22 114363 EP WHITING | FRI FEB 18/22 10:02 AM | K;\PROJECTS\2021\221081.GOLD\SITE\221081WSP01.DWG COMPLETE ROOF (INCLUDING REAR) CONNECTED TO FRONT DOWNSPOUT AND CONNECTED TO RDC SERVICE CONNECTION. HALF ROOF CONNECTED TO FRONT DOWNSPOUT & DISCHARGE VIA SPASH PAROOF DISCHARGE/OVERLAND FLOW TO BE DIRECETED TO FRONT OF THE LOT HALF ROOF CONNECTED TO FRONT DOWNSPOUT AND CONNECTED TO RDC SERVICE CONNECTION. HALF ROOF CONNECTED TO REAR DOWNSPOUT AND CONNECTED TO INFILTRATION TRENCH. COMPLETE ROOF (INCLUDING REAR) TO DISCHARGE VIA SPASH PAD. ROOF DISCHARGEOVERLAND FLOW TO BE DIRECETED TO FRONT OF THE LOT 1.1 - ROOF DRAINS TO BE CONNECTED AT THE FRONT TO RDC SERVICE CONNECTION FOR ROOF CONFIGURATIONS RC, RF, & RR (REFER TO SCS DWG, 906 DETAIL B) 1.2 - IF ROOF CONFIGURATION S RF, RF, & RR (REFER TO SCS DWG, 906 DETAIL B) 1.2 - IF ROOF CONFIGURATION IS RF OR RC, FRONT ROOF DRAINS TO BE CONNECTED TO FRONT DOWNSPOUT & CONNECTED TO ROOF SERVICE CONNECTION. (REFER TO SCS DWG, 906 DETAIL B) 1.3 - IF ROOF CONFIGURATION IS RR, REAR ROOF DRAINS TO BE CONNECTED TO REAR ROOF DOWNSPOUT AND CONNECTED TO INFILTRATION TRENCH (REFER TO SCS DWG, 906 DETAIL A) 1.4 - THE CONTRACTOR SHALL CHECK AND VERIFY ALL GIVEN GRADE ELEVATIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION. FOOTINGS TO BEAR ON NATURAL UNDISTURBED SOIL OR ROCK AND TO BE A MINIMUM OF 1.22m DELOW FINISHED GRADE. 1.5 - ALL FRONT AND REAR YARDS SHALL BE GRADED AT A 2%-5% GRADE COMPLETE ROOF (INCLUDING REAR) TO DISCHARGE VIA SPASH PAD. ROOF 1.22III DELOW FINDRED GRADEY 1.5 - ALL FRONT AND REAR YARDS SHALL BE GRADED AT A 2%-5% GRADE WITHIN 6.0m OF THE DWELLING UNIT. 1.6 - MAXIMUM DRIVEWAY SLOPE SHALL BE 8%. 1.7 - THE MAXIMUM, ALLOWABLE SLOPE IS 3:1 (HORIZONTAL AND VERTICAL)
WITH A MAXIMUM ELEVATION DIFFERENCE OF 600mm. 1.8 - DRIVEWAYS TO BE SET BACK A MINIMUM OF 1.0m, FROM ABOVE GROUND 1.8 - DHIVEWAYS 10 BE SET BACK A MINIMUM OF 1.0M, FHOM ABOVE GH SERVICES OR OTHER OBSTRUCTION.

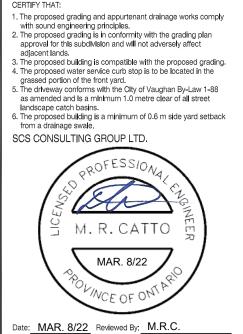
1.9 - LOT HIGH POINT (HP) TO BE 2.0M UPSTREAM OF DOWNSPOUTS

1.10 - ROOF LEADER EMERGENCY OVERFLOW TO DISCHARGE VIA

SPLASH PAD. (REFER TO SCS DWG. 306 DETAIL A FOR ROOF

CONFIGURATION RR AND DETAIL B FOR ROOF CONFIGURATION RC & RF) 11 7 I.11 - INFILTRATION TRENCHES NOT TO CROSS BETWEEN LOT LINES. REFER TO SCS DWG. 906 DETAIL A) 1.12 - IF ROOF CONFIGURATION IS RR, REAR ROOF DOWNSPOUTS CONNECTED TO 100mm0 CAP, REMOVE CAP AND CONNECT TO REAR LOT INFILTRATION TRENCH, BUILD THE REAR YADR ROOF LEADER CONNECTION TO THE CAP AT THE TRENCHES (TYP.) REFER TO SCS DWG. 906 1.13 - BUILDER TO REFER TO SCS DWG. 906 DETAILS A & B FOR DETAILS ON THE INFILTRATION TRENCH. \$400000 1% 2.0% 61 NATIL TRAITION TRENCH
(SEE DETAIL DWG. 905 BY SCS CONSULT.) TOP 229.80

61 INV. 228.35 WE HAVE REVIEWED THE SITE AND GRADING PLAN FOR THE PROPOSED BUILDING TO BE CONSTRUCTED, AND HEREBY SEE DET, ₹62 CERTIFY THAT: 34 60 The proposed grading and appurtenant drainage works comply with sound engineering principles.
 The proposed grading is in conformity with the grading plan approval for this subdivision and will not adversely affect 230,70 4.9% 230.03 adjacent lands. 5R The proposed building is compatible with the proposed grading.
 The proposed water service curb stop is to be located in the WOOD DECK WOOD 230.52 231,70 grassed portion of the front yard. The driveway conforms with the City of Vaughan By-Law 1-88 as amended and is a minimum 1.0 metre clear of all street landscape catch basins. WOOD DECK 5R 231.03 ₹0) 231.47 × **■**1R 6. The proposed building is a minimum of 0.6 m side yard setback from a drainage swale.

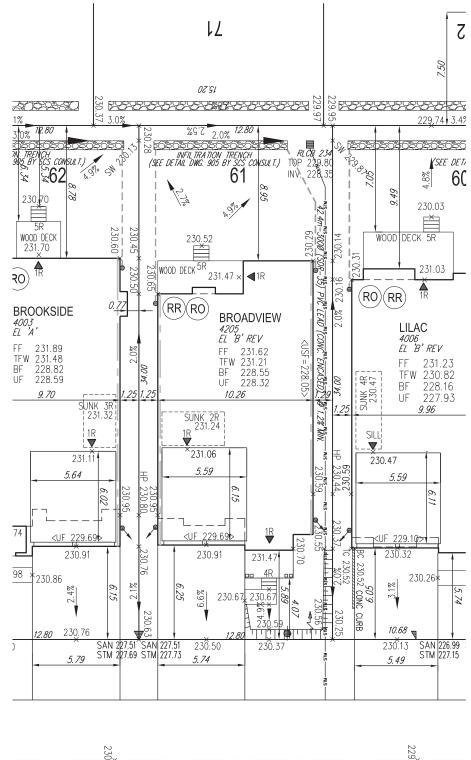


It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.



COVERAGE CALCU	LATION							
LOT NO. :	61							
LOT AREA :	435.200000							
BLDG. AREA : (INCL. PORCH)	198.960000							
LOT COVERAGE :	45.72 %							
LANDSCAPE AREA:	0.000000							
LANDSCAPE COV. :	0.00 %							
BUILDING HEIGHT								
MAX BUILDING HEIGHT:	11.000000							
FROM AVERAGE FIN. GRADE@ FRONT OF BUILDING TO MEAN								
ESTABLISHED GRADE:	230.76							
F.F. TO TOP OF ROOF:	10.130000							
F.F. TO MEAN OF ROOF:	8.140000							
PROPOSED BLDG. HGT:	9.00 m							
FRONT YARD LANDSCAPE AREA								
FRONT YARD AREA:	52.040000							
LANDSCAPE AREA :	28.700000							
COVERAGE (50% MIN.) :	55.15 %							
SOFT LANDSCAPE AREA:	25.860000							
SOFT COVERAGE (60% MIN.):	90.10 %							
REAR YARD LANDSCAPE AREA								
REAR YARD AREA :	129.000000							
SOFT LANDSCAPE AREA :	116.680000							
COVERAGE (60% MIN.):	90.45 %							



## TERRAVISTA CRESCENT

City of Vaughan **GRADING APPROVED BY** Jason Pham

May 17 2022

BELL PEDESTAL

CABLE PEDESTAL

O- HYDRO POLE GUY

COMMUNITY MAILBOX

61

→ HYDRO POLE

STREET SIGN

── WATER SERVICE

→ HYDRO SERVICE

→ SHEET DRAINAGE

● STREET LIGHT

TRAFFIC SIGNA POWER PEDES

STREET LIGHT PEDESTAL

SANITARY MANHOLE

STORM MANHOLE

VALVE & BOX

GENERAL NOTES: ATION OF UTILITIES AND OTHER SERVICES. IF MIN. DIMENSIONS ARE NOT

MAINTAINED, BUILDER IS TO BELOCATE AT BUILDER'S EXPENSE. 2. BUILDER TO VERIFY ELEV. OF STM. AND SAN. LATERALS IN RELATION TO BASEMENT US OF FOOTING ELEVATIONS FOR COMPLIANCE WITH MUNICIPAL STANDARDS PRIOR TO EXCAVATION.

3. APPROVED PERMIT DRAWINGS & CONSTRUCTION NOTES MUST BE REVIEWED AND FOLLOWED IN

CONJUNCTION WITH THE SITING AND GRADING PLAN, BUILDER TO VERIFY BUILDING ENVELOPE ON SITE PLAN MATCHES APPROVED PERMIT DRAWINGS & CONSTRUCTION NOTES PRIOR TO POURING CONCRETE. IF THERE ARE ANY DISCREPANCIES, THEY ARE TO BE BROUGHT TO THE ATTENTION OF HUNT DESIGN ASSOCIATES INC.

1. UNLESS NOTED ON BUILDING ENVELOPE OR APPROVED PERMIT DRAWINGS & CONSTRUCTION NOTES, ALL TOP OF FOUNDATION WALLS INCLUDING GARAGE WALLS TO BE CONSISTENT WITH THE ELEVATION PROVIDED FOR TFW ON SITING AND GRADING PLAN. THE EXTERIOR OF THE FOUNDATION WALL TO BE PROVIDED WITH A REDUCTION OF THICKNESS FOR MASONRY VENEER AS REQUIRED.

ı	-			-	-	1	
I	-			-	-	1	<b>\</b>
I	ISSUED FOR FINAL APPROVAL			AW	2022.02.16	6	
	ISSUED FOR PRELIMINARY APPROVAL			AW	2022.02.03	3	Ň
	- SANITARY LINE    DOWNSPOUTS - STORM WATER LINE    - WINDOWS PERMITTED	4			D SURFACE DCATION	FF TFW	FINISHED FLOOR TOP OF FOUNDATION WALL
	- WATERLINE 45 MINUTE FIRE RATED WALL - HYDRO LINE SIDEYARD DISTANCE IS LESS	UPGR	UPGR	ADE ELE	VATION	BF UF	
	- GAS LINE THAN 1.2m TO LOT LINE. (NO WINDOWS PERMITTED)	_x_		LINK FEI		WOD	WALKOUT DECK WALKOUT BASEMENT
_	- CABLE LINE		FENCE	AND GA	ATE.	MOD	MODIFIED

**▼** EXTERIOR DOOR LOCATION

EXTERIOR DOOR LOCATION IF GRADE PERMITS

FENCE AND GATE

PRIVACY FENCE

ACOUSTIC FENCE

REV REVERSED

Lot / Page Number

61

SITING AND GRADING PLAN

HUNT DESIGN ASSOCIATES INC.

QUALIFICATION INFORMATION Allan Whiting 23177 DESIGN ASSOCIATES INC.

19695

ENGINEERED FILL LOTS

STREET TREE

RETAINING WALL

DOUBLE / SINGL STM & SAN CONN

**GOLDPARK HOMES - 221081** PINE VALLEY PH2 - VAUGHAN, ON

--- BELL

-- STM -

AW AW 1:250 221081WSP01 8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

TERRAVISTA CRESCENT

A HYDRO TRANSFORMER — SAN

PADMOUNTED MOTOR

\_\_\_\_\_\_\_\_\_\_\_\_\_\_\_\_\_\_\_\_EXISTING GRADES

190.10 PROPOSED GRADES

2.0% SWALE DIRECTION

EMBANKMENT / BERM