

AWP11013 (REV. JUL 1, 2022) 1233 PM | PROJECT: 217014-GOLDPARK HOMES BLOCKS 12 TO 17 | 17 OF 17



FOR STRUCTURAL ONLY, EXCLUDING
ENGINEERED ROOF TRUSS, FLOOR
JOIST, AND FLOOR LVL BEAM DESIGN.

wsp

100 COMMERCE VALLEY DR. W.
THORNHILL, ONTARIO M3H 5T7 CAN.
TEL: 1-888-881-4211 FAX: 1-888-522-0559 WWW.WSPGROUP.CA

BUILDING AREA INCLUDING COLD CELLARS		6984.07sq ft 648.84 sq m
A FIREWALL IS REQUIRED IF THE BUILDING AREA IS GREATER THAN 600 m ² (6468 sq ft) AS PER BUILDING CODE PART 9 LIMITATIONS SECTION 1.1.2.4.(1) ** DEFINITION OF BUILDING AREA AS PER PART 1.4.1.2. IS THE EXTENT OF THE GREATEST HORIZONTAL BUILDING EXTERIOR WALLS ABOVE GRADE TO IF REQ'D THE CENTER OF THE FIREWALL (DEMISING LINE)		
BUILDING AREA CALCULATION FOR FIREWALLS AS PER O.B.C. PART 1 SECTION 1.1.2.4.(1), PART 3.1. & 9.10.		
SECTION	BUILDING AREA	
LOTS 1 & 2	2855.1 sq ft	265.25 sq m
LOTS 3, 4, & 5	4128.92 sq ft	383.59 sq m
-	-	-

GENERAL NOTES

1. PROVIDE FIRESTOPS AS REQUIRED BY O.B.C. 9.10.16
2. REFER TO UNIT WORKING DRAWINGS, ENGINEERS
DRAWINGS AND SITEPLAN FOR ADDITIONAL
INFORMATION AND VERIFICATION.
3. REFER TO ROOF TRUSS MANUFACTURERS
DRAWINGS FOR LAYOUT, SPACING, INSTALLATION
DETAILS AND HANGER SIZES.
4. CONTRACTOR MUST VERIFY ALL DIMENSIONS ON
THE JOB REPORT ANY DISCREPANCIES TO HUNT
DESIGN ASSOCIATES INC. (H.D.A.I.) BEFORE
PROCEEDING WITH THE WORK. ALL DRAWINGS AND
SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND
ARE THE PROPERTY OF H.D.A.I.
5. COMBUSTIBLE PROJECTIONS ON THE EXTERIOR OF
A WALL THAT ARE MORE THAN 1100mm (3 ft 3 in) ABOVE
GROUND SHALL NOT BE PERMITTED WITHIN 1.2m
(3 ft 11 in) OF A PROPERTY LINE OR CENTRE LINE OF A
PUBLIC WAY OR 2.4m (7 ft 10 in) OF A COMBUSTIBLE
PROJECTION ON ANOTHER BUILDING ON THE SAME
PROPERTY AS PER PART 9 SECTION 9.10.14.5.(5)

WALL TYPE LEGEND

FRR	LINE TYPE	DETAILS
45 MIN	---	SECTION 1, 2 & 3
60 MIN	---	SECTION 8 (BLOCK) SECTION 9 (WOOD STUD)
120 MIN	---	SECTION 10

DETAILS

No.	TITLE
01-1-1	MASONRY VENEER, 2"x4" STUDS, 2 STOREY WALL SECTION
01-1-2	MASONRY VENEER, 2"x4" STUDS, 1 STOREY GARAGE WALL SECTION
08-8-1	TYP. 1 HR PARTY WALL SECTION PARALLEL ROOF TRUSSES, 8" CONIC BLOCK
08-8-2	TYP. 1 HR PARTY WALL SECTION AT GARAGE, PARALLEL ROOF TRUSSES, 8" CONIC BLOCK
08-8-3	TYP. UTILITY FIRE PROTECTION AT US OF GARAGE DELTA SPACE, TYP. BLOCK PARTYWALL
08-8-4	TYP. 8" BLOCK PARTYWALL AT OPEN 2 STOREY CONDITION
08-8-5	8" BLOCK PARTYWALL, BRICK VENEER, FLUSH UNIT
08-8-6	8" BLOCK PARTYWALL, BRICK VENEER, STAGGERED UNIT
08-8-7	8" BLOCK PARTYWALL, FLUSH AT GARAGE, BRICK VENEER
08-8-8	8" BLOCK PARTYWALL, STAGGERED UNIT & GARAGE, BRICK VENEER
08-8-9	8" BLOCK PARTYWALL, STAGGERED GARAGES, BRICK VENEER
08-8-10	REQUIRED FIRE STOPPING AT SOFFITS SECTION
10-10-1	TYP. 2 HR. FIREWALL SECTION PARALLEL ROOF TRUSSES - IF FOUNDATION
10-10-2	TYP. 2 HR. FIREWALL SECTION PARALLEL ROOF TRUSSES - IN VARIOUS FLOOR LEVELS
10-10-3	TYP. 2 HR. FIREWALL, BRICK VENEER, STAGGERED UNIT
10-10-4	TYP. 2 HR. FIREWALL, BRICK VENEER AT PORCH
10-10-5	TYP. 2 HR. FIREWALL, BRICK VENEER, FLUSH UNIT
10-10-6	TYP. 2 HR. FIREWALL, BRICK VENEER, STAGGERED UNIT
10-10-7	TYP. 2 HR. FIREWALL PROJECTION, BRICK VENEER, @ DECK PARAPETS

COMPLIANCE PACKAGE	SB-12 (SECTION 21.0) A1
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It is the builder's complete responsibility to
ensure that all plans submitted for approval
fully comply with the Architectural Guidelines
and all applicable regulations and requirements
including zoning provisions and any provisions
in the subdivision agreement. The Control
Authority is not responsible in any way for
omissions or errors on any plans, drawings or
building codes or permit matter or that any
house can be properly built or located on its lot.

This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the City of
VAUGHAN.

APPROVED BY: 
DATE: JUL 20, 2022
This stamp certifies compliance with the applicable
Design Guidelines only and does not further
guarantee (professional responsibility)

5.	-	-
4.	RE-ISSUED FOR PERMIT	2022.07.07 AW
3.	REVISED AS PER GRADING AND COMMENTS	2022.01.17 WT
2.	ISSUED FOR PERMIT	2022.02.18 AW
1.	ISSUED FOR PERMIT	2021.07.21 NEA
NO.	DESCRIPTION	YYYYMMDD BY

REVISIONS

THE ENGINEER HAS REVIEWED AND TAKES RESPONSIBILITY FOR THE DESIGN AND HAS THE QUALIFICATIONS AND
MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION	
NAME	Allen Whiting
REGISTRATION INFORMATION	23177
COMPANY	DESIGN ASSOCIATES INC.
DATE	1999

HUNT
DESIGN ASSOCIATES INC.
www.hunt-design.ca
8956 Woodbine Ave., Markham, ON L3R 0J7
T 905.737.5133 F 905.737.7326 email: hds@hunt-design.ca

GOLDPARK HOMES - 217014
PINE VALLEY DRIVE, VAUGHAN, ONTARIO

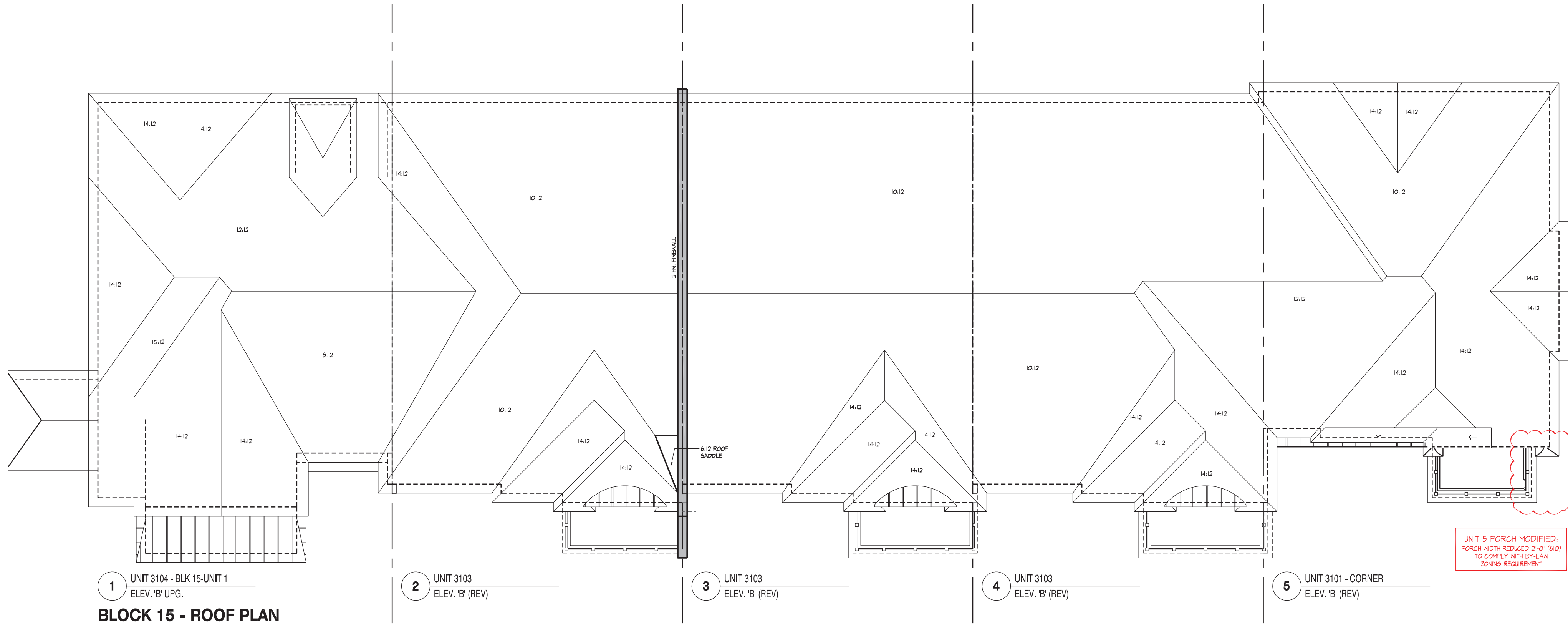
BLOCK 15
LOTS 1 to 5

BLOCK ELEVATIONS

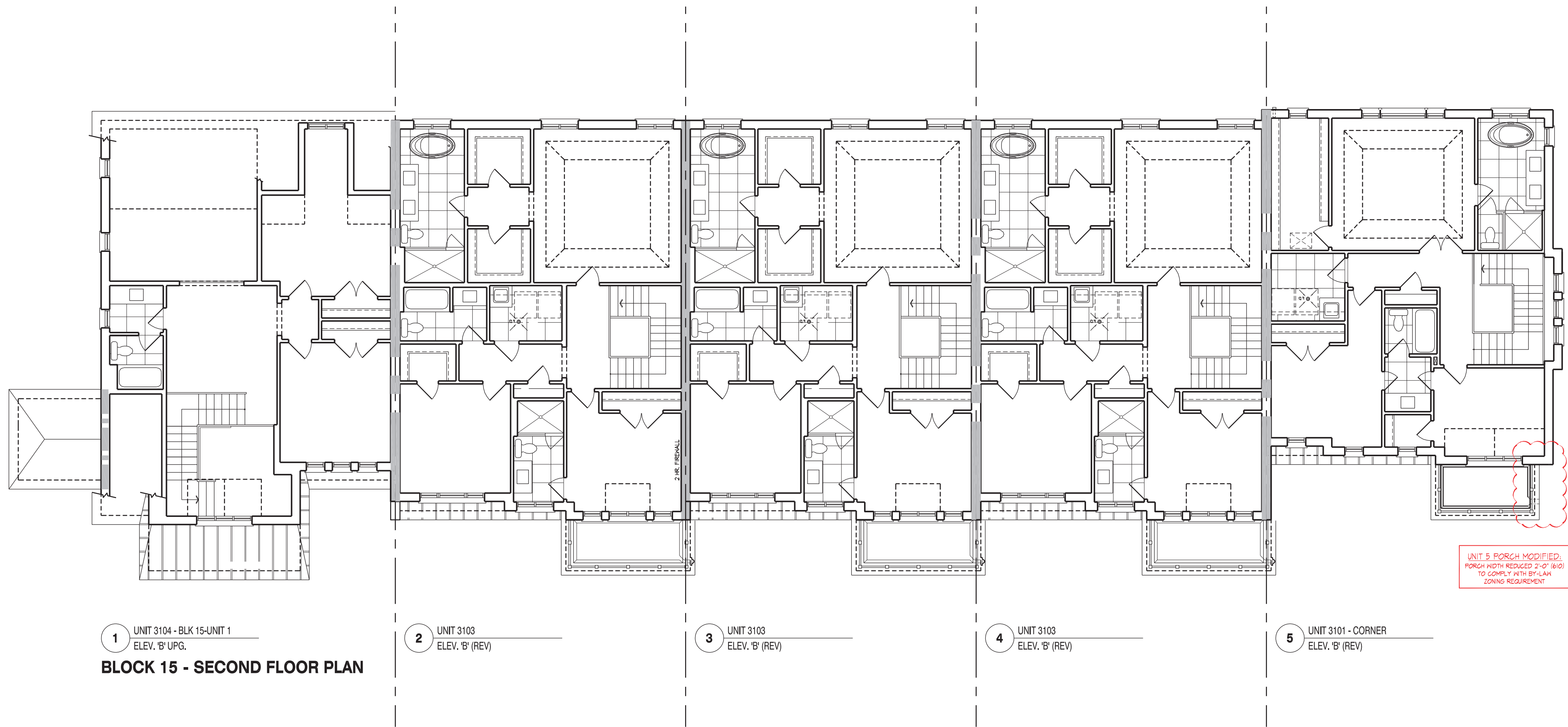
-	REV.2022.07.07
Scale:	1/8"=1'-0"
Drawn By:	AW
Reviewed By:	NEA
Project No:	217014WT-BLOCKS 12 to 17
Page No:	1 of 3

BLOCK NUMBER 15

\\HNTD\1\WD-14-1322-1233-14\PROJECTS\2021\217014\GOLDPARK\BLOCKS 15\14WT-BLOCKS 15 TO 17.DWG



BLOCK 15 - ROOF PLAN



BLOCK 15 - SECOND FLOOR PLAN



FOR STRUCTURAL ONLY, EXCLUDING
ENGINEERED ROOF TRUSS, FLOOR
JOIST, AND FLOOR LVL BEAM DESIGN.

BUILDING AREA INCLUDING COLD CELLARS		6984.07sq ft 648.84 sq m
A FIREWALL IS REQUIRED IF THE BUILDING AREA IS GREATER THAN 600 m ² (6458 sq ft) AS PER BUILDING CODE PART 9 LIMITATIONS SECTION 1.1.2.4.(1) ** DEFINITION OF BUILDING AREA AS PER PART 1.4.1.2. IS THE EXTENT OF THE GREATEST HORIZONTAL BUILDING EXTERIOR WALLS ABOVE GRADE TO IF REQ'D THE CENTER OF THE FIREWALL (DEMISING LINE)		
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 2. REFER TO UNIT WORKING DRAWINGS, ENGINEERS DRAWINGS AND SITEPLAN FOR ADDITIONAL INFORMATION AND VERIFICATION.
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 4. CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB REPORT ANY DISCREPANCIES TO HUNT DESIGN ASSOCIATES INC. (H.D.A.I.) BEFORE PROCEEDING WITH THE WORK. ALL DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND ARE THE PROPERTY OF H.D.A.I.
 5. COMBUSTIBLE PROJECTIONS ON THE EXTERIOR OF A WALL THAT ARE MORE THAN 1100mm (3 ft 3 in) ABOVE GROUND SHALL NOT BE PERMITTED WITHIN 1.2m (3 ft 11 in) OF A PROPERTY LINE OR CENTRE LINE OF A PUBLIC WAY OR 2.4m (7 ft 10 in) OF A COMBUSTIBLE PROJECTION ON ANOTHER BUILDING ON THE SAME PROPERTY AS PER PART 9 SECTION 9.10.14.5.(5)

WALL TYPE LEGEND		
FRR	LINE TYPE	DETAILS
45 MIN	---	SECTION 1, 2 & 3
60 MIN	---	SECTION 8 (BLOCK) SECTION 9 (WOOD STUD)
120 MIN	---	SECTION 10

DETAILS	
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08-8-1	TYP. 1 HR PARTY WALL SECTION, PARALLEL ROOF TRUSSES, IF CONC. BLOCK
08-8-2	TYP. 1 HR PARTY WALL SECTION AT GARAGE, PARALLEL ROOF TRUSSES, IF CONC. BLOCK
08-8-3	TYP. UTILITY FROST PROTECTION, 4" US IF GARAGE CEILING SPACE, TYP. BLOCK PARTYWALL
08-8-4	TYP. IF BLOCK PARTYWALL AT OPEN 2 STOREY CONDITION
08-8-5	IF BLOCK PARTYWALL, BRICK VENEER, FLUSH UNIT
08-8-6	IF BLOCK PARTYWALL, BRICK VENEER, STAGGERED UNIT
08-8-7	IF BLOCK PARTYWALL, FLUSH AT GARAGE, BRICK VENEER
08-8-8	IF BLOCK PARTYWALL, STAGGERED UNIT & GARAGE, BRICK VENEER
08-8-9	IF BLOCK PARTYWALL, STAGGERED GARAGES, BRICK VENEER
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COMPLIANCE PACKAGE	SB-12 (SECTION 21.0)
	A1

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Council Architect is not responsible in any way for obtaining or approving site, zoning, planning or building codes or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Vaughan.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL, ENGINEERING, REVIEW AND APPROVAL
APPROVED BY:
DATE: JUL 15, 2022
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

5.	RE-ISSUED FOR PERMIT	2022.07.07	AW
4.	REVISED UNIT 1 ROOF PLAN TO SHOW 'B' UPG. ELEV.	2022.04.21	AW
3.	REVISED AS PER GRADING AND COMMENTS	2022.03.17	WT
2.	ISSUED FOR PERMIT	2022.02.18	AW
1.	ISSUED FOR PROPOSING	2021.07.21	NEA
NO.	DESCRIPTION	YYYYMMDD	BY

REVISIONS	
THE ENGINEER HAS REVIEWED AND MADE REVISIONS TO THE DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.	
QUALIFICATION INFORMATION	
Allen Whiting	23177
REGISTRATION INFORMATION	
HUNT DESIGN ASSOCIATES INC.	19969

HUNT
DESIGN ASSOCIATES INC.
www.huntdesign.ca
89960 Woodbine Ave., Markham, ON L3R 0J7
T 905.737.5133 F 905.737.7326 email: hda@huntdesign.ca

GOLDPARK HOMES - 217014
PINE VALLEY DRIVE, VAUGHAN, ONTARIO

BLOCK 15
LOTS 1 to 5

BLOCK ELEVATIONS

- REV.2022.07.07

Scale: 1/8"=1'-0" Drawn By: AW
Reviewed By: NEA
217014WT-BLOCKS 12 to 17 2 of 3



1 UNIT 3104 - BLK 15-UNIT 1
ELEV. 'B' UPG.
BLOCK 15 - FRONT ELEVATION

2 UNIT 3103
ELEV. 'B' (REV)

3 UNIT 3103
ELEV. 'B' (REV)

4 UNIT 3103
ELEV. 'B' (REV)

5 UNIT 3101 - CORNER
ELEV. 'B' (REV)

UNIT 3 PORCH MODIFIED.
PORCH WIDTH REDUCED 2'-0" (REV)
TO COMPLY WITH BY-LAW
SIGNING REQUIREMENTS

NOTE:
ALL PORCH STEPS TO BE POURED IN PLACE
CONCRETE IN MASONRY VENEER ON THE SIDES
FOR DRAINAGE CONDITIONS OF 2 RISERS OR
LESS. THE USE OF LANDSCAPE STEPS MAY BE
CONSIDERED



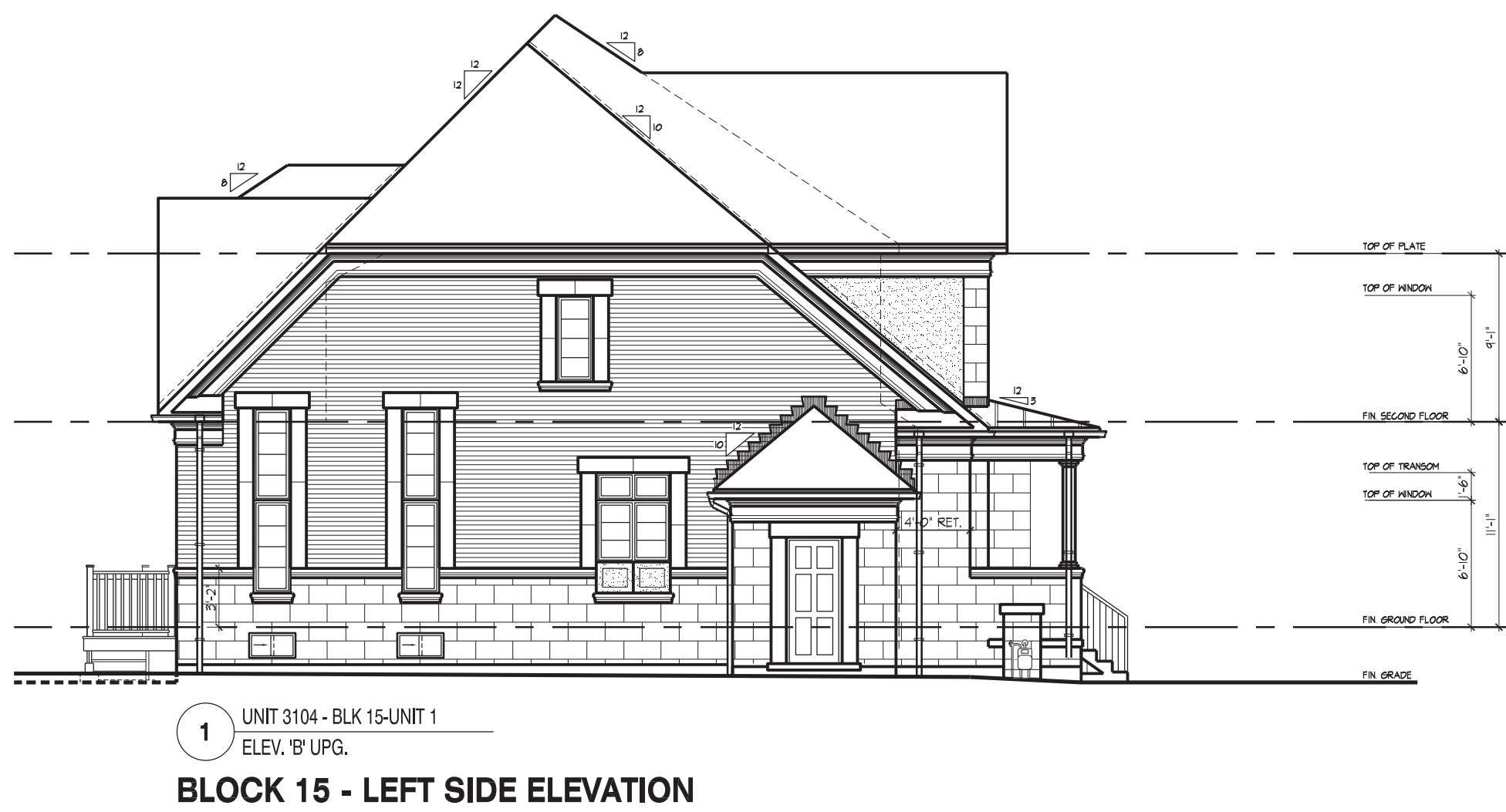
5 UNIT 3101 - CORNER
ELEV. 'B' (REV)
BLOCK 15 - REAR ELEVATION

4 UNIT 3103
ELEV. 'B' (REV) UPGRADE

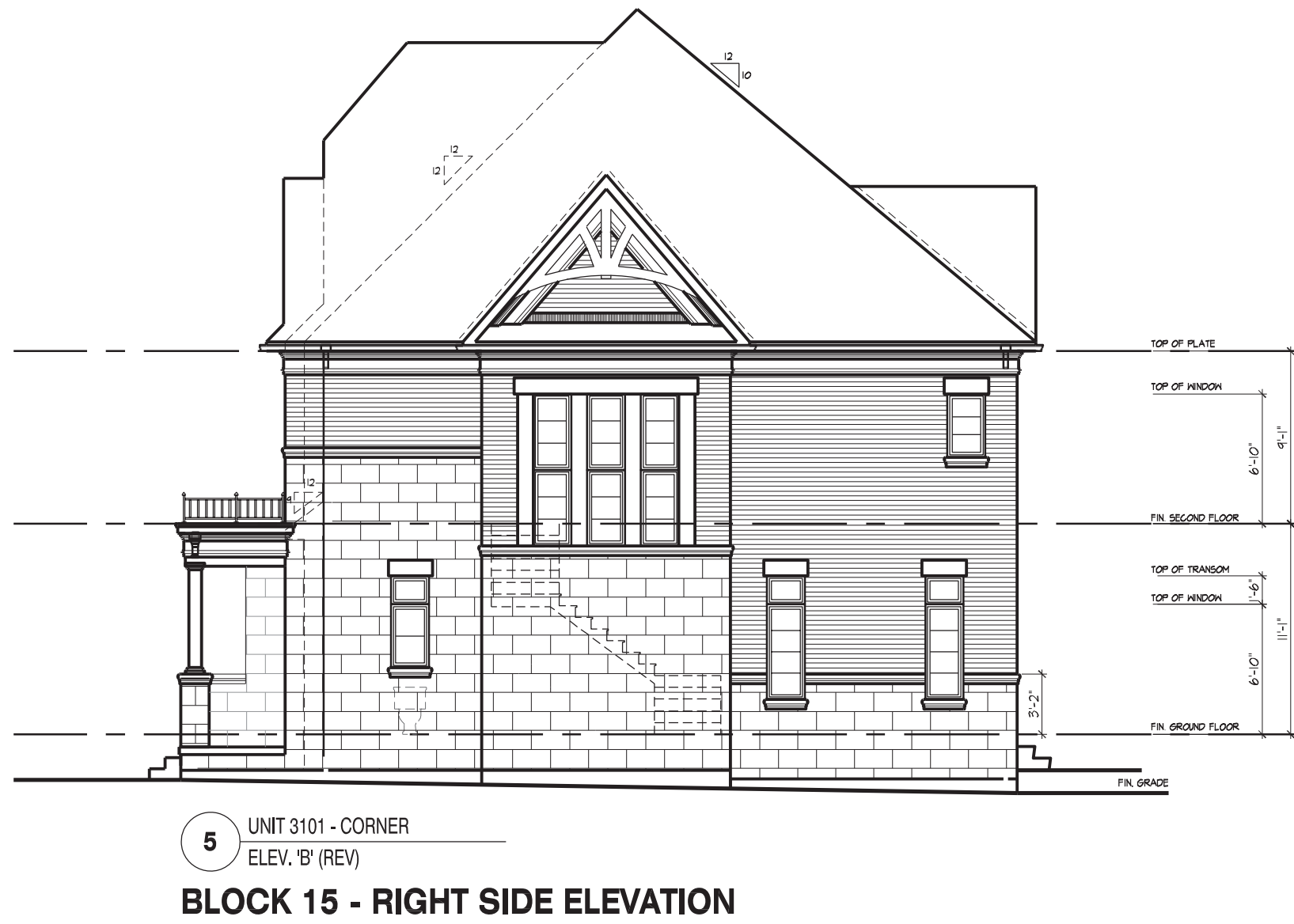
3 UNIT 3103
ELEV. 'B' (REV) UPGRADE

2 UNIT 3103
ELEV. 'B' (REV) UPGRADE

1 UNIT 3104 - BLK 15-UNIT 1
ELEV. 'B' UPG.



1 UNIT 3104 - BLK 15-UNIT 1
ELEV. 'B' UPG.
BLOCK 15 - LEFT SIDE ELEVATION



5 UNIT 3101 - CORNER
ELEV. 'B' (REV)
BLOCK 15 - RIGHT SIDE ELEVATION

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08-8-3	TYP. UTILITY FIRST PROTECTION AT US OF GARAGE, 2' SPACE, TYP. BLOCK PARTIAL WALL
08-8-4	TYP. 1' BLOCK PARTY WALL AT OPEN 2 STOREY CONDITION
08-8-5	1' BLOCK PARTY WALL, BRICK VENEER, FLUSH UNIT
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COMPLIANCE PACKAGE	A1
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APPROVED BY: 
DATE: JUL 20, 2022
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5.	RE-ISSUED FOR PERMIT	2022.07.07	AW
4.	REVISED UNIT 1 FRONT & SIDE ELEVATION TO SHOW 'B' UPG. ELEV.	2022.04.21	AW
3.	REVISED AS PER GRADING AND COMMENTS	2022.03.17	WT
2.	ISSUED FOR PERMIT	2022.02.18	AW
1.	ISSUED FOR PRICING	2021.07.21	NEA
NO.	DESCRIPTION	YYYYMMDD	BY
REVISIONS			
THE ARCHITECT HAS REVIEWED AND TAKES RESPONSIBILITY FOR THE DESIGN AND THE QUALITY OF THE DESIGN AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.			
QUALIFICATION INFORMATION			
NAME	Allen Whiting	23177	NS
REGISTERED INFORMATION	REGISTERED	1999	
HUNT DESIGN ASSOCIATES INC.			

HUNT DESIGN ASSOCIATES INC. www.hunt-design.ca	
89565 Woodbine Ave., Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326 email: hdsai@hunt-design.ca	
GOLDPARK HOMES - 217014 PINE VALLEY DRIVE, VAUGHAN, ONTARIO	
BLOCK 15 LOTS 1 to 5	
BLOCK ELEVATIONS	
REV.2022.07.07	
Scale	Drawn By
1/8"=1'-0"	AW
Reviewed By	NEA
217014WT-BLOCKS 12 to 17	3 of 3

BLOCK NUMBER 15