



FRONT ELEVATION 'B'



FLANKAGE ELEVATION 'B'

TYPE 'B' - 3101-TYPE 'B' - 3101-UPG. CORNER

SB-12 ENERGY EFFICIENCY DESIGN MATRIX

PRESCRIPTIVE COMPLIANCE		SB-12 (SECTION 3.1.1) TABLE 3.1.1.2.A	
PACKAGE A1		SPACE HEATING FUEL	
		<input checked="" type="checkbox"/> GAS	<input type="checkbox"/> OIL
		<input type="checkbox"/> ELECTRIC	<input type="checkbox"/> PROPANE
		<input type="checkbox"/> EARTH	<input type="checkbox"/> SOLID FUEL
BUILDING COMPONENT	REQUIRED	PROPOSED	
INSULATION RSI (R) VALUE			
CEILING W/ ATTIC SPACE	10.56 (R60)	10.56 (R60)	
CEILING W/O ATTIC SPACE	5.46 (R31)	5.46 (R31)	
EXPOSED FLOOR	5.46 (R31)	5.46 (R31)	
WALLS ABOVE GRADE	3.87 (R22)	3.87 (R22)	
BASEMENT WALLS	3.52 ci (R20 ci) *	3.52 ci (R20 ci) *	
* PROPOSED VALUES MAY BE SUBSTITUTED W/ 2.11+1.76ci (R12+R10ci)			
BELOW GRADE SLAB ENTIRE SURFACE > 600mm BELOW GRADE	-	-	
EDGE OF BELOW GRADE SLAB ≤ 600mm BELOW GRADE	1.76 (R10)	1.76 (R10)	
HEATED SLAB OR SLAB ≤ 600mm BELOW GRADE	1.76 (R10)	1.76 (R10)	
WINDOWS & DOORS			
WINDOWS/SLIDING GLASS DOORS (MAX U-VALUE)	1.6	1.6	
SKYLIGHTS (MAX. U-VALUE)	2.8	2.8	
APPLIANCE EFFICIENCY			
SPACE HEATING EQUIP. (AFUE%)	96%	96%	
HRV EFFICIENCY (%)	75%	75%	
DHW HEATER (EF)	0.8	0.8	

AREA CALCULATIONS				
	EL.'B' UPGEL.	'B' UPGEL.	'B' UPGEL.	'B' UPG
	CORNER	CNR W/ LOGGIA	CORNER W/ FP	W/ F.P.&LOGGIA
GROUND FLOOR AREA	743 sq. ft.	743 sq. ft.	750 sq. ft.	750 sq. ft.
SECOND FLOOR AREA	1185 sq. ft.	1185 sq. ft.	1185 sq. ft.	1185 sq. ft.
SUBTOTAL	1928 sq. ft.	1928 sq. ft.	1935 sq. ft.	1935 sq. ft.
DEDUCT ALL OPEN AREAS	52 sq. ft.	52 sq. ft.	52 sq. ft.	52 sq. ft.
TOTAL NET AREA	1876 sq. ft.	1876 sq. ft.	1883 sq. ft.	1883 sq. ft.
	(174.29 sq. m.)	(174.29 sq. m.)	(174.94 sq. m.)	(174.94 sq. m.)
FINISHED BASEMENT AREA	460 sq. ft.	460 sq. ft.	467 sq. ft.	467 sq. ft.
COVERAGE	1191 sq. ft.	1191 sq. ft.	1198 sq. ft.	1198 sq. ft.
W/OUT PORCH	(110.65 sq. m.)	(110.65 sq. m.)	(111.30 sq. m.)	(111.30 sq. m.)
COVERAGE	1261 sq. ft.	1261 sq. ft.	1268 sq. ft.	1268 sq. ft.
W/ PORCH	(117.15 sq. m.)	(117.15 sq. m.)	(117.80 sq. m.)	(117.80 sq. m.)
WINDOW / WALL AREA CALCULATIONS	EL.'B' UPG.	EL.'B' UPG.	EL.'B' UPG.	EL.'B' UPG.
	CORNER	CNR W/ LOGGIA	CORNER W/ FP	W/FP&LOGGIA
GROSS WALL AREA	3105.1 sq. ft.	3105.1 sq. ft.	3105.1 sq. ft.	3105.1 sq. ft.
	(288.47 sq. m.)	(288.47 sq. m.)	(288.47 sq. m.)	(288.47 sq. m.)
GROSS WINDOW AREA	376 sq. ft.	376 sq. ft.	343.4 sq. ft.	343.4 sq. ft.
(INCL. GLASS DOORS & SKYLIGHTS)	(34.93 sq. m.)	(34.93 sq. m.)	(31.90 sq. m.)	(31.90 sq. m.)
TOTAL WINDOW %	12.11 %	12.11 %	11.06 %	11.06 %

GOLDPARK
WORTH MORE™

PINE VALLEY
FOREVERGREEN

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND HEREIN THE REQUIREMENTS SET OUT IN THE CANTABRIDGE BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION

Allen Whiting

23177

REGISTRATION INFORMATION

HUNT DESIGN ASSOCIATES INC.

19695

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- 1 - TITLE PAGE
- 2 - BASEMENT PLAN, ELEV. 'B'
- 3 - GROUND FLOOR PLAN, ELEV. 'B'
- 4 - SECOND FLOOR PLAN, ELEV. 'B'
- 5 - PARTIAL FLOOR PLANS, ELEV. 'A' & 'B' W/ LOGGIA
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- 7 - PARTIAL PLANS - BLOCK 15, UNIT 5
- 8 - FRONT ELEVATION 'B'
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- 11 - REAR ELEVATION 'B' W/ LOGGIA
- 12 - CROSS SECTION 'A' - 'A'
- 13 - CONSTRUCTION NOTES
- 14 - CONSTRUCTION NOTES

**REFER TO
MARKUPS**

14.-	-	-
13.-	-	-
12.-	-	-
11.-	-	-
10.-	-	-
9.-	-	-
8. ISSUED FOR PERMIT RE-SUBMISSION	2022.07.11	AW
7. ADDED REDUCED PORCH PLANS FOR BLOCK 11(UNIT 3) & BLOCK 15(UNIT 5)	2022.07.06	AW
6. ADDED LOGGIA DRAWINGS	2022.06.06	NN
5. ISSUED FOR PERMIT	2022.02.18	WT
4. REVISED AS PER STRUCTURAL ENG. COMMENTS	2022.01.31	WT
3. REVISED AS PER STRUC. ENG. COMMENTS	2021.11.29	NEA
2. REVISED AS PER FLOOR & TRUSS MANUFAC. LAYOUT	2021.09.27	NEA
1. ISSUED FOR CLIENT REVIEW	2021.02.26	AW
REVISIONS		DATE (YYYY/MM/DD) BY

TITLE PAGE

GOLDPARK HOMES - 217014 TYPE 'B' - 3101-UPG. CORNER
PINE VALLEY TOWNS, VAUGHAN ON
REV.2022.07.11

Drawn By

JMc

Checked By

AW

Scale

3/16"=1'-0"

File Number

217014WT3101-END1.dwg

Page Number

1 of 14

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PARTIAL OPT. BASEMENT
PLAN, ELEV. 'B' COR
W/ GAS FIREPLACE ABOVE

DATE: JUL 26, 2022
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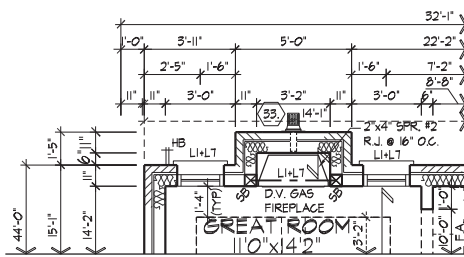
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BASEMENT PLAN, ELEV. 'B'

GOLDPARK HOMES - 217014 TYPE 'B' - 3101-UPG. CORNER
PINE VALLEY TOWNS. VAUGHAN ON REV.2022.07.11

Drawn By	Checked By	Scale	File Number	Page Number
JMc	AW	3/16"=1'-0"	217014WT3101-END1.dwg	2 of 14
8966 Woodbine Ave. Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326				



PARTIAL OPT. GROUND FLOOR PLAN, ELEV. 'B' CORNER W/ GAS FIREPLACE



wsp

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THORNHILL, ONTARIO CANADA L3T 0A1
TEL: 1-855-852-4217 FAX: 1-855-852-0859 WWW.WSPGROUP.CA

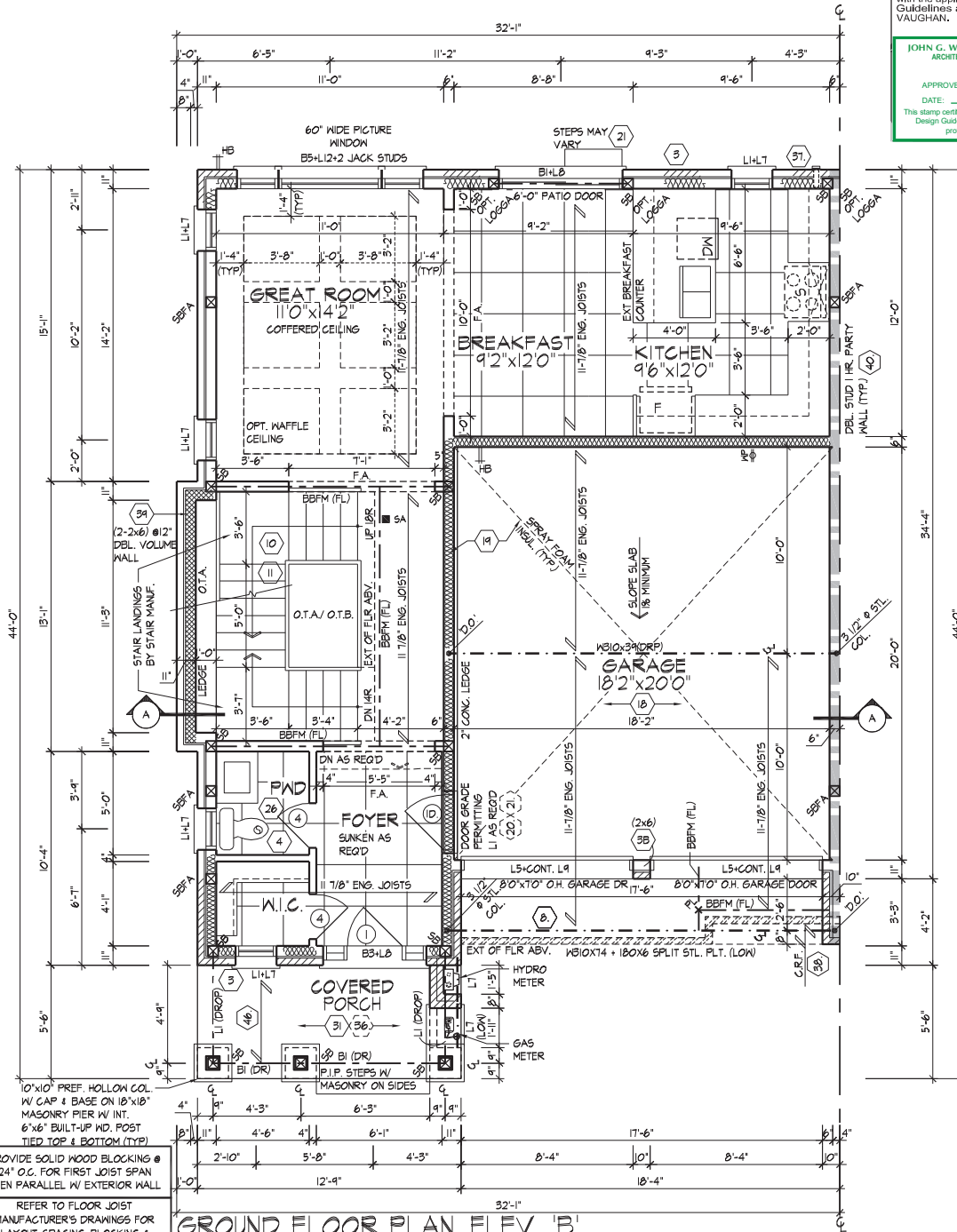
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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL

APPROVED BY:
DATE: JULY 20, 2022

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GROUND FLOOR PLAN, ELEV. 'B'

PROVIDE SOLID WOOD BLOCKING @ 24" O.C. FOR FIRST JOIST SPAN WHEN PARALLEL W/ EXTERIOR WALL

REFER TO FLOOR JOIST MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, BLOCKING & STRAPPING REQUIREMENTS, INSTALLATION DETAILS AND HANGER SIZES, & SUBFLOOR THICKNESS

SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

GROUND FLOOR PLAN, ELEV. 'B'

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.
QUALIFICATION INFORMATION
Allan Whiting
23177
B.C.N.
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19695

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GOLDPARK HOMES - 217014 TYPE 'B' - 3101-UPG, CORNER PINE VALLEY TOWNS, VAUGHAN ON

Drawn By: JMC
Checked By: AW
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Rev Number: 217014WT3101-END1.dwg

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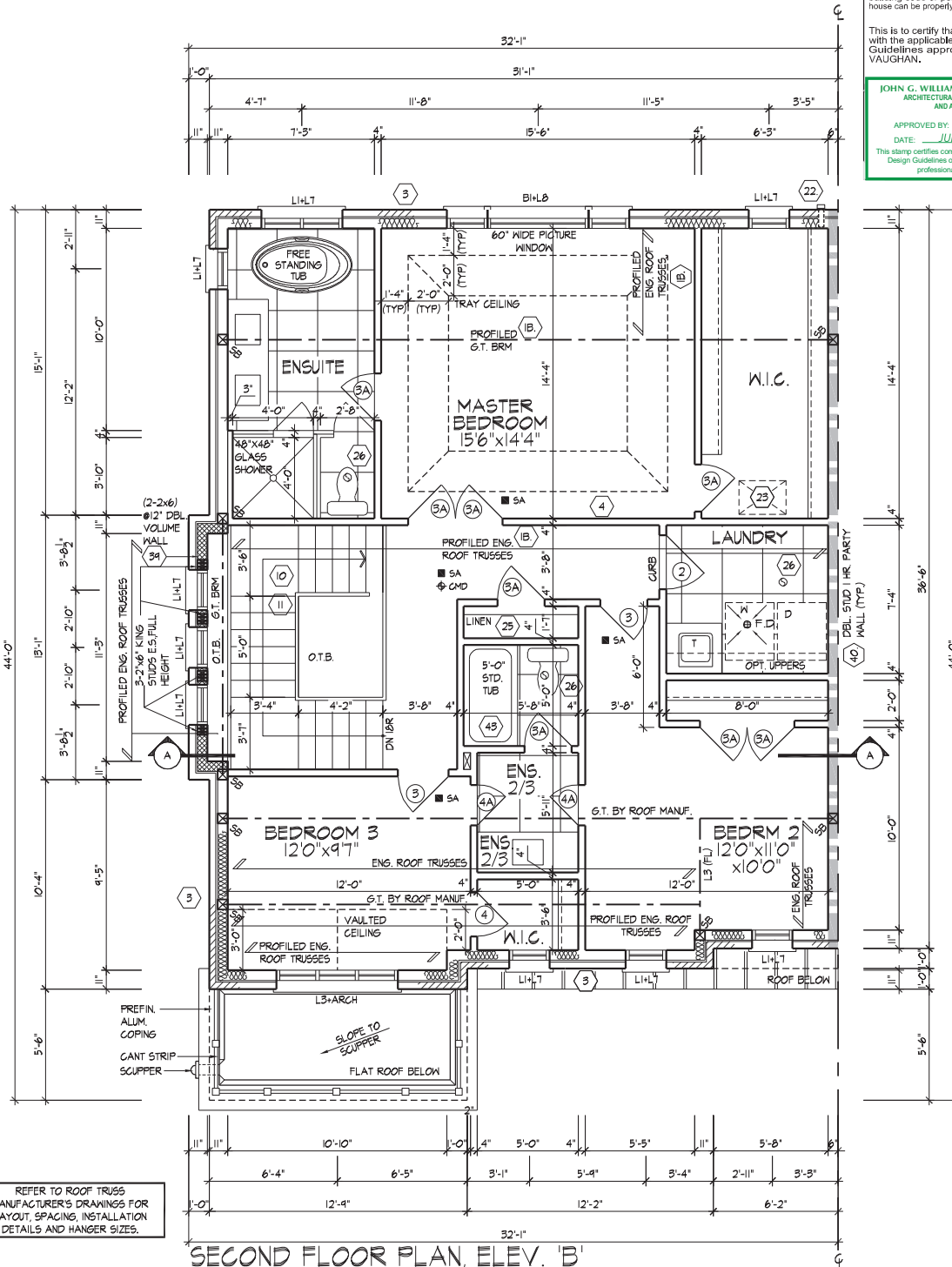
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AND APPROVAL

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REFER TO ROOF TRUSS
MANUFACTURER'S DRAWINGS FOR
LAYOUT, SPACING, INSTALLATION
DETAILS AND HANGER SIZES.

SECOND FLOOR PLAN, ELEV. 'B'

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QUALIFICATION INFORMATION
Allen Whiting 23177
TIME
REISTRATION INFORMATION
HUNT DESIGN ASSOCIATES INC. 19695

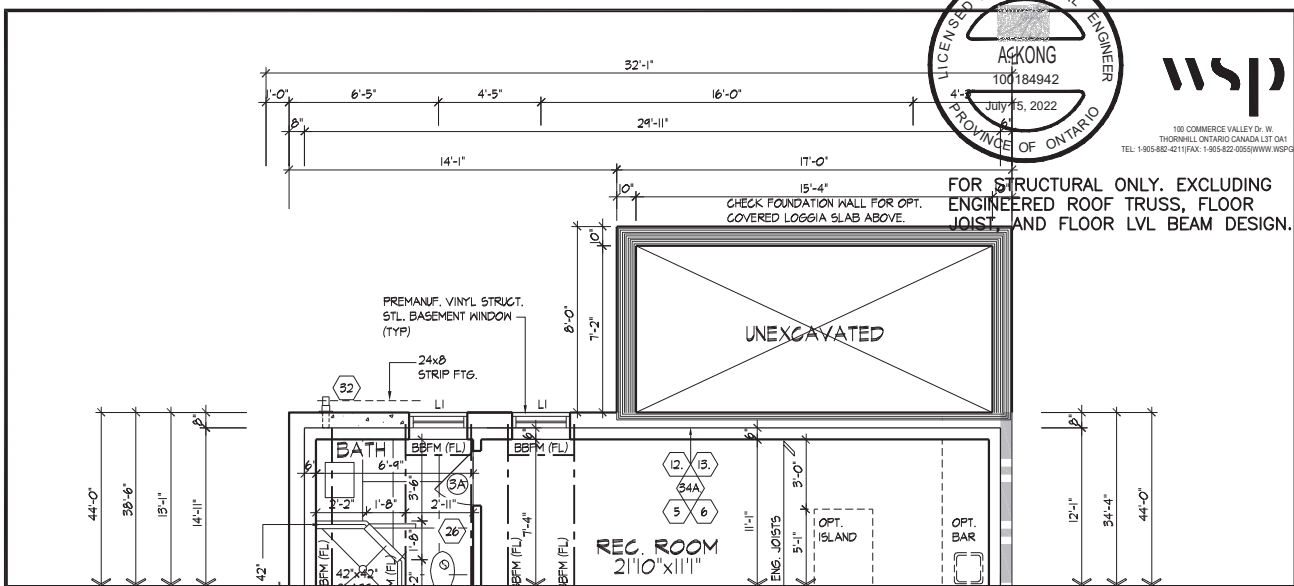
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GOLDPARK HOMES - 217014 TYPE 'B' - 3101-UPG, CORNER
PINE VALLEY TOWNS, VAUGHAN ON
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217014WT3101-END1.dwg 4 of 14

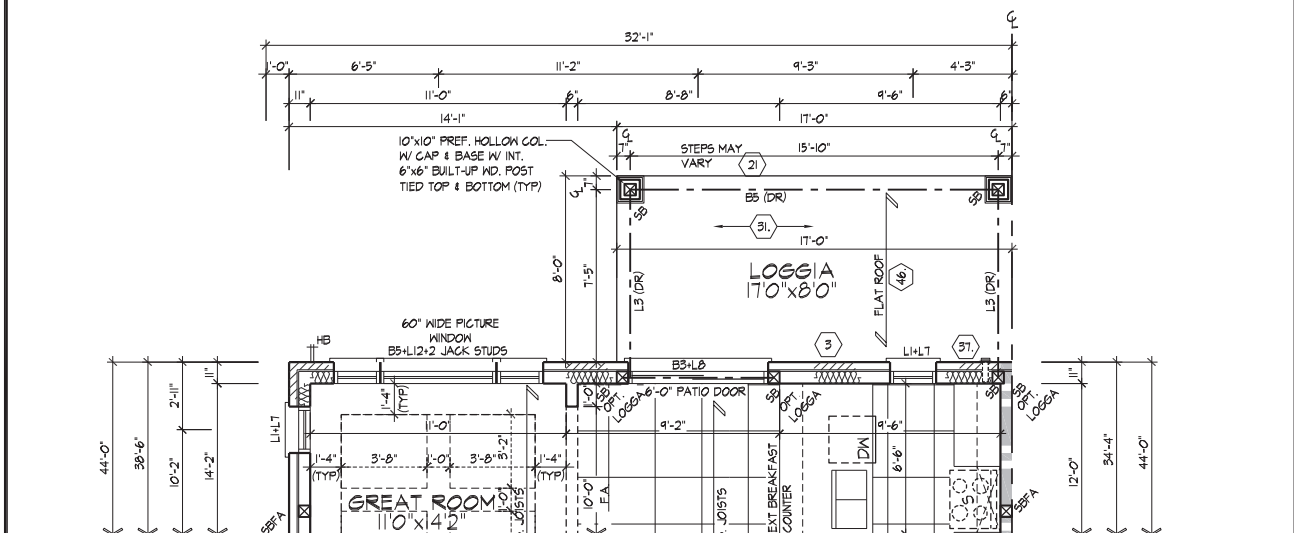
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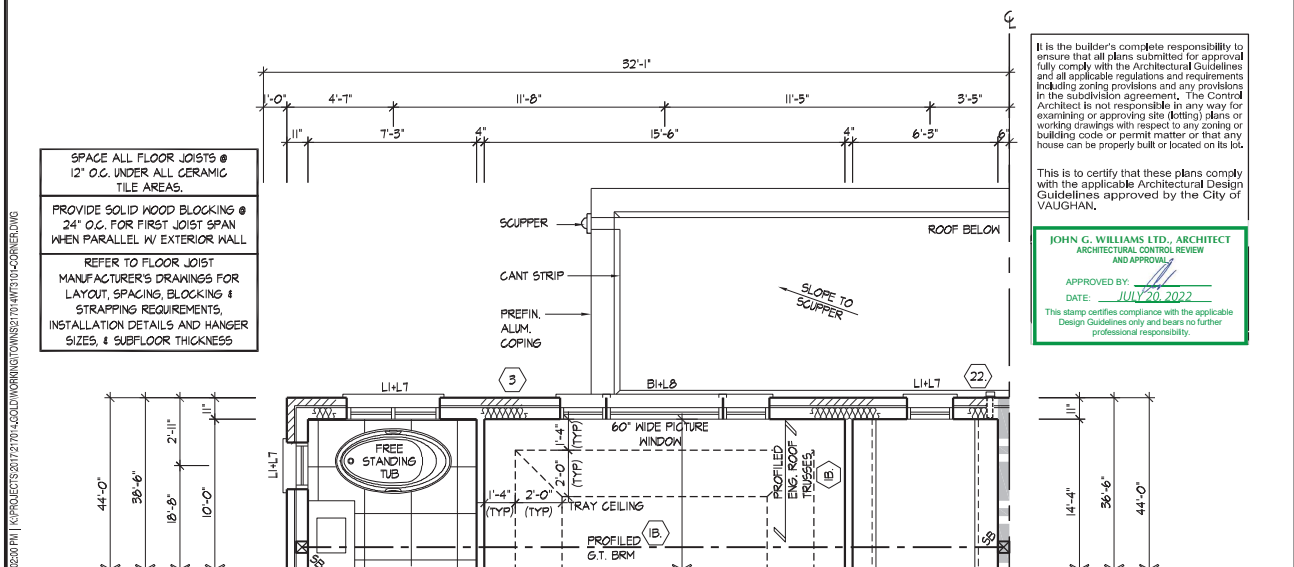
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TEL: 1-855-852-4217 FAX: 1-855-852-0355 WWW.WSPGROUP.CA



BASEMENT PLAN, ELEV. 'A' & 'B' W/ LOGGIA



GROUND FLOOR PLAN, ELEV. 'A' & 'B' W/ LOGGIA



SECOND FLOOR PLAN, ELEV. 'A' & 'B' W/ LOGGIA

SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

PROVIDE SOLID WOOD BLOCKING @ 24" O.C. FOR FIRST JOIST SPAN WHEN PARALLEL W/ EXTERIOR WALL.

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ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: [Signature]
DATE: JULY 20, 2022

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PARTIAL FLOOR PLANS, ELEV. 'A' & 'B' W/ LOGGIA

GOLDPARK HOMES - 217014 TYPE 'B' - 3101-UPG, CORNER
PINE VALLEY TOWNS, VAUGHAN ON

REV.2022.07.11

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QUALIFICATION INFORMATION
Allen Whiting
23177
B.C.N.

TIME
REGISTRATION INFORMATION
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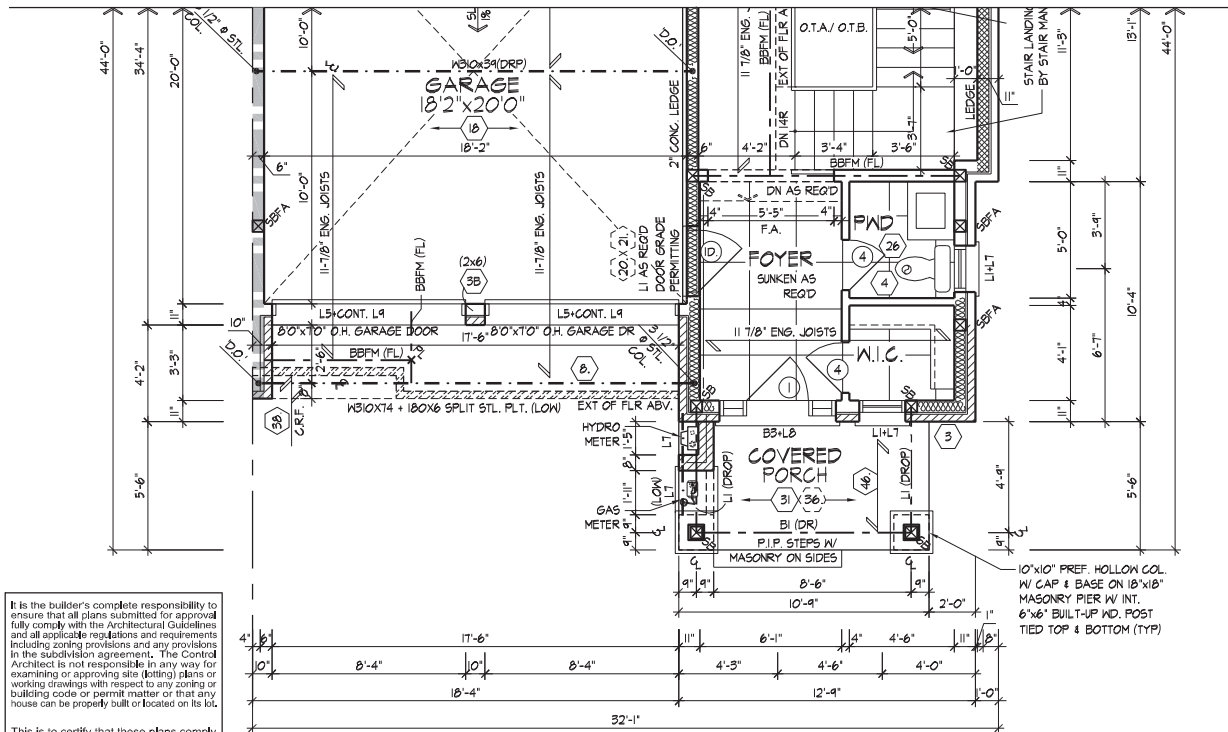
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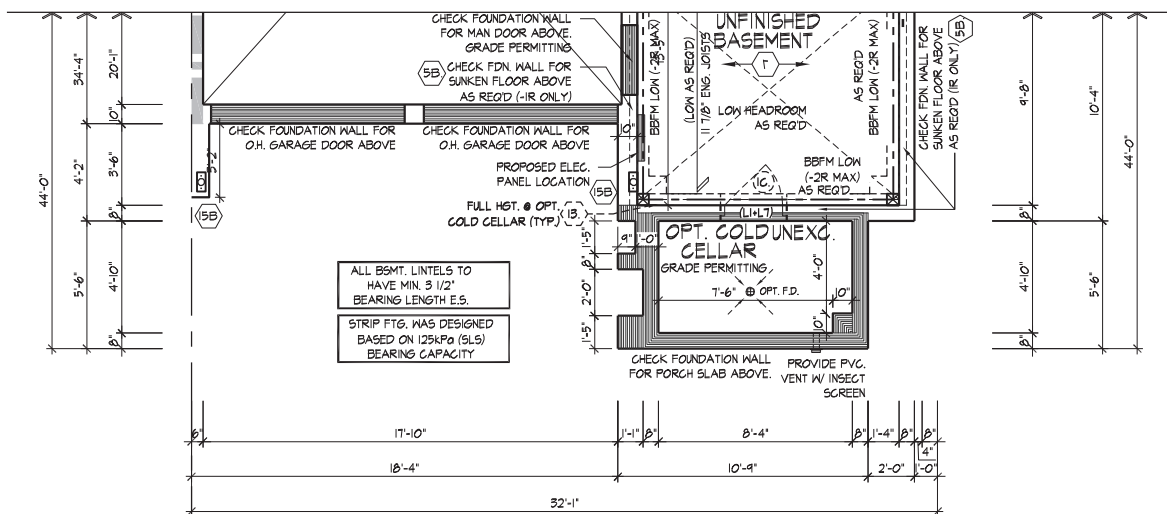
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PARTIAL GROUND FLOOR PLAN, EL. 'B' (REV.) - BLOCK 15, UNIT 5



ALL BSMT. LINTELS TO HAVE MIN. 3 1/2" BEARING LENGTH E.S.
STRIP FTG. WAS DESIGNED BASED ON 125kPa (5L5) BEARING CAPACITY

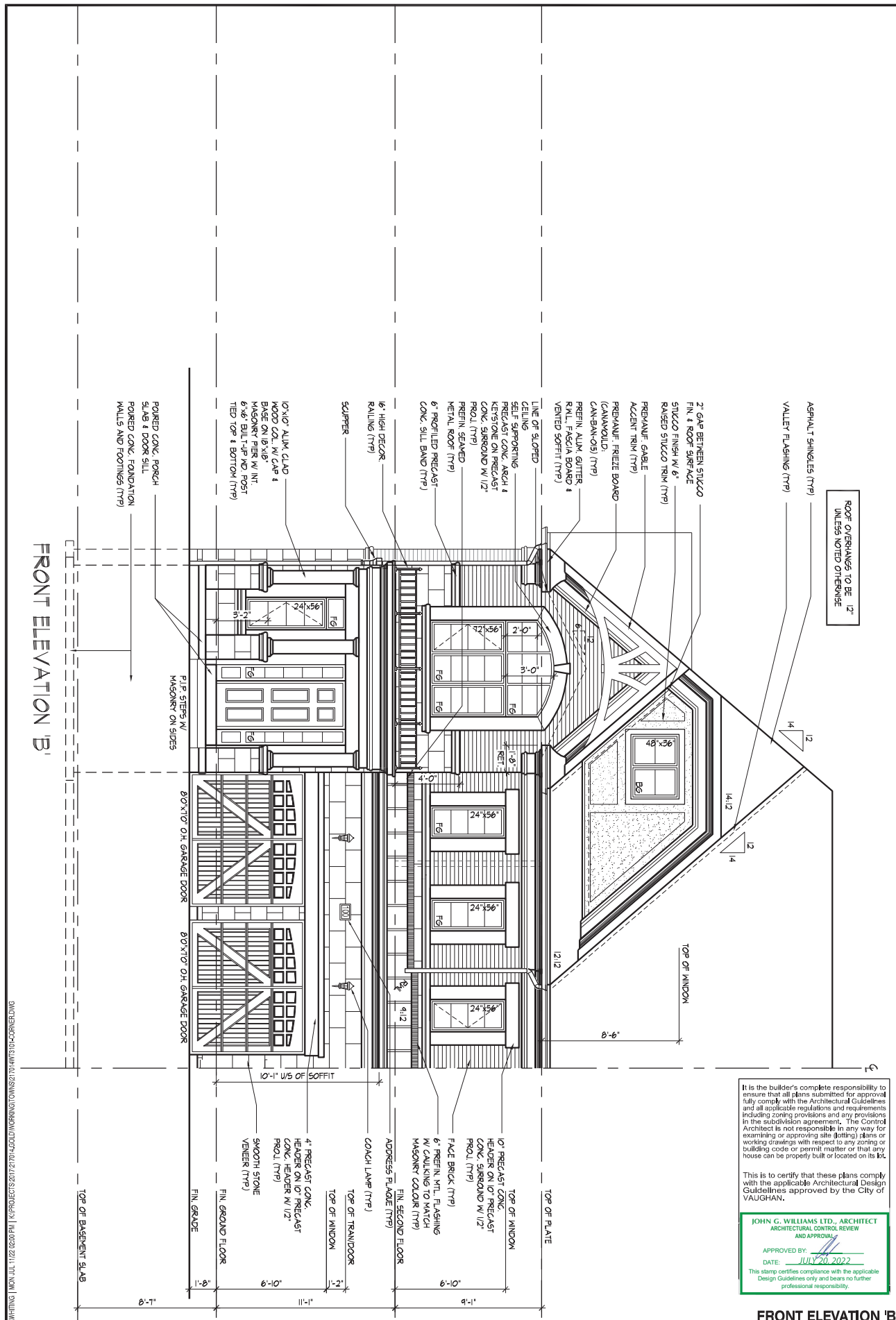
PARTIAL BASEMENT PLAN, EL. 'B' (REV.) - BLOCK 15, UNIT 5

PARTIAL PLANS - BLOCK 15, UNIT 5

GOLDPARK HOMES - 217014 TYPE 'B' - 3101-UPG. CORNER
PINE VALLEY TOWNS, VAUGHAN ON
REV. 2022.07.11

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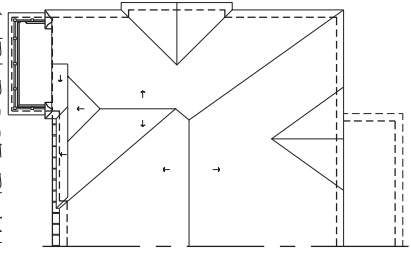
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ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: 
DATE: JULY 20, 2022

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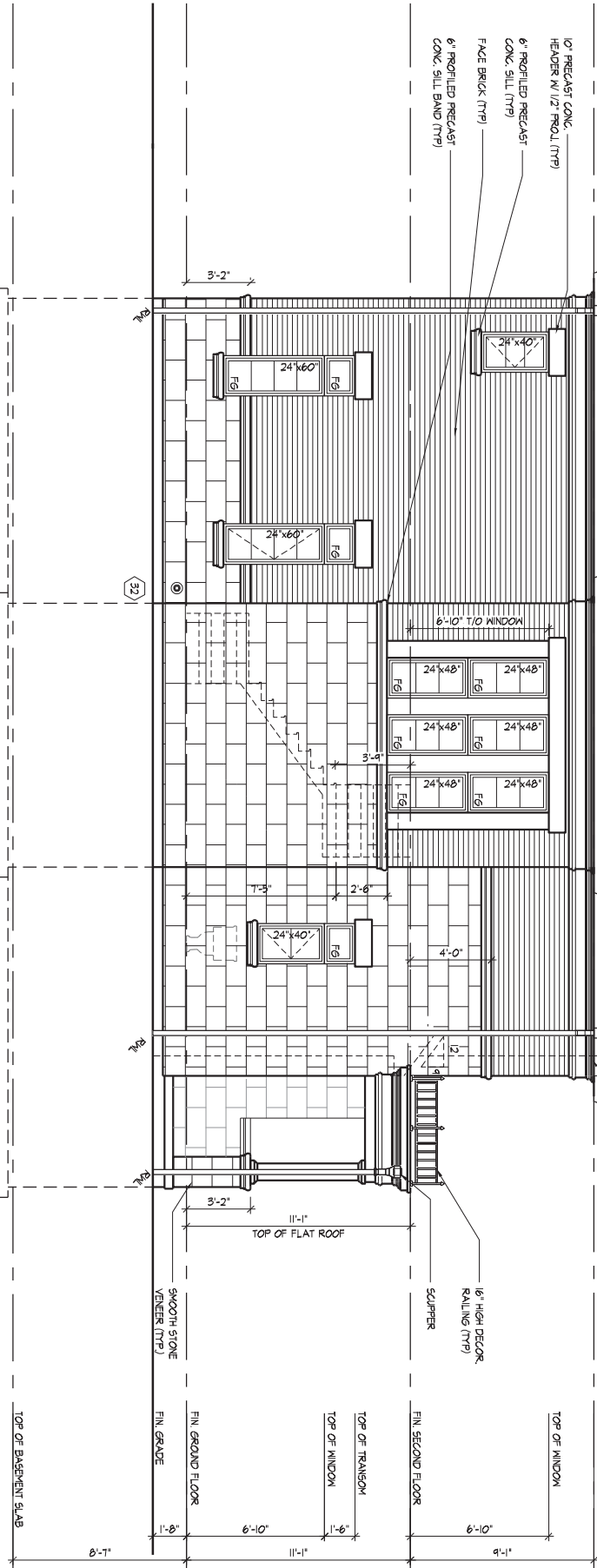
ELEV. 'B' ROOF PLAN UPGRADED CORNER N.T.S.



ROOF OVERHANGS TO BE 12"
UNLESS NOTED OTHERWISE

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

FLANKAGE ELEVATION 'B'



ASPHALT SHINGLES (TYP)
VALLEY FLASHING (TYP)
PREMANUF. GABLE
ACCENT TRIM (TYP)
6" GREEN MTL. FLASHING
W/ CAULKING TO MATCH
MASONRY COLOR (TYP)
PREMANUF. FREEZE BOARD
(CAN-BAN-05) (TYP)

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AND APPROVAL
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FLANKAGE ELEVATION 'B'

GOLDPARK HOMES - 217014 TYPE 'B' - 3101-UPG. CORNER
PINE VALLEY TOWNS, VAUGHAN ON
REV.2022.07.11

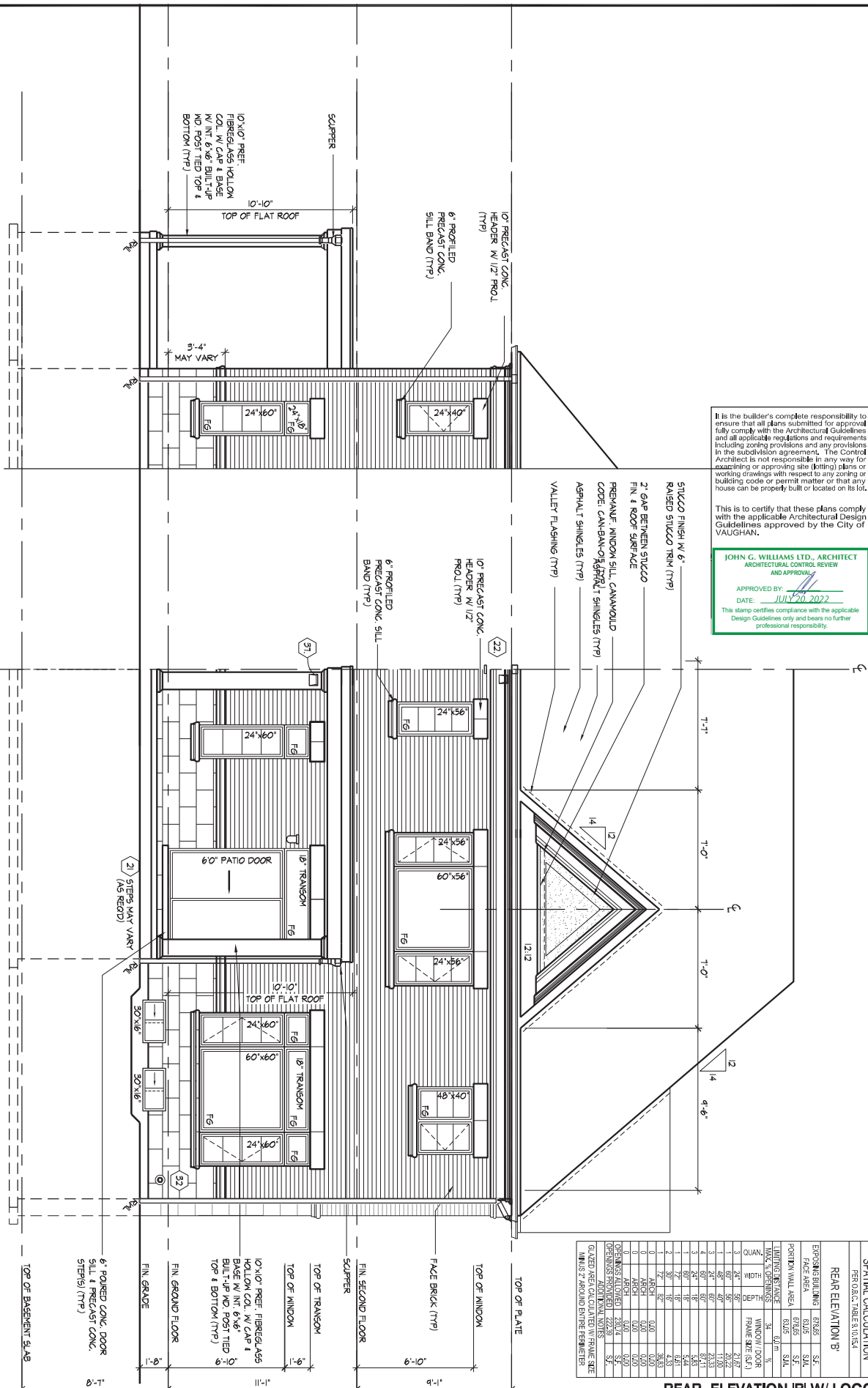
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QUALIFICATION INFORMATION:
Allen Whiting 23177
BCIN
TIME REESTIMATION INFORMATION: 19695
HUNT DESIGN ASSOCIATES INC.

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REAR ELEVATION 'B' W/ LOGGA

[illegible]

REAR ELEVATION 'B' W/ LOGGIA

GOLDPARK HOMES - 217014
PINE VALLEY TOWNS, VAUGHAN ON

TYPE 'B' - 3101-END 1
REV.2022.07.11

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QUALIFICATION INFORMATION

Allan Whiting 2317

NAME SIGNATURE BC

REGISTRATION INFORMATION

JOINT DESIGN ASSOCIATES INC 1060

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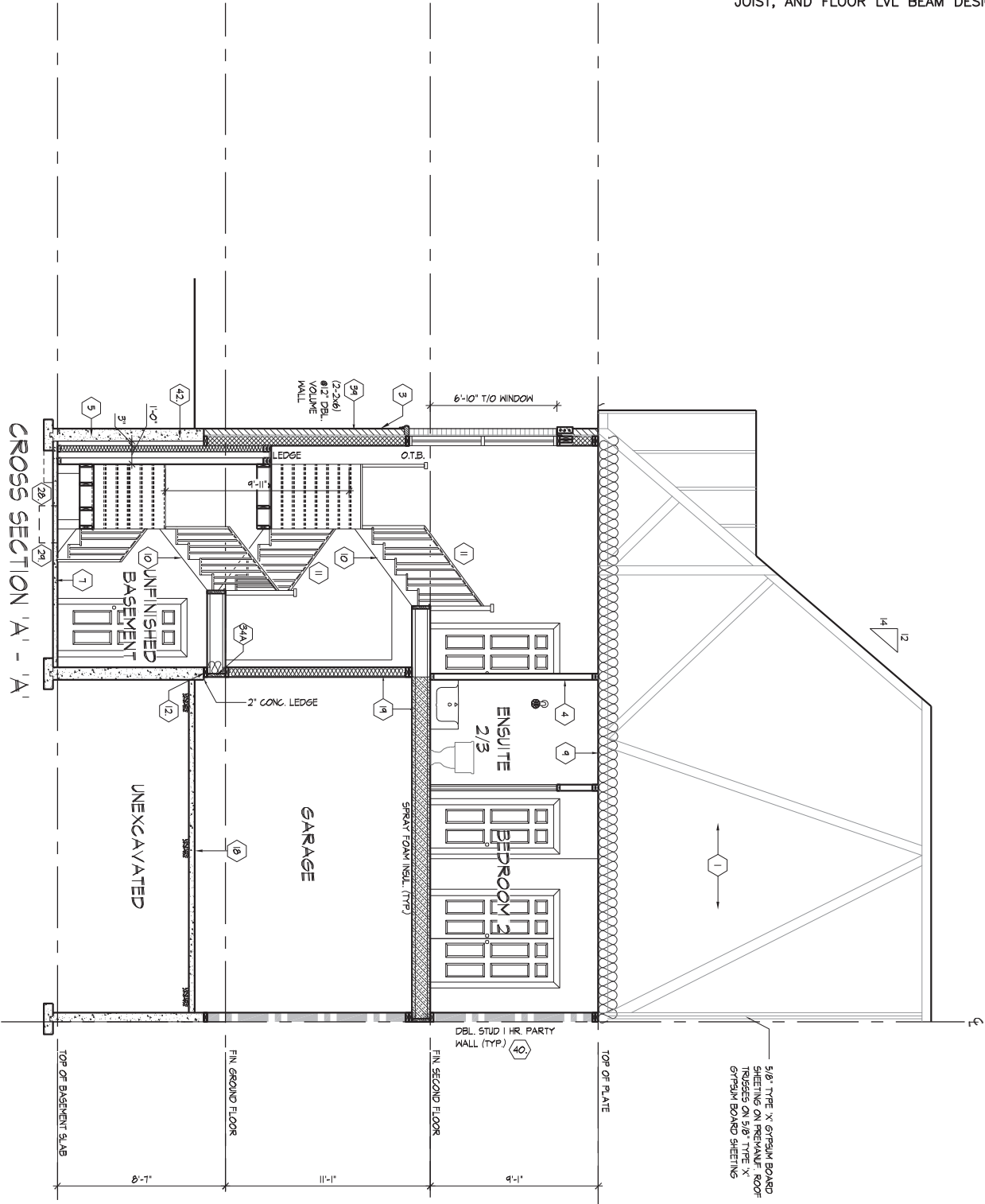
Drawn By	Checked By	Scale	File Number	Page Number
JMc	AW	3/16"=1'-0"	217014WT3101-END1.dwg	11 of 14
8066 Woodbine Ave. Markham, ON L3R 0J7 T 905 737 5133 F 905 737 7326				

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JOIST, AND FLOOR LVL BEAM DESIGN.



CROSS SECTION 'A' - 'A'

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CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION

Allen Whiting

DATE

REVISION INFORMATION

HUNT DESIGN ASSOCIATES INC.

23177

BCN

19895

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DESIGN ASSOCIATES INC.
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**GOLDPARK HOMES - 217014 TYPE 'B' - 3101-UPG, CORNER
PINE VALLEY TOWNS, VAUGHAN ON**

REV.2022.07.11

Drawn By

JMc

Checked By

AW

Scale

3/16"=1'-0"

File Number

217014WT3101-END1.dwg



Page Number

12 of 14

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REFER TO SB-12 ENERGY EFFICIENCY DESIGN MATRIX ON THE TITLE PAGE FOR ALL VALUES AS REQUIRED PER 3.1.1., 3.1.2., 3.1.3. OF THE OBC.

- STAMP
- 
- A. KONG
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PROVINCE OF ONTARIO
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- wsp**
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- FOR STRUCTURAL ONLY. EXCLUDING
ENGINEERED ROOF TRUSS, FLOOR
JOIST, AND FLOOR LVL BEAM DESIGN.**

cont. SECTION 1.0. CONSTRUCTION NOTES

TWO STOREY VOLUME SPACES (9.23.10.1, 9.23.11, 9.23.16.)			
WALL ASSEMBLY	WIND LOADS	<= 0.5 kPa (g50)	
		> 0.5 kPa (g50)	
EXTERIOR STUDS		SPACING MAX HEIGHT	SPACING MAX HEIGHT
BRICK	2"x6" (238x140) SPLY #2	12" (305) O.C. 18'-4" (5588)	8" (200) O.C. 18'-4" (5588)
SIDING	2"x6" (238x140) SPLY #2	16" (406) O.C. 18'-4" (5588)	12" (305) O.C. 18'-4" (5588)
BRICK	2"x6" (238x140) SPLY #2	12" (305) O.C. 21'-0" (6400)	12" (305) O.C. 21'-0" (6400)
SIDING	2"x6" (238x140) SPLY #2	16" (406) O.C. 21'-0" (6400)	16" (406) O.C. 21'-0" (6400)

** STUD SIZE & SPACING TO BE VERIFIED BY STRUCTURAL ENGINEER **

STUDS ARE TO BE CONTINUOUS, C/W 3/8" (9.5) THICK EXTERIOR PLYWOOD SHEATHING, PROVIDE SOLID WOOD BLOCK BETWEEN WOOD STUDS @ 4'-0" (1220) O.C. VERTICAL.

- FOR HORIZ. DISTANCES LESS THAN 9'-0" (2696) PROVIDE 2"x6" (238x140) STUDS @ 16" (406) O.C. WITH CONTIN. 2"x6" (238x140) TOP PLATE + 2"x6" (138x140) BOTTOM PLATE & MIN. OF 2"x6" (238x140) CONT. HEADER AT GROUND FLOOR CEILING LEVEL. TOP-NAILED & GLUED AT TOP, BOTTOM PLATES & HEADERS.

1 HR. PARTY WALL (CONC. BLOCK) (SB-3) WALL TYPE 9b&g & 9b1d			
1/2" (12.7) GYPSUM SHEATHING ON EACH SIDE ON 2"x2" (38x38) VERTICAL WD. STRAPPING @ 24" (610) O.C. ON 8" (200) CONC. BLOCK FILL STRAPPING CAVITY EACH SIDE WITH AT LEAST 90% OF ABSORPTIVE MATERIAL PROCESSED FROM ROCK, SLAG OR GLASS, TAPE, FILL & SAND ALL GYPSUM JOINTS, EXPOSED BLOCK MUST BE SEALED W/ COATS OF PAINT OR FURRED WITH 2"x2" (38x38) WD. STRAPPING & 1/2" (12.7) GYPSUM SHEATHINGS.			

1 HR. PARTY WALL (DOUBLE STUD) (SB-3) WALL TYPE W3c			
5/8" (15.9) TYPE 'M' GYPSUM SHEATHING ON EXTERIOR SIDE OF 2 ROWS OF 2"x4" (38x89) STUDS @ 16" (406) O.C. MIN. 1" (25.4) APART ON SEPARATE 2"x4" (38x89) SILL PLATES, (2"x6" (238x140) CONT. PLATE) FILL ONE SIDE OF STUD CAVITY WITH AT LEAST 90% OF ABSORPTIVE MATERIAL PROCESSED FROM ROCK, SLAG OR GLASS, TAPE FILL AND SAND ALL GYPSUM JOINTS.			

2 HR. FIREWALL (SB-3) WALL TYPE 9b&g & 9b1d			
1/2" (12.7) GYPSUM SHEATHING ON EACH SIDE ON 2"x2" (38x38) VERTICAL WOOD STRAPPING @ 24" (610) O.C. ON 8" (200) CONC. BLOCK FILL STRAPPING CAVITY EACH SIDE WITH AT LEAST 90% OF ABSORPTIVE MATERIAL PROCESSED FROM ROCK, SLAG OR GLASS, TAPE, FILL & SAND ALL GYPSUM JOINTS, AT UNFINISHED AREA, EXTERIOR FACE OF CONC. BLOCK TO BE SEALED W/ 2 COATS OF PAINT, GYPSUM SHEATHING TO BE ATTACHED TO CONC. BLOCK, (REFER TO DETAILS)			

STUCCO WALL CONSTRUCTION (2"x6")			
STUCCO FINISH CONFORMING TO O.B.C. SECTION 9.28, AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1 1/2" (38) E.I.F.S. (MINIMUM ON APPROVED DRAINAGE MAT ON 1/2" (12.7) DENSGLASS GOLD GYPSUM BOARD ON STUDS CONFORMING TO O.B.C. (9.23.10.1) & SECTION 1.1, INSULATION, APPROVED 6 MIL. POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH, (REFER TO 35 NOTE AS REQUIRED)			

STUCCO WALL CONSTRUCTION (2"x6") W/ CONTIN. INSUL.			
STUCCO FINISH CONFORMING TO O.B.C. SECTION 9.28, AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1 1/2" (38) E.I.F.S. (MINIMUM ON APPROVED DRAINAGE MAT ON 1/2" (12.7) DENSGLASS GOLD GYPSUM BRD. ON STUDS CONFORMING TO O.B.C. (9.23.10.1) & SECTION 1.1, INSULATION, APPROVED 6 MIL. POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH, (REFER TO 35 NOTE AS REQUIRED)			

STUCCO WALL @ GARAGE CONSOLE			
STUCCO FINISH CONFORMING TO O.B.C. SECTION 9.28, AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1 1/2" (38) E.I.F.S. (MINIMUM ON APPROVED DRAINAGE MAT ON 1/2" (12.7) DENSGLASS GOLD GYPSUM BRD. ON STUDS CONFORMING TO O.B.C. (9.23.10.1) & SECTION 1.1, INSULATION, APPROVED 6 MIL. POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH, (REFER TO 35 NOTE AS REQ.)			

UNSUPPORTED FOUNDATION WALLS (9.15.4.2)			
REINFORCING AT STAIRS AND SUNKEN FLOOR AREAS			
2-20M BARS IN TOP PORTION OF WALL (UP TO 8'-0" OPENING)			
2-20M BARS IN TOP PORTION OF WALL (8'-0" TO 12'-0" OPENING)			
4-20M BARS IN TOP PORTION OF WALL (12'-0" TO 15'-0" OPENING)			
- BARS STACKED VERTICALLY AT INTERIOR FACE OF WALL @ 6" O.C.			
REINFORCING AT BASEMENT WINDOWS			
2-15M HORIZ. REINFORCING ON THE INSIDE AND OUTSIDE FACE OF THE FOUNDATION WALL BELOW THE WIN. SILL, EXTEND BARS 2' (610) BEYOND THE OPENING, 2-15M VERTICAL REINFORCING ON THE INSIDE AND OUTSIDE FACE OF THE FOUNDATION WALL ON EACH SIDE OF THE WINDOW OPENING.			
- BARS TO HAVE MIN. # (25) CONC. COVER			
- BARS TO EXTEND 2'-0" (610) BEYOND BOTH SIDES OF OPENING			

STUD WALL REINFORCEMENT			
PROVIDE STUD WALL REINFORCEMENT IN MAIN BATHROOM CONFORMING TO O.B.C. (9.5.2.3.11) (REFER TO DETAILS)			

WINDOW WELLS			
WHERE A WINDOW OPENS INTO A WINDOW WELL, A CLEARANCE OF NOT LESS THAN 21 5/8" (550) SHALL BE PROVIDED IN FRONT OF THE WINDOW. EVERY WINDOW WELL SHALL BE DRAINED TO THE FOOTING LEVEL OR OTHER SUITABLE LOCATION WITH A 4" (100) WEEPING TILE C/W A FILTER CLOTH WRAP AND FILLED WITH CRUSHED STONE, (9.9.10.1.5), 9.14.6.3.)			

SLOPED CEILING CONSTRUCTION (SB-12) 3.1.1.8, 9.23.4.2)			
2"x12" (38x286) ROOF JOISTS @ 16" (406) O.C. MAX, (UNLESS OTHERWISE NOTED) W/ 2"x2" (38x89) PURLINS @ 16" (406) O.C. PERPENDICULAR TO ROOF JOIST, PURLINS NOT REQ. W/ SPRAY FOAM), W/ INSULATION BETWEEN JOIST, 6 MIL. POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH OR APPROVED EQ. INSULATION VALUE DIRECTLY ABOVE THE INNER SURFACE OF EXTERIOR WALLS SHALL NOT BE LESS THAN R20 (3.52 RSI).			

FLAT ROOF/BALCONY CONSTRUCTION			
WATERPROOFING MEMBRANE (9.26.11, 9.26.15, 9.26.16) FULLY ADHERED TO 5/8" (15.9) 18G EXTERIOR GRADE PLYWOOD SHEATHING ON 2"x2" (38x38) PURLINS ANGLED TOWARDS SCUPPER @ 2% MINIMUM LAID PERPENDICULAR TO 2"x6" (38x184) FLOOR JOISTS @ 16" (406) O.C. (UNLESS OTHERWISE NOTED), BUILT UP CURB TO BE 4" (100) MIN. ABOVE FINISHED BALCONY FLOOR, CONTINUOUS 1" TRIM DRIP EDGE TO BE PROVIDED ON OUTSIDE FACE OF CURB, SCUPPER DRAIN TO BE LOCATED 24" (610) MIN. AWAY FROM HOUSE, PRE-FINISHED ALUMINUM OR PANEL FLOOR UNDERSIDE OF SOFFIT (9.23.2.3), REMOVE CURB WHERE REQ.			

BALCONY CONDITION			
SEE FLAT ROOF/BALCONY CONSTRUCTION NOTE, INCLUDE 2"x4" (38x89) PT. DECKING W/ 1/4" (6.4) GAPS LAID FLAT PARALLEL TO JOISTS ON 2"x4" (38x89) FT. SLEEPERS @ 12" (305) O.C. LAID FLAT PARALLEL TO JOISTS			
BALCONY OVER HEATED SPACE CONDITION			
SEE FLAT ROOF/BALCONY CONSTRUCTION NOTE FOR ASSEMBLY, REFER TO PLANS FOR BALCONY JOIST SIZE & REFER TO HEX NOTE 9 FOR INSULATION AND INTERIOR FINISH			

BARREL VAULT CONSTRUCTION			
CANTILEVERED 2"x4" (38x89) SPACERS LAID FLAT ON 2"x10" (38x235) SPLY #2 ROOF JOIST NAILED TO BUILT-UP 3-3/4" (19) PLYWOOD HEADER PROFILED FOR BARREL, SPRAY FOAM INSULATION BETWEEN JOISTS W/ GYPSUM BOARD, INTERIOR FIN. (REFER TO DETAILS)			

REFER TO SB-12 ENERGY EFFICIENCY DESIGN MATRIX ON THE TITLE PAGE FOR ALL VALUES AS REQUIRED PER 3.1.1., 3.1.2., 3.1.3. OF THE OBC.

SECTION 1.1. WALL STUDS

- REFER TO THIS CHART FOR STUD SIZE & SPACING AS REQUIRED FOR EXTERIOR WALLS ONLY, REFER TO SITING & GRADING PLAN OF THIS UNIT FOR CONFIRMATION OF TOP OF FOUNDATION WALL AND ADDITIONAL INFORMATION.

- IF STUD WALL HEIGHT EXCEEDS MAX. UNSUPPORTED HEIGHT, WALL NEEDS TO BE REVERSED AND APPROVED BY ENGINEER.

MIN. STUD SIZE In (mm)	SIZE & SPACING OF STUDS: (OBC REFERENCE - TABLE 9.23.10.1)			
	SUPPORTED WALLS (EXTERIOR)			
ROOF W/ OR W/O ATTIC	ROOF W/ OR W/O ATTIC & 1 FLOOR ATTIC	ROOF W/ OR W/O ATTIC & 2 FLOOR ATTIC	ROOF W/ OR W/O ATTIC & 3 FLOOR ATTIC	
	MAX. STUD SPACING, IN (mm) (O.C.)			
	MAX. UNSUPPORTED HGT., 1-4m (m)			
2"x4" (38x89)	24" (610)	16" (405)	12" (305)	N/A
2"x6" (38x140)	9'-10" (3.0)	9'-10" (3.0)	9'-10" (3.0)	N/A
2"x6" (38x140)	-	24" (610)	16" (405)	12" (305)
2"x6" (38x140)	-	9'-10" (3.0)	11'-10" (3.6)	5'-11" (1.8)

SECTION 2.0. GENERAL NOTES

2.1. WINDOWS

1) EXCEPT WHERE A DOOR ON THE SAME FLOOR LEVEL AS THE BEDROOM PROVIDES DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL CONTAINING A BEDROOM IS TO HAVE AT LEAST ONE OUTSIDE WINDOW W/ MIN. 0.35m2 UNOBSTRUCTED OPEN PORTION W/ NO DIMENSION LESS THAN 1'-3/4" (380), CAPABLE OF MAINTAINING THE OPENING WITHOUT THE NEED FOR ADDITIONAL SUPPORT, CONFORMING TO 9.9.10.

2) WINDOW GUARDS: A GUARD OR A WINDOW WITH A MAXIMUM RESTRICTED OPENING WIDTH OF 4" (100) IS REQUIRED WHERE THE TOP OF THE WINDOW SILL IS LOCATED LESS THAN 1'-7" (480) ABOVE FIN. FLOOR AND THE DISTANCE FROM THE FINISHED FLOOR TO THE ADJACENT GRADE IS GREATER THAN 5'-11" (1800), (9.8.8.1).

3) WINDOWS IN EXIT STAIRWAYS THAT EXTEND TO LESS THAN 2'-11" (600) (3'-4" (1070) FOR ALL OTHER BUILDINGS) MUST BE PROTECTED BY GUARDS IN ACCORDANCE WITH NOTE #2 (ABOVE), OR THE WINDOW SHALL BE NON-OPERABLE AND DESIGNED TO WITHSTAND THE SPECIFIED LOADS FOR BALCONY GUARDS AS PROVIDED IN 4.1.5.15 OR 9.8.8.2

4) REFER TO TITLE PAGE FOR MAX. L-VALUE REQUIREMENTS

2.2. CEILING HEIGHTS

THE CEILING HEIGHTS OF ROOMS AND SPACES SHALL CONFORM TO TABLE 9.5.3.1.

ROOM OR SPACE	MINIMUM HEIGHTS
LIVING ROOM, DINING ROOM AND KITCHEN	7'-7" OVER 75% OF REQUIRED FLOOR AREA WITH A CLEAR HEIGHT OF 6'-11" AT ANY POINT
BEDROOM	7'-7" OVER 50% OF REQUIRED FLOOR AREA OR 6'-11" OVER ALL OF THE REQUIRED FLOOR AREA
BASEMENT	6'-11" OVER AT LEAST 75% OF THE BASEMENT AREA EXCEPT THAT UNDER BEAMS AND DUCTS THE CLEARANCE IS PERMITTED TO BE REDUCED TO 8'-0"
BATHROOM, LAUNDRY AREA ABOVE GRADE	6'-11" IN ANY AREA WHERE A PERSON WOULD NORMALLY BE STANDING
FINISHED ROOM NOT MENTIONED ABOVE	6'-11"
MEZZANINES	6'-11" ABOVE & BELOW FLOOR ASSEMBLY (9.5.3.2)
STORAGE GARAGE	6'-7" (9.5.3.3)

2.3. MECHANICAL / PLUMBING

1) MECHANICAL VENTILATION IS REQUIRED TO PROVIDE 0.7 AIR CHANGE PER HOUR IF NOT AIR CONDITIONED 1 PER HOUR IF AIR CONDITIONED AVERAGED OVER 24 HOURS, WHEN A VENTILATION FAN (PRINCIPAL EXHAUST) IS REQUIRED, CONFORM TO OBC 9.3.2.4, WHEN A HRV IS REQUIRED, CONFORM TO 9.3.2.3.1, REFER TO MECHANICAL DRAWINGS.

2) REFER TO HOT WATER TANK MANUFACTURER SPECS, CONFORM TO OBC 9.31.6.

3) REFER TO TITLE PAGE FOR SPACE HEATING EQUIPMENT, HRV AND DOMESTIC HOT WATER HEATER MINIMUM EFFICIENCIES.

4) DRAIN WATER HEAT RECOVERY UNIT (S) WILL BE INSTALLED CONFORMING TO THE REQUIREMENTS OF SB12 - 3.1.1.12, OF THE O.B.C.

2.4. LUMBER

1) ALL LUMBER SHALL BE SPRUCE No.2 GRADE OR BETTER, UNLESS NOTED OTHERWISE.

2) STUDS SHALL BE STUD GRADE SPRUCE, UNLESS NOTED OTHERWISE.

3) LUMBER EXPOSED TO THE EXTERIOR TO BE SPRUCE No. 2 GRADE PRESSURE TREATED OR CEDAR, UNLESS NOTED OTHERWISE.

4) ALL LAMINATED VENEER LUMBER (LVL) BEAMS, GIRDER TRUSSES, AND METAL HANGER CONNECTIONS SUPPORTING ROOF FRAMING TO BE DESIGNED & CERTIFIED BY FLOOR AND ROOF TRUSS MANUFACTURER.

5) JOIST HANGERS: PROVIDE APPROVED METAL HANGERS FOR ALL JOISTS AND BUILT-UP WOOD MEMBERS INTERSECTING WITH L-FLASH BUILT-UP WOOD MEMBERS.

6) WOOD FRAMING NOT TREATED WITH A WOOD PRESERVATIVE IN CONTACT WITH CONCRETE, SHALL BE SEPARATED FROM THE CONC. BY AT LEAST 2 mil POLYETHYLENE FILM, No.50 (438u) ROOF ROOFING OR OTHER DAMPROOFING MATERIAL, EXCEPT WHERE THE WOOD MEMBER IS AT LEAST 8" (152) ABOVE THE GROUND.

2.5. STEEL (9.23.4.3)

1) STRUCTURAL STEEL SHALL CONFORM TO CAN/CSA-G40-21 GRADE 350W, HOLLOW STRUCT. SECTIONS SHALL CONFORM TO CAN/CSA-G40-21 GRADE 350W CLASS 'H'.

2) REINFORCING STEEL SHALL CONFORM TO CSA-G30-18M GRADE 400R.

2.6. FLAT ARCHES

1) FOR 8'-0" (2440) CEILINGS, FLAT ARCHES SHALL BE 6'-10" (2080) A.F.F.

2) FOR 9'-0" (2740) CEILINGS, FLAT ARCHES SHALL BE 7'-10" (2400) A.F.F.

3) FOR 10'-0" (3040) CEILINGS, FLAT ARCHES SHALL BE 8'-6" (2600) A.F.F.

2.7. ROOF OVERHANGS

1) ALL ROOF OVERHANGS SHALL BE 1'-0" (305), UNLESS NOTED OTHERWISE.

2.8. FLASHING (9.20.13, 9.26.4, 9.27.3)

1) FLASHING MATERIALS & INSTALLATION SHALL CONFORM TO O.B.C.

2.9. GRADING

1) THE BUILDING SHALL BE LOCATED OR THE BUILDING SITE GRADED SO THE WATER WILL NOT ACCUMULATE AT OR NEAR THE BUILDING AND WILL NOT ADVERSELY AFFECT ADJACENT PROPERTIES, CONFORM TO 9.14.6.

2.10. ULC SPECIFIED ASSEMBLIES

ALL REQUIRED INDIVIDUAL COMPONENTS THAT FORM PART OF ANY ULC LISTED ASSEMBLY, SPECIFIED WITHIN THESE DRAWINGS, CANNOT BE ALTERED OR SUBSTITUTED FOR ANY OTHER MATERIALS OR SPECIFIED MANUFACTURER THAT IS IDENTIFIED IN THAT SPECIFIED ULC LISTING. THERE SHALL BE NO DEVIATIONS UNDER ANY CIRCUMSTANCES IN ANY ULC LISTED ASSEMBLY IDENTIFIED IN THESE DRAWINGS.

SECTION 3.0. LEGEND

3.1. WOOD LUMBERS AND BUILT-UP MATERIALS
(DIVISION B PART 9, TABLES A8 TO A10 AND A12, A15 & A16)
FORMING PART OF SENTENCE 9.23.4.2.(3), 9.23.4.2.(4), 9.23.12.3.(1), (3), 9.23.13.2.(2), 9.37.3.1.(1)

2"x6" SPLY #2	2"x10" SPLY #2	2"x12" SPLY #2
L1 2 2"x6" (238x184)	L3 2 2"x10" (238x235)	L5 2 2"x12" (238x286)
B1 3 2"x6" (38x184)	B3 3 2"x10" (38x235)	B5 3 2"x12" (38x286)
B2 4 2"x6" (438x184)	B4 4 2"x10" (438x235)	B6 4 2"x12" (438x286)
B7 5 2"x6" (538x184)	B8 5 2"x10" (538x235)	B9 5 2"x12" (538x286)
ENGINEERED LUMBER SCHEDULE - GRADE 2.0E (UNLESS NOTE OTHERWISE)		
1 3/4" x 9 1/2" LVL	1 3/4" x 11 7/8" LVL	1 3/4" x 14" LVL
LV.2 1-1 3/4"x9 1/2"	LV.3 1-1 3/4"x11 7/8"	LV.10 1-1 3/4"x14"
LV.4 2-1 3/4"x9 1/2"	LV.6 2-1 3/4"x11 7/8"	LV.11 2-1 3/4"x14"
LV.5 3-1 3/4"x9 1/2"	LV.7 3-1 3/4"x11 7/8"	LV.12 3-1 3/4"x14"
LV.6 4-1 3/4"x9 1/2"	LV.8 4-1 3/4"x11 7/8"	LV.13 4-1 3/4"x14"

3.2. STEEL LUMBS SUPPORTING MASONRY VENEER

(DIVISION B PART 9, TABLE 9.20.5.2.b)
FORMING PART OF SENTENCE 9.20.5.2.(2) & 9.23.5.2.(3)

CODE	SIZE	BRICK	STONE
L7	3 1/2" x 3 1/2" x 1 1/4" (89 x 89 x 6.4)	8"-1" (2,47m)	7"-0" (2,30m)
L8	4" x 3 1/2" x 1 1/4" (102 x 89 x 6.4)	8"-0" (2,66m)	8"-1" (2,48m)
L9	4 7/8" x 3 1/2" x 5/16" (127 x 89 x 7.9)	10"-10" (3,31m)	10"-10" (3,03m)
L10	4 7/8" x 3 1/2" x 3/8" (127 x 89 x 11)	11"-8" (3,48m)	10"-7" (3,24m)
L11	5 7/8" x 3 1/2" x 3/8" (152 x 89 x 11)	12"-6" (3,82m)	11"-5" (3,54m)
L12	7 1/8" x 4" x 3/8" (178 x 102 x 11)	14"-1" (4,30m)	13"-1" (3,99m)

3.3. DOOR SCHEDULE

CONFORMING TO SECTIONS 9.5.11, 9.6, 9.7.2.1, 9.7.5.2 & 9.10.13.10

	1	EXTERIOR	2'-0" x 6'-8" x 1-3/4" (815 x 2030 x 45) INSULATED MIN. R4 (RSI 0.7)
	1A	EXTERIOR	2'-10" x 6'-8" x 1-3/4" (865 x 2030 x 45) INSULATED MIN. R4 (RSI 0.7)
	1B	EXTERIOR	3'-0" x 6'-8" x 1-3/4" (915 x 2030 x 45) INSULATED MIN. R4 (RSI 0.7)
	1C	EXTERIOR	2'-0" x 6'-8" x 1-3/4" (760 x 2030 x 45) INSULATED MIN. R4 (RSI 0.7)
	1D	EXTERIOR	2'-0" x 6'-8" x 1-3/4" (815 x 2030 x 45) INS. MIN. R4 (RSI 0.7) (SEE HEX NOTE 20)
	1E	EXTERIOR	3'-0" x 6'-8" x 1-3/4" (915 x 2440 x 45) INSULATED MIN. R4 (RSI 0.7)
	1F	EXTERIOR	2'-0" x 6'-8" x 1-3/4" (815 x 2440 x 45) INSULATED MIN. R4 (RSI 0.7)
	2A	EXTERIOR	2'-0" x 6'-8" x 1-3/4" (815 x 2030 x 45) 20 MIN. F.R.P. DOOR FRAME WITH APP. SELF CLOSING DEVICE.
	2	INTERIOR	2'-0" x 6'-8" x 1-3/8" (815 x 2030 x 35)
	3	INTERIOR	2'-0" x 6'-8" x 1-3/8" (760 x 2030 x 35)
	3A	INTERIOR	2'-0" x 6'-8" x 1-3/8" (710 x 2030 x 35)
	4	INTERIOR	2'-0" x 6'-8" x 1-3/8" (610 x 2030 x 35)
	4A	INTERIOR	2'-2" x 6'-8" x 1-3/8" (660 x 2030 x 35)
	5	INTERIOR	1'-0" x 6'-8" x 1-3/8" (460 x 2030 x 35)

INTERIOR DOOR HIGH FOR ALL 1/2" CEILING CONDITIONS

3.4. ACRONYMS

ABB	ABOVE FINISHED FLOOR	JUST	JOIST
BBFM	BEAM BY FLOOR MANUFACTURER	LIN	LINEN CLOSET
BG	FIXED GLASS W/ BLACK BACKING	LVL	LAMINATED VENEER LUMBER
BM	BEAM	OTBA	OPEN TO BELOW/ABOVE
BBFM	BEAM BY ROOF MANUFACTURER	PL	PLATE LOAD
CBF	CONVENTIONAL ROOF FRAMING	PLT	PLANT
CW	COMPLETE WITH	PT	PRESSURE TREATED
D/D	DOUBLE JOIST/ TRIPLE JOIST	PTD	PAINTED
DO	DO OVER	PWD	POWDER ROOM
DRP	DROPPED	RWL	RAIN WATER LEADER
ENG	ENGINEERED	SB	SOLID BEARING WOOD POST
EST	ESTIMATED	SBFA	SB FROM ABOVE
FA	FLAT ARCH	SJ	SINGLE JOIST
FD	FLOOR DRAIN	SPR	SPRUCES
FG	FIXED GLASS	STL	STEEL
FL	FLASH	T/O	TOP OF
FLR	FLOOR	TYP	TYPICAL
GT	GIRDER TRUSS	US	UNDERSIDE
HB	HOSE BIB	WD	WOOD
HRV	HEAT RETURN VENTILATION UNIT	WIC	WALK IN CLOSET
HWT	HOT WATER TANK	WP	WEATHER PROOF

3.5. SYMBOLS