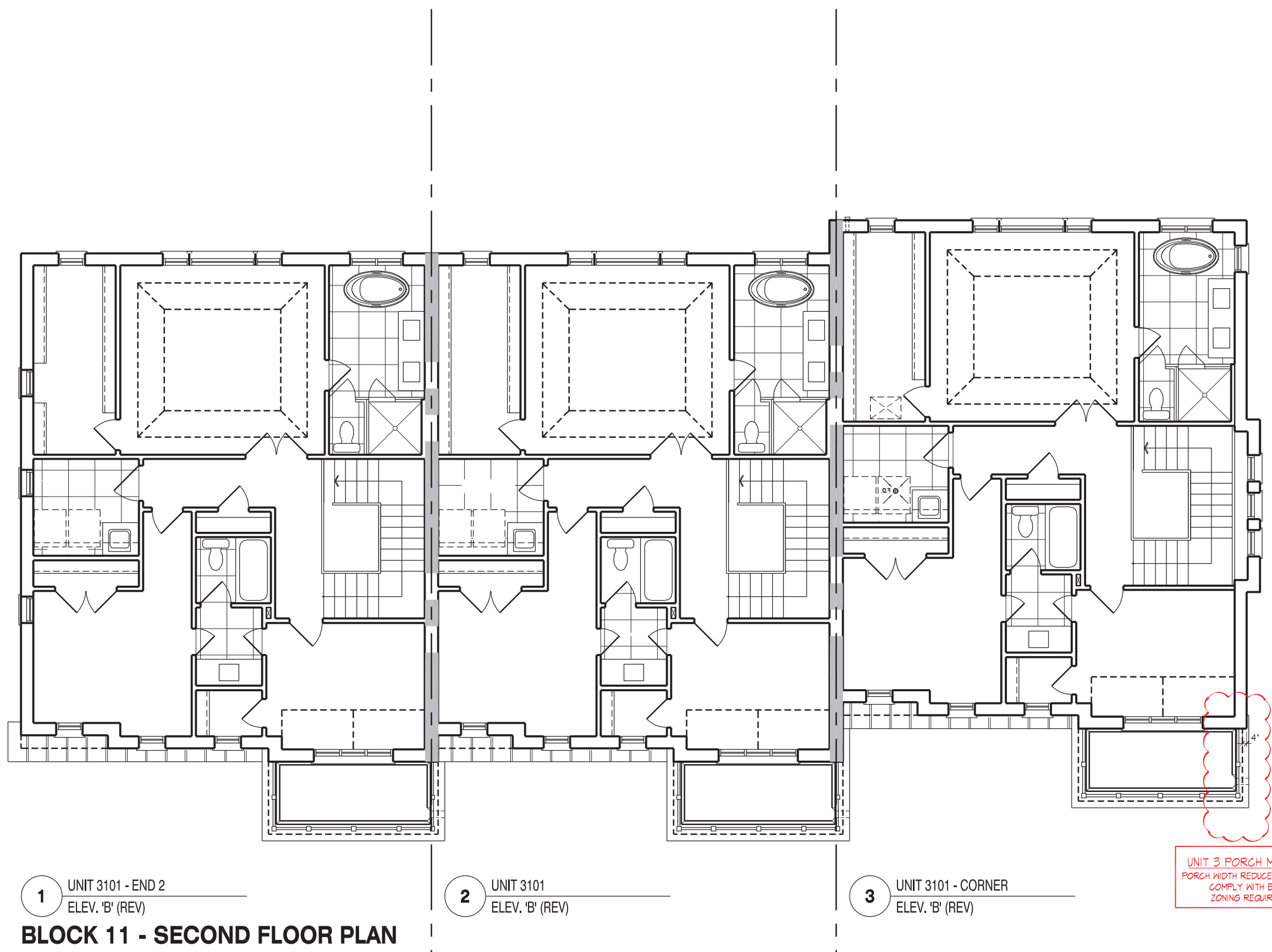


1 UNIT 3101 - END 2
ELEV. 'B' (REV)
BLOCK 11 - ROOF PLAN

2 UNIT 3101
ELEV. 'B' (REV)

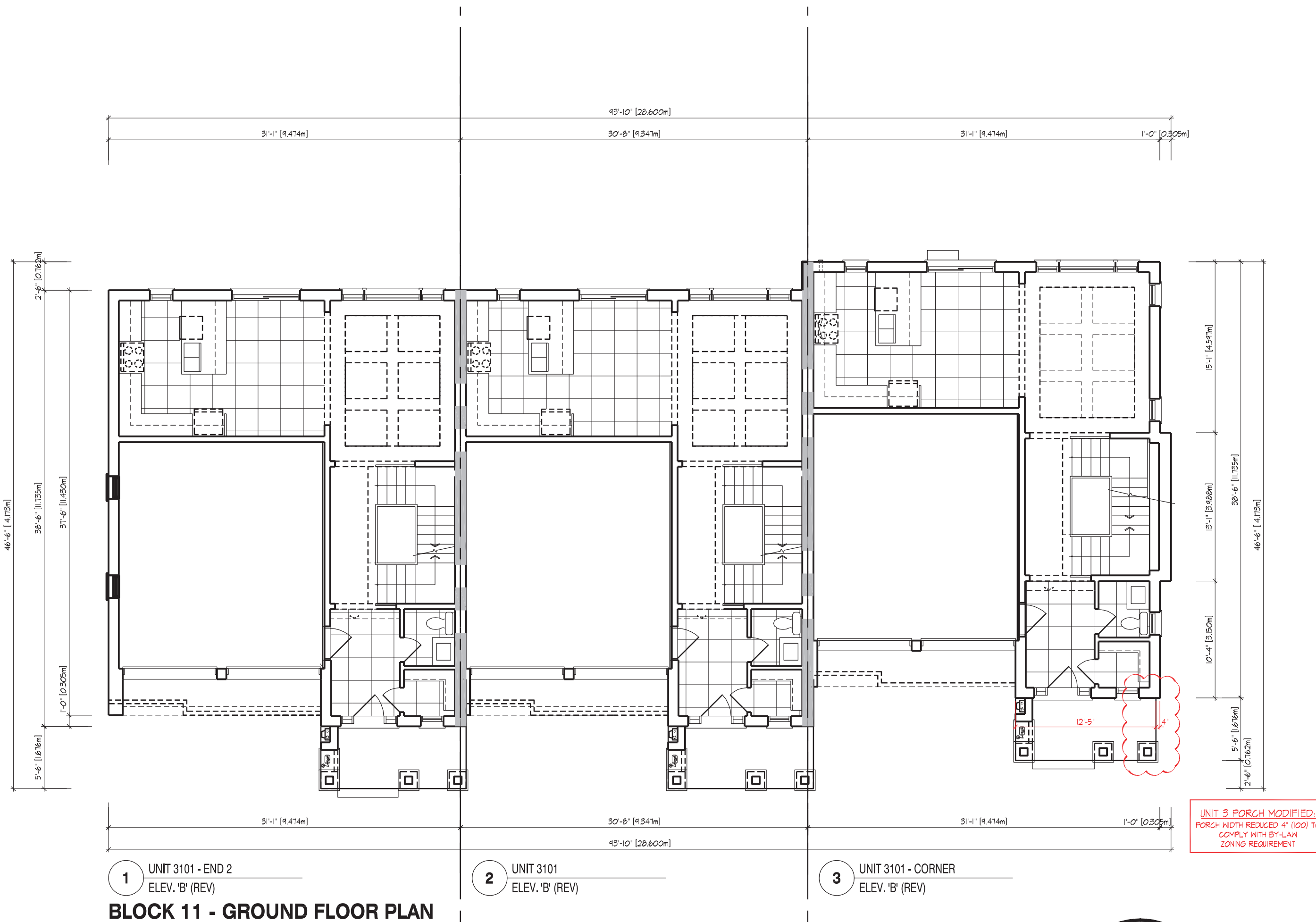
3 UNIT 3101 - CORNER
ELEV. 'B' (REV)



1 UNIT 3101 - END 2
ELEV. 'B' (REV)
BLOCK 11 - SECOND FLOOR PLAN

2 UNIT 3101
ELEV. 'B' (REV)

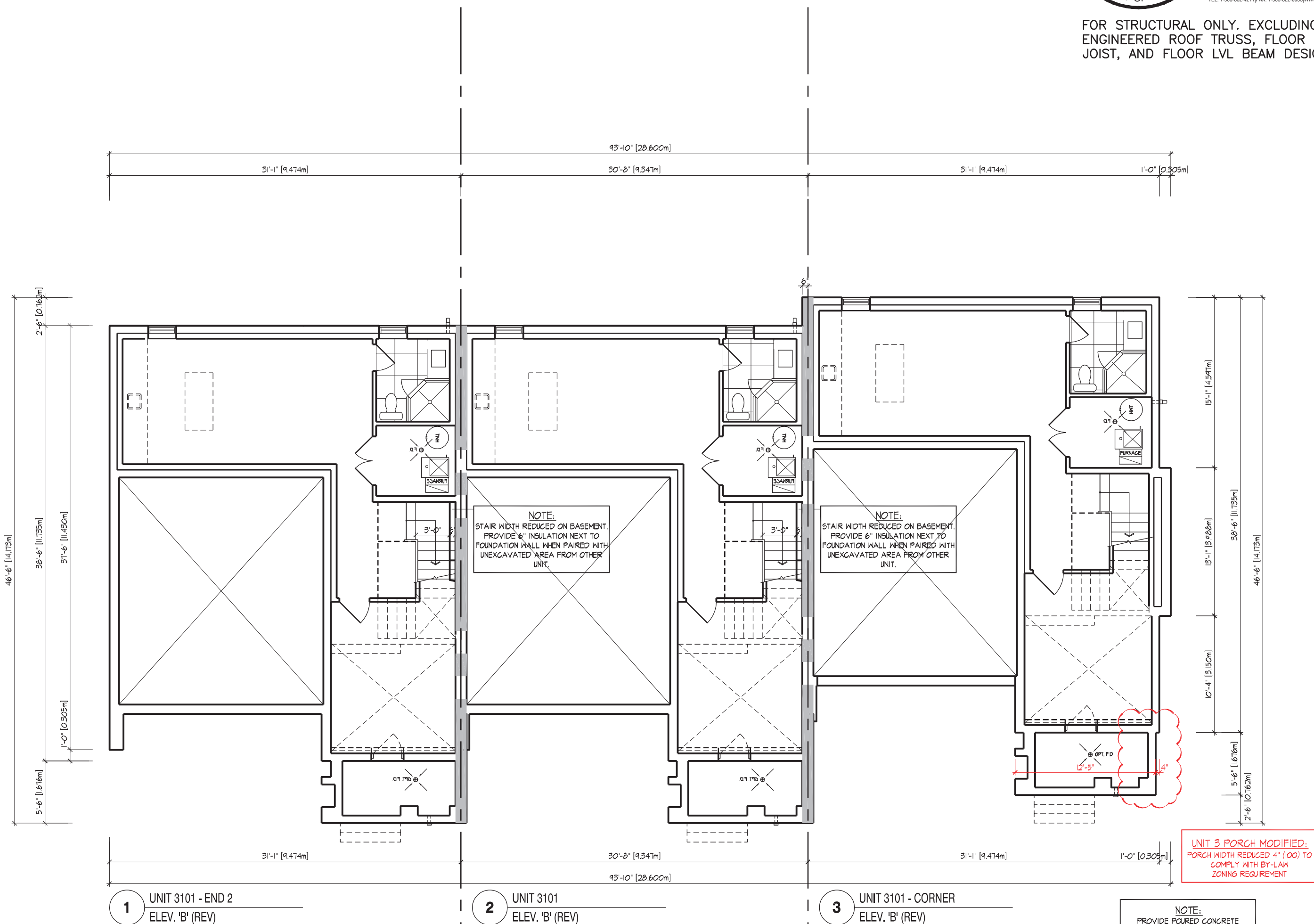
3 UNIT 3101 - CORNER
ELEV. 'B' (REV)



1 UNIT 3101 - END 2
ELEV. 'B' (REV)
BLOCK 11 - GROUND FLOOR PLAN

2 UNIT 3101
ELEV. 'B' (REV)

3 UNIT 3101 - CORNER
ELEV. 'B' (REV)



1 UNIT 3101 - END 2
ELEV. 'B' (REV)
BLOCK 11 - BASEMENT PLAN

2 UNIT 3101
ELEV. 'B' (REV)

3 UNIT 3101 - CORNER
ELEV. 'B' (REV)



FOR STRUCTURAL ONLY, EXCLUDING
ENGINEERED ROOF TRUSS, FLOOR
JOIST, AND FLOOR LVL BEAM DESIGN.

BUILDING AREA 3764.38 sq ft
INCLUDING COLD CELLARS 349.72 sq m

GENERAL NOTES

1. PROVIDE FIRESTOPS AS REQUIRED BY O.B.C. 9.10.16
2. REFER TO UNIT WORKING DRAWINGS, ENGINEERS DRAWINGS AND SITEPLAN FOR ADDITIONAL INFORMATION AND VERIFICATION.
3. REFER TO ROOF TRUSS MANUFACTURERS DRAWINGS FOR LAYOUT, SPACING, INSTALLATION DETAILS AND HANGER SIZES.
4. CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB REPORT ANY DISCREPANCIES TO HUNT DESIGN ASSOCIATES INC. (H.D.A.I.) BEFORE PROCEEDING WITH THE WORK. ALL DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND ARE THE PROPERTY OF H.D.A.I..
5. COMBUSTIBLE PROJECTIONS ON THE EXTERIOR OF A WALL THAT ARE MORE THAN 1100mm (3 ft 3 in) ABOVE GROUND SHALL NOT BE PERMITTED WITHIN 1.2m (3 ft 11 in) OF A PROPERTY LINE OR CENTRE LINE OF A PUBLIC WAY OR 2.4m (7 ft 10 in) OF A COMBUSTIBLE PROJECTION ON ANOTHER BUILDING ON THE SAME PROPERTY AS PER PART 9 SECTION 9.10.14.5.(5)

WALL TYPE LEGEND

FRR	LINE TYPE	DETAILS
45 MIN		SECTION 1, 2 & 3
60 MIN		SECTION 8 (BLOCK)
120 MIN		SECTION 9 (WOOD STUD)
		SECTION 10

DETAILS

NO.	TITLE
01-14	MASONRY VENEER, 2ND STUDS, 2 STOREY WALL SECTION
01-13	MASONRY VENEER, 2ND STUDS, 1 STOREY GARAGE WALL SECTION
08-81	TYP. 1 HR. PARTY WALL SECTION PARALLEL ROOF TRUSSES IF CONIC BLOCK
08-82	TYP. 1 HR. PARTY WALL SECTION AT GARAGE, PARALLEL ROOF TRUSSES IF CONIC BLOCK
08-83	TYP. UTILITY FROST PROTECTION US OF GARAGE CEILING SPACE, TYP. BLOCK PARTYWALL
08-85	TYP. IF BLOCK PARTYWALL AT OPEN 2 STOREY CONDITION
08-86	IF BLOCK PARTYWALL, BRICK VENEER, FLUSH UNIT
08-84	IF BLOCK PARTYWALL, BRICK VENEER, STAGGERED UNIT
08-84	IF BLOCK PARTYWALL, FLUSH AT GARAGE, BRICK VENEER
08-84	IF BLOCK PARTYWALL, STAGGERED UNIT & GARAGE, BRICK VENEER
08-84	IF BLOCK PARTYWALL, STAGGERED GARAGES, BRICK VENEER
08-84	REQUIRED FIRE STOPPING AT SOFFITS SECTION
10-101	TYP. 2 HR. PREWALL SECTION PARALLEL ROOF TRUSSES-IF FOUNDATION
10-102	TYP. 2 HR. PREWALL SECTION PARALLEL ROOF TRUSSES-IF WARD FLOOR LEVELS
10-103	TYP. 2 HR. PREWALL, BRICK VENEER, STAGGERED UNIT
10-103	TYP. 2 HR. PREWALL, BRICK VENEER AT PORCH
10-107	TYP. 2 HR. PREWALL, BRICK VENEER, FLUSH UNIT
10-107	TYP. 2 HR. PREWALL PROJECTION, BRICK VENEER, @ DECK PARKING

COMPLIANCE PACKAGE

58-12 SECTION 21 U

A1

It is the builder's complete responsibility to ensure that all items submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for oversteering or approving any zoning plans or building drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONSULTANT
AND APPROVAL

APPROVED BY:
DATE: JUL 20, 2022
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

5.	RE-ISSUED FOR PERMIT	2022.07.07	AW
4.	REVISED PER CITY COMMENTS	2022.06.08	AW
3.	ISSUED FOR PERMIT	2022.02.18	AW
2.	ISSUED FOR PROPOSING	2021.07.21	NEA
1.		YYYYMMDD	BY

REVISIONS

THE ARCHITECTS HAVE REVIEWED AND MADE RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION		23177
REGISTRATION INFORMATION	PROVIDER	NS
HUNT DESIGN ASSOCIATES INC.		19965

HUNT
DESIGN ASSOCIATES INC.
www.huntdesign.ca
99569 Woodbine Ave., Markham, ON L3R 0J7
T 905.737.5133 F 905.737.7326 email: hdsai@huntdesign.ca

GOLDPARK HOMES - 217014
PINE VALLEY DRIVE, VAUGHAN, ONTARIO

BLOCK 11
LOTS 1 to 3

BLOCK PLANS

Scale	1/8"=1'-0"	Drawn By	AW
File Name	NEA	Checked By	AW
Page Number	217014WT-BLOCKS 6 to 11		1 of 2

BLOCK NUMBER 11

BUILDING AREA 3764.38 sq ft
INCLUDING COLD CELLARS 349.72 sq m

GENERAL NOTES

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2. REFER TO UNIT WORKING DRAWINGS, ENGINEERS DRAWINGS AND SITEPLAN FOR ADDITIONAL INFORMATION AND VERIFICATION.
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WALL TYPE LEGEND

FRR	LINE TYPE	DETAILS
45 MIN		SECTION 1, 2 & 3
60 MIN		SECTION 8 (BLOCK)
120 MIN		SECTION 9 (WOOD STUD)
		SECTION 10

DETAILS

NO.	TITLE
01-1-1	MASONRY VENEER, 2"x4" STUDS, 2 STOREY WALL SECTION
01-1-3	MASONRY VENEER, 2"x4" STUDS, 1 STOREY GARAGE WALL SECTION
08-8-1	TYP. 1 HR. PARTY WALL SECTION PARALLEL ROOF TRUSSES, P CONIC BLOCK
08-8-2	TYP. 1 HR. PARTY WALL SECTION AT GARAGE, PARALLEL ROOF TRUSSES, P CONIC BLOCK
08-8-3	TYP. UTILITY PROST PROTECTION AT US OF GARAGE CEILING SPACE, TYP. BLOCK PARTYWALL
08-8-5	TYP. 1/2 BLOCK PARTYWALL AT OPEN 2 STOREY CONDITION
08-8-6	1/2 BLOCK PARTYWALL, BRICK VENEER, FLUSH UNIT
08-8-6	1/2 BLOCK PARTYWALL, BRICK VENEER, STAGGERED UNIT
08-8-6	1/2 BLOCK PARTYWALL, FLUSH AT GARAGE, BRICK VENEER
08-8-6	1/2 BLOCK PARTYWALL, STAGGERED UNIT & GARAGE, BRICK VENEER
08-8-6	REQUIRED FIRE STOPPING AT SOFFITS SECTION
10-10-1	TYP. 2 HR. FIREWALL SECTION PARALLEL ROOF TRUSSES - IF FOUNDATION
10-10-2	TYP. 2 HR. FIREWALL SECTION PARALLEL ROOF TRUSSES - IF WARD FLOOR LEVEL
10-10-3	TYP. 2 HR. FIREWALL, BRICK VENEER, STAGGERED UNIT
10-10-3	TYP. 2 HR. FIREWALL, BRICK VENEER AT PORCH
10-10-7	TYP. 2 HR. FIREWALL, BRICK VENEER, FLUSH UNIT
10-10-7	TYP. 2 HR. FIREWALL PROJECTION, BRICK VENEER, @ DECK PARKING

COMPLIANCE PACKAGE

A1

It is the builder's complete responsibility to ensure that all items submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for oversteering or approving any building plans or building drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.


This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: 
DATE: JUL 20, 2022
This stamp certifies compliance with the applicable Design Guidelines only and does not constitute professional responsibility.

5.			
4.	RE-ISSUED FOR PERMIT	2022.07.07	AW
3.	REVISED PER CITY COMMENTS	2022.06.08	AW
2.	ISSUED FOR PERMIT	2022.02.18	AW
1.	ISSUED FOR PROPOSING	2021.07.21	NEA
NO.	DESCRIPTION	YYYY.MM.DD	BY

REVISIONS

THE ARCHITECTURE HAS REVIEWED AND TAKES RESPONSIBILITY FOR THE DESIGN AND THE QUALITY OF THE WORK AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION		23177
Signature	Allen Whiting	23177
REGISTRATION INFORMATION	PROFESSIONAL DESIGNER	19969
HUNT DESIGN ASSOCIATES INC.		

HUNT
DESIGN ASSOCIATES INC.

www.hunt-design.ca
905.737.5133 F 905.737.7326 email: hdsai@hunt-design.ca

GOLDPARK HOMES - 217014
PINE VALLEY DRIVE, VAUGHAN, ONTARIO

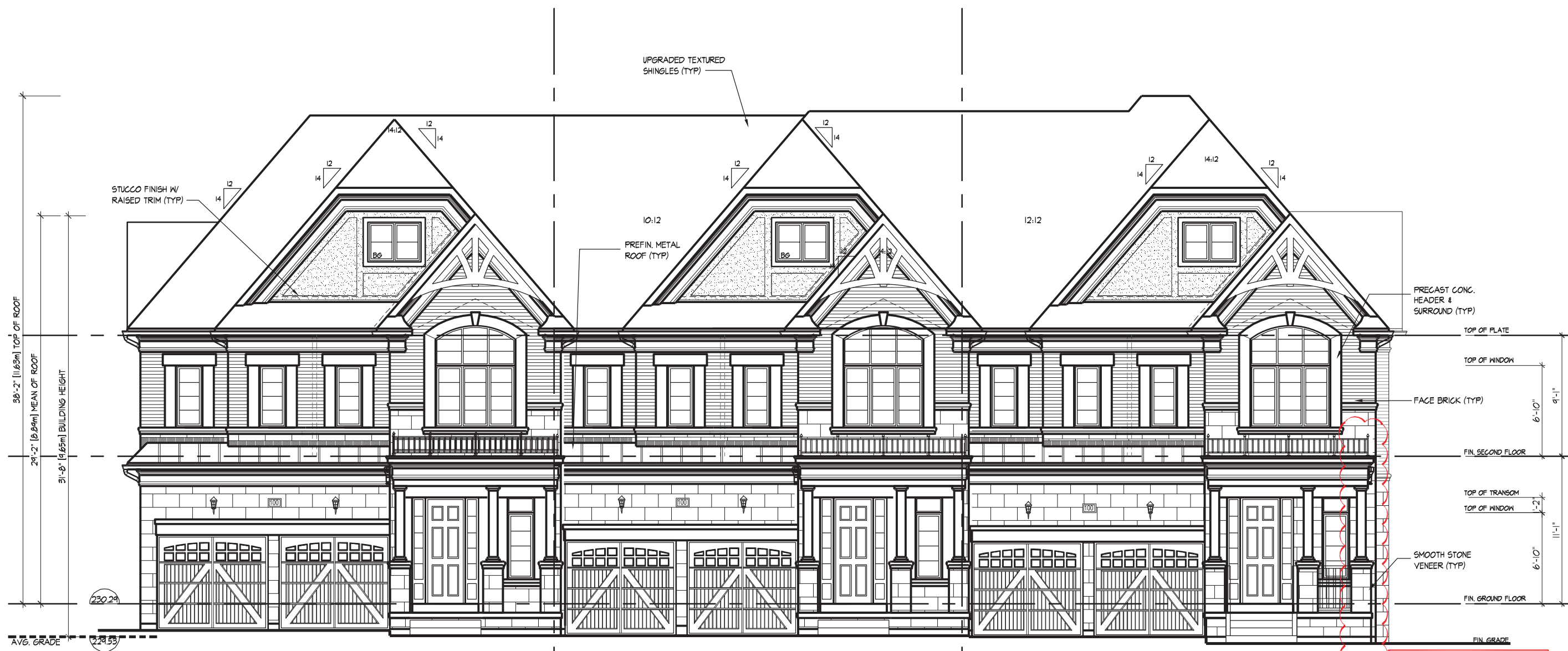
BLOCK 11
LOTS 1 to 3

BLOCK ELEVATIONS

Scale	1/8" = 1'-0"	Drawn By	AW	Checked By	NEA
File Name	217014WT-BLOCKS 6 to 11	Page Number	2	of	2



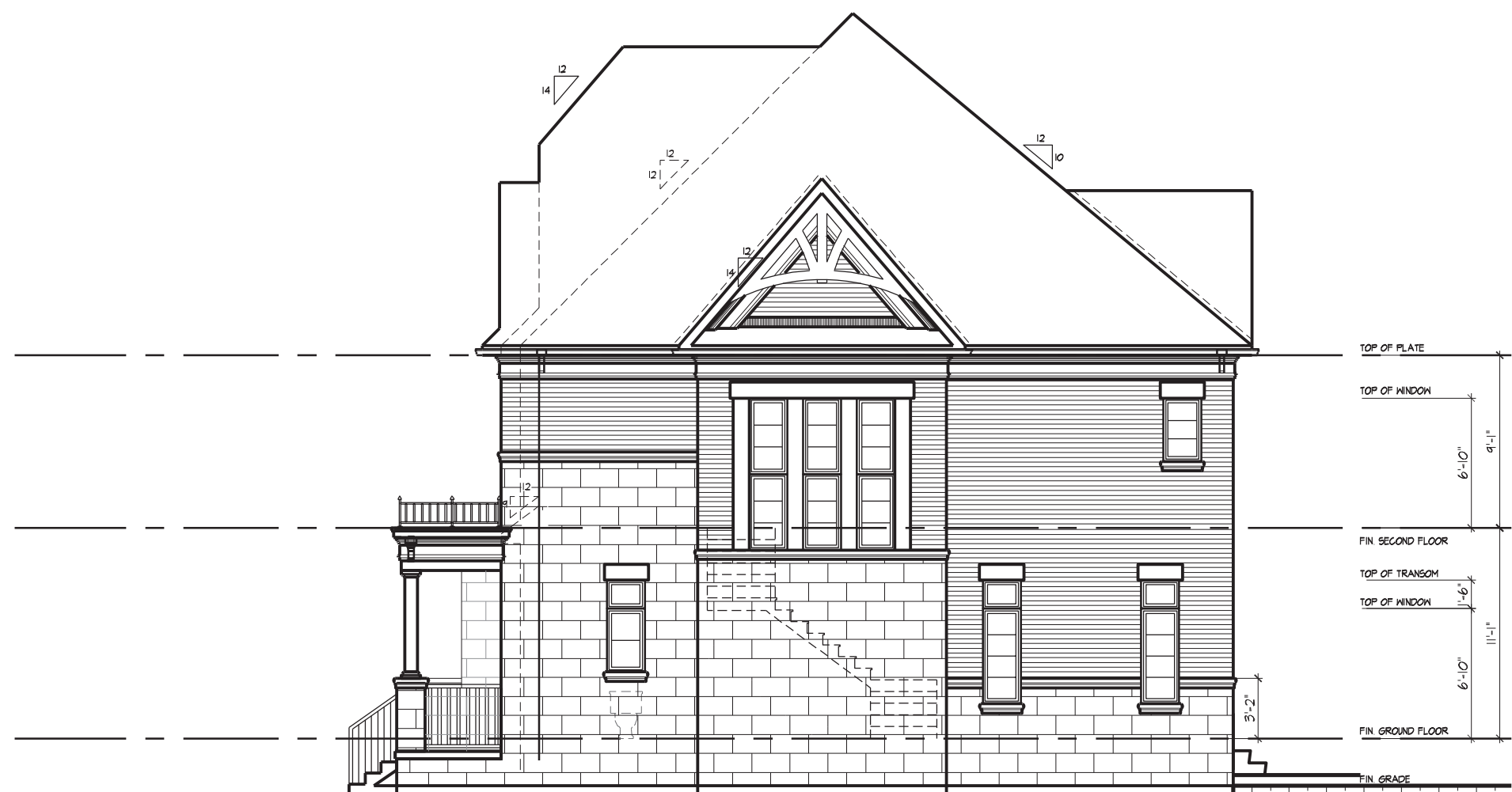
1 UNIT 3101 - END 2
ELEV. 'B' (REV) UPGRADE
BLOCK 11 - LEFT SIDE ELEVATION



1 UNIT 3101 - END 2
ELEV. 'B' (REV)
2 UNIT 3101
ELEV. 'B' (REV)
3 UNIT 3101 - CORNER
ELEV. 'B' (REV)
BLOCK 11 - FRONT ELEVATION



3 UNIT 3101 - CORNER
ELEV. 'B' (REV)
2 UNIT 3101
ELEV. 'B' (REV) UPGRADE
1 UNIT 3101 - END 2
ELEV. 'B' (REV) UPGRADE
BLOCK 11 - REAR ELEVATION



3 UNIT 3101 - CORNER
ELEV. 'B' (REV)
BLOCK 11 - RIGHT SIDE ELEVATION