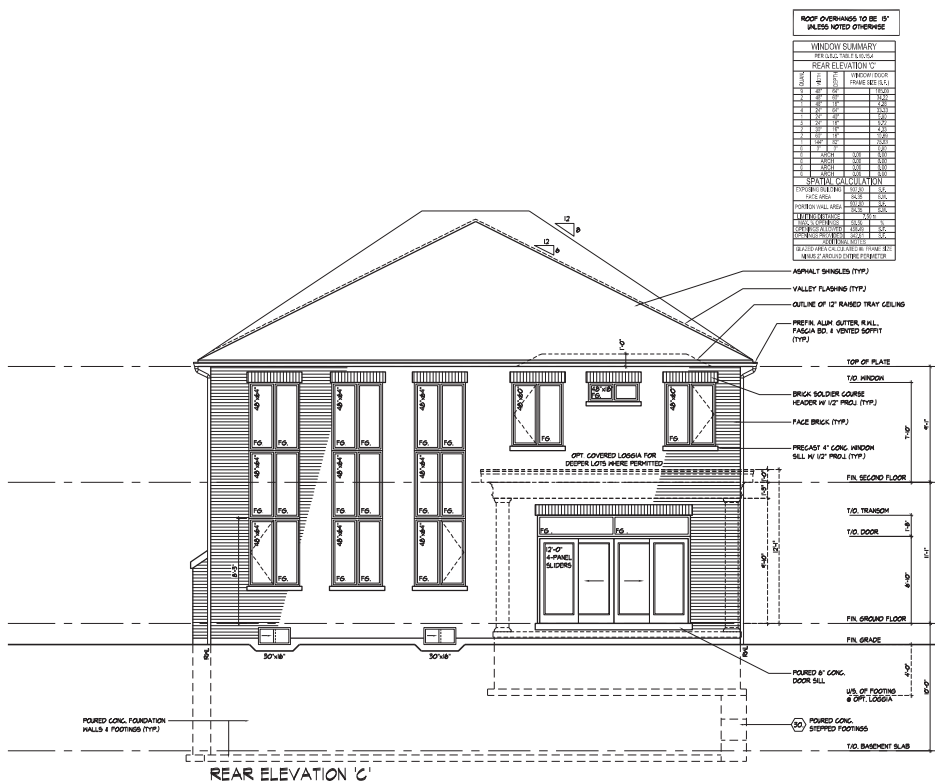
MYST CONSULTING ASSOCIATES INC. 1/2011

**HUNT**  
DESIGN ASSOCIATES INC.  
www.huntdesign.ca

**GOLDPARK HOMES - 221081**  
**PINE VALLEY PH. 2, VAUGHAN, ON.**  
 Drawn By: **AW** Created By: **AW**  
**WT 3'16" = 1'9"**  
 6936 Woodbine Ave., Markham, ON L3R 0J7 T 905.7

LEFT ELEVATION 'C'  
'THE RIVERVIEW' - 5013  
REV.2022.08.05





ROOF OVERHANGS TO BE 1' UNLESS NOTED OTHERWISE

WINDOW SUMMARY			
PER ELEVATION 'C' & 'D'			
REAR ELEVATION 'C'			
NO.	TYPE	SIZE	AREA
1	WINDOW	4'0" x 6'0"	24.00
2	WINDOW	4'0" x 6'0"	24.00
3	WINDOW	4'0" x 6'0"	24.00
4	WINDOW	4'0" x 6'0"	24.00
5	WINDOW	4'0" x 6'0"	24.00
6	WINDOW	4'0" x 6'0"	24.00
7	WINDOW	4'0" x 6'0"	24.00
8	WINDOW	4'0" x 6'0"	24.00
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13	WINDOW	4'0" x 6'0"	24.00
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15	WINDOW	4'0" x 6'0"	24.00
16	WINDOW	4'0" x 6'0"	24.00
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25	WINDOW	4'0" x 6'0"	24.00
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33	WINDOW	4'0" x 6'0"	24.00
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51	WINDOW	4'0" x 6'0"	24.00
52	WINDOW	4'0" x 6'0"	24.00
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98	WINDOW	4'0" x 6'0"	24.00
99	WINDOW	4'0" x 6'0"	24.00
100	WINDOW	4'0" x 6'0"	24.00

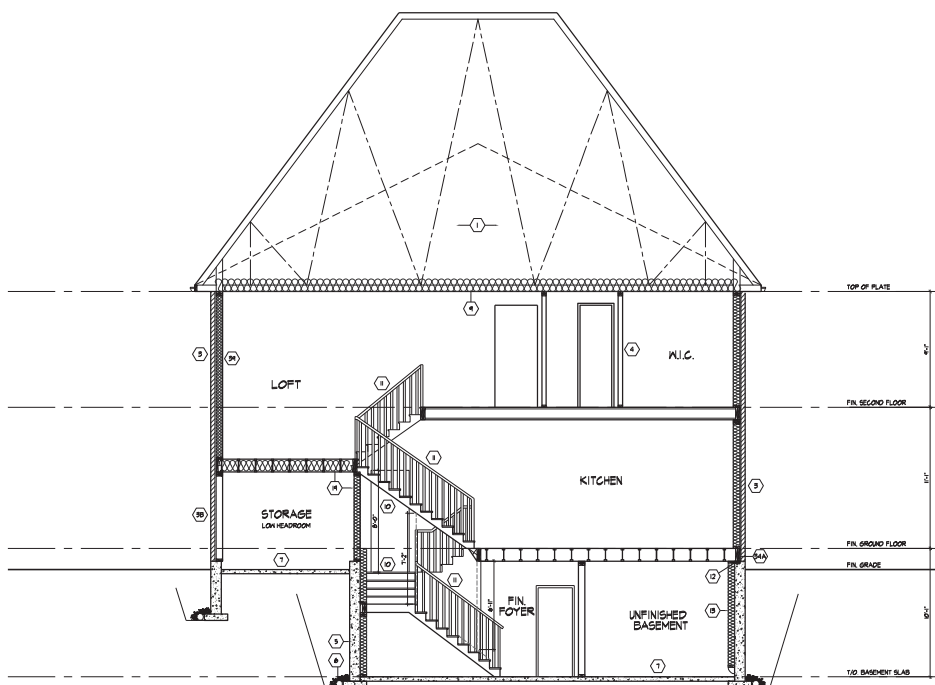
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FACE AREA	54.15	3.36	
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GLASS PERCENTAGE	100.00	3.36	
GLASS PERCENT			

ASPHALT SHINGLES (TYP)  
VALLEY FLASHING (TYP)  
OUTLINE OF 12\"/>

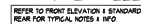
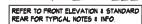
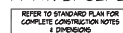
I, the undersigned, hereby certify that the above is a true and correct copy of the original drawings as submitted to me by the architect, and that I am a duly licensed professional engineer in the State of Ohio.  
JAMES C. WILSON, P.E.  
JAMES C. WILSON ENGINEERING, INC.  
1000 WOODBINE AVE., SUITE 100  
VAUGHAN, ONTARIO, CANADA  
M4W 1B7  
TEL: (416) 490-1111  
FAX: (416) 490-1112  
WWW.JCWILSON.COM

GOLDPARK HOMES - 221081 ONE VALLEY PH. 2, VAUGHAN, ON.		REAR ELEVATION 'C' THE RIVERVIEW - 5013 REV. 2022.03.05	
DESIGNER: HUNT & HUNT ARCHITECTS 1000 WOODBINE AVE., SUITE 100 VAUGHAN, ONTARIO, CANADA M4W 1B7 TEL: (416) 490-1111 FAX: (416) 490-1112 WWW.HUNTANDHUNT.COM	DATE: 03/17/2022 BY: JAW CHECKED BY: JAW APPROVED BY: JAW SCALE: AS SHOWN SHEET: 25 OF 27	PROJECT: 221081 SHEET: 25 OF 27	DATE: 03/17/2022 BY: JAW CHECKED BY: JAW APPROVED BY: JAW SCALE: AS SHOWN SHEET: 25 OF 27



[illegible]






**GOLDPARK HOMES - 221081**  
**PINE VALLEY PH, 2 VAUGHAN, ON**  
 Drawn by:                      Checked by:                      Date: 22/08/2022  
 WIT: AW 3:16P-14P Date: 22/08/2022 15:24g  
 1985 Woodbine Ave, Markham, ON L3R 0J7 Tel: 905.737.8189 / 905.737.7626  
 W1 of W2  
 W.D., L.O.D. CONDITIONS  
 "THE RIVERVIEW" 5013  
 REV. 2022.08.05

61WS5013.dmg V12 of V12  
A.757.7326