



ELEVATION 'A'



ELEVATION 'B'

3102-END-2

SB-12 ENERGY EFFICIENCY DESIGN MATRIX

PRESCRIPTIVE COMPLIANCE		SB-12 (SECTION 3.1.1) TABLE 3.1.1.2.A	
PACKAGE A1		SPACE HEATING FUEL	
		<input checked="" type="checkbox"/> GAS	<input type="checkbox"/> OIL
		<input type="checkbox"/> ELECTRIC	<input type="checkbox"/> PROPANE
		<input type="checkbox"/> EARTH	<input type="checkbox"/> SOLID FUEL
BUILDING COMPONENT	REQUIRED	PROPOSED	
INSULATION RSI (R) VALUE			
CEILING W/ ATTIC SPACE	10.56 (R60)	10.56 (R60)	
CEILING W/O ATTIC SPACE	5.46 (R31)	5.46 (R31)	
EXPOSED FLOOR	5.46 (R31)	5.46 (R31)	
WALLS ABOVE GRADE	3.87 (R22)	3.87 (R22)	
BASEMENT WALLS	3.52 ci (R20 ci) *	3.52 ci (R20 ci) *	
* PROPOSED VALUES MAY BE SUBSTITUTED W/ 2.11+1.76ci (R12+R10ci)			
BELOW GRADE SLAB ENTIRE SURFACE > 600mm BELOW GRADE	-	-	
EDGE OF BELOW GRADE SLAB ≤ 600mm BELOW GRADE	1.76 (R10)	1.76 (R10)	
HEATED SLAB OR SLAB ≤ 600mm BELOW GRADE	1.76 (R10)	1.76 (R10)	
WINDOWS & DOORS			
WINDOWS/SLIDING GLASS DOORS (MAX U-VALUE)	1.6	1.6	
SKYLIGHTS (MAX. U-VALUE)	2.8	2.8	
APPLIANCE EFFICIENCY			
SPACE HEATING EQUIP. (AFUE%)	96%	96%	
HRV EFFICIENCY (%)	75%	75%	
DHW HEATER (EF)	0.8	0.8	

- 1 - TITLE PAGE
- 2 - BASEMENT PLAN, ELEV. 'A'
- 3 - GROUND FLOOR PLAN, ELEV. 'A'
- 4 - SECOND FLOOR PLAN, ELEV. 'A'
- 5 - OPT. 4-BEDROOM, SECOND FLOOR. PLAN, EL. 'A' (ELEV. 'B' SIMILAR)
- 6 - PARTIAL FLOOR PLANS, ELEV. 'B'
- 7 - PART. OPT. FIREPLACE, ELEV. 'A' (ELEV. 'B' SIMILAR)
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- 10 - FRONT ELEVATION 'A' & 'B'
- 11 - REAR ELEVATION 'A' & 'B'
- 11A - REAR ELEVATION 'A' & 'B' W/ LOGGIA
- 12 - RIGHT SIDE ELEVATION 'A'
- 13 - RIGHT SIDE ELEVATION 'B'
- 13A - RIGHT SIDE ELEVATION 'A' & 'B' W/ LOGGIA
- 14 - RIGHT SIDE UPGRADE ELEVATION 'A'
- 15 - RIGHT SIDE UPGRADE ELEVATION 'B'
- 16 - REAR UPGRADE ELEVATION 'A'
- 17 - REAR UPGRADE ELEVATION 'B'
- 18 - CROSS SECTION 'A-A'
- 19 - CONSTRUCTION NOTES 1
- 20 - CONSTRUCTION NOTES 2
- W1 - L.O.D. CONDITION

REFER TO
MARKUPS

AREA CALCULATIONS	EL. 'A'	EL. 'A'	EL. 'A'	EL. 'A'	EL. 'A'	EL. 'A'	EL. 'B'	EL. 'B'	EL. 'B'	EL. 'B'	EL. 'B'	EL. 'B'
GROUND FLOOR AREA	STD -INT 911 sq. ft.	OPT. 4 BEDRM 911 sq. ft.	STD W/ LOGGIA 911 sq. ft.	STD W/ F.P. 918 sq. ft.	4 BR. W/ F.P. 918 sq. ft.	W/ F.P.& LOGGIA 918 sq. ft.	STD -INT 911 sq. ft.	OPT. 4 BEDRM 911 sq. ft.	STD W/ LOGGIA 918 sq. ft.	STD W/ F.P. 918 sq. ft.	4 BR. W/ F.P. 918 sq. ft.	W/ F.P.& LOGGIA 911 sq. ft.
SECOND FLOOR AREA	1309 sq. ft.	1309 sq. ft.	1309 sq. ft.	1309 sq. ft.	1309 sq. ft.	1309 sq. ft.	1309 sq. ft.	1309 sq. ft.	1309 sq. ft.	1309 sq. ft.	1309 sq. ft.	1309 sq. ft.
SUBTOTAL	2220 sq. ft.	2220 sq. ft.	2220 sq. ft.	2227 sq. ft.	2227 sq. ft.	2227 sq. ft.	2220 sq. ft.	2220 sq. ft.	2220 sq. ft.	2227 sq. ft.	2227 sq. ft.	2220 sq. ft.
DEDUCT ALL OPEN AREAS	0 sq. ft.	0 sq. ft.	0 sq. ft.	0 sq. ft.	0 sq. ft.	0 sq. ft.	0 sq. ft.	0 sq. ft.	0 sq. ft.	0 sq. ft.	0 sq. ft.	0 sq. ft.
TOTAL NET AREA	2220 sq. ft. (206.24 sq. m.)	2220 sq. ft. (206.24 sq. m.)	2220 sq. ft. (206.24 sq. m.)	2227 sq. ft. (206.90 sq. m.)	2227 sq. ft. (206.90 sq. m.)	2227 sq. ft. (206.90 sq. m.)	2220 sq. ft. (206.24 sq. m.)	2220 sq. ft. (206.24 sq. m.)	2220 sq. ft. (206.90 sq. m.)	2227 sq. ft. (206.90 sq. m.)	2227 sq. ft. (206.90 sq. m.)	2220 sq. ft. (206.24 sq. m.)
FINISHED BASEMENT AREA	683 sq. ft.	683 sq. ft.	683 sq. ft.	683 sq. ft.	683 sq. ft.	683 sq. ft.	683 sq. ft.	683 sq. ft.	683 sq. ft.	683 sq. ft.	683 sq. ft.	683 sq. ft.
COVERAGE W/OUT PORCH	1310 sq. ft. (121.70 sq. m.)	1310 sq. ft. (121.70 sq. m.)	1310 sq. ft. (121.70 sq. m.)	1317 sq. ft. (122.35 sq. m.)	1317 sq. ft. (122.35 sq. m.)	1317 sq. ft. (122.35 sq. m.)	1310 sq. ft. (121.70 sq. m.)	1310 sq. ft. (121.70 sq. m.)	1310 sq. ft. (121.70 sq. m.)	1317 sq. ft. (122.35 sq. m.)	1317 sq. ft. (122.35 sq. m.)	1317 sq. ft. (122.35 sq. m.)
COVERAGE W/ PORCH	1362 sq. ft. (126.53 sq. m.)	1362 sq. ft. (126.53 sq. m.)	1484 sq. ft. (137.87 sq. m.)	1369 sq. ft. (127.18 sq. m.)	1369 sq. ft. (127.18 sq. m.)	1484 sq. ft. (137.87 sq. m.)	1377 sq. ft. (127.93 sq. m.)	1377 sq. ft. (127.93 sq. m.)	1500 sq. ft. (139.35 sq. m.)	1384 sq. ft. (128.58 sq. m.)	1384 sq. ft. (128.58 sq. m.)	1500 sq. ft. (139.35 sq. m.)
WINDOW / WALL AREA CALCULATIONS	EL. 'A'	EL. 'A'	EL. 'A'	EL. 'A'	EL. 'A'	EL. 'A'	EL. 'B'	EL. 'B'	EL. 'B'	EL. 'B'	EL. 'B'	EL. 'B'
STD -INT	3202 sq. ft.	OPT. 4 BEDRM 3202 sq. ft.	STD W/ LOGGIA 3202 sq. ft.	STD W/ F.P. 3202 sq. ft.	4 BR. W/ F.P. 3202 sq. ft.	W/ F.P.& LOGGIA 3202 sq. ft.	STD -INT 3193 sq. ft.	STD -INT 3193 sq. ft.	STD -INT 3193 sq. ft.	STD W/ F.P. 3193 sq. ft.	4 BR. W/ F.P. 3193 sq. ft.	W/ F.P.& LOGGIA 3193 sq. ft.
GROSS WALL AREA	(297.48 sq. m.)	(297.48 sq. m.)	(297.48 sq. m.)	(297.48 sq. m.)	(297.48 sq. m.)	(297.48 sq. m.)	(296.64 sq. m.)	(296.64 sq. m.)	(296.64 sq. m.)	(296.64 sq. m.)	(296.64 sq. m.)	(296.64 sq. m.)
GROSS WINDOW AREA (INCL. GLASS DOORS & SKYLIGHTS)	330 sq. ft. (30.86 sq. m.)	346 sq. ft. (32.14 sq. m.)	330 sq. ft. (30.86 sq. m.)	306 sq. ft. (28.43 sq. m.)	322 sq. ft. (29.91 sq. m.)	306 sq. ft. (28.43 sq. m.)	340 sq. ft. (31.59 sq. m.)	340 sq. ft. (31.59 sq. m.)	316 sq. ft. (29.36 sq. m.)	332 sq. ft. (30.84 sq. m.)	332 sq. ft. (30.84 sq. m.)	316 sq. ft. (29.36 sq. m.)
TOTAL WINDOW %	10.31 %	10.81 %	10.31 %	9.56 %	10.06 %	9.56 %	10.65 %	11.15 %	10.65 %	9.90 %	10.40 %	9.90 %

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TITLE PAGE

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Page Number: 1 of 20

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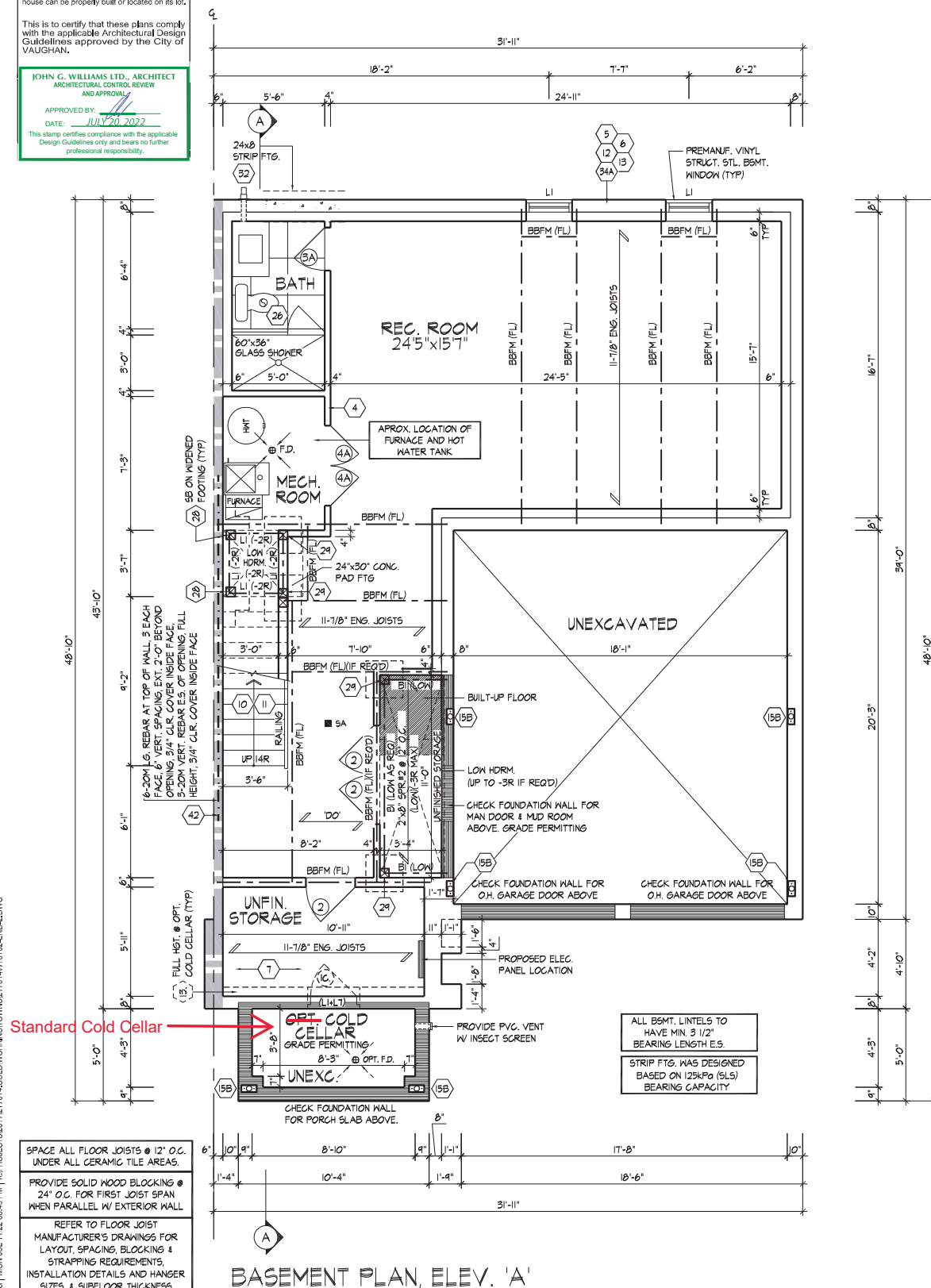
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DATE: JULY 30, 2022

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REGISTRATION INFORMATION

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GOLDPARK HOMES - 217014
PINE VALLEY TOWNS. VAUGHAN ON

BASEMENT PLAN, ELEV. 'A'

3102-END-2

REV.2022.07.11

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BB	AW	3/16"=1'-0"	217014WT3102-END-2	2 of 20

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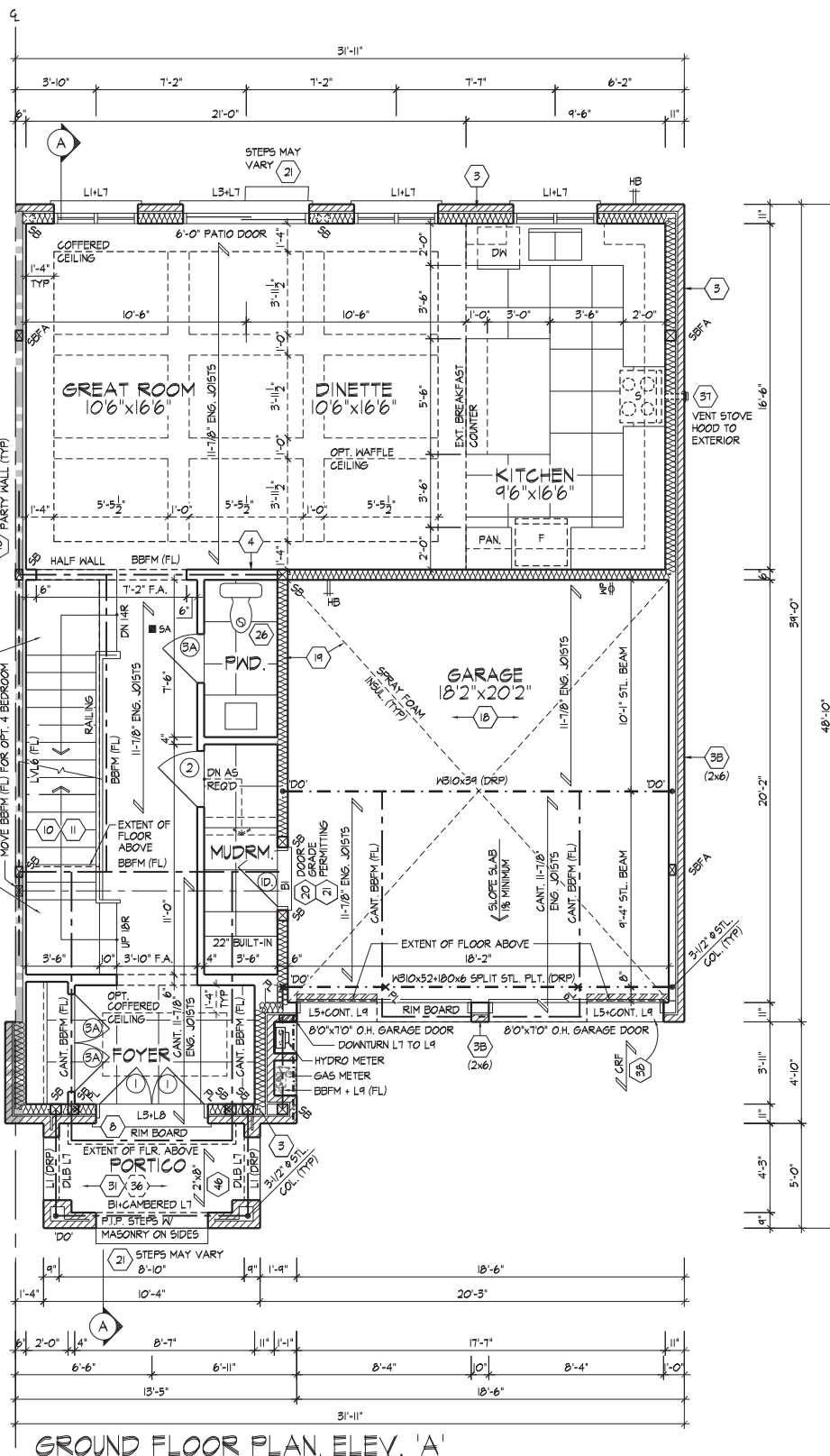
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SPACE ALL FLOOR JOISTS @ 12" O.C.
UNDER ALL CERAMIC TILE AREAS.

PROVIDE SOLID WOOD BLOCKING @
24" O.C. FOR FIRST JOIST SPAN
WHEN PARALLEL W/ EXTERIOR WALL.

REFER TO FLOOR JOIST
MANUFACTURER'S DRAWINGS FOR
LAYOUT, SPACING, BLOCKING &
STRAPPING REQUIREMENTS.
INSTALLATION DETAILS AND HANGER
SIZES & SUBFLOOR THICKNESS



GROUND FLOOR PLAN, ELEV. 'A'

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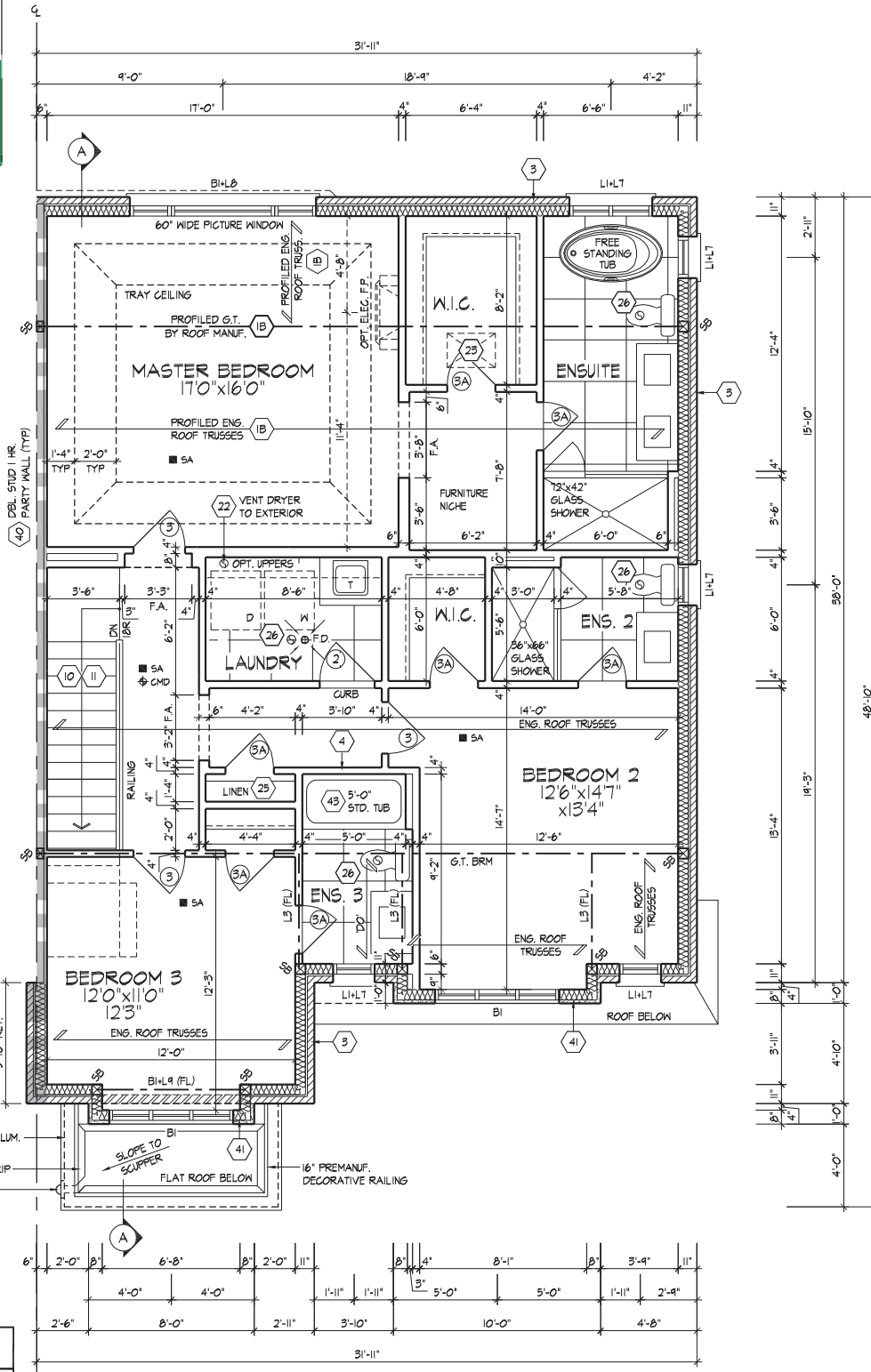
PROVIDE 6" CURB & RUBBER MAT. MAT TO EXTEND 6" MIN. ABOVE FLOOR LEVEL.

NOTE:
STEP TRUSSES @ RAISED / TRAY CEILINGS

REFER TO ROOF TRUSS MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, INSTALLATION DETAILS AND HANGER SIZES.

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SECOND FLOOR PLAN, ELEV. 'A'

SECOND FLOOR PLAN, ELEV. 'A'

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PINE VALLEY TOWNS, VAUGHAN ON

3102-END-2
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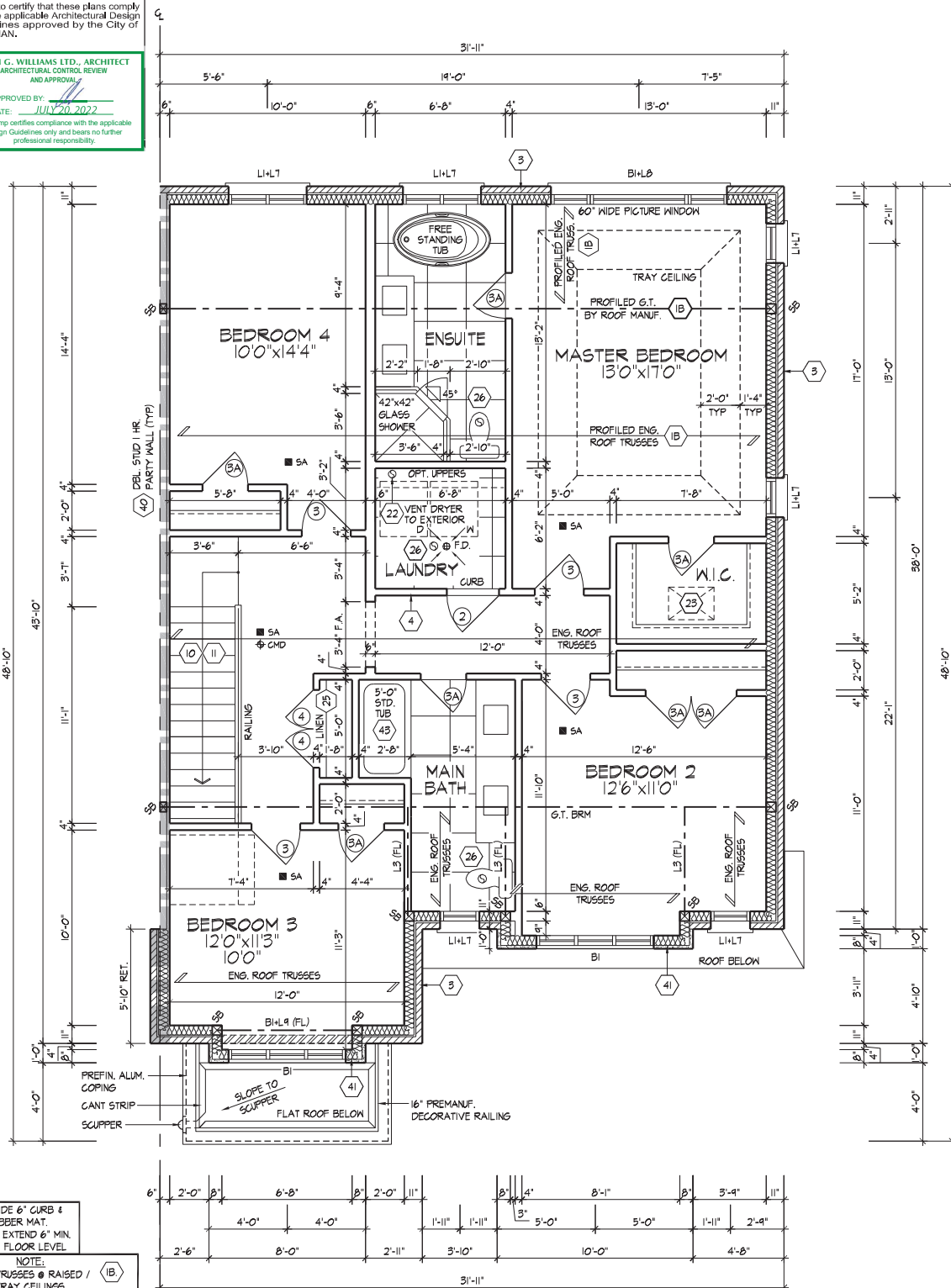
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OPT. 4-BEDROOM, SECOND FLOOR. PLAN, EL. 'A'
(ELEV. 'B' SIMILAR)

OPT. 4-BEDROOM, SECOND FLOOR. PLAN, EL. 'A' (ELEV. 'B' SIMILAR)

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PROVIDE 6" CURB &
RUBBER MAT.
MAT TO EXTEND 6" MIN.
ABOVE FLOOR LEVEL

NOTE:
STEP TRUSSES & RAISED /
TRAY CEILING

REFER TO ROOF TRUSS
MANUFACTURER'S DRAWINGS FOR
LAYOUT, SPACING, INSTALLATION
DETAILS AND HANGER SIZES.

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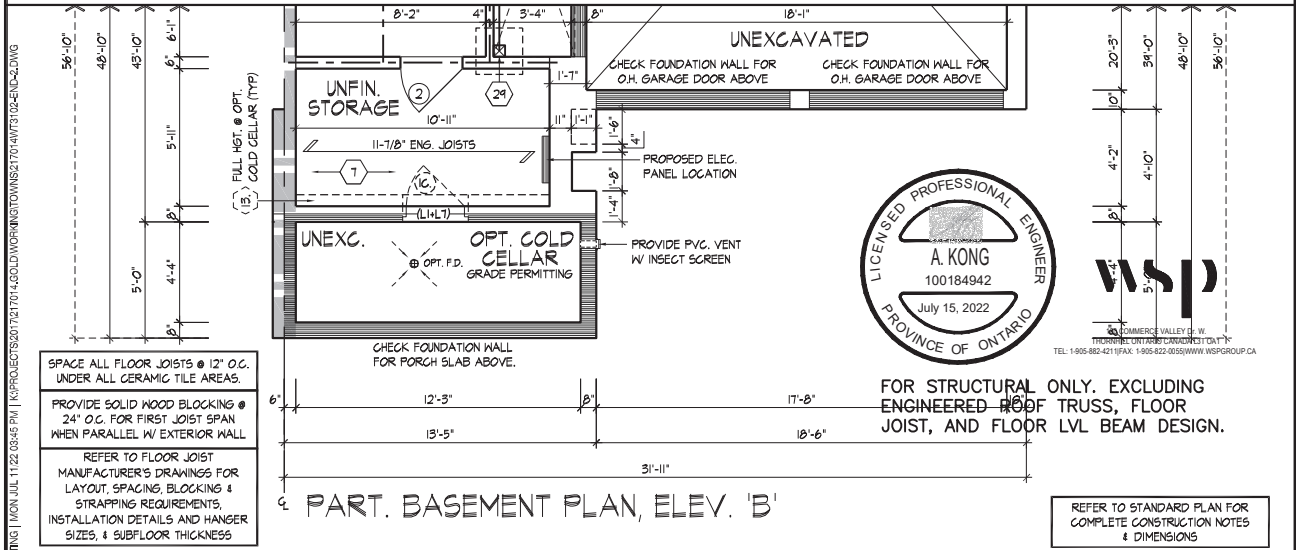
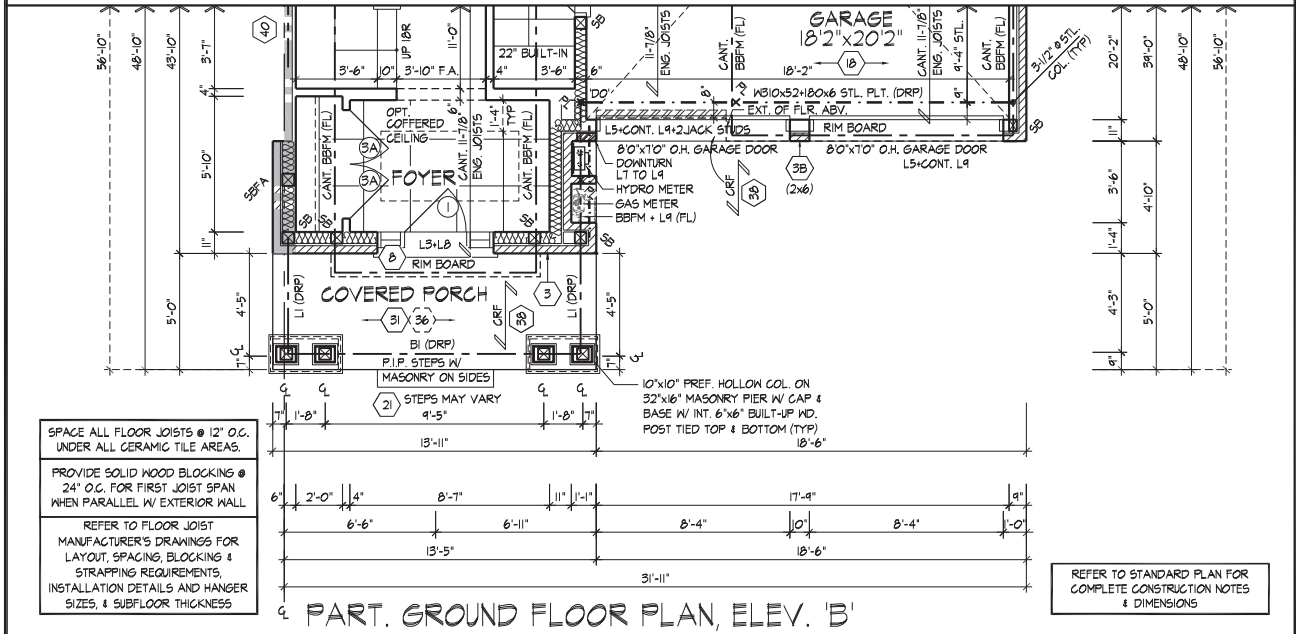
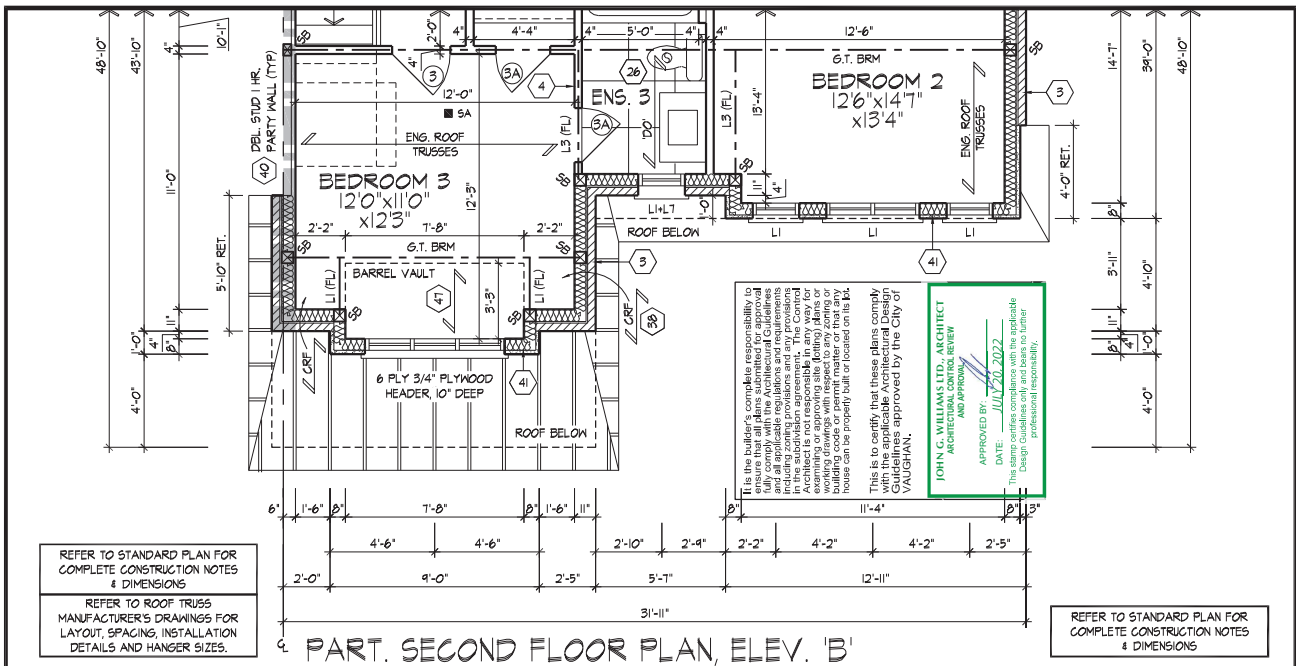
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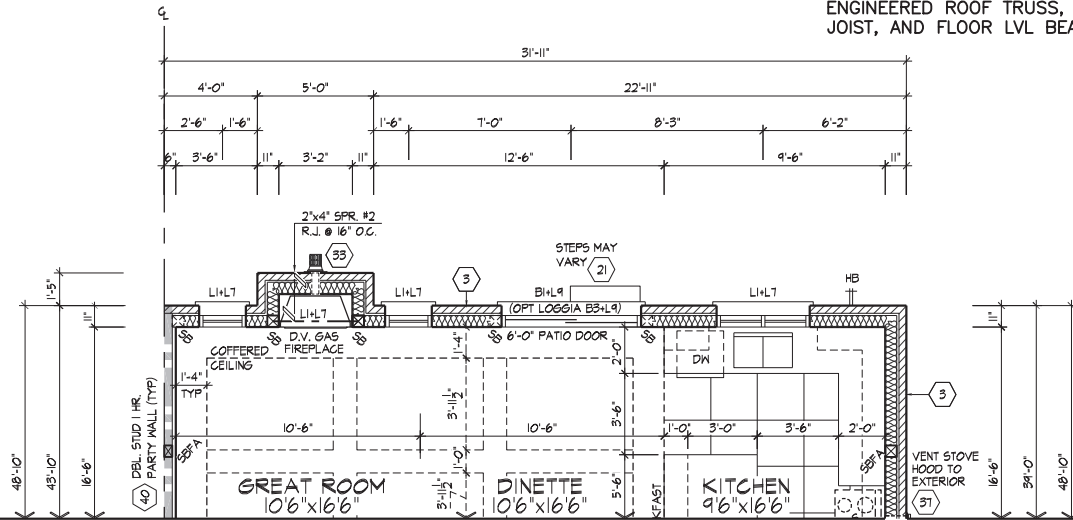
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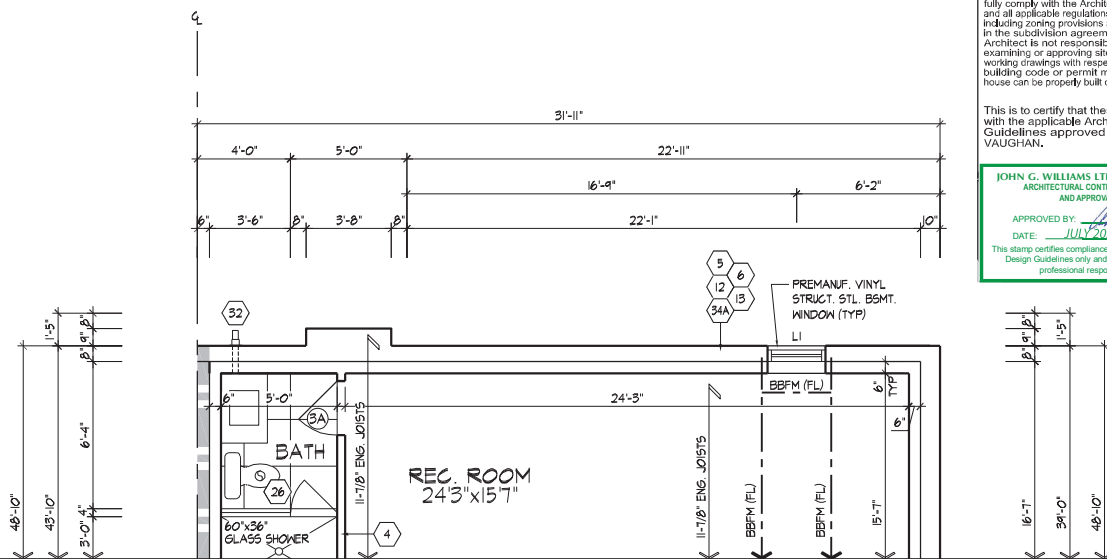


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PART. OPT. GREAT ROOM W/ GAS FIREPLACE,
ELEV. 'A' (ELEV. 'B' SIMILAR)

REFER TO STANDARD PLAN FOR
COMPLETE CONSTRUCTION NOTES
& DIMENSIONS



PART. OPT. BASEMENT PLAN W/ FIREPLACE ABOVE,
ELEV. 'A' (ELEV. 'B' SIMILAR)

REFER TO STANDARD PLAN FOR
COMPLETE CONSTRUCTION NOTES
& DIMENSIONS

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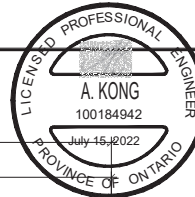
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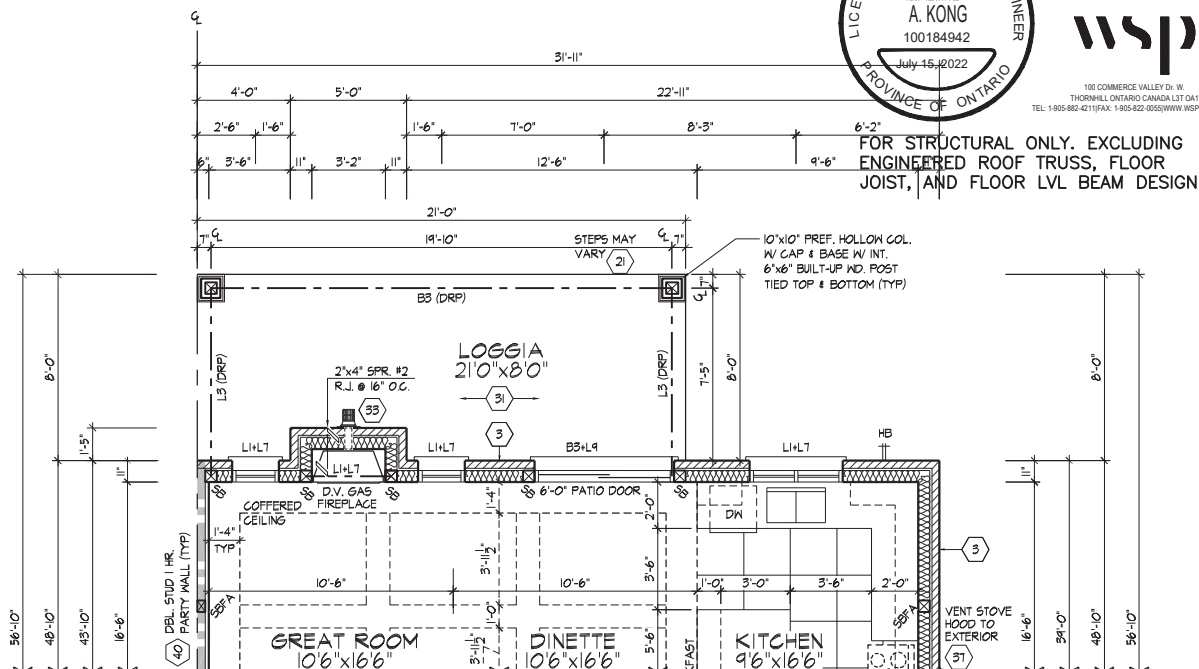
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PART. OPT. GREAT ROOM W/ GAS FIREPLACE,
ELEV. 'A' W/ LOGGIA (ELEV. 'B' SIMILAR)

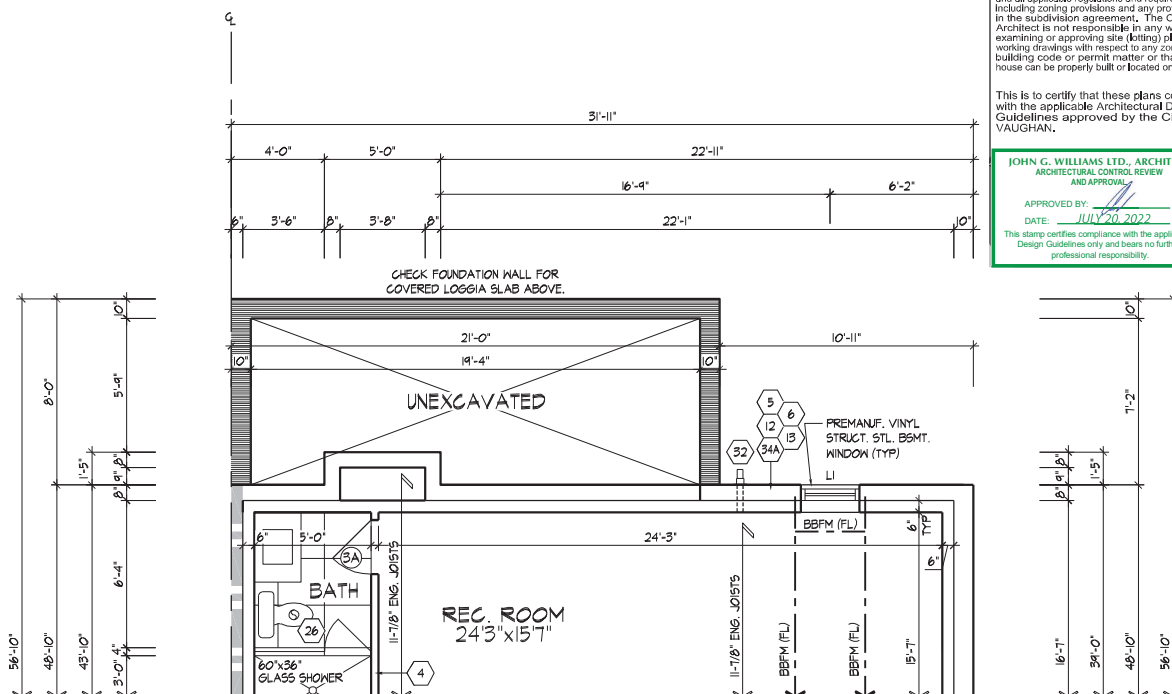
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PART. OPT. BASEMENT PLAN W/ FIREPLACE ABOVE,
ELEV. 'A' W/ LOGGIA (ELEV. 'B' SIMILAR)

PART. OPT. FIREPLACE, ELEV. 'A' W/ LOGGIA (ELEV. 'B' SIMILAR)

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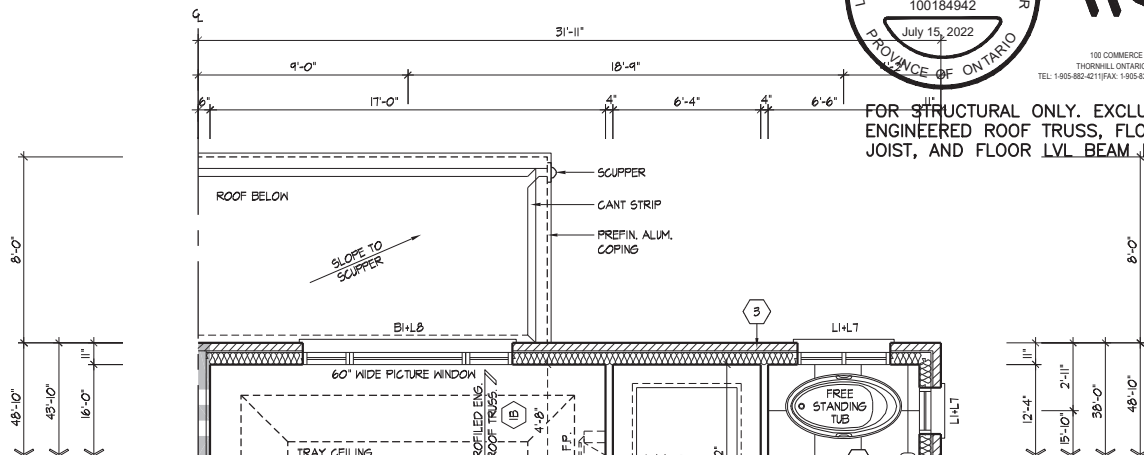
GOLDPARK HOMES - 217014
PINE VALLEY TOWNS, VAUGHAN ON
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SECOND FLOOR PLAN, ELEV. 'A' W/ LOGGIA
(SIMILAR TO OPT. PLAN & ELEV. 'B')

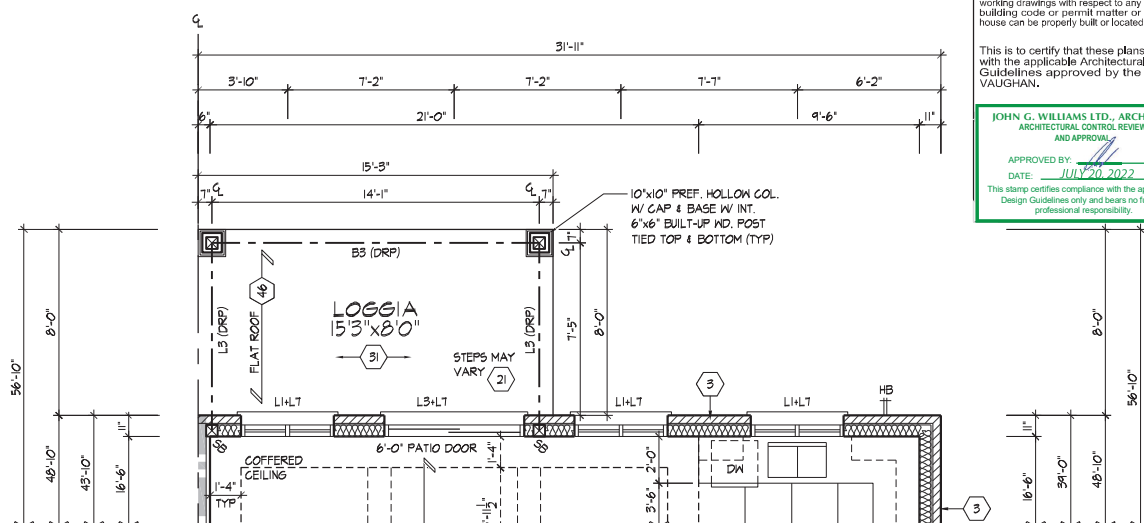
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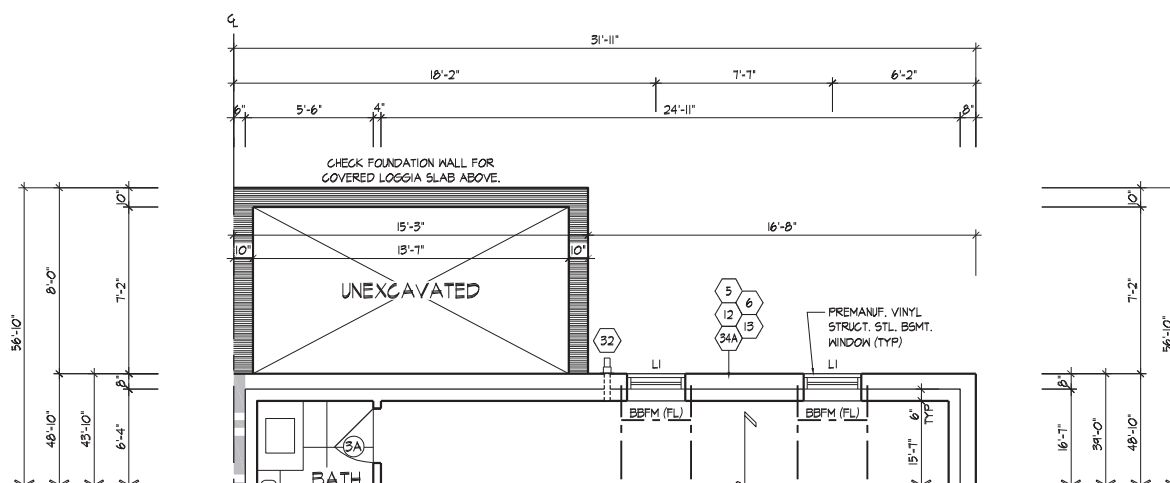
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GROUND FLOOR PLAN, ELEV. 'A' W/ LOGGIA



BASEMENT PLAN, ELEV. 'A' W/ LOGGIA

FLOOR PLANS, ELEV. 'A' W/ LOGGIA

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REGISTRATION INFORMATION	BCR
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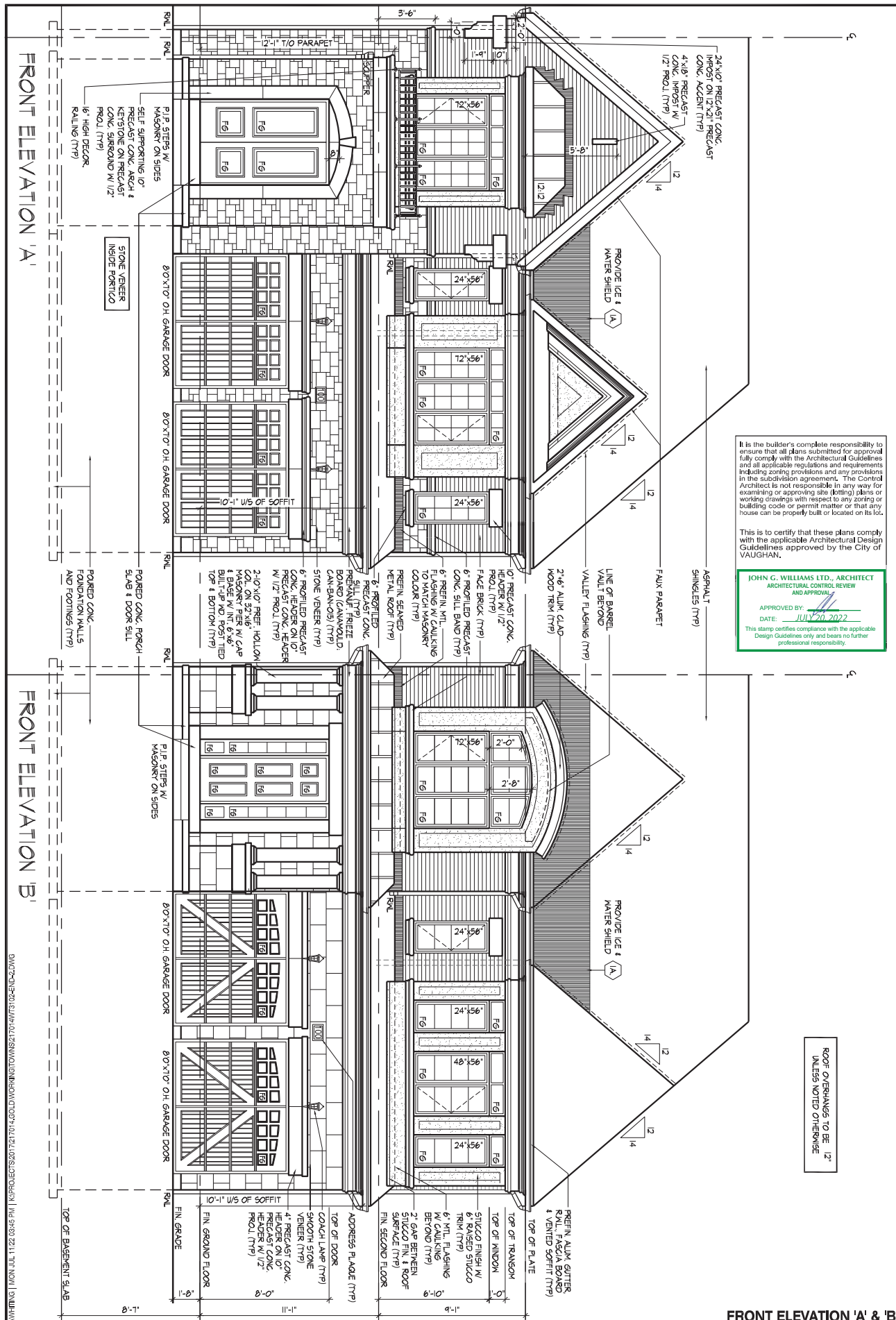
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GOLDPARK HOMES - 217014
PINE VALLEY TOWNS. VAUGHAN ON

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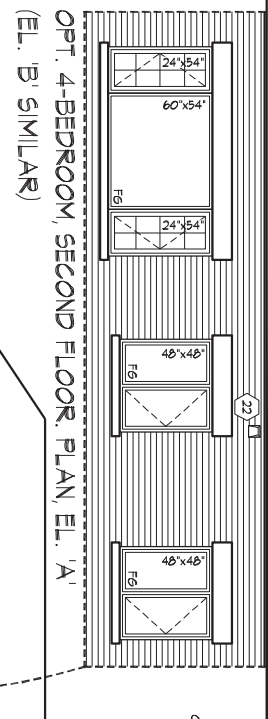
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UNLESS NOTED OTHERWISE

FRONT ELEVATION 'A' & 'B'



PART. REAR OPT. W/ FIREPLACE ELEV 'A' & 'B'

PEAR ELEVATION 'A' ('B' SIMILAR)

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QUALIFICATION INFORMATION
Allan Whiting
NAME
REGISTRATION INFORMATION
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BCIN
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GOLDPARK HOMES - 217014
PINE VALLEY TOWNS, VAUGHAN ON

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REAR ELEVATION 'A' & 'B'

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Page Number
11 of 20

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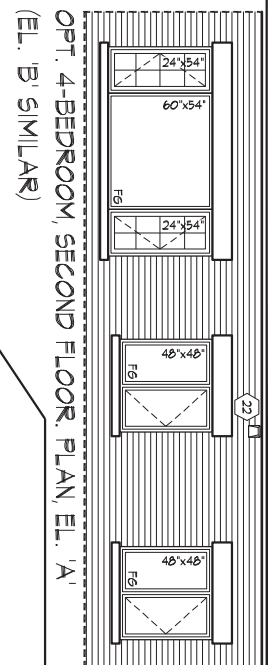
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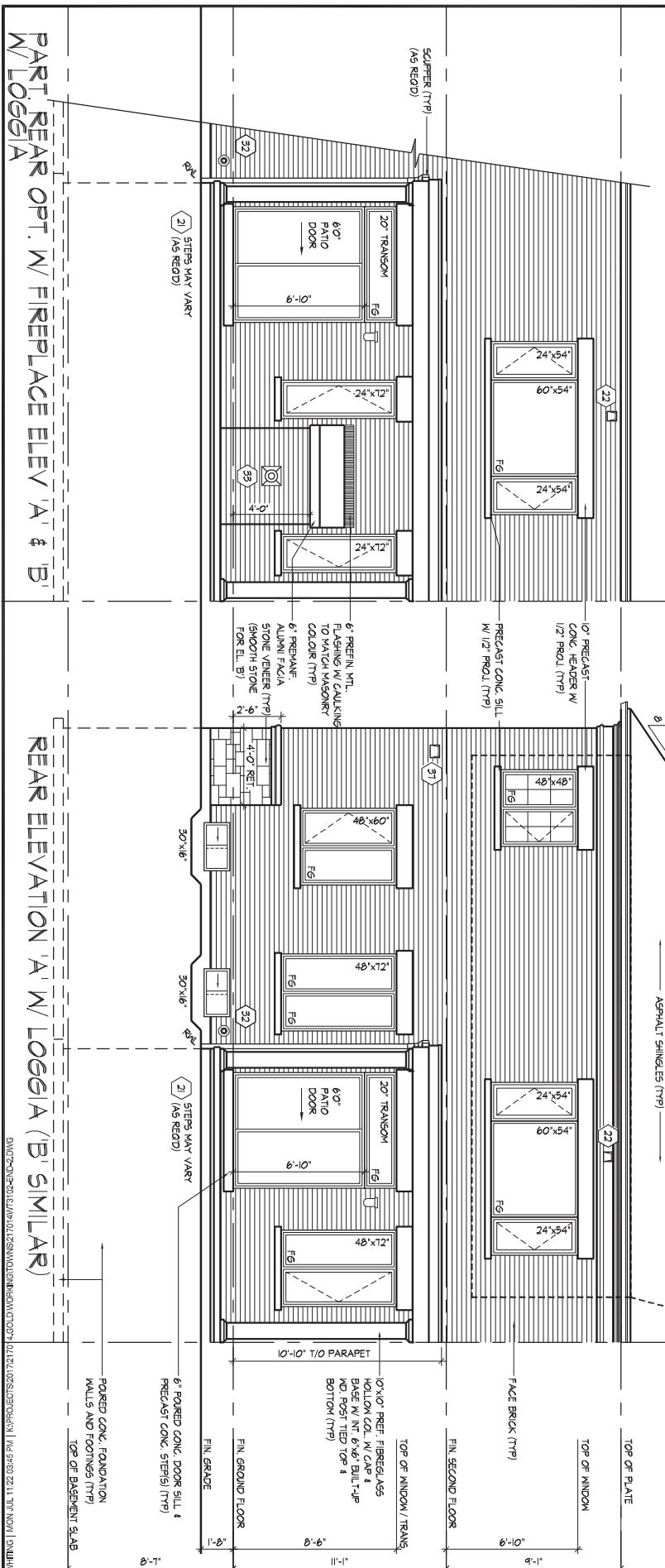
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OPT. 4-BEDROOM, SECOND FLOOR. PLAN, EL. 'A'
(EL. 'B' SIMILAR)



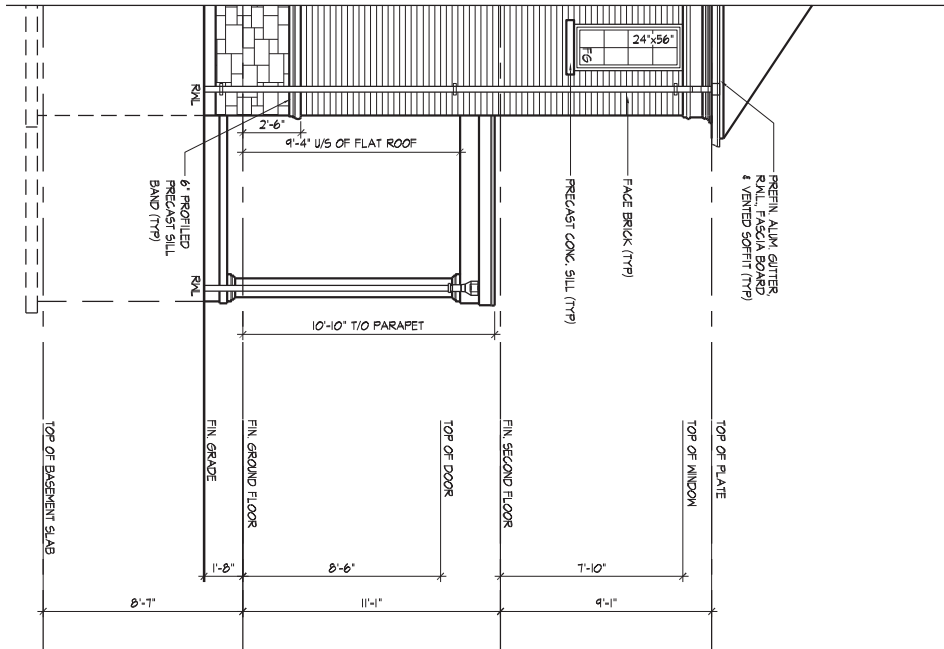
REAR ELEVATION 'A' & 'B' W/ LOGGIA

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PINE VALLEY TOWNS. VAUGHAN ON

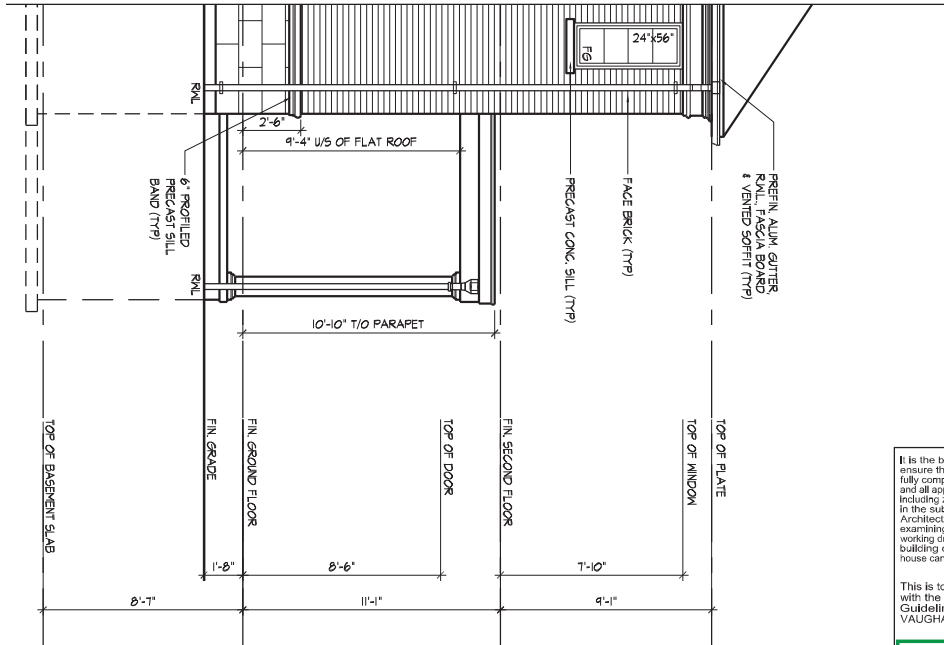
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RIGHT SIDE ELEVATION 'A' W/ LOGGIA
(SIMILAR RIGHT SIDE UPGRADE ELEVATION 'A')



RIGHT SIDE ELEVATION 'B' W/ LOGGIA
(SIMILAR RIGHT SIDE UPGRADE ELEVATION 'B')



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RIGHT SIDE ELEVATION 'A' & 'B' W/ LOGGIA

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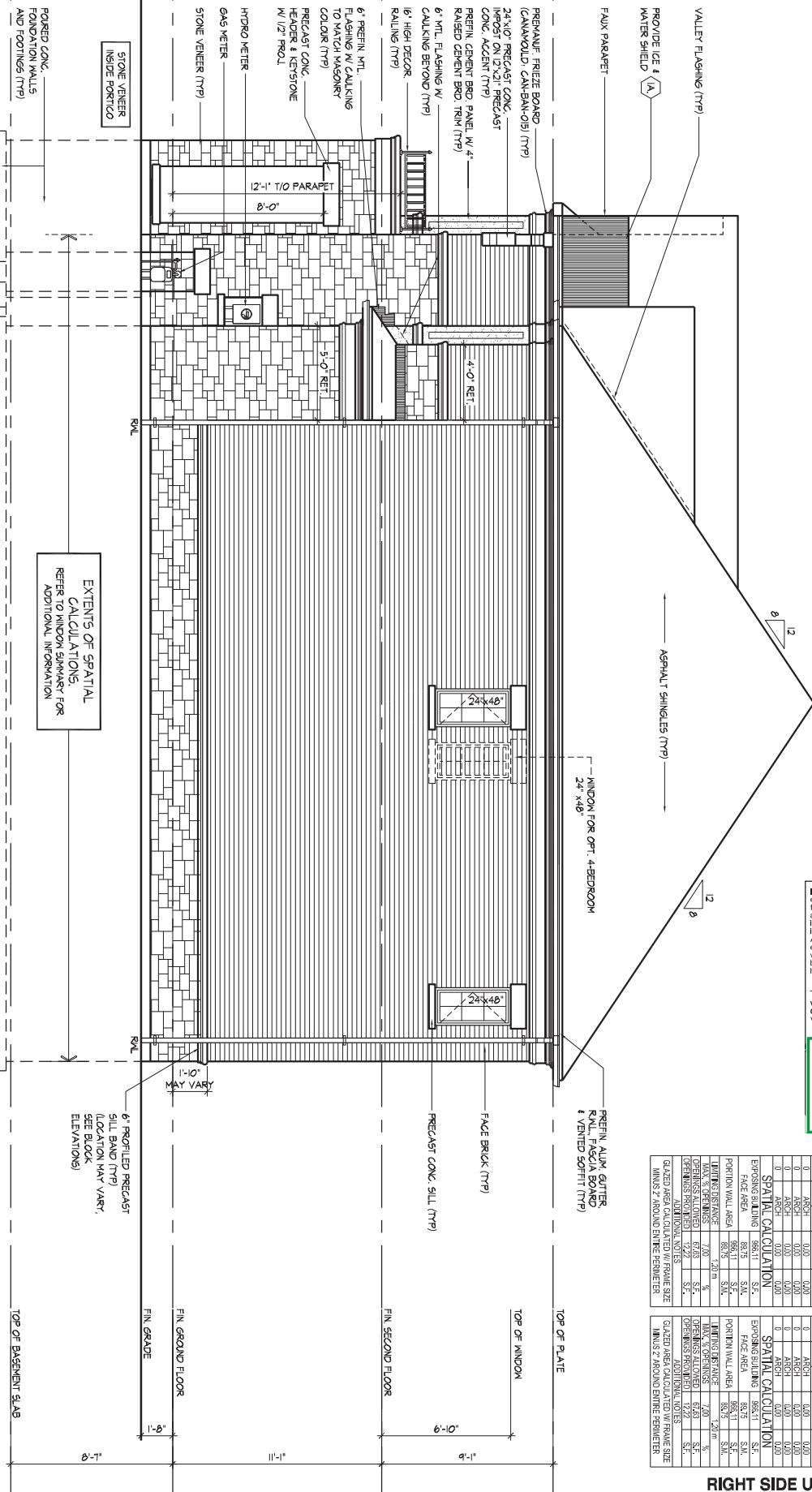
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PINE VALLEY TOWNS, VAUGHAN ON

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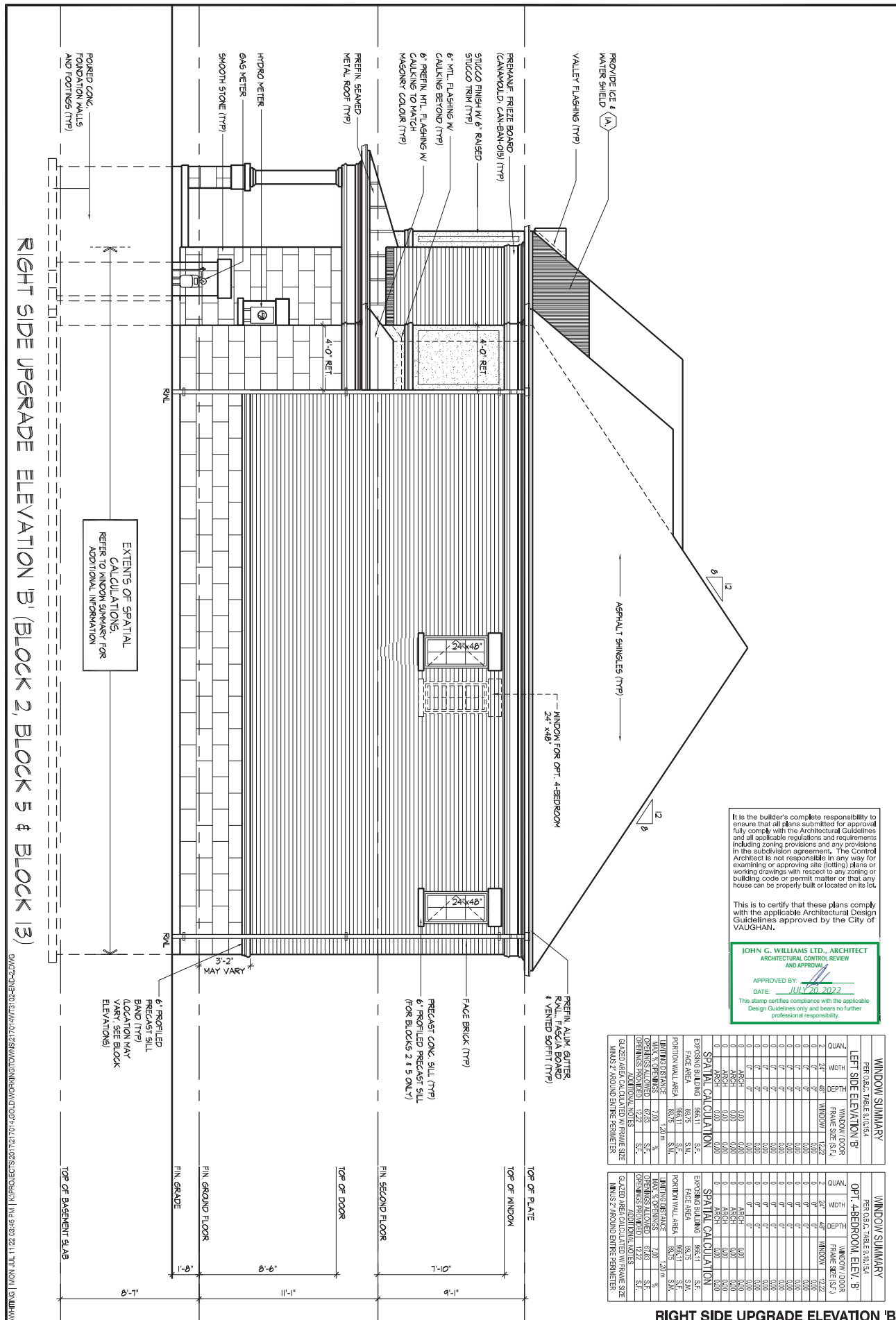


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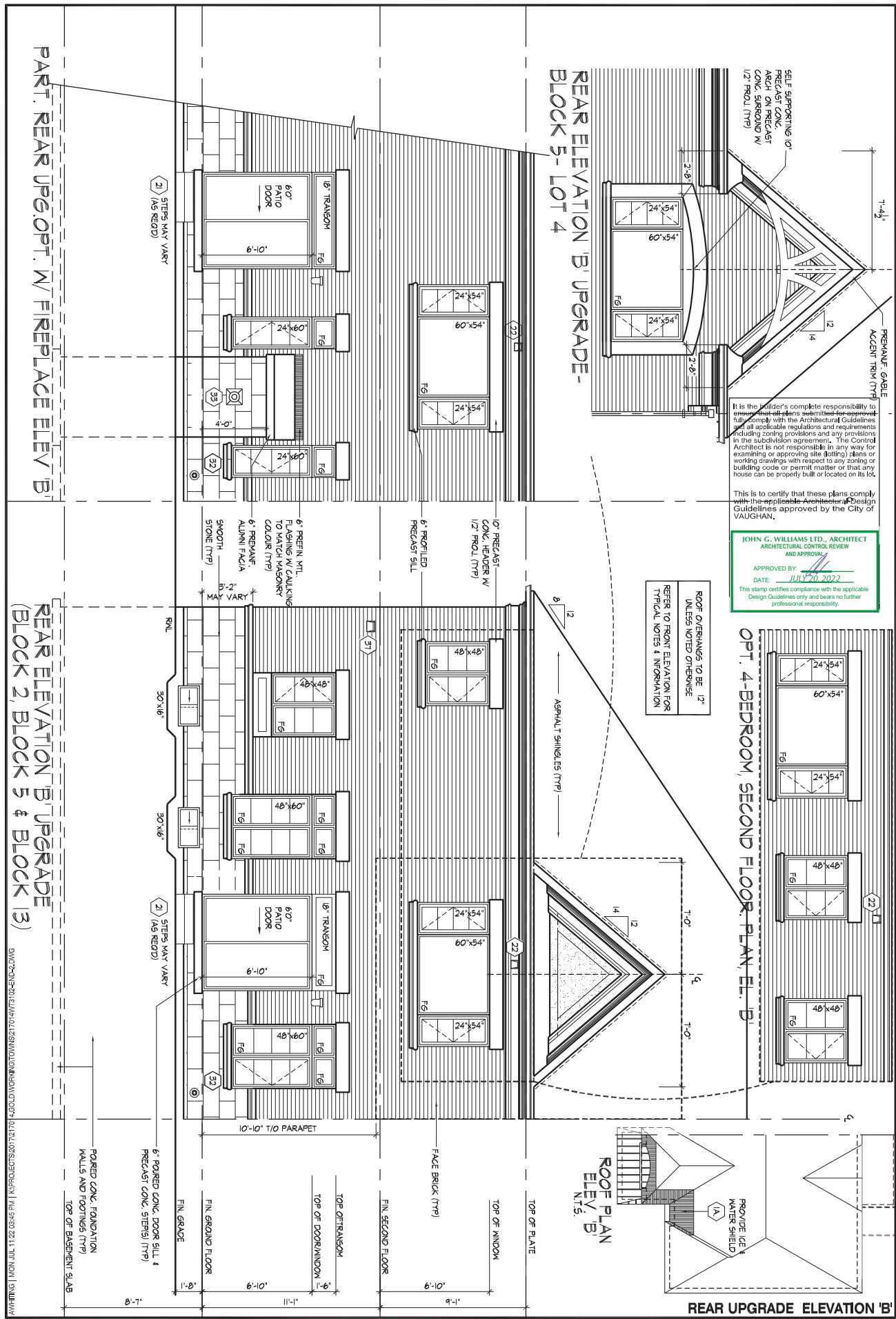
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UNLESS NOTED OTHERWISE
REFER TO FRONT ELEVATION FOR
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OPT. 4-BEDROOM, SECOND FLOOR PLAN, EL. B'

ROOF PLAN
ELEV. B'
N.T.S.

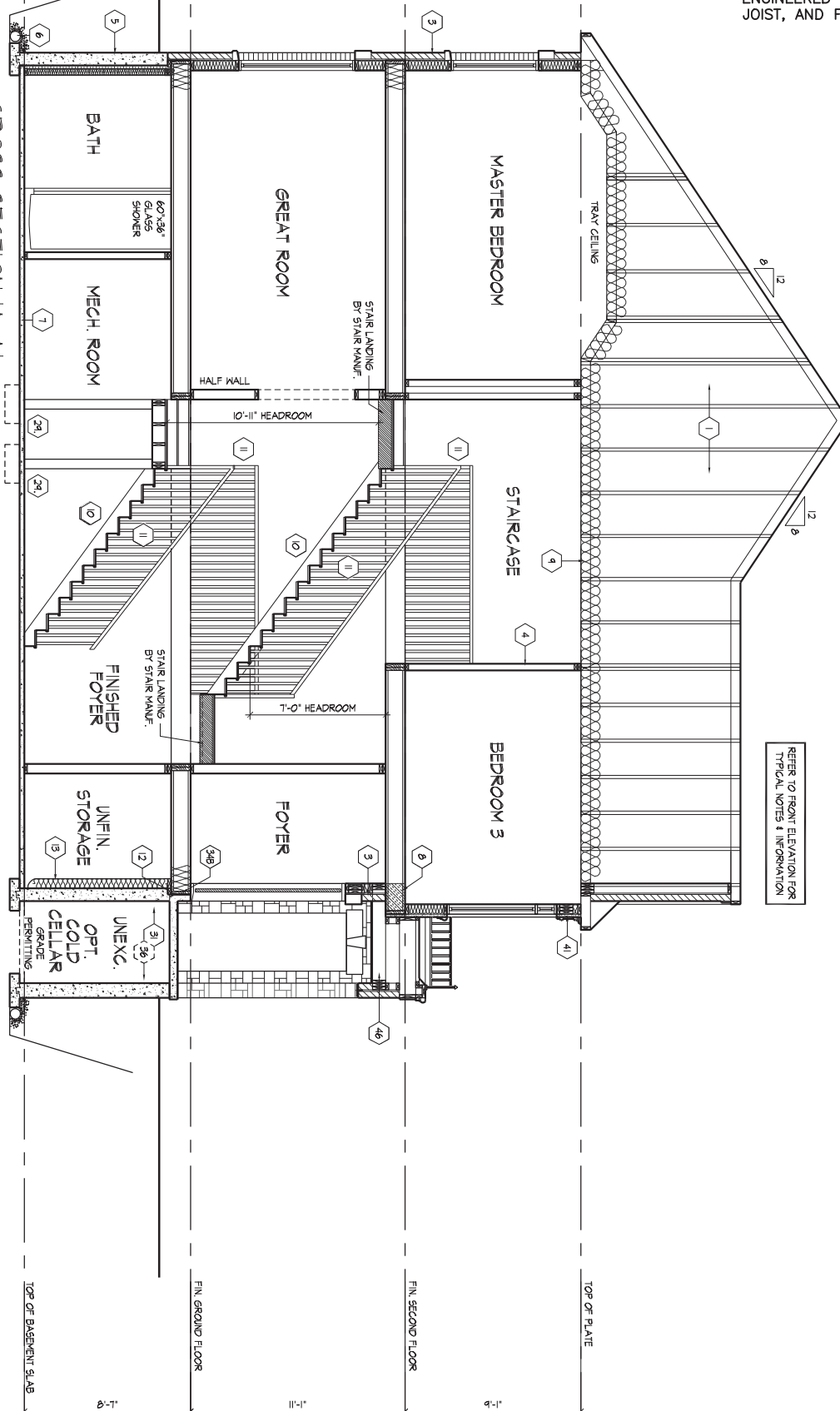
REAR UPGRADE ELEVATION B'



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CROSS SECTION 'A-A'



CROSS SECTION 'A-A'

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REFER TO SB-12 ENERGY EFFICIENCY DESIGN MATRIX ON THE TITLE PAGE FOR ALL VALUES AS REQUIRED PER 3.1.1., 3.1.2., 3.1.3. OF THE OBC.

- 20 GARAGE DOOR TO WEATHER** (9.10.16, 9.10.13.10, 9.10.13.15), GAS-PROOF DOOR AND FRAME. DOOR EQUIPPED WITH SELF CLOSING DEVICE AND WEATHER STRIPPING.

21 EXTERIOR AND GARAGE STEPS
PRECAST CONC. STEP OR WOOD STEP WHERE NOT EXPOSED TO WEATHER. MIN. 7/8" (20) THICK. 9" (14) C/S. FOR THE REQUIRED NUMBER OF STEPS REFER TO SITING AND GRADING DRAWINGS. EXTERIOR CONCRETE STAIRS WITH MORE THAN 2 RISERS AND 2 TREADS SHALL BE PROVIDED WITH FOUNDATION AS REQUIRED BY ARTICLE 9.8.9.2, OR SHALL BE CANTILEVERED AS PER SUBSECTION 9.8.10.

22 DRYER EXHAUST
CAPPED DRYER EXHAUST VENTED TO EXT., CONFORMING TO PART 6, OBC 9.32.

23 ATTIC ACCESS (9.19.2.1),
ATTIC ACCESS HATCH WITH MIN. AREA OF 0.32m² AND NO DIM. LESS THAN 21 1/2" (545) WITH WEATHER STRIPPING, HATCHWAYS TO THE ATTIC OR ROOF SPACE WILL BE FITTED WITH DOORS OR COVERS AND WILL BE INSULATED WITH MIN. R20 (R3.52) ((S8-12) 3.1.1.8.1).

24 FIREPLACE CHIMNEYS (9.21),
TOP OF FIREPLACE CHIMNEY SHALL BE 2'-11" (889) ABOVE THE HIGHEST POINT AT WHICH IT COMES IN CONTACT WITH THE ROOF AND 2'-0" (610) ABOVE THE ROOF SURFACE WITH A HORIZ. DISTANCE OF 10'-0" (3048) FROM THE CHIMNEY.

25 LINEN CLOSET
PROVIDE 4 SHELVES MIN. 1" (25) DEEP.

26 MECHANICAL VENTILATION (9.22.1.3),
MECHANICAL EXHAUST FAN, VENTED TO EXTERIOR, TO PROVIDE AT LEAST ONE AIR CHANGE PER HOUR. SEE GENERAL NOTE 2.3.

27 PARTY WALL BEARING (9.23.8)
12"x12"x8" (305x305x51.8) STEEL PLATE FOR STEEL BEAMS AND 12"x12"x12" (305x305x127) STEEL PLATE FOR WOOD BEAMS BEARING (MIN. 3'-12" (893) ON CONC. OR CONC. PARTY WALL) AND ANCHORED WITH 2"x4" (2-19) x 8" (203) LONG GALV. ANCHORS WITHIN SOLID BLOCK COURSE. LEVEL W/ NON-SHRINK GROUT. REFER TO NOTE S02 BEARING (SECTION 3.0) FOR WD. STUD PARTY WALL.

28 WOOD FRAMING IN CONTACT TO CONCRETE
WOOD BEARING WALLS, THE UNDERSIDE OF BUILD-UP WOOD POSTS AND SILLS SHALL BE WRAPPED WITH 2 mil POLY (F15) FOOTINGS SUPPORTING THE FOUNDATION WALL SHALL BE VENTED 6" (152) BELOW THE BEARING WALL AND/OR WOOD.

29 2-UP WOOD POST AND FOOTING (9.17.4.1, 9.15.3.7),
3'-0" (914) BUILD-UP WOOD POST (UNLESS OTHERWISE NOTED ON DRAWING) SHALL BE SHOE ANCHORED TO CONC. WITH 1/2" (12.7) & BOLT 2"x4x12" (610x16x308) CONC. FOOTING OR AS PROVIDED ON PLAN. REFER TO NOTE 30S

30 STEP FOOTINGS (9.15.3.9),
MIN. HORIZ. STEP = 2' 5/8" (660), MAX. VERT. STEP = 2' 5/8" (660).

31 CONC. PORCH SLAB (9.16.4),
MIN. 4" (100) CONCRETE SLAB ON GRADE ON 4" (100) COARSE GRANULAR FILL, REINFORCED WITH 6x6w2.9xw2.9 MESH PLACED NEAR MID-DEPTH OF SLAB. CONC. STRENGTH 32MPa (4640psi) WITH 5% AIR ENTRAINMENT ON COMPACTED SUB-GRADE.

32 FURNACE VENTING (9.32),
DIRECT VENT FURNACE TERMINAL MIN. 3'-0" (813) FROM GAS REGULATOR, MIN. 1' (305) ABOVE FINISH FLOOR, 1' (305) FROM GAS EXHAUST AND INTAKE VENTS, HWY INTAKE TO BE A MIN. OF 6" (153) FROM ALL EXHAUST TERMINALS. REFER TO GAS UTILIZATION CODE.

33 FIREPLACE VENTING (9.32.3),
DIRECT VENT GAS FIREPLACE VENT TO BE A MIN. 12" (305) FROM ANY OPENING AND ABOVE FIN. GRADE. REFER TO GAS UTILIZATION CODE.

34 FLOOR FRAMING (9.23.5, 9.23.9.4, 9.23.14),
T&G SUBFLOOR ON WOOD FLOOR JOISTS. FOR CERAMIC TILE APPLICATION SEE O.B.C. 9.30.6. ALL JOISTS WHERE REQUIRED TO BE BRIDGED WITH 2"x6" (50x76) CROSS BRIDGE WALL AND SHALL BE SEALED TO THE JOIST. ALL JOISTS TO BE STRAPPED WITH 1"x2" (19x64) @ 1'-11" (2108) O.C., UNLESS A PANEL TYPE CEILING FINISH IS APPLIED.

34A HEADER CONSTRUCTION
PROVIDE CONTINUOUS APPROVED AIR/WAPOUR BARRIER (HEADER WRAP) UNDER THE SILL PLATE, AROUND THE RIM BOARD AND UNDER THE BOTTOM PLATE. THE HEADER WRAP SHALL EXTEND 6" (152) BELOW THE JOIST OF FOUNDATION WALL AND SHALL BE SEALED TO THE CONCRETE FOUNDATION WALL. EXTEND HEADER WRAP 6" (152) UP THE INTERIOR SIDE OF THE STUD WALL AND OVERLAP WITH THE VAPOUR BARRIER AND SEAL THE JOINT. ALL EDGES/JOINTS MUST BE MECHANICALLY CLAMPED.

EXPOSED BUILDING FACE W/ LIMITING DISTANCE < 3'-11" (1.20m)
WALL ASSEMBLY CONTAINS INSULATION CONFORMING TO CANULC-5702 & HAVING A MINIMUM NET LOSS OF HEAT COEFFICIENT OF 6x11" (2108) O.C. MAX. ALL GYPSUM WALLBOARD INTERIOR FINISH. EXTERIOR CLADDING MUST BE NON-COMBUSTIBLE WHEN LIMITING DISTANCE IS 23'58" (0.60m) OR LESS. WALL ASSEMBLY REQUIRED TO HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN 45 MIN. CONFORMANCE OF 23'58" (0.60m) 10M DOWELS @ 23'58" (600) O.C. WITH 1" (25) SPEC. "X" AN OPENING IN AN EXPOSING BUILDING FACE NOT MORE THAN 20' (610) (130cm²) SHALL NOT BE CONSIDERED AN UNPROTECTED OPENING AS PER 9.1.6.6

36 COLD CEMENT PORCH SLAB (9.39),
FOR MAX. R-2" (2500) PORCH DEPTH: R' (127) 32 MPa (4640psi) CONC. SLAB W/ 58% AIR ENTRAINMENT, REIN. WITH 10M BARS @ 7'78" (200) O.C. EACH DIRECTION. W/ 1" (25) CLEAR COVER FROM BOTTOM OF SLAB TO TOP OF LOWER LAYER OF BARS & SECOND LAYER OF BARS LAD DIRECTLY ON TOP OF LOWER LAYER OF REIN. OPPOSITE DIR. 2"x2" (50x50) 10M DOWELS @ 23'58" (600) O.C. ANCHORED IN PERMETER FDN. WALLS. SLOPE SLAB 1% FROM DOOR.

RANGE HOODS AND RANGE-TOP FANS
COOKING APPLIANCE EXHAUST FANS VENTED TO EXTERIOR MUST CONFORM TO OBC 9.10.22, 9.32.39, 9.32.3.10.

- 38** **CONVENTIONAL ROOF FRAMING** (9.23.13, 9.23.15.)
2"x6" (38x140) RAFTERS @ 16" (406) O.C., 2"x8" (38x184) RIDGE BOARD,
2"x4" (38x89) COLLAR TIES AT MID-SPAN, CEILING JOISTS TO BE 2"x4" (38x89)
@ 16" (406) O.C. FOR MAX. 9'-3" (2819) SPAN & 2"x6" (38x140) @ 16" (406)
O.C. FOR MAX. SPAN 14'-7" (4453). RAFTERS FOR BUILT UP ROOF OVER
PRE-ENGINEERED ROOF TRUSSES AND OR CONVENTIONAL FRAMING TO
BE 2"x4" (38x89) @ 24" (610) O.C., UNLESS OTHERWISE SPECIFIED,
(2x4,5)

- 16 **STEEL BEAM BEARING AT FOUNDATION WALL** (2.23.8.1, 1)
BEAM POCKET OR 8"x4" (200MM) POURED CONC. INB WALLS MIN. BEARING 3" (76) CONC. INB WALLS TO HAVE EXTENDED FOOTINGS
- 17 **WOOD STRAPPING AT STEEL BEAMS** (2.24.3.4, 3.3, 9.2.9.3, 1)
1"x3" (19x64) CONTIN. WOOD STRAPPING BOTH SIDES OF STEEL BEAM.
- 18 **GARAGE SLAB** (9.16, 9.3.5)
4" (103) 32MPS (#40SIPS) CONC. SLAB WITH 5% AIR ENTRAINMENT ON OPT. 4" (103) COARSE GRANULAR FILL WITH COMPACT SUB-BASE OR COMPACTED NATIVE FILL. SLOPE TO FRONT @ 1% MIN.
- 19 **GARAGE TO HOUSE WALLS/CEILING** (9.10.3.16)
1/2" (12.7) GYPSUM BOARD ON WALL AND CEILING BETWEEN HOUSE AND GARAGE. PLUS REQUIRED INSULATION IN WALLS AND SPRAY FOAM FOR CEILINGS. TAPE AND SEAL ALL JOINTS GAS TIGHT. 9.10.17.10, CANULUC-S705.2)
- 19A **GARAGE TO HOUSE WALLS/CEILING W/ CONTIN. INSULATION**
1/2" (12.7) GYPSUM BOARD ON CEILING AND ON WALLS INSTALLED OVER EXTERIOR TYPE RIGID INSULATION (JOINTS UNTAPED) MECHANICALLY FASTENED AS PER MANUFACTURERS SPECIFICATIONS ON 3/8" EXTERIOR BRASS SMOOTH RODS THROUGH STUDS BETWEEN HOUSE AND GARAGE. PLUS REQUIRED INSULATION IN WALLS & SPRAY FOAM FOR CEILINGS. TAPE AND SEAL ALL JOINTS GAS TIGHT. 9.10.10.16, 9.10.17.10, CANULUC-S705.2)

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100 COMMERCE VALLEY Dr. W.
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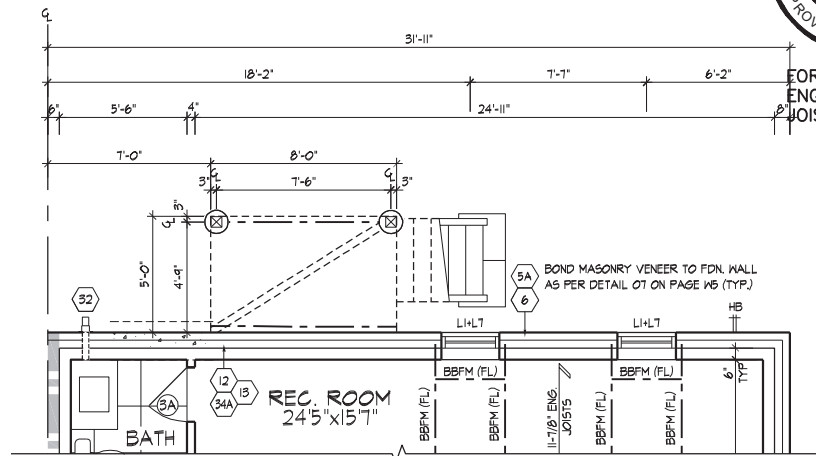
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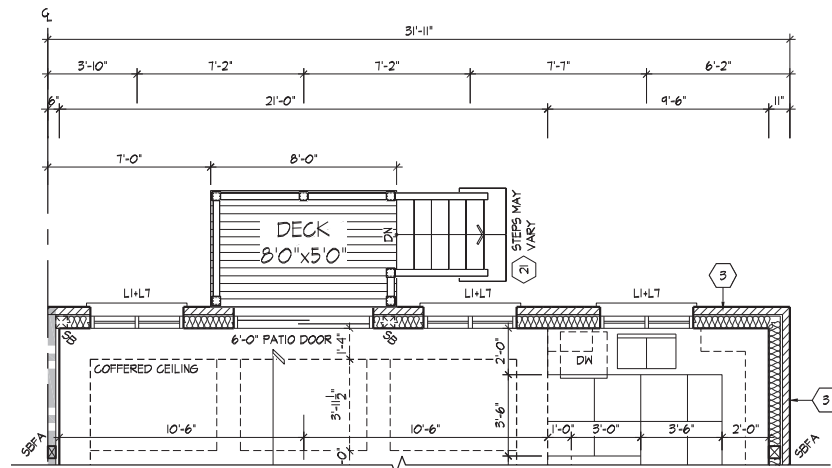
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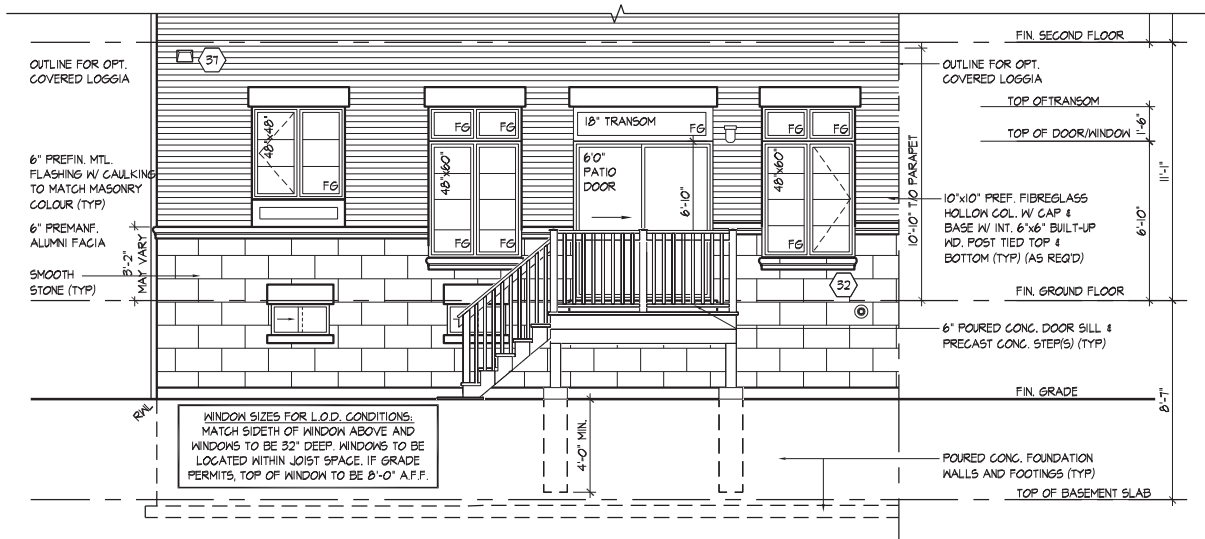
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PART. UPGRADE BASEMENT PLAN - L.O.B. CONDITION



PART. UPGRADE GROUND FLOOR PLAN - L.O.B. CONDITION



PART. UPGRADE REAR ELEVATION - L.O.B. CONDITION

REFER TO FRONT ELEVATION & STANDARD
REAR FOR TYPICAL NOTES & INFO.

L.O.D. CONDITION

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