



ELEVATION 'A'



ELEVATION 'B'

TYPE 'B' - 3101-INTERIOR

SB-12 ENERGY EFFICIENCY DESIGN MATRIX

PRESCRIPTIVE COMPLIANCE		SB-12 (SECTION 3.1.1) TABLE 3.1.1.2.A	
PACKAGE A1		SPACE HEATING FUEL	
		<input checked="" type="checkbox"/> GAS	<input type="checkbox"/> OIL
		<input type="checkbox"/> ELECTRIC	<input type="checkbox"/> PROPANE
		<input type="checkbox"/> EARTH	<input type="checkbox"/> SOLID FUEL
BUILDING COMPONENT	REQUIRED	PROPOSED	
INSULATION RSI (R) VALUE			
CEILING W/ ATTIC SPACE	10.56 (R60)	10.56 (R60)	
CEILING W/O ATTIC SPACE	5.46 (R31)	5.46 (R31)	
EXPOSED FLOOR	5.46 (R31)	5.46 (R31)	
WALLS ABOVE GRADE	3.87 (R22)	3.87 (R22)	
BASEMENT WALLS	3.52 ci (R20 ci) *	3.52 ci (R20 ci) *	
* PROPOSED VALUES MAY BE SUBSTITUTED W/ 2.11+1.76ci (R12+R10ci)			
BELOW GRADE SLAB ENTIRE SURFACE > 600mm BELOW GRADE	-	-	
EDGE OF BELOW GRADE SLAB ≤ 600mm BELOW GRADE	1.76 (R10)	1.76 (R10)	
HEATED SLAB OR SLAB ≤ 600mm BELOW GRADE	1.76 (R10)	1.76 (R10)	
WINDOWS & DOORS			
WINDOWS/SLIDING GLASS DOORS (MAX U-VALUE)	1.6	1.6	
SKYLIGHTS (MAX. U-VALUE)	2.8	2.8	
APPLIANCE EFFICIENCY			
SPACE HEATING EQUIP. (AFUE%)	96%	96%	
HRV EFFICIENCY (%)	75%	75%	
DHW HEATER (EF)	0.8	0.8	

- 1 - TITLE PAGE
- 2 - BASEMENT PLAN, ELEV. 'A' & 'B'
- 3 - GROUND FLOOR PLAN, ELEV. 'A'
- 4 - SECOND FLOOR PLAN, ELEV. 'A'
- 5 - PARTIAL GROUND & SECOND FLOOR PLANS, ELEV. 'B'
- 6 - PARTIAL FLOOR PLANS, ELEV. 'A' & 'B' W/ LOGGIA
- 7 - FRONT ELEVATION 'A' & 'B'
- 7A - REAR ELEVATION 'A' & 'B' W/ LOGGIA
- 8 - REAR ELEVATION 'A' & 'B'
- 8A - REAR UPGRADE ELEVATION 'A' W/ LOGGIA
- 9 - REAR UPGRADE ELEVATION 'A'
- 9A - REAR UPGRADE ELEVATION 'B' W/ LOGGIA
- 10 - REAR UPGRADE ELEVATION 'B'
- 11 - CROSS SECTION 'A' - 'A'
- 12 - CONSTRUCTION NOTES
- 13 - CONSTRUCTION NOTES
- W1 - L.O.D. CONDITION
- W2 - W.O.B. CONDITION

AREA CALCULATIONS	EL. 'A'	EL. 'A'	EL. 'A'	EL. 'A'	EL. 'B'	EL. 'B'	EL. 'B'	EL. 'B'
	STD. INT	STD. W/ LOGGIA	STD. W/ F.P.	W/ F.P.& LOGGIA	STD. INT	STD. W/ LOGGIA	STD. W/ F.P.	W/ F.P.& LOGGIA
GROUND FLOOR AREA	714 sq. ft.	714 sq. ft.	721 sq. ft.	721 sq. ft.	714 sq. ft.	714 sq. ft.	721 sq. ft.	721 sq. ft.
SECOND FLOOR AREA	1159 sq. ft.	1159 sq. ft.	1159 sq. ft.	1159 sq. ft.	1156 sq. ft.	1156 sq. ft.	1156 sq. ft.	1156 sq. ft.
SUBTOTAL	1873 sq. ft.	1873 sq. ft.	1880 sq. ft.	1880 sq. ft.	1870 sq. ft.	1870 sq. ft.	1877 sq. ft.	1877 sq. ft.
DEDUCT ALL OPEN AREAS	41 sq. ft.	41 sq. ft.	41 sq. ft.	41 sq. ft.	41 sq. ft.	41 sq. ft.	41 sq. ft.	41 sq. ft.
TOTAL NET AREA	1832 sq. ft.	1832 sq. ft.	1839 sq. ft.	1839 sq. ft.	1829 sq. ft.	1829 sq. ft.	1836 sq. ft.	1836 sq. ft.
	(170.20 sq. m.)	(170.20 sq. m.)	(170.85 sq. m.)	(170.85 sq. m.)	(169.92 sq. m.)	(169.92 sq. m.)	(170.57 sq. m.)	(170.57 sq. m.)
FINISHED BASEMENT AREA	458 sq. ft.	458 sq. ft.	465 sq. ft.	465 sq. ft.	458 sq. ft.	458 sq. ft.	465 sq. ft.	465 sq. ft.
COVERAGE	1162 sq. ft.	1162 sq. ft.	1169 sq. ft.	1169 sq. ft.	1162 sq. ft.	1162 sq. ft.	1169 sq. ft.	1169 sq. ft.
W/OUT PORCH	(107.95 sq. m.)	(107.95 sq. m.)	(108.60 sq. m.)	(108.60 sq. m.)	(107.95 sq. m.)	(107.95 sq. m.)	(108.60 sq. m.)	(108.60 sq. m.)
COVERAGE	1230 sq. ft.	1366 sq. ft.	1237 sq. ft.	1373 sq. ft.	1230 sq. ft.	1366 sq. ft.	1237 sq. ft.	1373 sq. ft.
W/ PORCH	(114.27 sq. m.)	(126.91 sq. m.)	(114.92 sq. m.)	(127.56 sq. m.)	(114.27 sq. m.)	(126.91 sq. m.)	(114.92 sq. m.)	(127.56 sq. m.)
WINDOW / WALL AREA CALCULATIONS	EL. 'A'	EL. 'A'	EL. 'A'	EL. 'A'	EL. 'B'	EL. 'B'	EL. 'B'	EL. 'B'
	STD. PLAN	STD. W/ LOGGIA	STD. W/ FP	W/ FP& LOGGIA	STD. PLAN	STD. W/ LOGGIA	STD. W/ FP	FP& LOGGIA
GROSS WALL AREA	3048 sq. ft.	3048 sq. ft.	3048 sq. ft.	3048 sq. ft.	3043 sq. ft.	3043 sq. ft.	3043 sq. ft.	3043 sq. ft.
	(283.17 sq. m.)	(283.17 sq. m.)	(283.17 sq. m.)	(283.17 sq. m.)	(282.70 sq. m.)	(282.70 sq. m.)	(282.70 sq. m.)	(282.70 sq. m.)
GROSS WINDOW AREA (INCL. GLASS DOORS & SKYLIGHTS)	270 sq. ft.	270 sq. ft.	240.2 sq. ft.	240.2 sq. ft.	278.9 sq. ft.	278.9 sq. ft.	248.9 sq. ft.	248.9 sq. ft.
	(25.08 sq. m.)	(25.08 sq. m.)	(22.32 sq. m.)	(22.32 sq. m.)	(25.91 sq. m.)	(25.91 sq. m.)	(23.12 sq. m.)	(23.12 sq. m.)
TOTAL WINDOW %	8.86 %	8.86 %	7.88 %	7.88 %	9.17 %	9.17 %	8.18 %	8.18 %

REFER TO
MARKUPS

GOLDPARK
WORTH MORE™

PINE VALLEY
FOREVERGREEN

HUNT
DESIGN ASSOCIATES INC.
www.huntdesign.ca

GOLDPARK HOMES - 217014
PINE VALLEY TOWNS, VAUGHAN ON

TYPE 'B' - 3101-INTERIOR
REV.2022.07.11

Drawn By: JMc, Checked By: AW, Scale: 3/16"=1'-0", File Number: 217014WT3101.dwg, Page Number: 1 of 13

TITLE PAGE

7. ISSUED FOR PERMIT RE-SUBMISSION	2022.07.11	AW
6. ADDED LOGGIA DRAWINGS	2022.06.06	NN
5. ISSUED FOR PERMIT	2022.02.18	WT
4. REVISED AS PER STRUCTURAL ENG. COMMENTS	2022.01.31	WT
3. REVISED AS PER STRUCTURAL ENG. COMMENTS	2021.11.29	NEA
2. REVISED AS PER FLOOR & TRUSS MANUF. LAYOUT	2021.09.27	NEA
1. ISSUED FOR CLIENT REVIEW	2021.02.26	AW
REVISIONS	DATE (YYYYMMDD)	BY

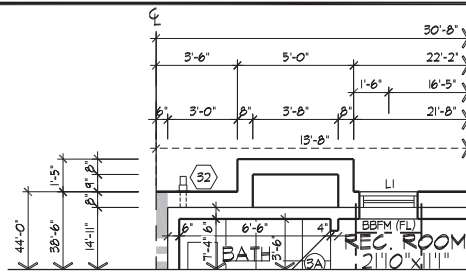
AW:WHITING 1/30/22 12:22 PM | K:\PROJECTS\2021\217014\GOLDPARK TOWNS\217014WT3101.dwg

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND HEREIN THE REQUIRED SIGNATURE SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.
QUALIFICATION INFORMATION
Allen Whiting 23177
DATE: 2022.07.11
RECEIPT INFORMATION
HUNT DESIGN ASSOCIATES INC. 19695

All drawings specifications related documents and design are the copyright property of Hunt Design Associates (H.D.A.). Reproduction of this property in whole or in part is strictly prohibited without H.D.A.'s written permission. H.D.A. assumes no responsibility or liability for this property unless it bears the appropriate BCIN number and original signature(s).



180 COMMERCIAL VALLEY DR. W.
THORNHILL, ONTARIO CANADA L3T 0A1
TEL: 1-855-882-4217 FAX: 1-855-882-0859 WWW.WSPGROUP.CA



PARTIAL OPT. BASEMENT FOR STRUCTURAL ONLY. EXCLUDING
ENGINEERED ROOF TRUSS, FLOOR
PLAN, ELEV. 'A' & 'B' JOIST, AND FLOOR LVL BEAM DESIGN.
W/ GAS FIREPLACE ABOVE

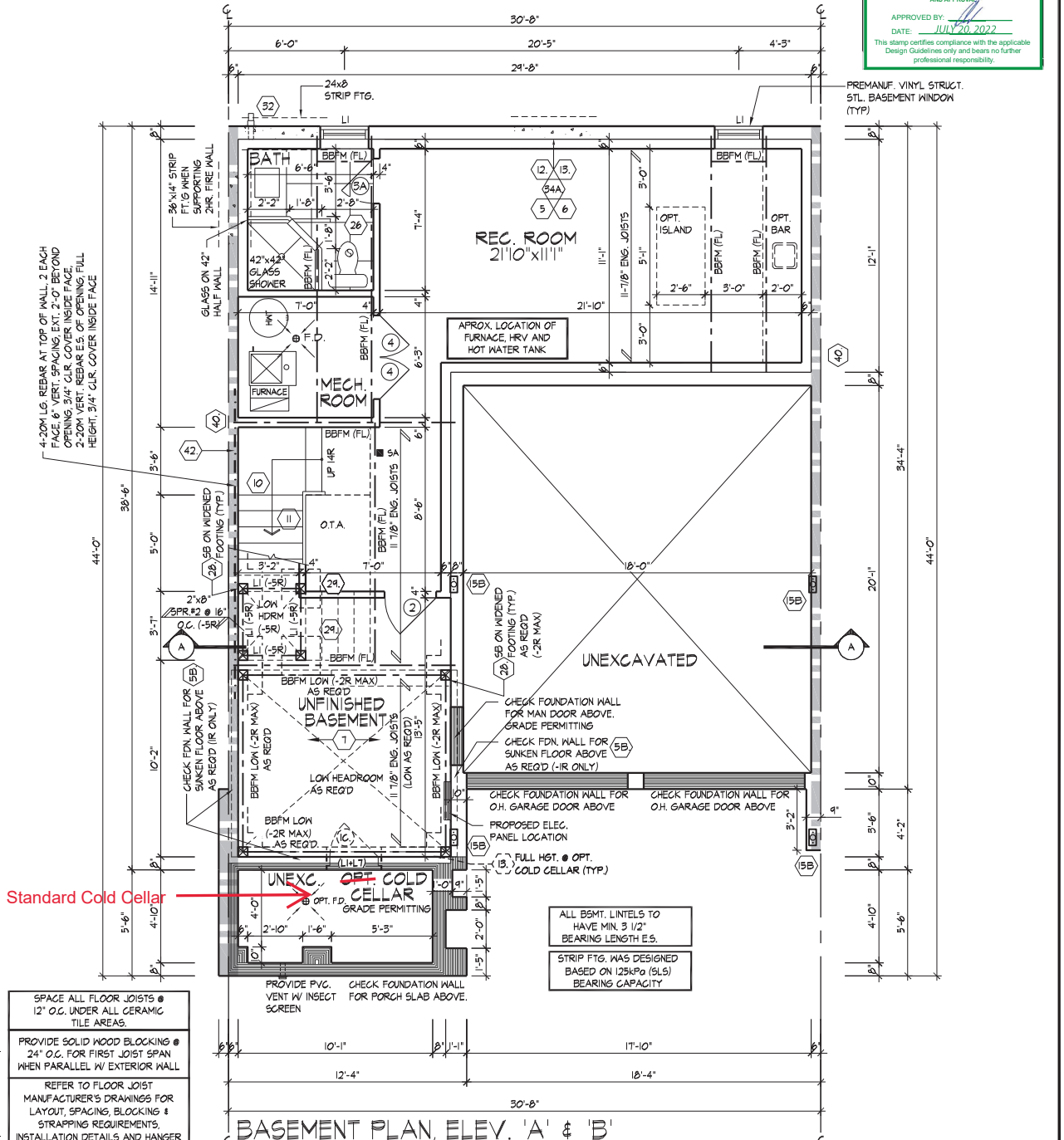
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Vaughan.

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: [Signature]
DATE: JULY 20, 2022

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.



- SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.
- PROVIDE SOLID WOOD BLOCKING @ 24" O.C. FOR FIRST JOIST SPAN WHEN PARALLEL W/ EXTERIOR WALL.
- REFER TO FLOOR JOIST MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, BLOCKING & STRAPPING REQUIREMENTS. INSTALLATION DETAILS AND HANGER SIZES, & SUBFLOOR THICKNESS.

ALL BSMT. LINTELS TO HAVE MIN. 3 1/2" BEARING LENGTH E.S.
STRIP FTG. WAS DESIGNED BASED ON 125kPa (SL5) BEARING CAPACITY

BASEMENT PLAN, ELEV. 'A' & 'B'

AWITHING (MON JUL 11 12:22 PM) | K:\PROJECTS\217014\GOLDPARK HOMES\217014\DWG\B1.DWG

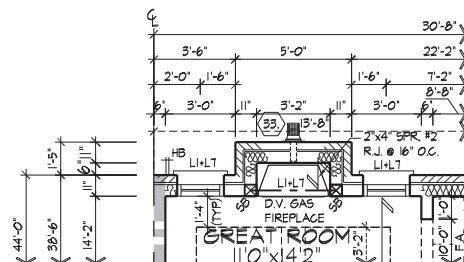
THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.
QUALIFICATION INFORMATION
Allan Whiting 23177
TIME: 03/16/2022
REGISTRATION INFORMATION
HUNT DESIGN ASSOCIATES INC. 19095

HUNT
DESIGN ASSOCIATES INC.
www.hunt-design.ca

GOLDPARK HOMES - 217014
PINE VALLEY TOWNS, VAUGHAN ON
Drawn By: JMc
Checked By: AW
Scale: 3/16"=1'-0"
8966 Woodbine Ave, Markham, ON L3R 0J7
T 905.737.5133 F 905.737.7326

TYPE 'B' - 3101-INTERIOR
REV.2022.07.11
217014W73101-INTERIOR.dwg
Page Number: 2 of 13

All drawings specifications related documents and design are the copyright property of Hunt Design Associates (P.D.A.). Reproduction of this property in whole or in part is strictly prohibited without H.D.A.'s written permission. H.D.A. assumes no responsibility or liability for this property unless it bears the appropriate BCIN number and original signature(s).



PARTIAL OPT. GROUND FLOOR PLAN, ELEV. 'A' & 'B' W/ GAS FIREPLACE

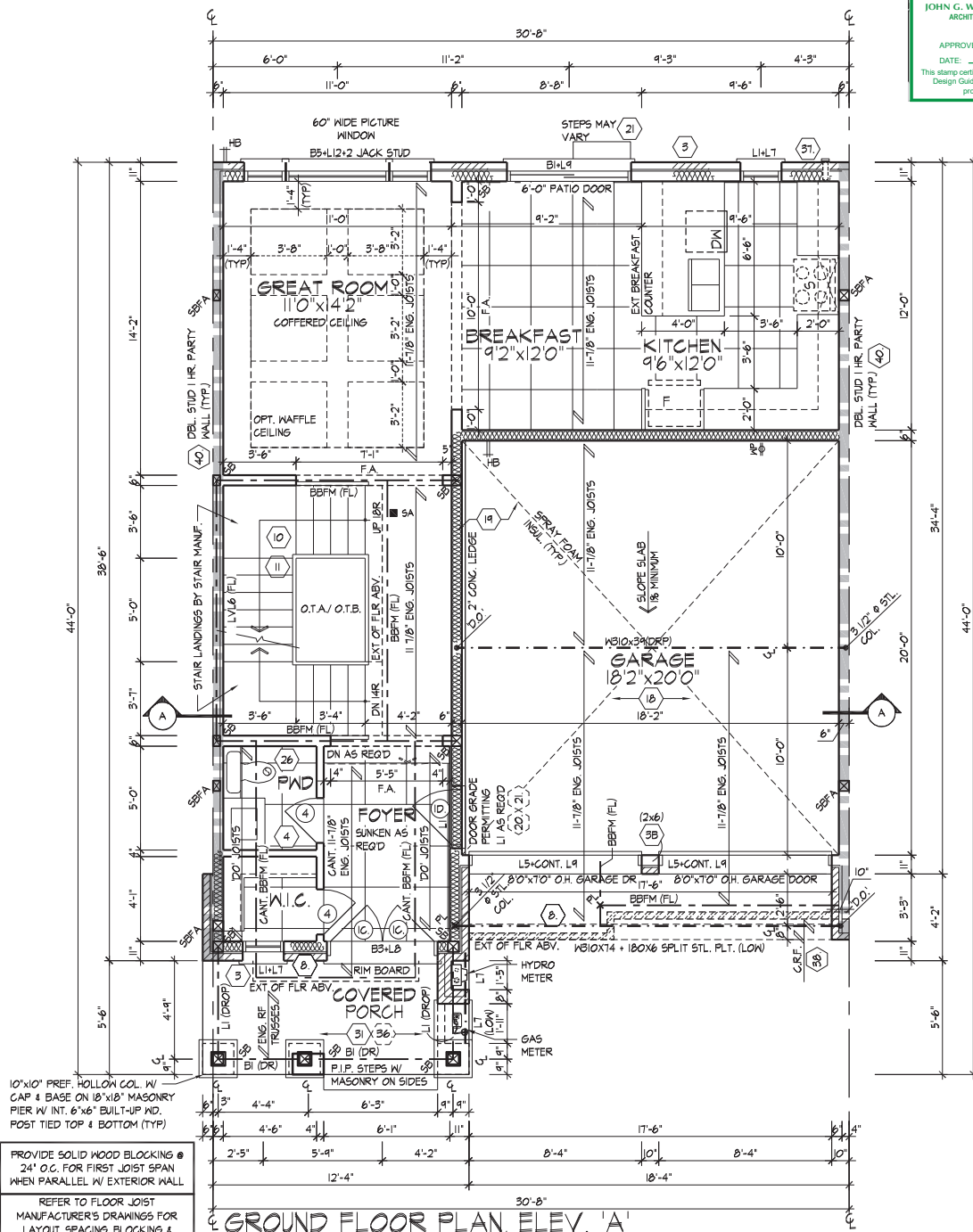
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL

APPROVED BY: [Signature]
DATE: JULY 20, 2022

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.



10'x10' PREF. HOLLOW COL. W/ CAP & BASE ON 18'x18" MASONRY PIER W/ INT. 6'x6" BUILT-UP MD. POST TIED TOP & BOTTOM (TYP)

PROVIDE SOLID WOOD BLOCKING @ 24" O.C. FOR FIRST JOIST SPAN WHEN PARALLEL W/ EXTERIOR WALL

REFER TO FLOOR JOIST MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, BLOCKING & STRAPPING REQUIREMENTS, INSTALLATION DETAILS AND HANGER SIZES, & SUBFLOOR THICKNESS

SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

GROUND FLOOR PLAN, ELEV. 'A'

AWITTING | MON JUL 11 2022 8:23 PM | C:\PROJECTS\2021\2101-GOLDPARK HOMES\2101-4073 OF 4073.DWG

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.
QUALIFICATION INFORMATION
Allen Whiting 23177
TIME RECORDED INFORMATION
HUNT DESIGN ASSOCIATES INC. 19095

HUNT DESIGN ASSOCIATES INC.
www.huntdesign.ca

GOLDPARK HOMES - 217014
PINE VALLEY TOWNS, VAUGHAN ON
Drawn By JMc Checked By AW Scale 3/16"=1'-0"
8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

TYPE 'B' - 3101-INTERIOR
REV.2022.07.11
217014WT3101-INTERIOR.dwg 3 of 13



180 COMMERCE VALLEY DR. W.
THORNHILL, ONTARIO CANADA L3T 0A1
TEL: 1-855-882-4215 FAX: 1-855-882-0859 WWW.WSPGROUP.CA

FOR STRUCTURAL ONLY. EXCLUDING
ENGINEERED ROOF TRUSS, FLOOR
JOIST, AND FLOOR LVL BEAM DESIGN.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

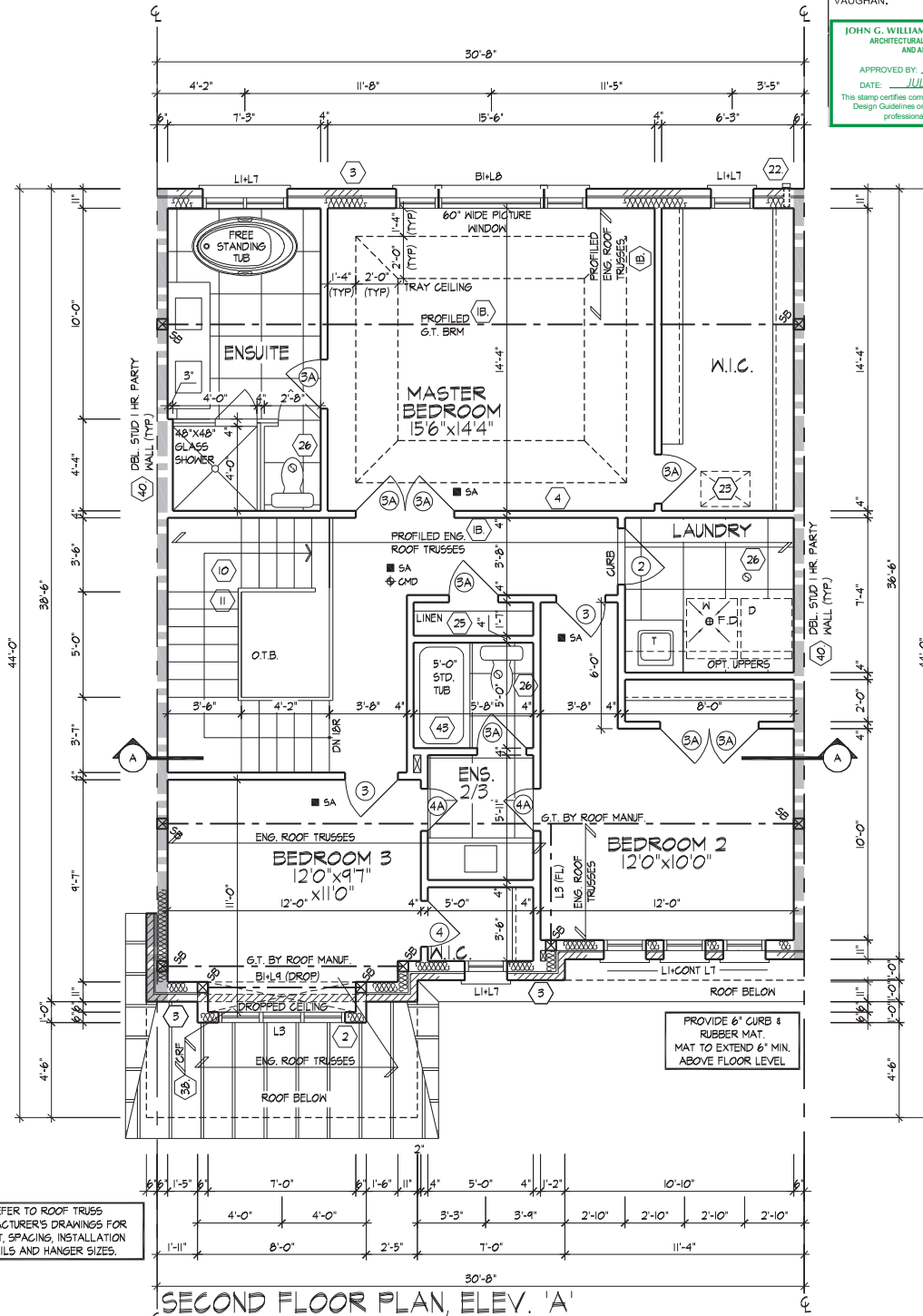
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: [Signature]

DATE: JULY 20, 2022

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.



SECOND FLOOR PLAN, ELEV. 'A'

AWHITING | MON JUL 11 22 02:23 PM | C:\PROJECTS\2017\21701-GOLDPARK HOMES\TOWNS\21701-4WTS OF PLAN.LWG

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.
QUALIFICATION INFORMATION
Allan Whiting
23177
B.C.N.
TIME
REVISION INFORMATION
HUNT DESIGN ASSOCIATES INC.
19895

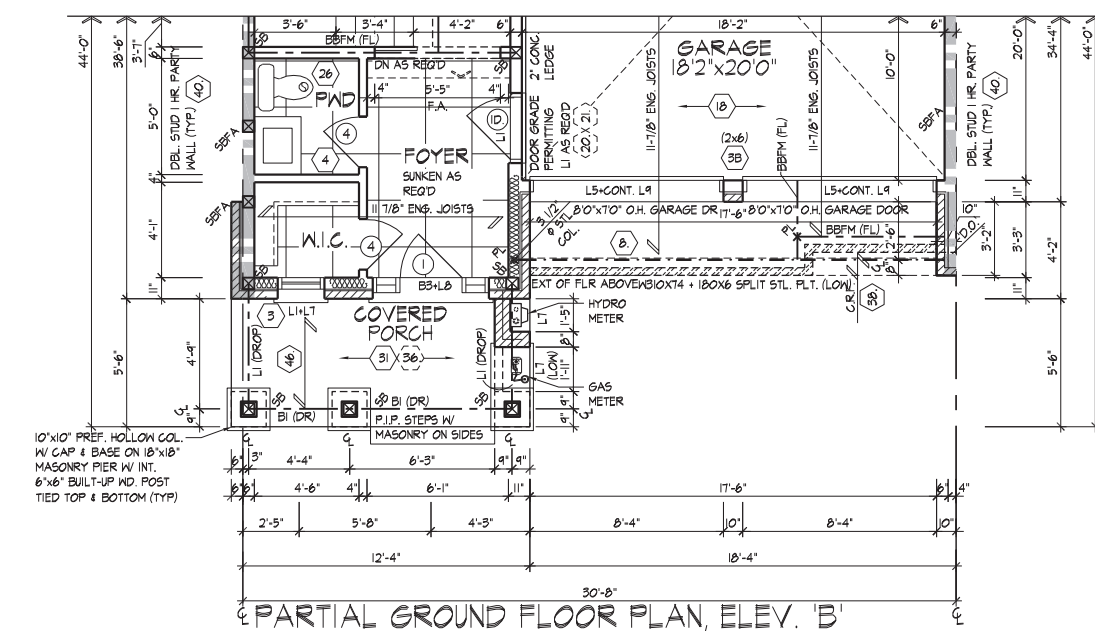
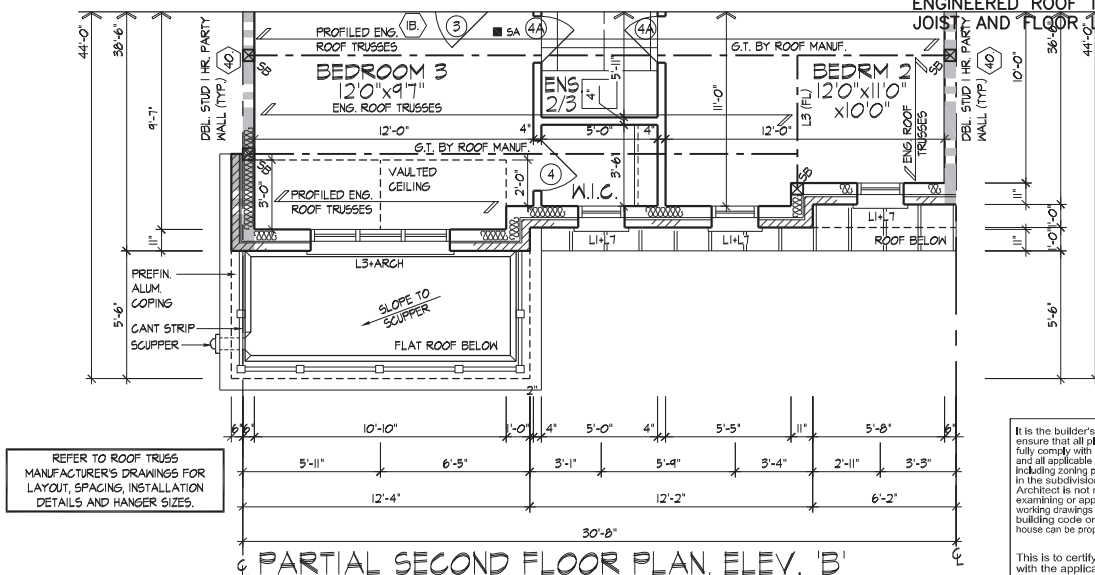
HUNT
DESIGN ASSOCIATES INC.
www.hunt-design.ca

GOLDPARK HOMES - 217014
PINE VALLEY TOWNS, VAUGHAN ON
Drawn By: JMc
Checked By: AW
Scale: 3/16"=1'-0"
8966 Woodbine Ave, Markham, ON L3R 0J7
T 905.737.5133 F 905.737.7326

TYPE 'B' - 3101-INTERIOR
REV.2022.07.11
217014WT3101-INTERIOR.dwg
4 of 13

All drawings specifications related documents and design are the copyright property of Hunt Design Associates (H.D.A.). Reproduction of this property in whole or in part is strictly prohibited without H.D.A.'s written permission. H.D.A. assumes no responsibility or liability for this property unless it bears the appropriate BCIN number and original signature(s).

FOR STRUCTURAL ONLY. EXCLUDING
ENGINEERED ROOF TRUSS, FLOOR
JOIST AND FLOOR LEVEL BEAM DESIGN.



- SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.
- PROVIDE SOLID WOOD BLOCKING @ 24" O.C. FOR FIRST JOIST SPAN WHEN PARALLEL W/ EXTERIOR WALL.
- REFER TO FLOOR JOIST MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, BLOCKING & STRAPPING REQUIREMENTS, INSTALLATION DETAILS AND HANGER SIZES, & SUBFLOOR THICKNESS.

PARTIAL GROUND & SECOND FLOOR PLANS, ELEV. 'B'

GOLDPARK HOMES - 217014 TYPE 'B' - 3101-INTERIOR
PINE VALLEY TOWNS, VAUGHAN ON REV.2022.07.11

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND REPUTATION TO BE A DESIGNER.
HUNT DESIGN ASSOCIATES INC. 19695

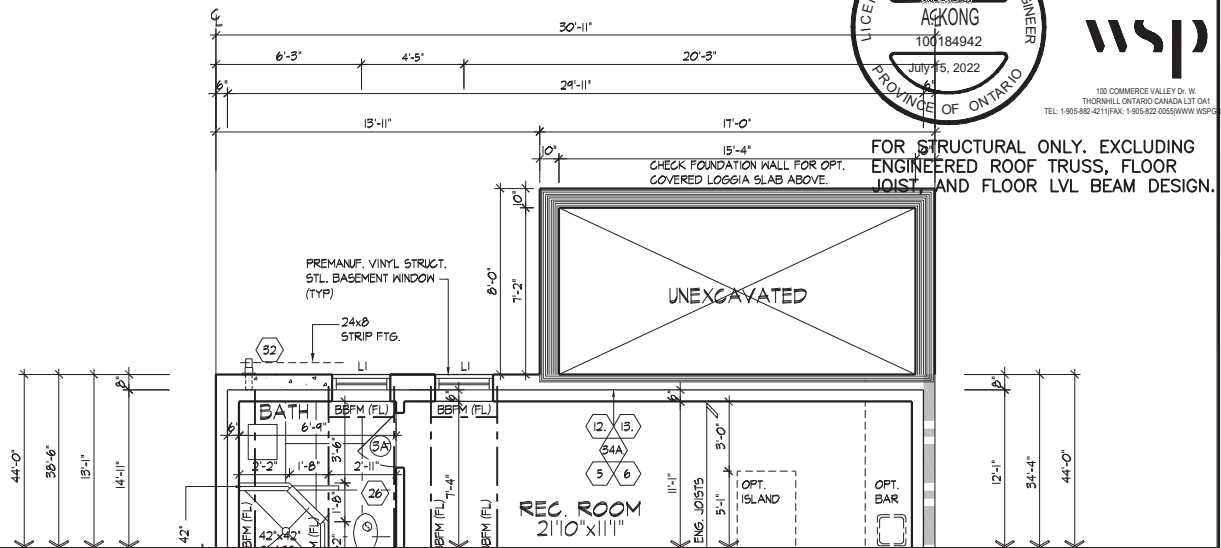
HUNT DESIGN ASSOCIATES INC.
DESIGN ASSOCIATES INC.
www.hunt-design.ca

Drawn By JMc Checked By AW Scale 3/16"=1'-0" File Number 217014WT3101-INTERIOR.dwg Page Number 5 of 13
8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

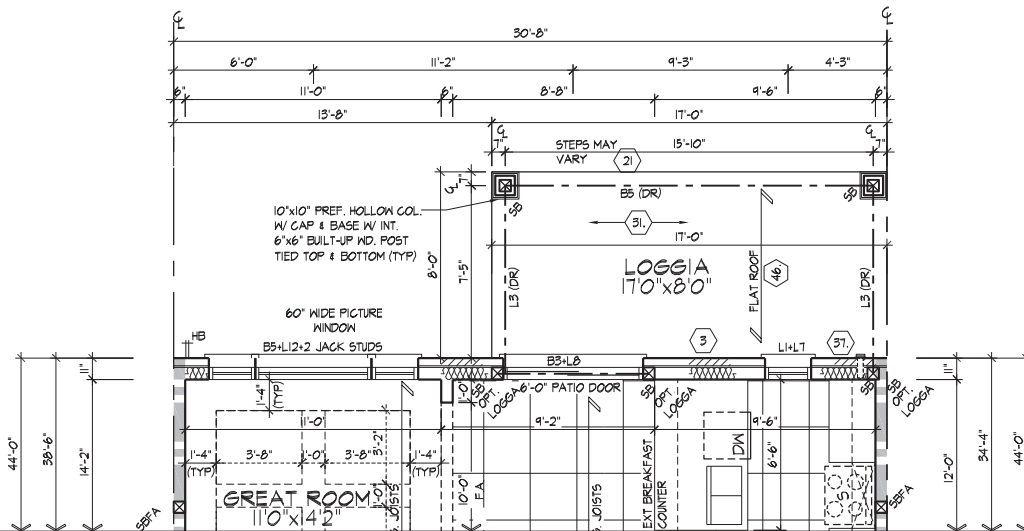


wsp

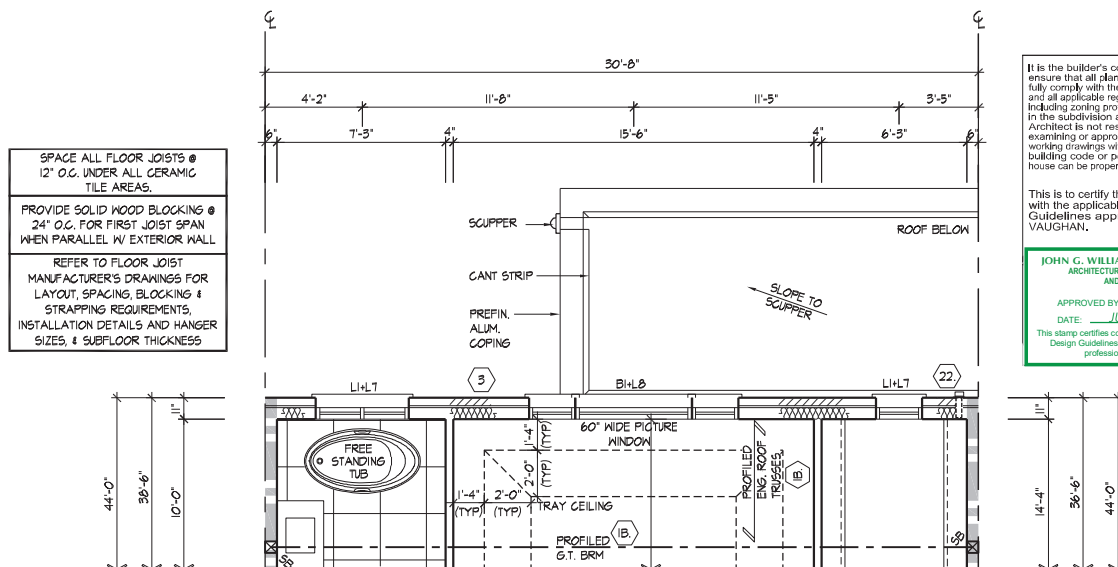
100 COMMERCE VALLEY DR. W.
THORNHILL, ONTARIO CANADA L3T 0A1
TEL: 1-855-852-4217 FAX: 1-855-852-0355 WWW.WSPGROUP.CA



BASEMENT PLAN, ELEV. 'A' & 'B' W/ LOGGIA



GROUND FLOOR PLAN, ELEV. 'A' & 'B' W/ LOGGIA



SECOND FLOOR PLAN, ELEV. 'A' & 'B' W/ LOGGIA

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY:

DATE: JULY 20, 2022

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

PARTIAL FLOOR PLANS, ELEV. 'A' & 'B' W/ LOGGIA

GOLDPARK HOMES - 217014
PINE VALLEY TOWNS, VAUGHAN ON

TYPE 'B' - 3101-INTERIOR
REV. 2022.07.11

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.
QUALIFICATION INFORMATION
Allen Whiting
23177
BCN
TIME
REESTIMATION INFORMATION
HUNT DESIGN ASSOCIATES INC.
19695

HUNT
DESIGN ASSOCIATES INC.
www.huntdesign.ca

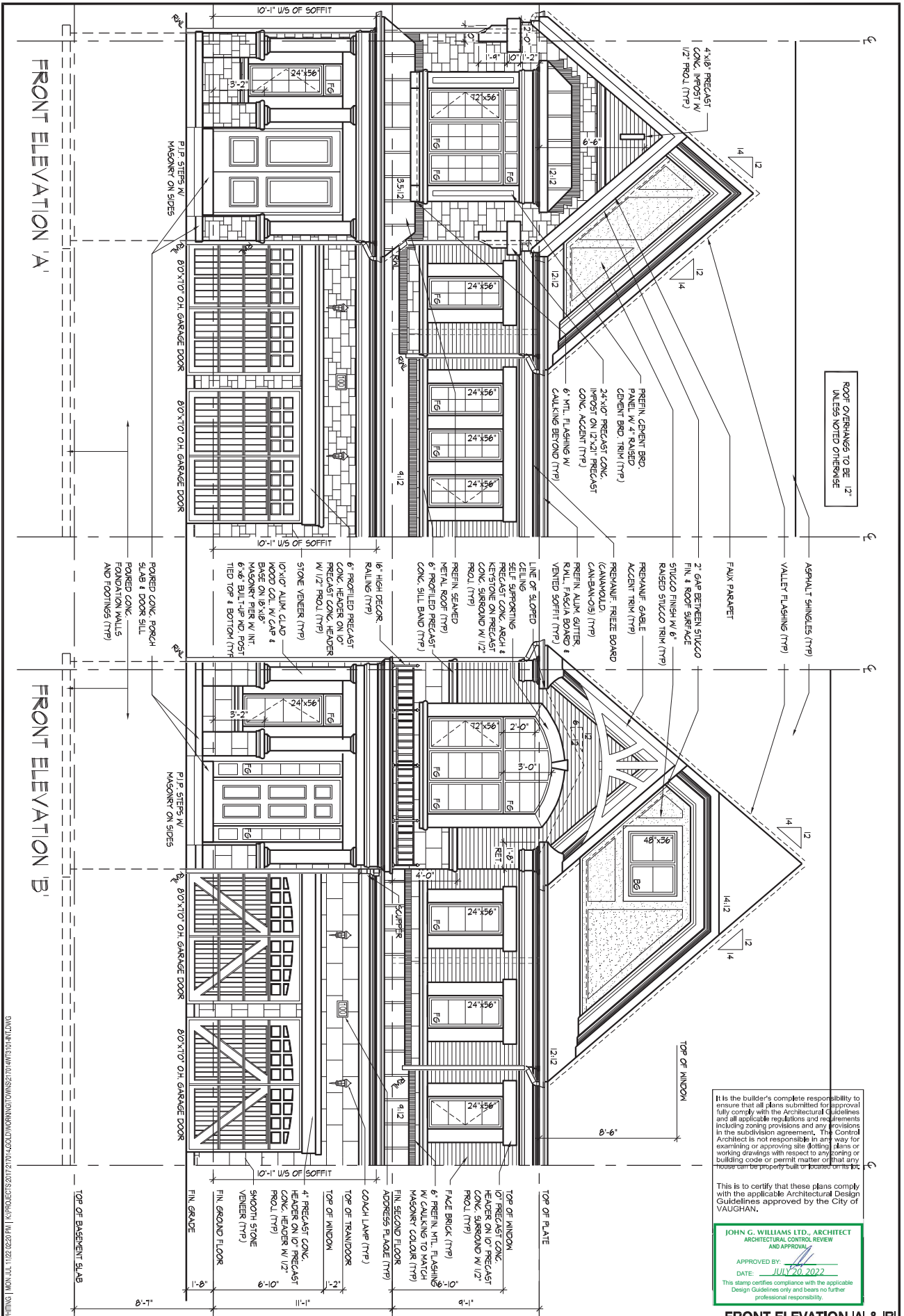
Drawn By: JMc
Checked By: AW
Scale: 3/16"=1'-0"
File Number: 217014WT3101-INTERIOR.dwg
8966 Woodbine Ave, Markham, ON L3R 0J7
T 905.737.5133 F 905.737.7326

Page Number
6 of 13

All drawings specifications related documents and design are the copyright property of Hunt Design Associates (H.D.A.). Reproduction of this property in whole or in part is strictly prohibited without H.D.A.'s written permission. H.D.A. assumes no responsibility or liability for this property unless it bears the appropriate BCIN number and original signature(s).

FRONT ELEVATION 'A'

FRONT ELEVATION 'B'



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or placed on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Vaughan.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: *[Signature]*
DATE: July 20, 2022
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

FRONT ELEVATION 'A' & 'B'

GOLDPARK HOMES - 217014
PINE VALLEY TOWNS, VAUGHAN ON

TYPE 'B' - 3101-INTERIOR
REV.2022.07.11

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.
Qualification Information
Allen Whiting
23177
BCIN
21777
HUNT DESIGN ASSOCIATES INC.
19695

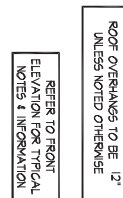
HUNT
DESIGN ASSOCIATES INC.
www.huntdesign.ca

Drawn By: JMc
Checked By: AW
Scale: 3/16"=1'-0"
8966 Woodbine Ave., Markham, ON L3R 0J7
T 905.737.5133 F 905.737.7326

File Number: 217014WT3101.dwg
Page Number: 7 of 13

All drawings specifications related documents and design are the copyright property of Hunt Design Associates (P.D.A.). Reproduction of this property in whole or in part is strictly prohibited without H.D.A.'s written permission. H.D.A. assumes no responsibility or liability for this property unless it bears the appropriate BCIN number and original signature(s).

All drawings specifications related documents and design are the copyright property of Hunt Design Associates (H.D.A.). Reproduction of this property in whole or in part is strictly prohibited without H.D.A.'s written permission. H.D.A. assumes no responsibility or liability for this property unless it bears the appropriate SCIN number and original signature.



REV.2022.07.11

Page Number
8 of 13

All drawings specifications related documents and design are the copyright property of Hunt Design Associates (H.D.A.). Reproduction of this property in whole or in part is strictly prohibited without H.D.A.'s written permission. H.D.A. assumes no responsibility or liability for this property unless it bears the appropriate SCIN number and original signature.

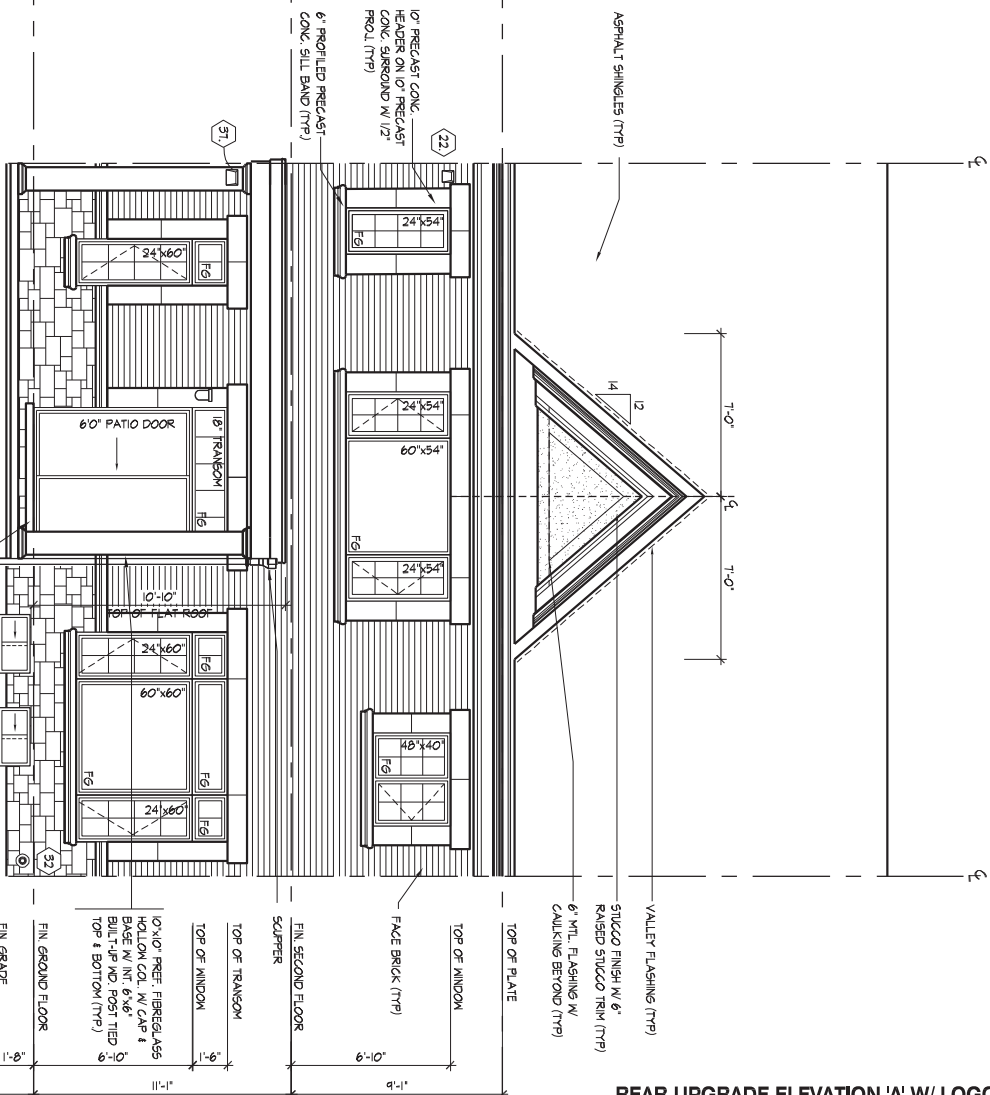
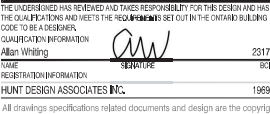
It is the **builder's** complete responsibility to ensure that **all plans** submitted for approval fully comply with the Architectural Guidelines and all applicable codes and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Authority is **not** responsible in any way for examining or approving site (**lotting**) plans or working drawings, including any zoning or building code or permit matter or that any house can be properly built or located on its lot.

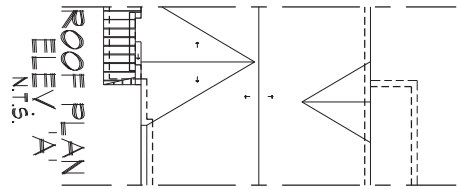
This is to certify that these **plans** comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN G. WILLIAMS, LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
(Seal and Signature)

APPROVED BY: _____
DATE: July 26, 2022

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.





It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: *[Signature]*
DATE: JULY 20, 2022
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

ROOF OVERHANGS TO BE 12" UNLESS NOTED OTHERWISE

REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFORMATION

PARTIAL OPT. FIREPLACE
REAR UPG. ELEVATION 'A'

REAR UPGRADE ELEVATION 'A'
(BLOCK 1)

10/21/2022 10:10 AM (M) 10/21/2022 10:10 AM (M) 10/21/2022 10:10 AM (M) 10/21/2022 10:10 AM (M)

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.
Qualification Information
Allen Whiting
23177
HUNT DESIGN ASSOCIATES INC.
19895

HUNT
DESIGN ASSOCIATES INC.
www.hunt-design.ca

GOLDPARK HOMES - 217014
PINE VALLEY TOWNS, VAUGHAN ON
Drawn By: JMc
Checked By: AW
Scale: 3/16"=1'-0"
8966 Woodbine Ave, Markham, ON L3R 0J7
T 905.737.5133 F 905.737.7326

TYPE 'B' - 3101-INTERIOR
REV.2022.07.11
Rev Number
9 of 13

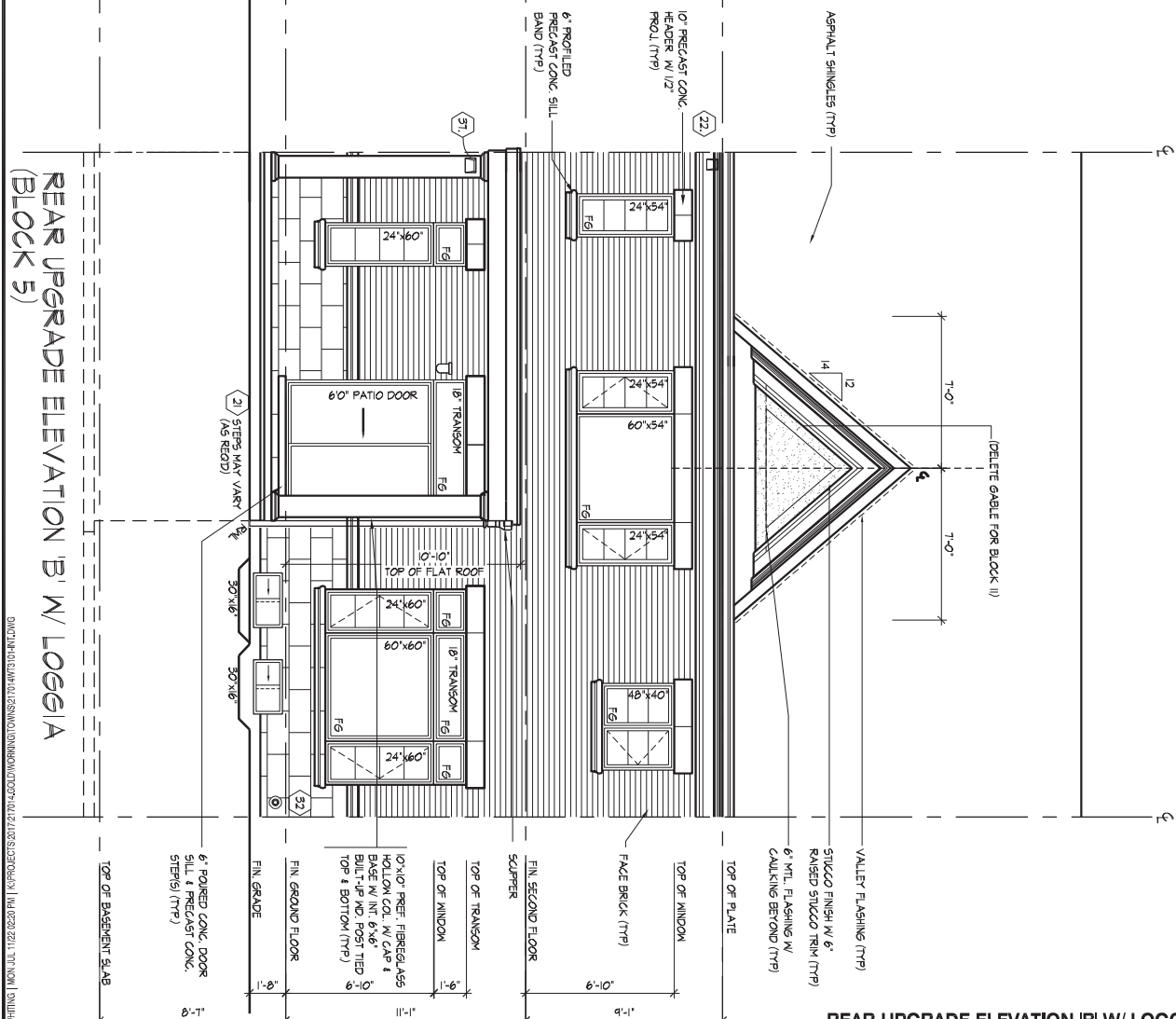
All drawings specifications related documents and design are the copyright property of Hunt Design Associates (H.D.A.). Reproduction of this property in whole or in part is strictly prohibited without H.D.A.'s written permission. (H.D.A. assumes no responsibility or liability for this property unless it bears the appropriate BCIN number and original signature.)

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: [Signature]
DATE: JULY 20, 2022

This stamp certifies compliance with the applicable
Design Guidelines only and bears no further
professional responsibility.

SPATIAL CALCULATION		PERM. CALC. (PAGE 2.0, 3.4)	
REAR UPG. ELEVATION B		REAR UPG. ELEVATION B	
EXPANSION BEARING	66956 S.F.	EXPANSION BEARING	66956 S.F.
FACE AREA	6240 S.F.	FACE AREA	6240 S.F.
PORTION WALL AREA	66956 S.F.	PORTION WALL AREA	66956 S.F.
LIVING SURFACE	60.60 m ²	LIVING SURFACE	60.60 m ²
DECK SURFACE	60.60 m ²	DECK SURFACE	60.60 m ²
WALL	4.31	WALL	4.31
DEPTH	18.84	DEPTH	18.84
2	18.84	2	18.84
3	18.84	3	18.84
4	18.84	4	18.84
5	18.84	5	18.84
6	18.84	6	18.84
7	18.84	7	18.84
8	18.84	8	18.84
9	18.84	9	18.84
10	18.84	10	18.84
11	18.84	11	18.84
12	18.84	12	18.84
13	18.84	13	18.84
14	18.84	14	18.84
15	18.84	15	18.84
16	18.84	16	18.84
17	18.84	17	18.84
18	18.84	18	18.84
19	18.84	19	18.84
20	18.84	20	18.84
21	18.84	21	18.84
22	18.84	22	18.84
23	18.84	23	18.84
24	18.84	24	18.84
25	18.84	25	18.84
26	18.84	26	18.84
27	18.84	27	18.84
28	18.84	28	18.84
29	18.84	29	18.84
30	18.84	30	18.84
31	18.84	31	18.84
32	18.84	32	18.84
33	18.84	33	18.84
34	18.84	34	18.84
35	18.84	35	18.84
36	18.84	36	18.84
37	18.84	37	18.84
38	18.84	38	18.84
39	18.84	39	18.84
40	18.84	40	18.84
41	18.84	41	18.84
42	18.84	42	18.84
43	18.84	43	18.84
44	18.84	44	18.84
45	18.84	45	18.84
46	18.84	46	18.84
47	18.84	47	18.84
48	18.84	48	18.84
49	18.84	49	18.84
50	18.84	50	18.84
51	18.84	51	18.84
52	18.84	52	18.84
53	18.84	53	18.84
54	18.84	54	18.84
55	18.84	55	18.84
56	18.84	56	18.84
57	18.84	57	18.84
58	18.84	58	18.84
59	18.84	59	18.84
60	18.84	60	18.84
61	18.84	61	18.84
62	18.84	62	18.84
63	18.84	63	18.84
64	18.84	64	18.84
65	18.84	65	18.84
66	18.84	66	18.84
67	18.84	67	18.84
68	18.84	68	18.84
69	18.84	69	18.84
70	18.84	70	18.84
71	18.84	71	18.84
72	18.84	72	18.84
73	18.84	73	18.84
74	18.84	74	18.84
75	18.84	75	18.84
76	18.84	76	18.84
77	18.84	77	18.84
78	18.84	78	18.84
79	18.84	79	18.84
80	18.84	80	18.84
81	18.84	81	18.84
82	18.84	82	18.84




REAR UPGRADE ELEVATION 'B' W/ LOGGIA

GOLDPARK HOMES - 217014
PINE VALLEY TOWNS, VAUGHAN ON

TYPE 'B' - 3101-END 1
REV.2022.07.11

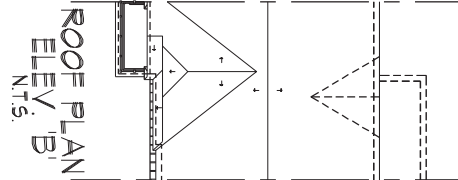
THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION

Allan Whiting		2317
NAME	SIGNATURE	BCP
REGISTRATION INFORMATION		
JOINT DESIGN ASSOCIATES INC.		1060

HUNT 
DESIGN ASSOCIATES INC.
www.hunt-design.com

Drawn By	Checked By	Scale	File Number	Page Number
JMc	AW	3/16"=1'-0"	217014WT3101-END1.dwg	9A of 16
8066 Woodbine Ave. Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326				



ROOF PLAN
ELEV. B'
N.T.S.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: _____
DATE: JULY 20, 2022

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

ROOF OVERHANGS TO BE 12"
UNLESS NOTED OTHERWISE

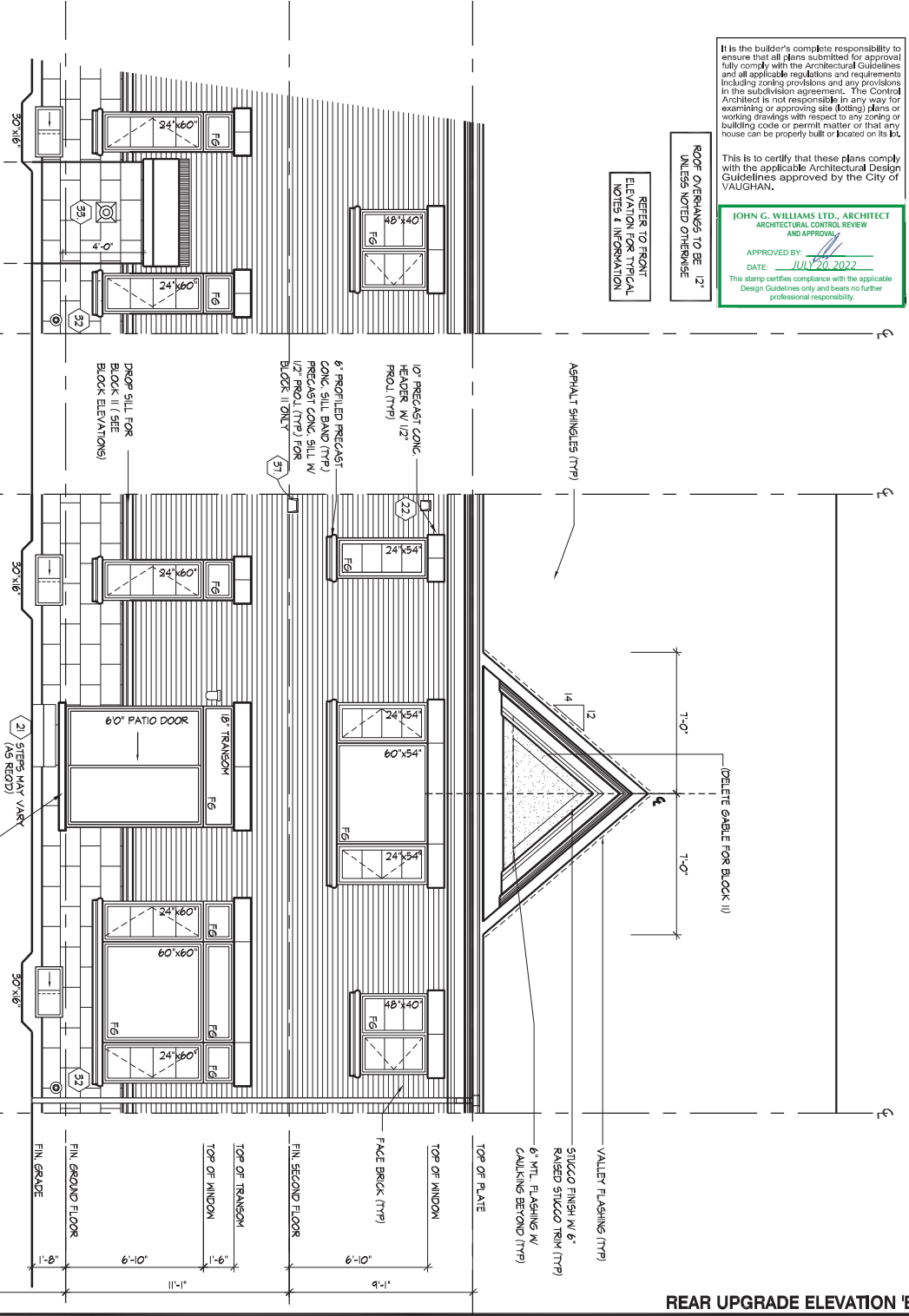
REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

PARTIAL OPT. FIREPLACE
REAR UPG. ELEVATION 'B'

REAR UPGRADE ELEVATION 'B'
(BLOCK 5 & 11)

TOP OF BASEMENT SLAB

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.
QUALIFICATION INFORMATION
Allen Whiting
23177
REGISTRATION INFORMATION
HUNT DESIGN ASSOCIATES INC.
19895



REAR UPGRADE ELEVATION 'B'

HUNT
DESIGN ASSOCIATES INC.
www.hunt-design.ca

GOLDPARK HOMES - 217014
PINE VALLEY TOWNS, VAUGHAN ON

Drawn By: JMc
Checked By: AW
Scale: 3/16"=1'-0"

TYPE 'B' - 3101-INTERIOR
REV.2022.07.11

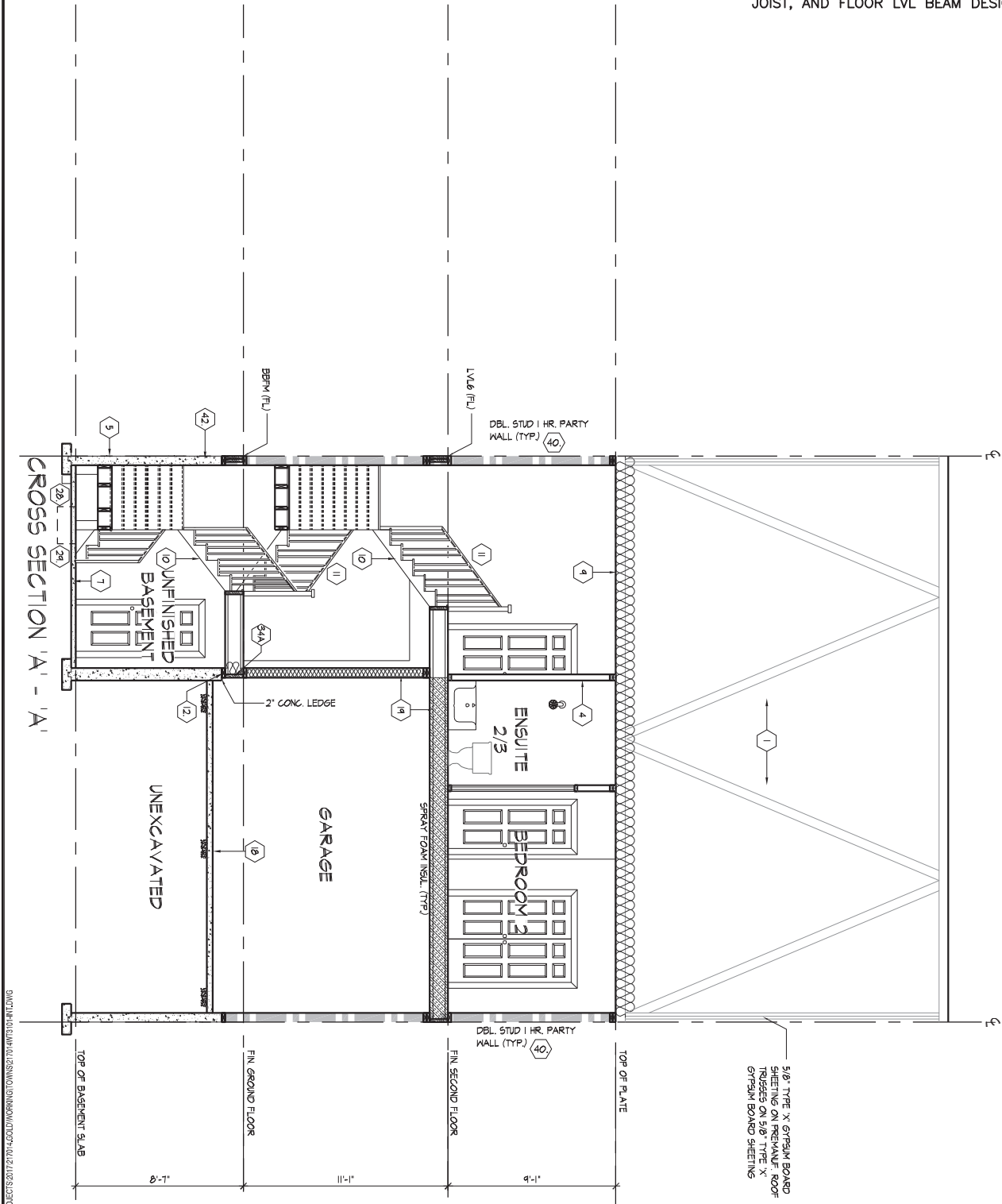
File Number: 217014WT3101.dwg
Page Number: 10 of 13

All drawings specifications related documents and design are the copyright property of Hunt Design Associates (H.D.A.). Reproduction of this property in whole or in part is strictly prohibited without H.D.A.'s written permission. (H.D.A. assumes no responsibility or liability for this property unless it bears the appropriate BCIN number and original signature.)



100 COMMERCE VALLEY DR. W.
THORNHILL, ONTARIO CANADA L3T 0A1
TEL: 1-855-852-4211/FAX: 1-855-852-0355/WWW.WSPGROUP.CA

FOR STRUCTURAL ONLY. EXCLUDING
ENGINEERED ROOF TRUSS, FLOOR
JOIST, AND FLOOR LVL BEAM DESIGN.



AW:JWH/MLT 11/22/2022 PM 1:43 PROJECT/S/217014/30/WORKING/01/01/217014/WT3/01/INT/11/01

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS
THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING
CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION
Allan Whiting 23177
SIGNATURE

DATE
REVISION INFORMATION
19895

HUNT DESIGN ASSOCIATES INC.



GOLDPARK HOMES - 217014
PINE VALLEY TOWNS, VAUGHAN ON

Drawn By JMc Checked By AW Scale 3/16"=1'-0"

8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

CROSS SECTION 'A' - 'A'

TYPE 'B' - 3101-INTERIOR

REV.2022.07.11

File Number 217014WT3101.dwg Page Number 11 of 13

All drawings specifications related documents and design are the copyright property of Hunt Design Associates (H.D.A.). Reproduction of this property in whole or in part is strictly prohibited without H.D.A.'s written permission (H.D.A. assumes no responsibility or liability for this property unless it bears the appropriate BCIN number and original signatures.)

SECTION 1.0. CONSTRUCTION NOTES

- 1 ROOF CONSTRUCTION** (9.19, 9.23.13, 9.23.15)
NO. 210 (1025 KG/M2) ASPHALT SHINGLES @ 3" (8) (9.5) PLYWOOD SHEATHING WITH 1/4" CLIPS. APPROVED WOOD TRUSSES @ 24" (610) O.C. MAX. APPROVED EAVES PROTECTION TO EXTEND 24" (610) BEYOND FACE OF ROOF AND MIN. 12" (305) BEYOND INNER FACE OF EXTERIOR WALL. 2x4x(38x89) TRUSS BRACING @ 6'-0" (1830) O.C. AT BOTTOM CHORD. PREFIN. ALUM. EAVESTROUGH, FASCIA, RAIL, & VENTED SOFFIT. ATTIC VENTILATION 1:300 OF INSULATED CEILING AREA WITH MIN. 25% OF REQUIRED OPENINGS LOCATED AT TOP OF SPACE & MIN. 25% OF REQUIRED OPENINGS LOCATED AT BOTTOM OF SPACE. EAVESTROUGH TO BE 4" MIN. WITH RAIL DISCHARGING ONTO CONCRETE SPLASH PADS OR PER MUNICIPAL REGULATIONS. TOWNHOUSES TO HAVE 9" MIN. EAVESTROUGH WITH ELEC. TRACED HEATER CABLE ALONG EAVESTROUGH AND DOWN RAIL.
- 1A ICE AND WATER SHIELD**
PROVIDE ICE AND WATER SHIELDING IN THE AREAS IDENTIFIED. THE ICE AND WATER SHIELD SHALL BE A SELF-ADHERING AND SELF SEALING MEMBRANE. SIDE LAPS MUST BE A MINIMUM 3 1/2" (90) AND END LAPS A MINIMUM 6" (152), AND TO EXTEND UP CORNER WALLS A MINIMUM 12" (305).
- 1B PROFILED ROOF TRUSSES**
ROOF TRUSSES SHALL BE PROVIDED AND/OR STEPPED AT RAISED COFFER/TRAY CEILINGS, AND/OR TRAY CEILINGS SHALL BE SHEATHED W/ 3/8" (9.5) PLYWOOD.
- 2 SIDING WALL CONSTRUCTION (2x6")**
SIDING MATERIAL, AS PER ELEVATION ATTACHED TO FRAMING MEMBERS, FURRING MEMBERS OR BLOCKING BETWEEN THE FRAMING MEMBERS ON APPROVED SHEATHING PAPER ON 3/8" (9.5) EXT. GRADE SHEATHING ON STUDS CONFORMING TO O.B.C. (9.23.10.1), & SECTION 1.1., INSULATION, APPROVED 6 MIL POLYETHYLENE AIR/VAPOUR BARRIER, ON 1/2" (12.7) GYPSUM WALLBOARD INT. FIN. (GYPSUM SHEATHING, RIGID INSULATION, AND FIBERBOARD SHALL NOT BE USED FOR THE ATTACHMENT OF SIDING (9.23.16.3,1.1)) (REFER TO 35 NOTE AS REQ.)
- 2A SIDING WALL CONSTRUCTION (2x6") W/ CONTIN. INSULATION**
SIDING MATERIAL, AS PER ELEVATION ATTACHED TO FRAMING MEMBERS ON APPROVED AIR/WATER BARRIER AS PER O.B.C. 9.23.7, ON EXTERIOR TYPE RIGID INSULATION (JOINTS UNTAPED) MECHANICALLY FASTENED AS PER MANUFACTURER'S SPECIFICATIONS, ON 3/8" (9.5) EXT. GRADE SHEATHING ON STUDS CONFORMING TO O.B.C. (9.23.10.1), & SECTION 1.1., INSULATION, APPROVED 6 MIL POLYETHYLENE AIR/VAPOUR BARRIER, ON 1/2" (12.7) GYPSUM WALLBOARD INT. FIN. (GYPSUM SHEATHING, RIGID INSULATION, AND FIBERBOARD SHALL NOT BE USED FOR THE ATTACHMENT OF SIDING (9.23.16.3,1.1)) (REFER TO 35 NOTE AS REQ.)
- 2B SIDING WALL @ GARAGE CONSTRUCTION**
SIDING MATERIAL, AS PER ELEVATION ATTACHED TO FRAMING MEMBERS, FURRING MEMBERS OR BLOCKING BETWEEN THE FRAMING MEMBERS ON APPROVED SHEATHING PAPER ON 3/8" (9.5) EXT. GRADE SHEATHING ON STUDS CONFORMING TO O.B.C. (9.23.10.1), & SECTION 1.1., INSULATION, APPROVED 6 MIL POLYETHYLENE AIR/VAPOUR BARRIER, ON 1/2" (12.7) GYPSUM WALLBOARD INTERIOR FINISH. (GYPSUM SHEATHING, RIGID INSULATION, AND FIBERBOARD SHALL NOT BE USED FOR THE ATTACHMENT OF SIDING (9.23.16.3,1.1)) (REFER TO 35 NOTE AS REQ.)
- 3 BRICK VENEER WALL CONSTRUCTION (2x6")**
3 1/2" (90) BRICK VENEER 1" (25) AIR SPACE, 7/8"x7/8"x(22x180x76) GALV. METAL TIES @ 18" (460) O.C. HORIZ. 24" (600) O.C. VERT. BONDING AND FASTENING FOR TIES TO CONFORM WITH 9.20.9, ON APPROVED SHEATHING PAPER, 3/8" (9.5) EXTERIOR TYPE SHEATHING, STUDS CONFORMING TO O.B.C. (9.23.10.1), & SECTION 1.1., INSULATION, AND 6 MIL POLYETHYLENE AIR/VAPOUR BARRIER WITH APPROVED CONT. AIR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INTERIOR FINISH. PROVIDE WEEP HOLES @ 32" (800) O.C. BOTTOM COURSE AND OVER OPENINGS. PROVIDE BASE FLASHING UP MIN. 6" (150) BEHIND BUILDING PAPER (9.23.16.3,1.1)) (REFER TO 35 NOTE AS REQ.)
- 3A BRICK VENEER WALL CONSTRUCTION (2x6") W/ CONTIN. INSULATION**
3 1/2" (90) BRICK VENEER 1" (25) AIR SPACE, 7/8"x7/8"x(22x180x76) GALV. METAL TIES @ 18" (460) O.C. HORIZ. 24" (600) O.C. VERT. BONDING AND FASTENING FOR TIES TO CONFORM WITH 9.20.9, ON APPROVED SHEATHING PAPER, 3/8" (9.5) EXTERIOR TYPE SHEATHING ON STUDS CONFORMING TO O.B.C. (9.23.10.1), & SECTION 1.1., INSULATION, APPROVED 6 MIL POLYETHYLENE AIR/VAPOUR BARRIER WITH APPROVED CONT. AIR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INTERIOR FINISH. PROVIDE WEEP HOLES @ 32" (800) O.C. BOTTOM COURSE AND OVER OPENINGS. PROVIDE BASE FLASHING UP MIN. 6" (150) OVER RIGID INSULATION (9.20.13.6,3) (REFER TO 35 NOTE AS REQ.)
- 3B BRICK VENEER WALL @ GARAGE CONSTRUCTION**
3 1/2" (90) BRICK VENEER MIN. 1" (25) AIR SPACE, 7/8"x7/8"x(22x180x76) GALV. METAL TIES @ 18" (460) O.C. HORIZ. 24" (600) O.C. VERT. BONDING AND FASTENING FOR TIES TO CONFORM WITH 9.20.9, ON APPROVED SHEATHING PAPER, 3/8" (9.5) EXTERIOR TYPE SHEATHING ON STUDS CONFORMING TO O.B.C. (9.23.10.1), & SECTION 1.1., INSULATION, APPROVED 6 MIL POLYETHYLENE AIR/VAPOUR BARRIER WITH APPROVED CONT. AIR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INTERIOR FINISH. PROVIDE WEEP HOLES @ 32" (800) O.C. AT BOTTOM COURSE AND OVER OPENINGS. PROVIDE BASE FLASHING UP MIN. 6" (150) MIN. BEHIND BUILDING PAPER (9.23.16.3,1.1)) (REFER TO 35 NOTE AS REQ.)
- 4 INTERIOR STUD PARTITIONS** (9.23.9.8, 9.23.10)
BEARING PARTITIONS SHALL BE A MINIMUM 2x4" (38x89) @ 18" (460) O.C. FOR 2 STOREY AND 1/2" (605) O.C. FOR 3 STOREY. NON-BEARING PARTITIONS 2x4" (38x89) @ 24" (610) O.C. PROVIDE 2x4" (38x89) BOTTOM PLATE AND 2x2x4" (2x38x89) TOP PLATE, 1/2" (12.7) INT. DRYWALL BOTH SIDES OF STUDS. PROVIDE 2x6" (38x140) STUDS WHERE NOTED. PROVIDE 2x4" (38x89) @ 24" (610) O.C. LADDER FRAMING WHERE WALLS INTERSECT PERPENDICULAR TO ONE ANOTHER. PROVIDE 2x4" (38x89) WOOD BLOCKING ON FLAT @ 31" (1194) O.C. MAX. BETWEEN FLOOR JOISTS WHEN NON-LOADBEARING WALLS ARE PARALLEL TO FLOOR JOISTS.
- 4A EXT. LOFT WALL CONSTRUCTION (2x6") - NO CLADDING**
3/8" (9.5) EXTERIOR TYPE SHEATHING, STUDS CONFORMING TO O.B.C. (9.23.10.1), & SECTION 1.1., INSULATION, AND 6 MIL POLYETHYLENE VAPOUR BARRIER WITH APPROVED CONT. AIR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (9.23.16.3,1.1))
- 4B EXT. LOFT WALL CONSTRUCTION (2x6") NO CLADDING W/ CONTINUOUS INSULATION**
APPROVED AIR/WATER BARRIER AS PER O.B.C. 9.23.7, ON EXTERIOR TYPE RIGID INSULATION (JOINTS UNTAPED) MECHANICALLY FASTENED AS PER MANUFACTURER'S SPECIFICATIONS, ON 3/8" (9.5) EXTERIOR TYPE SHEATHING, STUDS CONFORMING TO O.B.C. (9.23.10.1), & SECTION 1.1., INSULATION, AND 6 MIL POLYETHYLENE VAPOUR BARRIER WITH APPROVED CONT. AIR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (9.23.16.3,1.1))
- 5 FOUNDATION WALL FOOTINGS**
POURED CONCRETE FOUNDATION WALLS AS PER CHART BELOW ON CONTINUOUS REINFORCED CONCRETE FOOTING. FOUNDATION WALLS SHALL EXTEND NOT LESS THAN 6" (150) ABOVE FINISHED GRADE. THE OUTSIDE OF THE FOUNDATION SHALL BE DAMPROOFED FROM THE TOP OF 2" BELOW GRADE. PROVIDE A DRAINAGE LAYER ON THE OUTSIDE OF THE FOUNDATION WALL. SEAL THE DRAINAGE LAYER AT THE TOP. THE TOP OF THE CONC. FOOTING SHALL BE DAMPROOFED. CONCRETE FOOTINGS SUPPORTING JOIST SPANS GREATER THAN 16'-4" (4900) SHALL BE SIZED IN ACCORDANCE WITH 9.15.3.4.1 (1), (2) OF THE O.B.C. REFER TO CHART BELOW FOR RESPECTIVE SIZES. BRACE FOUNDATION WALL PRIOR TO BACKFILLING. ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OF 125KPA S.L.S., OR COMPACTED ENGINEERED FILL WITH MIN. BEARING CAPACITY OF 125KPA S.L.S., IF SOIL BEARING DOES NOT MEET MINIMUM CAPACITY. ENGINEERED FOOTINGS ARE REQUIRED. ACTUAL SOIL BEARING CAPACITY TO BE VERIFIED WITH SOIL ENGINEERING REPORT.
REFER TO CONSTRUCTION DRAWINGS AND DETAILS FOR FOUNDATION WALL STRENGTH AND THICKNESS AND 9.15.4.
FOUNDATION WALLS SHALL NOT EXCEED 9'-10" (3.0m) UN-SUPPORTED HEIGHT UNLESS OTHERWISE NOTED. (9.15.4.2,1.1)

UNREINFORCED SOLID CONCRETE FOUNDATION WALLS (9.15.4.2)				
HEIGHT	THICKNESS	MAX. HEIGHT FROM FIN. SLAB TO GRADE	UN-SUPPORTED AT TOP	SUPPORTED AT TOP
10' (3.0m)	15 MPa	10' (3.0m)	4'-0" (1.20m)	4'-0" (1.20m)
12' (3.6m)	15 MPa	12' (3.6m)	4'-6" (1.37m)	4'-6" (1.37m)
14' (4.2m)	15 MPa	14' (4.2m)	5'-0" (1.52m)	5'-0" (1.52m)
16' (4.8m)	15 MPa	16' (4.8m)	5'-6" (1.68m)	5'-6" (1.68m)
18' (5.4m)	15 MPa	18' (5.4m)	6'-0" (1.83m)	6'-0" (1.83m)
20' (6.0m)	15 MPa	20' (6.0m)	6'-6" (1.98m)	6'-6" (1.98m)
22' (6.6m)	15 MPa	22' (6.6m)	7'-0" (2.13m)	7'-0" (2.13m)
24' (7.2m)	15 MPa	24' (7.2m)	7'-6" (2.28m)	7'-6" (2.28m)
26' (7.8m)	15 MPa	26' (7.8m)	8'-0" (2.43m)	8'-0" (2.43m)
28' (8.4m)	15 MPa	28' (8.4m)	8'-6" (2.58m)	8'-6" (2.58m)
30' (9.0m)	15 MPa	30' (9.0m)	9'-0" (2.73m)	9'-0" (2.73m)

*9" MIN. THICK FOUNDATION WALL IS REQUIRED FOR MASONRY VENEER FINISHED EXTERIOR WALLS WITH CONTINUOUS INSULATION CONDITION. TO PROVIDE MIN. BEARING FOR SILL PLATES, BEAMS AND FLOOR JOISTS AS PER 9.23.7.2, 9.23.8.1, & 9.23.8.1 OF THE O.B.C.

MINIMUM STRIP FOOTING SIZES (9.15.3)				
NUMBER FLOORS	SUPPORTING MASONRY WALLS	SUPPORTING EXTERIOR PARTIAL WALL	SUPPORTING EXTERIOR PARTIAL WALL	SUPPORTING EXTERIOR PARTIAL WALL
1	16" WIDE x 8" THICK	16" WIDE x 8" THICK	16" WIDE x 8" THICK	16" WIDE x 8" THICK
2	24" WIDE x 8" THICK	24" WIDE x 8" THICK	24" WIDE x 8" THICK	24" WIDE x 8" THICK
3	36" WIDE x 14" THICK	36" WIDE x 14" THICK	36" WIDE x 14" THICK	36" WIDE x 14" THICK

REFER TO SB-12 ENERGY EFFICIENCY DESIGN MATRIX ON THE TITLE PAGE FOR ALL VALUES AS REQUIRED PER 3.1.1., 3.1.2., 3.1.3. OF THE OBC.

- 6A FOUNDATION REDUCTION IN THICKNESS FOR MASONRY**
WHERE THE TOP OF THE FOUNDATION WALL IS REDUCED IN THICKNESS TO PERMIT THE INSTALLATION OF MASONRY EXTERIOR FINISH, THE REDUCED SECTION SHALL BE NOT LESS THAN 3 1/2" (90) THICK. THE BRICK VENEER SHALL BE TIED TO THE FOUNDATION WALL WITH CORROSION RESISTANT METAL TIES @ 7'-8" (200) VERTICAL AND 2'-11" (889) HORIZONTAL. FILL VOID WITH MORTAR BETWEEN WALL AND BRICK VENEER (9.15.4.7(2)(3) & 9.23.8.1(3))
- 6B FOUNDATION REDUCTION IN THICKNESS FOR JOISTS**
WHERE THE TOP OF THE FOUNDATION WALL IS REDUCED IN THICKNESS TO PERMIT THE INSTALLATION OF FLOOR JOISTS, THE REDUCED SECTION SHALL BE NOT MORE THAN 13 3/4" (350) HIGH AND NOT LESS THAN 3 1/2" (90) THICK (9.15.4.7(1))
- 6 WEEPING TILE** (9.14.3)
4" (100) Ø WEEPING TILE W/ FILTER CLOTH WRAP & 6" (152) CRUSHED STONE COVER
- 7 BASEMENT SLAB OR SLAB ON GRADE** (9.16.4) (9.13)
3" (80) MIN. 25MPa (2500psi) CONC. SLAB ON 4" (100) COARSE GRANULAR FILL, OR 20MPa (2500psi) CONC. WITH DAMPROOFING BELOW SLAB, PROVIDE 1/2" (12.7) IMPERVIOUS BOARD FOR BOND BREAK AT EDGE, WHERE A BASEMENT SLAB IS WITHIN 24" (610) OF THE EXTERIOR GRADE PROVIDE RIGID INSUL. UNDER THE PERIMETER EXTEND MIN. 24" (610) BELOW GRADE, FOR SLAB ON GRADE CONDITIONS RIGID INSULATION SHALL BE APPLIED TO THE UNDERSIDE OF THE ENTIRE SLAB, (SB-12) 3.1.1.7.5 & (6)
- 8 EXPOSED FLOOR TO EXTERIOR** (9.10.17.10, & CANULC-S705.2)
PROVIDE SPRAY FOAM INSULATION BETWEEN CANT, JOIST AND INSTALL OSB CONFORMING TO 9.23.9, FIN. SOFT OR CLADDING AS PER ELEVATION TO US OF EXPOSED CANT, JOIST.
- 9 EXPOSED CEILING TO EXTERIOR w/ ATTIC** (9.25.2.4)
INSULATION, & 6 MIL POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM BOARD INTERIOR FINISH OR APPROVED EQ.
- 9 EXPOSED CEILING TO EXTERIOR w/ ATTIC**
JOISTS TRUSSES AS PER PLANS W/ 2x2" (38x89) PURLINS @ 16" (400) O.C. PERPENDICULAR TO JOISTS (PURLINS NOT REQ. W/ SPRAY FOAM OR ROOF TRUSSES), W/ INSULATION BETWEEN JOIST & 6 MIL POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM BOARD INT. FINISH OR APPROVED EQ. (CANULC-S705.2, 9.19.1, 9.10.17.10)
- 10 ALL STAIRS/EXTERIOR STAIRS** (9.10.12, 9.8.2, 9.8.4)
MIN. HEIGHT OVER STAIRS (HEADROOM) IS MEASURED VERTICALLY ACROSS WIDTH OF STAIRS FROM A STRAIGHT LINE TO THE TREAD AND LANDING NOSING TO LOWEST POINT ABOVE AND NOT LESS THAN 8'-0" (1950) FOR SINGLE DWELLING UNIT & 6'-6" (3/4" (2050) FOR EVERYTHING ELSE. (9.8.2.2)
REQUIRED LANDING IN GARAGE - O.B.C. 9.8.2.2(3)
FOR AN EXTERIOR STAIR SERVING A GARAGE, W/ MORE THAN 3 RISERS, GUARDS, HANDRAILS & STEPS AS PER CONSTRUCTION HUE NOTE 10 & 11.
- 11 GUARDS/RAILINGS** (9.8.7, 9.8.8)
GUARDS TO BE DESIGNED NOT TO FACILITATE CLIMBING AND PROVIDING MAX. OPENING CONFORMING TO O.B.C. 9.8.8.5, 9.8.8.6, & BE ABLE TO RESIST LOADS AS PER TABLE 9.8.8.2.
GARAGE HEIGHTS - O.B.C. 9.8.8.
EXTERIOR GUARDS: 2'-11" (600) MIN.
INTERIOR GUARDS: 2'-11" (600) MIN. (LESS THAN 5'-11" (1800) TO GRADE)
GUARDS FOR EXIT STAIRS: 2'-4" (600) MIN.
GUARDS FOR LANDINGS @ EXIT STAIRS: 2'-4" (1070) MIN.
GUARDS FOR FLOORS & RAMPS IN GARAGES (SERVICE STAIRS)
FLOOR OR RAMP W/ EXTERIOR WALLS THAT IS 23 5/8" (600) OR MORE ABOVE ADJACENT SURFACE REQUIRES CONT. CURB MIN. 6" (150) HIGH, AND GUARD MIN. 2'-4" (1070) HIGH.
REQUIRED GUARDS
BETWEEN WALKING SURFACE & ADJACENT SURFACE WITH A DIFFERENCE IN ELEVATION MORE THAN 23 5/8" (600) OR ADJACENT SURFACE WITHIN 3'-11" (1200) & WALKING SURFACE W/ A SLOPE MORE THAN 1 IN 12 SHALL BE PROTECTED WITH GUARDS PER 9.8.8.2.
HANDRAIL HEIGHTS - O.B.C. 9.8.7 - REQUIRED AS PER 9.8.7.1.3
MIN. HEIGHT AT STAIRS OR RAMP: 2'-10" (665)
MAX. HEIGHT AT STAIRS OR RAMP: 3'-2" (965)
MAX. HEIGHT AT LANDING: 3'-4" (1070)
STAIRS OR RAMP MIN. 7'-3" (2200) WIDE: 2'-9" (865) MIN. HEIGHT
- 12 SILL PLATES**
2x4" (38x89) SILL PLATE WITH 1/2" (12.7) ANCHOR BOLTS 8" (200) LONG. EMBEDDED MIN. 4" (100) INTO CONC. @ 4'-0" (1200) O.C. CAULKING OR GASKET BETWEEN PLATE AND TOP OF FOUNDATION WALL. USE NON-SHRINK GROUT TO LEVEL SILL PLATE AND FLOOR OF FOUNDATION WALL. (9.23.7)
- 13 BASEMENT INSULATION** (SB-12) 3.1.1.7)
PROVIDE CONTINUOUS BLANKET INSULATION W/ BUILT IN 6 MIL POLYETHYLENE VAPOUR BARRIER. INSULATION TO EXTEND NO MORE THAN 6" (200) ABOVE FINISHED BASEMENT FLOOR. DAMPROOFED AT MID-HEIGHT IF WALL IS UNFINISHED. THE FOUNDATION WALL AND INSULATION UP TO GRADE LEVEL.
- 14 BEARING STUD PARTITION IN BASEMENT** (9.15.3.6, 9.23.10.1)
2x4" (38x89) STUDS @ 18" (460) O.C. 2x4" (38x89) SILL PLATE (2x6" (38x140) AS REQUIRED) ON DAMPROOFING MATERIAL OR 2 MIL POLYETHYLENE FILM, 1/2" (12.7) Ø ANCHOR BOLTS 8" (200) LONG. EMBEDDED @ 1' (100) MIN. INTO CONC. @ 1'-10" (2500) O.C. @ 1' (100) HIGH CONC. CURB ON CONC. FOOTING. FOR SIZE REFER TO NOTES & 9.10.17.10. HORIZ. BLOCKING AT MID-HEIGHT IF WALL IS UNFINISHED.
- 15 ADJUSTABLE STEEL BASEMENT COLUMN** (9.15.3.4)
9'-10" (3000) MAX. SPAN BETWEEN COLUMNS, 3 1/2" (90) ØX16 TUBE ADJUSTABLE STEEL COLUMN CONFORMING TO CANC058-7.2M, AND WITH 6"x6"x3/8" (152x152x9.5) STEEL PLATE TOP & BOTTOM. FIELD WELD BASEMENT COLUMN CONNECTION, POURED CONCRETE FOOTING ON NATURAL UNDISTURBED SOIL OF 125KPA S.L.S., OR COMPACTED ENGINEERED FILL WITH MIN. BEARING CAPACITY OF 125KPA S.L.S., AS PER SOILS REPORT.
SUPPORTING 2 STOREY FLR. LOAD PROVIDE 34"x34"x16" (870x870x410) CONC. FOOTING
SUPPORTING 3 STOREY FLR. LOAD PROVIDE 40"x40"x19" (1000x1000x480) CONC. FOOTING
- 15A NON-ADJUSTABLE STEEL BASEMENT COLUMN**
3 1/2" (90) Ø x 0.188" (4.78) NON-ADJUSTABLE STEEL COLUMN WITH 6"x6"x3/8" (152x152x9.5) STEEL PLATE TOP & BOTTOM. BOTTOM PLATE CW 2 1/2"x10"x12" LONG@2 HOOK ANCHORS. FIELD WELD BASEMENT COLUMN CONNECTION, POURED CONCRETE FOOTING ON NATURAL UNDISTURBED SOIL OF 125KPA S.L.S., OR COMPACTED ENGINEERED FILL WITH MIN. BEARING CAPACITY OF 125KPA S.L.S., AS PER SOILS REPORT.
SUPPORTING 2 STOREY FLR. LOAD PROVIDE 42"x42"x18" (1070x1070x460) CONC. FOOTING
SUPPORTING 3 STOREY FLR. LOAD PROVIDE 48"x48"x24" (1220x1220x610) CONC. FOOTING
- 15B NON-ADJUSTABLE STL. COLUMN AT FOUNDATION WALL**
3 1/2" (90) Ø x 0.188" (4.78) NON-ADJUSTABLE STEEL COLUMN WITH 6"x6"x3/8" (152x152x9.5) STEEL TOP PLATE & 6"x6"x3/8" (152x152x9.5) BOTTOM PLATE, BASE PLATE-1/2"x10"x12" (120x250x12.7) WITH 2-1/2"x10"x12" LONG@2 HOOK ANCHORS (2-12.70x30x50), FIELD WELD COLUMN TO BASE PLATE & STEEL BEAM.
- 16 STEEL BEAM BEARING AT FOUNDATION WALL** (9.23.8.1)
BEAM POCKET OR BEAR (200x200) POURED CONC. NEW WALLS, MIN. BEARING 3.1.2.2, CONC. NEW WALLS TO HAVE EXTENDED FOOTINGS
- 17 WOOD STRAPPING AT STEEL BEAMS** (9.23.8.1(3), 9.23.8.1)
17" (1964) CONTIN. WOOD STRAPPING BOTH SIDES OF STEEL BEAM.
- 18 GARAGE SLAB** (9.16, 9.13)
4" (100) 32MPa (4600psi) CONC. SLAB WITH 50% AIR ENTRAINMENT ON OPT. 4" (100) COARSE GRANULAR FILL WITH COMPACTED SUB-BASE OR COMPACTED NATIVE FILL. SLOPE TO FRONT @ 1% MIN.
- 19 GARAGE TO HOUSE WALLS/CEILING** (9.10.9.16)
1/2" (12.7) GYPSUM BOARD ON WALL AND CEILING BETWEEN HOUSE AND GARAGE. PLUS REQUIRED INSULATION IN WALLS AND SPRAY FOAM FOR CEILINGS. TAPE AND SEAL ALL JOINTS GAS TIGHT. (9.10.17.10, CANULC-S705.2)
- 19A GARAGE TO HOUSE WALLS/CEILING w/ CONTIN. INSULATION**
1/2" (12.7) GYPSUM BOARD ON CEILING AND ON WALLS INSTALLED OVER EXTERIOR TYPE RIGID INSULATION (JOINTS UNTAPED) MECHANICALLY FASTENED AS PER MANUFACTURER'S SPECIFICATIONS ON 3/8" EXTERIOR GRADE SHEATHING ON STUDS BETWEEN HOUSE AND GARAGE. PLUS REQUIRED INSULATION IN WALLS & SPRAY FOAM FOR CEILINGS, TAPE AND SEAL ALL JOINTS GAS TIGHT. (9.10.9.16, 9.10.17.10, CANULC-S705.2)

- 20 GARAGE DOOR TO HOUSE** (9.10.9.16, 9.10.13.10, 9.10.13.15)
GAS-PROOF DOOR AND FRAME. DOOR EQUIPPED WITH SELF CLOSING DEVICE AND WEATHER STRIPPING.
- 21 EXTERIOR AND GARAGE STEPS**
PRECAST CONC. STEP OR WOOD STEP WHERE NOT EXPOSED TO WEATHER. MAX. RISE 7'-8" (200) MIN. TREAD 9'-14" (235). FOR THE REQUIRED NUMBER OF STEPS REFER TO SITING AND GRADING DRAWINGS. EXTERIOR CONCRETE STAIRS WITH MORE THAN 2 RISERS AND 2 TREADS SHALL BE PROVIDED WITH FOUNDATION AS REQUIRED BY ARTICLE 9.8.9.2, OR SHALL BE CANCILLERED AS PER SUBSECTION 9.8.10.
- 22 DRYER EXHAUST**
CAPPED DRYER EXHAUST VENTED TO EXT. CONFORMING TO PART 6, OBC 9.32.
- 23 ATTIC ACCESS** (9.19.2.1)
ATTIC ACCESS HATCH WITH MIN. AREA OF 0.32m2 AND NO DIM. LESS THAN 21" (534) WITH WEATHER STRIPPING. HATCHWAYS TO THE ATTIC OR ROOF SPACE WILL BE FITTED WITH DOORS OR COVERS AND WILL BE INSULATED WITH MIN. R20 (R31.52) (SB-12) 3.1.1.8(1,1.1))
- 24 FIREPLACE CHIMNEYS** (9.2.1)
TOP OF FIREPLACE CHIMNEY SHALL BE 2'-11" (889) ABOVE THE HIGHEST POINT AT WHICH IT COMES IN CONTACT WITH THE ROOF AND 2'-4" (610) ABOVE THE ROOF SPACE WITHIN A HORIZ. DISTANCE OF 10'-0" (3048) FROM THE CHIMNEY.
- 25 LINEN CLOSET**
PROVIDE 4 SHELVES MIN. 14" (356) DEEP.
- 26 MECHANICAL VENTILATION** (9.32.1.3)
MECHANICAL EXHAUST FAN, VENTED TO EXTERIOR, TO PROVIDE AT LEAST ONE AIR CHANGE PER HOUR. SEE GENERAL NOTE 2.3.
- 27 PARTY WALL BEARING** (9.23.8)
12x12x5/8" (305x305x15.9) STEEL PLATE FOR STEEL BEAMS AND 12x12x1/2" (305x305x12.7) STEEL PLATE FOR WOOD BEAMS BEARING MIN. 3'-12" (890) ON CONC. BLOCK PARTY WALL, ANCHORED WITH 2'-4" (2-19) x 8" (200) LONG GALV. ANCHORS WITHIN SOLID BLOCK COURSE. LEVEL W/ NON-SHRINK GROUT. REFER TO NOTE SOLID BEARING (SECTION 3.0) FOR WD. STUD PARTY WALL.
- 28 WOOD FRAMING IN CONTACT TO CONCRETE**
WOOD BEARING WALLS. THE UNDERSIDE OF BUILT-UP WOOD POSTS AND SILLS SHALL BE WRAPPED WITH 2 MIL POLY. STRIP FOOTINGS SUPPORTING THE FOUNDATION WALL SHALL BE MINDED @ 1/2" (152) BELOW THE BEARING WALL AND/OR WOOD POST. (9.17.4.3).
- 29 BUILT-UP WOOD POST AND FOOTING** (9.17.4.1, 9.15.3.7)
3-2x6" (3-38x140) BUILT-UP WOOD POST UNLESS OTHERWISE NOTED ON METAL BASE SHOE ANCHORED TO CONC. WITH 1/2" (12.7) Ø BOLT. 2x4"x24"x12" (610x610x305) CONC. FOOTING OR AS PROVIDED ON PLAN. REFER TO NOTE 28
- 30 STEP FOOTINGS** (9.15.3.3)
MIN. HORIZ. STEP = 23 5/8" (600). MAX. VERT. STEP = 23 5/8" (600).
- 31 CONC. PORCH SLAB** (9.16.4)
MIN. 4" (100) CONCRETE SLAB ON GRADE ON 4" (100) COARSE GRANULAR FILL. REINFORCED WITH 6x6xw/32x29 MESH PLACING NEAR MID-DEPTH OF SLAB. CONC. STRENGTH 32MPa (4640psi) WITH 50% AIR ENTRAINMENT ON COMPACTED SUB-GRADE.
- 32 FURNACE VENTING** (9.32.3)
DIRECT VENT FURNACE TERMINAL MIN. 3'-0" (915) FROM A GAS REGULATOR. MIN. 12" (305) ABOVE FIN. GRADE. FROM ALL OPENINGS, EXHAUST AND INTAKE VENTS, HRV INTAKE TO BE A MIN. Ø 6'-0" (1830) FROM ALL EXHAUST TERMINALS. REFER TO GAS UTILIZATION CODE.
- 33 FIREPLACE VENTING** (9.32.3)
DIRECT VENT GAS FIREPLACE VENT TO BE A MIN. 12" (305) FROM ANY OPENING AND ABOVE FIN. GRADE. REFER TO GAS UTILIZATION CODE.
- 34 FLOOR FRAMING** (9.23.3.5, 9.23.3.4, 9.23.14)
T&G SUBFLOOR ON WOOD FLOOR JOISTS. FOR CERAMIC TILE APPLICATION SEE O.B.C. 9.30.6. ALL JOISTS WHERE REQUIRED TO BE BRIDGED WITH 2x2" (38x89) CROSS BRACING OR SOLID BLOCKING @ 6'-11" (2108) O.C. MAX. ALL JOISTS TO BE STRAPPED WITH 1x2" (1964) @ 6'-11" (2108) O.C. UNLESS A PANEL TYPE CEILING FINISH IS APPLIED.
- 34A HEADER CONSTRUCTION**
PROVIDE CONTINUOUS APPROVED AIR/VAPOUR BARRIER (HEADER WRAP) UNDER THE SILL PLATE, AROUND THE RIM BOARD AND UNDER THE BOTTOM PLATE. THE HEADER WRAP SHALL EXTEND 6" (150) BELOW THE TOP OF FOUNDATION WALL AND WILL BE SEALED TO THE CONCRETE FOUNDATION WALL. EXTEND HEADER WRAP @ 1/2" (152) UP THE INTERIOR SIDE OF THE STUD WALL AND OVERLAP WITH THE VAPOUR BARRIER AND SEAL THE JOINT. ALL EDGES/JOINTS MUST BE MECHANICALLY CLAMPED.
- 35 EXPOSED BUILDING FACE w/ LIMITING DISTANCE < 3'-11" (1.20m)**
WALL ASSEMBLY CONTAINS INSULATION CONFORMING TO CANULC-S702 & HAVING A MASS OF NOT LESS THAN 1.22 KG/M2 OF WALL SURFACE AND 1/2" (12.7) TYPE I GYPSUM WALLBOARD INTERIOR FINISH. EXTERIOR CLADDING MUST BE NON-COMBUSTIBLE WHEN LIMITING DISTANCE IS 23 5/8" (600) OR LESS. WALL ASSEMBLY REQUIRES TO HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN 45 MINUTES & CONFORMING TO O.B.C. 9.10.14, OR 9.10.15. REFER TO DETAILS FOR TYPE & SPEC. ** AN OPENING IN AN EXPOSING BUILDING FACE NOT MORE THAN 20" (508) SHALL NOT BE CONSIDERED AN UNPROTECTED OPENING AS PER 9.10.14.2
- 36 COLD CELLAR PORCH SLAB** (9.30)
FOR MAX. 9'-2" (2500) PORCH DEPTH, 5" (127) 32 MPa (4640psi) CONC. SLAB W/ 50% AIR ENTRAINMENT. REINF. WITH 10M BARS @ 7'-8" (200) O.C. EACH DIRECTION. W/ 1 1/4" (32) CLEAR COVER FROM BOTTOM OF SLAB TO FIRST LAYER OF BARS & SECOND LAYER OF BARS Laid DIRECTLY ON TOP OF LOWER LAYER. OPPOSITE END, 2x4" (38x89) 3x10M DOMELS @ 23 5/8" (600) O.C. ANCHORED IN PERIMETER END. WALLS, SILL SHALL BE 1/2" (152) FROM DOOR.
- 37 RANGE HOODS AND RANGE-TOP FANS**
COOKING APPLIANCE EXHAUST FANS VENTED TO EXTERIOR MUST CONFORM TO OBC 9.10.22, 9.32.3.9, & 9.32.3.10.
- 38 CONVENTIONAL ROOF FRAMING** (9.23.13, 9.23.15)
2x6" (38x140) RAFTERS @ 18" (460) O.C. 2x6" (38x140) RIDGE BOARD, 2x4" (38x89) COLLAR TIES AT MID-SPAN. CEILING JOISTS TO BE 2x4" (38x89) @ 18" (460) O.C. FOR MAX. 9'-3" (2819) SPAN & 2x6" (38x140) @ 18" (460) O.C. FOR MAX. SPAN 14'-7" (4450). RAFTERS FOR BUILT UP ROOF COVER PRE-ENGINEERED ROOF TRUSSES OR CONVENTIONAL FRAMING TO BE 2x4" (38x89) @ 24" (610) O.C. UNLESS OTHERWISE SPECIFIED.

FOR STRUCTURAL ONLY. EXCLUDING
ENGINEERED ROOF TRUSS, FLOOR
JOIST, AND FLOOR LVL. BEAM DESIGN.

CONSTRUCTION NOTES

GOLDPARK HOMES - 217014
PINE VALLEY TOWNS, VAUGHAN ON

TYPE 'B' - 3101-INTERIOR
REV.2022.07.11

Drawn By: JMc Checked By: AW Scale: 3/16"=1'-0" File Number: 217014WT3101.dwg Page Number: 12 of 13

8966 Woodbine Ave., Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

ALL drawings specifications related documents and design are the copyright property of Hunt Design Associates (P.O.A.). Reproduction of this property in whole or in part is strictly prohibited without H.D.A.'s written permission. H.D.A. assumes no responsibility or liability for this property unless it bears the appropriate BCIN number and original signature(s).

cont. SECTION 1.0. CONSTRUCTION NOTES

39 TWO STOREY VOLUME SPACES (9.23.10.1, 9.23.11, 9.23.16.)			
WALL ASSEMBLY	WIND LOADS	<= 0.5 kPa (g50)	
		> 0.5 kPa (g50)	
EXTERIOR STUDS	SPACING	MAX HEIGHT	SPACING
BRICK	2'-2 1/2" (635x140) SPLY #2	12' (305) O.C.	18'-4" (5588)
SIDING	2'-2 1/2" (635x140) SPLY #2	12' (305) O.C.	18'-4" (5588)
BRICK	2'-2 1/2" (635x140) SPLY #2	12' (305) O.C.	18'-4" (5588)
SIDING	2'-2 1/2" (635x140) SPLY #2	12' (305) O.C.	18'-4" (5588)
BRICK	2'-2 1/2" (635x140) SPLY #2	12' (305) O.C.	18'-4" (5588)
SIDING	2'-2 1/2" (635x140) SPLY #2	12' (305) O.C.	18'-4" (5588)

STUDS ARE TO BE CONTINUOUS, C/W 3/8" (9.5) THICK EXTERIOR PLYWOOD SHEATHING, PROVIDE SOLID WOOD BLOCK BETWEEN WOOD STUDS @ 4'-4" (1220) O.C. VERTICAL.

FOR HORIZ. DISTANCES LESS THAN 9'-4" (2896) PROVIDE 2x6" (38x140) STUDS @ 16" (406) O.C. WITH CONTIN. 2x6" (38x140) TOP PLATE + 1x2x6" (1x38x140) BOTTOM PLATE & MIN. OF 2x2x6" (38x184) CONC. HEADER AT GROUND FLOOR CEILING LEVEL. TOP-NAILED & GLUED AT TOP, BOTTOM PLATES & HEADERS.

1 HR. PARTY WALL (CONC. BLOCK) (SB-3) WALL TYPE 9b9d & 9b1d

1/2" (12.7) GYPSUM SHEATHING ON EACH SIDE ON 2x2" (38x38) VERTICAL WD. STRAPPING @ 24" (610) O.C. ON 8" (203) CONC. BLOCK FILL STRAPPING CAVITY EACH SIDE WITH AT LEAST 90% OF ABSORPTIVE MATERIAL PROCESSED FROM ROCK, SLAG OR GLASS. TAPE, FILL & SAND ALL GYPSUM JOINTS, EXPOSED BLOCK MUST BE SEALED W/ COATS OF PAINT OR FURRED WITH 2x2" (38x38) WD. STRAPPING & 1/2" (12.7) GYPSUM SHEATHINGS.

1 HR. PARTY WALL (DOUBLE STUD) (SB-3) WALL TYPE W/3c

1/2" (12.7) GYPSUM SHEATHING ON EXTERIOR SIDE OF 2 ROWS OF 2x4" (38x89) STUDS @ 16" (406) O.C. MIN. 1" (25.4) APART ON SEPARATE 2x4" (38x89) SILL PLATES. 2x6" (38x140) (AS REQUIRED) FILL ONE SIDE OF STUD CAVITY WITH AT LEAST 90% OF ABSORPTIVE MATERIAL PROCESSED FROM ROCK, SLAG OR GLASS. TAPE FILL AND SAND ALL GYPSUM JOINTS.

2 HR. FIREWALL (SB-3) WALL TYPE 9b9d & 9b1d

1/2" (12.7) GYPSUM SHEATHING ON EACH SIDE ON 2x2" (38x38) VERTICAL WOOD STRAPPING @ 24" (610) O.C. ON 8" (203) CONC. BLOCK FILL STRAPPING CAVITY EACH SIDE WITH AT LEAST 90% OF ABSORPTIVE MATERIAL PROCESSED FROM ROCK, SLAG OR GLASS. TAPE, FILL & SAND ALL GYPSUM JOINTS. AT UNFINISHED AREA, EXTERIOR FACE OF CONC. BLOCK TO BE SEALED W/ COATS OF PAINT. GYPSUM SHEATHING TO BE ATTACHED TO CONC. BLOCK. (REFER TO DETAILS)

STUCCO WALL CONSTRUCTION (2x6")

STUCCO FINISH CONFORMING TO O.B.C. SECTION 9.28, AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1 1/2" (38) E.I.F.S. (MINIMUM) ON APPROVED DRAINAGE MAT ON 1/2" (12.7) DENSGLASS GOLD GYPSUM BOARD ON STUDS CONFORMING TO O.B.C. (9.23.10.1) & SECTION 1.1, INSULATION, APPROVED 6 MIL. POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (REFER TO 35 NOTE AS REQUIRED)

STUCCO WALL CONSTRUCTION (2x6") W/ CONTIN. INSUL.

STUCCO FINISH CONFORMING TO O.B.C. SECTION 9.28, AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1 1/2" (38) E.I.F.S. (MINIMUM) ON APPROVED DRAINAGE MAT ON 1/2" (12.7) DENSGLASS GOLD GYPSUM BOARD ON STUDS CONFORMING TO O.B.C. (9.23.10.1) & SECTION 1.1, INSULATION, APPROVED 6 MIL. POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (REFER TO 35 NOTE AS REQUIRED)

STUCCO WALL @ GARAGE CONSOLE

STUCCO FINISH CONFORMING TO O.B.C. SECTION 9.28, AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1 1/2" (38) E.I.F.S. (MINIMUM) ON APPROVED DRAINAGE MAT ON 1/2" (12.7) DENSGLASS GOLD GYPSUM BRD. ON STUDS CONFORMING TO O.B.C. (9.23.10.1) & SECTION 1.1, INSULATION, APPROVED 6 MIL. POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (REFER TO 35 NOTE AS REQ.)

*** FOR DWELLINGS USING CONTIN. INSULATION CONSTRUCTION, PROVIDE APPROVED DRAINAGE MAT ON 7/16" (11) EXTERIOR TYPE SHEATHING OVER FURRING (AS REQ.) AND STUDS IN LIEU OF 1 1/2" (38) E.I.F.S. (MINIMUM) ON APPROVED DRAINAGE MAT ON 1/2" (12.7) DENSGLASS GOLD GYPSUM BRD.

UNSUPPORTED FOUNDATION WALLS (9.15.4.2)

REINFORCING AT STAIRS AND SUNKEN FLOOR AREAS

2-20M BARS IN TOP PORTION OF WALL (10'-0" TO 8'-0" OPENING)

2-20M BARS IN TOP PORTION OF WALL (8'-0" TO 12'-0" OPENING)

2-20M BARS IN TOP PORTION OF WALL (12'-0" TO 15'-0" OPENING)

- BARS STACKED VERTICALLY AT INTERIOR FACE OF WALL @ 6" O.C.

REINFORCING AT BASEMENT WINDOWS

2-15M HORIZ. REINFORCING ON THE INSIDE AND OUTSIDE FACE OF THE FOUNDATION WALL BELOW THE WIN. SILL. EXTEND BARS 24" (610) BEYOND THE OPENING. 2-15M VERTICAL REINFORCING ON THE INSIDE AND OUTSIDE FACE OF THE FOUNDATION WALL ON EACH SIDE OF THE WINDOW OPENING.

- BARS TO HAVE MIN. 1" (25) CONC. COVER

- BARS TO EXTEND 2'-0" (610) BEYOND BOTH SIDES OF OPENING

STUD WALL REINFORCEMENT

PROVIDE STUD WALL REINFORCEMENT IN MAIN BATHROOM CONFORMING TO O.B.C. (9.5.2.3.11) (REFER TO DETAILS)

WINDOW WELLS

WHERE A WINDOW OPENS INTO A WINDOW WELL, A CLEARANCE OF NOT LESS THAN 21 5/8" (550) SHALL BE PROVIDED IN FRONT OF THE WINDOW. EVERY WINDOW WELL SHALL BE DRAINED TO THE FOOTING LEVEL OR OTHER SUITABLE LOCATION WITH A 4" (100) WEEPING TILE C/W A FILTER CLOTH WRAP AND FILLED WITH CRUSHED STONE. (9.9.10.1.5), 9.14.6.3.1)

SLOPED CEILING CONSTRUCTION (SB-12) 3.1.1.8, 9.23.4.2

2x12" (38x286) ROOF JOISTS @ 16" (406) O.C. MAX. UNLESS OTHERWISE NOTED W/ 2x2" (38x89) PURLINS @ 16" (406) O.C. PERPENDICULAR TO ROOF JOIST. PURLINS NOT REQ. W/ SPRAY FOAM. W/ INSULATION BETWEEN JOIST, 6 MIL. POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH OR APPROVED EQ. INSULATION VALUE DIRECTLY ABOVE THE INNER SURFACE OF EXTERIOR WALLS SHALL NOT BE LESS THAN R20 (3.52 RSI).

FLAT ROOF/BALCONY CONSTRUCTION

WATERPROOFING MEMBRANE (9.26.11, 9.26.15, 9.26.16) FULLY ADHERED TO 5/8" (15.9) 116G EXTERIOR GRADE PLYWOOD SHEATHING ON 2x2" (38x89) PURLINS ANGLED TOWARDS SCUPPER @ 2% MINIMUM LAID PERPENDICULAR TO 2x6" (38x184) FLOOR JOISTS @ 16" (406) O.C. UNLESS OTHERWISE NOTED, BUILT UP CURB TO BE 4" (100) MIN. ABOVE FINISHED BALCONY FLOOR, CONTINUOUS L' TRIM DRIP EDGE TO BE PROVIDED ON OUTSIDE FACE OF CURB. SCUPPER DRAIN TO BE LOCATED 24" (610) MIN. AWAY FROM HOUSE. PRE-FINISHED ALUMINUM OR PANEL FLOOR UNDERSIDE OF SOFFIT (9.23.2.3), REMOVE CURB WHERE REQ.

BALCONY CONDITION

SEE FLAT ROOF/BALCONY CONSTRUCTION NOTE. INCLUDE 2x4" (38x89) PT. DECKING W/ 1/4" (6.4) GAPS LAID FLAT PARALLEL TO JOISTS ON 2x4" (38x89) PT. SLEEPERS @ 12" (305) O.C. LAID FLAT PARALLEL TO JOISTS

BALCONY OVER HEATED SPACE CONDITION

SEE FLAT ROOF/BALCONY CONSTRUCTION NOTE FOR ASSEMBLY. REFER TO PLANS FOR FLOOR JOIST SIZE & REFER TO HEX NOTE 9 FOR INSULATION AND INTERIOR FINISH

BARREL VAULT CONSTRUCTION

CANTILEVERED 2x4" (38x89) SPACERS LAID FLAT ON 2x10" (38x235) SPLY. 2nd ROOF JOIST NAILED TO BUILT-UP 3-3/4" (19) PLYWOOD HEADER PROFILED FOR BARREL. SPRAY FOAM INSULATION BETWEEN JOISTS W/ GYPSUM BOARD. INTERIOR FIN. (REFER TO DETAILS)

REFER TO SB-12 ENERGY EFFICIENCY DESIGN MATRIX ON THE TITLE PAGE FOR ALL VALUES AS REQUIRED PER 3.1.1., 3.1.2., 3.1.3. OF THE OBC.

SECTION 1.1. WALL STUDS

- REFER TO THIS CHART FOR STUD SIZE & SPACING AS REQUIRED FOR EXTERIOR WALLS ONLY. REFER TO SITING & GRADING PLAN OF THIS UNIT FOR CONFIRMATION OF TOP OF FOUNDATION WALL AND ADDITIONAL INFORMATION.

- IF STUD WALL HEIGHT EXCEEDS MAX. UNSUPPORTED HEIGHT, WALL NEEDS TO BE REVIEWED AND APPROVED BY ENGINEER.

MIN. STUD SIZE In (mm)	SIZE & SPACING OF STUDS: (OBC REFERENCE - TABLE 9.23.10.1)			
	ROOF W/ OR W/O ATTIC	SUPPORT FLOOR (EXTERIOR) ATTIC & 1 FLOOR	ROOF W/ OR W/O ATTIC & 2 FLOOR	ROOF W/ OR W/O ATTIC & 3 FLOOR
2x4" (38x89)	24" (610)	16" (406)	12" (305)	N/A
2x6" (38x140)	9'-10" (3.0)	9'-10" (3.0)	9'-10" (3.0)	N/A
2x8" (38x184)	-	9'-10" (3.0)	16" (406)	12" (305)
2x10" (38x235)	-	9'-10" (3.0)	11'-10" (3.6)	5'-11" (1.8)

SECTION 2.0. GENERAL NOTES

2.1. WINDOWS

1) EXCEPT WHERE A DOOR ON THE SAME FLOOR LEVEL AS THE BEDROOM PROVIDES DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL CONTAINING A BEDROOM IS TO HAVE AT LEAST ONE OUTSIDE WINDOW W/ MIN. 0.35m2 UNOBSTRUCTED OPEN PORTION W/ NO DIMENSION LESS THAN 1'-3/4" (380), CAPABLE OF MAINTAINING THE OPENING WITHOUT THE NEED FOR ADDITIONAL SUPPORT. CONFORMING TO 9.9.10.

2) WINDOW GUARDS: A GUARD OR A WINDOW WITH A MAXIMUM RESTRICTED OPENING WIDTH OF 4" (100) IS REQUIRED WHERE THE TOP OF THE WINDOW SILL IS LOCATED LESS THAN 1'-7" (480) ABOVE FIN. FLOOR AND THE DISTANCE FROM THE FINISHED FLOOR TO THE ADJACENT GRADE IS GREATER THAN 5'-11" (1800), (9.8.8.1).

3) WINDOWS IN EXIT STAIRWAYS THAT EXTEND TO LESS THAN 2'-11" (800) (3'-4" (1070) FOR ALL OTHER BUILDINGS) SHALL BE PROTECTED BY GUARDS IN ACCORDANCE WITH NOTE #2 (ABOVE), OR THE WINDOW SHALL BE NON-OPERABLE AND DESIGNED TO WITHSTAND THE SPECIFIED LOADS FOR BALCONY GUARDS AS PROVIDED IN 4.1.5.15 OR 9.8.8.2

4) REFER TO TITLE PAGE FOR MAX. L-VALUE REQUIREMENTS

2.2. CEILING HEIGHTS	
ROOM OR SPACE	MINIMUM HEIGHTS
LIVING ROOM, DINING ROOM AND KITCHEN	7'-7" OVER 75% OF REQUIRED FLOOR AREA WITH A CLEAR HEIGHT OF 6'-11" AT ANY POINT
BEDROOM	7'-7" OVER 50% OF REQUIRED FLOOR AREA OR 6'-11" OVER ALL OF THE REQUIRED FLOOR AREA
BASEMENT	6'-11" OVER AT LEAST 75% OF THE BASEMENT AREA EXCEPT THAT UNDER BEAMS AND DUCTS THE CLEARANCE IS PERMITTED TO BE REDUCED TO 6'-8"
BATHROOM, LAUNDRY AREA ABOVE GRADE	6'-11" IN ANY AREA WHERE A PERSON WOULD NORMALLY BE STANDING
FINISHED ROOM NOT MENTIONED ABOVE	6'-11"
MEZZANINES	6'-11" ABOVE & BELOW FLOOR ASSEMBLY (9.5.3.2)
STORAGE GARAGE	6'-7" (9.5.3.3)

2.3. MECHANICAL / PLUMBING

1) MECHANICAL VENTILATION IS REQUIRED TO PROVIDE 0.7 AIR CHANGE PER HOUR IF NOT AIR CONDITIONED 1 PER HOUR IF AIR CONDITIONED AVERAGED OVER 24 HOURS. WHEN A VENTILATION FAN (PRINCIPAL EXHAUST) IS REQUIRED, CONFORM TO OBC 9.3.2.4.4, WHEN A HRV IS REQUIRED, CONFORM TO 9.3.2.3.1, REFER TO MECHANICAL DRAWINGS.

2) REFER TO HOT WATER TANK MANUFACTURER SPECS. CONFORM TO OBC 9.31.6.

3) REFER TO TITLE PAGE FOR SPACE HEATING EQUIPMENT, HRV AND DOMESTIC HOT WATER HEATER MINIMUM EFFICIENCIES.

4) DRAIN WATER HEAT RECOVERY UNIT (S) WILL BE INSTALLED CONFORMING TO THE REQUIREMENTS OF SB12 - 3.1.1.12, OF THE O.B.C.

2.4. LUMBER

1) ALL LUMBER SHALL BE SPRUCE No.2 GRADE OR BETTER, UNLESS NOTED OTHERWISE.

2) STUDS SHALL BE STUD GRADE SPRUCE, UNLESS NOTED OTHERWISE.

3) LUMBER EXPOSED TO THE EXTERIOR TO BE SPRUCE No. 2 GRADE PRESSURE TREATED OR CEDAR UNLESS NOTED OTHERWISE.

4) ALL LAMINATED VENEER LUMBER (LVL) BEAMS, GIRDER TRUSSES, AND METAL HANGER CONNECTIONS SUPPORTING ROOF FRAMING TO BE DESIGNED & CERTIFIED BY FLOOR AND ROOF TRUSS MANUFACTURER.

5) JOIST HANGERS: PROVIDE APPROVED METAL HANGERS FOR ALL JOISTS AND BUILT-UP WOOD MEMBERS INTERSECTING WITH THE LUSH BUILT-UP WOOD MEMBERS.

6) WOOD FRAMING NOT TREATED WITH A WOOD PRESERVATIVE IN CONTACT WITH CONCRETE, SHALL BE SEPARATED FROM THE CONC. BY AT LEAST 2 mil POLYETHYLENE FILM, No.50 (438u) ROLL ROOFING OR OTHER DAMPPROOFING MATERIAL, EXCEPT WHERE THE WOOD MEMBER IS AT LEAST 8" (152) ABOVE THE GROUND.

2.5. STEEL (9.23.4.3)

1) STRUCTURAL STEEL SHALL CONFORM TO CAN/CSA-G40-21 GRADE 350W, HOLLOW STRUCT. SECTIONS SHALL CONFORM TO CAN/CSA-G40-21 GRADE 350W CLASS 1+.

2) REINFORCING STEEL SHALL CONFORM TO CSA-G30-18M GRADE 400R.

2.6. FLAT ARCHES

1) FOR 8'-0" (2440) CEILINGS, FLAT ARCHES SHALL BE 6'-10" (2080) A.F.F.

2) FOR 9'-0" (2740) CEILINGS, FLAT ARCHES SHALL BE 7'-10" (2400) A.F.F.

3) FOR 10'-0" (3040) CEILINGS, FLAT ARCHES SHALL BE 8'-6" (2600) A.F.F.

2.7. ROOF OVERHANGS

1) ALL ROOF OVERHANGS SHALL BE 1'-0" (305), UNLESS NOTED OTHERWISE.

2.8. FLASHING (9.20.13, 9.26.4, 9.27.3)

1) FLASHING MATERIALS & INSTALLATION SHALL CONFORM TO O.B.C.

2.9. GRADING

1) THE BUILDING SHALL BE LOCATED OR THE BUILDING SITE GRADED SO THE WATER WILL NOT ACCUMULATE AT OR NEAR THE BUILDING AND WILL NOT ADVERSELY AFFECT ADJACENT PROPERTIES, CONFORM TO 9.14.6.

2.10. ULC SPECIFIED ASSEMBLIES

ALL REQUIRED INDIVIDUAL COMPONENTS THAT FORM PART OF ANY ULC LISTED ASSEMBLY, SPECIFIED WITHIN THESE DRAWINGS, CANNOT BE ALTERED OR SUBSTITUTED FOR ANY OTHER MATERIALS OR SPECIFIED MANUFACTURER THAT IS IDENTIFIED IN THAT SPECIFIED ULC LISTING. THERE SHALL BE NO DEVIATIONS UNDER ANY CIRCUMSTANCES IN ANY ULC LISTED ASSEMBLY IDENTIFIED IN THESE DRAWINGS.

SECTION 3.0. LEGEND

3.1. WOOD LUMBERS AND BUILT-UP A15 & A16

(DIVISION B PART 9, TABLES A8 TO A10 AND A12, A15 & A16)

FORMING PART OF SENTENCE 9.23.4.2(3), 9.23.4.4(3), 9.23.12.3(1), (3), 9.23.13.8(2), 9.37.3.1(1)

2x6" SPLY #2	2x10" SPLY #2	2x12" SPLY #2
L1 2/2x6" (2/38x184)	L3 2/2x10" (2/38x235)	L5 2/2x12" (2/38x286)
B1 3/2x6" (3/38x184)	B3 3/2x10" (3/38x235)	B5 3/2x12" (3/38x286)
B2 4/2x6" (4/38x184)	B4 4/2x10" (4/38x235)	B6 4/2x12" (4/38x286)
B7 5/2x6" (5/38x184)	B8 5/2x10" (5/38x235)	B9 5/2x12" (5/38x286)
ENGINEERED LUMBER SCHEDULE - GRADE 2.0E (UNLESS NOTE OTHERWISE)		
1 3/4" x 9 1/2" LVL	1 3/4" x 11 7/8" LVL	1 3/4" x 14" LVL
LVL2 1-1 3/4"x9 1/2"	LVL3 1-1 3/4"x11 7/8"	LVL10 1-1 3/4"x14"
LVL4 2-1 3/4"x9 1/2"	LVL6 2-1 3/4"x11 7/8"	LVL11 2-1 3/4"x14"
LVL5 3-1 3/4"x9 1/2"	LVL7 3-1 3/4"x11 7/8"	LVL12 3-1 3/4"x14"
LVL6 4-1 3/4"x9 1/2"	LVL9 4-1 3/4"x11 7/8"	LVL13 4-1 3/4"x14"

3.2. STEEL LINTS SUPPORTING MASONRY VENEER

(DIVISION B PART 9, TABLE 9.20.5.2.B)

FORMING PART OF SENTENCE 9.20.5.2(2), (3) & 9.23.5.2(3)

CODE	SIZE	BRICK	STONE
L7	3 1/2" x 3 1/2" x 1 1/4" (89 x 89 x 6.4)	8-1" (2,47mm)	7-4" (2,30mm)
L8	4" x 3 1/2" x 1 1/4" (102 x 89 x 6.4)	8-0" (2,66mm)	8-1" (2,48mm)
L9	4 7/8" x 3 1/2" x 5/16" (127 x 89 x 7.9)	10-1" (3,31mm)	10-1" (3,03mm)
L10	4 7/8" x 3 1/2" x 3/8" (127 x 89 x 11)	11-5" (3,48mm)	10-7" (3,24mm)
L11	5 7/8" x 3 1/2" x 3/8" (152 x 89 x 11)	12-6" (3,82mm)	11-5" (3,54mm)
L12	7 1/8" x 4" x 3/8" (178 x 102 x 11)	14-1" (4,30mm)	13-1" (3,99mm)

3.3. DOOR SCHEDULE

CONFORMING TO SECTIONS 9.5.11, 9.6, 9.7.2.1, 9.7.5.2 & 9.10.13.10		
1	EXTERIOR	2'-8" x 6'-8" x 1-3/4" (815 x 2030 x 45) INSULATED MIN. R4 (RSI 0.7)
1A	EXTERIOR	2'-10" x 6'-8" x 1-3/4" (865 x 2030 x 45) INSULATED MIN. R4 (RSI 0.7)
1B	EXTERIOR	3'-0" x 6'-8" x 1-3/4" (915 x 2030 x 45) INSULATED MIN. R4 (RSI 0.7)
1C	EXTERIOR	2'-8" x 6'-8" x 1-3/4" (815 x 2030 x 45) INSULATED MIN. R4 (RSI 0.7)
1D	EXTERIOR	2'-8" x 6'-8" x 1-3/4" (815 x 2030 x 45) INS. MIN. R4 (RSI 0.7) (SEE HEX NOTE 20)
1E	EXTERIOR	3'-0" x 6'-8" x 1-3/4" (915 x 2030 x 45) INSULATED MIN. R4 (RSI 0.7)
1F	EXTERIOR	2'-8" x 6'-8" x 1-3/4" (815 x 2030 x 45) INSULATED MIN. R4 (RSI 0.7)
2A	EXTERIOR	2'-8" x 6'-8" x 1-3/4" (815 x 2030 x 45) 20 MIN. F.R.P. DOOR FRAME WITH APP. SELF CLOSING DEVICE.
2	INTERIOR	2'-8" x 6'-8" x 1-3/8" (815 x 2030 x 35)
3	INTERIOR	2'-8" x 6'-8" x 1-3/8" (815 x 2030 x 35)
3A	INTERIOR	2'-8" x 6'-8" x 1-3/8" (815 x 2030 x 35)
4	INTERIOR	2'-8" x 6'-8" x 1-3/8" (815 x 2030 x 35)
4A	INTERIOR	2'-2" x 6'-8" x 1-3/8" (660 x 2030 x 35)
5	INTERIOR	1'-6" x 6'-8" x 1-3/8" (460 x 2030 x 35)

3.4. ACRONYMS

ACF	ABOVE FINISHED FLOOR	JUST	JOIST
BBFM	BEAM BY FLOOR MANUFACTURER	LIN	LINEN CLOSET
BG	FIXED GLASS W/ BLACK BACKING	LVL	LAMINATED VENEER LUMBER
BM	BEAM	OTBA	OPEN TO BELOW/ABOVE
BBFM	BEAM BY ROOF MANUFACTURER	PL	PLATE LOAD
CBF	CONVENTIONAL ROOF FRAMING	PLT	POINT
CW	COMPLETE WITH	PT	PRESSURE TREATED
D/D	DOUBLE JOIST/ TRIPLE JOIST	PTD	PAINTED
DO	DO OVER	PWD	POWDER ROOM
DRP	DROPPED	RWL	RAIN WATER LEADER
ENG	ENGINEERED	SB	SOLID BEARING WOOD POST
EST	ESTIMATED	SBFA	SB FROM ABOVE
FA	FLAT ARCH	SJ	SINGLE JOIST
FD	FLOOR DRAIN	SPR	SPRUCE
FG	FIXED GLASS	STL	STEEL
FL	FLUSH	T/O	TOP OF
FLR	FLOOR	TYP	TYPICAL
GT	GIRDER TRUSS	US	UNDERSIDE
HB	HOSE BIB	WD	WOOD
HRV	HEAT RETURN VENTILATION UNIT	WIC	WALK IN CLOSET
HWT	HOT WATER TANK	WP	WEATHER PROOF

3.5. SYMBOLS

ALL ELECTRICAL FACILITIES SHALL BE INSTALLED IN ACCORDANCE WITH SECTION 9.34.

CLASS 1st VENT	EXHAUST VENT
DUPLEX OUTLET (12" HIGH)	DUPLEX OUTLET (HEIGHT AS NOTED A.F.F.)
HEAVY DUTY OUTLET	SWITCH (2/34 WAY)
POT LIGHT	LIGHT FIXTURE (CEILING MOUNTED)
LIGHT FIXTURE (PULL CHAIN)	LIGHT FIXTURE (WALL MOUNTED)
CABLE T.V. JACK	TELEPHONE JACK
CENTRAL VACUUM OUTLET	CHANDELIER (CEILING MOUNTED)

SMOKE ALARM (9.10.19)

PROVIDE ONE PER FLOOR NEAR THE STAIRS CONNECTING THE FLOOR LEVEL. ALARMS ARE TO BE LOCATED IN EACH SLEEPING ROOM AND IN A LOCATION BETWEEN SLEEPING ROOMS AND CONNECTING HALLWAYS AND WIRED TO BE INTERCONNECTED TO ACTIVATE ALL ALARMS IF ONE SOUNDS. ALARMS ARE TO BE CONNECTED TO AN ELECTRICAL CIRCUIT AND WITH A BATTERY BACKUP. ALARM SIGNAL SHALL MEET TEMPORAL SOUND PATTERNS MIN. ALARMS SHALL HAVE A VISUAL SIGNALING COMPONENT AS PER THE NATIONAL FIRE ALARM AND SIGNALING CODE 72.

CMD CARBON MONOXIDE ALARM (9.33.4)

CHECK LOCAL BY-LAWS FOR REQUIREMENTS. A CARBON MONOXIDE ALARM, CONFORMING TO CAN/CSA-6.19 SHALL BE INSTALLED ON OR NEAR THE CEILING IN EACH DWELLING UNIT ADJACENT TO EACH SLEEPING AREA. CARBON MONOXIDE ALARMS SHALL BE PERMANENTLY WIRED WITH NO DISCONNECT SWITCH, WITH AN ALARM THAT IS AUDIBLE WITHIN SLEEPING ROOMS WHEN THE INTERVENING DOORS ARE CLOSED.

SOLID BEARING (BUILT-UP WOOD COLUMNS AND STUD POSTS)

THE WIDTH OF A WOOD COLUMN SHALL NOT BE LESS THAN THE WIDTH OF SUPPORTED MEMBER. BUILT-UP WOOD COLUMNS SHALL BE NAILED TOGETHER WITH NOT LESS THAN 3" (76) NAILS SPACED NOT MORE THAN 11 3/4" (300) O.C. THE NUMBER OF STUDS IN A WALL DIRECTLY BELOW A GIRDER TRUSS OR ROOF BEAM SHALL CONFORM TO TABLES A-34 TO A-37, (9.17.4, 9.12.3, 10.7)

TWO STOREY VOLUME SPACE. SEE CONSTRUCTION NOTE 39.

VARYING PLATES. BUILT-UP FLOORS, BEARING WALLS, ICE & WATER SHEILD

EXPPOSED BUILDING FACE - O.B.C. 9.10.14, OR 9.10.15.

REFER TO HEX NOTE 35, & DETAILS FOR TYPE AND SPECIFICATIONS.

1 HR. PARTY WALL REFER TO HEX NOTE 40.	2 HR. FIREWALL REFER TO HEX NOTE 40A.
--	---------------------------------------

SECTION 4.0. CLIMATIC DATA

DESIGN SNOW LOAD (9.4.2.2.): 1.01 kPa

WIND PRESSURE (q50) (SB-1.2.): 0.44 kPa

STAMP

LICENSED PROFESSIONAL ENGINEER

A. KONG

100184942

July 15, 2022

PROVINCE OF ONTARIO

180 COMMERCE VALLEY DR. W. THORNHILL, ONTARIO CANADA L3T 0A1 TEL: 1-905-882-4211 FAX: 1-905-822-0055 WWW.WSPGROUP.CA

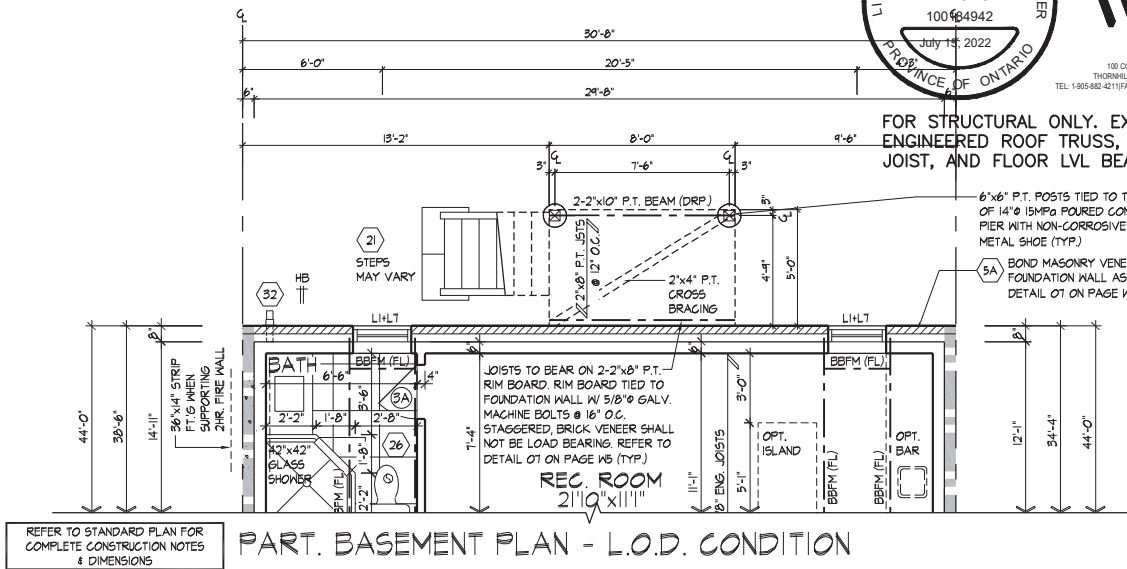
FOR STRUCTURAL ONLY. EXCLUDING ENGINEERED ROOF TRUSS, FLOOR JOIST, AND FLOOR LVL BEAM DESIGN.

CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB. REPORT ANY DISCREPANCIES TO HUNT DESIGN ASSOCIATES INC. (H.D.A.) BEFORE PROCEEDING WITH THE WORK. ALL THE DRAWINGS & SPECIFICATIONS ARE THE INSTRUMENTS OF SERVICE AND ARE THE PROPERTY OF H.D.A. ALL CONSTRUCTION TO ADHERE TO THESE PLANS AND SPECIFICATIONS AND TO CONFORM TO THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. THESE REQUIREMENTS ARE TO BE TAKEN AS MINIMUM SPECIFICATIONS. ONT. REG. 332/12. CONSTRUCTION NOTE REVISION DATE: DECEMBER 15, 2020



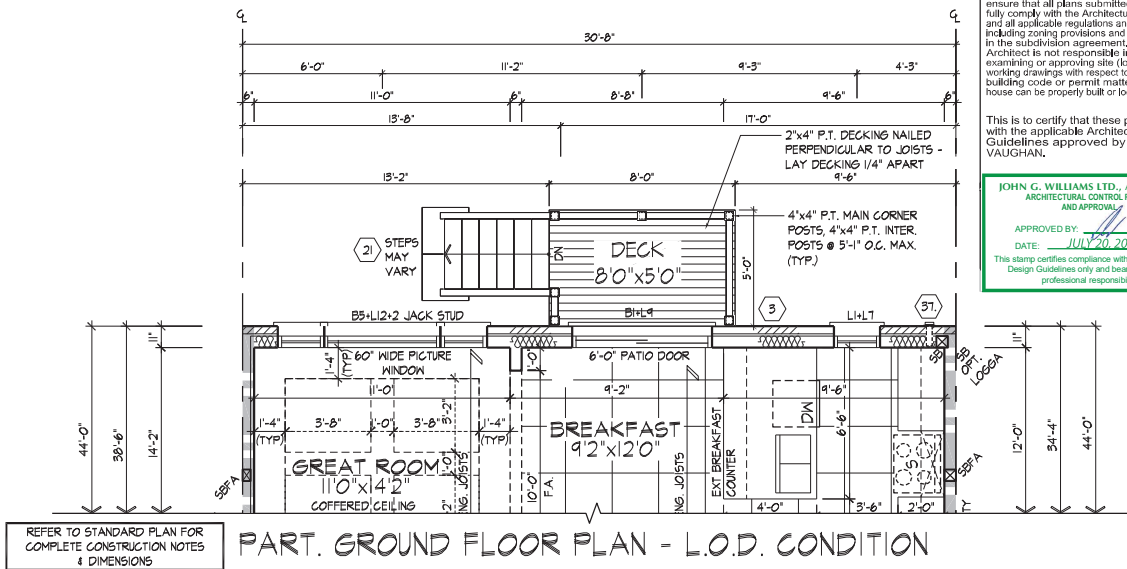
100 COMMERCE VALLEY DR. W.
THORNHILL, ONTARIO CANADA L3T 0A1
TEL: 1-855-852-4217 FAX: 1-855-852-0859 WWW.WSPGROUP.CA

FOR STRUCTURAL ONLY. EXCLUDING
ENGINEERED ROOF TRUSS, FLOOR
JOIST, AND FLOOR LVL BEAM DESIGN.



REFER TO STANDARD PLAN FOR
COMPLETE CONSTRUCTION NOTES
& DIMENSIONS

PART. BASEMENT PLAN - L.O.D. CONDITION



REFER TO STANDARD PLAN FOR
COMPLETE CONSTRUCTION NOTES
& DIMENSIONS

PART. GROUND FLOOR PLAN - L.O.D. CONDITION



REFER TO STANDARD PLAN FOR
COMPLETE CONSTRUCTION NOTES
& DIMENSIONS

PART. REAR UPGRADE ELEVATION - L.O.D. CONDITION

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: [Signature]
DATE: JULY 20, 2022

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

AWITTING (MON JUL 11 22 02:23 PM) | K:\PROJECTS\2017\21701-GOLDPARK HOMES\TOWNS\21701-4WTS\01-PLAN.DWG

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION
Allen Whiting 23177
TIME
REESTIMATION INFORMATION
HUNT DESIGN ASSOCIATES INC. 19895

HUNT
DESIGN ASSOCIATES INC.
www.huntdesign.ca

GOLDPARK HOMES - 217014
PINE VALLEY TOWNS, VAUGHAN ON
Drawn By JMc
Checked By AW
Scale 3/16"=1'-0"

TYPE 'B' - 3101-INTERIOR
REV.2022.07.11
Rev Number
Page Number
W1 of W2

All drawings specifications related documents and design are the copyright property of Hunt Design Associates (H.D.A.). Reproduction of this property in whole or in part is strictly prohibited without H.D.A.'s written permission. H.D.A. assumes no responsibility or liability for this property unless it bears the appropriate BCIN number and original signature(s).

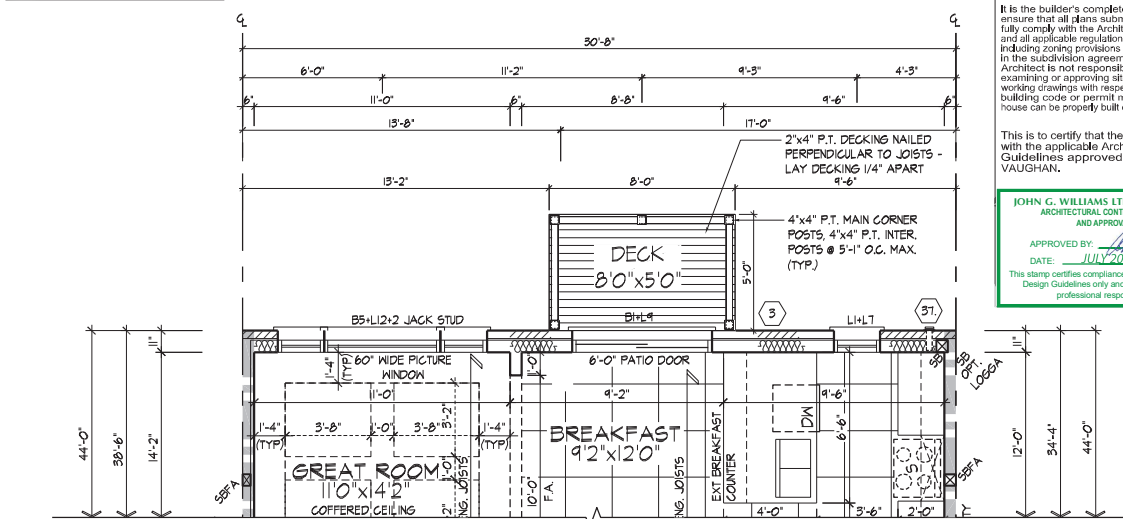


180 COMMERCIAL VALLEY DR. W.
THORNHILL, ONTARIO CANADA L3T 0A1
TEL: 1-855-852-4217 FAX: 1-855-852-0055 WWW.WSPGROUP.CA

FOR STRUCTURAL ONLY. EXCLUDING
ENGINEERED ROOF TRUSS, FLOOR
JOIST, AND FLOOR LVL BEAM DESIGN.

REFER TO STANDARD PLAN FOR
COMPLETE CONSTRUCTION NOTES
& DIMENSIONS

PART. BASEMENT PLAN - W.O.B. CONDITION



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY:
DATE: JULY 20, 2022

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

REFER TO STANDARD PLAN FOR
COMPLETE CONSTRUCTION NOTES
& DIMENSIONS

PART. GROUND FLOOR PLAN - W.O.B. CONDITION



REFER TO STANDARD PLAN FOR
COMPLETE CONSTRUCTION NOTES
& DIMENSIONS

PART. REAR UPGRADE ELEVATION - W.O.B. CONDITION

FIN SECOND FLOOR
T/O. TRANSOM
T/O. WINDOW
FIN GROUND FLOOR
T/O. WINDOW/DOOR
T/O. BASEMENT SLAB
FIN GRADE
U/S. OF FOOTING

W.O.B. CONDITION

TYPE 'B' - 3101-INTERIOR
REV. 2022.07.11

AWHITING | MON, JUL 11, 2022 8:23 PM | C:\PROJECTS\2017\21701-GOLDPARK HOMES\TOWNS\21701-4WTS OF INLJWG

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.
QUALIFICATION INFORMATION
Allen Whiting 23177
TIME: 16:00
REVISION INFORMATION
HUNT DESIGN ASSOCIATES INC. 19695

HUNT
DESIGN ASSOCIATES INC.
www.huntdesign.ca

GOLDPARK HOMES - 217014
PINE VALLEY TOWNS, VAUGHAN ON
Drawn By: JMc
Checked By: AW
Scale: 3/16"=1'-0"
8966 Woodbine Ave, Markham, ON L3R 0J7
T 905.737.5133 F 905.737.7326

File Number: 217014WT3101.dwg
Page Number: W2 of W2

All drawings specifications related documents and design are the copyright property of Hunt Design Associates (P.D.A.). Reproduction of this property in whole or in part is strictly prohibited without H.D.A.'s written permission. H.D.A. assumes no responsibility or liability for this property unless it bears the appropriate BCIN number and original signature(s).