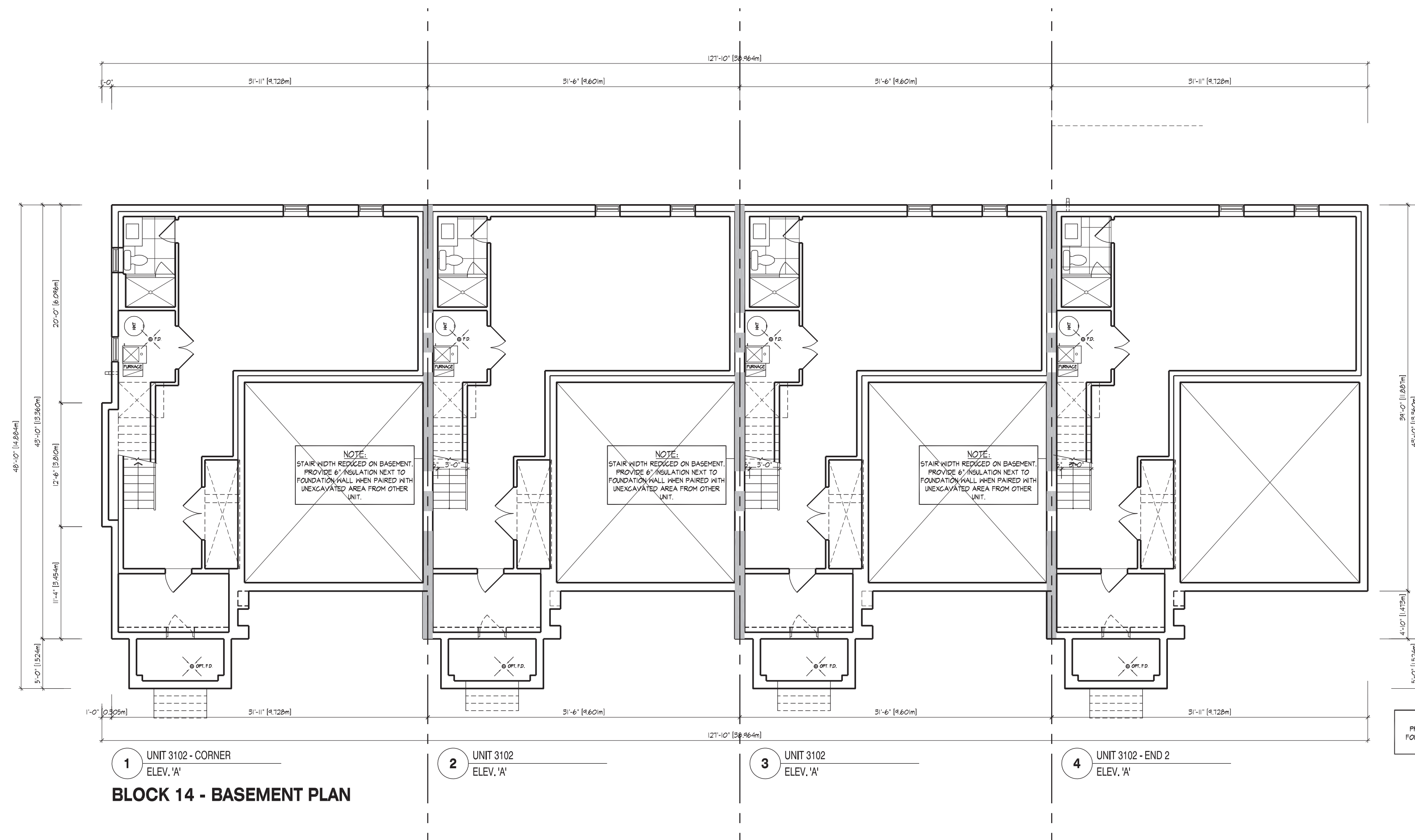
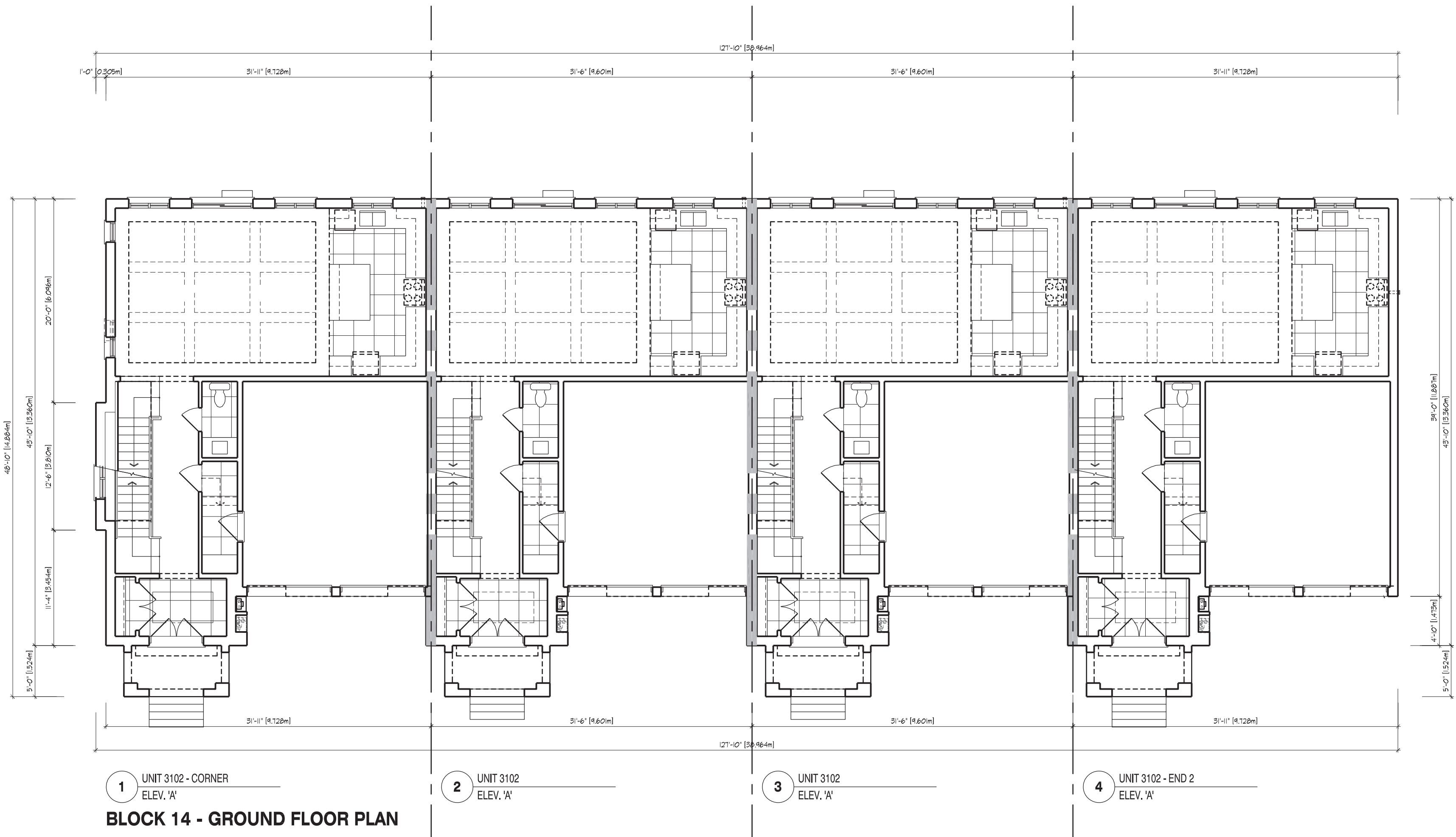


\\HUNT\H1\1\2022\2023\H1\PROJECTS\2023\217014\GOLDPARK\BLOCKS\217014WT-BLOCKS 14 TO 17.DWG



wsp

100 COMMERCE VALLEY DR. W.
THORNHILL, ONTARIO L3V 9Z7 CAN
TEL: 1-800-461-4211 FAX: 1-800-522-0659 www.wspgroup.ca

FOR STRUCTURAL ONLY, EXCLUDING
ENGINEERED ROOF TRUSS, FLOOR
JOIST, AND FLOOR LVL BEAM DESIGN.

BUILDING AREA 5470.07 sq ft
INCLUDING COLD CELLARS 508.19 sq m

GENERAL NOTES

1. PROVIDE FIRESTOPS AS REQUIRED BY O.B.C. 9.10.16
2. REFER TO UNIT WORKING DRAWINGS, ENGINEERS DRAWINGS AND SITEPLAN FOR ADDITIONAL INFORMATION AND VERIFICATION.
3. REFER TO ROOF TRUSS MANUFACTURERS DRAWINGS FOR LAYOUT, SPACING, INSTALLATION DETAILS AND HANGER SIZES.
4. CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB REPORT ANY DISCREPANCIES TO HUNT DESIGN ASSOCIATES INC. (H.D.A.I.) BEFORE PROCEEDING WITH THE WORK. ALL DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND ARE THE PROPERTY OF H.D.A.I..
5. COMBUSTIBLE PROJECTIONS ON THE EXTERIOR OF A WALL THAT ARE MORE THAN 1100mm (3 ft 3 in) ABOVE GROUND SHALL NOT BE PERMITTED WITHIN 1.2m (3 ft 11 in) OF A PROPERTY LINE OR CENTRE LINE OF A PUBLIC WAY OR 2.4m (7 ft 10 in) OF A COMBUSTIBLE PROJECTION ON ANOTHER BUILDING ON THE SAME PROPERTY AS PER PART 9 SECTION 9.10.14.5.5.(5)

WALL TYPE LEGEND

| FRR | LINE TYPE | DETAILS |
|--------|-----------|-----------------------|
| 45 MM | | SECTION 1, 2 & 3 |
| 60 MM | | SECTION 8 (BLOCK) |
| 120 MM | | SECTION 9 (WOOD STUD) |
| | | SECTION 10 |

DETAILS

| NO. | TITLE |
|---------|---|
| 01-1-1 | MASONRY VENEER, 2"x4" STUDS, 2 STOREY WALL SECTION |
| 01-1-3 | MASONRY VENEER, 2"x4" STUDS, 1 STOREY GARAGE WALL SECTION |
| 08-1 | TYP. 1 HR. PARTY WALL SECTION PARALLEL ROOF TRUSSES - IF CONC. BLOCK |
| 08-2 | TYP. 1 HR. PARTY WALL SECTION AT GARAGE, PARALLEL ROOF TRUSSES - IF CONC. BLOCK |
| 08-3 | TYP. UTILITY FROST PROTECTION US OF GARAGE CEILING SPACE, TYP. BLOCK PARTYWALL |
| 08-5 | TYP. IF BLOCK PARTYWALL AT OPEN 2 STOREY CONDITION |
| 08-6 | IF BLOCK PARTYWALL, BRICK VENEER, FLUSH UNIT |
| 08-6-5 | IF BLOCK PARTYWALL, BRICK VENEER, STAGGERED UNIT |
| 08-6-4 | IF BLOCK PARTYWALL, FLUSH AT GARAGE, BRICK VENEER |
| 08-6-4 | IF BLOCK PARTYWALL, STAGGERED UNIT & GARAGE, BRICK VENEER |
| 08-6-4 | IF BLOCK PARTYWALL, STAGGERED GARAGES, BRICK VENEER |
| 08-6-4 | REQUIRED FIRE STOPPING AT SOFFITS SECTION |
| 10-10-1 | TYP. 2 HR. FIREWALL SECTION PARALLEL ROOF TRUSSES - IF FOUNDATION |
| 10-10-2 | TYP. 2 HR. FIREWALL SECTION PARALLEL ROOF TRUSSES - IF VARIOUS FLOOR LEVELS |
| 10-10-3 | TYP. 2 HR. FIREWALL, BRICK VENEER, STAGGERED UNIT |
| 10-10-3 | TYP. 2 HR. FIREWALL, BRICK VENEER AT PORCH |
| 10-10-7 | TYP. 2 HR. FIREWALL, BRICK VENEER, FLUSH UNIT |
| 10-10-7 | TYP. 2 HR. FIREWALL PROJECTION, BRICK VENEER, @ DECK PARKING |

COMPLIANCE PACKAGE

A1

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Authority is not responsible in any way for issuing or approving any (other) plans or building codes or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: JUL 20, 2022
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

| | | | |
|-----|-------------------------------------|------------|-----|
| 5. | | | |
| 4. | RE-ISSUED FOR PERMIT | 2022.07.07 | AW |
| 3. | REVISED AS PER GRADING AND COMMENTS | 2022.03.07 | WT |
| 2. | ISSUED FOR PERMIT | 2022.02.18 | AW |
| 1. | ISSUED FOR PROPOSING | 2021.07.21 | NEA |
| NO. | DESCRIPTION | YYYY.MM.DD | BY |

REVISIONS

THE ENGINEER HAS REVIEWED AND TAKEN RESPONSIBILITY FOR THE DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

| | | |
|---------------------------|-----------------------------|-------|
| QUALIFICATION INFORMATION | | |
| NAME | Allen Whiting | 23177 |
| REGISTERED INFORMATION | REGISTERED | 19995 |
| COMPANY | HUNT DESIGN ASSOCIATES INC. | |

HUNT
DESIGN ASSOCIATES INC.
www.huntdesign.ca
89566 Woodbine Ave., Markham, ON L3R 0J7
T 905.737.5133 F 905.737.7326 email: hdsai@huntdesign.ca

GOLDPARK HOMES - 217014
PINE VALLEY DRIVE, VAUGHAN, ONTARIO

BLOCK 14
LOTS 1 to 4

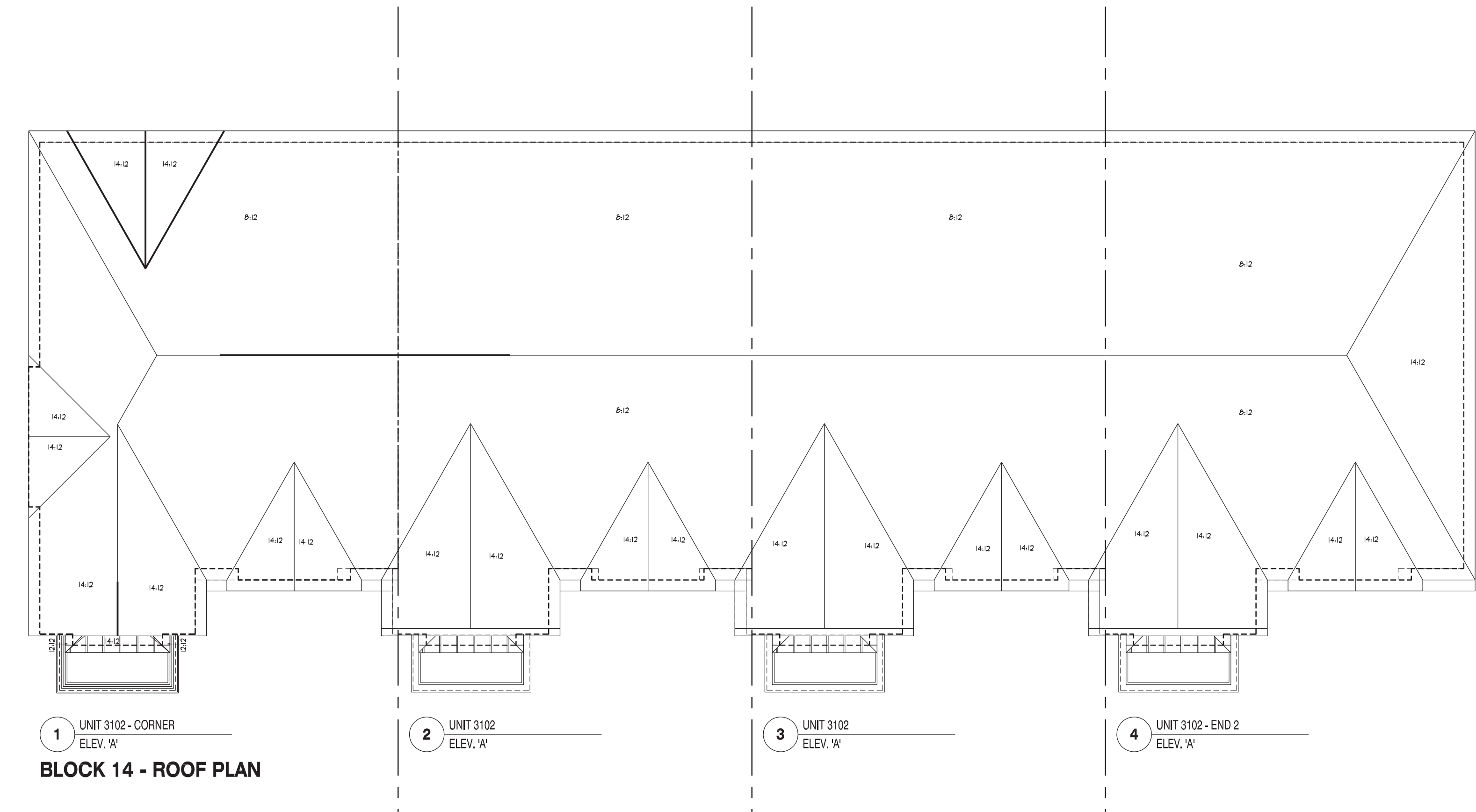
BLOCK ELEVATIONS

| | | | |
|-----------|--------------------------|-------------|--------|
| Scale | 1/8" = 1'-0" | Drawn By | AW |
| File Name | 217014WT-BLOCKS 14 TO 17 | Page Number | 1 of 3 |

REV.2022.07.07

BLOCK NUMBER 14

\\PHT01\1\WD-14-1202-1203-14\1\PROJECTS\2017\14\GOLDPARK\BLOCKS\17014WT-BLOCKS 12 TO 17.DWG

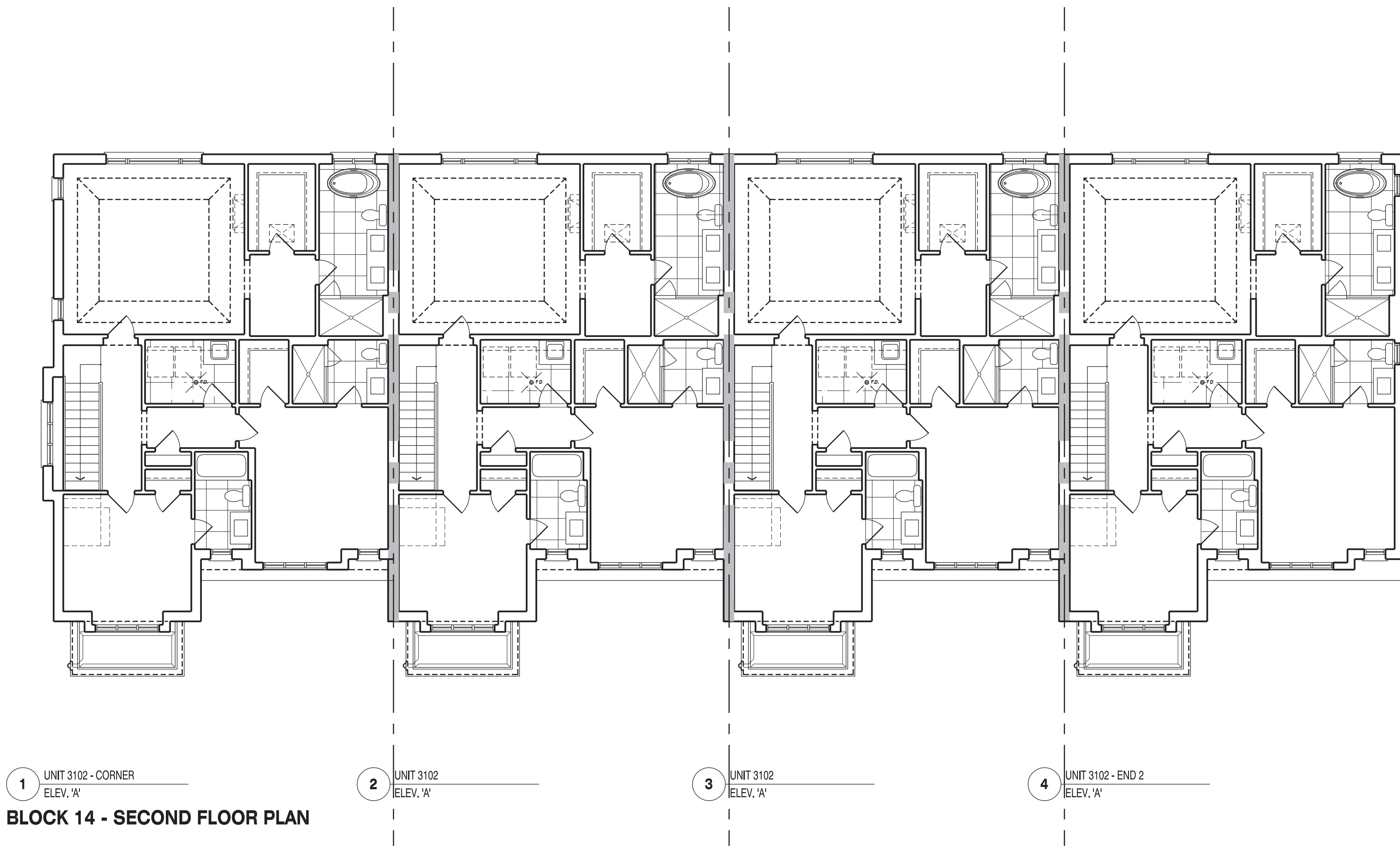


1 UNIT 3102 - CORNER
ELEV. 'A'

2 UNIT 3102
ELEV. 'A'

3 UNIT 3102
ELEV. 'A'

4 UNIT 3102 - END 2
ELEV. 'A'



1 UNIT 3102 - CORNER
ELEV. 'A'

2 UNIT 3102
ELEV. 'A'

3 UNIT 3102
ELEV. 'A'

4 UNIT 3102 - END 2
ELEV. 'A'

BUILDING AREA 5470.07 sq ft
INCLUDING COLD CELLARS 508.19 sq m

GENERAL NOTES

1. PROVIDE FIRESTOPS AS REQUIRED BY O.B.C. 9.10.16
2. REFER TO UNIT WORKING DRAWINGS, ENGINEERS DRAWINGS AND SITEPLAN FOR ADDITIONAL INFORMATION AND VERIFICATION.
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WALL TYPE LEGEND

| FRR | LINE TYPE | DETAILS |
|---------|-----------|-----------------------|
| 45 MIN | | SECTION 1, 2 & 3 |
| 60 MIN | | SECTION 4 (BLOCK) |
| 120 MIN | | SECTION 9 (WOOD STUD) |
| | | SECTION 10 |

DETAILS

| NO. | TITLE |
|---------|---|
| 01-1-1 | MASONRY VENEER, 2"x4" STUDS, 2 STOREY WALL SECTION |
| 01-1-3 | MASONRY VENEER, 2"x4" STUDS, 1 STOREY GARAGE WALL SECTION |
| 08-B-1 | TYP. 1 HR. PARTY WALL SECTION PARALLEL ROOF TRUSSES - IF CONC. BLOCK |
| 08-B-2 | TYP. 1 HR. PARTY WALL SECTION AT GARAGE, PARALLEL ROOF TRUSSES - IF CONC. BLOCK |
| 08-B-3 | TYP. UTILITY FROST PROTECTION AT US OF GARAGE CEILING SPACE, TYP. BLOCK PARTYWALL |
| 08-B-5 | TYP. IF BLOCK PARTYWALL AT OPEN 2 STOREY CONDITION |
| 08-B-6 | IF BLOCK PARTYWALL, BRICK VENEER, FLUSH UNIT |
| 08-B-6 | IF BLOCK PARTYWALL, BRICK VENEER, STAGGERED UNIT |
| 08-B-6 | IF BLOCK PARTYWALL, FLUSH AT GARAGE, BRICK VENEER |
| 08-B-6 | IF BLOCK PARTYWALL, STAGGERED UNIT & GARAGE, BRICK VENEER |
| 08-B-6 | IF BLOCK PARTYWALL, STAGGERED GARAGES, BRICK VENEER |
| 08-B-6 | REQUIRED FIRE STOPPING AT SOFFITS SECTION |
| 10-10-1 | TYP. 2 HR. FIREWALL SECTION PARALLEL ROOF TRUSSES - IF FOUNDATION |
| 10-10-2 | TYP. 2 HR. FIREWALL SECTION PARALLEL ROOF TRUSSES - IF WAVED FLOOR FLOORS |
| 10-10-3 | TYP. 2 HR. FIREWALL, BRICK VENEER, STAGGERED UNIT |
| 10-10-3 | TYP. 2 HR. FIREWALL, BRICK VENEER AT PORCH |
| 10-10-7 | TYP. 2 HR. FIREWALL, BRICK VENEER, FLUSH UNIT |
| 10-10-7 | TYP. 2 HR. FIREWALL PROJECTION, BRICK VENEER, @ DECK PARKING |

COMPLIANCE PACKAGE

A1



wsp

100 COMMERCE VALLEY DR. W.
THORNHILL, ONTARIO L3T 0A1
TEL: 1-888-461-4211 FAX: 1-888-522-0659 WWW.WSPGROUP.CA

FOR STRUCTURAL ONLY, EXCLUDING
ENGINEERED ROOF TRUSS, FLOOR
JOIST, AND FLOOR LVL BEAM DESIGN.

It is the builder's complete responsibility to ensure that all items submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Council Architect is not responsible in any way for examining or approving site, zoning, zoning or zoning drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on the lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY:
DATE: JUL 15, 2022
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

| | | | |
|-----|-------------------------------------|------------|-----|
| 5. | | | |
| 4. | RE-ISSUED FOR PERMIT | 2022.07.07 | AW |
| 3. | REVISED AS PER GRADING AND COMMENTS | 2022.03.17 | WT |
| 2. | ISSUED FOR PERMIT | 2022.02.18 | AW |
| 1. | ISSUED FOR PROPOS | 2021.07.21 | NEA |
| NO. | DESCRIPTION | YYYY.MM.DD | BY |

REVISIONS

THE ENGINEER HAS REVIEWED AND TAKEN RESPONSIBILITY FOR THE DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

| | | |
|------------------------------|---------------|-------|
| QUALIFICATION INFORMATION | | |
| NAME | Allen Whiting | 23177 |
| REGISTRATION INFORMATION | | 19965 |
| FRONT DESIGN ASSOCIATES INC. | | |

HUNT
DESIGN ASSOCIATES INC.
www.huntdesign.ca
8966 Woodbine Ave., Markham, ON L3R 0J7
T 905.737.5133 F 905.737.7326 email: hdsai@huntdesign.ca

GOLDPARK HOMES - 217014
PINE VALLEY DRIVE, VAUGHAN, ONTARIO

BLOCK 14
LOTS 1 to 4

BLOCK ELEVATIONS

| | |
|------------|--------------------------|
| - | REV.2022.07.07 |
| Scale | 1/8"=1'-0" |
| Drawn By | AW |
| Checked By | NEA |
| File Name | 217014WT-BLOCKS 12 to 17 |
| 2 | of 3 |

BLOCK NUMBER 14

GENERAL NOTES

- ### WALL TYPE LEGEND

DETAILS

| | |
|-------------------------------|-----------------------|
| COMPLIANCE PACKAGE | SB-12 (SECTION 2.1.1) |
| | A1 |

NOTE:
ALL PORCH STEPS TO BE POURED IN PLACE
CONCRETE W/ MASONRY VENEER ON THE SIDES
FOR GRADING CONDITIONS OF 2 RISERS OR
LESS, THE USE OF LANDSCAPE STEPS MAY BE
CONSIDERED.

| | | | |
|-----|-------------------------------------|------------|-----|
| 5. | . | . | . |
| 4. | RE-ISSUED FOR PERMIT | 2002.07.07 | AW |
| 3. | REVISED AS PER GRADING AND COMMENTS | 2002.03.17 | WT |
| 2. | ISSUED FOR PERMIT | 2002.02.18 | AW |
| 1. | ISSUED FOR PRICING | 2001.07.21 | NEA |
| NO. | DESCRIPTION | YYYY.MM.DD | BY |

HUNT 
DESIGN ASSOCIATES INC.
www.huntdesign.ca
8966 Woodbine Ave, Markham, ON L3R 0J7
T 905.737.5133 F 905.737.7326 email: hda@huntdesign.ca

BLOCK ELEVATIONS

| | | | |
|-------------|--------------------------|----------------|--------|
| - | | REV.2022.07.07 | |
| Scale | 1/8"=1'-0" | Drawn By | NEA |
| | | Checked By | AW |
| File Number | 217014WT-BLOCKS 12 to 17 | Page Number | 3 of 3 |

BLOCK NUMBER 14



1 UNIT 3102 - CORNER
ELEV. 'A'

BLOCK 14 - LEFT SIDE ELEVATION



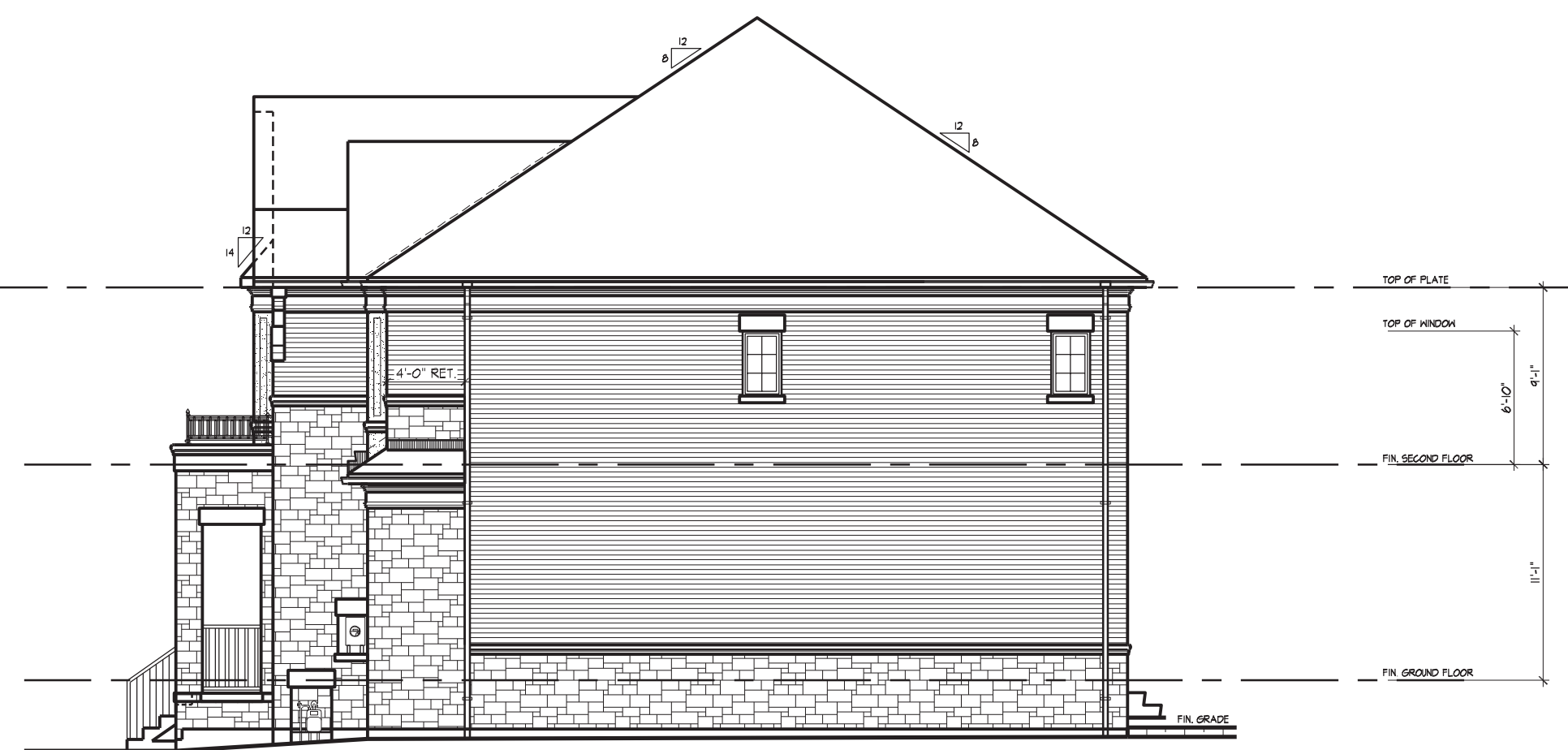
1 UNIT 3102 - CORNER
ELEV. 'A'

BLOCK 14 - FRONT ELEVATION



4 UNIT 3102 - END 2
ELEV. 'A' UPGRADE

BLOCK 14 - REAR ELEVATION



4 UNIT 3102 - END 2
ELEV. 'A' UPGRADE

BLOCK 14 - RIGHT SIDE ELEVATION