

ELEVATION 'A'

ELEVATION 'B'

TYPE 'B' - 3101-END 2

SB-12 ENERGY EFFICIENCY DESIGN MATRIX

PRESCRIPTIVE COMPLIANCE		SB-12 (SECTION 3.1.1) TABLE 3.1.1.2.A	
PACKAGE A1	SPACE HEATING FUEL		
	<input checked="" type="checkbox"/> GAS	<input type="checkbox"/> OIL	
	<input type="checkbox"/> ELECTRIC	<input type="checkbox"/> PROPANE	
	<input type="checkbox"/> EARTH	<input type="checkbox"/> SOLID FUEL	
BUILDING COMPONENT	REQUIRED	PROPOSED	
INSULATION RSI (R) VALUE			
CEILING W/ ATTIC SPACE	10.56 (R60)	10.56 (R60)	
CEILING W/O ATTIC SPACE	5.46 (R31)	5.46 (R31)	
EXPOSED FLOOR	5.46 (R31)	5.46 (R31)	
WALLS ABOVE GRADE	3.87 (R22)	3.87 (R22)	
BASEMENT WALLS * PROPOSED VALUES MAY BE SUBSTITUTED W/ 2.11+1.76ci (R12+R10ci)	3.52 ci (R20 ci) *	3.52 ci (R20 ci) *	
BELOW GRADE SLAB ENTIRE SURFACE > 600mm BELOW GRADE	-	-	
EDGE OF BELOW GRADE SLAB ≤ 600mm BELOW GRADE	1.76 (R10)	1.76 (R10)	
HEATED SLAB OR SLAB ≤ 600mm BELOW GRADE	1.76 (R10)	1.76 (R10)	
WINDOWS & DOORS			
WINDOWS/SLIDING GLASS DOORS (MAX U-VALUE)	1.6	1.6	
SKYLIGHTS (MAX. U-VALUE)	2.8	2.8	
APPLIANCE EFFICIENCY			
SPACE HEATING EQUIP. (AFUE%)	96%	96%	
HRV EFFICIENCY (%)	75%	75%	
DHW HEATER (EF)	0.8	0.8	

AREA CALCULATIONS	EL. 'A'	EL. 'A'	EL. 'A'	EL. 'A'	EL. 'B'	EL. 'B'	EL. 'B'	EL. 'B'
	STD	STD W/ LOGGIA	STD -INT W/ F.P. W/	F.P.&LOGGIA	STD -INT	STD W/ LOGGIA	STD -INT W/ F.P. W/	F.P.&LOGGIA
GROUND FLOOR AREA	720 sq. ft.	720 sq. ft.	727 sq. ft.	727 sq. ft.	720 sq. ft.	720 sq. ft.	727 sq. ft.	727 sq. ft.
SECOND FLOOR AREA	1174 sq. ft.	1174 sq. ft.	1174 sq. ft.	1174 sq. ft.	1171 sq. ft.	1171 sq. ft.	1171 sq. ft.	1171 sq. ft.
SUBTOTAL	1894 sq. ft.	1894 sq. ft.	1901 sq. ft.	1901 sq. ft.	1891 sq. ft.	1891 sq. ft.	1898 sq. ft.	1898 sq. ft.
DEDUCT ALL OPEN AREAS	41 sq. ft.	41 sq. ft.	41 sq. ft.	41 sq. ft.	41 sq. ft.	41 sq. ft.	41 sq. ft.	41 sq. ft.
TOTAL NET AREA	1853 sq. ft.	1853 sq. ft.	1860 sq. ft.	1860 sq. ft.	1850 sq. ft.	1850 sq. ft.	1857 sq. ft.	1857 sq. ft.
	(172.15 sq. m.)	(172.15 sq. m.)	(172.80 sq. m.)	(172.80 sq. m.)	(171.87 sq. m.)	(171.87 sq. m.)	(172.52 sq. m.)	(172.52 sq. m.)
FINISHED BASEMENT AREA	463 sq. ft.	463 sq. ft.	470 sq. ft.	470 sq. ft.	463 sq. ft.	463 sq. ft.	470 sq. ft.	470 sq. ft.
COVERAGE W/OUT PORCH	1178 sq. ft.	1178 sq. ft.	1185 sq. ft.	1185 sq. ft.	1178 sq. ft.	1178 sq. ft.	1185 sq. ft.	1185 sq. ft.
	(109.44 sq. m.)	(109.44 sq. m.)	(110.09 sq. m.)	(110.09 sq. m.)	(109.44 sq. m.)	(109.44 sq. m.)	(110.09 sq. m.)	(110.09 sq. m.)
COVERAGE W/ PORCH	1246 sq. ft.	1385 sq. ft.	1260 sq. ft.	1253 sq. ft.	1246 sq. ft.	1385 sq. ft.	1260 sq. ft.	1253 sq. ft.
	(115.76 sq. m.)	(128.67 sq. m.)	(117.06 sq. m.)	(116.41 sq. m.)	(115.76 sq. m.)	(128.67 sq. m.)	(117.06 sq. m.)	(116.41 sq. m.)
WINDOW / WALL AREA CALCULATIONS	EL. 'A'	EL. 'A'	EL. 'A'	EL. 'A'	EL. 'B'	EL. 'B'	EL. 'B'	EL. 'B'
	STD. PLAN	STD W/ LOGGIA	STD. W/ F.P.	W/ F.P.&LOGGIA	STD. PLAN	STD W/ LOGGIA	STD. W/ F.P.	W/ F.P.&LOGGIA
GROSS WALL AREA	3066 sq. ft.	3066 sq. ft.	3066 sq. ft.	3066 sq. ft.	3061 sq. ft.	3061 sq. ft.	3061 sq. ft.	3061 sq. ft.
	(284.84 sq. m.)	(284.84 sq. m.)	(284.84 sq. m.)	(284.84 sq. m.)	(284.38 sq. m.)	(284.38 sq. m.)	(284.38 sq. m.)	(284.38 sq. m.)
GROSS WINDOW AREA (INCL. GLASS DOORS & SKYLIGHTS)	288.8 sq. ft.	288.8 sq. ft.	258.8 sq. ft.	258.8 sq. ft.	297.6 sq. ft.	297.6 sq. ft.	267.6 sq. ft.	267.6 sq. ft.
	(26.83 sq. m.)	(26.83 sq. m.)	(24.04 sq. m.)	(24.04 sq. m.)	(27.65 sq. m.)	(27.65 sq. m.)	(24.86 sq. m.)	(24.86 sq. m.)
TOTAL WINDOW %	9.42 %	9.42 %	8.44 %	8.44 %	9.72 %	9.72 %	8.74 %	8.74 %
							10.88 %	

- 1 - TITLE PAGE
- 2 - BASEMENT PLAN, ELEV. 'A' & 'B'
- 3 - GROUND FLOOR PLAN, ELEV. 'A'
- 4 - SECOND FLOOR PLAN, ELEV. 'A'
- 5 - PARTIAL GROUND & SECOND FLOOR PLANS, ELEV. 'B'
- 6 - PARTIAL FLOOR PLANS, ELEV. 'A' & 'B' W/ LOGGIA
- 7 - FRONT ELEVATION 'A' & 'B'
- 8 - RIGHT SIDE ELEVATION 'A'
- 9 - RIGHT SIDE ELEVATION 'B'
- 9A - RIGHT SIDE & REAR ELEVATION 'A' & 'B' W/ LOGGIA
- 10 - REAR ELEVATION 'A' & 'B'
- 11 - RIGHT SIDE UPGRADE ELEVATION 'A'
- 12 - RIGHT SIDE UPGRADE ELEVATION 'B'
- 12A - RIGHT SIDE & REAR UPGRADE ELEVATION 'A' W/ LOGGIA
- 13 - REAR UPGRADE ELEVATION 'A'
- 13A - RIGHT SIDE & REAR UPGRADE ELEVATION 'B' W/ LOGGIA
- 14 - REAR UPGRADE ELEVATION 'B'
- 15 - CROSS SECTION 'A' - 'A'
- 16 - CONSTRUCTION NOTES
- 17 - CONSTRUCTION NOTES

7. -	-	-
6. ISSUED FOR PERMIT RE-SUBMISSION	2022.07.11	AW
5. ADDED LOGGIA DRAWINGS	2022.06.06	NN
4. ISSUED FOR PERMIT	2022.02.18	WT
3. REVISED AS PER STRUCTURAL ENG. COMMENTS	2021.11.29	NEA
2. REVISED AS PER FLOOR & TRUSS MANUF. LAYOUT	2021.09.27	NEA
1. ISSUED FOR CLIENT REVIEW	2021.02.26	AW
REVISIONS		DATE (YYYY/MM/DD) BY

TITLE PAGE

GOLDPARK HOMES - 217014

PINE VALLEY TOWNS, VAUGHAN ON

TYPE 'B' - 3101-END 2

REV.2022.07.11

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THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION

Alan Whiting

SIGNATURE

23177

BCIN

REGISTRATION INFORMATION

HUNT DESIGN ASSOCIATES INC.

19695

HUNT DESIGN ASSOCIATES INC.

www.huntdesign.ca

Drawn By JMc

Checked By AW

Scale 3/16"=1'-0"

File Number 217014WT3101-END2.dwg

Page Number 1 of 17

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4-20M LG. REBAR AT TOP OF WALL, 2 EACH SIDE, 6" VERT. SPACING, EXT. 2'-0" BEYOND OPENING, 2-20M VERT. REBAR E.S. OF OPENING

SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

PROVIDE SOLID WOOD BLOCKING @ 24" O.C. FOR FIRST JOIST SPAN WHEN PARALLEL W/ EXTERIOR WALL

REFER TO FLOOR JOIST MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, BLOCKING & STRAPPING REQUIREMENTS, INSTALLATION DETAILS AND HANGER SIZES, & SUBFLOOR THICKNESS

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QUALIFICATION INFORMATION

Alan Whiting

NAME

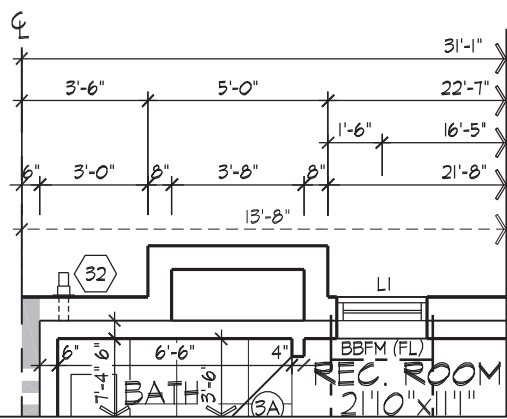
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PARTIAL OPT. BASEMENT FOR STRUCTURAL ONLY. EXCLUDING ENGINEERED ROOF TRUSS, FLOOR JOIST, AND FLOOR LVL BEAM DESIGN.

PLAN, ELEV. 'A' & 'B'

W/ GAS FIREPLACE ABOVE



100 COMMERCE VALLEY DR. W.
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WSP

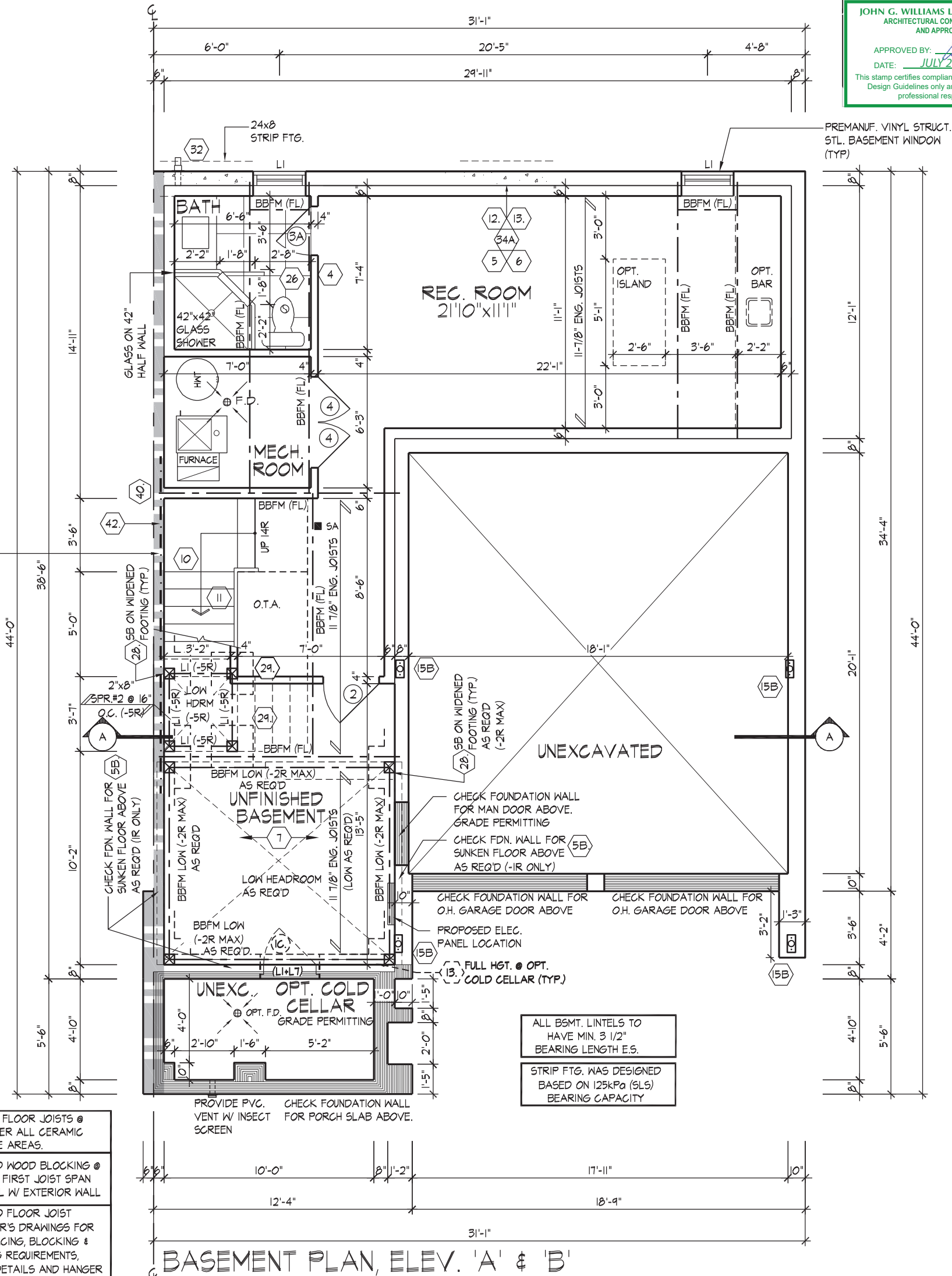
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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: [Signature]
DATE: JULY 20, 2022

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ALL BSMT. LINTELS TO HAVE MIN. 3 1/2" BEARING LENGTH E.S.

STRIP FTG. WAS DESIGNED BASED ON 125kPa (SLs) BEARING CAPACITY

BASEMENT PLAN, ELEV. 'A' & 'B'

GOLDPARK HOMES - 217014
PINE VALLEY TOWNS, VAUGHAN ON

TYPE 'B' - 3101-END 2
REV.2022.07.11

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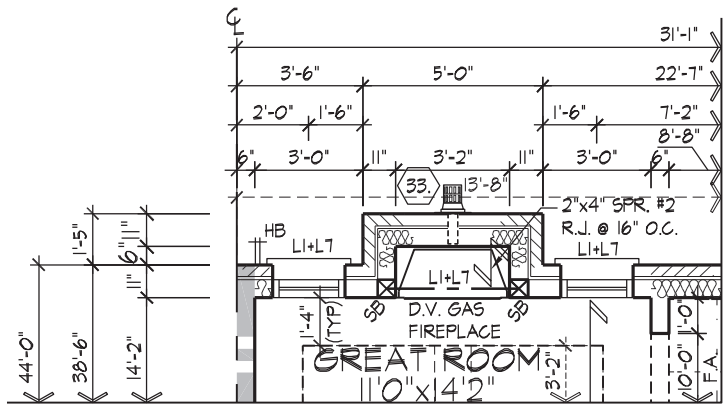
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PARTIAL OPT. GROUND
PLAN, ELEV. 'A' & 'B'
W/ GAS FIREPLACE

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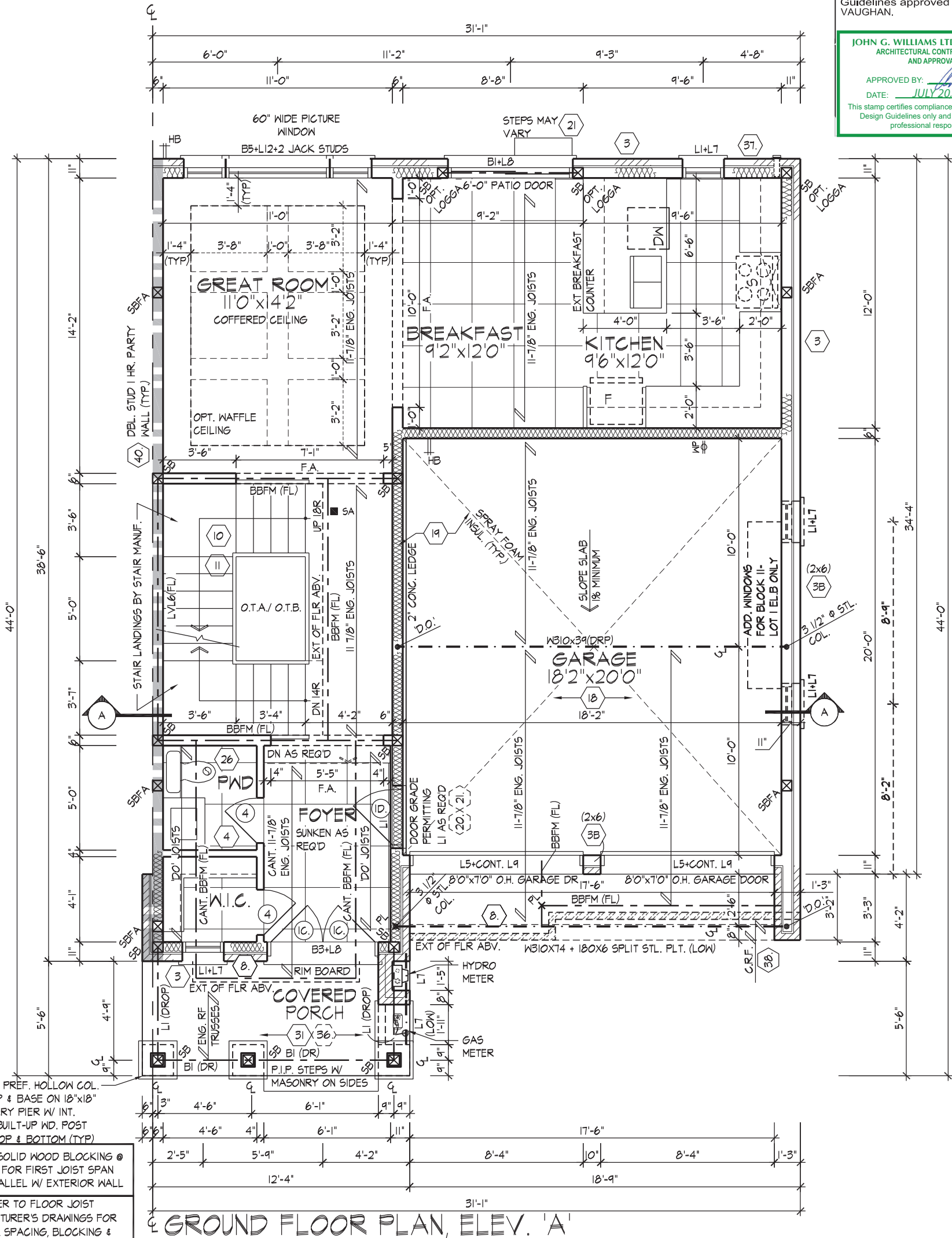
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10"x10" PREF. HOLLOW COL.
W/ CAP & BASE ON 18"x18"
MASONRY PIER W/ INT.
6"x6" BUILT-UP WD. POST
TIED TOP & BOTTOM (TYP)

PROVIDE SOLID WOOD BLOCKING @
24" O.C. FOR FIRST JOIST SPAN
WHEN PARALLEL W/ EXTERIOR WALL

REFER TO FLOOR JOIST
MANUFACTURER'S DRAWINGS FOR
LAYOUT, SPACING, BLOCKING &
STRAPPING REQUIREMENTS,
INSTALLATION DETAILS AND HANGER
SIZES, & SUBFLOOR THICKNESS

SPACE ALL FLOOR JOISTS @
12" O.C. UNDER ALL CERAMIC
TILE AREAS.

GROUND FLOOR PLAN, ELEV. 'A'

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QUALIFICATION INFORMATION

Alan Whiting

NAME
REGISTRATION INFORMATION

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GOLDPARK HOMES - 217014
PINE VALLEY TOWNS, VAUGHAN ON

Drawn By

JMc

Checked By

AW

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3/16"=1'-0"

File Number

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Page Number

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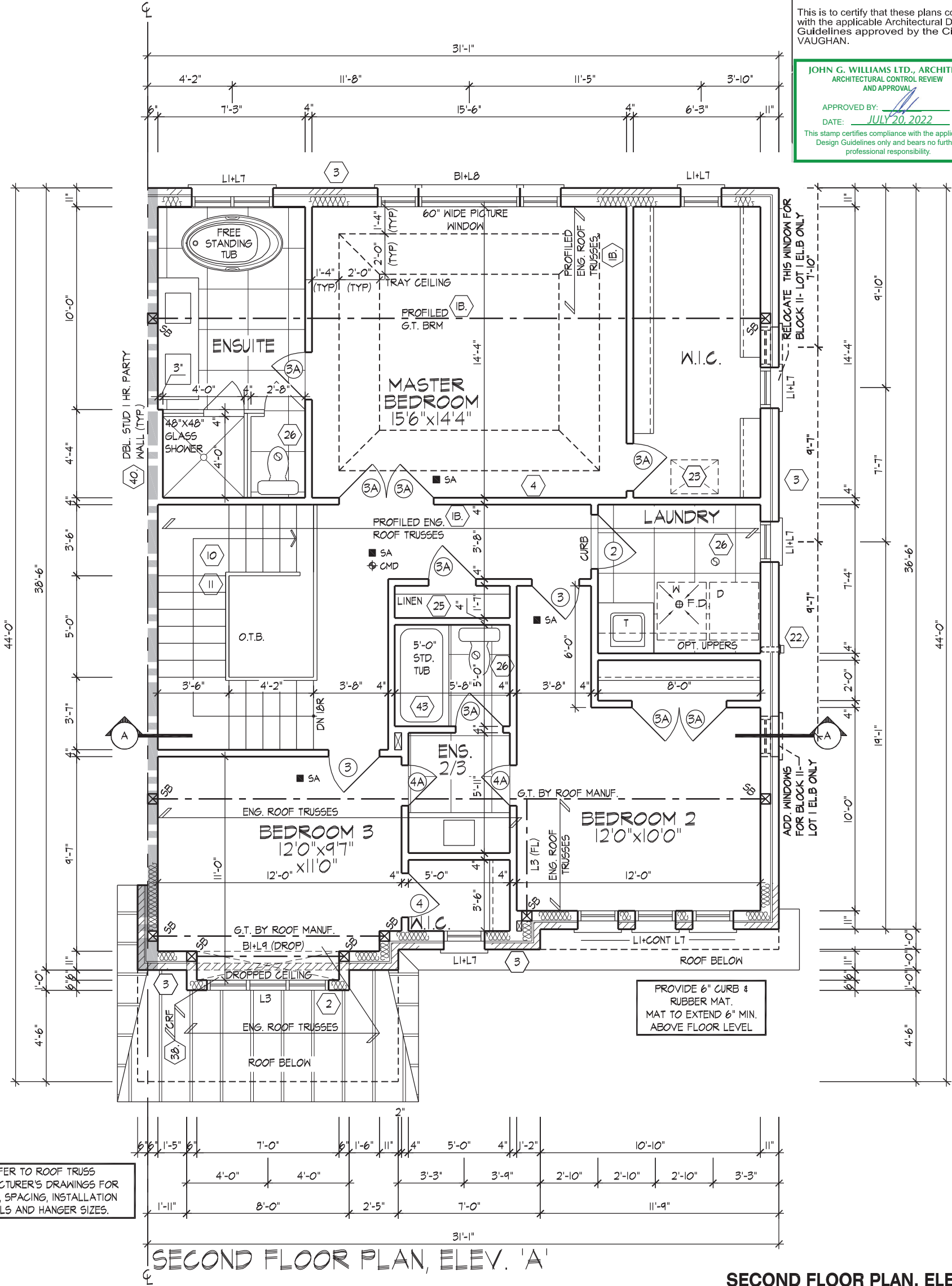
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JOHN G. WILLIAMS LTD., ARCHITECT
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QUALIFICATION INFORMATION
NAME: Alan Whiting
SIGNATURE: [Signature]
BCIN: 23177

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GOLDPARK HOMES - 217014
PINE VALLEY TOWNS, VAUGHAN ON

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TYPE 'B' - 3101-END 2
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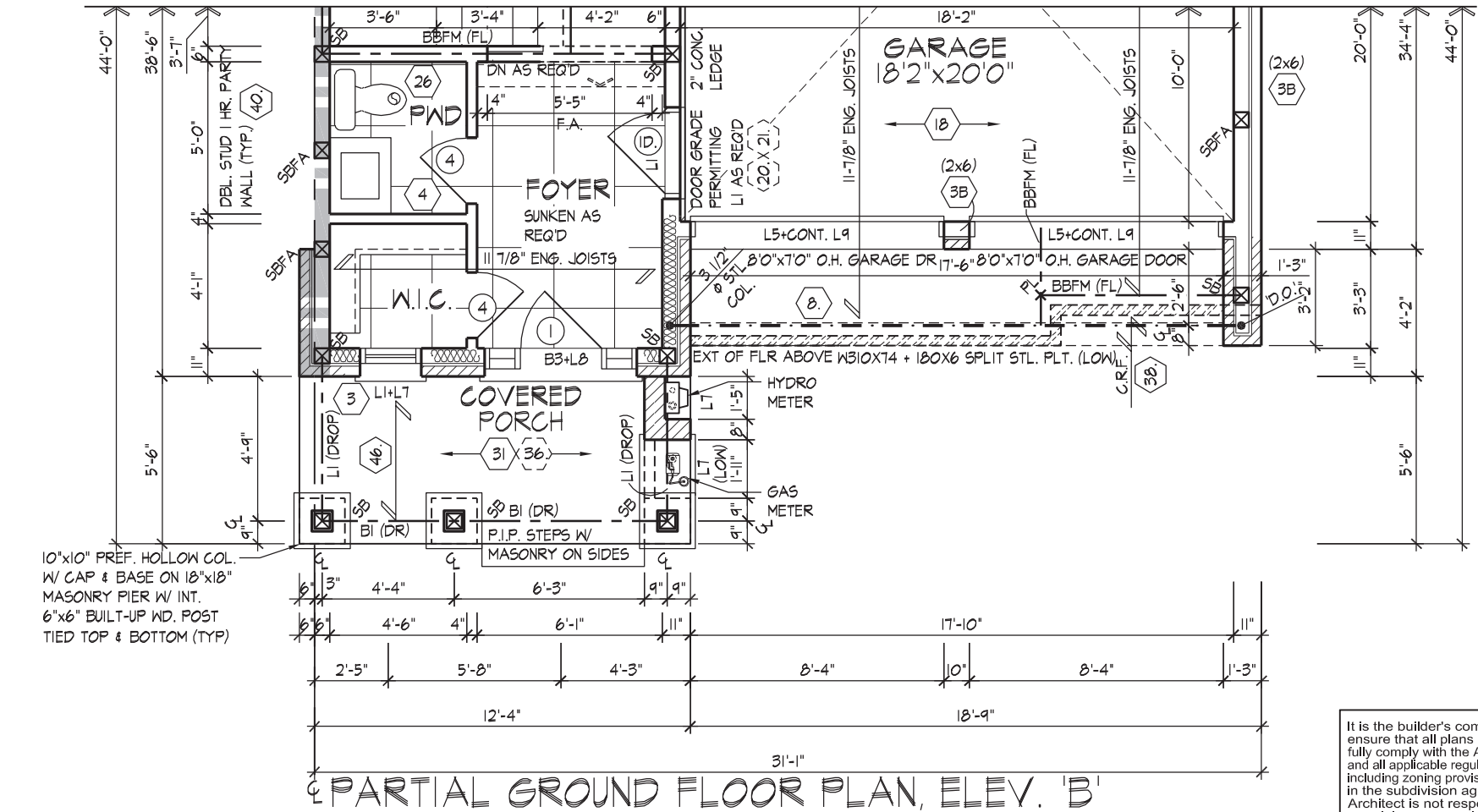
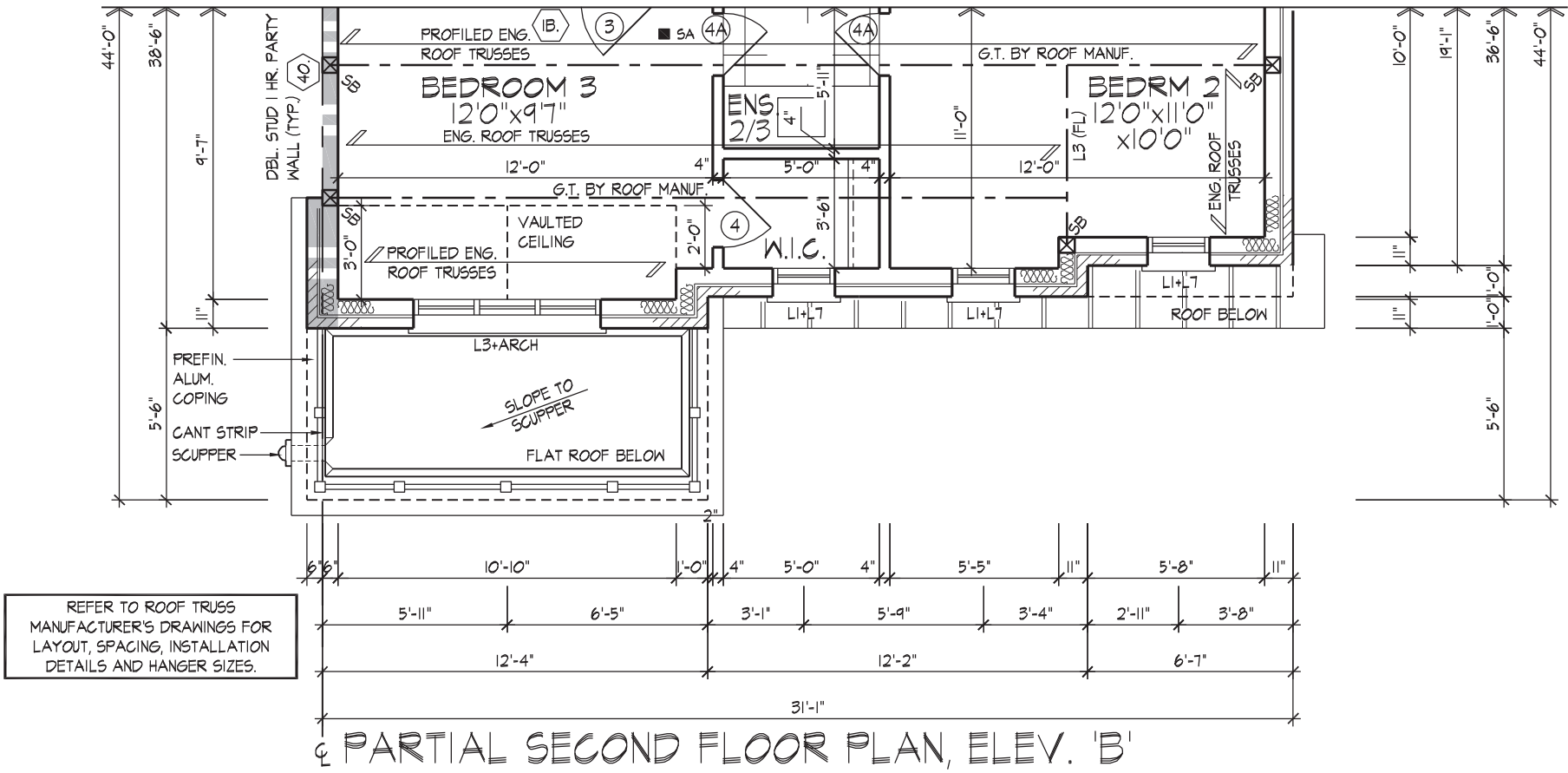
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- SPACE ALL FLOOR JOISTS @
12" O.C. UNDER ALL CERAMIC
TILE AREAS.
- PROVIDE SOLID WOOD BLOCKING @
24" O.C. FOR FIRST JOIST SPAN
WHEN PARALLEL W/ EXTERIOR WALL
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ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY:

DATE: JULY 20, 2022

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PARTIAL GROUND & SECOND FLOOR PLANS, ELEV. 'B'

GOLDPARK HOMES - 217014
PINE VALLEY TOWNS, VAUGHAN ON
TYPE 'B' - 3101-END 2
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QUALIFICATION INFORMATION
Allan Whiting
NAME
REGISTRATION INFORMATION
HUNT DESIGN ASSOCIATES INC.

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QUALIFICATION INFORMATION

NAME: **Allan Whiting** REGISTRATION INFORMATION: **HUNT DESIGN ASSOCIATES INC.**

SIGNATURE:  BCIN: **23177**

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GOLDPARK HOMES - 217014
PINE VALLEY TOWNS, VAUGHAN ON

Drawn By: **JMc** Checked By: **AW** Scale: **3/16"=1'-0"**

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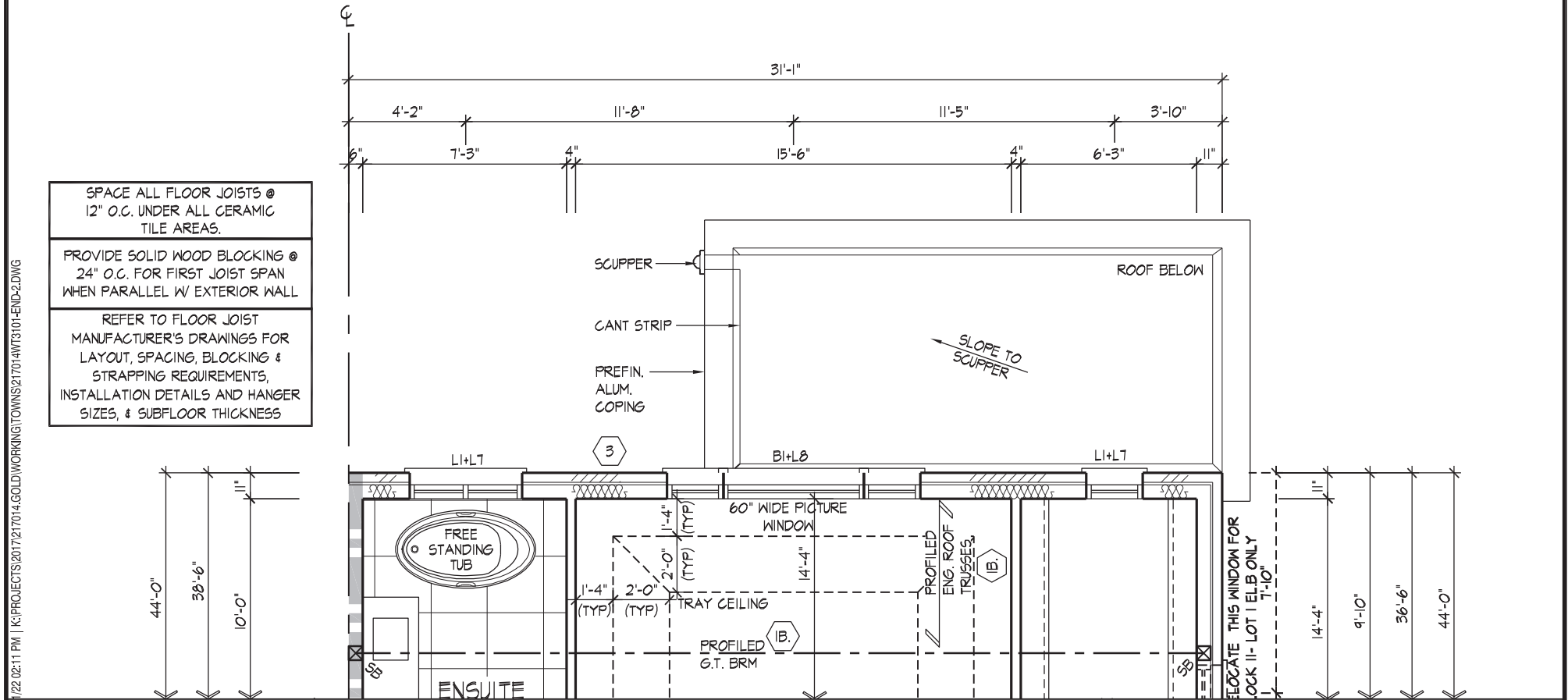
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File Number: **217014WT3101-END2.dwg** Page Number: **6 of 17**

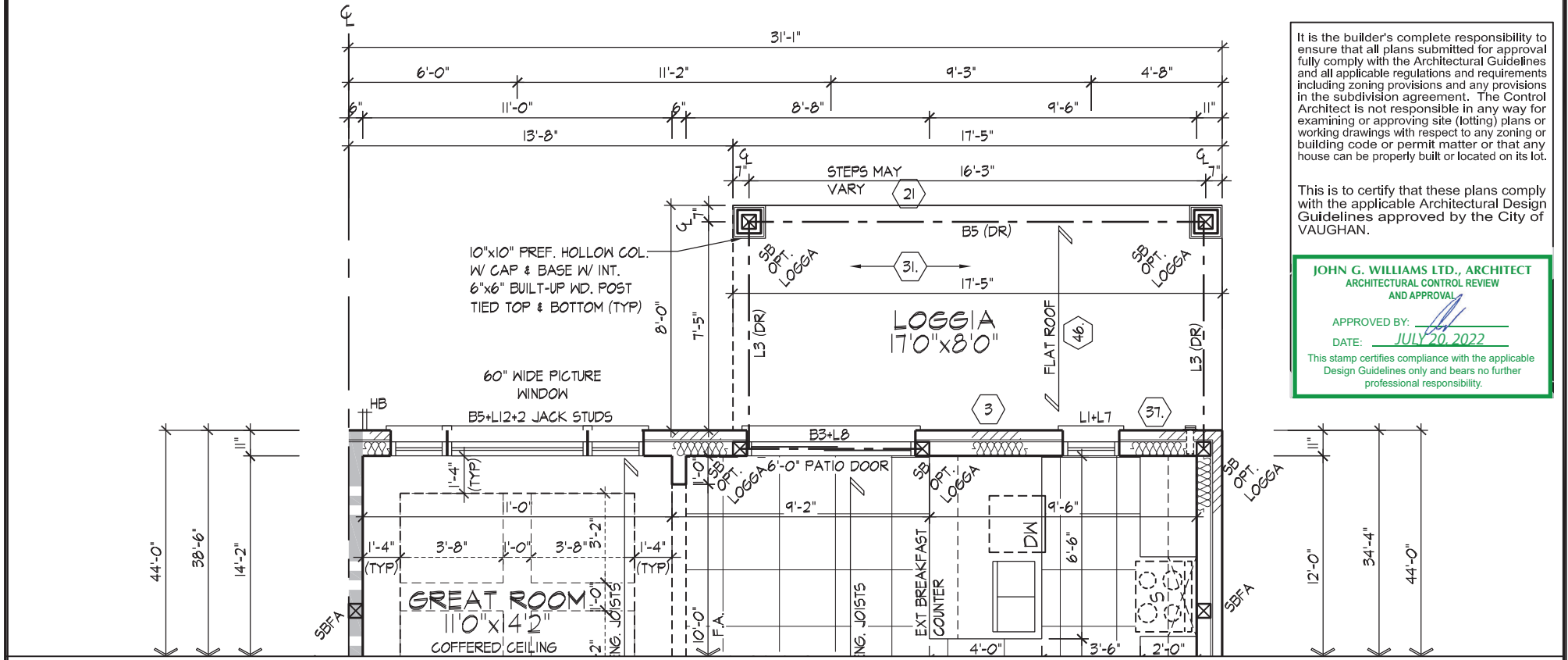
SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

PROVIDE SOLID WOOD BLOCKING @ 24" O.C. FOR FIRST JOIST SPAN WHEN PARALLEL W/ EXTERIOR WALL

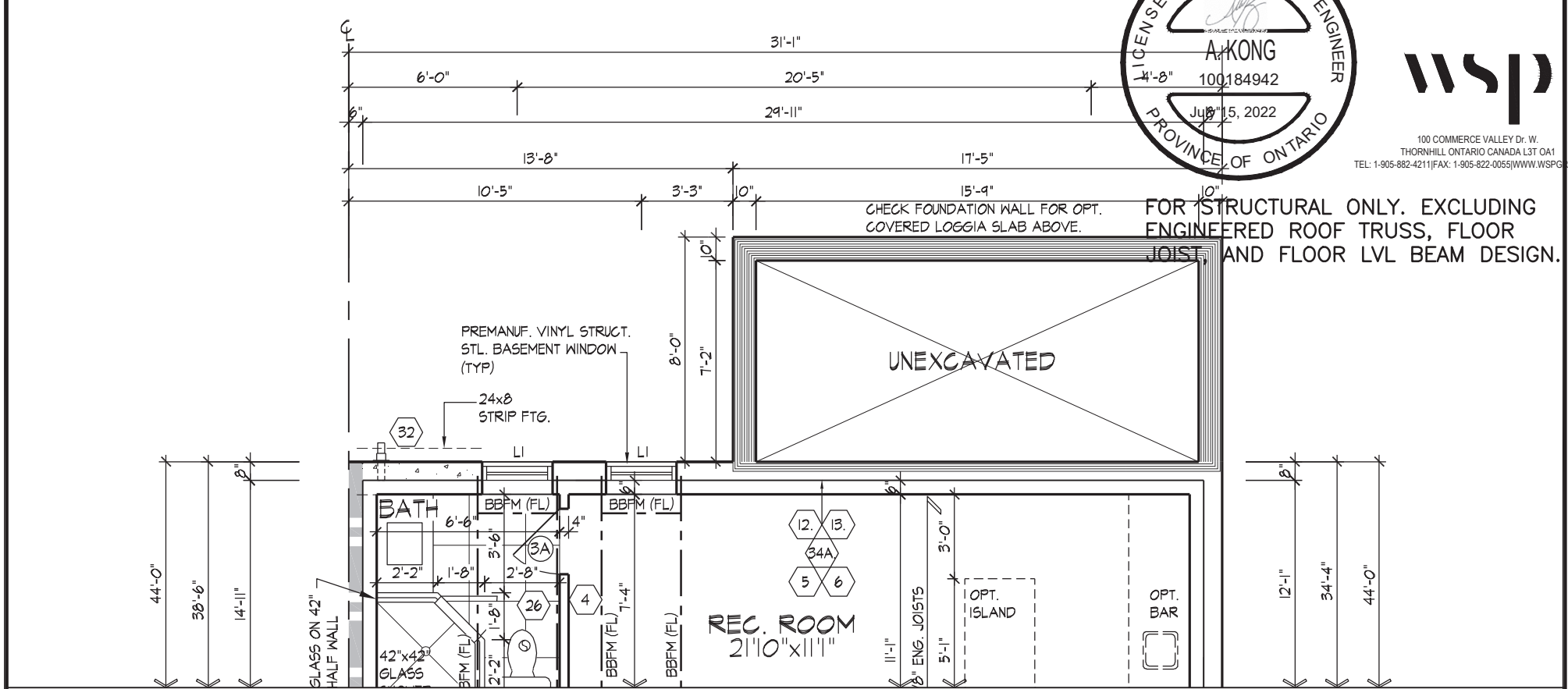
REFER TO FLOOR JOIST MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, BLOCKING & STRAPPING REQUIREMENTS, INSTALLATION DETAILS AND HANGER SIZES, & SUBFLOOR THICKNESS



SECOND FLOOR PLAN, ELEV. 'A' & 'B' W/ LOGGIA



GROUND FLOOR PLAN, ELEV. 'A' & 'B' W/ LOGGIA



BASEMENT PLAN, ELEV. 'A' & 'B' W/ LOGGIA



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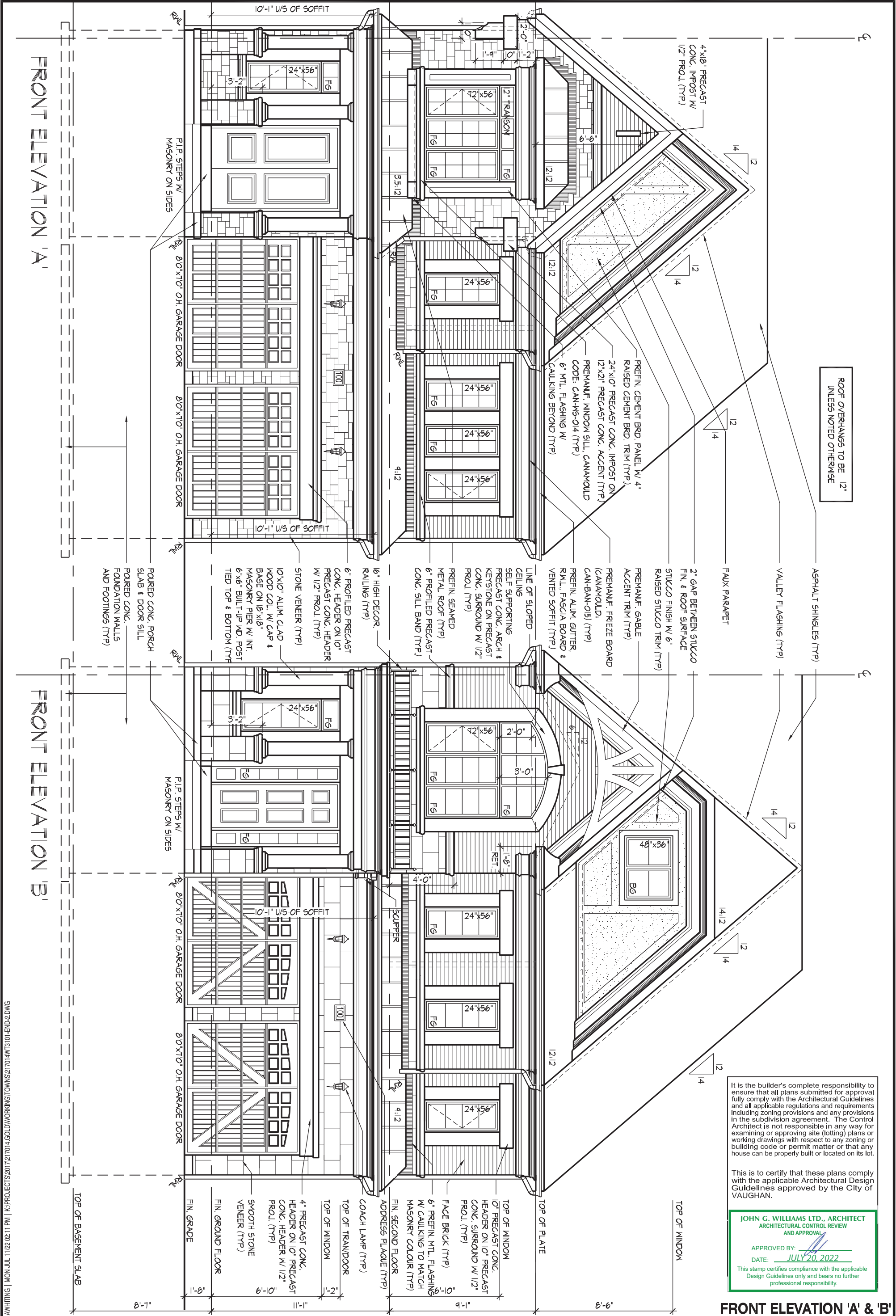
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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: 
DATE: **JULY 20, 2022**

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SPATIAL CALCULATION				SPATIAL CALCULATION			
PER O.B.C. TABLE 9.10.15.4				PER O.B.C. TABLE 9.10.15.4			
REAR ELEVATION 'A' & 'B'				ALT. REAR ELEVATION 'A' & 'B'			
EXPOSING BUILDING FACE AREA	678.65	S.F.		EXPOSING BUILDING FACE AREA	678.65	S.F.	
PORTION WALL AREA	678.65	S.F.		PORTION WALL AREA	678.65	S.F.	
LIMITING DISTANCE	63.05	S.M.		LIMITING DISTANCE	63.05	S.M.	
MAX. % OPENINGS	34	%		MAX. % OPENINGS	34	%	
QUAN.	WIDTH	DEPTH	FRAME SIZE (S.F.)	QUAN.	WIDTH	DEPTH	FRAME SIZE (S.F.)
3	24"	54"	20.33	3	24"	54"	20.33
1	60"	54"	19.44	1	60"	54"	19.44
1	48"	48"	13.44	1	48"	48"	13.44
1	24"	60"	7.78	1	24"	60"	7.78
2	24"	72"	18.89	2	24"	72"	18.89
1	60"	72"	28.44	0	60"	72"	0.00
1	72"	82"	38.83	1	72"	82"	38.83
1	72"	18"	6.61	1	72"	18"	6.61
2	30"	16"	4.33	2	30"	16"	4.33
0	0"	0"	0.00	0	0"	0"	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
OPENINGS ALLOWED	230.74	S.F.		OPENINGS ALLOWED	230.74	S.F.	
OPENINGS PROVIDED	154.61	S.F.		OPENINGS PROVIDED	128.17	S.F.	
ADDITIONAL NOTES				ADDITIONAL NOTES			
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER				GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER			

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: 
DATE: JULY 20, 2022

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

ROOF OVERHANGS TO BE 12"
UNLESS NOTED OTHERWISE

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

ASPHALT SHINGLES (TYP)

TOP OF PLATE

1'-5"

FIN. SECOND FLOOR

SCUPPER

10'x10" PREF. HOLLOW
COL. W/ CAP & BASE
W/ INT. 6'x6" BUILT-UP
WD POST TIED TOP &
BOTTOM (TYP)

FIN. GROUND FLOOR

FIN. GRADE

8'-7"

TOP OF BASEMENT SLAB

RIGHT SIDE ELEVATION 'A' & 'B' W/ LOGGIA

REAR ELEVATION 'A' & 'B' W/ LOGGIA

OUTLINE OF ROOF FOR
ELEVATION 'B' ONLY

TOP OF PLATE

TOP OF WINDOW

FACE BRICK (TYP)

FIN. SECOND FLOOR

SCUPPER
(AS REQD)
TOP OF WINDOW

10'x10" PREF. FIBREGLASS
HOLLOW COL. W/ CAP & 7"
BASE W/ INT. 6'x6"
BUILT-UP WD. POST TIED
TOP & BOTTOM (TYP)

FIN. GROUND FLOOR

FIN. GRADE

6" POURED CONC. DOOR
SILL & PRECAST CONC.
STEPS(S) (TYP)

TOP OF BASEMENT SLAB

RIGHT SIDE & REAR ELEVATION 'A' & 'B' W/ LOGGIA

GOLDPARK HOMES - 217014
PINE VALLEY TOWNS, VAUGHAN ON

TYPE 'B' - 3101-END 2
REV.2022.07.11

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS
THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING
CODE TO BE A DESIGNER.
QUALIFICATION INFORMATION
Allan Whiting
NAME
REGISTRATION INFORMATION
HUNT DESIGN ASSOCIATES INC.


SIGNATURE

23177
BCIN

HUNT
DESIGN ASSOCIATES INC.
www.huntdesign.ca

Drawn By JMc
Checked By AW
Scale 3/16"=1'-0"
File Number 217014WT3101-END2.dwg

Page Number
9A of 16

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SPATIAL CALCULATION				SPATIAL CALCULATION			
PER O.B.C. TABLE 9.10.15.4				PER O.B.C. TABLE 9.10.15.4			
REAR ELEVATION 'A' & 'B'				ALT. REAR ELEVATION 'A' & 'B'			
EXPOSING BUILDING	678.65	S.F.		EXPOSING BUILDING	678.65	S.F.	
FACE AREA	63.05	S.M.		FACE AREA	63.05	S.M.	
PORTION WALL AREA	678.65	S.F.		PORTION WALL AREA	678.65	S.F.	
LIMITING DISTANCE	63.05	S.M.		LIMITING DISTANCE	63.05	S.M.	
MAX. % OPENINGS	34	%		MAX. % OPENINGS	34	%	
QUAN.	WIDTH	DEPTH	FRAME SIZE (S.F.)	QUAN.	WIDTH	DEPTH	FRAME SIZE (S.F.)
3	24"	54"	20.83	3	24"	54"	20.83
1	60"	54"	19.44	1	60"	54"	19.44
1	48"	48"	13.44	1	48"	48"	13.44
1	24"	60"	7.76	1	24"	60"	7.76
2	24"	72"	18.89	2	24"	72"	18.89
1	60"	72"	28.44	0	60"	72"	0.00
1	72"	62"	36.83	1	72"	62"	36.83
1	72"	18"	6.61	1	72"	18"	6.61
2	30"	16"	4.33	2	30"	16"	4.33
0	0"	0"	0.00	0	0"	0"	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
OPENINGS ALLOWED	230.74	S.F.		OPENINGS ALLOWED	230.74	S.F.	
OPENINGS PROVIDED	154.61	S.F.		OPENINGS PROVIDED	128.17	S.F.	
ADDITIONAL NOTES				ADDITIONAL NOTES			
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER				GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER			

678.65 sq. ft
63.05 sq. m

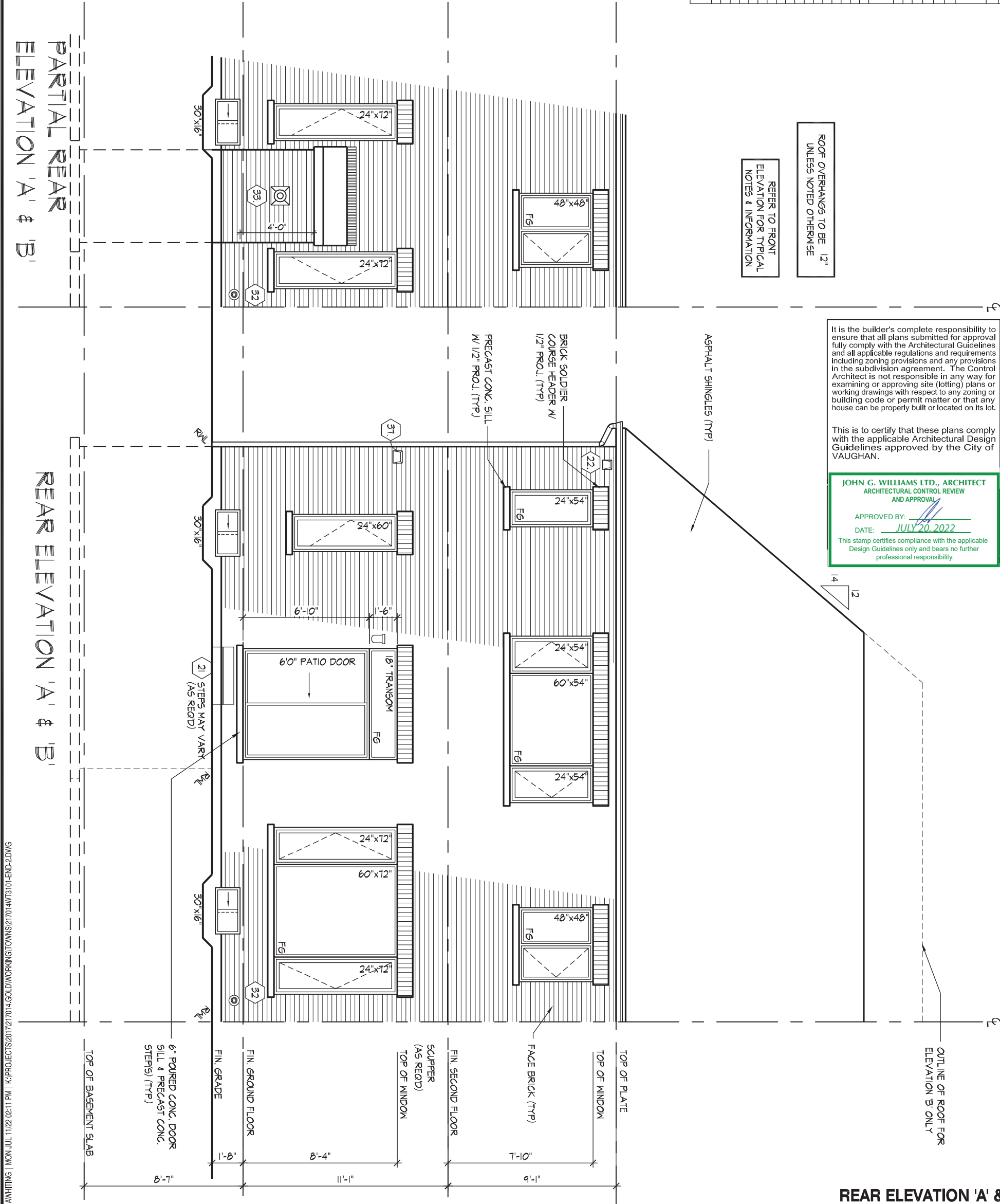
REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

ROOF OVERHANGS TO BE 12"
UNLESS NOTED OTHERWISE

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: 
DATE: JULY 20, 2022
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REAR ELEVATION 'A' & 'B'

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.
QUALIFICATION INFORMATION
Allan Whiting
NAME
REGISTRATION INFORMATION
HUNT DESIGN ASSOCIATES INC.


SIGNATURE

23177
BCIN

HUNT
DESIGN ASSOCIATES INC.
www.huntdesign.ca

GOLDPARK HOMES - 217014
PINE VALLEY TOWNS, VAUGHAN ON

Drawn By JMc Checked By AW Scale 3/16"=1'-0" File Number 217014WT3101-END2.dwg

8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

TYPE 'B' - 3101-END 2
REV.2022.07.11

Page Number
10 of 17

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AND APPROVAL

APPROVED BY: 
DATE: JULY 20, 2022

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professional responsibility.

TYPE 'B' - 3101-END 2
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SPATIAL CALCULATION				SPATIAL CALCULATION			
PER O.B.C. TABLE 9.10.15.4				PER O.B.C. TABLE 9.10.15.4			
UPG. REAR ELEVATION 'B'				ALT. UPG. REAR ELEVATION 'B'			
EXPOSING BUILDING	678.65	S.F.	FACE AREA	678.65	S.F.	FACE AREA	678.65
FACE AREA	63.05	S.M.	PORTION WALL AREA	63.05	S.M.	PORTION WALL AREA	63.05
PORTION WALL AREA	63.05	S.M.	LIMITING DISTANCE	6.0 m	%	LIMITING DISTANCE	6.0 m
MAX. % OPENINGS	34	%	MAX. % OPENINGS	34	%	MAX. % OPENINGS	34
QUAN	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	QUAN	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)
3	24"	54"	20.83	3	24"	54"	20.83
1	60"	54"	19.44	1	60"	54"	19.44
1	48"	40"	11.00	1	48"	40"	11.00
3	24"	60"	23.33	3	24"	60"	23.33
1	60"	60"	21.78	0	60"	60"	0.00
3	24"	18"	5.83	3	24"	18"	5.83
1	60"	18"	5.44	0	60"	18"	0.00
1	72"	82"	36.83	1	72"	82"	36.83
1	72"	18"	6.61	1	72"	18"	6.61
2	30"	16"	4.33	2	30"	16"	4.33
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
OPENINGS ALLOWED	230.74	S.F.	OPENINGS PROVIDED	230.74	S.F.	OPENINGS ALLOWED	128.22
OPENINGS PROVIDED	155.44	S.F.	ADDITIONAL NOTES	ADDITIONAL NOTES			
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER				GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER			

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AND APPROVAL

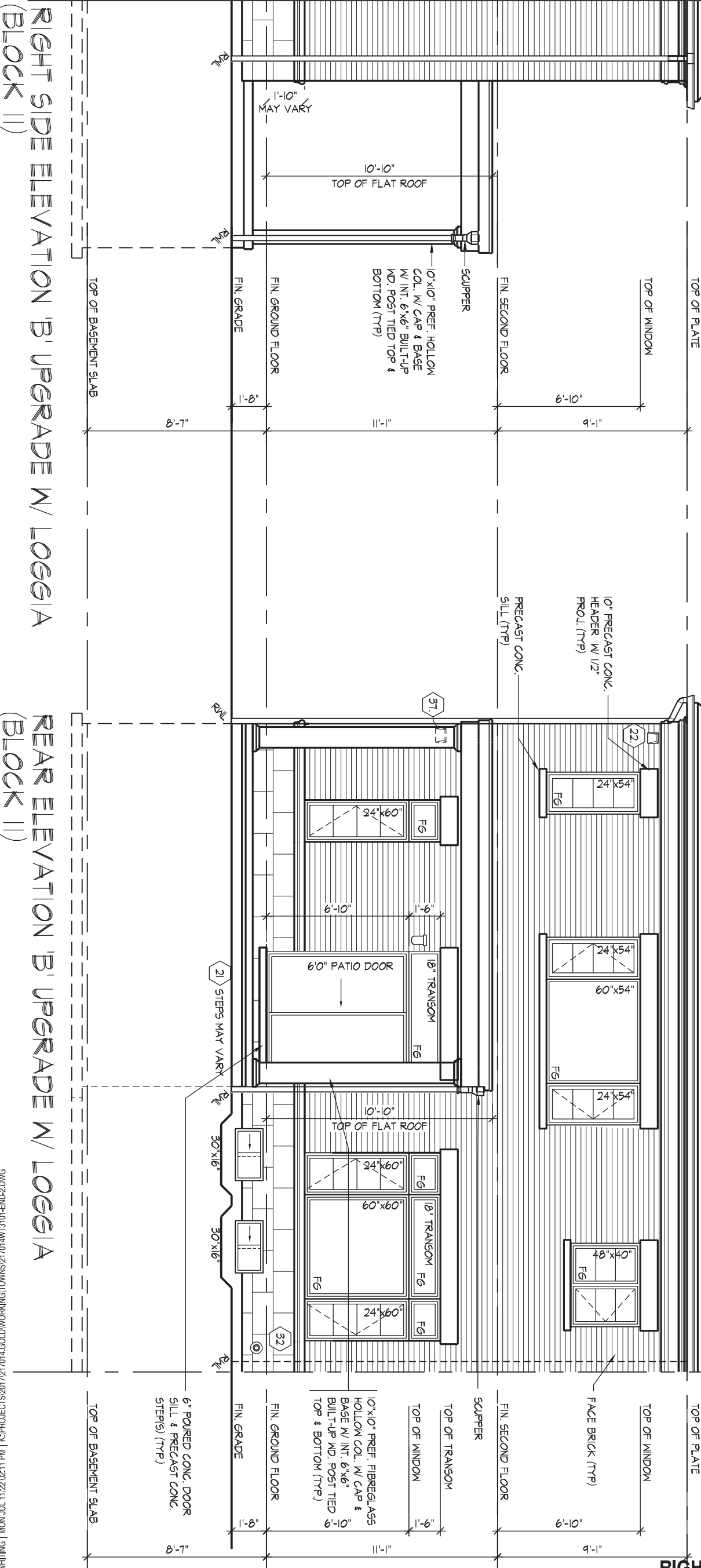
APPROVED BY:
DATE: JULY 20, 2022

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ROOF OVERHANGS TO BE 12" UNLESS NOTED OTHERWISE

REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFORMATION

ASPHALT SHINGLES (TYP)



RIGHT SIDE & REAR UPGRADE ELEVATION 'B' W/ LOGGIA

SPATIAL CALCULATION					SPATIAL CALCULATION				
PER O.B.C. TABLE 9.10.15.4					PER O.B.C. TABLE 9.10.15.4				
UPG. REAR ELEVATION 'B'					ALT. UPG. REAR ELEVATION 'B'				
EXPOSING BUILDING	678.65	S.F.	EXPOSING BUILDING	678.65	S.F.	FACE AREA	63.05	S.M.	
FACE AREA	63.05	S.M.	FACE AREA	63.05	S.M.	PORTION WALL AREA	678.65	S.F.	
PORTION WALL AREA	63.05	S.M.	PORTION WALL AREA	63.05	S.M.	MAX. % OPENINGS	34	%	
MAX. % OPENINGS	34	%	MAX. % OPENINGS	34	%	GLAZED AREA CALCULATED W/ FRAME SIZE	MINUS 2" AROUND ENTIRE PERIMETER		
QUAN	WIDTH	DEPTH	QUAN	WIDTH	DEPTH	GLAZED AREA CALCULATED W/ FRAME SIZE	MINUS 2" AROUND ENTIRE PERIMETER		
3	24"	54"	3	24"	54"	20.83			
1	60"	54"	1	60"	54"	19.44			
1	48"	40"	1	48"	40"	11.00			
3	24"	60"	3	24"	60"	23.33			
1	60"	60"	1	60"	60"	21.78			
3	24"	18"	3	24"	18"	5.83			
1	60"	18"	1	60"	18"	5.44			
1	72"	62"	1	72"	62"	36.83			
2	30"	16"	2	30"	16"	4.33			
0	ARCH	0.00	0	ARCH	0.00	0.00			
0	ARCH	0.00	0	ARCH	0.00	0.00			
0	ARCH	0.00	0	ARCH	0.00	0.00			
0	ARCH	0.00	0	ARCH	0.00	0.00			
OPENINGS ALLOWED	230.74	S.F.	OPENINGS ALLOWED	230.74	S.F.	ADDITIONAL NOTES			
OPENINGS PROVIDED	156.44	S.F.	OPENINGS PROVIDED	128.22	S.F.	GLAZED AREA CALCULATED W/ FRAME SIZE			

ROOF OVERHANGS TO BE 12"
UNLESS NOTED OTHERWISE

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

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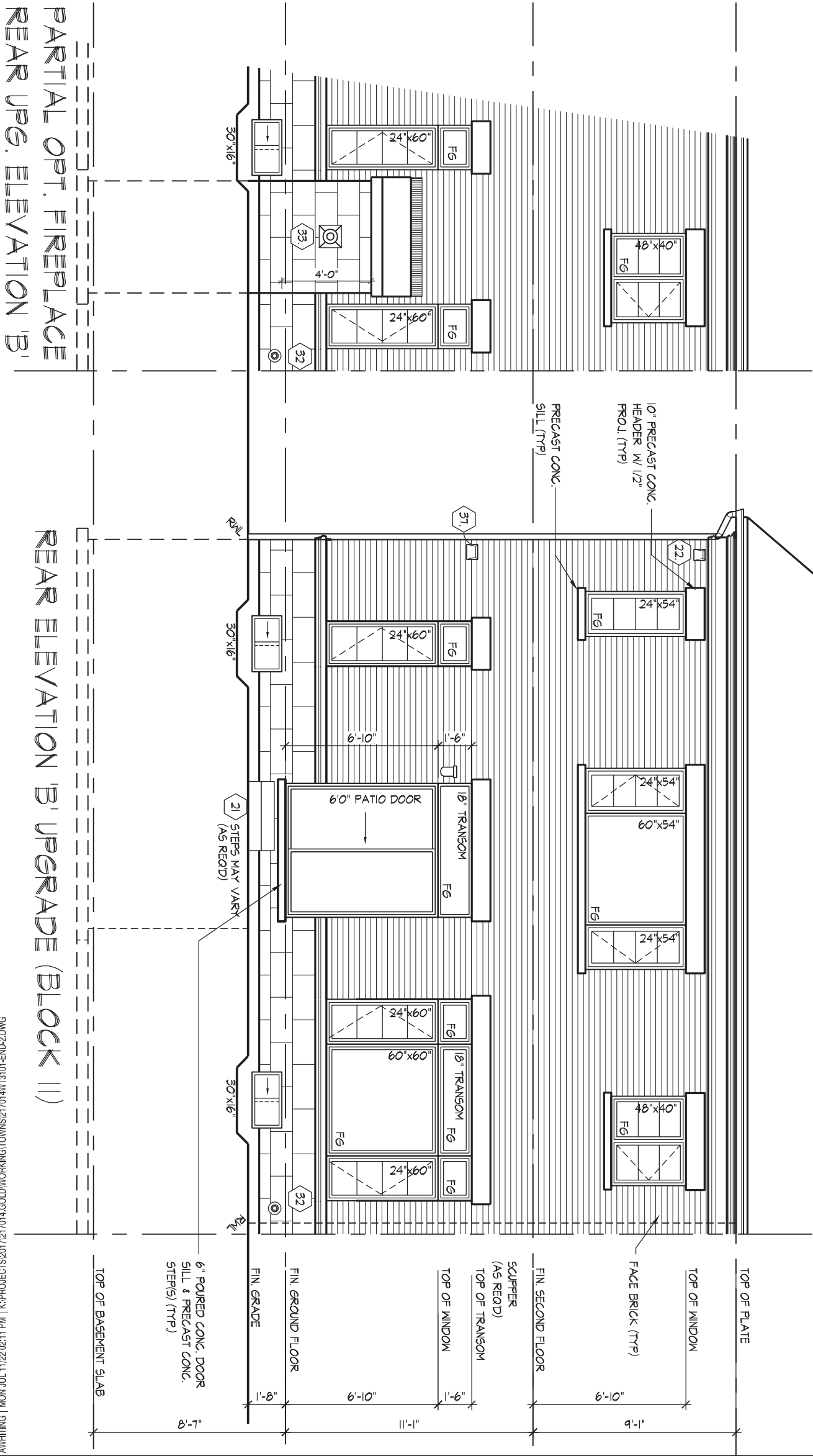
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AND APPROVAL

APPROVED BY: 
DATE: JULY 20, 2022

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REAR UPGRADE ELEVATION 'B'

TYPE 'B' - 3101-END 2
REV.2022.07.11



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THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.
QUALIFICATION INFORMATION
Allan Whiting
NAME
REGISTRATION INFORMATION
HUNT DESIGN ASSOCIATES INC.
19895

HUNT
DESIGN ASSOCIATES INC.
www.huntdesign.ca

GOLDPARK HOMES - 217014
PINE VALLEY TOWNS, VAUGHAN ON

Drawn By JMc
Checked By AW
Scale 3/16"=1'-0"
8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

File Number
217014WT3101-END2.dwg

Page Number
14 of 17

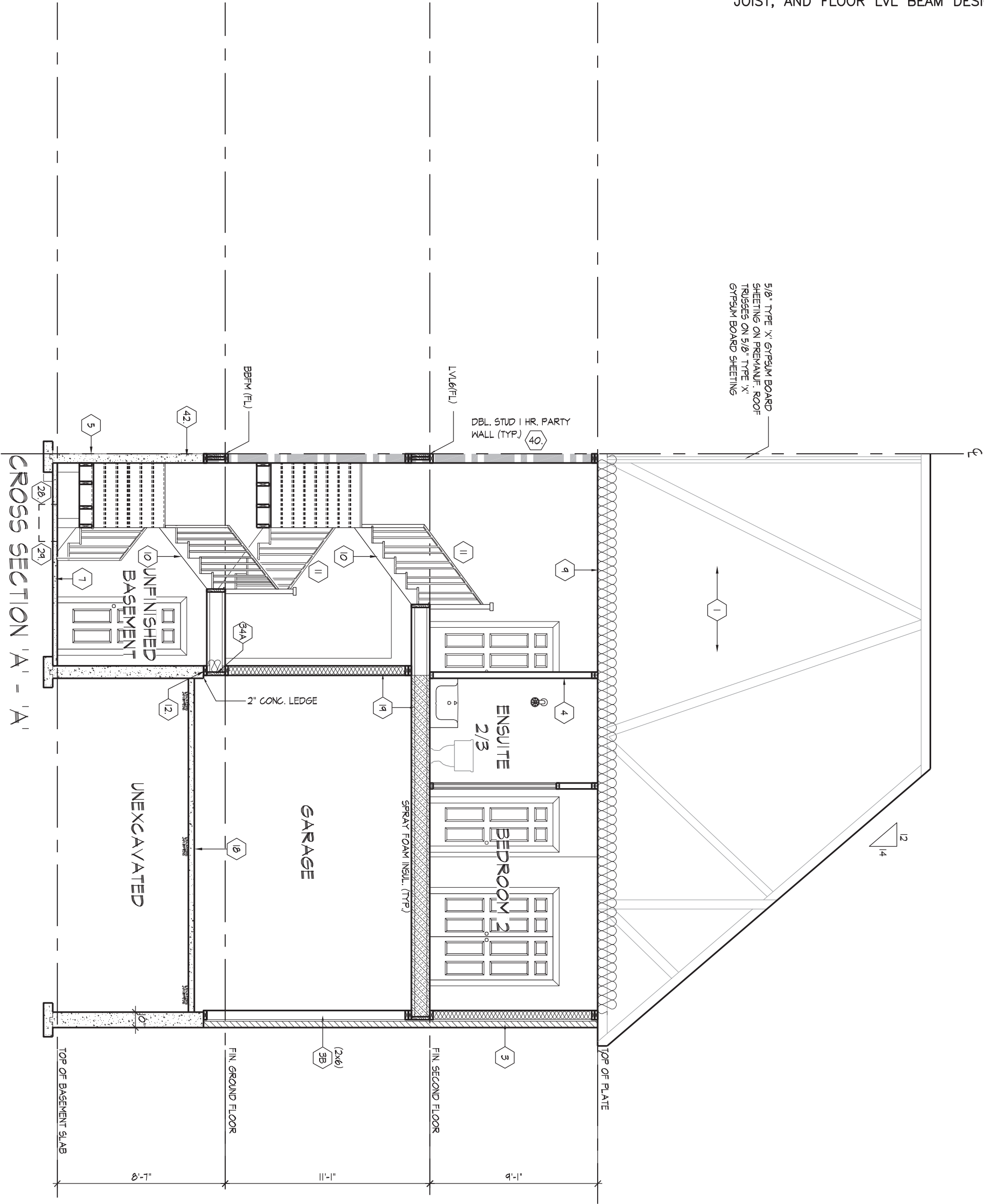
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wsp

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THORNHILL, ONTARIO CANADA L3T 0A1
TEL: 1-905-882-4211 | FAX: 1-905-822-0055 | WWW.WSPGROUP.CA

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ENGINEERED ROOF TRUSS, FLOOR
JOIST, AND FLOOR LVL BEAM DESIGN.



CROSS SECTION 'A' - 'A'
TYPE 'B' - 3101-END 2
REV.2022.07.11

AWHITING | MON JUL 11/22 02:11 PM | K:\PROJECTS\2017\217014\GOLDWORKING\TOWNS\217014\WT3101-END-2.DWG

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.
QUALIFICATION INFORMATION
Alan Whiting
NAME
REGISTRATION INFORMATION
HUNT DESIGN ASSOCIATES INC.
SIGNATURE
23177
BCIN
19695

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DESIGN ASSOCIATES INC.
www.huntdesign.ca

GOLDPARK HOMES - 217014
PINE VALLEY TOWNS, VAUGHAN ON
Drawn By
JMc
Checked By
AW
Scale
3/16"=1'-0"
8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

File Number
217014WT3101-END2.dwg
Page Number
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cont. SECTION 1.0. CONSTRUCTION NOTES

39

TWO STOREY VOLUME SPACES

(9.23.10.1., 9.23.11., 9.23.16.)

WALL ASSEMBLY		WIND LOADS			
EXTERIOR	STUDS	<= 0.5 kPa (q50)		> 0.5 kPa (q50)	
		SPACING	MAX HEIGHT	SPACING	MAX HEIGHT
BRICK	2-2"x6" (2-38x140) SPR. #2	12" (305) O.C.	18'-4" (5588)	8" (200) O.C.	18'-4" (5588)
SIDING		16" (406) O.C.	18'-4" (5588)	12" (305) O.C.	18'-4" (5588)
BRICK	2-2"x8" (2-38x184) SPR. #2	12" (305) O.C.	21'-0" (6400)	12" (305) O.C.	21'-0" (6400)
SIDING		16" (406) O.C.	21'-0" (6400)	16" (406) O.C.	21'-0" (6400)
** STUD SIZE & SPACING TO BE VERIFIED BY STRUCTURAL ENGINEER **					

STUDS ARE TO BE CONTINUOUS, C/W 3/8" (9.5) THICK EXTERIOR PLYWOOD SHEATHING. PROVIDE SOLID WOOD BLOCKING BETWEEN WOOD STUDS @ 4'-0" (1220) O.C. VERTICALLY.

- FOR HORIZ. DISTANCES LESS THAN 9'-6" (2896) PROVIDE 2"x6" (38x140) STUDS @ 16" (406) O.C. WITH CONTIN. 2-2"x6" (2-38x140) TOP PLATE + 1-2"x6" (1-38x140) BOTTOM PLATE & MIN. OF 3-2"x8" (3-38x184) CONT. HEADER AT GROUND FLOOR CEILING LEVEL TOE-NAILED & GLUED AT TOP, BOTTOM PLATES & HEADERS.

40

1 HR. PARTY WALL (CONC. BLOCK)

((SB-3] WALL TYPE 'B6e' & 'B1b')

1/2" (12.7) GYPSUM SHEATHING ON EACH SIDE ON 2"x2" (38x38) VERTICAL WD. STRAPPING @ 24" (610) O.C. ON 8" (200) CONC. BLOCK FILL STRAPPING CAVITY EACH SIDE WITH AT LEAST 90% OF ABSORPTIVE MATERIAL PROCESSED FROM ROCK, SLAG OR GLASS. TAPE, FILL & SAND ALL GYPSUM JOINTS. EXPOSED BLOCK MUST BE SEALED W/ 2 COATS OF PAINT OR FURRED WITH 2"x2" (38x38) WD. STRAPPING & 1/2" (12.7) GYPSUM SHEATHING.

40

1 HR. PARTY WALL (DOUBLE STUD)

((SB-3] WALL TYPE 'W13c')

5/8" (15.9) TYPE 'X' GYPSUM SHEATHING ON EXTERIOR SIDE OF 2 ROWS OF 2"x4" (38x89) STUDS @ 16" (406) O.C., MIN. 1" (25) APART ON SEPARATE 2"x4" (38x89) SILL PLATES. (2"x6" (38x140) AS REQUIRED) FILL ONE SIDE OF STUD CAVITY WITH AT LEAST 90% OF ABSORPTIVE MATERIAL PROCESSED FROM ROCK, SLAG OR GLASS. TAPE FILL AND SAND ALL GYPSUM JOINTS.

40A

2 HR. FIREWALL

((SB-3] WALL TYPE 'B6e' & 'B1b')

1/2" (12.7) GYPSUM SHEATHING ON EACH SIDE ON 2"x2" (38x38) VERTICAL WOOD STRAPPING @ 24" (610) O.C ON 8" (200) CONC. BLOCK 75% SOLID. FILL STRAPPING CAVITY EACH SIDE WITH AT LEAST 90% OF ABSORPTIVE MATERIAL PROCESSED FROM ROCK, SLAG OR GLASS. TAPE, FILL & SAND ALL GYPSUM JOINTS. AT UNFINISHED AREAS, EXTERIOR FACE OF CONC. BLOCK TO BE SEALED WITH 2 COATS OF PAINT. GYPSUM SHEATHING TO BE ATTACHED TO CONC. BLOCK. (REFER TO DETAILS)

41

STUCCO WALL CONSTRUCTION (2"x6")

STUCCO FINISH CONFORMING TO O.B.C. SECTION 9.28, AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1 1/2" (38) E.I.F.S. (MINIMUM) ON APPROVED DRAINAGE MAT ON 1/2" (12.7) DENSGLASS GOLD GYPSUM BOARD ON STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1., INSULATION, APPROVED 6 MIL. POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (REFER TO 35 NOTE AS REQUIRED)

41A

STUCCO WALL CONSTRUCTION (2"x6") W/ CONTIN. INSUL.

STUCCO FINISH CONFORMING TO O.B.C. SECTION 9.28, AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1 1/2" (38) E.I.F.S. (MINIMUM) ON APPROVED DRAINAGE MAT ON APPROVED AIR/WATER BARRIER AS PER O.B.C. 9.27.3. ON EXTERIOR TYPE RIGID INSULATION (JOINTS UNTAPED) MECHANICALLY FASTENED AS PER MANUFACTURERS SPECIFICATIONS, ON 7/16" EXTERIOR TYPE SHEATHING ON STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1., INSULATION, APPROVED 6 MIL. POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (REFER TO 35 NOTE AS REQUIRED)

41B

STUCCO WALL @ GARAGE CONST.

STUCCO FINISH CONFORMING TO O.B.C. SECTION 9.28, AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1 1/2" (38) E.F.I.S (MINIMUM) ON APPROVED DRAINAGE MAT ON 1/2" (12.7) DENSGLASS GOLD GYPSUM BRD. ON STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1., 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (REFER TO 35 NOTE AS REQ.)

*** FOR DWELLINGS USING CONTIN. INSULATION CONSTRUCTION, PROVIDE APPROVED DRAINAGE MAT ON 7/16" (11) EXTERIOR TYPE SHEATHING OVER FURRING (AS REQ.) AND STUDS IN LIEU OF 1 1/2" (38) E.F.I.S (MINIMUM) ON APPROVED DRAINAGE MAT ON 1/2"(12.7) DENSGLASS GOLD GYPSUM BRD.

42

UNSUPPORTED FOUNDATION WALLS

(9.15.4.2.)

REINFORCING AT STAIRS AND SUNKEN FLOOR AREAS

2-20M BARS IN TOP PORTION OF WALL (UP TO 8'-0" OPENING)

3-20M BARS IN TOP PORTION OF WALL (8'-0" TO 10'-0" OPENING)

4-20M BARS IN TOP PORTION OF WALL (10'-0" TO 15'-0" OPENING)

- BARS STACKED VERTICALLY AT INTERIOR FACE OF WALL @ 6" O.C.

REINFORCING AT BASEMENT WINDOWS

2-15M HORIZ. REINFORCING ON THE INSIDE AND OUTSIDE FACE OF THE FOUNDATION WALL BELOW THE WIN. SILL. EXTEND BARS 24" (610) BEYOND THE OPENING. 2-15M VERTICAL REINFORCING ON THE INSIDE AND OUTSIDE FACE OF THE FOUNDATION WALL ON EACH SIDE OF THE WINDOW OPENING.

- BARS TO HAVE MIN. 1" (25) CONC. COVER

- BARS TO EXTEND 2'-0" (610) BEYOND BOTH SIDES OF OPENING

43

STUD WALL REINFORCEMENT

PROVIDE STUD WALL REINFORCEMENT IN MAIN BATHROOM CONFORMING TO O.B.C. (9.5.2.3.(1)) (REFER TO DETAILS)

44

WINDOW WELLS

WHERE A WINDOW OPENS INTO A WINDOW WELL, A CLEARANCE OF NOT LESS THAN 21 5/8" (550) SHALL BE PROVIDED IN FRONT OF THE WINDOW. EVERY WINDOW WELL SHALL BE DRAINED TO THE FOOTING LEVEL OR OTHER SUITABLE LOCATION WITH A 4" (100) WEEPING TILE C/W A FILTER CLOTH WRAP AND FILLED WITH CRUSHED STONE. (9.9.10.1.(5), 9.14.6.3.)

45

SLOPED CEILING CONSTRUCTION

((SB-12] 3.1.1.8., 9.23.4.2.)

2"x12" (38x286) ROOF JOISTS @ 16" (406) O.C. MAX. (UNLESS OTHERWISE NOTED) W/ 2"x2" (38x38) PURLINS @ 16" (406) O.C. PERPENDICULAR TO ROOF JOIST (PURLINS NOT REQ. W/ SPRAY FOAM), W/ INSULATION BETWEEN JOIST, 6 mil POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH OR APPROVED EQ. INSULATION VALUE DIRECTLY ABOVE THE INNER SURFACE OF EXTERIOR WALLS SHALL NOT BE LESS THAN R20 (3.52 RSI).

46

FLAT ROOF/BALCONY CONSTRUCTION

WATERPROOFING MEMBRANE (9.26.11, 9.26.15, 9.26.16) FULLY ADHERED TO 5/8" (15.9) T&G EXTERIOR GRADE PLYWOOD SHEATHING ON 2"x2" (38x38) PURLINS ANGLED TOWARDS SCUPPER @ 2% MINIMUM LAID PERPENDICULAR TO 2"x8" (38x184) FLOOR JOISTS @ 16" (406) O.C. (UNLESS OTHERWISE NOTED). BUILT UP CURB TO BE 4" (100) MIN. ABOVE FINISHED BALCONY FLOOR. CONTINUOUS 'I' TRIM DRIP EDGE TO BE PROVIDED ON OUTSIDE FACE OF CURB. SCUPPER DRAIN TO BE LOCATED 24" (610) MIN. AWAY FROM HOUSE. PREFINISHED ALUMINUM OR PANEL FOR UNDERSIDE OF SOFFIT (9.23.2.3). REMOVE CURB WHERE REQ.

BALCONY CONDITION

SEE FLAT ROOF/BALCONY CONSTRUCTION NOTE. INCLUDE 2"x4" (38x89) PT. DECKING W/ 1/4" (6.4) GAPS LAID FLAT PARALLEL TO JOISTS ON 2"x4" (38x89) PT. SLEEPERS @ 12" (305) O.C. LAID FLAT PERPENDICULAR TO JOISTS

BALCONY OVER HEATED SPACE CONDITION

SEE FLAT ROOF/BALCONY CONSTRUCTION NOTE FOR ASSEMBLY. REFER TO PLANS FOR FLOOR JOIST SIZE & REFER TO HEX NOTE 9 FOR INSULATION AND INTERIOR FINISH

47

BARREL VAULT CONSTRUCTION

CANTILEVERED 2"x4" (38x89) SPACERS LAID FLAT ON 2"x10" (38x235) SPR. #2 ROOF JOIST NAILED TO BUILT-UP 3-3/4" (19) PLYWOOD HEADER PROFILED FOR BARREL. SPRAY FOAM INSULATION BETWEEN JOISTS W/ GYPSUM BOARD. INTERIOR FIN. (REFER TO DETAILS)

REFER TO SB-12 ENERGY EFFICIENCY DESIGN MATRIX ON THE TITLE PAGE FOR ALL VALUES AS REQUIRED PER 3.1.1., 3.1.2., 3.1.3. OF THE OBC.

SECTION 1.1. WALL STUDS

- REFER TO THIS CHART FOR STUD SIZE & SPACING AS REQUIRED FOR EXTERIOR WALLS ONLY. REFER TO SITING & GRADING PLAN OF THIS UNIT FOR CONFIRMATION OF TOP OF FOUNDATION WALL AND ADDITIONAL INFORMATION.

- IF STUD WALL HEIGHT EXCEEDS MAX. UNSUPPORTED HEIGHT, WALL NEEDS TO BE REVIEWED AND APPROVED BY ENGINEER.

SIZE & SPACING OF STUDS: (OBC REFERENCE - TABLE 9.23.10.1.)					
MIN. STUD SIZE, in (mm)	SUPPORTED LOADS (EXTERIOR)				
	ROOF w/ OR w/o ATTIC	ROOF w/ OR w/o ATTIC & 1 FLOOR	ROOF w/ OR w/o ATTIC & 2 FLOOR	ROOF w/ OR w/o ATTIC & 3 FLOOR	
	MAX. STUD SPACING, in (mm) O.C.				
	MAX. UNSUPPORTED HGT., ft-in (m)				
2"x4" (38x89)	24" (610)	16" (405)	12" (305)	N/A	
	9'-10" (3.0)	9'-10" (3.0)	9'-10" (3.0)	N/A	
2"x6" (38x140)	-	24" (610)	16" (406)	12" (305)	
	-	9'-10" (3.0)	11'-10" (3.6)	5'-11" (1.8)	

SECTION 2.0. GENERAL NOTES

- 2.1. WINDOWS**
- 1) EXCEPT WHERE A DOOR ON THE SAME FLOOR LEVEL AS THE BEDROOM PROVIDES DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL CONTAINING A BEDROOM IS TO HAVE AT LEAST ONE OUTSIDE WINDOW W/ MIN. 0.35m2 UNOBSTRUCTED OPEN PORTION W/ NO DIMENSION LESS THAN 1'-3" (380), CAPABLE OF MAINTAINING THE OPENING WITHOUT THE NEED FOR ADDITIONAL SUPPORT, CONFORMING TO 9.9.10.
- 2) WINDOW GUARDS: A GUARD OR A WINDOW WITH A MAXIMUM RESTRICTED OPENING WIDTH OF 4" (100) IS REQUIRED WHERE THE TOP OF THE WINDOW SILL IS LOCATED LESS THAN 1'-7" (480) ABOVE FIN. FLOOR AND THE DISTANCE FROM THE FINISHED FLOOR TO THE ADJACENT GRADE IS GREATER THAN 5'-11" (1800). (9.8.8.1.)
- 3) WINDOWS IN EXIT STAIRWAYS THAT EXTEND TO LESS THAN 2'-11" (900) [3'-6" (1070) FOR ALL OTHER BUILDINGS] SHALL BE PROTECTED BY GUARDS IN ACCORDANCE WITH NOTE #2 (ABOVE). OR THE WINDOW SHALL BE NON-OPERABLE AND DESIGNED TO WITHSTAND THE SPECIFIED LOADS FOR BALCONY GUARDS AS PROVIDED IN 4.1.5.15 OR 9.8.8.2
- 4) REFER TO TITLE PAGE FOR MAX. U-VALUE REQUIREMENTS

- 2.2. CEILING HEIGHTS**
- THE CEILING HEIGHTS OF ROOMS AND SPACES SHALL CONFORM TO TABLE 9.5.3.1.

ROOM OR SPACE	MINIMUM HEIGHTS
LIVING ROOM, DINING ROOM AND KITCHEN	7'-7" OVER 75% OF REQUIRED FLOOR AREA WITH A CLEAR HEIGHT OF 6'-11" AT ANY POINT
BEDROOM	7'-7" OVER 50% OF REQUIRED FLOOR AREA OR 6'-11" OVER ALL OF THE REQUIRED FLOOR AREA.
BASEMENT	6'-11" OVER AT LEAST 75% OF THE BASEMENT AREA EXCEPT THAT UNDER BEAMS AND DUCTS THE CLEARANCE IS PERMITTED TO BE REDUCED TO 6'-5".
BATHROOM, LAUNDRY AREA ABOVE GRADE	6'-11" IN ANY AREA WHERE A PERSON WOULD NORMALLY BE STANDING
FINISHED ROOM NOT MENTIONED ABOVE	6'-11"
MEZZANINES	6'-11" ABOVE & BELOW FLOOR ASSEMBLY (9.5.3.2.)
STORAGE GARAGE	6'-7" (9.5.3.3.)

- 2.3. MECHANICAL / PLUMBING**
- 1) MECHANICAL VENTILATION IS REQUIRED TO PROVIDE 0.7 AIR CHANGE PER HOUR IF NOT AIR CONDITIONED 1 PER HOUR IF AIR CONDITIONED AVERAGED OVER 24 HOURS, WHEN A VENTILATION FAN (PRINCIPAL EXHAUST) IS REQUIRED, CONFORM TO OBC 9.32.3.4. WHEN A HRV IS REQUIRED, CONFORM TO 9.32.3.11. REFER TO MECHANICAL DRAWINGS.
- 2) REFER TO HOT WATER TANK MANUFACTURER SPECS. CONFORM TO OBC 9.31.6.
- 3) REFER TO TITLE PAGE FOR SPACE HEATING EQUIPMENT, HRV AND DOMESTIC HOT WATER HEATER MINIMUM EFFICIENCIES.
- 4) DRAIN WATER HEAT RECOVERY UNIT(S) WILL BE INSTALLED CONFORMING TO THE REQUIREMENTS OF SB12 - 3.1.1.12. OF THE O.B.C.
- 2.4. LUMBER**
- 1) ALL LUMBER SHALL BE SPRUCE No.2 GRADE OR BETTER, UNLESS NOTED OTHERWISE.
- 2) STUDS SHALL BE STUD GRADE SPRUCE, UNLESS NOTED OTHERWISE.
- 3) LUMBER EXPOSED TO THE EXTERIOR TO BE SPRUCE No. 2 GRADE PRESSURE TREATED OR CEDAR, UNLESS NOTED OTHERWISE.
- 4) ALL LAMINATED VENEER LUMBER (LVL) BEAMS, GIRDER TRUSSES, AND METAL HANGER CONNECTIONS SUPPORTING ROOF FRAMING TO BE DESIGNED & CERTIFIED BY FLOOR AND ROOF TRUSS MANUFACTURER.
- 5) JOIST HANGERS: PROVIDE APPROVED METAL HANGERS FOR ALL JOISTS AND BUILT-UP WOOD MEMBERS INTERSECTING WITH FLUSH BUILT-UP WOOD MEMBERS.
- 6) WOOD FRAMING NOT TREATED WITH A WOOD PRESERVATIVE. IN CONTACT WITH CONCRETE, SHALL BE SEPARATED FROM THE CONC. BY AT LEAST 2 mil POLYETHYLENE FILM. No.50 (45lbs) ROLL ROOFING OR OTHER DAMPPROOFING MATERIAL, EXCEPT WHERE THE WOOD MEMBER IS AT LEAST 6" (152) ABOVE THE GROUND.

- 2.5. STEEL** (9.23.4.3.)
- 1) STRUCTURAL STEEL SHALL CONFORM TO CAN/CSA-G40-21 GRADE 350W. HOLLOW STRUCT. SECTIONS SHALL CONFORM TO CAN/CSA-G40-21 GRADE 350W CLASS "H".
- 2) REINFORCING STEEL SHALL CONFORM TO CSA-G30-18M GRADE 400R.

- 2.6. FLAT ARCHES**
- 1) FOR 8'-0" (2440) CEILINGS, FLAT ARCHES SHALL BE 6'-10" (2080) A.F.F.
- 2) FOR 9'-0" (2740) CEILINGS, FLAT ARCHES SHALL BE 7'-10" (2400) A.F.F.
- 3) FOR 10'-0" (3040) CEILINGS, FLAT ARCHES SHALL BE 8'-6" (2600) A.F.F.

- 2.7. ROOF OVERHANGS**
- 1) ALL ROOF OVERHANGS SHALL BE 1'-0" (305). UNLESS NOTED OTHERWISE.

- 2.8. FLASHING** (9.20.13., 9.26.4. & 9.27.3.)
- 1) FLASHING MATERIALS & INSTALLATION SHALL CONFORM TO O.B.C.
- 2.9. GRADING**
- 1) THE BUILDING SHALL BE LOCATED OR THE BUILDING SITE GRADED SO THE WATER WILL NOT ACCUMULATE AT OR NEAR THE BUILDING AND WILL NOT ADVERSELY AFFECT ADJACENT PROPERTIES. CONFORM TO 9.14.6.

- 2.10. ULC SPECIFIED ASSEMBLIES**
- ALL REQUIRED INDIVIDUAL COMPONENTS THAT FORM PART OF ANY 'ULC LISTED ASSEMBLY'. SPECIFIED WITHIN THESE DRAWINGS, CANNOT BE ALTERED OR SUBSTITUTED FOR ANY OTHER MATERIAL/PRODUCT OR SPECIFIED MANUFACTURER THAT IS IDENTIFIED IN THAT 'SPECIFIED ULC LISTING'. THERE SHALL BE NO DEVIATIONS UNDER ANY CIRCUMSTANCES IN ANY 'ULC LISTED ASSEMBLY' IDENTIFIED IN THESE DRAWINGS.

SECTION 3.0. LEGEND

3.1. WOOD LINTELS AND BUILT-UP WOOD (DIVISION B PART 9. TABLE A8 TO A10 AND A12, A15 & A16) FORMING PART OF SENTENCE 9.23.4.2.(3), 9.23.4.2.(4), 9.23.12.3.(1),(3), 9.23.13.8.(2), 9.37.3.1.(1)					
2"x8" SPRUCE #2		2"x10" SPRUCE #2		2"x12" SPRUCE #2	
L1	2/2"x8" (2/38x184)	L3	2/2"x10" (2/38x235)	L5	2/2"x12" (2/38x286)
B1	3/2"x8" (3/38x184)	B3	3/2"x10" (3/38x235)	B5	3/2"x12" (3/38x286)
B2	4/2"x8" (4/38x184)	B4	4/2"x10" (4/38x235)	B6	4/2"x12" (4/38x286)
B7	5/2"x8" (5/38x184)	B8	5/2"x10" (5/38x235)	B9	5/2"x12" (5/38x286)
ENGINEERED LUMBER SCHEDULE - GRADE 2.0E (UNLESS NOTE OTHERWISE)					
1 3/4" x 9 1/2" LVL		1 3/4" x 11 7/8" LVL		1 3/4" x 14" LVL	
LVL2	1-1 3/4"x9 1/2"	LVL3	1-1 3/4"x11 7/8"	LVL10	1-1 3/4"x14"
LVL4	2-1 3/4"x9 1/2"	LVL6	2-1 3/4"x11 7/8"	LVL11	2-1 3/4"x14"
LVL5	3-1 3/4"x9 1/2"	LVL7	3-1 3/4"x11 7/8"	LVL12	3-1 3/4"x14"
LVL8	4-1 3/4"x9 1/2"	LVL9	4-1 3/4"x11 7/8"	LVL13	4-1 3/4"x14"
3.2. STEEL LINTELS SUPPORTING MASONRY VENEER (DIVISION B PART 9. TABLE 9.20.5.2.B.) FORMING PART OF SENTENCE 9.20.5.2.(2) & 9.20.5.2.(3)					
CODE	SIZE	BRICK		STONE	
L7	3 1/2" x 3 1/2" x 1/4" (89 x 89 x 6.4)	8'-1" (2.47m)		7'-6" (2.30m)	
L8	4" x 3 1/2" x 1/4" (102 x 89 x 6.4)	8'-9" (2.66m)		8'-1" (2.48m)	
L9	4 7/8" x 3 1/2" x 5/16" (127 x 89 x 7.9)	10'-10" (3.31m)		10'-1" (3.03m)	
L10	4 7/8" x 3 1/2" x 3/8" (127 x 89 x 11)	11'-5" (3.48m)		10'-7" (3.24m)	
L11	5 7/8" x 3 1/2" x 3/8" (152 x 89 x 11)	12'-6" (3.82m)		11'-7" (3.54m)	
L12	7 1/8" x 4" x 3/8" (178 x 102 x 11)	14'-1" (4.30m)		13'-1" (3.99m)	

3.3. DOOR SCHEDULE					
CONFORMING TO SECTIONS 9.5.11, 9.6., 9.7.2.1, 9.7.5.2, & 9.10.13.10					
1	EXTERIOR	2'-8" x 6'-8" x 1-3/4" (815 x 2030 x 45)	INSULATED MIN. R4 (RSI 0.7)		
1A	EXTERIOR	2'-10" x 6'-8" x 1-3/4" (865 x 2030 x 45)	INSULATED MIN. R4 (RSI 0.7)		
1B	EXTERIOR	3'-0" x 6'-8" x 1-3/4" (915 x 2030 x 45)	INSULATED MIN. R4 (RSI 0.7)		
1C	EXTERIOR	2'-6" x 6'-8" x 1-3/4" (760 x 2030 x 45)	INSULATED MIN. R4 (RSI 0.7)		
1D	EXTERIOR	2'-8" x 6'-8" x 1-3/4" (815 x 2030 x 45)	INS. MIN. R4 (RSI 0.7) (SEE HEX NOTE 20)		
1E	EXTERIOR	3'-0" x 8'-0" x 1-3/4" (915 x 2440 x 45)	INSULATED MIN. R4 (RSI 0.7)		
1F	EXTERIOR	2'-8" x 8'-0" x 1-3/4" (815 x 2440 x 45)	INSULATED MIN. R4 (RSI 0.7)		
2A	EXTERIOR	2'-8" x 6'-8" x 1-3/4" (815 x 2030 x 45)	20 MIN. F.R.R. DOOR/FRAME WITH APP. SELF CLOSING DEVICE.		
2	INTERIOR	2'-8" x 6'-8" x 1-3/8" (815 x 2030 x 35)	PROVIDE 8'-0" HIGH INTERIOR DOORS FOR ALL 10' CEILING CONDITIONS		
3	INTERIOR	2'-6" x 6'-8" x 1-3/8" (760 x 2030 x 35)			
3A	INTERIOR	2'-4" x 6'-8" x 1-3/8" (710 x 2030 x 35)			
4	INTERIOR	2'-0" x 6'-8" x 1-3/8" (610 x 2030 x 35)			
4A	INTERIOR	2'-2" x 6'-8" x 1-3/8" (660 x 2030 x 35)			
5	INTERIOR	1'-6" x 6'-8" x 1-3/8" (460 x 2030 x 35)			

3.4. ACRONYMS			
AFF	ABOVE FINISHED FLOOR	JST	JOIST
BBFM	BEAM BY FLOOR MANUFACTURER	LIN	LINEN CLOSET
BG	FIXED GLASS W/ BLACK BACKING	LVL	LAMINATED VENEER LUMBER
BM	BEAM	OTB/A	OPEN TO BELOW/ABOVE
BBRM	BEAM BY ROOF MANUFACTURER	PL	POINT LOAD
CRF	CONVENTIONAL ROOF FRAMING	PLT	PLATE
C/W	COMPLETE WITH	PT	PRESSURE TREATED
DJ/TJ	DOUBLE JOIST/ TRIPLE JOIST	PTD	PAINTED
DO	DO OVER	PWD	POWDER ROOM
DRP	DROPPED	RWL	RAIN WATER LEADER
ENG	ENGINEERED	SB	SOLID BEARING WOOD POST
EST	ESTIMATED	SBFA	SB FROM ABOVE
FA	FLAT ARCH	SJ	SINGLE JOIST
FD	FLOOR DRAIN	SPR	SPRUCE
FG	FIXED GLASS	STL	STEEL
FL	FLUSH	T/O	TOP OF
FLR	FLOOR	TYP	TYPICAL
GT	GIRDER TRUSS	U/S	UNDERSIDE
HB	HOSE BIB	WD	WOOD
HRV	HEAT RETURN VENTILATION UNIT	WIC	WALK IN CLOSET
HWT	HOT WATER TANK	WP	WEATHER PROOF

3.5. SYMBOLS			
ALL ELECTRICAL FACILITIES SHALL BE INSTALLED IN ACCORDANCE WITH SECTION 9.34.			
	CLASS 'B' VENT		EXHAUST VENT
	DUPLEX OUTLET (12" HIGH)		DUPLEX OUTLET (HEIGHT AS NOTED A.F.F.)
	HEAVY DUTY OUTLET		SWITCH (2/3/4 WAY)
	POT LIGHT		LIGHT FIXTURE (CEILING MOUNTED)
	LIGHT FIXTURE (PULL CHAIN)		LIGHT FIXTURE (WALL MOUNTED)
	CABLE T.V. JACK		TELEPHONE JACK
	CENTRAL VACUUM OUTLET		CHANDELIER (CEILING MOUNTED)

- SA **SMOKE ALARM</**