

BUILDING AREA 7081.94sq ft 657.93 sq m INCLUDING COLD CELLARS A FIREWALL IS REQUIRED IF THE BUILDING AREA IS GREATER THAN 600 m2 (6458 sq ft) AS PER BUILDING CODE PART 9 LIMITATIONS SECTION 1.1.2.4.(1) ** DEFINITION OF BUILDING AREA AS PER PART 1.4.1.2 IS THE EXTENT OF THE GREATEST HORIZONTAL BUILDING EXTERIOR WALLS ABOVE GRADE TO IF REQ'E THE CENTER OF THE FIREWALL (DEMISING LINE) BUILDING AREA CALCULATION FOR FIREWALLS AS PE

O.B.C. PART 1 SECTION 1.1.2.4.(1), PART 3.1. & 9.10. SECTION **BUILDING AREA** 4220.78 sq ft LOTS 1, 2, & 3 392.12 sq m 2861.15 sq ft LOTS 4, & 5 265.81 sq m

GENERAL NOTES

. PROVIDE FIRESTOPS AS REQUIRED BY O.B.C. 9.10. 2. REFER TO UNIT WORKING DRAWINGS, ENGINEERS DRAWINGS AND SITEPLAN FOR ADDITIONAL INFORMATION AND VERIFICATION.

3. REFER TO ROOF TRUSS MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, INSTALLATION DETAILS AND HANGER SIZES.

4. CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB REPORT ANY DISCREPANCIES TO HUNT DESIGN ASSOCIATES INC. (H.D.A.I.) BEFORE PROCEEDING WITH THE WORK. ALL DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND ARE THE PROPERTY OF H.D.A.I..

5. COMBUSTIBLE PROJECTIONS ON THE EXTERIOR OF A WALL THAT ARE MORE THAN 1100mm (3 ft 3 in) ABOVE GROUND SHALL NOT BE PERMITTED WITHIN 1.2m (3 ft 11 in) OF A PROPERTY LINE OR CENTRE LINE OF PUBLIC WAY OR 2.4m (7 ft 10 in) OF A COMBUSTIBLE PROJECTION ON ANOTHER BUILDING ON THE SAME PROPERTY AS PER PART 9 SECTION 9.10.14.5.(5)

WALL TYPE LEGEND

FRR	LINE TYPE	DETAILS
45 M I N		SECTION 1, 2 & 3
60 M I N		SECTION 8 (BLOC SECTION 9 (WOOD S
120 M I N		SECTION 10

DETAILS	
No. No.division-page	TITLE
01.1-1	MASONRY VENEER, 2"x6" STUDS, 2 STOREY WALL SECTION
01.1-3	MASONRY VENEER, 2"x4" STUDS, 1 STOREY GARAGE WALL SEC

8.8-1 TYP. 1HR PARTY WALL SECTION, PARALLEL ROOF TRUSSES, 8' CONC. BLOCK

08.8-2 TYP. 1 HR. PARTYWALL SECTION AT GARAGE, PRALLEL ROOF TRUSSES, 8" CONC. BL

D8.8-3 TYP. UTILITY FROST PROTECTION AT U/S OF GARAGE CEILING SPACE, TYP. BLOCK PARTY 08.8-5 TYP. 8" BLOCK PARTYWALL AT OPEN 2 STOREY CONDITION

08.8-5 8" BLOCK PARTYWALL, BRICK VENEER, STAGGERED UNIT 08.8-8 8" BLOCK PARTYWALL, FLUSH AT GARAGE, BRICK VENEER

08.8-5 8" BLOCK PARTYWALL, BRICK VENEER, FLUSH UNIT

08.8-8 8" BLOCK PARTYWALL, STAGGERED UNIT & GARAGE, BRICK VENEER

08.8-8 8" BLOCK PARTYWALL, STAGGERED GARAGES, BRICK VENEER

0.10-1 TYP. 2 HR. FIREWALL SECTION PARALLEL ROOF TRUSSES - 8" FOUNDATION

10.10-2 TYP. 2 HR. FIREWALL SECTION PARALLEL ROOF TRUSSES - W/ VARIED FLOOR LE

3 TYP. 2 HR. FIREWALL, BRICK VENEER, STAGGERED UNIT

10.10-3 TYP. 2 HR. FIREWALL, BRICK VENEER AT PORCH

10.10-7 TYP. 2 HR. FIREWALL, BRICK VENEER, FLUSH UNIT

10.10-7 TYP. 2 HR. FIREWALL PROJECTION, BRICK VENEER, @ DECK PAIRING COMPLIANCE

PACKAGE

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot. This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

5.	RE-ISSUED FOR PERMIT .	2022.07.07	AW
4.	ADDED REAR LOGGIAS	2022.05.30	WT
3.	REVISED AS PER GRADING AND COMMENTS .	2022.03.17	WT
2.	ISSUED FOR PERMIT .	2022.02.18	AW
1.	ISSUED FOR PRICING .	2021.07.21	NEA
NO.	DESCRIPTION	YYYY.MM.DD	В
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REVISIONS	
E UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFIC ETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.	ATIONS A
ALIFICATION INFORMATION	
lan Whiting	25

IUNT DESIGN ASSOCIATES INC

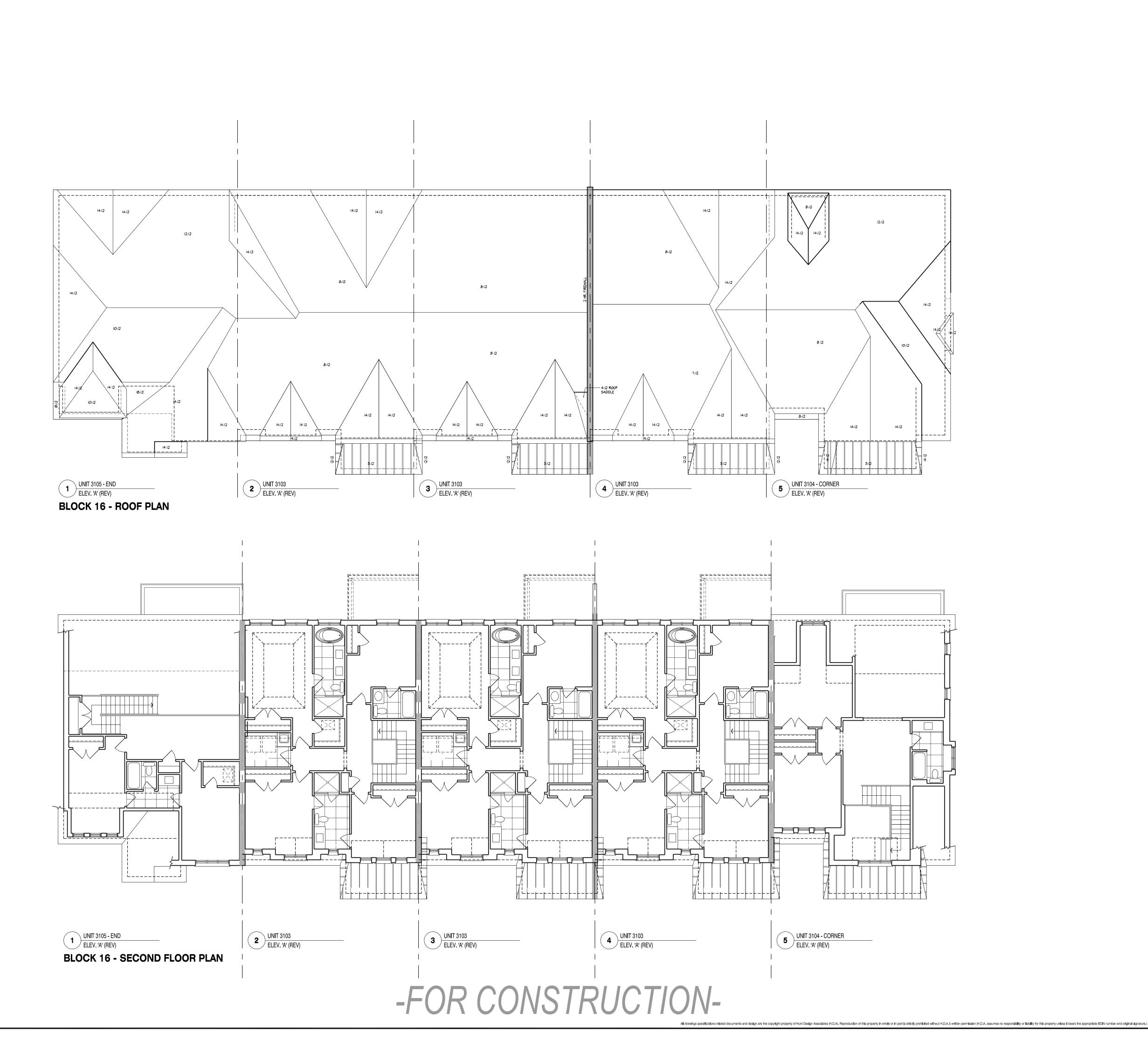
HUNT UU www.huntdesign.ca 3966 Woodbine Ave, Markham, ON L3R 0J T 905.737.5133 F 905.737.7326 email: hdai@h

GOLDPARK HOMES - 217014 PINE VALLEY DRIVE, VAUGHAN, ONTARIO

BLOCK 16 LOTS 1 to 5

BLOCK PLANS REV.2023.09.2 NEA

I/8"=1'**-**0" 217014WT-BLOCKS 12 to 17



BUILDING AREA 7081.94sq ft 657.93 sq m INCLUDING COLD CELLARS A FIREWALL IS REQUIRED IF THE BUILDING AREA IS GREATER THAN 600 m2 (6458 sq ft) AS PER BUILDING CODE PART 9 LIMITATIONS SECTION 1.1.2.4.(1) ** DEFINITION OF BUILDING AREA AS PER PART 1.4.1.2.

IS THE EXTENT OF THE GREATEST HORIZONTAL BUILDING EXTERIOR WALLS ABOVE GRADE TO IF REQ'D THE CENTER OF THE FIREWALL (DEMISING LINE) BUILDING AREA CALCULATION FOR FIREWALLS AS PE

O.B.C. PART 1 SECTION 1.1.2.4.(1)		2.4.(1), PART 3.1. & 9.10
	SECTION	BUILDING ARE
	LOTS 1, 2, & 3	4220.78 sq ft
	LO13 1, 2, & 3	392.12 sq m
	LOTS 4, & 5	2861.15 sq ft
	10134, & 5	265.81 sq m
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	-	_

GENERAL NOTES

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WALL TYPE LEGEND

FRR	LINE TYPE	DETAILS
45 MIN		SECTION 1, 2 & 3
60 MIN		SECTION 8 (BLOCK) SECTION 9 (WOOD STU
120 MIN		SECTION 10

DETAILS

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08.8-1 TYP. 1HR PARTY WALL SECTION, PARALLEL ROOF TRUSSES, 8" CONC. BLOCK

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08.8-8 8" BLOCK PARTYWALL, FLUSH AT GARAGE, BRICK VENEER 08.8-8 8" BLOCK PARTYWALL, STAGGERED UNIT & GARAGE, BRICK VENEER

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08.8-8 REQUIRED FIRE STOPPING AT SOFFITS SECTION 10.10-1 TYP. 2 HR. FIREWALL SECTION PARALLEL ROOF TRUSSES - 8' FOUNDATIO

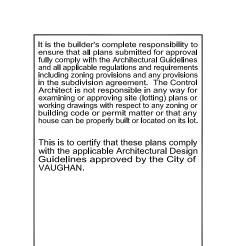
10.10-2 TYP. 2 HR. FIREWALL SECTION PARALLEL ROOF TRUSSES - W/ VARIED FLOOR LEVE 0-3 | TYP. 2 HR. FIREWALL, BRICK VENEER, STAGGERED UNIT

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10.10-7 TYP. 2 HR. FIREWALL, BRICK VENEER, FLUSH UNIT

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COMPLIANCE **PACKAGE**



NO.	DESCRIPTION	YYYY.MM.DD	B
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3.	REVISED AS PER GRADING AND COMMENTS .	2022.03.17	WT
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IUNT DESIGN ASSOCIATES INC

8966 Woodbine Ave, Markham, ON L3R 0J. T 905.737.5133 F 905.737.7326 email: hdai@huntdesign.ca

GOLDPARK HOMES - 217014 PINE VALLEY DRIVE, VAUGHAN, ONTARIO

BLOCK 16 LOTS 1 to 5

BLOCK PLANS REV.2023.09.2



INCLUDING AREA
INCLUDING COLD CELLARS

A FIREWALL IS REQUIRED IF THE BUILDING AREA IS
GREATER THAN 600 m2 (6458 sq ft) AS PER BUILDING
CODE PART 9 LIMITATIONS SECTION 1.1.2.4.(1)

** DEFINITION OF BUILDING AREA AS PER PART 1.4.1.2.
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THE CENTER OF THE FIREWALL (DEMISING LINE)

BUILDING AREA CALCULATION FOR FIREWALLS AS PE
O.B.C. PART 1 SECTION 1.1.2.4.(1), PART 3.1. & 9.10.

SECTION

BUILDING AREA

4220.78 sq ft
392.12 sq m

2861.15 sq ft
265.81 sq m

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60 MIN		SECTION 8 (BLOCK) SECTION 9 (WOOD STU
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4.	ADDED REAR LOGGIAS	2022.05.30
5.	RE-ISSUED FOR PERMIT	2022.07.07

REVISIONS E UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS RET THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

	AS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIG IENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A D	
QUALIFICATION INFOR	MATION	
Allan Whiting		23
NAME	SIGNATURE	
REGISTRATION INFORM	MATION	
HUNT DESIGN AS	HUNT DESIGN ASSOCIATES INC.	

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DESIGN ASSOCIATES INC. www.huntdesign.ca
966 Woodbine Ave, Markham, ON L3R (905.737.5133 F 905.737.7326 email: hdai@huntdesigi
OLDPARK HOMES - 217014

PINE VALLEY DRIVE, VAUGHAN, ONTARIO BLOCK 16 LOTS 1 to 5

310 1 10 3			
LOCK ELEVATIONS			
		REV.2023.09.21	
•	Drawn By	Checked By	
3"=1'-0 "	NEA	AW	