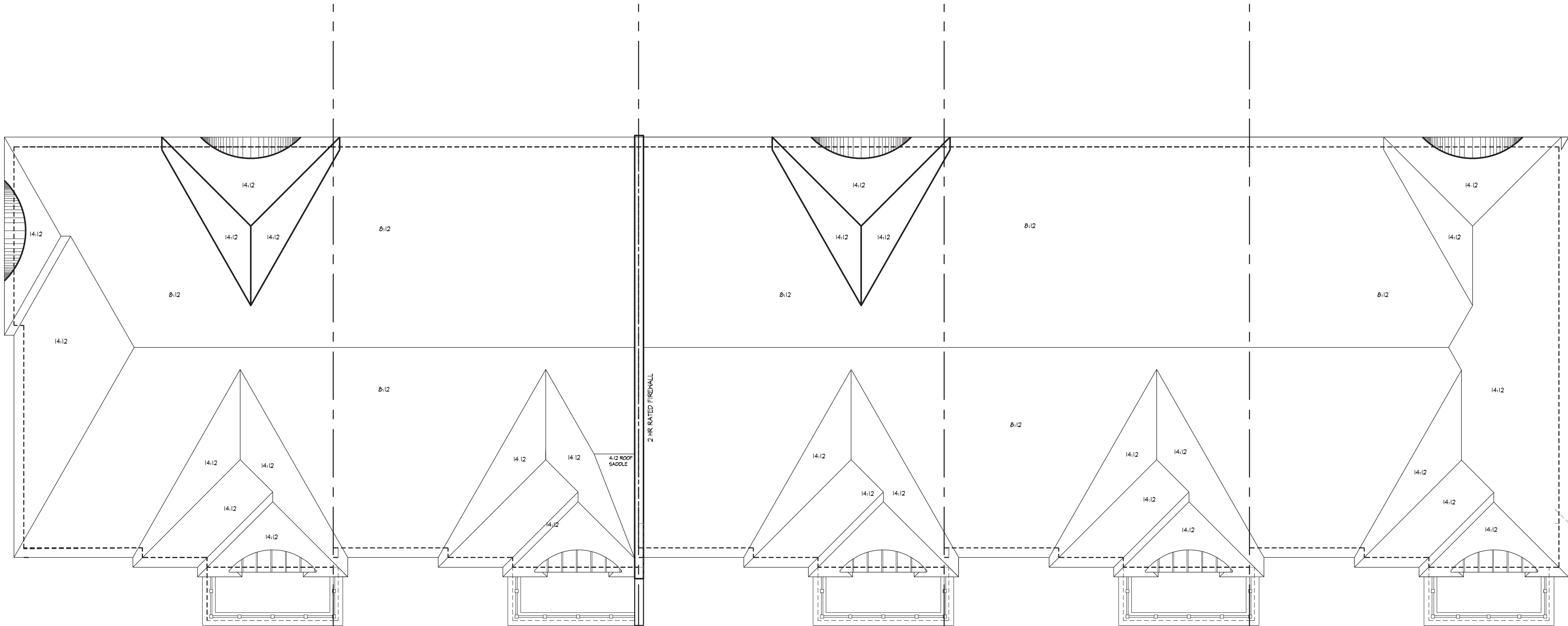


\\HUNT\17161\JUL 1202 1228 PM 1\PROJECT\2021\217014\WORKING\BLOCKS 3\217014\BLOCKS 3 TO 5.dwg



1 UNIT 3103 END 2-BLK3
ELEV. 'B' - REV

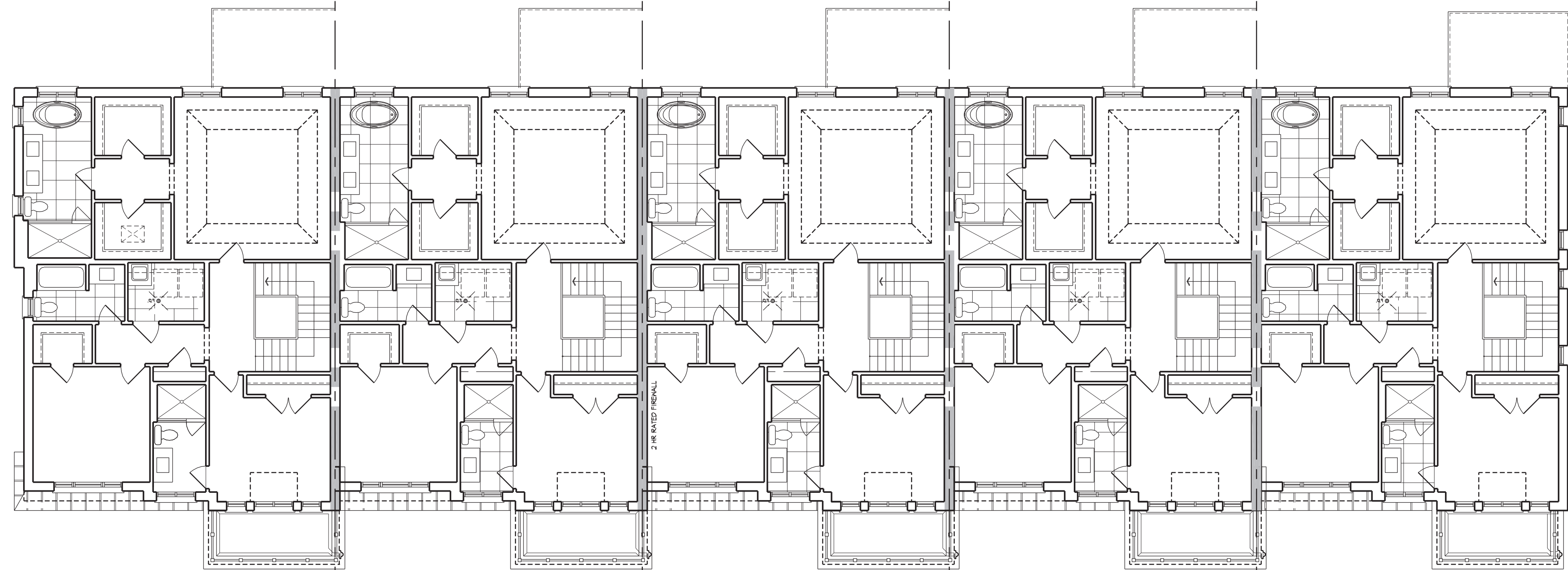
BLOCK 3 - ROOF PLAN

2 UNIT 3103
ELEV. 'B' - REV

3 UNIT 3103
ELEV. 'B' - REV

4 UNIT 3103
ELEV. 'B' - REV

5 UNIT 3103 END 1
ELEV. 'B' - REV



1 UNIT 3103 END 2-BLK3
ELEV. 'B' - REV

BLOCK 3 - SECOND FLOOR PLAN

2 UNIT 3103
ELEV. 'B' - REV

3 UNIT 3103
ELEV. 'B' - REV

4 UNIT 3103
ELEV. 'B' - REV

5 UNIT 3103 END 1
ELEV. 'B' - REV



wsp

100 COMMERCE VALLEY DR. W.
THORNHILL, ONTARIO L3T 0A1
TEL: 1-888-461-4211 FAX: 1-888-522-0859 WWW.WSPGROUP.CA

FOR STRUCTURAL ONLY, EXCLUDING
ENGINEERED ROOF TRUSS, FLOOR
JOIST, AND FLOOR LVL BEAM DESIGN.

BUILDING AREA INCLUDING COLD CELLARS		7101.74 sq ft 659.77 sq m
A FIREWALL IS REQUIRED IF THE BUILDING AREA IS GREATER THAN 600 m ² (6458 sq ft) AS PER BUILDING CODE PART 9 LIMITATIONS SECTION 1.1.2.4.(1). ** DEFINITION OF BUILDING AREA AS PER PART 1.4.1.2. IS THE EXTENT OF THE GREATEST HORIZONTAL BUILDING EXTERIOR WALLS ABOVE GRADE TO IF REQ'D THE CENTER OF THE FIREWALL (DEMISING LINE)		
BUILDING AREA CALCULATION FOR FIREWALLS AS PER O.B.C. PART 1 SECTION 1.1.2.4.(1), PART 3.1. & 9.10.		
SECTION	BUILDING AREA	
LOT(S) 1-2	2851.74 sq ft 264.93 sq m	
LOT(S) 3-5	4250.13 sq ft 394.85 sq m	
LOT(S) ###	0 sq ft 0.00 sq m	

- GENERAL NOTES**
1. PROVIDE FIRESTOPS AS REQUIRED BY O.B.C. 9.10.16
 2. REFER TO UNIT WORKING DRAWINGS, ENGINEERS DRAWINGS AND SITEPLAN FOR ADDITIONAL INFORMATION AND VERIFICATION.
 3. REFER TO ROOF TRUSS MANUFACTURERS DRAWINGS FOR LAYOUT, SPACING, INSTALLATION DETAILS AND HANGER SIZES.
 4. CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB REPORT ANY DISCREPANCIES TO HUNT DESIGN ASSOCIATES INC. (H.D.A.I.) BEFORE PROCEEDING WITH THE WORK. ALL DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND ARE THE PROPERTY OF H.D.A.I.
 5. COMBUSTIBLE PROJECTIONS ON THE EXTERIOR OF A WALL THAT ARE MORE THAN 1100mm (3 ft 3 in) ABOVE GROUND SHALL NOT BE PERMITTED WITHIN 1.2m (3 ft 11 in) OF A PROPERTY LINE OR CENTRE LINE OF A PUBLIC WAY OR 2.4m (7 ft 10 in) OF A COMBUSTIBLE PROJECTION ON ANOTHER BUILDING ON THE SAME PROPERTY AS PER PART 9 SECTION 9.10.14.5.(5)

WALL TYPE LEGEND		
FRR	LINE TYPE	DETAILS
45 MIN	---	SECTION 1, 2 & 3
60 MIN	---	SECTION 8 (BLOCK) SECTION 9 (WOOD STUD)
120 MIN	---	SECTION 10

DETAILS	
No.	TITLE
07-1-1	MASONRY VENEER, 2"x4" STUDS, 2 STOREY WALL SECTION
07-1-2	MASONRY VENEER, 2"x4" STUDS, 1 STOREY GARAGE WALL SECTION
08-8-1	TYP. 1 HR PARTY WALL SECTION, PARALLEL ROOF TRUSSES, IF CONC. BLOCK
08-8-2	TYP. 1 HR PARTY WALL SECTION AT GARAGE, PARALLEL ROOF TRUSSES, IF CONC. BLOCK
08-8-3	TYP. UTILITY FIRST PROTECTION U.S. IF GARAGE CEILING SPACE, TYP. BLOCK PARTYWALL
08-8-4	TYP. IF BLOCK PARTYWALL AT OPEN 2 STOREY CONDITION
08-8-5	IF BLOCK PARTYWALL, BRICK VENEER, FLUSH UNIT
08-8-6	IF BLOCK PARTYWALL, BRICK VENEER, STAGGERED UNIT
08-8-7	IF BLOCK PARTYWALL, FLUSH AT GARAGE, BRICK VENEER
08-8-8	IF BLOCK PARTYWALL, STAGGERED UNIT & GARAGE, BRICK VENEER
08-8-9	IF BLOCK PARTYWALL, STAGGERED GARAGES, BRICK VENEER
08-8-10	REQUIRED FIRE STOPPING AT SOFFITS SECTION
10-10-1	TYP. 2 HR. FIREWALL SECTION PARALLEL ROOF TRUSSES - IF FOUNDATION
10-10-2	TYP. 2 HR. FIREWALL SECTION PARALLEL ROOF TRUSSES - IF VARIOUS FLOOR LEVELS
10-10-3	TYP. 2 HR. FIREWALL, BRICK VENEER, STAGGERED UNIT
10-10-4	TYP. 2 HR. FIREWALL, BRICK VENEER AT PORCH
10-10-5	TYP. 2 HR. FIREWALL, BRICK VENEER, FLUSH UNIT
10-10-7	TYP. 2 HR. FIREWALL PROJECTION, BRICK VENEER, @ DECK PARAPETS

COMPLIANCE PACKAGE	A1
---------------------------	-----------

It is the builder's complete responsibility to ensure that all plans submitted for review fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Authority is not responsible in any way for issuing or approving any building plans or building codes or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
APPROVED BY:
DATE: JUL 20, 2022
This stamp certifies compliance with the applicable Design Guidelines only and does not constitute professional responsibility.

5.	ISSUED FOR PERMIT	2022.07.07	AW
4.	REVISED PER CITY ZONING COMMENTS	2022.06.30	AW
3.	REVISED AS PER GRADING AND COMMENTS	2022.05.17	WT
2.	ISSUED FOR PERMIT	2022.05.18	AW
1.	ISSUED FOR PROPOSING	2021.07.16	NEA
NO.	DESCRIPTION	YYYYMMDD	BY
REVISIONS			
THE ENGINEER HAS REVIEWED AND TAKES RESPONSIBILITY FOR THE DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.			
QUALIFICATION INFORMATION			
NAME	Allen Whiting	REVISE	2317
REGISTRATION INFORMATION			
HUNT DESIGN ASSOCIATES INC.			19995

HUNT DESIGN ASSOCIATES INC. www.hunt-design.ca 89566 Woodbine Ave., Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326 email: hda@hunt-design.ca	
GOLDPARK HOMES - 217014 PINE VALLEY DRIVE, VAUGHAN, ONTARIO	
BLOCK 3 LOTS 1 to 5	
BLOCK PLANS	
-	REV.2022.07.07
Scale: 1/8"=1'-0"	Drawn By: AW
File Name: 217014WT-BLOCKS 1 to 5	NEA

