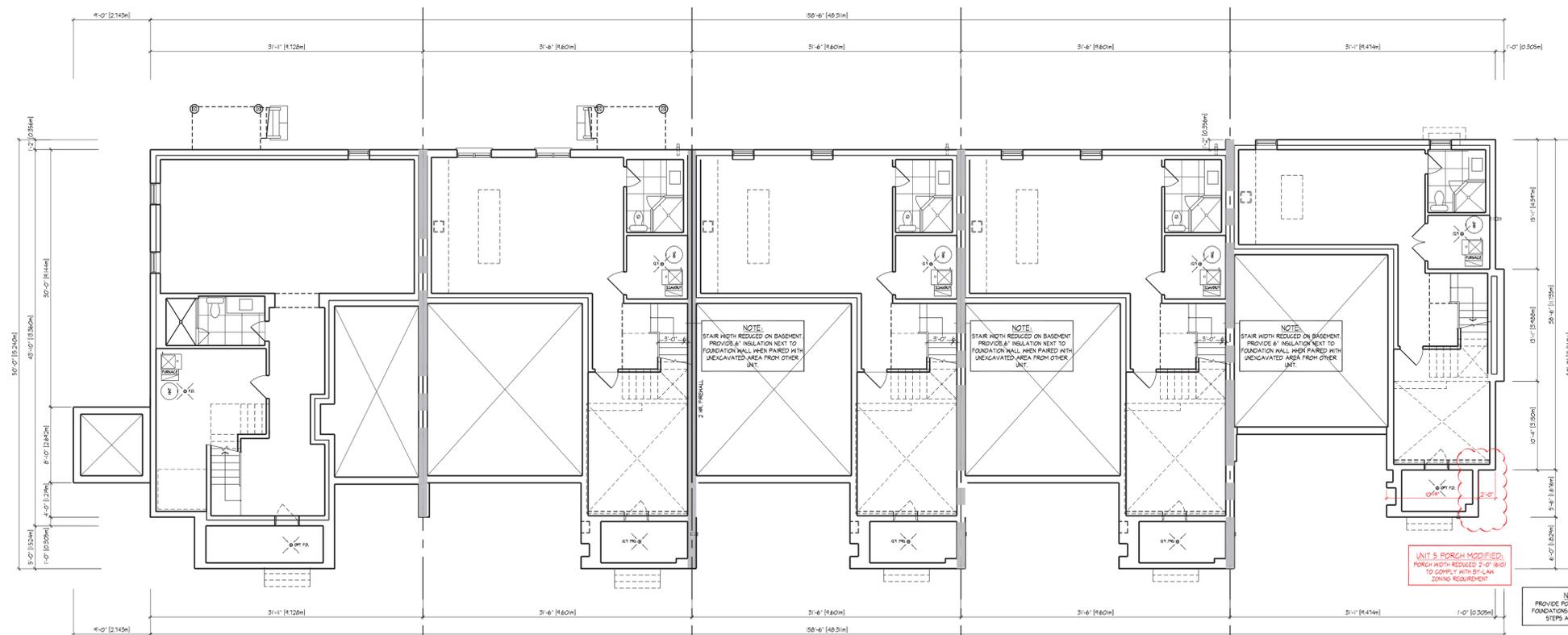


BLOCK 15 - GROUND FLOOR PLAN

1 UNIT 3104 - BLK 15-UNIT 1 ELEV. 'B' UPG.
 2 UNIT 3103 ELEV. 'B' (REV)
 3 UNIT 3103 ELEV. 'B' (REV)
 4 UNIT 3103 ELEV. 'B' (REV)
 5 UNIT 3101 - CORNER ELEV. 'B' (REV)



BLOCK 15 - BASEMENT PLAN

1 UNIT 3104 - BLK 15-UNIT 1 ELEV. 'B' UPG.
 2 UNIT 3103 ELEV. 'B' (REV)
 3 UNIT 3103 ELEV. 'B' (REV)
 4 UNIT 3103 ELEV. 'B' (REV)
 5 UNIT 3101 - CORNER ELEV. 'B' (REV)



FOR STRUCTURAL ONLY, EXCLUDING ENGINEERED ROOF TRUSS, FLOOR JOIST, AND FLOOR LVL BEAM DESIGN.

BUILDING AREA INCLUDING COLD CELLARS	6984.07sq ft 648.84 sq m
A FIREWALL IS REQUIRED IF THE BUILDING AREA IS GREATER THAN 600 m ² (6458 sq ft) AS PER BUILDING CODE PART 9 LIMITATIONS SECTION 11.2.4.(1) ** DEFINITION OF BUILDING AREA AS PER PART 1.4.1.2. IS THE EXTENT OF THE GREATEST HORIZONTAL BUILDING EXTERIOR WALLS ABOVE GRADE TO IF RECD THE CENTER OF THE FIREWALL (DEMISING LINE)	
BUILDING AREA CALCULATION FOR FIREWALLS AS PER O.B.C. PART 1 SECTION 11.2.4.(1), PART 3.1. & 9.10.	
SECTION	BUILDING AREA
LOTS 1 & 2	2855.1 sq ft 265.25 sq m
LOTS 3, 4, & 5	4128.92 sq ft 383.59 sq m

- GENERAL NOTES**
1. PROVIDE FIRESTOPS AS REQUIRED BY O.B.C. 9.10.16
 2. REFER TO UNIT WORKING DRAWINGS, ENGINEERS DRAWINGS AND SITEPLAN FOR ADDITIONAL INFORMATION AND VERIFICATION.
 3. REFER TO ROOF TRUSS MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, INSTALLATION DETAILS AND HANGER SIZES.
 4. CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB REPORT ANY DISCREPANCIES TO HUNT DESIGN ASSOCIATES INC. (H.D.A.) BEFORE PROCEEDING WITH THE WORK. ALL DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND ARE THE PROPERTY OF H.D.A.
 5. COMBUSTIBLE PROJECTIONS ON THE EXTERIOR OF A WALL THAT ARE MORE THAN 1100mm (3 ft 3 in) ABOVE GROUND SHALL NOT BE PERMITTED WITHIN 1.2m (3 ft 11 in) OF A PROPERTY LINE OR CENTRE LINE OF A PUBLIC WAY OR 2.4m (7 ft 10 in) OF A COMBUSTIBLE PROJECTION ON ANOTHER BUILDING ON THE SAME PROPERTY AS PER PART 9 SECTION 9.10.14.5.(5)

WALL TYPE LEGEND

FRR	LINE TYPE	DETAILS
45 MN	---	SECTION 1, 2 & 3
60 MN	---	SECTION 5 (BLOCK SECTION 9 (WOOD STUD))
120 MN	---	SECTION 10

DETAILS

No.	TITLE
01-1-1	MASONRY VENEER, 2"x4" STUDS, 2 STOREY WALL SECTION
01-1-2	MASONRY VENEER, 2"x4" STUDS, 1 STOREY GARAGE WALL SECTION
08-8-1	TYP. 1/8" PARTY WALL SECTION PARALLEL ROOF TRUSSES, 1" CONIC BLOCK
08-8-2	TYP. 1/8" PARTY WALL SECTION AT GARAGE, PARALLEL ROOF TRUSSES, 1" CONIC BLOCK
08-8-3	TYP. UTILITY PROTECTION US OF GARAGE CEILING SPACE, TYP. BLOCK PARTYWALL
08-8-4	TYP. 1/8" BLOCK PARTYWALL AT OPEN 2 STOREY CONDITION
08-8-5	1/8" BLOCK PARTYWALL BRICK VENEER, FLUSH UNIT
08-8-6	1/8" BLOCK PARTYWALL BRICK VENEER, STAGGERED UNIT
08-8-7	1/8" BLOCK PARTYWALL BRICK VENEER, STAGGERED UNIT & GARAGE BRICK VENEER
08-8-8	1/8" BLOCK PARTYWALL STAGGERED UNIT & GARAGE BRICK VENEER
08-8-9	REQUIRED FIRE STOPPING AT SOFFITS SECTION
10-10-1	TYP. 2 HR. FIREWALL SECTION PARALLEL ROOF TRUSSES - 4" FOUNDATION
10-10-2	TYP. 2 HR. FIREWALL SECTION PARALLEL ROOF TRUSSES - 4" W/ WARD FLOOR LEVELS
10-10-3	TYP. 2 HR. FIREWALL BRICK VENEER, STAGGERED UNIT
10-10-4	TYP. 2 HR. FIREWALL BRICK VENEER AT PORCH
10-10-7	TYP. 2 HR. FIREWALL PROJECTION BRICK VENEER, 1/8" DECK FINISH
10-10-7	TYP. 2 HR. FIREWALL PROJECTION BRICK VENEER, 1/8" DECK FINISH

COMPLIANCE PACKAGE

58-12 (SECTION 21.1)	A1
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It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Council of Architects is not responsible in any way for overwriting or approving the building plans or building codes or permit number or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

APPROVED BY: [Signature]
 DATE: JUL 26, 2022
 This stamp certifies compliance with the applicable Design Guidelines and does not constitute a professional responsibility.

5.			
4.	RE-ISSUED FOR PERMIT	2022.07.07	AW
3.	REVISED AS PER GRADING AND COMMENTS	2022.03.17	WT
2.	ISSUED FOR PERMIT	2022.02.18	AW
1.	ISSUED FOR PROPOSING	2021.07.21	NEA
NO. DESCRIPTION		YYYYMMDD	BY
REVISIONS			
THE ENGINEER HAS REVIEWED THIS DESIGN AND HAS DETERMINED THAT THE DESIGN AND THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE DIVISION BUILDING CODE TO BE A DESIGNER.			
QUALIFICATION INFORMATION			
DESIGNER	Allen Whiting	23177	NSC
REGISTERED INFORMATION	DESIGNER		
FIRM DESIGN ASSOCIATES INC.		1986	

HUNT DESIGN ASSOCIATES INC.
 www.huntdesign.ca
 89966 Woodbine Ave., Markham, ON L3R 0J7
 T 905.737.5133 F 905.737.7326 email: hdi@huntdesign.ca

GOLDPARK HOMES - 217014
 PINE VALLEY DRIVE, VAUGHAN, ONTARIO

BLOCK 15
 LOTS 1 to 5

BLOCK ELEVATIONS
 REV.2022.07.07

Scale: 1/8"=1'-0" Drawn By: AW
 Project No: 217014WT-BLOCKS 12 to 17 Date: 07/07/22

BLOCK NUMBER 15

