

BUILDING AREA 5559.14 sq ft INCLUDING COLD CELLARS 516.46 sq m

GENERAL NOTES

1. PROVIDE FIRESTOPS AS REQUIRED BY O.B.C. 9.10.10 2. REFER TO UNIT WORKING DRAWINGS, ENGINEERS DRAWINGS AND SITEPLAN FOR ADDITIONAL INFORMATION AND VERIFICATION.

3. REFER TO ROOF TRUSS MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, INSTALLATION DETAILS AND HANGER SIZES.

4. CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB REPORT ANY DISCREPANCIES TO HUNT DESIGN ASSOCIATES INC. (H.D.A.I.) BEFORE PROCEEDING WITH THE WORK. ALL DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND ARE THE PROPERTY OF H.D.A.I..

5, COMBUSTIBLE PROJECTIONS ON THE EXTERIOR OF A WALL THAT ARE MORE THAN 1100mm (3 ft 3 in) ABOVE GROUND SHALL NOT BE PERMITTED WITHIN 1.2m (3 ft 11 in) OF A PROPERTY LINE OR CENTRE LINE OF A PUBLIC WAY OR 2.4m (7 ft 10 in) OF A COMBUSTIBLE PROJECTION ON ANOTHER BUILDING ON THE SAME PROPERTY AS PER PART 9 SECTION 9.10.14.5.(5)

WALL TYPE LEGEND

VVAL	L TIPE LEGET	אט	
FRR	LINE TYPE	DETAILS	
45 MIN		SECTION 1, 2 & 3	
60 MIN		SECTION 8 (BLOCK SECTION 9 (WOOD ST	
120 M I N		SECTION 10	

DET	AILS
No. NO DIVISION-PAGE	TITLE
01.1-1	MASONRY VENEER, 2"x6" STUDS, 2 STOREY WALL SECTION
01.1-3	MASONRY VENEER, 2"x4" STUDS, 1 STOREY GARAGE WALL SECTION
08.8-1	TYP. 1HR PARTY WALL SECTION, PARALLEL ROOF TRUSSES, 8" CONC. BLOCK
08.8-2	TYP. 1 HR. PARTYWALL SECTION AT GARAGE, PRALLEL ROOF TRUSSES, 8" CONC. BLOCK
08.8-3	TYP. UTILITY FROST PROTECTION AT U/S OF GARAGE CEILING SPACE, TYP. BLOCK PARTYWALL
08.8-5	TYP. 8" BLOCK PARTYWALL AT OPEN 2 STOREY CONDITION
08.8-5	8" BLOCK PARTYWALL, BRICK VENEER, FLUSH UNIT
08.8-5	8" BLOCK PARTYWALL, BRICK VENEER, STAGGERED UNIT
08.8-8	8" BLOCK PARTYWALL, FLUSH AT GARAGE, BRICK VENEER
08.8-8	8" BLOCK PARTYWALL, STAGGERED UNIT & GARAGE, BRICK VENEER
08.8-8	8" BLOCK PARTYWALL, STAGGERED GARAGES, BRICK VENEER
08.8-8	REQUIRED FIRE STOPPING AT SOFFITS SECTION

0.10-1 TYP. 2 HR. FIREWALL SECTION PARALLEL ROOF TRUSSES - 8' FOUNDATIO

10.10-2 TYP. 2 HR. FIREWALL SECTION PARALLEL ROOF TRUSSES - W/ VARIED FLOOR LEV 10.10-3 TYP. 2 HR. FIREWALL, BRICK VENEER, STAGGERED UNIT 10.10-3 TYP. 2 HR. FIREWALL, BRICK VENEER AT PORCH

10.10-7 TYP. 2 HR. FIREWALL, BRICK VENEER, FLUSH UNIT 10.10-7 TYP. 2 HR. FIREWALL PROJECTION, BRICK VENEER, @ DECK PAIRING

COMPLIANCE SB-12 (SECTION 2.1.1)

PACKAGE

115])

FOR STRUCTURAL ONLY. EXCLUDING ENGINEERED ROOF TRUSS, FLOOR JOIST, AND FLOOR LVL BEAM DESIGN.

> It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot. This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN. JOHN G. WILLIAMS LTD., ARCHITECT ARCHITECTURAL CONTROL REVIEW AND APPROVAL APPROVED BY: DATE: <u>JUL 20, 2022</u> This stamp certifies compliance with the applicabl Design Guidelines only and bears no further professional responsibility.

5.	-	-	-
4.	REISSUED FOR PERMIT	2022.07.07	AW
3.	REVISED AS PER GRADING AND COMMENTS .	2022.03.17	WT
2.	ISSUED FOR PERMIT .	2022.02.18	AW
1.	ISSUED FOR PRICING	2021.07.16	NEA
NO.	DESCRIPTION	YYYY.MM.DD	BY
RE	VISIONS		
	IDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND H THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNE		S AND
QUALIF	ICATION INFORMATION		

IUNT DESIGN ASSOCIATES INC

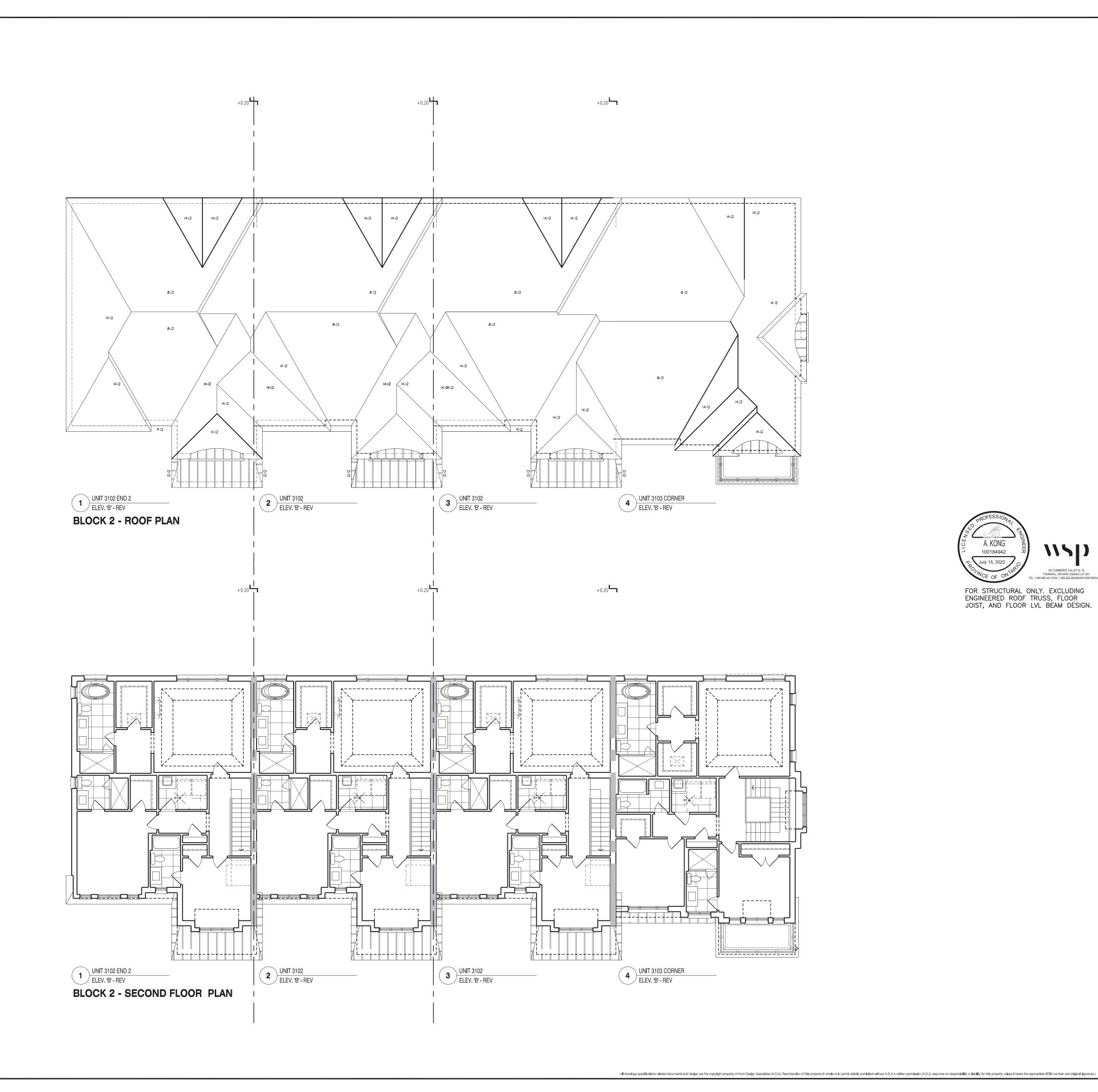
www.huntdesign.ca 8966 Woodbine Ave, Markham, ON L3R 0J. T 905.737.5133 F 905.737.7326 email: hdai@huntdesign.c. GOLDPARK HOMES - 217014

PINE VALLEY DRIVE, VAUGHAN, ONTARIO

BLOCK 2 LOTS 1 to 4

BLOCK PLANS REV.2022.07.07

NEA



BUILDING AREA INCLUDING COLD CELLARS 516.46 sq m

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5559.14 sq ft

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120 MIN		SECTION 10

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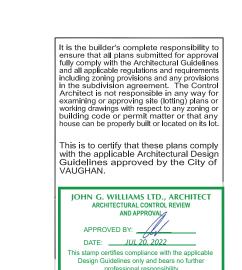
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100184942 July 15, 2022



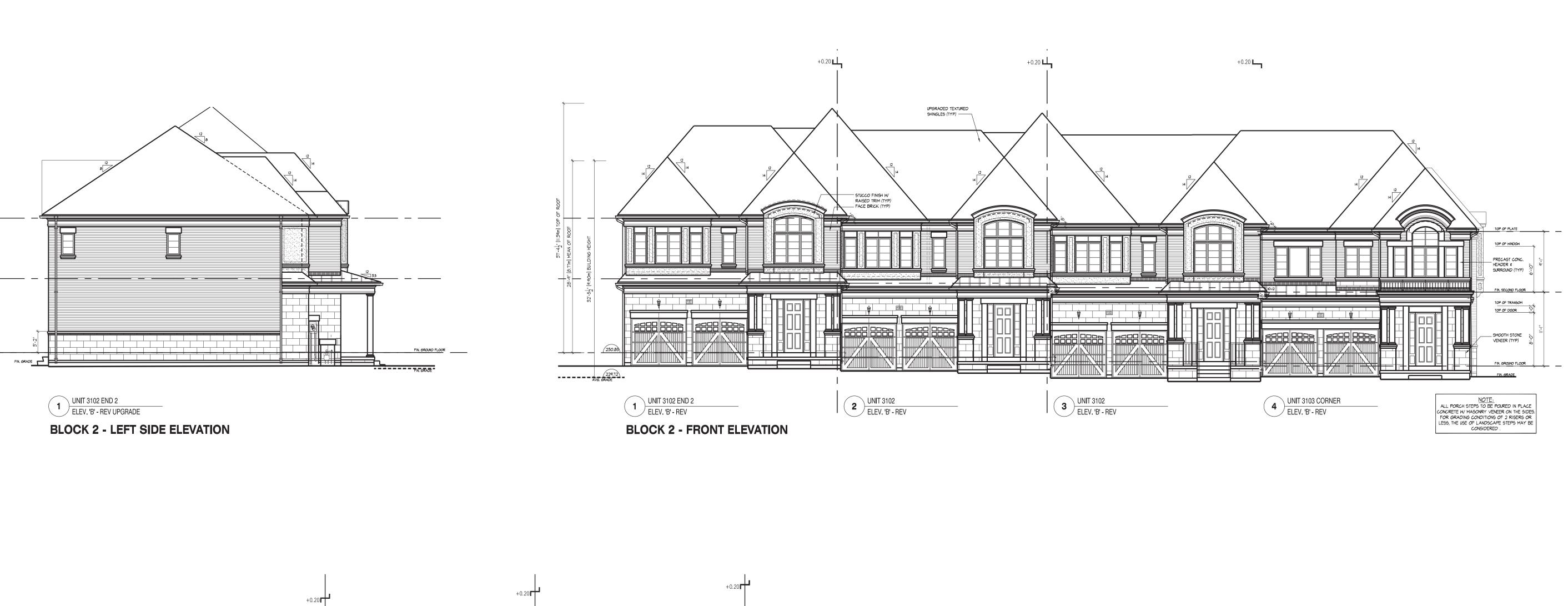
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RE	EVISIONS		
	DERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND H THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNE		3 AND
QUALIF	ICATION INFORMATION		
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NAME	SIGNATURE BATION INFORMATION		В
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HUNI	DESIGN ASSOCIATES INC.		196

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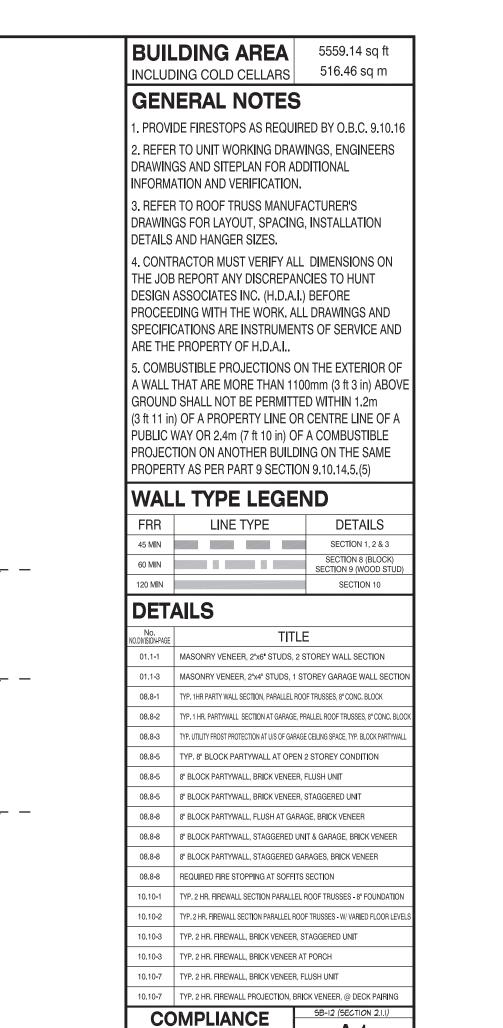
BLOCK 2 LOTS 1 to 4

BLOCK PLANS

REV.2022.07.07







PACKAGE



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NO.	DESCRIPTION	YYYY.MM.DD	BY	
RE	REVISIONS			
	THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.			
QUALIF	QUALIFICATION INFORMATION			



DESIGN ASSOCIATES INC.
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■ REV.2022.07.07

Scale Drawn By Checked By 1/8"=1'-0' NEA AW

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