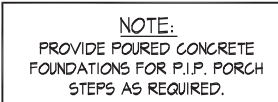


	
DESIGN ASSOCIATES INC. www.huntdesign.ca	
8966 Woodbine Ave., Markham, ON L3R 0J7 T 905.737.5153 F 905.737.7326 email: hdinfo@huntdesign.ca	
GOLDPARK HOMES - 271014 PINE VALLEY DRIVE, VAUGHAN, ONTARIO	
BLOCK 16 LOTS 1 to 5 BLOCK PLANS	
- REV.2022.07.07	
Sides 1/8"=1'-0"	Drawn By NEA
File Number 1001-157-BLOCK 16-1 to 5	Check By AW

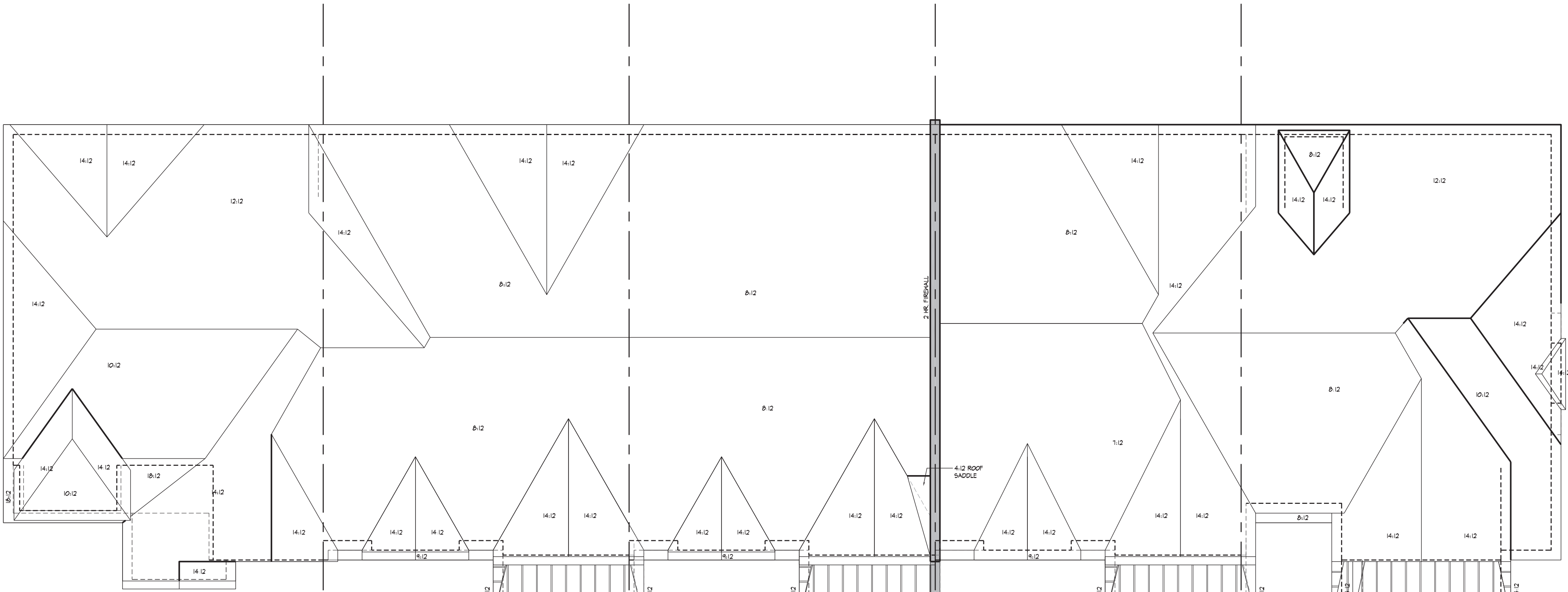


5 UNIT 3104 - CORNER
ELEV. 'A' (BEV)



5 UNIT 3104 - CORNER
ELEV. 'A' (REV)

\\HNT\H1\1\2022\2233\H1\ARCH\BLOCKS\217014\GOLDPARK\BLOCKS\217014WT-BLOCKS 16 TO 17.DWG



1 UNIT 3105 - END
ELEV. 'A' (REV)

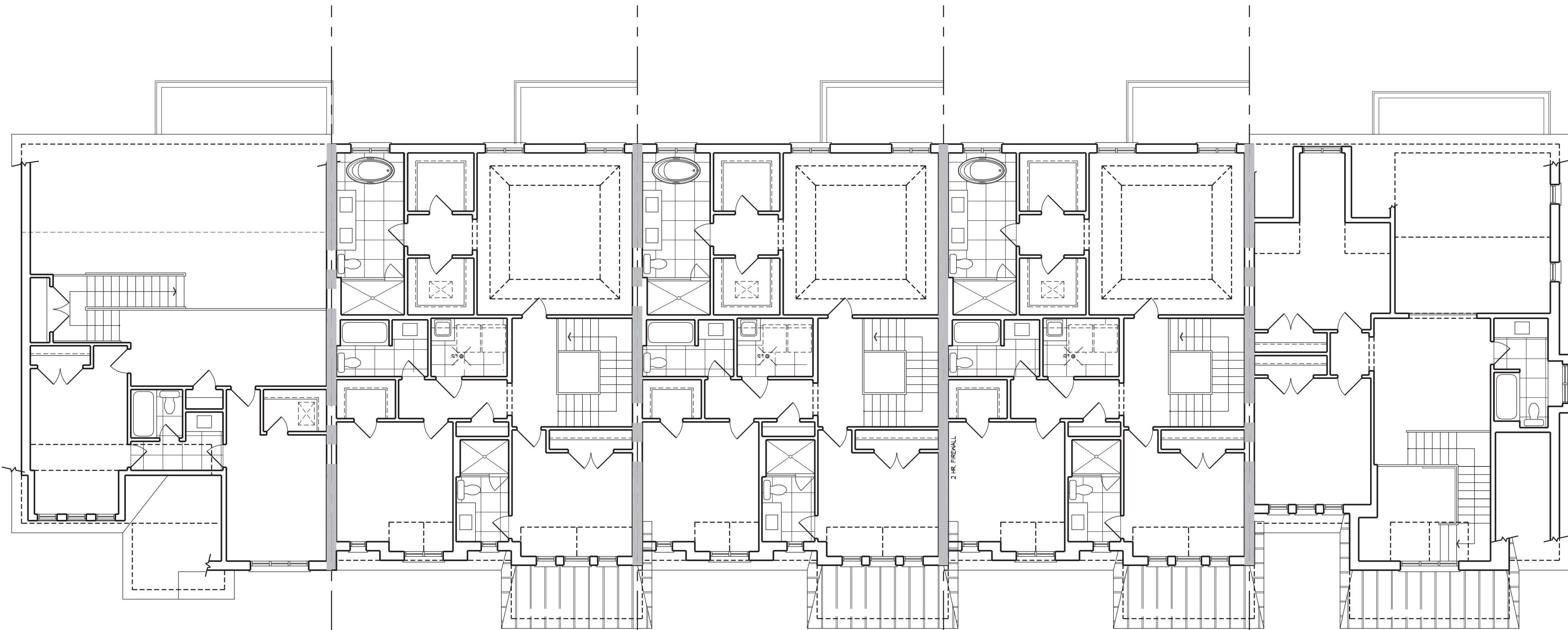
2 UNIT 3103
ELEV. 'A' (REV)

3 UNIT 3103
ELEV. 'A' (REV)

4 UNIT 3103
ELEV. 'A' (REV)

5 UNIT 3104 - CORNER
ELEV. 'A' (REV)

BLOCK 16 - ROOF PLAN



1 UNIT 3105 - END
ELEV. 'A' (REV)

2 UNIT 3103
ELEV. 'A' (REV)

3 UNIT 3103
ELEV. 'A' (REV)

4 UNIT 3103
ELEV. 'A' (REV)

5 UNIT 3104 - CORNER
ELEV. 'A' (REV)

BLOCK 16 - SECOND FLOOR PLAN

BUILDING AREA INCLUDING COLD CELLARS		7081.94sq ft 657.93 sq m
A FIREWALL IS REQUIRED IF THE BUILDING AREA IS GREATER THAN 600 m ² (6458 sq ft) AS PER BUILDING CODE PART 9 LIMITATIONS SECTION 1.1.2.4.(1)		
** DEFINITION OF BUILDING AREA AS PER PART 1.4.1.2. IS THE EXTENT OF THE GREATEST HORIZONTAL BUILDING EXTERIOR WALLS ABOVE GRADE TO IF REQ'D THE CENTER OF THE FIREWALL (DEMISING LINE)		
BUILDING AREA CALCULATION FOR FIREWALLS AS PER O.B.C. PART 1 SECTION 1.1.2.4.(1), PART 3.1. & 9.10.		
SECTION	BUILDING AREA	
LOTS 1, 2, & 3	4220.78 sq ft	
	392.12 sq m	
LOTS 4, & 5	2861.15 sq ft	
	265.81 sq m	
-	-	

- GENERAL NOTES**
1. PROVIDE FIRESTOPS AS REQUIRED BY O.B.C. 9.10.16
 2. REFER TO UNIT WORKING DRAWINGS, ENGINEERS DRAWINGS AND SITEPLAN FOR ADDITIONAL INFORMATION AND VERIFICATION.
 3. REFER TO ROOF TRUSS MANUFACTURERS DRAWINGS FOR LAYOUT, SPACING, INSTALLATION DETAILS AND HANGER SIZES.
 4. CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB REPORT ANY DISCREPANCIES TO HUNT DESIGN ASSOCIATES INC. (H.D.A.I.) BEFORE PROCEEDING WITH THE WORK. ALL DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND ARE THE PROPERTY OF H.D.A.I.
 5. COMBUSTIBLE PROJECTIONS ON THE EXTERIOR OF A WALL THAT ARE MORE THAN 1100mm (3 ft 3 in) ABOVE GROUND SHALL NOT BE PERMITTED WITHIN 1.2m (3 ft 11 in) OF A PROPERTY LINE OR CENTRE LINE OF A PUBLIC WAY OR 2.4m (7 ft 10 in) OF A COMBUSTIBLE PROJECTION ON ANOTHER BUILDING ON THE SAME PROPERTY AS PER PART 9 SECTION 9.10.14.5.(5)

WALL TYPE LEGEND		
FRR	LINE TYPE	DETAILS
45 MIN		SECTION 1, 2 & 3
60 MIN		SECTION 8 (BLOCK) SECTION 9 (WOOD STUD)
120 MIN		SECTION 10

DETAILS	
No.	TITLE
01-1-1	MASONRY VENEER, 2"x4" STUDS, 2 STOREY WALL SECTION
01-1-2	MASONRY VENEER, 2"x4" STUDS, 1 STOREY GARAGE WALL SECTION
08-B-1	TYP. 1 HR. PARTY WALL SECTION, PARALLEL ROOF TRUSSES, 1' CONC. BLOCK
08-B-2	TYP. 1 HR. PARTY WALL SECTION AT GARAGE, PARALLEL ROOF TRUSSES, 1' CONC. BLOCK
08-B-3	TYP. UTILITY FIRST PROTECTION US OF GARAGE CEILING SPACE, TYP. BLOCK PARTYWALL
08-B-4	TYP. 1' BLOCK PARTYWALL AT OPEN 2 STOREY CONDITION
08-B-5	1' BLOCK PARTYWALL, BRICK VENEER, FLUSH UNIT
08-B-6	1' BLOCK PARTYWALL, BRICK VENEER, STAGGERED UNIT
08-B-7	1' BLOCK PARTYWALL, FLUSH AT GARAGE, BRICK VENEER
08-B-8	1' BLOCK PARTYWALL, STAGGERED UNIT & GARAGE, BRICK VENEER
08-B-9	1' BLOCK PARTYWALL, STAGGERED GARAGES, BRICK VENEER
08-B-10	REQUIRED FIRE STOPPING AT SOFFITS SECTION
10-10-1	TYP. 2 HR. FIREWALL SECTION PARALLEL ROOF TRUSSES - 1' FOUNDATION
10-10-2	TYP. 2 HR. FIREWALL SECTION PARALLEL ROOF TRUSSES - 1' VARIOUS FLOOR LEVELS
10-10-3	TYP. 2 HR. FIREWALL, BRICK VENEER, STAGGERED UNIT
10-10-4	TYP. 2 HR. FIREWALL, BRICK VENEER AT PORCH
10-10-5	TYP. 2 HR. FIREWALL, BRICK VENEER, FLUSH UNIT
10-10-7	TYP. 2 HR. FIREWALL PROJECTION, BRICK VENEER, @ DECK PARAPETS

COMPLIANCE PACKAGE	SB-12 (SECTION 21.1)
	A1

It is the builder's complete responsibility to ensure that all items submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Council Architect is not responsible in any way for obtaining or approving any zoning, planning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL, ENGINEERING, INTERIOR DESIGN AND APPROVAL
APPROVED BY:
DATE: JUL 15, 2022
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

5.	RE-ISSUED FOR PERMIT	2022.07.07	AW
4.	ADDED REAR LOGGAS	2022.06.30	WT
3.	REVISED AS PER GRADING AND COMMENTS	2022.01.17	WT
2.	ISSUED FOR PERMIT	2022.02.18	AW
1.	ISSUED FOR PROPOSING	2021.07.21	NEA
NO.	DESCRIPTION	YYYY.MM.DD	BY

REVISIONS		
THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THE DESIGN AND THE QUALITY OF THE WORK AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.		
QUALIFICATION INFORMATION		
Allen Whiting		23177
REGISTRATION INFORMATION		
HUNT DESIGN ASSOCIATES INC.		19969

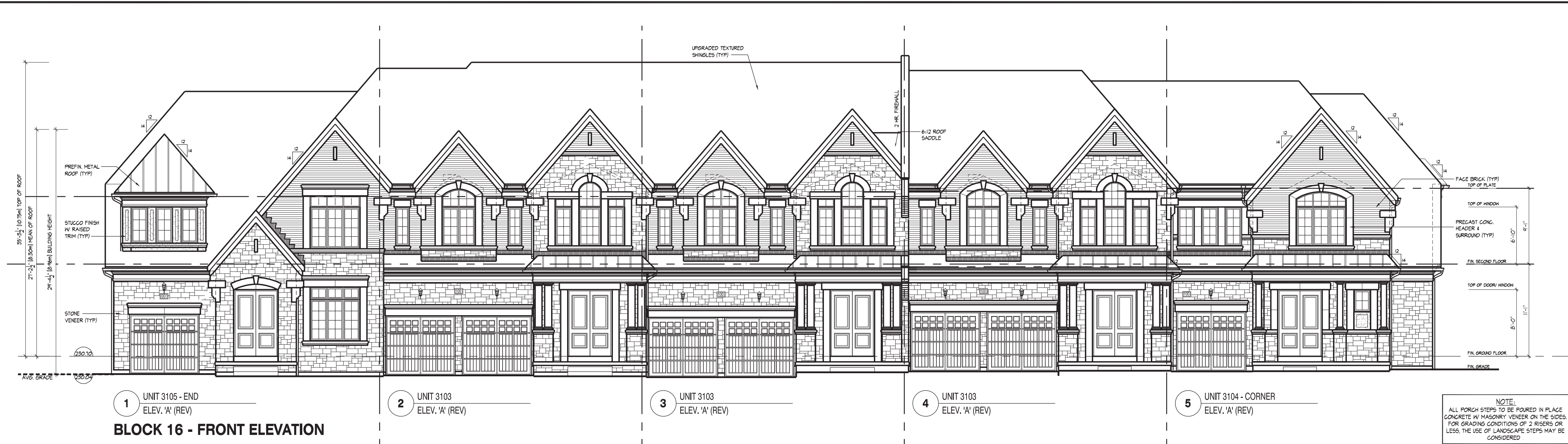
HUNT
DESIGN ASSOCIATES INC.
www.hunt-design.ca
99569 Woodbine Ave., Markham, ON L3R 0J7
T 905.737.5133 F 905.737.7326 email: hdsai@hunt-design.ca

GOLDPARK HOMES - 217014
PINE VALLEY DRIVE, VAUGHAN, ONTARIO

BLOCK 16
LOTS 1 to 5

BLOCK PLANS

-	REV.2022.07.07
Scale: 1/8"=1'-0"	Drawn By: AW
File Name: 217014WT-BLOCKS 16 to 17	Page Number: 2 of 3



1 UNIT 3105 - END
ELEV. 'A' (REV)
BLOCK 16 - FRONT ELEVATION

2 UNIT 3103
ELEV. 'A' (REV)

3 UNIT 3103
ELEV. 'A' (REV)

4 UNIT 3103
ELEV. 'A' (REV)

5 UNIT 3104 - CORNER
ELEV. 'A' (REV)

NOTE:
ALL PORCH STEPS TO BE POURED IN PLACE
CONCRETE IN MASONRY VENEER ON THE SIDES.
FOR GRADING CONDITIONS OF 2 RESIDS OR
LESS, THE USE OF LANDSCAPE STEPS MAY BE
CONSIDERED.



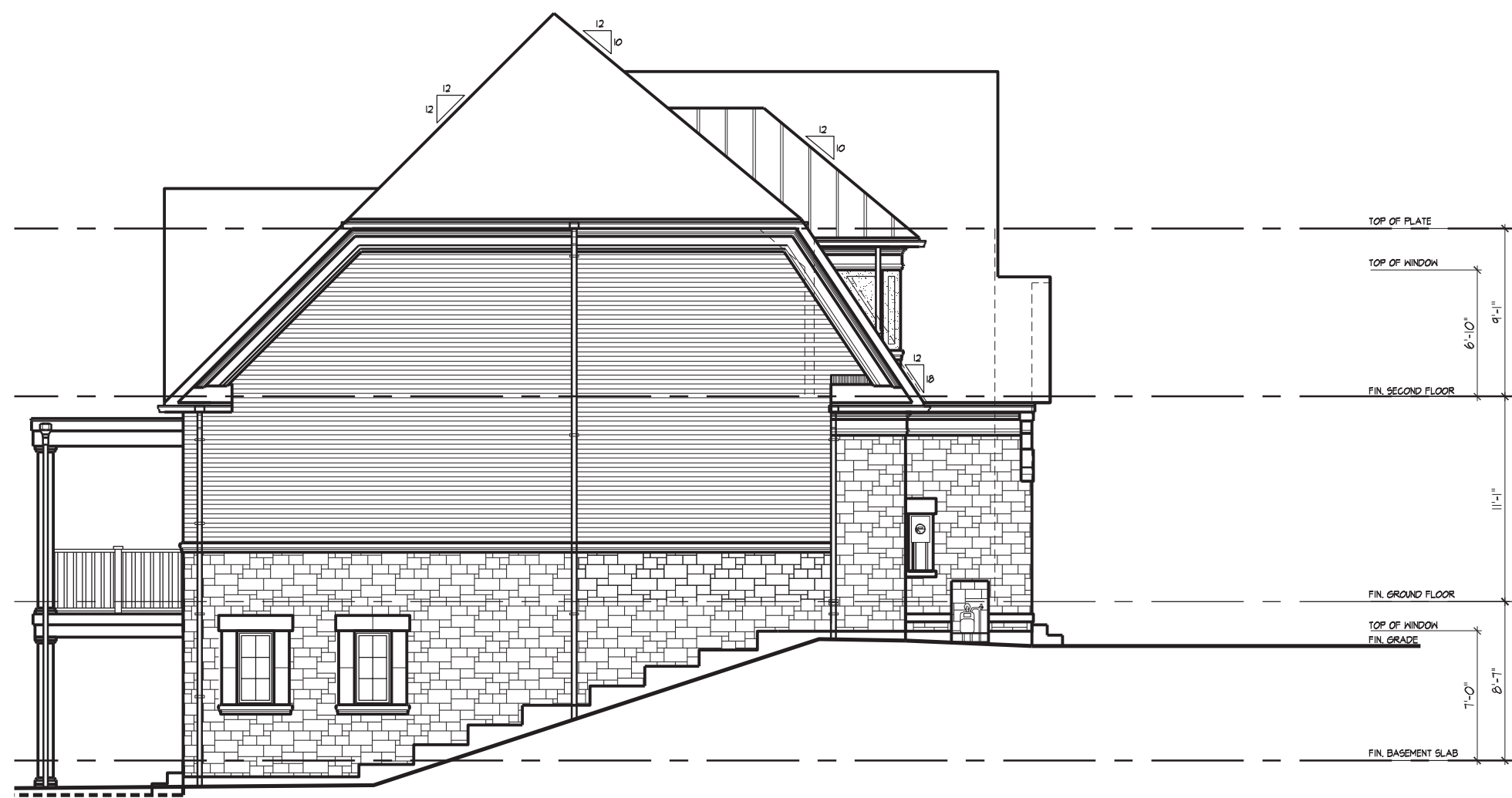
5 UNIT 3104 - CORNER
ELEV. 'A' (REV)
BLOCK 16 - REAR ELEVATION

4 UNIT 3103
ELEV. 'A' (REV) UPGRADE

3 UNIT 3103
ELEV. 'A' (REV) UPGRADE

2 UNIT 3103
ELEV. 'A' (REV) UPGRADE

1 UNIT 3105 - END
ELEV. 'A' (REV) UPGRADE



1 UNIT 3105 - END
ELEV. 'A' (REV) UPGRADE
BLOCK 16 - LEFT SIDE ELEVATION



5 UNIT 3104 - CORNER
ELEV. 'A' (REV)
BLOCK 16 - RIGHT SIDE ELEVATION

BUILDING AREA INCLUDING GOLD CELLARS		7081.94sq ft 657.93 sq m
A FIREWALL IS REQUIRED IF THE BUILDING AREA IS GREATER THAN 600 m2 (6468 sq ft) AS PER BUILDING CODE PART 9 LIMITATIONS SECTION 1.1.2.4.(1). ** DEFINITION OF BUILDING AREA AS PER PART 1.4.1.2. IS THE EXTENT OF THE GREATEST HORIZONTAL BUILDING EXTERIOR WALLS ABOVE GRADE TO IF REQ'D THE CENTER OF THE FIREWALL (DEMISING LINE)		
BUILDING AREA CALCULATION FOR FIREWALLS AS PER O.B.C. PART 1 SECTION 1.1.2.4.(1), PART 3.1. & 9.10.		
SECTION	BUILDING AREA	
LOTS 1, 2, & 3	4220.78 sq ft 392.12 sq m	
LOTS 4, & 5	2861.15 sq ft 265.81 sq m	

GENERAL NOTES

1. PROVIDE FIRESTOPS AS REQUIRED BY O.B.C. 9.10.16
2. REFER TO UNIT WORKING DRAWINGS, ENGINEERS DRAWINGS AND SITEPLAN FOR ADDITIONAL INFORMATION AND VERIFICATION.
3. REFER TO ROOF TRUSS MANUFACTURERS DRAWINGS FOR LAYOUT, SPACING, INSTALLATION DETAILS AND HANGER SIZES.
4. CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB REPORT ANY DISCREPANCIES TO HUNT DESIGN ASSOCIATES INC. (H.D.A.I.) BEFORE PROCEEDING WITH THE WORK. ALL DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND ARE THE PROPERTY OF H.D.A.I.
5. COMBUSTIBLE PROJECTIONS ON THE EXTERIOR OF A WALL THAT ARE MORE THAN 110mm (4 3/8 in) ABOVE GROUND SHALL NOT BE PERMITTED WITHIN 1.2m (3 ft 11 in) OF A PROPERTY LINE OR CENTRE LINE OF A PUBLIC WAY OR 2.4m (7 ft 10 in) OF A COMBUSTIBLE PROJECTION ON ANOTHER BUILDING ON THE SAME PROPERTY AS PER PART 9 SECTION 9.10.14.5.(5)

WALL TYPE LEGEND

FRR	LINE TYPE	DETAILS
45 MIN		SECTION 1, 2 & 3
60 MIN		SECTION 8 (BLOCK) SECTION 9 (WOOD STUD)
120 MIN		SECTION 10

DETAILS

No.	TITLE
01-1-1	MASONRY VENEER, 2"x4" STUDS, 2 STOREY WALL SECTION
01-1-2	MASONRY VENEER, 2"x4" STUDS, 1 STOREY GARAGE WALL SECTION
08-8-1	TYP. 1 HR. PARTY WALL SECTION PARALLEL ROOF TRUSSES, IF CONC. BLOCK
08-8-2	TYP. 1 HR. PARTY WALL SECTION AT GARAGE, PARALLEL ROOF TRUSSES, IF CONC. BLOCK
08-8-3	TYP. UTILITY FIRST PROTECTION AT US OF GARAGE (CLASH SPACE) TYP. BLOCK PARTY WALL
08-8-4	TYP. IF BLOCK PARTY WALL AT OPEN 2 STOREY CONDITION
08-8-5	IF BLOCK PARTY WALL, BRICK VENEER, FLUSH UNIT
08-8-6	IF BLOCK PARTY WALL, BRICK VENEER, STAGGERED UNIT
08-8-7	IF BLOCK PARTY WALL, FLUSH AT GARAGE, BRICK VENEER
08-8-8	IF BLOCK PARTY WALL, STAGGERED UNIT & GARAGE, BRICK VENEER
08-8-9	IF BLOCK PARTY WALL, STAGGERED GARAGES, BRICK VENEER
08-8-10	REQUIRED FIRE STOPPING AT SOFFITS SECTION
10-10-1	TYP. 2 HR. FIREWALL SECTION PARALLEL ROOF TRUSSES - IF FOUNDATION
10-10-2	TYP. 2 HR. FIREWALL SECTION PARALLEL ROOF TRUSSES - IF WARED FLOOR LEVELS
10-10-3	TYP. 2 HR. FIREWALL, BRICK VENEER, STAGGERED UNIT
10-10-4	TYP. 2 HR. FIREWALL, BRICK VENEER AT PORCH
10-10-5	TYP. 2 HR. FIREWALL, BRICK VENEER, FLUSH UNIT
10-10-7	TYP. 2 HR. FIREWALL PROJECTION, BRICK VENEER, @ DECK PARINGS

COMPLIANCE PACKAGE

A1

It is the builder's complete responsibility to ensure that all plans submitted for review fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for obtaining or approving site (lot) plans or building codes or permit matter or that any house can be properly built on location on B.L.S.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: 
DATE: JUL 26, 2022
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

5.	RE-ISSUED FOR PERMIT	2022.07.07	AW
4.	ADDED REAR LOGGAS	2022.06.30	WT
3.	REVISED AS PER GRADING AND COMMENTS	2022.01.17	WT
2.	ISSUED FOR PERMIT	2022.02.18	AW
1.	ISSUED FOR PROPOSING	2021.07.21	NEA
NO.	DESCRIPTION	YYYY.MM.DD	BY

REVISIONS

THE UNDERSIGNED HEREBY CERTIFY THAT THEY HAVE MADE RESPONSIBILITY FOR THE DESIGN AND THE QUALITY OF THE WORK AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION	AW	2317
NAME	ALLEN WHITING	DESIGNER
REGISTRATION INFORMATION	HUNT DESIGN ASSOCIATES INC.	1995

HUNT
DESIGN ASSOCIATES INC.
www.hunt-design.ca
99566 Woodbine Ave., Markham, ON L3R 0J7
T 905.737.5133 F 905.737.7326 email: hdsai@hunt-design.ca

GOLDPARK HOMES - 217014
PINE VALLEY DRIVE, VAUGHAN, ONTARIO

BLOCK 16
LOTS 1 to 5

BLOCK ELEVATIONS

-	REV.2022.07.07
Scale	1/8"=1'-0"
Drawn By	AW
Reviewed By	NEA
Project Name	217014WT-BLOCKS 12 to 17
Page Number	3 of 3