# TYPE 'B' - 3101-END 2

# SB-12 ENERGY EFFICIENCY DESIGN MATRIX

PACKAGE A1

PRESCRIPTIVE COMPLIANCE

SB-12 (SECTION 3.1.1) TABLE 3.1.1.2.A

| SPACE HEATING FUEL |              |  |  |  |  |  |  |
|--------------------|--------------|--|--|--|--|--|--|
| ■ GAS              | □ OIL        |  |  |  |  |  |  |
| □ ELECTRIC         | □ PROPANE    |  |  |  |  |  |  |
| □ EARTH            | □ SOLID FUEL |  |  |  |  |  |  |

| BUILDING COMPONENT  | REQUIRED    | PROPOSED    |
|---|-------------|-------------|
| INSULATION RSI (R) VALUE  | <br>        |             |
| CEILING W/ ATTIC SPACE  | 10.56 (R60) | 10.56 (R60) |
| CEILING W/O ATTIC SPACE   | 5.46 (R31)  | 5.46 (R31)  |
| EXPOSED FLOOR   | 5.46 (R31)  | 5.46 (R31)  |
| WALLS ABOVE GRADE   | 3.87 (R22)  | 3.87 (R22)  |
| BASEMENT WALLS  | 3.52 ci 🔸   | 3.52 ci     |
| * PROPOSED VALUES MAY BE SUBSTITUTED W/ 2.11+1.76ci (R12+R10ci) | (R20 ci)    | (R20 ci)    |
| BELOW GRADE SLAB ENTIRE SURFACE > 600mm BELOW GRADE             | -           | -           |
| EDGE OF BELOW GRADE SLAB ≤ 600mm BELOW GRADE                    | 1.76 (R10)  | 1.76 (R10)  |
| HEATED SLAB OR SLAB ≤ 600mm BELOW GRADE                         | 1.76 (R10)  | 1.76 (R10)  |
| WINDOWS & DOORS   | <u>-</u>    |             |
| WINDOWS/SLIDING GLASS DOORS (MAX U-VALUE)                       | 1.6         | 1.6         |
| SKYLIGHTS (MAX. U-VALUE)  | 2.8         | 2.8         |
| APPLIANCE EFFICIENCY  |             |             |
| SPACE HEATING EQUIP. (AFUE%)                                    | 96%         | 96%         |
| HRV EFFICIENCY (%)  | 75%         | 75%         |
| DHW HEATER (EF)   | 0.8         | 0.8         |
| <u> </u>  |             |             |

- 1 TITLE PAGE
- 2 BASEMENT PLAN, ELEV. 'A' & 'B'
- 3 GROUND FLOOR PLAN, ELEV. 'A'
- 4 SECOND FLOOR PLAN, ELEV. 'A'
- 5 PARTIAL GROUND & SECOND FLOOR PLANS, ELEV. 'B'
- 6 PARTIAL FLOOR PLANS, ELEV. 'A' & 'B' W/ LOGGIA
- 7 FRONT ELEVATION 'A' & 'B'
- 8 RIGHT SIDE ELEVATION 'A'
- 9 RIGHT SIDE ELEVATION 'B'
- 9A RIGHT SIDE & REAR ELEVATION 'A' & 'B' W/ LOGGIA
- 10 REAR ELEVATION 'A' & 'B'
- 11 RIGHT SIDE UPGRADE ELEVATION 'A'
- 12 RIGHT SIDE UPGRADE ELEVATION 'B'
- 12A RIGHT SIDE & REAR UPGRADE ELEVATION 'A' W/ LOGGIA
- 13 REAR UPGRADE ELEVATION 'A'
- 13A RIGHT SIDE & REAR UPGRADE ELEVATION 'B' W/ LOGGIA
- 14 REAR UPGRADE ELEVATION 'B'
- 15 CROSS SECTION 'A' 'A'
- 16 CONSTRUCTION NOTES
- 17 CONSTRUCTION NOTES

|                                |                 |                 |                 |                 |                 |                 | 1               |                 |
|--------------------------------|-----------------|-----------------|-----------------|-----------------|-----------------|-----------------|-----------------|-----------------|
| AREA CALCULATIONS              | EL. 'A'         | EL. 'A'         | EL. 'A'         | EL. 'A'         | EL. 'B'         | EL. 'B'         | EL. 'B'         | EL. 'B'         |
|                                | STD             | STD W/ LOGGIA   | STD -INT W/ F.P | .W/F.P.&LOGGIA  | STD -INT        | STD W/ LOGGIA   | STD INT W/F.P.  | .W/F.P.&LOGGIA  |
| GROUND FLOOR AREA              | 720 sq. ft.     | 720 sq. ft.     | 727 sq. ft.     | 727 sq. ft.     | 720 sq. ft.     | 720 sq. ft.     | 727 sq. ft.     | 727 sq. ft.     |
| SECOND FLOOR AREA              | 1174 sq. ft.    | 1174 sq. ft.    | 1174 sq. ft.    | 1174 sq. ft.    | 1171 sq. ft.    | 1171 sq. ft.    | 1171 sq. ft.    | 1171 sq. ft.    |
| SUBTOTAL                       | 1894 sq. ft.    | 1894 sq. ft.    | 1901 sq. ft.    | 1901 sq. ft.    | 1891 sq. ft.    | 1891 sq. ft.    | 1898 sq. ft.    | 1898 sq. ft.    |
| DEDUCT ALL OPEN AREAS          | 41 sq. ft.      |
| TOTAL NET AREA                 | 1853 sq. ft.    | 1853 sq. ft.    | 1860 sq. ft.    | 1860 sq. ft.    | 1850 sq. ft.    | 1850 sq. ft.    | 1857 sq. ft.    | 1857 sq. ft.    |
|                                | (172.15 sq. m.) | (172.15 sq. m.) | (172.80 sq. m.) | (172.80 sq. m.) | (171.87 sq. m.) | (171.87 sq. m.) | (172.52 sq. m.) | (172.52 sq. m.) |
| FINISHED BASEMENT AREA         | 463 sq. ft.     | 463 sq. ft.     | 470 sq. ft.     | 470 sq. ft.     | 463 sq. ft.     | 463 sq. ft.     | 470 sq. ft.     | 470 sq. ft.     |
| COVERAGE                       | 1178 sq. ft.    | 1178 sq. ft.    | 1185 sq. ft.    | 1185 sq. ft.    | 1178 sq. ft.    | 1178 sq. ft.    | 1185 sq. ft.    | 1185 sq. ft.    |
| W/OUT PORCH                    | (109.44 sq. m.) | (109.44 sq. m.) | (110.09 sq. m.) | (110.09 sq. m.) | (109.44 sq. m.) | (109.44 sq. m.) | (110.09 sq. m.) | (110.09 sq. m.) |
| COVERAGE                       | 1246 sq. ft.    | 1385 sq. ft.    | 1260 sq. ft.    | 1253 sq. ft.    | 1246 sq. ft.    | 1385 sq. ft.    | 1260 sq. ft.    | 1253 sq. ft.    |
| W/ PORCH                       | (115.76 sq. m.) | (128.67 sq. m.) | (117.06 sq. m.) | (116.41 sq. m.) | (115.76 sq. m.) | (128.67 sq. m.) | (117.06 sq. m.) | (116.41 sq. m.) |
| WINDOW / WALL AREA             | EL. 'A'         | EL. 'A'         | EL. 'A'         | EL. 'A'         | EL. 'B'         | EL. 'B'         | EL. 'B'         | EL. 'B'         |
| CALCULATIONS                   | STD. PLAN       | STD W/ LOGGIA   | STD. W/F.P.     | W/ F.P.&LOGGIA  | STD. PLAN       | STD W/ LOGGIA   | STD. W/F.P.     | W/ F.P.&LOGGIA  |
| GROSS WALL AREA                | 3066 sq. ft.    | 3066 sq. ft.    | 3066 sq. ft.    | 3066 sq. ft.    | 3061 sq. ft.    | 3061 sq. ft.    | 3061 sq. ft.    | 3061 sq. ft.    |
| anoo will inch                 | (284.84 sq. m.) | (284.84 sq. m.) | (284.84 sq. m.) | (284.84 sq. m.) | (284.38 sq. m.) | (284.38 sq. m.) | (284.38 sq. m.) | (284.38 sq. m.) |
| GROSS WINDOW AREA              | 288.8 sq. ft.   | 288.8 sq. ft.   | 258.8 sq. ft.   | 258.8 sq. ft.   | 297.6 sq. ft.   | 297.6 sq. ft.   | 267.6 sq. ft.   | 267.6 sq. ft.   |
| (INCL GLASS DOORS & SKYLIGHTS) | (26.83 sq. m.)  | (26.83 sq. m.)  | (24.04 sq. m.)  | (24.04 sq. m.)  | (27.65 sq. m.)  | (27.65 sq. m.)  | (24.86 sq. m.)  | (24.86 sq. m.)  |
| TOTAL WINDOW %                 | 9.42 %          | 9.42 %          | 8.44 %          | 8.44 %          | 9.72 %          | 9.72 %          | 8.74 %          | 8.74 %          |
|                                |                 |                 |                 |                 |                 |                 | 7               |                 |

727 sq. ft. 727 sq. ft. 1171 sq. ft. 1898 sq. ft. 41 sq. ft. 41 sq. ft. 1857 sq. ft. 1857 sq. ft. (172.52 sq. m.) (172.52 sq. m.) 470 sq. ft. 470 sq. ft. 1185 sq. ft. 1185 sq. ft. n.) (110.09 sq. m.) (110.09 sq. m.) 1260 sq. ft. 1253 sq. ft. (117.06 sq. m.) (116.41 sq. m.) EL 'B' EL 'B'

EL. 'B' STD. W/F.P. W/ F.P.&LOGGIA BLOCK 11 UPG 3061 sq. ft. 3061 sq. ft. 3061 sq. ft. (284.38 sq. m.) (284.38 sq. m.) 267.6 sq. ft. 267.6 sq. ft. 332.92 sq. ft. (30.93 sq. m.) (24.86 sq. m.) (24.86 sq. m.)





| 7   | -                 | -   |
|---|-------------------|-----|
| 6. ISSUED FOR PERMIT RE-SUBMISSON             | 2022.07.11        | AW  |
| 5. ADDED LOGGIA DRAWINGS                      | 2022.06.06        | NN  |
| 4. ISSUED FOR PERMIT                          | 2022.02.18        | WT  |
| 3. REVISED AS PER STRUCTURAL ENG. COMMENTS    | 2021.11.29        | NEA |
| 2. REVISED AS PER FLOOR & TRUSS MANUF. LAYOUT | 2021.09.27        | NEA |
| 1. ISSUED FOR CLIENT REVIEW                   | 2021.02.26        | AW  |
| REVISIONS                                     | DATE (YYYY/MM/DD) | BY  |

TITLE PAGE

Allan Whiting

23177

**GOLDPARK HOMES - 217014** PINE VALLEY TOWNS, VAUGHAN ON

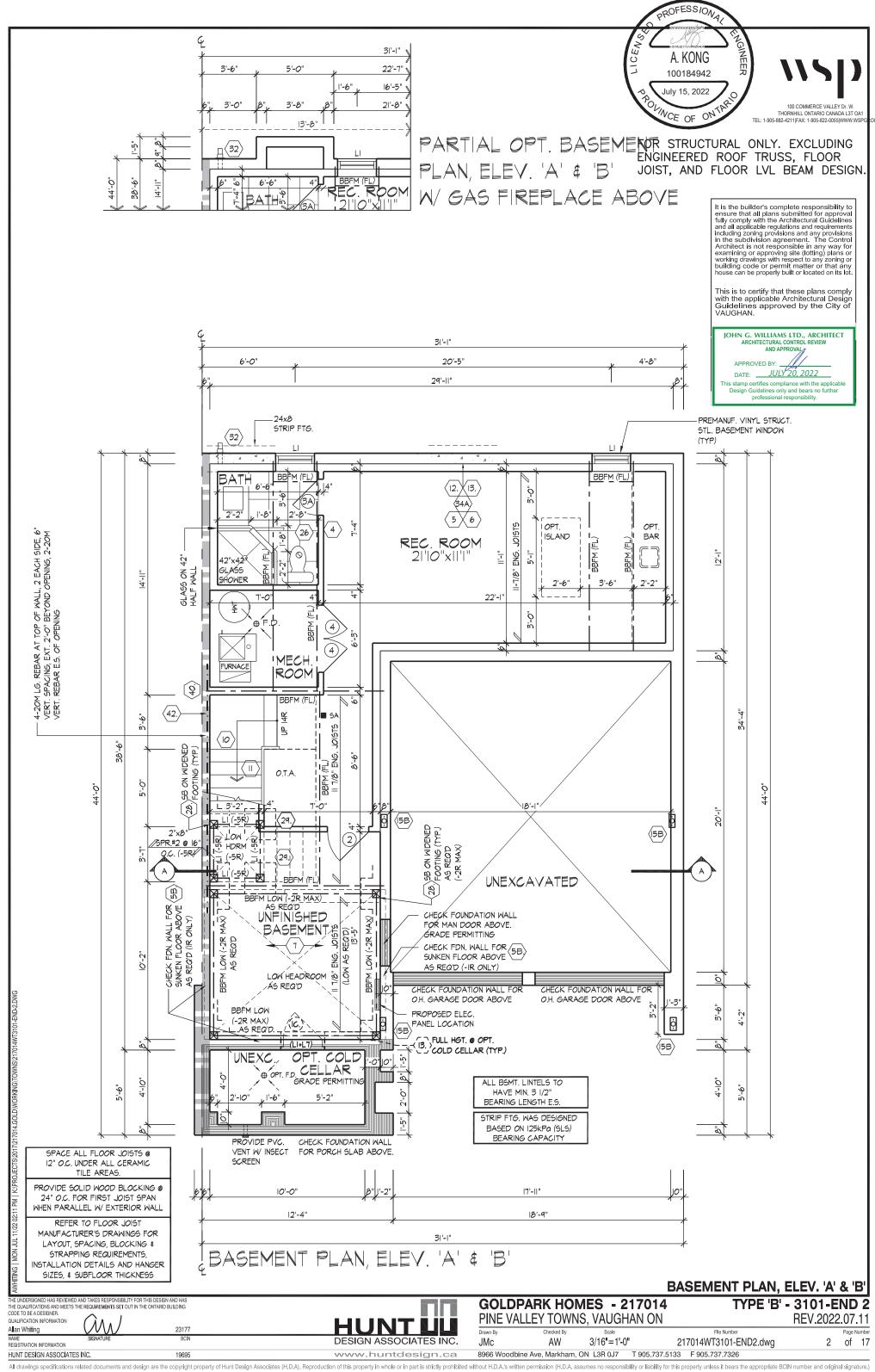
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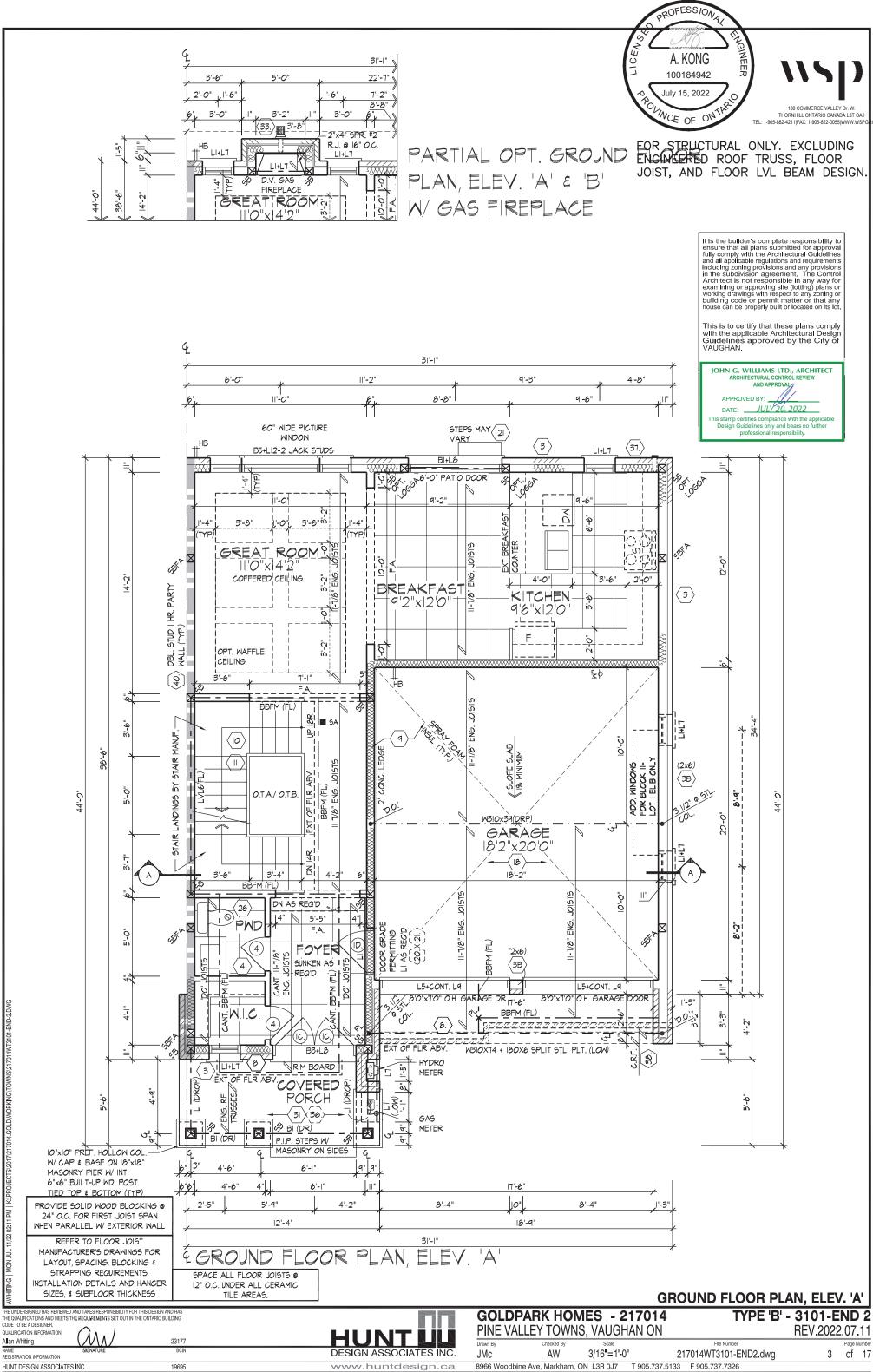
TYPE 'B' - 3101-END 2 REV.2022.07.11

AW 3/16"=1'-0" 217014WT3101-END2.dwg of 17 8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

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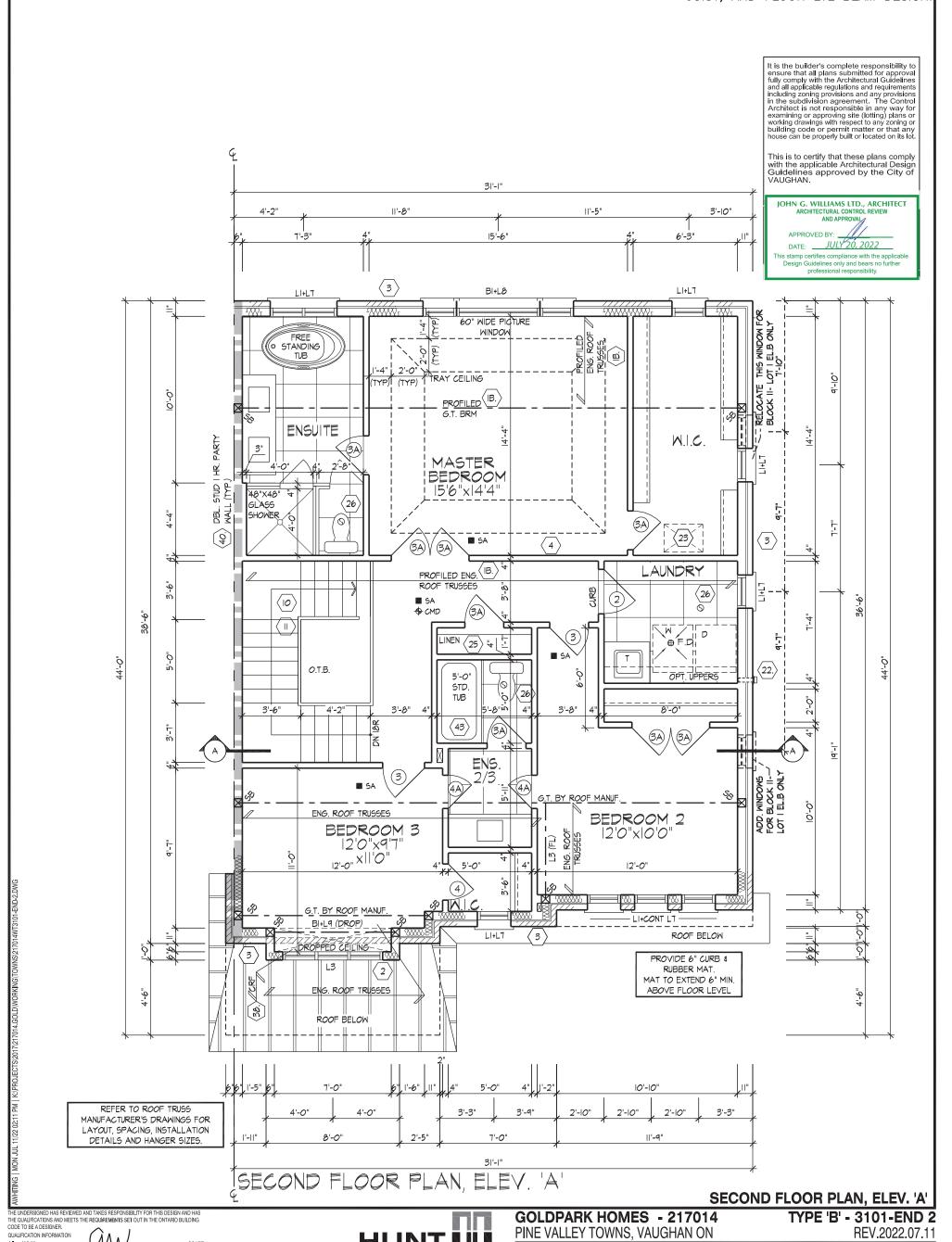




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4 of 17



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AW

3/16"=1'-0"

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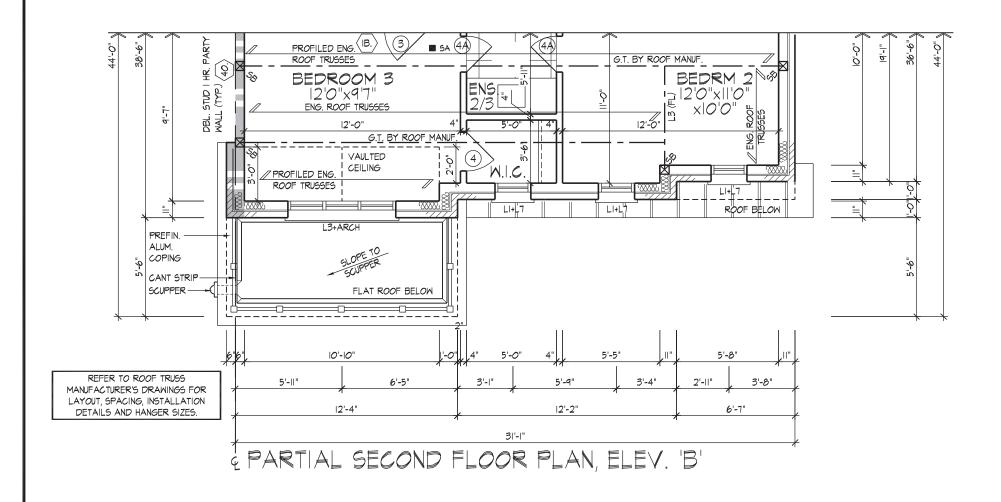
Allan Whiting

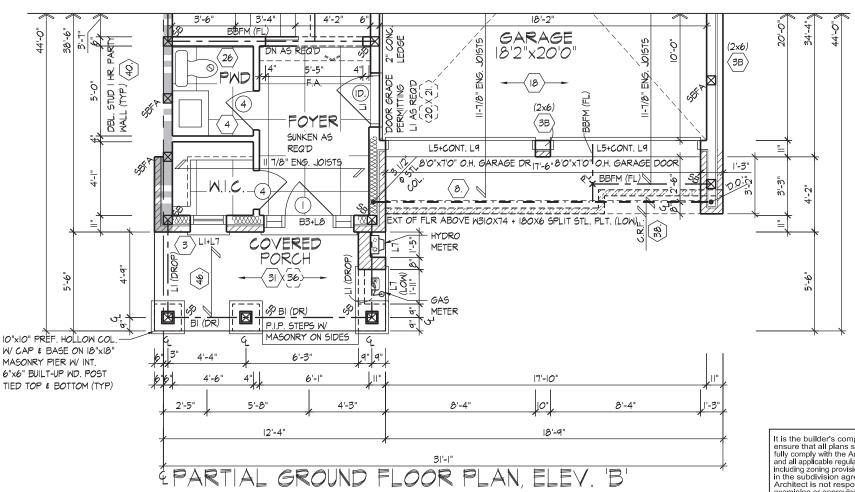
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SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

PROVIDE SOLID WOOD BLOCKING @ 24" O.C. FOR FIRST JOIST SPAN WHEN PARALLEL W/ EXTERIOR WALL

11/22 02:11 PM | K \PROJECTS\201

REFER TO FLOOR JOIST MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, BLOCKING \$ STRAPPING REQUIREMENTS, INSTALLATION DETAILS AND HANGER SIZES, & SUBFLOOR THICKNESS

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT AND APPROVA APPROVED BY JULY 20, 2022 DATE: This stamp certifies compliance with the applicable Design Guidelines only and bears no further

PARTIAL GROUND & SECOND FLOOR PLANS, ELEV. 'B'

**GOLDPARK HOMES - 217014** PINE VALLEY TOWNS, VAUGHAN ON

AW

3/16"=1'-0"

TYPE 'B' - 3101-END 2 REV.2022.07.11

Flle Numbe 217014WT3101-END2.dwg 5 of 17

THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ORTANIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION

A

A

A

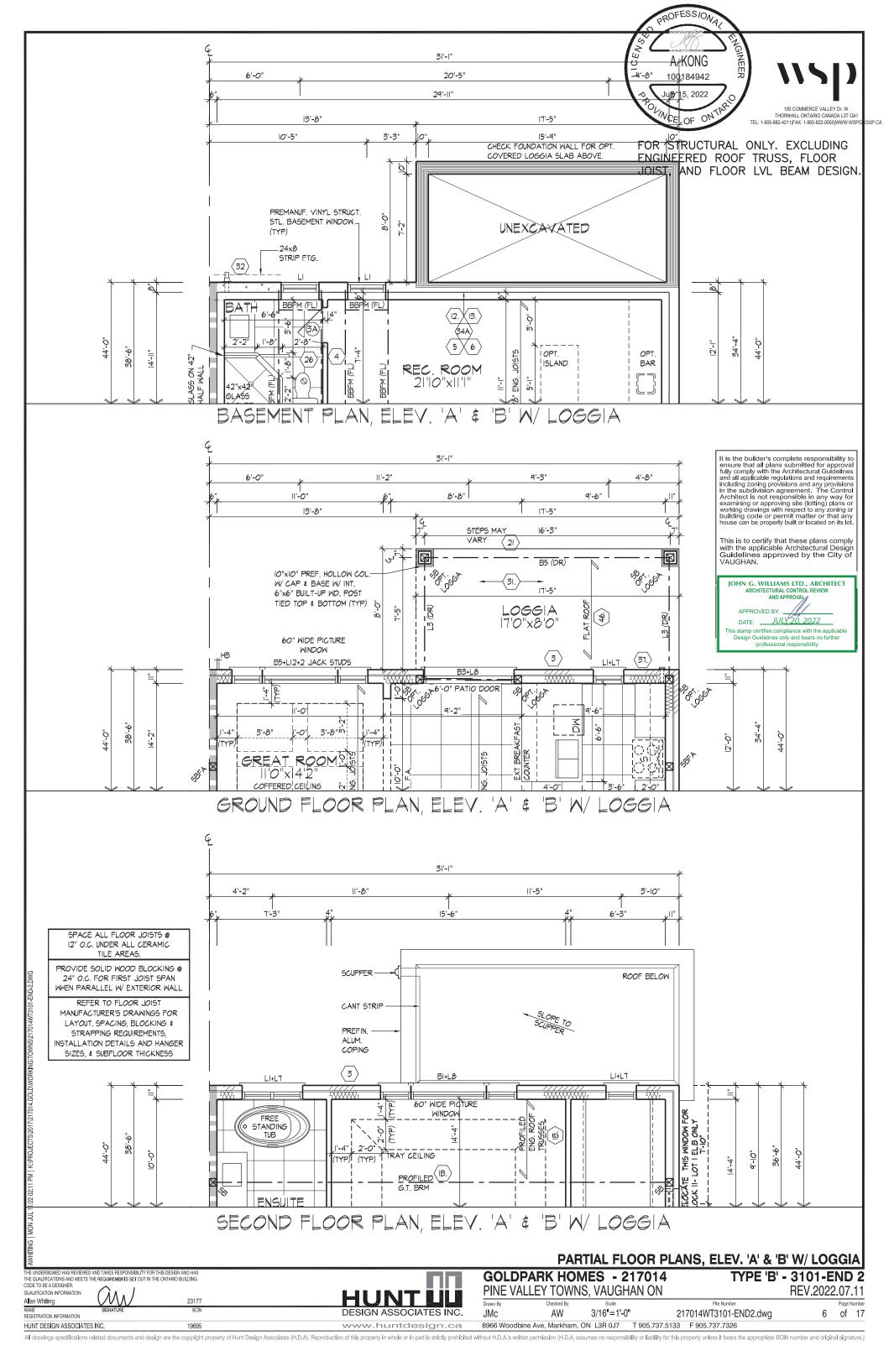
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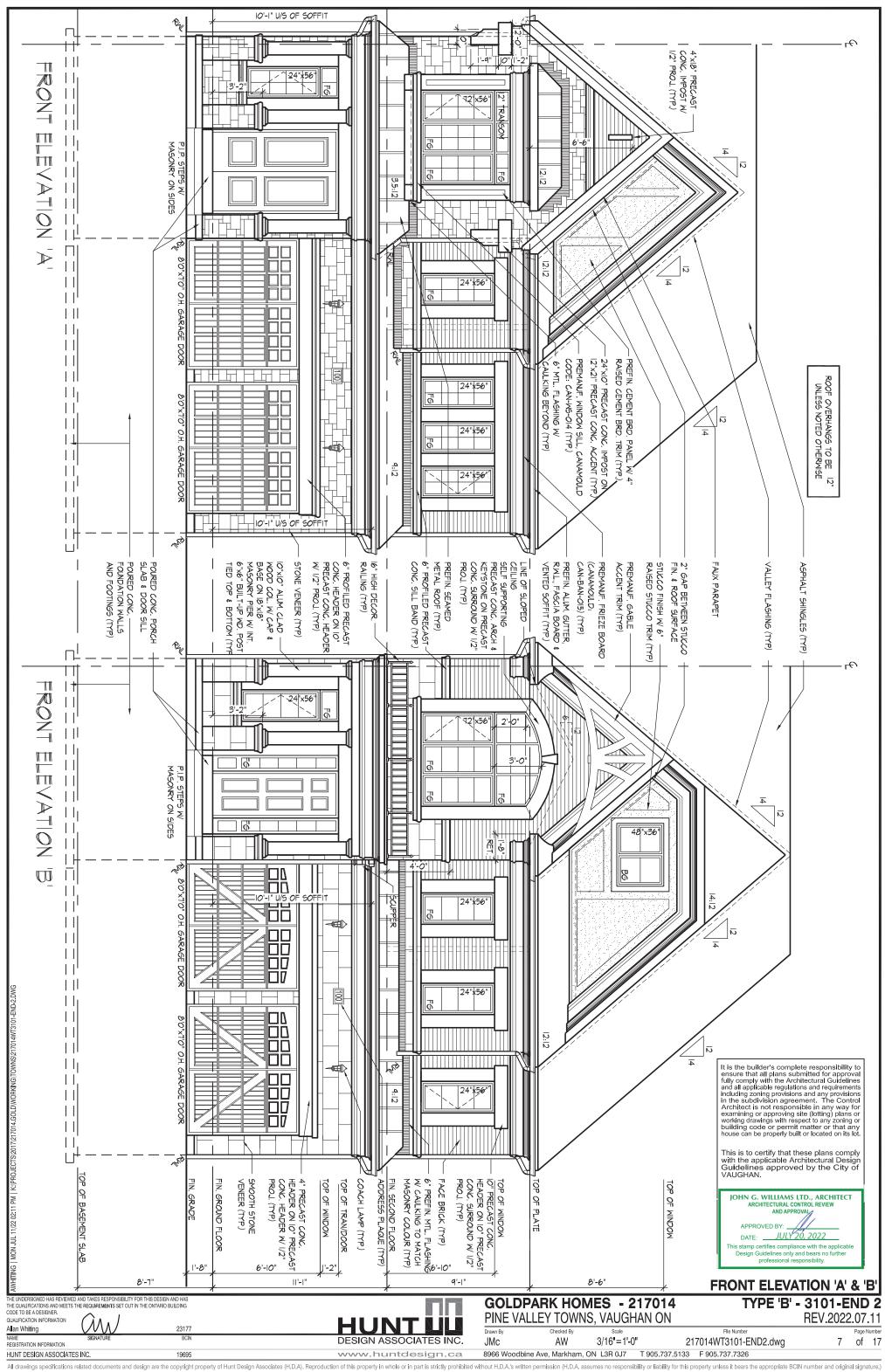
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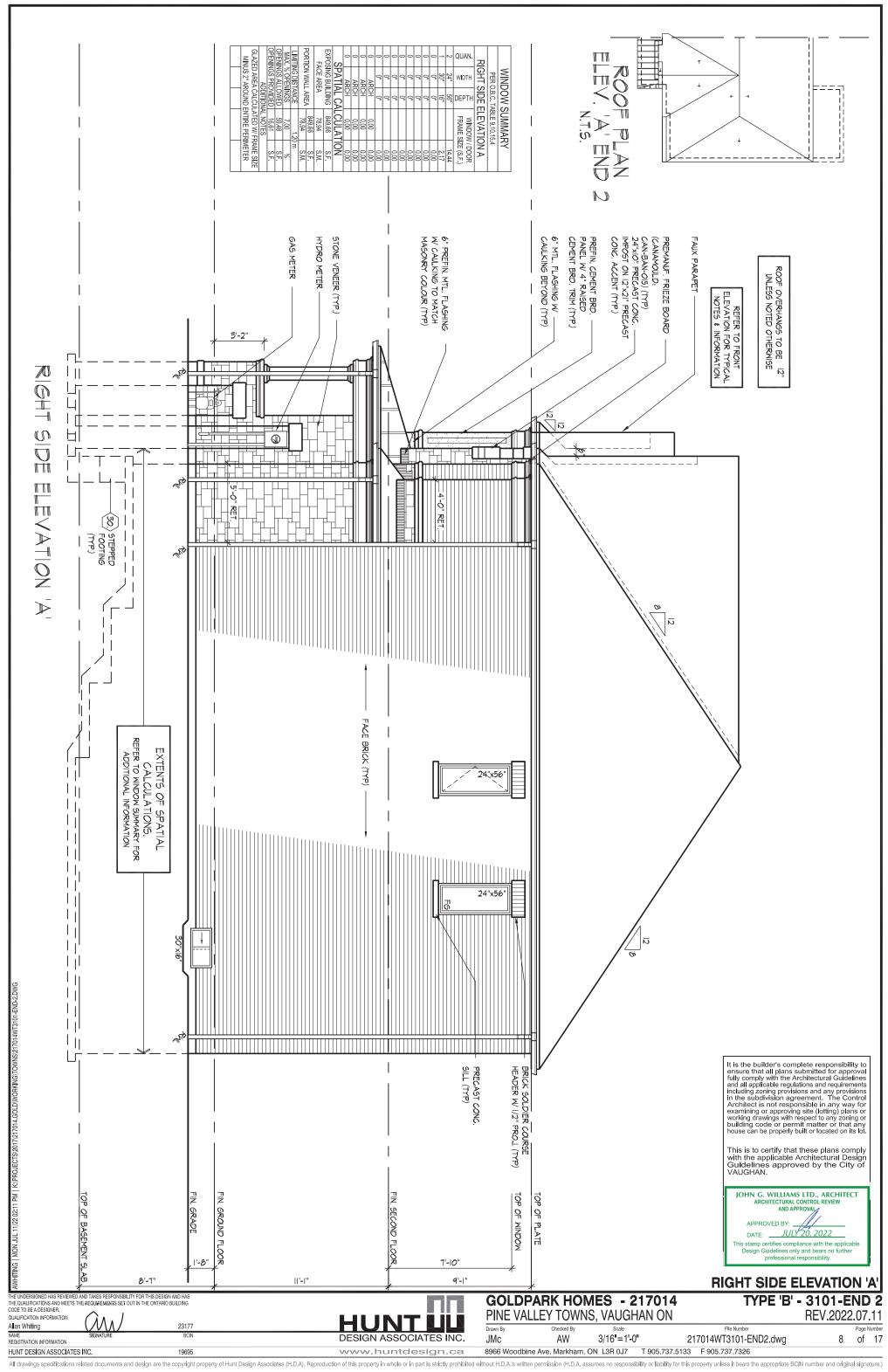
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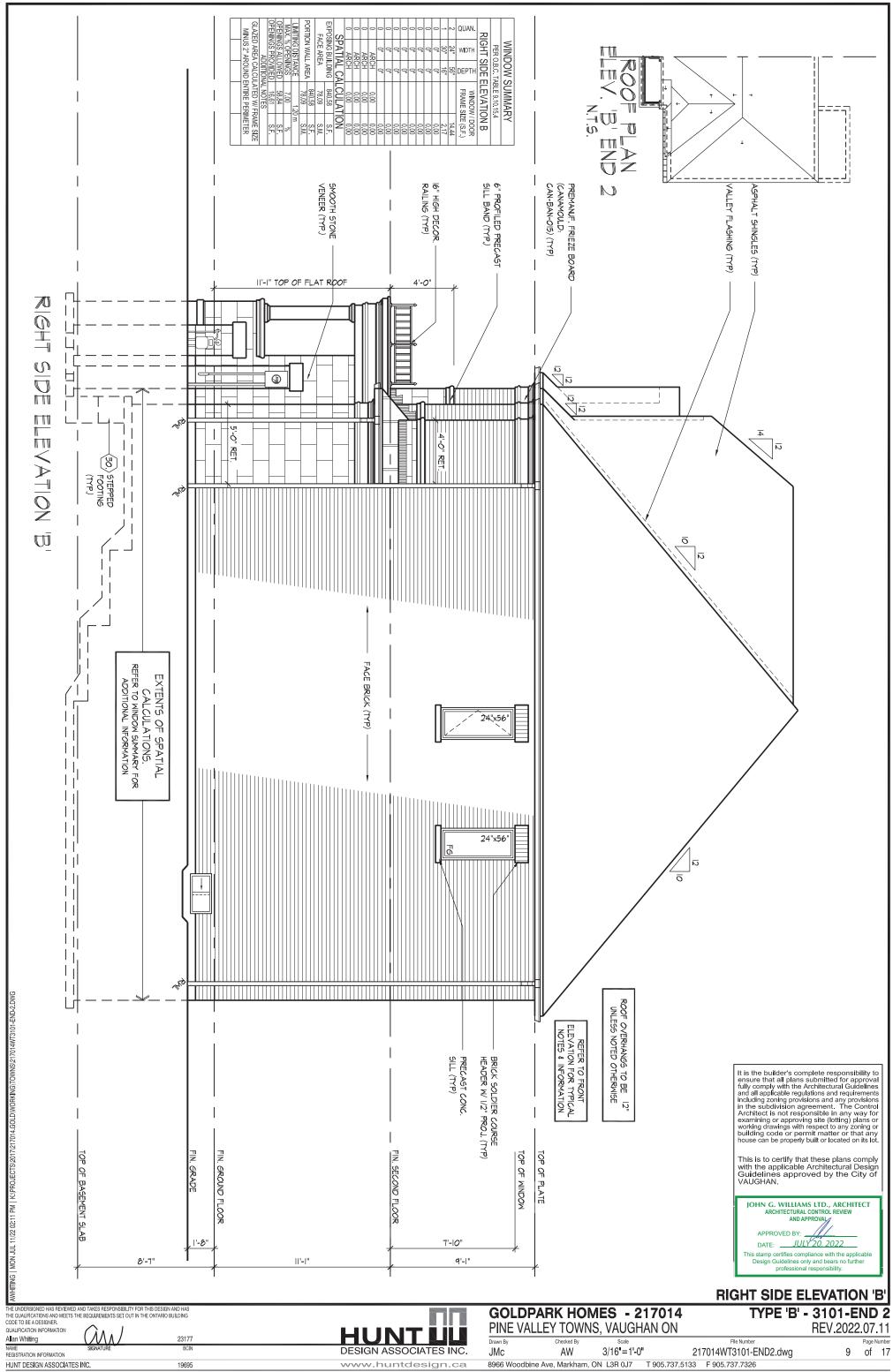
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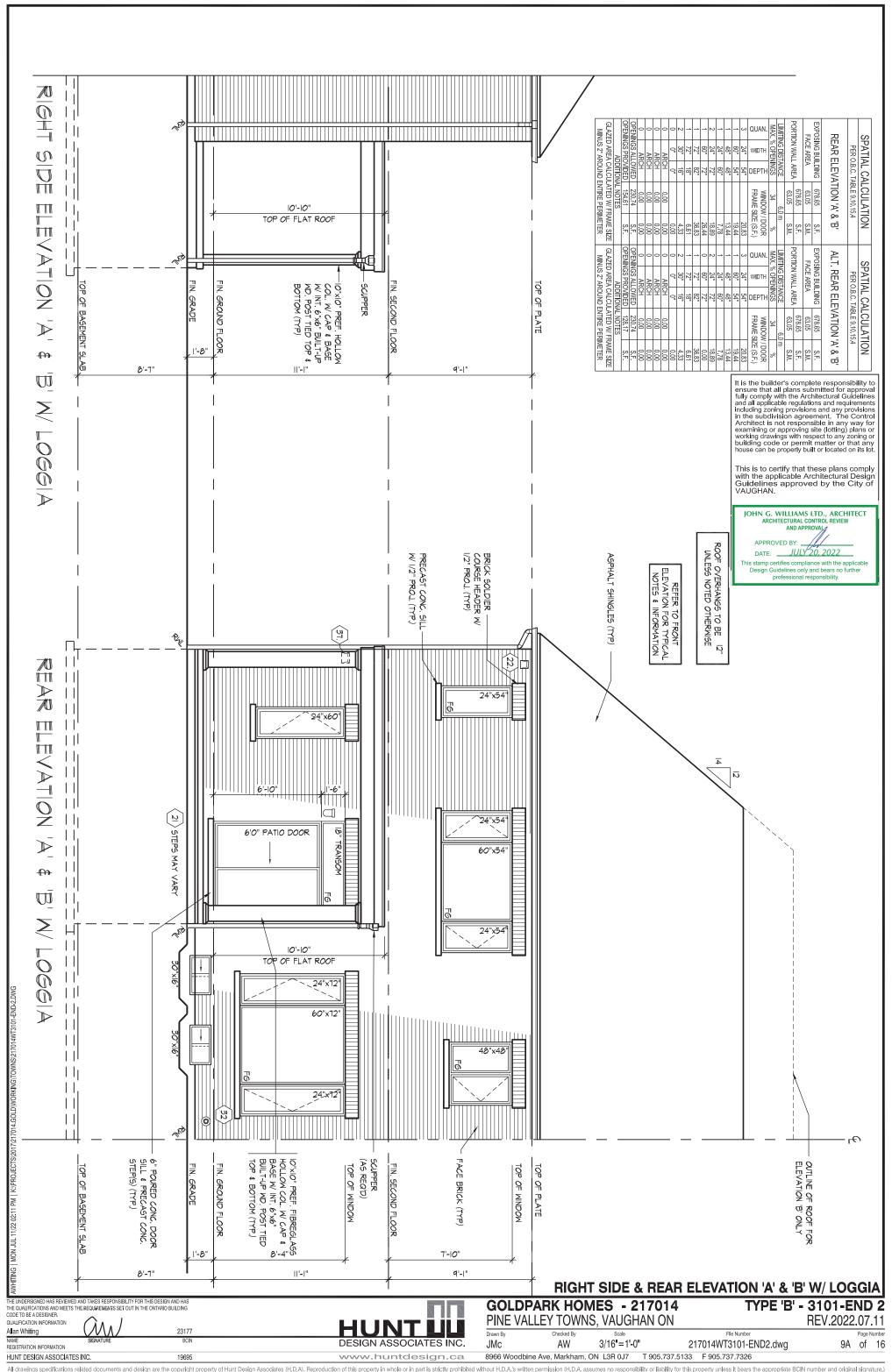
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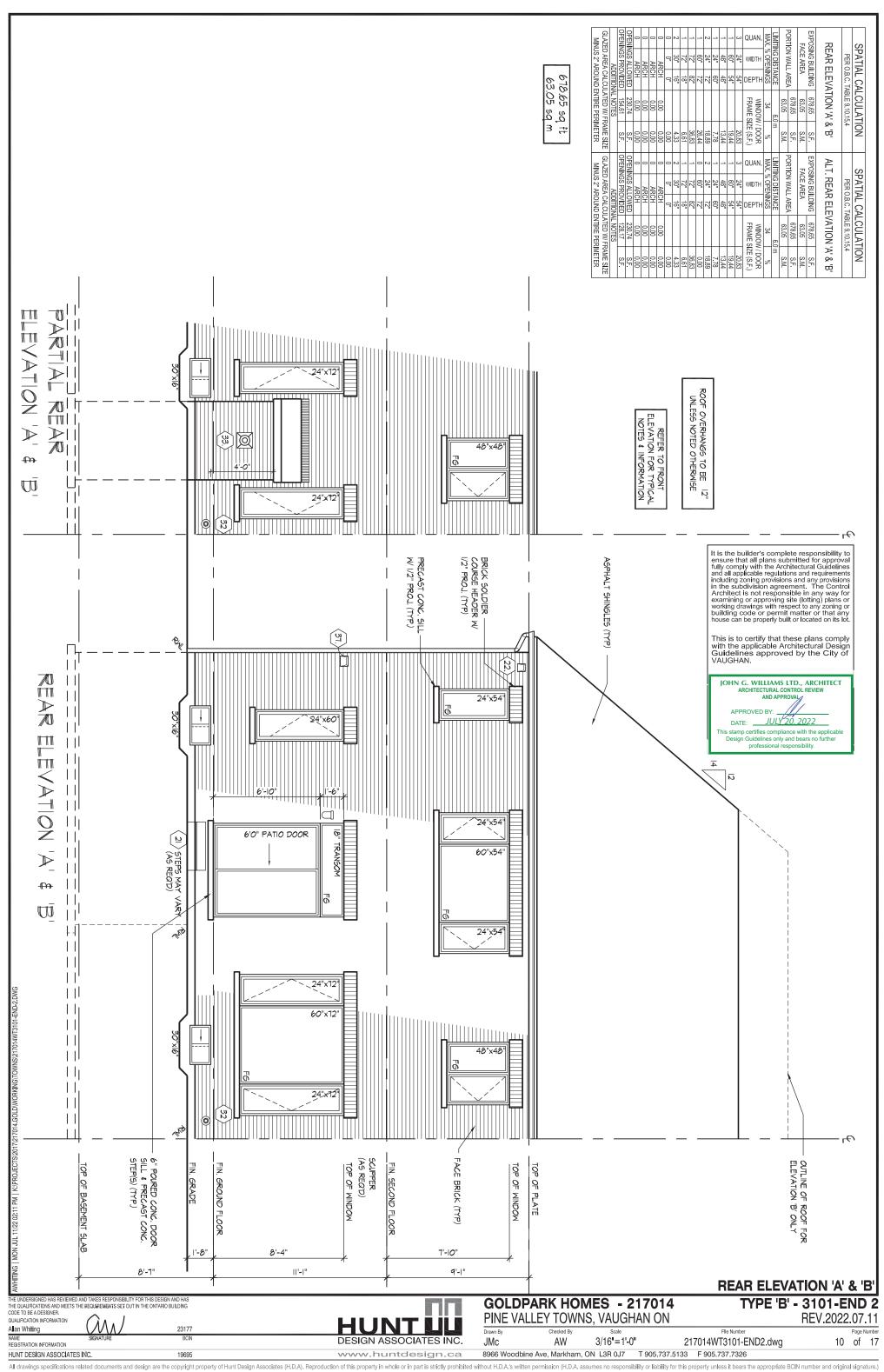


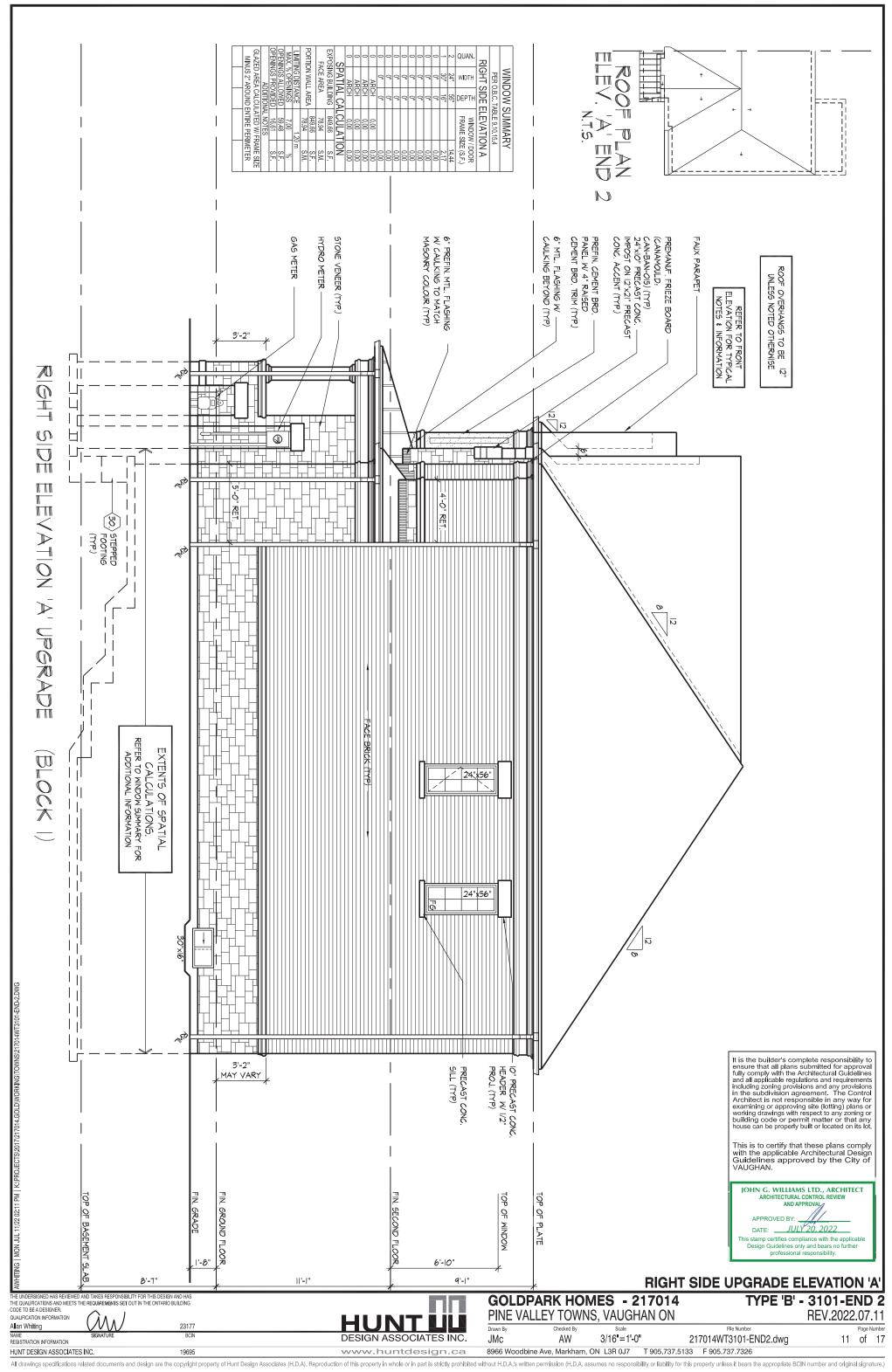


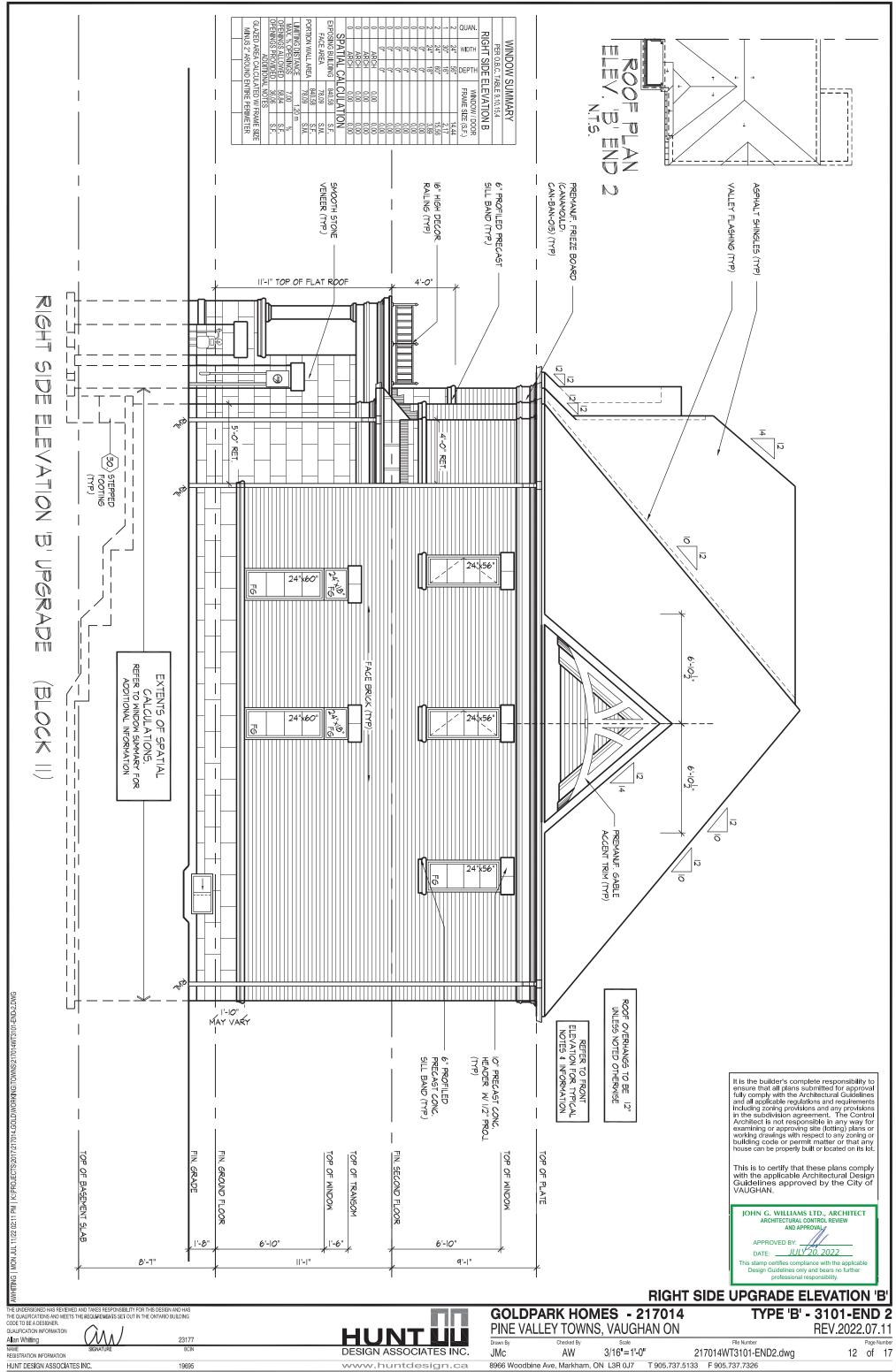


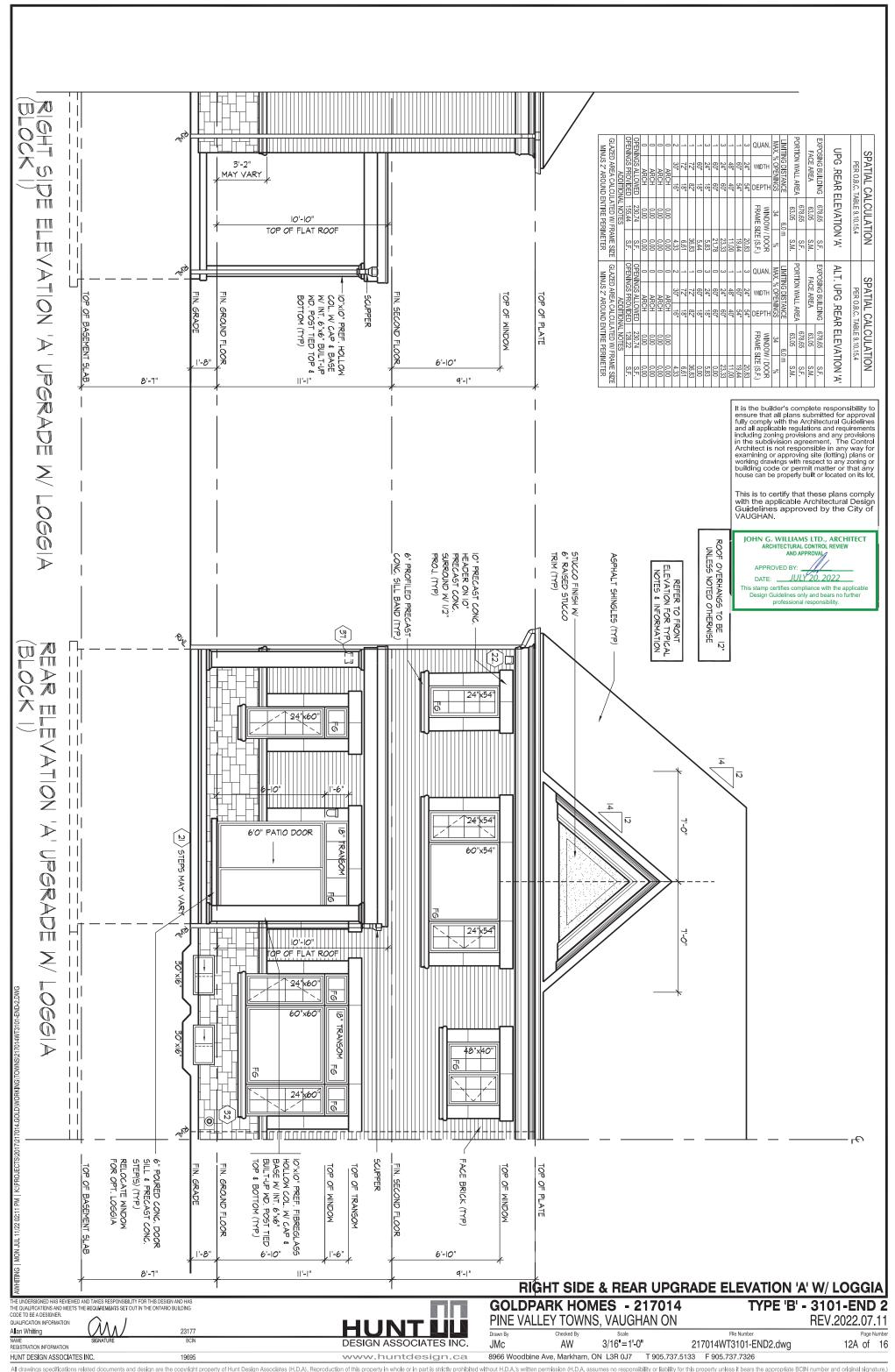


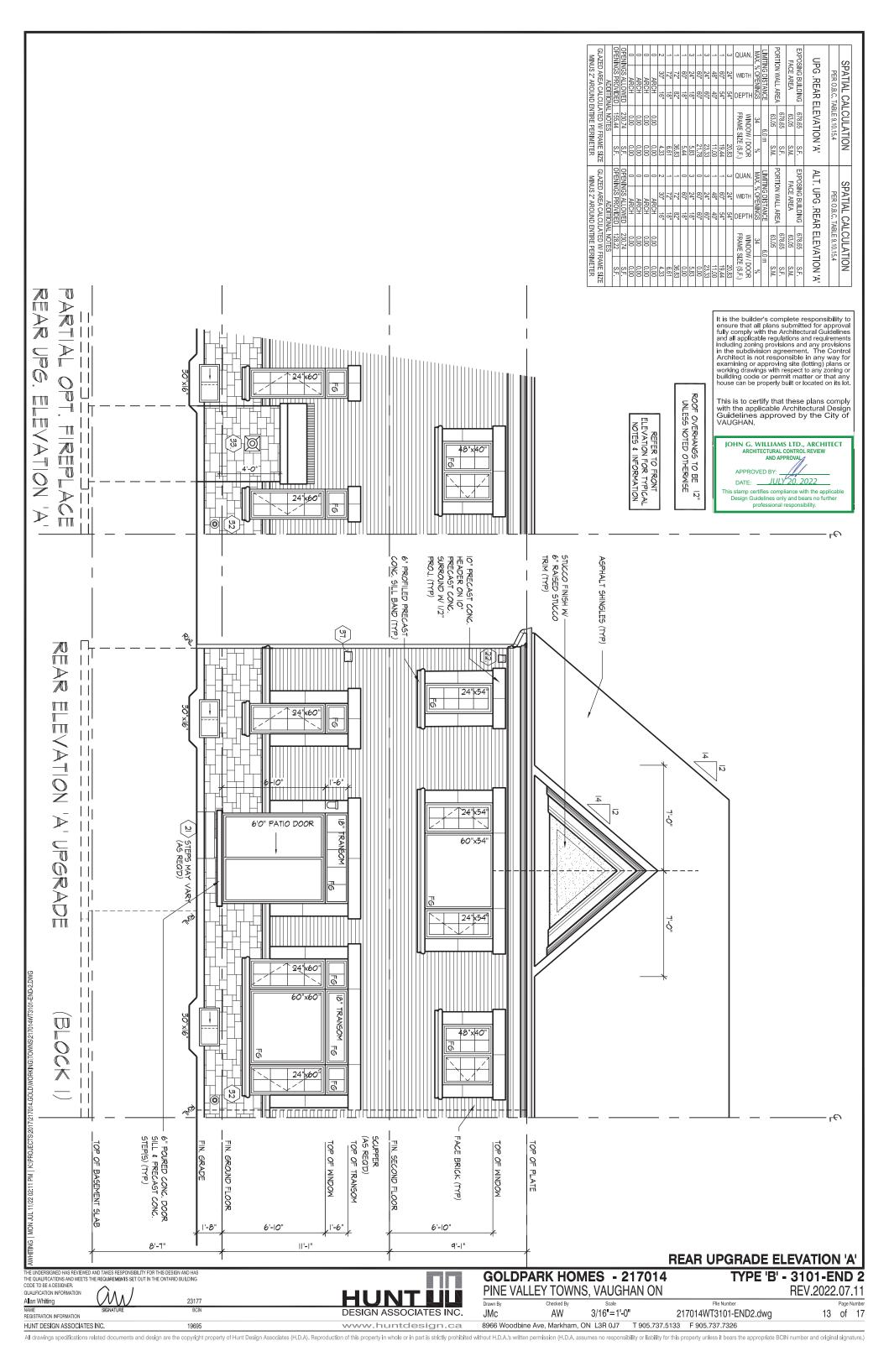


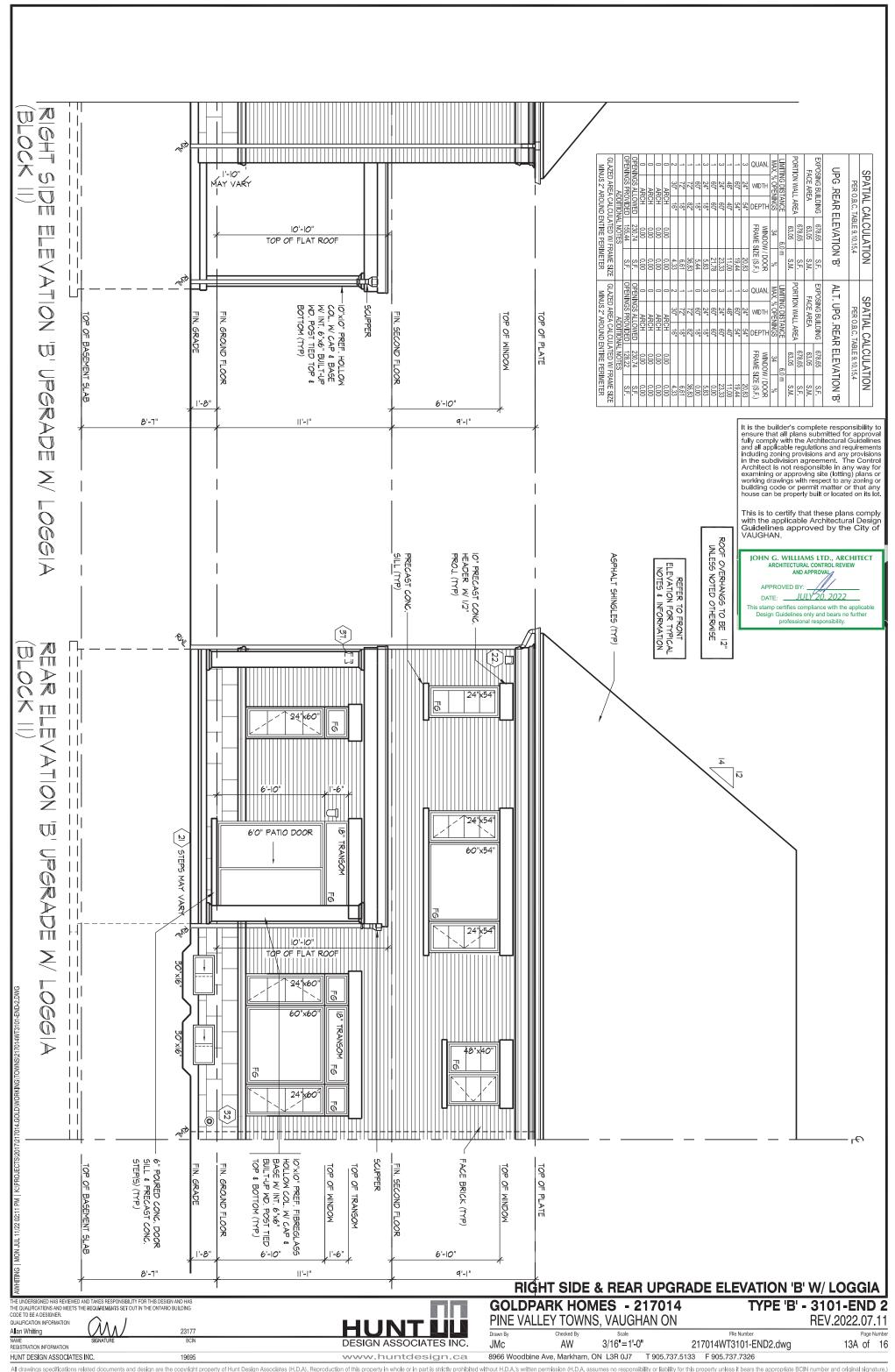


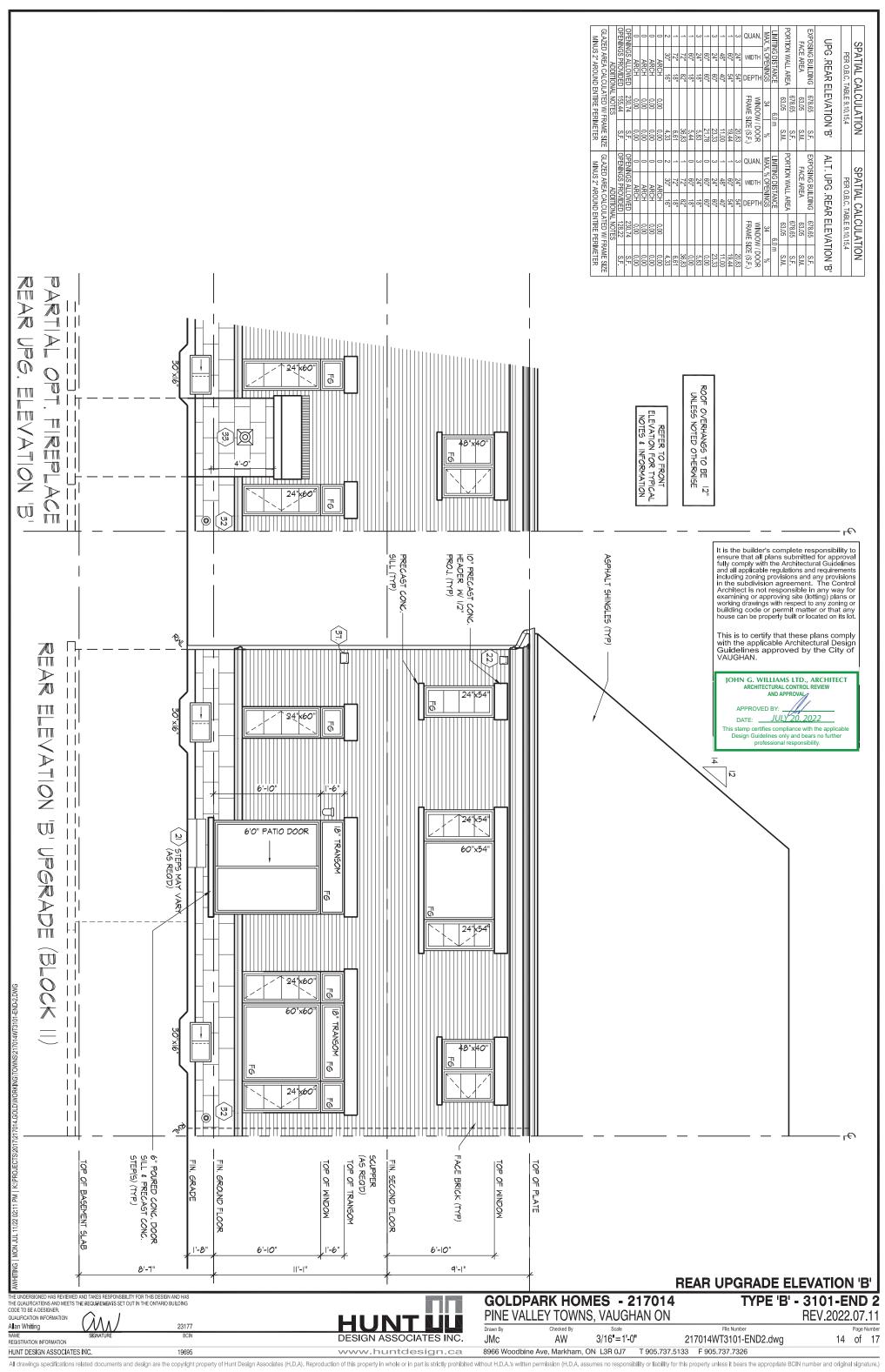


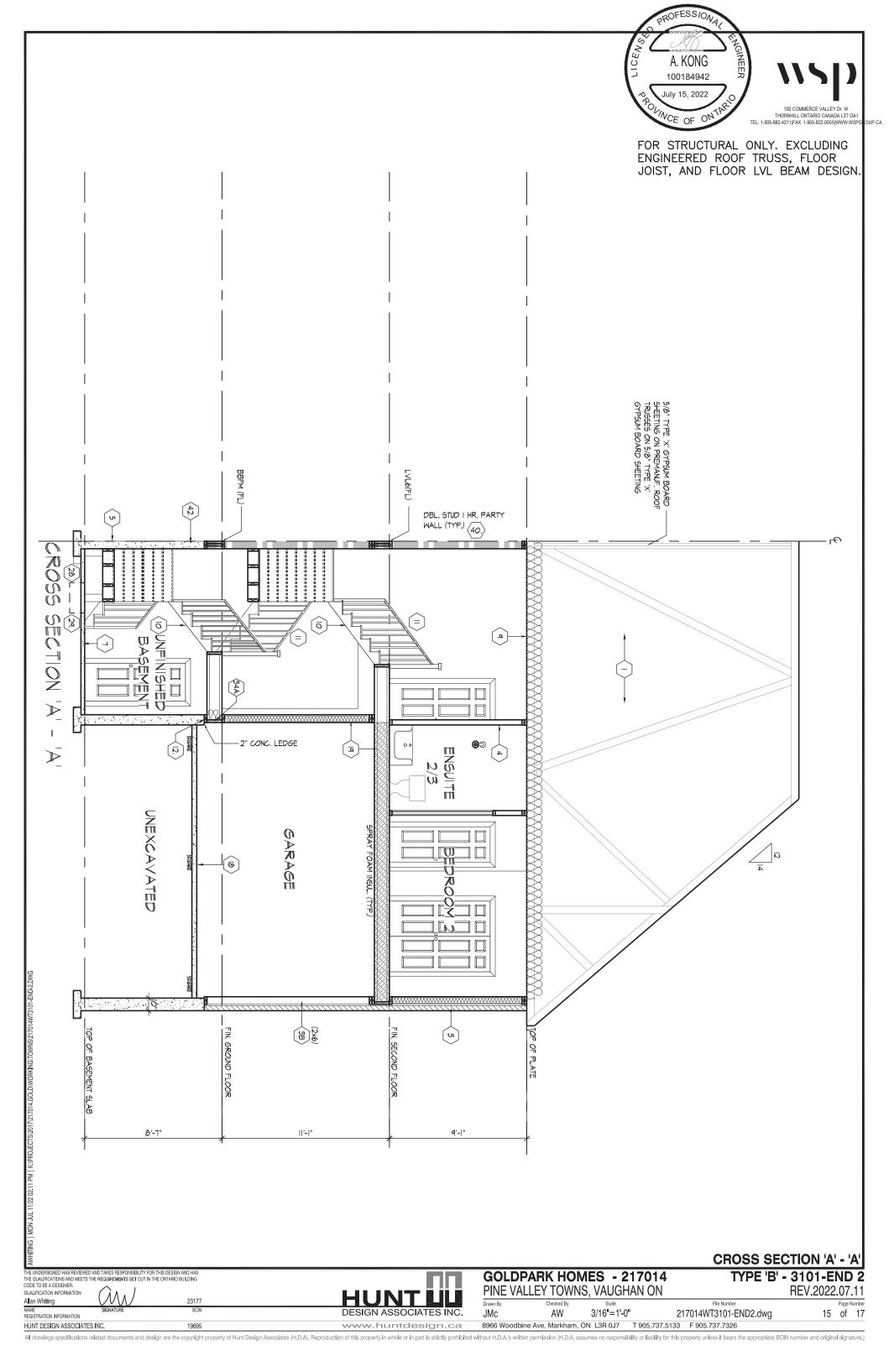












EAVESTROUGH AND DOWN RWL. ICE AND WATER SHIELD

PROVIDE ICE AND WATER SHIELD IN THE AREAS INDICATED. THE ICE AND WATER SHIELD SHALL BE A SELF ADHERING AND SELF SEALING MEMBRANE. SIDE LAPS MUST BE A MINIMUM 3 1/2" (90) AND END LAPS A MINIMUM 6" (152). AND TO EXTEND UP DORMER WALLS A MINIMUM 12" (305).

**PROFILED ROOF TRUSSES** 

ROOF TRUSSES SHALL BE PROFILED AND/OR STEPPED AT RAISED COFFER/TRAY CEILINGS. ANGLED TRAY CEILINGS WILL BE SHEATHED W/ 3/8" (9.5) PLYWOOD.

SIDING WALL CONSTRUCTION (2"x6")

SIDING MATERIAL AS PER ELEVATION ATTACHED TO FRAMING MEMBERS SIDING MAI EHIAL AS PER ELEVATION AT ITACHED TO PHAMINIG MEMBERS, STURRING MEMBERS OR BLOCKING BETWEEN THE FRAMING MEMBERS ON APPROVED SHEATHING PAPER ON 3/8" (9.5) EXT. GRADE SHEATHING ON STUDS CONFORMING TO O.B.C. (9.23.10.1.) & SECTION 1.1., INSULATION, APPROVED FOR MILE POLYETHYLENE AIR/WAPOUR BARRIER, ON 1/2" (12.7) GYPSUM WALLBOARD INT. FIN. (GYPSUM SHEATHING, RIGID INSULATION, AND FIBERBOARD SHALL NOT BE USED FOR THE ATTACHMENT OF SIDING (9.23.16.3.(1.)) (REFER TO 35 NOTE AS REQ.)

SIDING WALL CONSTRUCTION (2"x6") W/ CONTIN. INSULATION SIDING MATERIAL AS PER ELEVATION ATTACHED TO FURRING MEMBERS ON APPROVED AIR/WATER BARRIER AS PER O.B.C. 9.27.3. ON EXTERIOR TYPE RIGID INSULATION (JOINTS UNTAPED) MECHANICALLY FASTENED AS PER MANUFACTURER'S SPECIFICATIONS ON 3/8" (9.5) EXT. GRADE SHEATHING ON STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1., INSULATION, APPROVED 6 MIL POLYETHYLENE AIR/VAPOUR BARRIER, ON 1/2" (12.7) GYPSUM WALLBOARD INT. FIN. (GYPSUM SHEATHING, RIGID INSULATION, AND FIBERBOARD SHALL NOT BE 10 USED FOR THE ATTACHMENT OF SIDING (9.23.16.3.(1.)) (REFER TO 35 NOTE AS REQ.)

SIDING WALL @ GARAGE CONSTRUCTION

SIDING MATERIAL AS PER ELEVATION ATTACHED TO FRAMING MEMBERS, FURRING MEMBERS OR BLOCKING BETWEEN THE FRAMING MEMBERS ON APPROVED SHEATHING PAPER ON 3/9 (9.5) EXTERIOR TYPE SHEATHING ON STUDS CONFORMING TO O.B.C. (9.23.10.1,) & SECTION 1.1.1/2" (12.7) GYPSUM WALLBOARD INTERIOR FINISH. (GYPSUM SHEATHING, RIGID INSULATION AND FIBERBOARD SHALL NOT BE USED FOR THE ATTACHMENT OF SIDING (9.23.16.3, 14.1) (PEEER TO 28 NOTE AS PEO.) (9.23.16.3.(1.)) (REFER TO 35 NOTE AS REQ.)

BRICK VENEER WALL CONSTRUCTION (2"x6")

BRICK VENEER WALL CONSTRUCTION (2"X6")

3 1/2" (90) BRICK VENEER 1" (25) AIR SPACE, 7/8"x7"x0.03" (22x180x0.76) GALV. METAL TIES

0 16" (400) O.C. HORIZ. 24" (600) O.C. VERT. BONDING AND FASTENING FOR TIES TO

CONFORM WITH 9.20.9. ON APPROVED SHEATHING PAPER, 3/8" (9.5) EXTERIOR TYPE

SHEATHING, STUDS CONFORMING TO O.B.C. (9.23.10.1.) & SECTION 1.1., INSULATION

AND 6 mil POLYETHYLEN VAPOUR BARRIER WITH APPROVED CONTIN, AIR BARRIER, 1/2"

(12.7) GYPSUM WALLBOARD INTERIOR FINISH. PROVIDE WEEP HOLES @ 32" (800) O.C.

BOTTOM COURSE AND OVER OPENINGS. PROVIDE BASE FLASHING UP MIN. 6" (150) BEHIND BUILDING PAPER (9.20.13.6.) (REFER TO 35 NOTE AS REQUIRED)

BRICK VENEER WALL CONSTRUCTION (2"x6") W/ CONTIN. INSULATION ( 3A ) 3 1/2" (90) BRICK VENEER 1" (25) AIR SPACE, 7/8"x7"x0.03" (22x180x0.76) GALV. METAL TIES © 16" (400) O.C. HORIZ. 24" (600) O.C. VERT. BONDING AND FASTENING FOR TIES TO CONFORM WITH 9.20.9. ON APPROVED AIR.WATER BARRIER AS PER O.B.C. 9.27.3. ON EXTERIOR TYPE RIGID INSULATION (JOINTS UNTAPED) MECHANICALLY FASTENED AS PER MANUFACTURER'S SPECIFICATIONS, ON 3/8" (9.5) EXTERIOR TYPE SHEATHING, STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1., INSULATION AND 6 mil POLYETHYLENE VAPOUR BARRIER WITH APPROVED CONTIN. AIR BARRIER. 1/2" (12.7) GYPSUM WALLBOARD INTERIOR FINISH. PROVIDE WEEP HOLES @ 32" (80) O.C. BOTTOM COURSE AND OVER OPENINGS. PROVIDE BASE FLASHING UP MIN. 6" (150) OVER RIGID INSULATION (9.20.13.6.) (REFER TO 35 NOTE AS REQUIRED)

BRICK VENEER WALL @ GARAGE CONSTRUCTION

3 1/2" (90) BRICK VENEER, MIN. 1" (25) AIR SPACE, 7/8"x7"x0.03" (22x180x0.76) GALV. METAL TIES @ 16" (400) O.C. HORIZ. 24" (600) O.C. VERT. BONDING AND FASTENING FOR TIES TO CONFORM WITH 9.20.9. ON APPROVED SHEATHING PAPER, 3/8" (9.5) EXTERIOR TYPE SHEATHING ON STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1., 1/2" (12.7) GYPSUM WALLBOARD INTERIOR FINISH, PROVIDE WEEP HOLES @ 32" (800) O.C. AT BOTTOM COURSE AND OVER OPENINGS, PROVIDE BASE FLASHING UP 6" (150) MIN. BEHIND BUILDING PAPER (9.20.13.6.) (REFER TO 35 NOTE AS REQ.)

**INTERIOR STUD PARTITIONS** (9.23.9.8., 9.23.10)

BEARING PARTITIONS SHALL BE A MINIMUM 2"x4" (38x89) @ 16" (406) O.C. FOR 2 STOREY AND 12" (305) O.C. FOR 3 STOREY, NON-BEARING PARTITIONS 2"x4" (38x89) @ 24" (610) O.C. PROVIDE 2"x4" (38x89) BOTTOM PLATE AND 2-2"x4" (2-38x89) TOP PLATE. 1/2" (12.7) INT. DRYWALL BOTH SIDES OF STUDS, PROVIDE 2"x6" (38x140) STUDS WHERE NOTED. PROVIDE 2"x4" (38x89) @ 24" (610) O.C. LADDER FRAMING WHERE WALLS INTERSECT PERPENDICULAR TO ONE ANOTHER. PROVIDE 2"x4" (38x89) WOOD BLOCKING ON FLAT @ 3'-11" (1194) O.C. MAX. BETWEEN FLOOR JOISTS WHEN NON-LOADBEARING WALLS ARE PARALLEL TO FLOOR JOISTS.

EXT. LOFT WALL CONSTRUCTION (2"x6") - NO CLADDING

3/8" (9.5) EXTERIOR TYPE SHEATHING, STUDS CONFORMING TO 0.B.C (9.23.10.1.) & SECTION 1.1., INSULATION AND 6 mil POLYETHYLENE VAPOUR BARRIER WITH APPROVED CONT. AIR BARRIER. 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (9.23.)

EXT. LOFT WALL CONSTRUCTION (2"x6") NO CLADDING W/ CONTINUOUS INSULATION

APPROVED AIRWATER BARRIER AS PER O.B.C. 9.27.3. ON EXTERIOR TYPE RIGID INSULATION (JOINTS UNTAPED) MECHANICALLY FASTENED AS PER MANUFACTURER'S SPECIFICATIONS, ON 3/8" (9.5) EXTERIOR TYPE SHEATHING, STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1., INSULATION AND 6 mil POLYETHYLENE VAPOUR BARRIER WITH APPROVED CONT. AIR BARRIER. 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (9.23.)

**FOUNDATION WALL/FOOTINGS** 

POURED CONC. FOUNDATION WALL AS PER CHART BELOW ON CONTINUOUS KEYED CONCRETE FOOTING, FOUNDATION WALLS HALL EXTEND NOT LESS
THAN 6" (150) ABOVE FINISHED GRADE. THE OUTSIDE OF THE FOUNDATION
SHALL BE DAMPROOFED FROM THE TOP OF THE FOOTING TO FINISHED GRADE
AND BRUSH COAT FROM THE TOP TO 2" BELOW GRADE. PROVIDE A DRAINAGE
LAYER ON THE OUTSIDE OF THE FOUNDATION WALL. SEAL THE DRAINAGE LAYER
AT THE TOP. THE TOP OF THE CONC. FOOTING SHALL BE DAMPROOFED. CONCRETE FOOTINGS SUPPORTING JOIST SPANS GREATER THAN 16'-1" (4900)

CONCRETE FOOTINGS SUPPORTING JUIST SPANS GREATER I HAN 10-1 (4950)
SHALL BE SIZED IN ACCORDANCE WITH 9.15.3.4 (1), (2) OF THE O.B.C. (REFER TO CHART BELOW FOR RESPECTIVE SIZE). BRACE FOUNDATION WALL PRIOR TO BACKFILLING. ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OF 125KPA S.L.S. OR COMPACTED ENGINEERED FILL WITH MIN. BEARING CAPACITY OF 125KPA S.L.S. IF SOIL BEARING DOES NOT MEET MINIMUM CAPACITY, ENGINEERED FOOTINGS ARE REQUIRED, ACTUAL SOIL BEARING CAPACITY TO BE VERDELE MINIMUM LOOK.

VERIFIED WITH SOIL ENGINEERING REPORT.
REFER TO CONSTRUCTION DRAWINGS AND DETAILS FOR FOUNDATION WALL STRENGTH AND THICKNESS AND 9.15.4.

FOUNDATION WALLS SHALL NOT EXCEED 9'-10" (3.0m) IN UNSUPPORTED HEIGHT UNLESS OTHERWISE NOTED. [9.15.4.2.(1.)]

|          | UNREINFORCED SOLID CONCRETE FOUNDATION WALLS (9.15.4.2.) |                |                                     |                  |                |  |  |  |  |
|----------|--|----------------|-------------------------------------|------------------|----------------|--|--|--|--|
| 픑        | SS   | MAX            | MAX. HEIGHT FROM FIN. SLAB TO GRADE |                  |                |  |  |  |  |
| STRENGTH | THICKNESS  | UNSUPPORTED    | SI                                  | SUPPORTED AT TOP |                |  |  |  |  |
| S        | 불  | AT TOP         | ≤2.5m                               | >2.5m & ≤2.75m   | >2.75m & ≤3.0m |  |  |  |  |
| МРа      | <b>*</b> 8"  | 3'-11" (1.20m) | 7'-0" (2.15m)                       | 7'-0" (2.15m)    | 6'-10" (2.10m) |  |  |  |  |
|          | 10"  | 4'-7" (1.40m)  | 7'-6" (2.30m)                       | 8'-6" (2.60m)    | 8'-2" (2.50m)  |  |  |  |  |
| 15       | 12"  | 4'-11" (1.50m) | 7'-6" (2.30m)                       | 8'-6" (2.60m)    | 9'-3" (2.85m)  |  |  |  |  |
| МРа      | <b>*</b> 8"  | 3'-11" (1.20m) | 7'-6" (2.30m)                       | 7'-6" (2.30m)    | 7'-2" (2.20m)  |  |  |  |  |
|          | 10"  | 4'-7" (1.40m)  | 7'-6" (2.30m)                       | 8'-6" (2.60m)    | 9'-3" (2.85m)  |  |  |  |  |
| 20       | 12"  | 4'-11" (1.50m) | 7'-6" (2.30m)                       | 8'-6" (2.60m)    | 9'-3" (2.85m)  |  |  |  |  |

\* 9" MIN. THICK FOUNDATION WALL IS REQUIRED FOR MASONRY VENEER FINISHED EXTERIOR WALLS WITH CONTINUOUS INSULATION CONDITION, TO PROVIDE MIN. BEARING FOR SILL PLATES, BEAMS AND FLOOR JOIST AS PER 9.23.7.2., 9.23.8.1., & 9.23.9.1. OF THE O.B.C.

| MINIMUM STRIP FOOTING SIZES (9.15.3.) UNLESS NOTED OTHERWISE ON PLANS |  |                        |                         |  |  |  |  |
|---|--|------------------------|-------------------------|--|--|--|--|
| NUMBER FLOORS<br>SUPPORTED  | SUPPORTING INT.<br>LOAD BEARING<br>MASONRY WALLS | SUPPORTING<br>EXTERIOR | SUPPORTING<br>PARTYWALL |  |  |  |  |
| 1   | 16" WIDE x 6" THICK                              | 16' WIDE x 6" THICK    | 16" WIDE x 6" THICK     |  |  |  |  |
| 2   | 24" WIDE x 8" THICK                              | 20' WIDE x 6" THICK    | 24" WIDE x 8" THICK     |  |  |  |  |
| 3   | 36" WIDE x 14" THICK                             | 26' WIDE x 9" THICK    | 36" WIDE x 14" THICK    |  |  |  |  |

REFER TO SB-12 ENERGY EFFICIENCY DESIGN MATRIX ON THE TITLE PAGE FOR ALL VALUES AS REQUIRED PER 3.1.1., 3.1.2., 3.1.3. OF THE OBC.

FOUNDATION REDUCTION IN THICKNESS FOR MASONRY WHERE THE TOP OF THE FOUNDATION WALL IS REDUCED IN THICKNESS TO WHERE THE 107 OF THE POUNDATION WALL IS REDUCED IN TIGICATESS TO PERMIT THE INSTALLATION OF MASONRY EXTERIOR FACING, THE REDUCED SECTION SHALL BE NOT LESS THAN 3 1/2" (90) THICK. THE BRICK VENEER SHALL BE TIED TO THE FOUNDATION WALL WITH CORROSION RESISTANT METAL TIES (9 7 7/8" (200) VERTICAL AND 2-11" (889) HORIZONTAL FILL VOID WITH MORTAR BETWEEN WALL AND BRICK VENEER (9.15.4.7(2)(3) & 9.20.9.4(3))

FOUNDATION REDUCTION IN THICKNESS FOR JOISTS WHERE THE TOP OF THE FOUNDATION WALL IS REDUCED IN THICKNESS TO PERMIT THE INSTALLATION OF FLOOR JOISTS, THE REDUCED SECTION SHALL BE NOT MORE THAN 13 3/4" (350) HIGH & NOT LESS THAN 3 1/2" (90) THICK (9.15.4.7(1))

WEEPING TILE (9.14.3.) 4" (100) Ø WEEPING TILE W/ FILTER CLOTH WRAP & 6" (152) CRUSHED STONE COVER BASEMENT SLAB OR SLAB ON GRADE (9.16.4.) (9.13.)

3" (80) MIN, 25MPa (3600psi) CONC, SLAB ON 4" (100) COARSE GRANULAR FILL OR 20MPa (2900psi) CONC. WITH DAMPPROOFING BELOW SLAB. PROVIDE 1/2" (12.7) IMPERVIOUS BOARD FOR BOND BREAK AT EDGE. WHERE A BASEMENT SLAB IS WITHIN 24" (610) OF THE EXTERIOR GRADE PROVIDE RIGID INSUL. AROUND THE PERIMETER EXTENDING MIN. 24" (610) BELOW GRADE. FO ON GRADE CONDITIONS RIGID INSULATION SHALL BE APPLIED TO THE UNDERSIDE OF THE ENTIRE SLAB. ([SB-12] 3.1.1.7.(5) & (6))

**EXPOSED FLOOR TO EXTERIOR** (9.10.17.10, & CAN/ULC-S705.2) PROVIDE SPRAY FOAM INSULATION BETWEEN CANT. JOIST AND INSTALL OSB CONFIRMING TO 9.29.9. FIN. SOFFIT OR CLADDING AS PER ELEVATION TO U/S OF EXPOSED CANT. JOIST.

EXPOSED CEILING TO EXTERIOR w/ ATTIC (9.25.2.4) INSULATION, 6 mil POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM BOARD INTERIOR FINISH OR APPROVED EQ.

EXPOSED CEILING TO EXTERIOR w/o ATTIC

JOISTS/TRUSSES AS PER PLANS W/ 2"x2" (38x38) PURLINS @ 16" (406) O.C. PERPENDICULAR TO JOISTS (PURLINS NOT REQ. W/ SPRAY FOAM OR ROOF TRUSSES), W/ INSULATION BETWEEN JOIST, 6 mil POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM BOARD INT. FINISH OR APPROVED EQ. (CAN/ULC-S705.2, 9.19.1, 9.10.17.10)

**ALL STAIRS/EXTERIOR STAIRS** (9.8.1.2., 9.8.2., 9.8.4.)

| MAX, RISE    | MIN.   |   |  | ALL STAIRS   |  |
|--------------|--|---|--|--|--|
| 7 7/8" (200) | 5 (1:  | 25) 14 (355)  | 10° (255)  | MAX NOSING   | 1* (25)  |
| 7" (180)     | 5" (1:   | 25) NO LIMIT  | 11" (280)  | 111111111111111111111111111111111111111  | . ()   |
| MIN. STAIR   | WIDTH  | TAPERED 1   | TREADS   |  |  |
| 01.101/000)  |  | MIN. RUN  | 5 7/8" (150)   |  |  |
| 2-10 (0      | 00)  | MIN. AVG. RUN   | 10" (255)  |  |  |
| 2'-11" (900) |  | MIN, RUN  |  |  |  |
|              |  | MIN, AVG, RUN   | 11" (280)  |  |  |
|              | 7 7/8" (200)<br>7" (180)<br>MIN. STAIR<br>2-10" (8 | 7 7/8" (200) 5 (1:<br>7" (180) 5 (1:<br>MIN. STAIR WIDTH<br>2-10" (860) | 7.7/8" (200) 5 (125) 14 (855) 7 (180) 5 (125) NO LIMIT  MIN. STAIR WIDTH TAPERED 2-10" (860) MIN. RUN 40" AVG. RUN 40" AWG. RUN | 7 7/8" (200) 5 (125) 14" (355) 10" (255) 7 (180) 5 (125) NO LIMIT 11" (280) MIN. STAIR WIDTH TAPERED TREADS 2-10" (860) MIN. RUN 5 7/8" (155) MIN. RUN 5 7/8" (155) 2-19" (900) MIN. RUN 5 7/8" (150) 5 7/8" (150) | 7.76" (200) 5 (125) 14 (355) 10 (255) MAX, NOSING 7 (180) 5 (125) NO LIMIT 11 (280) MNN, STAR NUTH 2-10" (800) MIN, RUN 5 7.8" (150) 2-11" (900) MIN, RUN 5 7.76" (150) 2-11" (900) MIN, RUN 5 7.76" (150) |

GE RUN OF TAPERED TREAD MEASURED AT A POINT 300mm FROM THE CENTERLINE OF INSIDE HANDRAIL. (9.8.4.3.)

\*\* HEIGHT OVER STAIRS (HEADROOM) IS MEASURED VERTICALLY ACROSS WIDTH OF STAIRS FROM A STRAIGHT LINE TO THE TREAD & LANDING NOSING TO LOWEST POINT ABOVE AND NOT LESS THAN 6'-8" (1950) FOR SINGLE DWELLING UNIT & 6'-8 3/4" (2050) FOR EVERYTHING ELSE. (9.8.2.2.)

REQUIRED LANDING IN GARAGE - O.B.C. 9.8.6.2.(3.) FOR AN EXTERIOR STAIR SERVING A GARAGE WIMORE THAN 3 RISERS. GUARDS, HANDRAILS & STEPS AS PER CONSTRUCTION HEX NOTE 10 & 11.

**GUARDS/RAILINGS** (9.8.7., 9.8.8.)

GUARDS TO BE DESIGNED NOT TO FACILITATE CLIMBING AND PROVIDING MAX. OPENING CONFORMING TO O.B.C. 9.8.8.5. & 9.8.8.6. AND BE ABLE TO RESIST LOADS AS PER TABLE 9.8.8.2.

GUARD HEIGHTS - O.B.C. 9.8.8.

GUARDS FOR FLOORS & RAMPS IN GARAGES (SERVICE STAIRS)
FLOOR OR RAMP W/O EXTERIOR WALLS THAT IS 23 5/8" (600) OR MORE ABOVE
ADJACENT SURFACE REQUIRES CONT. CURB MIN. 6" (150) HIGH, AND GUARD

MIN. 3'-6" (1070) HIGH. REQUIRED GUARDS BETWEEN WALKING SURFACE & ADJACENT SURFACE WITH A DIFFERENCE IN ELEVATION MORE THAN 23 5/8" (600) OR ADJACENT SURFACE WITHIN 3'-11" (1200) & WALKING SURFACE W/ A SLOPE MORE THAN 1 IN 12 SHALL BE PROTECTED WITH GUARDS PER CONSTRUCTION HEX NOTE 11.

WHIT GOALDS ELT CONSTITUCTION THE NOTE THE NAME AS PER 9.8.7.1.(3)

MIN. HEIGHT AT STAIRS OR RAMP: 2'-10" (865)

MAX. HEIGHT AT STAIRS OR RAMP: 3'-2" (965)

MAX. HEIGHT AT LANDING: 3'-6" (1070)

STAIRS OR RAMP MIN. 7'-3" (2200) WIDE: 2'-9" (865) MIN. HEIGHT

SILL PLATES

2"X4" (38x89) SILL PLATE WITH 1/2" (12.7)Ø ANCHOR BOLTS 8" (200) LONG, EMBEDDED MIN. 4" (100) INTO CONC. @ 4-0" (1220) O.C., CAULKING OR GASKET BETWEEN PLATE AND TOP OF FOUNDATION WALL. USE NON-SHRINK GROUT TO LEVEL SILL PLATE WHEN REQUIRED (9.23.7.)

BASEMENT INSULATION ([SB-12] 3.1.1.7.)

PROVIDE CONTINUOUS BLANKET INSULATION W/ BUILT IN 6 mil POLYETHYLENE VAPOUR BARRIER. INSULATION TO EXTEND NO MORE THAN 8" (200) ABOVE FINISHED BASEMENT FLOOR. DAMPROOFED WITH BUILDING PAPER BETWEEN THE FOUNDATION WALL AND INSULATION UP TO GRADE LEVEL

BEARING STUD PARTITION IN BASEMENT (9.15.3.6., 9.23.10.1.) 2"x4" (38x89) STUDS @ 16" (406) O.C., 2"x4" (38x89) SILL PLATE (2"x6" (38x140) AS REQUIRED) ON DAMPPROOFING MATERIAL OR 2 mil POLYETHYLENE FILM, 1/2" (12.7) Ø ANCHOR BOLTS 8" (200) LONG, EMBEDDED 4" (100) MIN. INTO CONC. @ 7-10" (2390) O.C. 4" (100) HIGH CONC. CURB ON CONC. FOOTING. FOR SIZE REFER TO HÈX NÓTE 5. ADD HÓRIZ. BLOCKING AT MID-HEIGHT IF WALL IS UNFINISHED.

**ADJUSTABLE STEEL BASEMENT COLUMN (9.15.3.4.)** 9-10" (3000) MAX. SPAN BETWEEN COLUMNS. 3 1/2" (90)Ø SINGLE TUBE ADJUSTABLE STEEL COLUMN CONFORMING TO CAN/CGSB-7.2M, AND WITH 6%6%3/8" (152x152x9.5) STEEL PLATE TOP & BOTTOM, FIELD WELD BASEMENT COLUMN CONNECTION. POURED CONCRETE FOOTING ON NATURAL UNDISTURBED SOIL OF 125kPa S.L.S. OR COMPACTED ENGINEERED FILL WITH MIN. BEARING CAPACITY OF 125KPA S.L.S. AS PER SOILS REPORT

SUPPORTING 2 STOREY FLR. LOAD PROVIDE 34"x34"x16" (870x870x410) CONC. FOOTING SUPPORTING 3 STOREY FLR. LOAD PROVIDE 40"x40"x19" (1060x1060x480) CONC. FOOTING

NON-ADJUSTABLE STEEL BASEMENT COLUMN

3 1/2" (90) Ø x 0.188" (4.78) NON-ADJUSTABLE STEEL COLUMN WITH 6"x6"x3/8" (152x152x9.5) STEEL PLATE TOP & BOTTOM. BOTTOM PLATE C/W 2 1/2" Ø X 12" LONGX2" HOOK ANCHORS, FIELD WELD BASEMENT COLUMN CONNECTION, POURED CONCRETE FOOTING ON NATURAL UNDISTURBED SOIL OF 125KPA S.L.S. OR COMPACTED ENGINEERED FILL WITH MIN. BEARING CAPACITY OF 125KPA S.L.S. AS PER SOILS REPORT. SUPPORTING 2 STOREY FLR. LOAD PROVIDE 42"x42"x18" (1070x1070x460) CONC. FOOTING SUPPORTING 3 STOREY FLR. LOAD PROVIDE 48"x48"x24" (1220x1220x610) CONC. FOOTING

NON-ADJUSTABLE STL. COLUMN AT FOUNDATION WALL

3 1/2" (90)Ø x 0.188" (4.78) NON-ADJUSTABLE STEEL COLUMN WITH 6"x6"x3/8" (152x152x9.5) STEEL TOP PLATE & 6"x4"x3/8" (152x100x9.5) BOTTOM PLATE. BASE PLATE 4-1/2"x10"x1/2" (120x250x12.7) WITH 2- 1/2"Ø x 12" LONG x 2" HOOK ANCHORS (2-12.7Øx305x50). FIELD WELD COLUMN TO BASE PLATE & STEEL BM.

STEEL BEAM BEARING AT FOUNDATION WALL (9.23.8.1.) BEAM POCKET OR 8"x8" (200x200) POURED CONC. NIB WALLS, MIN. BEARING 3 1/2" (90). CONC. NIB WALLS TO HAVE EXTENDED FOOTINGS

WOOD STRAPPING AT STEEL BEAMS (9.23.4.3.(3.), 9.23.9.3.) 1"x3" (19x64) CONTIN. WOOD STRAPPING BOTH SIDES OF STEEL BEAM.

**GARAGE SLAB** (9.16., 9.35.)  $\langle$  18angle

4" (100) 32MPa (4640psi) CONC. SLAB WITH 5-8% AIR ENTRAINMENT ON OPT.
4" (100) COARSE GRANULAR FILL WITH COMPACTED SUB-BASE OR
COMPACTED NATIVE FILL. SLOPE TO FRONT @ 1% MIN.

**GARAGE TO HOUSE WALLS/CEILING** (9.10.9.16.) 1/2" (12.7) GYPSUM BOARD ON WALL AND CEILING BETWEEN HOUSE AND GARAGE. PLUS REQUIRED INSULATION IN WALLS AND SPRAY FOAM FOR CEILINGS. TAPE AND SEAL ALL JOINTS GAS TIGHT. (9.10.17.10, CAN/ULC-S705.2)

GARAGE TO HOUSE WALLS/CEILING W/ CONTIN. INSULATION 1/2" (12.7) GYPSUM BOARD ON CEILING AND ON WALLS INSTALLED OVER EXTERIOR TYPE RIGID INSULATION (JOINTS UNTAPED) MECHANICALLY FASTENED AS PER MANUFACTURER'S SPECIFICATIONS ON 3/8" EXTERIOR GRADE SHEATHING ON STUDS BETWEEN HOUSE AND GARAGE, PLUS REQUIRED INSULATION IN WALLS & SPRAY FOAM FOR CEILINGS. TAPE AND SEAL ALL JOINTS GAS TIGHT. (9.10.9.16. , 9.10.17.10, CAN/ULC-S705.2)

**GARAGE DOOR TO HOUSE** (9.10.9.16., 9.10.13.10., 9.10.13.15.) GAS-PROOF DOOR AND FRAME. DOOR EQUIPPED WITH SELF CLOSING DEVICE AND WEATHER STRIPPING.

**EXTERIOR AND GARAGE STEPS** 

PRECAST CONC. STEP OR WOOD STEP WHERE NOT EXPOSED TO WEATHER. MAX RISE 7 7/8" (200), MIN. TREAD 9 1/4" (235). FOR THE REQUIRED NUMBER OF STEPS REFER TO SITING AND GRADING DRAWINGS. EXTERIOR CONCRETE STARS WITH MORE THAN 2 RISERS AND 2 TREADS SHALL BE PROVIDED WITH FOUNDATION AS REQUIRED BY ARTICLE 9.8.9.2. OR SHALL BE CANTILEVERED AS PER SUBSECTION 9.8.10.

**DRYER EXHAUST** (22)

CAPPED DRYER EXHAUST VENTED TO EXT. CONFORMING TO PART 6, OBC 9.32.

**ATTIC ACCESS** (9.19.2.1.)

ATTIC ACCESS HATCH WITH MIN. AREA OF 0.32m2 AND NO DIM. LESS THAN 21 1/2" (545) WITH WEATHER STRIPPING. HATCHWAYS TO THE ATTIC OR ROOF SPACE WILL BE FITTED WITH DOORS OR COVERS AND WILL BE INSULATED WITH MIN. R20 (RSI 3.52) ([SB-12] 3.1.1.8.(1)) FIREPLACE CHIMNEYS (9.21.)

TOP OF FIREPLACE CHIMNEY SHALL BE 2'-11" (889) ABOVE THE HIGHEST POINT AT WHICH IT COMES IN CONTACT WITH THE ROOF AND 2-0" (610) ABOVE THE ROOF SURFACE WITHIN A HORIZ. DISTANCE OF 10'-0" (3048) FROM THE CHIMNEY

LINEN CLOSET  $\langle 25 \rangle$ 

PROVIDE 4 SHELVES MIN. 14" (356) DEEP.

**MECHANICAL VENTILATION** (9.32.1.3.)  $\langle$  26angleMECHANICAL EXHAUST FAN, VENTED TO EXTERIOR, TO PROVIDE AT LEAST

ONE AIR CHANGE PER HOUR. SEE GENERAL NOTE 2.3.

PARTY WALL BEARING (9.23.8) (27)

12"x12"x5/8" (305x305x15.9) STEEL PLATE FOR STEEL BEAMS AND 12"x12"x1/2" (305x305x12.7) STEEL PLATE FOR WOOD BEAMS BEARING (MIN. 3-1/2" (89)) ON CONC. BLOCK PARTY WALL, ANCHORED WITH 2-3/4" (2-19) x 8" (200) LONG GALV. ANCHORS WITHIN SOLID BLOCK COURSE LEVEL W/ NON-SHRINK GROUT REFER TO NOTE SOLID BEARING (SECTION 3.0) FOR WD. STUD PARTY WALL.

WOOD FRAMING IN CONTACT TO CONCRETE

WOOD BEARING WALLS, THE UNDERSIDE OF BUILT-UP WOOD POSTS AND SILLS SHALL BE WRAPPED WITH 2 mil POLY. STRIP FOOTINGS SUPPORTING THE FOUNDATION WALL SHALL BE WIDENED 6" (152) BELOW THE BEARING WALL AND/OR WOOD POST. (9.17.4.3.)

BUILT-UP WOOD POST AND FOOTING (9.17.4.1., 9.15.3.7.) 3-2"x6" (3-38x140) BUILT-UP WOOD POST (UNLESS OTHERWISE NOTED) ON METAL BASE SHOE ANCHORED TO CONC. WITH 1/2" (12.7) Ø BOLT, 24"x24"x12" (610x610x305) CONC. FOOTING OR AS PROVIDED ON PLAN. REFER TO NOTE 28

**STEP FOOTINGS** (9.15.3.9.)

MIN. HORIZ. STEP = 23 5/8" (600). MAX. VERT. STEP = 23 5/8" (600).

CONC. PORCH SLAB (9.16.4.)

MIN. 4" (100) CONCRETE SLAB ON GRADE ON 4" (100) COARSE GRANULAR FILL, REINFORCED WITH 6x6xW2.9xW2.9 MESH PLACED NEAR MID-DEPTH OF SLAB. CONC. STRENGTH 32MPa (4640psi) WITH 5-8% AIR ENTRAINMENT ON COMPACTED SUB-GRADE.

FURNACE VENTING (9.32.)

DIRECT VENT FURNACE TERMINAL MIN. 3'-0" (915) FROM A GAS REGULATOR. MIN. 12" (305) ABOVE FIN. GRADE, FROM ALL OPENINGS, EXHAUST AND INTAKE VENTS. HRV INTAKE TO BE A MIN. OF 6'-0" (1830) FROM ALL EXHAUST TERMINALS. REFER TO GAS UTILIZATION CODE.

FIREPLACE VENTING (9.32.3.) DIRECT VENT GAS FIREPLACE VENT TO BE A MIN. 12" (305) FROM ANY OPENING AND ABOVE FIN. GRADE. REFER TO GAS UTILIZATION CODE.

**FLOOR FRAMING** (9.23.3.5., 9.23.9.4., 9.23.14.) T&G SUBFLOOR ON WOOD FLOOR JOISTS. FOR CERAMIC TILE APPLICATION SEE 0, B.C. 9, 30, 6. ALL JOISTS WHERE REQUIRED TO BE BRIDGED WITH 2"×2" (38x38) CROSS BRACING OR SOLID BLOCKING @ 6-11" (2108) O.C. MAX. ALL JOISTS TO BE STRAPPED WITH 1"x3" (19x64) @ 6-11" (2108) O.C. UNLESS A PANEL TYPE CEILING FINISH IS APPLIED.

**HEADER CONSTRUCTION** 

PROVIDE CONTINUOUS APPROVED AIR/VAPOUR BARRIER (HEADER WRAP) UNDER THE SILL PLATE, AROUND THE RIM BOARD AND UNDER THE BOTTOM PLATE. THE HEADER WRAP SHALL EXTEND 6" (152) BELOW THE TOP OF FOUNDATION WALL AND WILL BE SEALED TO THE CONCRETE FOUNDATION WALL EXTEND HEADER WRAP 6" (152) UP THE INTERIOR SIDE OF THE STUD WALL AND OVERLAP WITH THE VAPOUR BARRIER AND SEAL THE JOINT, ALL EDGES/JOINTS MUST BE MECHANICALLY CLAMPED.

EXPOSED BUILDING FACE w/ LIMITING DISTANCE <= 3'-11" (1.20m) WALL ASSEMBLY CONTAINS INSULATION CONFORMING TO CAMULC \$2.702 & HAVING A MASS OF NOT LESS THAN 1.22 KG/M2 OF WALL SURFACE AND 1/2" (12.7) TYPE X GYPSUM WALLBOARD INTERIOR FINISH. EXTERIOR CLADDING MUST BE NON-COMBUSTIBLE WHEN LIMITING DISTANCE IS 23 5/8" (0.60m) OR LESS. WALL ASSEMBLY REQUIRES TO HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN 45 MINUTES & CONFORMING TO O.B.C. (9.10.14. OR 9.10.15.). REFER TO DETAILS FOR TYPE & SPECS. \*\*A N OPENING IN AN EXPOSING BUILDING FACE NOT MORE THAN 20 162 (13.00.7) SHALL NOT BE CONFORMED FOR MINURPOTETE ORDENING AS PER 20 in<sup>2</sup> (130cm<sup>2</sup>) SHALL NOT BE CONSIDERED AN UNPROTECTED OPENING AS PER

COLD CELLAR PORCH SLAB (9.39.)

FOR MAX, 8'-2" (2500) PORCH DEPTH, 5" (127) 32 MPa (4640psi) CONC. SLAB W/5-8% AIR ENTRAINMENT. REINF. WITH 10M BARS @ 7 7/8" (200) O.C. EACH DIRECTION, W/1 1/4" (32) CLEAR COVER FROM BOTTOM OF SLAB TO FIRST LAYER OF BARS & SECOND LAYER OF BARS LAID DIRECTLY ON TOP OF LOWER LAYER IN OPPOSITE DIR. 24\*Y24" (610x610) 10M DOWELS @ 23 5/8" (600) O.C., NACLIODED IN DEPUNDATED AND WALLO CLOSED IN DEPUNDATED ANCHORED IN PERIMETER FND. WALLS, SLOPE SLAB 1.0% FROM DOOR.

**RANGE HOODS AND RANGE-TOP FANS** 

COOKING APPLIANCE EXHAUST FANS VENTED TO EXTERIOR MUST CONFORM TO OBC 9.10.22, 9.32.3.9. & 9.32.3.10.

CONVENTIONAL ROOF FRAMING (9.23.13., 9.23.15.) 2"x6" (38x140) RAFTERS @ 16" (406) O.C., 2"x8" (38x184) RIDGE BOARD. 2"x4" (38x89) COLLAR TIES AT MID-SPAN. CEILING JOISTS TO BE 2"x4" (38x89) 2 AT (300.69) O.C. FOR MAX, 9-3" (2819) SPAN & 2"x6" (38x140) @ 16" (406) O.C. FOR MAX, SPAN 14-7" (4450). RAFTERS FOR BUILT UP ROOF OVER PRE-ENGINEERED ROOF TRUSSES AND OR CONVENTIONAL FRAMING TO BE 2"x4" (38x89) @ 24" (610) O.C. UNLESS OTHERWISE SPECIFIED.



FOR STRUCTURAL ONLY. EXCLUDING <del>JOIST, AND FLOOR</del>

File Numbe

ENGINEERED ROOF TRUSS, FLOOR CONSTRUCTION NOTES

QUALIFICATION INFORMATION Allan Whiting 23177



**GOLDPARK HOMES - 217014** PINE VALLEY TOWNS, VAUGHAN ON

TYPE 'B' - 3101-END 2 REV.2022.07.11

16 of 17

JMc AW 3/16"=1'-0" 217014WT3101-END2.dwg

BCIN

| > | (,,      |                                   |                        |               |                 |               |  |  |  |
|---|----------|-----------------------------------|------------------------|---------------|-----------------|---------------|--|--|--|
| _ | WALL AS  | SSEMBLY                           | WIND LOADS             |               |                 |               |  |  |  |
|   | EXTERIOR | STUDS                             | <= 0.5 kPA (q50)       |               | > 0.5 kPa (q50) |               |  |  |  |
|   | EXTERIOR | 21002                             | SPACING                | MAX HEIGHT    | SPACING         | MAX HEIGHT    |  |  |  |
|   | BRICK    | 2-2"x6"<br>(2-38x140)             | 12' (305) O.C.         | 18'-4" (5588) | 8" (200) O.C.   | 18'-4" (5588) |  |  |  |
|   | SIDING   | `SPR.#2´<br>2-2"x8"<br>(2-38x184) | 16" (406) O.C.         | 18'-4" (5588) | 12" (305) O.C.  | 18'-4" (5588) |  |  |  |
|   | BRICK    |                                   | 12 <b>'</b> (305) O.C. | 21'-0" (6400) | 12" (305) O.C.  | 21'-0" (6400) |  |  |  |
|   | SIDING   |                                   | 16' (406) O.C.         | 21'-0" (6400) | 16" (406) O.C.  | 21'-0" (6400) |  |  |  |

\*\* STUD SIZE & SPACING TO BE VERIFIED BY STRUCTURAL ENGINEER \*\* STUDS ARE TO BE CONTINUOUS, C/W 3/8" (9.5) THICK EXTERIOR PLYWOOD SHEATHING. PROVIDE SOLID WOOD BLOCKING BETWEEN WOOD STUDS @ 4'-0" (1220) O.C. VERTICALLY.

- FOR HORIZ. DISTANCES LESS THAN 9-6" (2896) PROVIDE 2"x6" (38x140) STUDS @ 16" (406) O.C. WITH CONTIN. 2"x6" (3-38x140) TOP PLATE  $\pm$  1.2"x6" (1-38x140) BOTTOM PLATE & MIN. OF 3-2"x6" (3-38x184) CONT. HEADER AT GROUND FLOOR CEILING LEVEL TOE-NAILED & GLUED AT TOP, BOTTOM PLATES & HEADERS.

40) 1 HR. PARTY WALL (CONC. BLOCK) ([SB-3] WALL TYPE 'B6e' & 'B1b') 1/2" (12.7) GYPSUM SHEATHING ON EACH SIDE ON 2"x2" (38x38) VERTICAL WD. STRÀPPING @ 24" (610) O.C. ON 8" (200) CONC. BLOCK FILL STRAPPING CAVITY EACH SIDE WITH AT LEAST 90% OF ABSORPTIVE MATERIAL PROCESSED FROM ROCK, SLAG OR GLASS. TAPE, FILL & SAND ALL GYPSUM JOINTS EXPOSED BLOCK MUST BE SEALED W/ 2 COATS OF PAINT OF FURRED WITH 2"x2" (38x38) WD. STRAPPING & 1/2" (12.7) GYPSUM SHEATHING.

1 HR. PARTY WALL (DOUBLE STUD) ([SB-3] WALL TYPE 'W13c') 5/8" (15.9) TYPE X: GYPSUM SHEATHING ON EXTERIOR SIDE OF 2 ROWS OF 2"x4" (38x89) STUDS @ 16" (406) O.C., MIN. 1" (25) APART ON SEPARATE 2"x4" (38x89) SILL PLATES. (2"x6" (38x140) AS REQUIRED) FILL ONE SIDE OF STUD CAVITY WITH AT LEAST 90% OF ABSORPTIVE MATERIAL PROCESSED FROM ROCK, SLAG OR GLASS. TAPE FILL AND SAND ALL GYPSUM JOINTS.

2 HR. FIREWALL ([SB-3] WALL TYPE 'B6e' & 'B1b') 1/2" (12.7) GYPSUM SHEATHING ON EACH SIDE ON 2"X2" (38x38) VERTICAL WOOD STRAPPING @ 24" (610) O.C ON 8" (200) CONC. BLOCK 75% SOLID. FILL STRAPPING CAVITY EACH SIDE WITH AT LEAST 90% OF ABSORPTIVE MATERIAL PROCESSED FROM ROCK, SLAG OR GLASS. TAPE, FILL & SAND ALL GYPSUM. JOINTS. AT UNFINISHED AREAS, EXTERIOR FACE OF CONC. BLOCK TO BE SEALED WITH 2 COATS OF PAINT. GYPSUM SHEATHING TO BE ATTACHED TO CONC. BLOCK. (REFER TO DETAILS)

STUCCO WALL CONSTRUCTION (2"x6") STUCCO FINISH CONFORMING TO O.B.C. SECTION 9.28. AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1 1/2" (38) E.I.F.S. (MINIMUM) ON APPROVED DRAINAGE MAT ON 1/2' (12.7) DENSGLASS GOLD GYPSUM BOARD ON STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1., INSULATION, APPROVED 6 MIL. POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (REFER TO 35 NOTE AS REQUIRED)

STUCCO WALL CONSTRUCTION (2"x6") W/ CONTIN. INSUL. STUCCO FINISH CONFORMING TO O.B.C. SECTION 9.28. AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1 1/2" (38) E.I.F.S. (MINIMUM) ON APPROVED DRAINAGE MAT ON APPROVED AIR/WATER BARRIER AS PER O.B.C. 9.27.3. ON EXTERIOR TYPE RIGID INSULATION (JOINTS UNTAPED) MECHANICALL 9.27.3. ON EXTERIOR TYPE HIGID INSULATION (JOINTS UNITAPED) MECHANICALLY FASTENED AS PER MANUFACTURER'S SPECIFICATIONS, ON 7/16" EXTERIOR TYPE SHEATHING ON STUDS CONFORMING TO O.B.C (9.23, 10.1.) & SECTION 1.1., INSULATION, APPROVED 6 MIL. POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (REFER TO 35 NOTE AS REQUIRED)

STUCCO WALL @ GARAGE CONST. ⟨41B⟩ STUCCO FINISH CONFORMING TO O.B.C. SECTION 9.28. AND APPLIED PER STUCCO FINISH CONFORMING TO O.B.C. SECTION 9.28. AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1 1/2" (38) E.F.I.S (MINIMUM) ON APPROVED DRAINAGE MAT ON 1/2" (12.7) DENSGLASS GOLD GYPSUM BRD. ON STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1., 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (REFER TO 35 NOTE AS REQ.) \*\*\*\* FOR DWELLINGS USING CONTIN. INSULATION CONSTRUCTION, PROVIDE APPROVED DRAINAGE MAT ON 7/16" (11) EXTERIOR TYPE SHEATHING OVER FURRING (AS REQ.) AND STUDS IN LIEU OF 1 1/2" (38) E.F.I.S (MINIMUM) ON APPROVED DRAINAGE MAT ON 1/2" (12.7) DENSGLASS GOLD GYPSUM BRD.

**UNSUPPORTED FOUNDATION WALLS** (9.15.4.2.) REINFORCING AT STAIRS AND SUNKEN FLOOR AREAS 2-20M BARS IN TOP PORTION OF WALL (UP TO 8-0" OPENING) 3-20M BARS IN TOP PORTION OF WALL (8-0" TO 10-0" OPENING) 4-20M BARS IN TOP PORTION OF WALL (10-0" TO 15-0" OPENING) · BARS STACKED VERTICALLY AT INTERIOR FACE OF WALL @ 6" O.C.

REINFORCING AT BASEMENT WINDOWS 2-15M HORIZ, REINFORCING ON THE INSIDE AND OUTSIDE FACE OF THE FOUNDATION WALL BELOW THE WIN. SILL. EXTEND BARS 24" (610) BEYOND THE OPENING. 2-15M VERTICAL REINFORCING ON THE INSIDE AND OUTSIDE FACE OF THE FOUNDATION WALL ON EACH SIDE OF THE WINDOW OPENING. - BARS TO HAVE MIN. 1" (25) CONC. COVER

BARS TO EXTEND 2'-0" (610) BEYOND BOTH SIDES OF OPENING

STUD WALL REINFORCEMENT PROVIDE STUD WALL REINFORCEMENT IN MAIN BATHROOM CONFORMING TO O.B.C. (9.5.2.3.(1)) (REFER TO DETAILS)

WINDOW WELLS WHERE A WINDOW OPENS INTO A WINDOW WELL, A CLEARANCE OF NOT LESS THAN 21 5/8" (550) SHALL BE PROVIDED IN FRONT OF THE WINDOW. EVERY WINDOW WELL SHALL BE DRAINED TO THE FOOTING LEVEL OR OTHER SUITABLE LOCATION WITH A 4" (100) WEEPING TILE C/W A FILTER CLOTH WRAP AND FILLED WITH CRUSHED STONE. (9.9.10.1.(5), 9.14.6.3.)

SLOPED CEILING CONSTRUCTION ([SB-12] 3.1.1.8., 9.23.4.2.)  $\langle$  45 angle2"x12" (38x286) ROOF JOISTS @ 16" (406) O.C. MAX. (UNLESS OTHERWISE NOTED) W/ 2"x2" (38x38) PURLINS @ 16" (406) O.C. PERPENDICULAR TO ROOF JOIST (PURLINS NOT REQ. W/ SPRAY FOAM), W/ INSULATION BETWEEN JOIST, 6 mil POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH OR APPROVED EQ. INSULATION VALUE DIRECTLY ABOVE THE INNER SURFACE OF EXTERIOR WALLS SHALL NOT BE LESS THAN R20 (3.52 RSI).

FLAT ROOF/BALCONY CONSTRUCTION WATERPROOFING MEMBRANE (9.26.11, 9.26.15, 9.26.16) FULLY ADHERED TO 5/8" (15.9) T&G EXTERIOR GRADE PLYWOOD SHEATHING ON 2"X2" (38x38) PURLINS ANGLED TOWARDS SCUPPER @ 2% MINIMUM LAID PERPENDICULAR TO 2"X8" (38x184) FLOOR JOISTS @ 16" (406) O.C. (UNLESS OTHERWISE NOTED). BUILT UP CURB TO BE 4" (100) MIN. ABOVE FINISHED BALCONY FLOOR. CONTINUOUS 'L' TRIM DRIP EDGE TO BE PROVIDED ON OUTSIDE FACE OF CURB. SCUPPER DRAIN TO BE LOCATED 24" (610) MIN. AWAY FROM HOUSE. PREFINISHED ALUMINUM OF PANEL FOR UNDERSIDE OF SOFFIT (9.23.2.3). REMOVE CURB WHERE REQ.

BALCONY CONDITION

 $\langle$  46 angle

QUALIFICATION INFORMATION Allan Whiting

SEE FLAT ROOF/BALCONY CONSTRUCTION NOTE. INCLUDE 2"x4" (38x89) PT. DECKING W/ 1/4" (6.4) GAPS LAID FLAT PARALLEL TO JOISTS ON 2"x4" (38x89) PT. SLEEPERS @ 12" (305) O.C. LAID FLAT PERPENDICULAR TO JOISTS

BALCONY OVER HEATED SPACE CONDITION SEE FLAT ROOF/BALCONY CONSTRUCTION NOTE FOR ASSEMBLY. REFER TO PLANS FOR FLOOR JOIST SIZE & REFER TO HEX NOTE 9 FOR INSULATION AND

INTERIOR FINISH BARREL VAULT CONSTRUCTION

CANTILEVERED 2":X4" (38x89) SPACERS LAID FLAT ON 2"x10" (38x235) SPR. #2 ROOF JOIST NAILED TO BUILT-UP 3-3/4" (19) PLYWOOD HEADER PROFILED FOR BARREL, SPRAY FOAM INSULATION BETWEEN JOISTS W/ GYPSUM BOARD. INTERIOR FIN. (REFER TO DETAILS)

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#### REFER TO SB-12 ENERGY EFFICIENCY DESIGN MATRIX ON THE TITLE PAGE FOR ALL VALUES AS REQUIRED PER 3.1.1., 3.1.2., 3.1.3. OF THE OBC. SECTION 1.1. WALL STUDS

REFER TO THIS CHART FOR STUD SIZE & SPACING AS REQUIRED FOR EXTERIOR WALLS ONLY. REFER TO SITING & GRADING PLAN OF THIS UNIT FOR CONFIRMATION OF TOP OF FOUNDATION WALL AND ADDITIONAL INFORMATION.

- IF STUD WALL HEIGHT EXCEEDS MAX. UNSUPPORTED HEIGHT, WALL NEEDS TO BE REVIEWED AND APPROVED BY ENGINEER.

| SIZE          | & SPACING OF STUDS: (OBC REFERENCE - TABLE 9.23.10.1.) |                                   |                                   |                                   |  |  |  |
|---------------|--|-----------------------------------|-----------------------------------|-----------------------------------|--|--|--|
| MIN.          |  | SUPPORTED LO                      | ADS (EXTER <b>I</b> OR)           |                                   |  |  |  |
| STUD<br>SIZE, | ROOF w/ OR<br>w/o ATTIC                                | ROOF w/ OR w/o<br>ATTIC & 1 FLOOR | ROOF w/ OR w/o<br>ATTIC & 2 FLOOR | ROOF w/ OR w/o<br>ATTIC & 3 FLOOR |  |  |  |
| in (mm)       | MAX. STUD SPACING, in (mm) O.C.                        |                                   |                                   |                                   |  |  |  |
| ()            | MAX. UNSUPPORTED HGT., ft-in (m)                       |                                   |                                   |                                   |  |  |  |
| 2"x4"         | 24" (610)  | 16" (405)                         | 12" (305)                         | N/A                               |  |  |  |
| (38x89)       | 9'-10" (3.0)   | 9'-10" (3.0)                      | 9'-10" (3.0)                      | N/A                               |  |  |  |
| 2"x6"         | -  | 24" (610)                         | 16" (406)                         | 12" (305)                         |  |  |  |
| (38x140)      | -  | 9'-10" (3.0)                      | 11'-10" (3.6)                     | 5'-11" (1.8)                      |  |  |  |

#### **SECTION 2.0. GENERAL NOTES**

2.1. WINDOWS

1) EXCEPT WHERE A DOOR ON THE SAME FLOOR LEVEL AS THE BEDROOM PROVIDES DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL CONTAINING A BEDROOM IS TO HAVE AT LEAST ONE OUTSIDE WINDOW W/ MIN. 0.35m2 UNOBSTRUCTED OPEN PORTION W/ NO DIMENSION LESS THAN 1'-3" (380), CAPABLE OF MAINTAINING THE OPENING WITHOUT THE NEED FOR ADDITIONAL SUPPORT, CONFORMING TO 9.9.10. 2) WINDOW GUARDS: A GUARD OR A WINDOW WITH A MAXIMUM RESTRICTED. OPENING WIDTH OF 4" (100) IS REQUIRED WHERE THE TOP OF THE WINDOW SILL IS LOCATED LESS THAN 1'-7" (480) ABOVE FIN. FLOOR AND THE DISTANCE FROM THE FINISHED FLOOR TO THE ADJACENT GRADE IS GREATER THAN 5'-11" (1800). (9.8.8.1.) 3) WINDOWS IN EXIT STAIRWAYS THAT EXTEND TO LESS THAN 2'-11" (900) [3'-6" (1070) FOR ALL OTHER BUILDINGS] SHALL BE PROTECTED BY GUARDS IN ACCORDANCE WITH NOTE #2 (ABOVE). OR THE WINDOW SHALL BE NON-OPERABLE AND DESIGNED TO WITHSTAND THE SPECIFIED LOADS FOR BALCONY GUARDS AS PROVIDED IN 4.1.5.15 OR 9.8.8.2

4) REFER TO TITLE PAGE FOR MAX. U-VALUE REQUIREMENTS

2.2. CEILING HEIGHTS

THE CEILING HEIGHTS OF ROOMS AND SPACES SHALL CONFORM TO TABLE 9.5.3.1.

| ROOM OR SPACE                           | MINIMUM HEIGHTS  |
|---|--|
| LIVING ROOM, DINING<br>ROOM AND KITCHEN | 7'-7" OVER 75% OF REQUIRED FLOOR AREA WITH A<br>CLEAR HEIGHT OF 6'-11" AT ANY POINT  |
| BEDROOM                                 | 7'-7" OVER 50% OF REQUIRED FLOOR AREA OR 6'-11"<br>OVER ALL OF THE REQUIRED FLOOR AREA.  |
| BASEMENT                                | 6'-11" OVER AT LEAST 75% OF THE BASEMENT AREA<br>EXCEPT THAT UNDER BEAMS AND DUCTS THE<br>CLEARANCE IS PERMITTED TO BE REDUCED TO 6'-5". |
| BATHROOM, LAUNDRY<br>AREA ABOVE GRADE   | 6'-11" IN ANY AREA WHERE A PERSON WOULD<br>NORMALLY BE STANDING  |
| FINISHED ROOM NOT<br>MENTIONED ABOVE    | 6-11"  |
| MEZZAN <b>I</b> NES                     | 6'-11" ABOVE & BELOW FLOOR ASSEMBLY (9.5.3.2.)   |
| STORAGE GARAGE                          | 6'-7" (9.5.3.3.)   |

2.3. MECHANICAL / PLUMBING

1) MECHANICAL VENTILATION IS REQUIRED TO PROVIDE 0.7 AIR CHANGE PER HOUR IF NOT AIR CONDITIONED 1 PER HOUR IF AIR CONDITIONED AVERAGED OVER 24 HOURS. WHEN A VENTILATION FAN (PRINCIPAL EXHAUST) IS REQUIRED, CONFORM TO OBC 9.32.3.4. WHEN A HRV IS REQUIRED, CONFORM TO 9.32.3.11. REFER TO MECHANICAL DRAWINGS.

2) REFER TO HOT WATER TANK MANUFACTURER SPECS, CONFORM TO OBC 9.31.6. 3) REFER TO TITLE PAGE FOR SPACE HEATING EQUIPMENT, HRV AND DOMESTIC HOT WATER HEATER MINIMUM EFFICIENCIES.

4) DRAIN WATER HEAT RECOVERY UNIT(S) WILL BE INSTALLED CONFORMING TO THE REQUIREMENTS OF SB12 - 3.1.1.12. OF THE O.B.C.

**2.4. LUMBER**1) ALL LUMBER SHALL BE SPRUCE No.2 GRADE OR BETTER, UNLESS NOTED OTHERWISE. 2) STUDS SHALL BE STUD GRADE SPRUCE, UNLESS NOTED OTHERWISE.

3) LUMBER EXPOSED TO THE EXTERIOR TO BE SPRUCE NO. 2 GRADE PRESSURE TREATED OR CEDAR LIMITES NOTED OTHERWISE. EATED OR CEDAR, UNLESS NOTED OTHERWISE.

4) ALL LAMINATED VENEER LUMBER (LVL) BEAMS, GIRDER TRUSSES, AND METAL HANGER CONNECTIONS SUPPORTING ROOF FRAMING TO BE DESIGNED & CERTIFIED BY FLOOR AND ROOF TRUSS MANUFACTURER. JOIST HANGERS: PROVIDE APPROVED METAL HANGERS FOR ALL JOISTS AND

BUILT-UP WOOD MEMBERS INTERSECTING WITH FLUSH BUILT-UP WOOD MEMBERS. 6) WOOD FRAMING NOT TREATED WITH A WOOD PRESERVATIVE, IN CONTACT WITH CONCRETE, SHALL BE SEPARATED FROM THE CONC. BY AT LEAST 2 mil POLYETHYL FILM, No.50 (45lbs) ROLL ROOFING OR OTHER DAMPPROOFING MATERIAL, EXCEPT WHERE THE WOOD MEMBER IS AT LEAST 6" (152) ABOVE THE GROUND.

**2.5. STEEL** (9.23.4.3.)

1) STRUCTURAL STEEL SHALL CONFORM TO CAN/CSA-G40-21 GRADE 350W. HOLLOW STRUCT. SECTIONS SHALL CONFORM TO CAN/CSA-G40-21 GRADE 350W CLASS "H". 2) REINFORCING STEEL SHALL CONFORM TO CSA-G30-18M GRADE 400R

1) FOR 8'-0" (2440) CEILINGS, FLAT ARCHES SHALL BE 6'-10" (2080) A.F.F. 2) FOR 9'-0" (2740) CEILINGS, FLAT ARCHES SHALL BE 7'-10" (2400) A.F.F. 3) FOR 10'-0" (3040) CEILINGS, FLAT ARCHES SHALL BE 8'-6" (2600) A.F.F.

**2.7. ROOF OVERHANGS**1) ALL ROOF OVERHANGS SHALL BE 1'-0" (305). UNLESS NOTED OTHERWISE.

1) THE BUILDING SHALL BE LOCATED OR THE BUILDING SITE GRADED SO THE WATER WILL NOT ACCUMULATE AT OR NEAR THE BUILDING AND WILL NOT ADVERSELY AFFECT ADJACENT PROPERTIES. CONFORM TO 9.14.6.

2.10. ULC SPECIFIED ASSEMBLIES

ASSEMBLY: ASSEMBLIES

ASSEMBLY: SPECIFIED ASSEMBLIES

ASSEMBLY: SPECIFIED WITHIN THESE DRAWINGS, CANNOT BE ALTERED OR SUBSTITUTED FOR ANY OTHER MATERIAL/PRODUCT OR SPECIFIED MANUFACTURER THAT IS IDENTIFIED IN THAT SPECIFIED U.C. LISTING: THERE SHALL BE NO DEVIATIONS UNDER ANY CIRCUMSTANCES IN ANY 'U.C. LISTED ASSEMBLY' IDENTIFIED IN THESE DRAWINGS.

#### **SECTION 3.0. LEGEND**

3.1. WOOD LINTELS AND BUILT-UP WOOD (DIVISION B PART 9. TABLES A8 TO A10 AND A12, A15 & A16) FORMING PART OF SENTENCE 9.23.4.2.(3), 9.23.4.2.(4), 9.23.12.3.(1),(3), 9.23.13.8.(2), 9.37.3

| 7 3 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 |                     |       |                         |       |                     |  |  |
|---|---------------------|-------|-------------------------|-------|---------------------|--|--|
|   | 2"x8" SPRUCE #2     |       | 2"x10" SPRUCE #2        |       | 2"x12" SPRUCE #2    |  |  |
| L1                                      | 2/2"x8" (2/38x184)  | L3    | 2/2"x10" (2/38x235)     | L5    | 2/2"x12" (2/38x286) |  |  |
| B1                                      | 3/2"x8" (3/38x184)  | ВЗ    | 3/2"x10" (3/38x235)     | B5    | 3/2"x12" (3/38x286) |  |  |
| B2                                      | 4/2"x8" (4/38x184)  | B4    | 4/2"x10" (4/38x235)     | B6    | 4/2"x12" (4/38x286) |  |  |
| B7                                      | 5/2"x8" (5/38x184)  | B8    | 5/2"x10" (5/38x235)     | В9    | 5/2"x12" (5/38x286) |  |  |
|   | ENGINEERED LUMB     | ER SC | CHEDULE - GRADE 2.0E (U | NLES: | S NOTE OTHERWISE)   |  |  |
|   | 1 3/4" x 9 1/2" LVL |       | 1 3/4" x 11 7/8" LVL    |       | 1 3/4" x 14" LVL    |  |  |
| LVL2                                    | 1-1 3/4"x9 1/2"     | LVL3  | 1-1 3/4"x11 7/8"        | LVL10 | 1-1 3/4"x14"        |  |  |
| LVL4                                    | 2-1 3/4"x9 1/2"     | LVL6  | 2-1 3/4"x11 7/8"        | LVL11 | 2-1 3/4"x14"        |  |  |
| LVL5                                    | 3-1 3/4"x9 1/2"     | LVL7  | 3-1 3/4"x11 7/8"        | LVL12 | 3-1 3/4"x14"        |  |  |
| LVL8                                    | 4-1 3/4"x9 1/2"     | LVL9  | 4-1 3/4"x11 7/8"        | LVL13 | 4-1 3/4"x14"        |  |  |

### 3.2. STEEL LINTELS SUPPORTING MASONRY VENEER

(DIVISION B PART 9. TABLE 9.20.5.2.B.) FORMING PART OF SENTENCE 9.20.5.2.(2) & 9.20.5.2.(3)

| CODE | SIZE                                     | BRICK           | STONE          |  |  |  |  |  |  |
|------|--|-----------------|----------------|--|--|--|--|--|--|
| L7   | 3 1/2" x 3 1/2" x 1/4" (89 x 89 x 6.4)   | 8'-1" (2.47m)   | 7'-6" (2.30m)  |  |  |  |  |  |  |
| L8   | 4" x 3 1/2" x 1/4" (102 x 89 x 6.4)      | 8'-9" (2.66m)   | 8'-1" (2.48m)  |  |  |  |  |  |  |
| L9   | 4 7/8" x 3 1/2" x 5/16" (127 x 89 x 7.9) | 10'-10" (3.31m) | 10'-1" (3.03m) |  |  |  |  |  |  |
| L10  | 4 7/8" x 3 1/2" x 3/8" (127 x 89 x 11)   | 11'-5" (3.48m)  | 10'-7" (3.24m) |  |  |  |  |  |  |
| L11  | 5 7/8" x 3 1/2" x 3/8" (152 x 89 x 11)   | 12'-6" (3.82m)  | 11'-7" (3.54m) |  |  |  |  |  |  |
| L12  | 7 1/8" x 4" x 3/8" (178 x 102 x 11)      | 14'-1" (4.30m)  | 13'-1" (3.99m) |  |  |  |  |  |  |

3.3. DOOR SCHEDULE CONFORMING TO SECTIONS 9.5.11, 9.6., 9.7.2.1, 9.7.5.2, & 9.10.13.10 1 EXTERIOR | 2'-8" x 6'-8" x 1-3/4" (815 x 2030 x 45) INSULATED MIN. R4 (RSI 0.7) 1A EXTERIOR 2'-10" x 6'-8" x 1-3/4" (865 x 2030 x 45) INSULATED MIN. R4 (RSI 0.7) 1B EXTERIOR 3'-0" x 6'-8" x 1-3/4" (915 x 2030 x 45) INSULATED MIN. R4 (RSI 0.7) 1C | EXTERIOR | 2'-6" x 6'-8" x 1-3/4" (760 x 2030 x 45) INSULATED MIN. R4 (RSI 0.7) 1D EXTERIOR 2'-8" x 6'-8" x 1-3/4" (815 x 2030 x 45) INS. MIN. R4 (RSI 0.7) (SEE HEX NOTE 20) 1E EXTERIOR 3'-0" x 8'-0" x 1-3/4" (915 x 2440 x 45) INSULATED MIN. R4 (RSI 0.7) 1F EXTERIOR 2'-8" x 8'-0" x 1-3/4" (815 x 2440 x 45) INSULATED MIN. R4 (RSI 0.7) 2A EXTERIOR 2'-8" x 6'-8" x 1-3/4" (815 x 2030 x 45) 20 MIN. F.R.R. DOOR/FRAME WITH APP. SELF CLOSING DEVICE 2 INTERIOR 2'-8" x 6'-8" x 1-3/8" (815 x 2030 x 35) 3 INTERIOR 2'-6" x 6'-8" x 1-3/8" (760 x 2030 x 35) PROVIDE 8'-0" HIGH 3A INTERIOR | 2'-4" x 6'-8" x 1-3/8" (710 x 2030 x 35) INTERIOR DOORS 4 INTERIOR 2'-0" x 6'-8" x 1-3/8" (610 x 2030 x 35) FOR ALL 10' CEILING CONDITIONS

4A INTERIOR 2'-2" x 6'-8" x 1-3/8" (660 x 2030 x 35)

5 INTERIOR 1'-6" x 6'-8" x 1-3/8" (460 x 2030 x 35)

3.4. ACRONYMS ABOVE FINISHED FLOOR JST | JOIST BBFM BEAM BY FLOOR MANUFACTURER LIN LINEN CLOSET LAMINATED VENEER LUMBER BG | FIXED GLASS W/ BLACK BACKING LVL BM BEAM OTB/A OPEN TO BELOW/ABOVE BBRM BEAM BY ROOF MANUFACTURER PL POINT LOAD CRF | CONVENTIONAL ROOF FRAMING PLT PLATE C/W | COMPLETE WITH PT PRESSURE TREATED PAINTED DJ/TJ DOUBLE JOIST/ TRIPLE JOIST PTD DO I DO OVER PWD POWDER ROOM DRP | DROPPED RWL RAIN WATER LEADER ENG **ENGINEERED** SB SOLID BEARING WOOD POST EST | ESTIMATED SBFA SB FROM ABOVE FA FLAT ARCH SJ SINGLE JOIST SPR SPRUCE FD FLOOR DRAIN FG FIXED GLASS STL STEEL FL FLUSH T/O TOP OF FLR FLOOR TYP TYPICAL **UNDERSIDE** GIRDER TRUSS U/S HB HOSE BIE WD WOOD HRV | HEAT RETURN VENTILATION UNIT WIC WALK IN CLOSET hwt I HOT WATER TANK WP WEATHER PROOF

3.5. SYMBOLS ALL ELECTRICAL FACILITIES SHALL BE INSTALLED IN ACCORDANCE WITH SECTION 9.34. • CLASS 'B' VENT 0 EXHAUST VENT 0 DUPLEX OUTLET (12" HIGH) æ.å DUPLEX OUTLET (HEIGHT AS NOTED A.F.F.) <del>∨</del>§ lacksquareHEAVY DUTY OUTLET SWITCH (2/3/4 WAY)  $\oplus$ -0-LIGHT FIXTURE (CEILING MOUNTED) POT LIGHT Ó Ø60 LIGHT FIXTURE (PULL CHAIN) LIGHT FIXTURE (WALL MOUNTED) TELEPHONE JACK CABLE T.V. JACK CENTRAL VACUUM OUTLET CHANDELIER (CEILING MOUNTED) **SMOKE ALARM** (9.10.19.) ■ SA

PROVIDE ONE PER FLOOR, NEAR THE STAIRS CONNECTING THE FLOOR LEVEL. ALARMS ARE TO BE INSTALLED IN EACH SLEEPING ROOM AND IN A LOCATION BETWEEN

SLEEPING ROOMS AND CONNECTING HALLWAYS AND WIRED TO BE INTERCONNECTED TO ACTIVATE ALL ALARMS IF ONE SOUNDS. ALARMS ARE TO BE CONNECTED TO AN ELECTRICAL CIRCUIT AND WITH A BATTERY BACKUP. ALARM SIGNAL SHALL MEET TEMPORAL SOUND PATTERNS MIN. ALARMS SHALL HAVE A VISUAL SIGNALLING COMPONENT AS PER THE "NATIONAL FIRE ALARM AND SIGNALING CODE 72"

CMD CARBON MONOXIDE ALARM (9.33.4.)

\*\*CHECK LOCAL BY-LAWS FOR REQUIREMENTS \*\* A CARBON MONOXIDE ALARM(S) CONFORMING TO CAN/CGA-6.19 SHALL BE INSTALLED ON OR NEAR THE CEILING IN EACH DWELLING UNIT ADJACENT TO EACH SLEEPING AREA. CARBON MONOXIDE ALARM(S) SHALL BE PERMANENTLY WIRED WITH NO DISCONNECT SWITCH, WITH AN ALARM THAT IS AUDIBLE WITHIN SLEEPING ROOMS WHEN THE INTERVENING DOORS ARE CLOSED.

SOLID BEARING (BUILT-UP WOOD COLUMNS AND STUD POSTS) THE WIDTH OF A WOOD COLUMN SHALL NOT BE LESS THAN THAN THE WIDTH OF SUPPORTED MEMBER. BUILT-UP WOOD COLUMNS SHALL BE NAILED TOGETHER WITH NOT LESS THAN 3" (76) NAILS SPACED NOT MORE THAN 11 3/4" (300) O.C. THE NUMBER

OF STUDS IN A WALL DIRECTLY BELOW A GIRDER TRUSS OR ROOF BEAM SHALL CONFORM TO TABLES A-34 TO A-37. (9.17.4., 9.23.10.7.)

TWO STOREY VOLUME SPACE. SEE CONSTRUCTION NOTE 39.

VARYING PLATES, BUILT-OUT FLOORS, BEARING WALLS, ICE & WATER SHIELD

EXPOSED BUILDING FACE -O.B.C. 9.10,14. OR 9.10,15 REFER TO HEX NOTE 35. & DETAILS FOR TYPE AND SI REFER TO HEX NOTE 35. & DETAILS FOR TYPE AND SPECIFICATIONS.

1 HR. PARTT WALL REFER TO HEX NOTE 40. 1 HR. PARTY WALL 2 HR. FIREWALL REFER TO HEX NOTE 40A.

## **SECTION 4.0. CLIMATIC DATA**

DESIGN SNOW LOAD (9.4.2.2.): WIND PRESSURE (a50) (SB-1.2.):

1.01 kPa 0.44 **kPa** 





FOR STRUCTURAL ONLY. EXCLUDING ENGINEERED ROOF TRUSS, FLOOR JOIST, AND FLOOR LVL BEAM DESIGN.

CONTRACTOR MUST VERIEY ALL DIMENSIONS ON THE JOB REPORT ANY DISCREPANCIES TO HUNT CONTINUOUS WEBS 1 VEBS 1 VEBS 1 ALL DIMENSIONS OF THE SOLD REPORT AND INJURIES AND ASSOCIATES INC. (H.D.A.I.) BEFORE PROCEEDING WITH THE WORK. ALL THE DRAWNINGS & SPECIFICATIONS ARE THE INSTRUMENTS OF SERVICE AND ARE THE PROPERTY OF H.D.A.I. ALL CONSTRUCTION TO ADHERE TO THESE PLAYS AND SPECIFICATIONS AND TO CONFORM TO THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. CONSTRUCTION NOTE REVISION DATE: **DECEMBER 15, 2020** 

**CONSTRUCTION NOTES** 

Flle Numbe JMc AW 3/16"=1'-0" 217014WT3101-END2.dwg

DESIGN ASSOCIATES INC.

**GOLDPARK HOMES - 217014** PINE VALLEY TOWNS, VAUGHAN ON

TYPE 'B' - 3101-END 2 REV.2022.07.11

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