



[illegible]

I, the undersigned, as the planner's complete responsibility, to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning regulations and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (selling) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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**JOHN G. WILLIAMS LTD., ARCHITECT**  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY: \_\_\_\_\_  
DATE: AUG 04, 2022

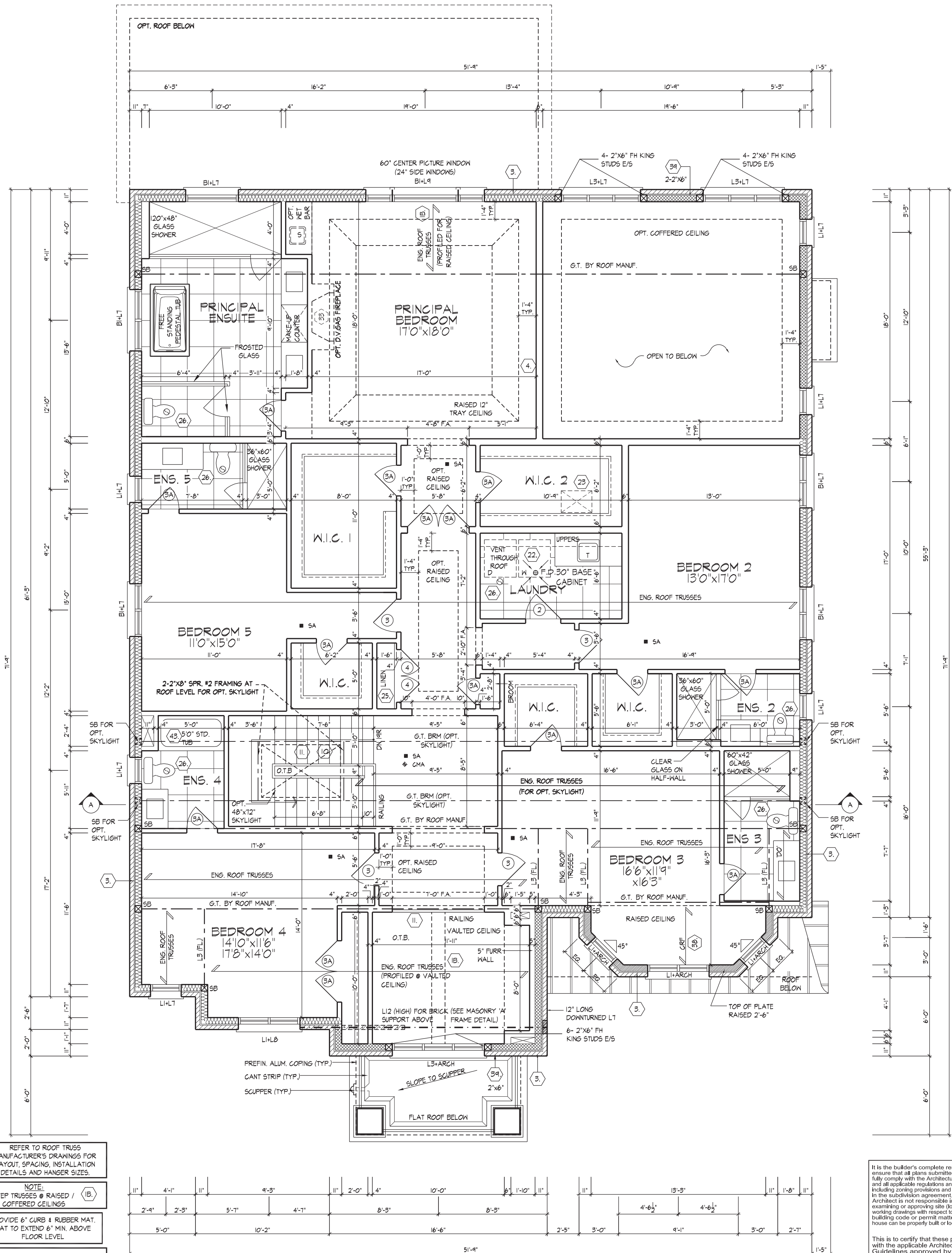
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FOR STRUCTURAL ONLY. EXCLUDING  
ENGINEERED ROOF TRUSS, FLOOR  
JOIST, AND FLOOR LVL BEAM DESIGN.



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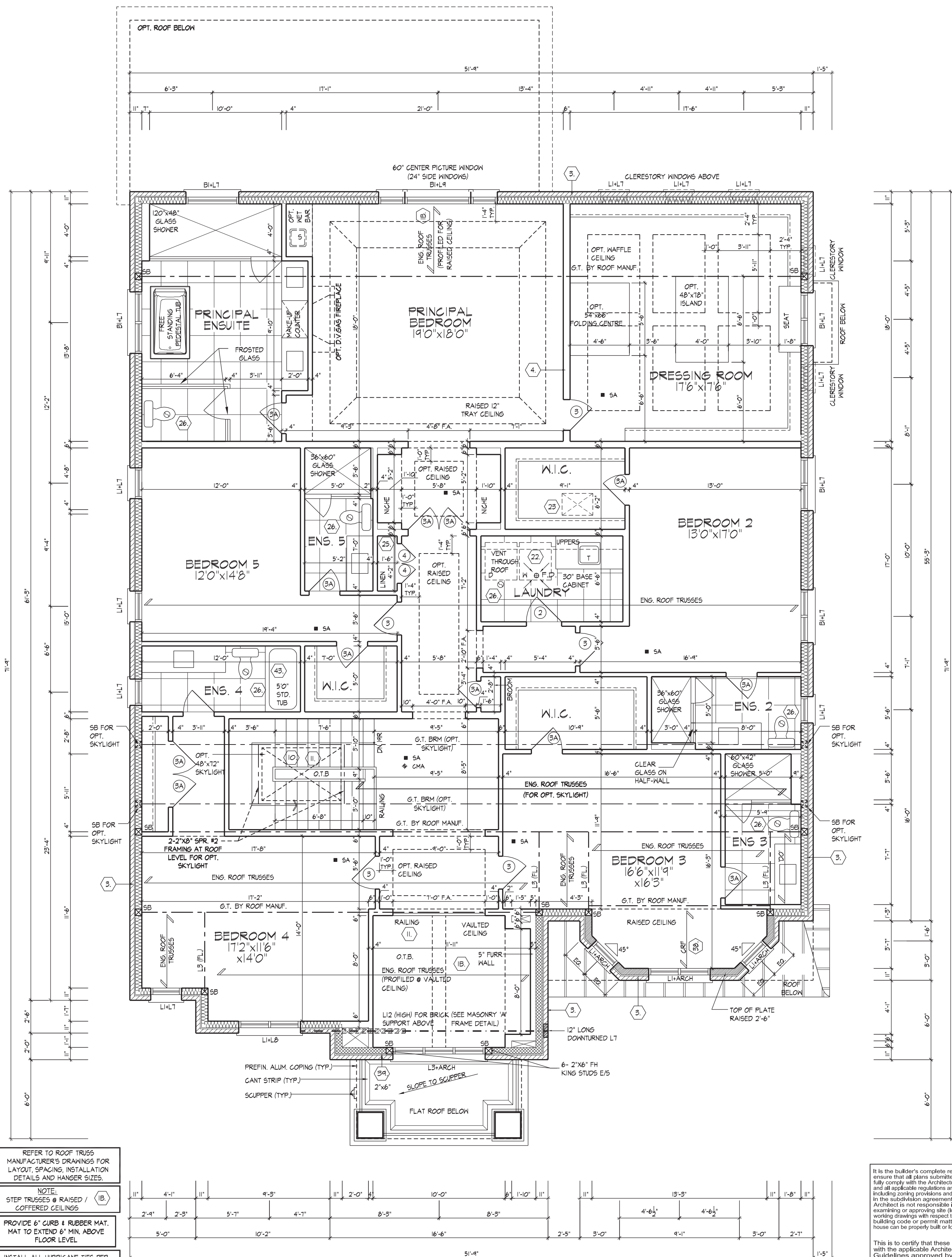
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INSTALL ALL HURRICANE TIES PER  
ROOF MANUFACTURER C/W S5T  
L5TA30 AT 6' C/C. BETWEEN 2F &  
IF AND S5T M5TAM24 AT 6' C/C.  
BETWEEN IF AND FDN WALL FOR  
ALL EXTERIOR WALLS UNO.

PARTIAL OPT. SECOND FLOOR PLAN W/ ELEVATOR, EL.'A'

(ELEVATION 'B' & 'C' SIMILAR)

PARTIAL SECOND FLOOR PLAN W/ ELEVATOR, EL.'A'

(ELEVATION 'B' & 'C' SIMILAR)

PARTIAL GROUND FLOOR PLAN W/ ELEVATOR, EL.'A'

(ELEVATION 'B' & 'C' SIMILAR)

PARTIAL BASEMENT PLAN W/ ELEVATOR, EL.'A'

(ELEVATION 'B' & 'C' SIMILAR)

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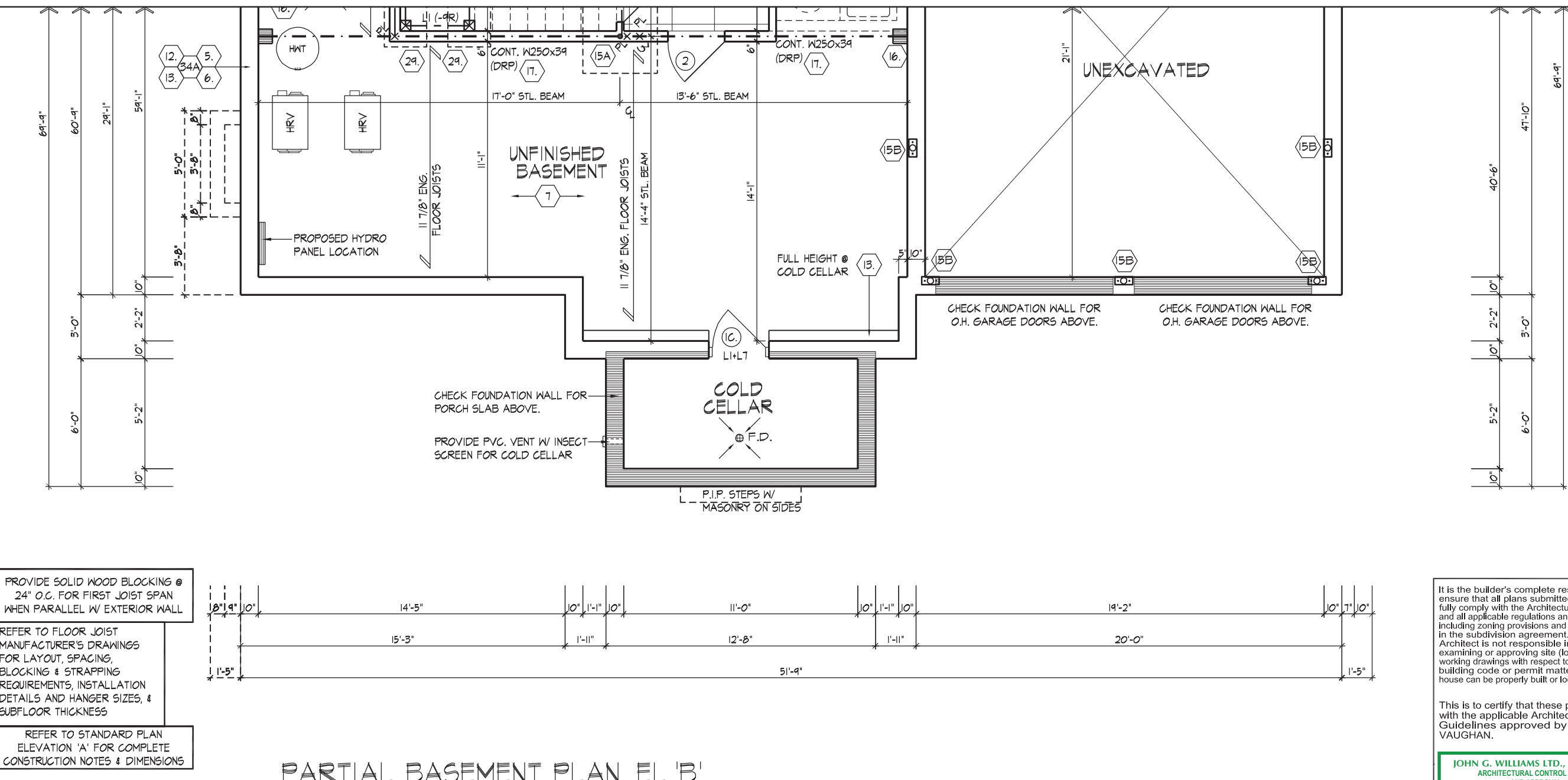
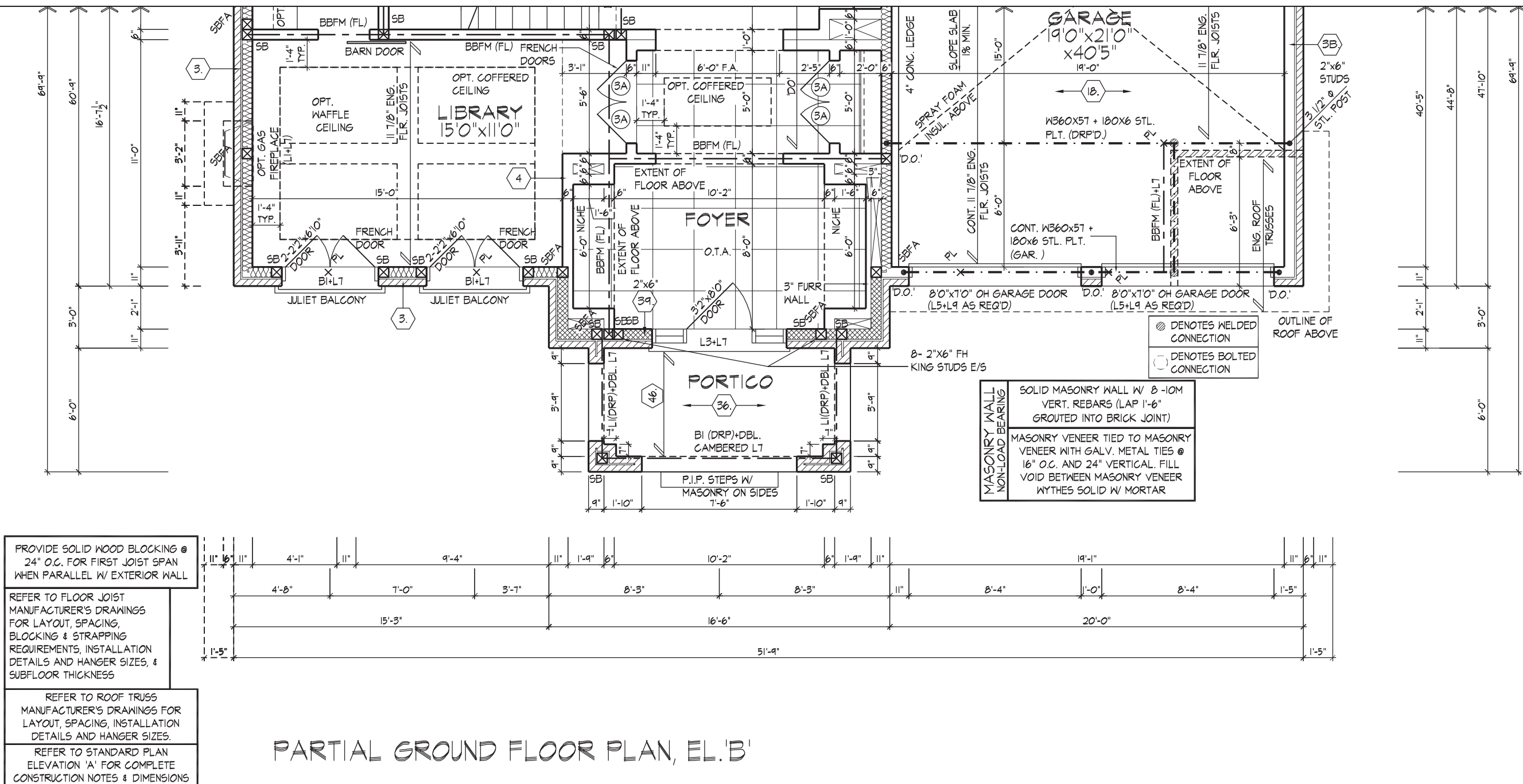
JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL  
APPROVED BY: [Signature]  
DATE: AUG 04, 2022  
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101 COMMERCE VALLEY DR. W.  
THORNHILL, ONTARIO CANADA L3T 0A1  
TEL: 1-905-882-4211 FAX: 1-905-822-0055 WWW.WSPGROUP.CA

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JOIST, AND FLOOR LVL BEAM DESIGN.



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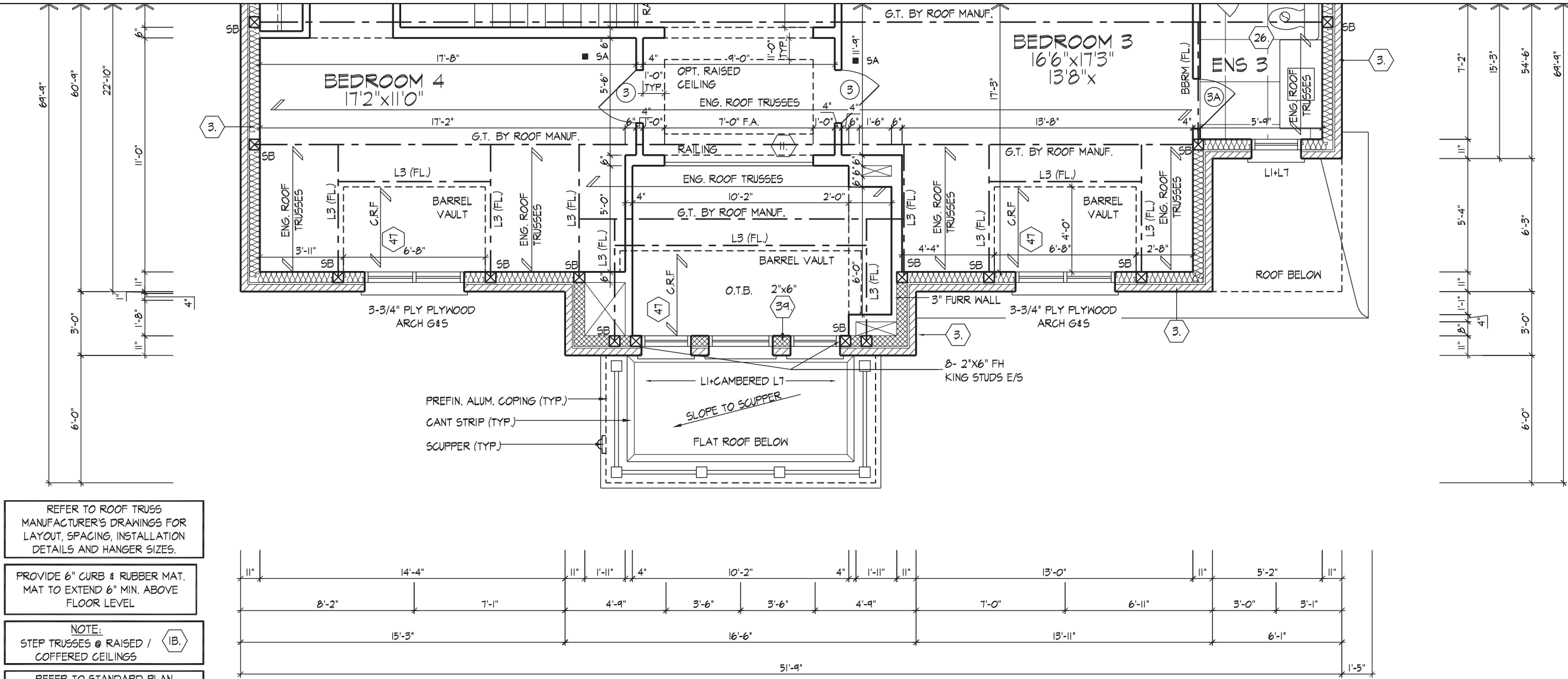
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JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL  
APPROVED BY: [Signature]  
DATE: AUG 04, 2022  
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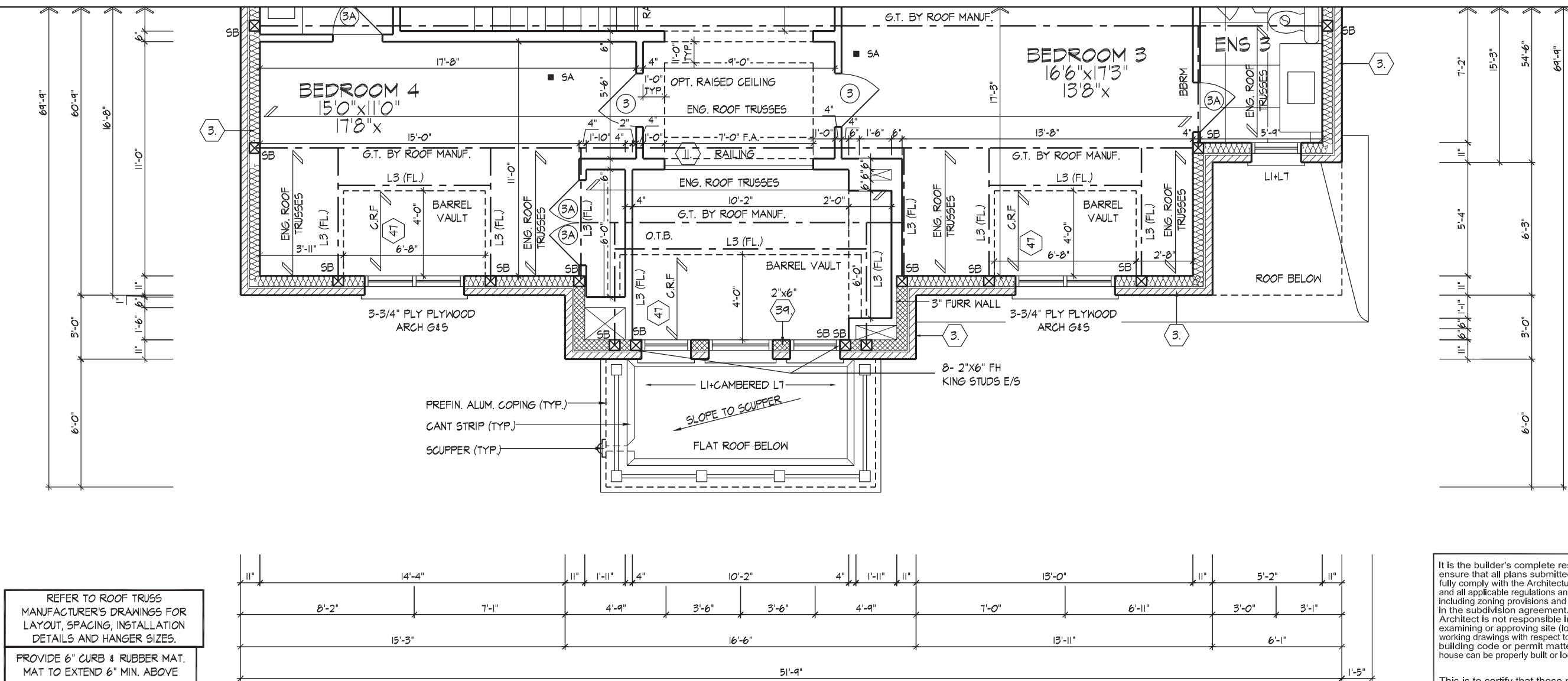


101 COMMERCE VALLEY BLVD. W.  
THORNHILL, ONTARIO CANADA L3T 0A1  
TEL: 1-905-882-4211 FAX: 1-905-822-0055 WWW.WSPGROUP.CA

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PARTIAL OPT. SECOND FLOOR PLAN, EL. 'B'



PARTIAL SECOND FLOOR PLAN, EL. 'B'

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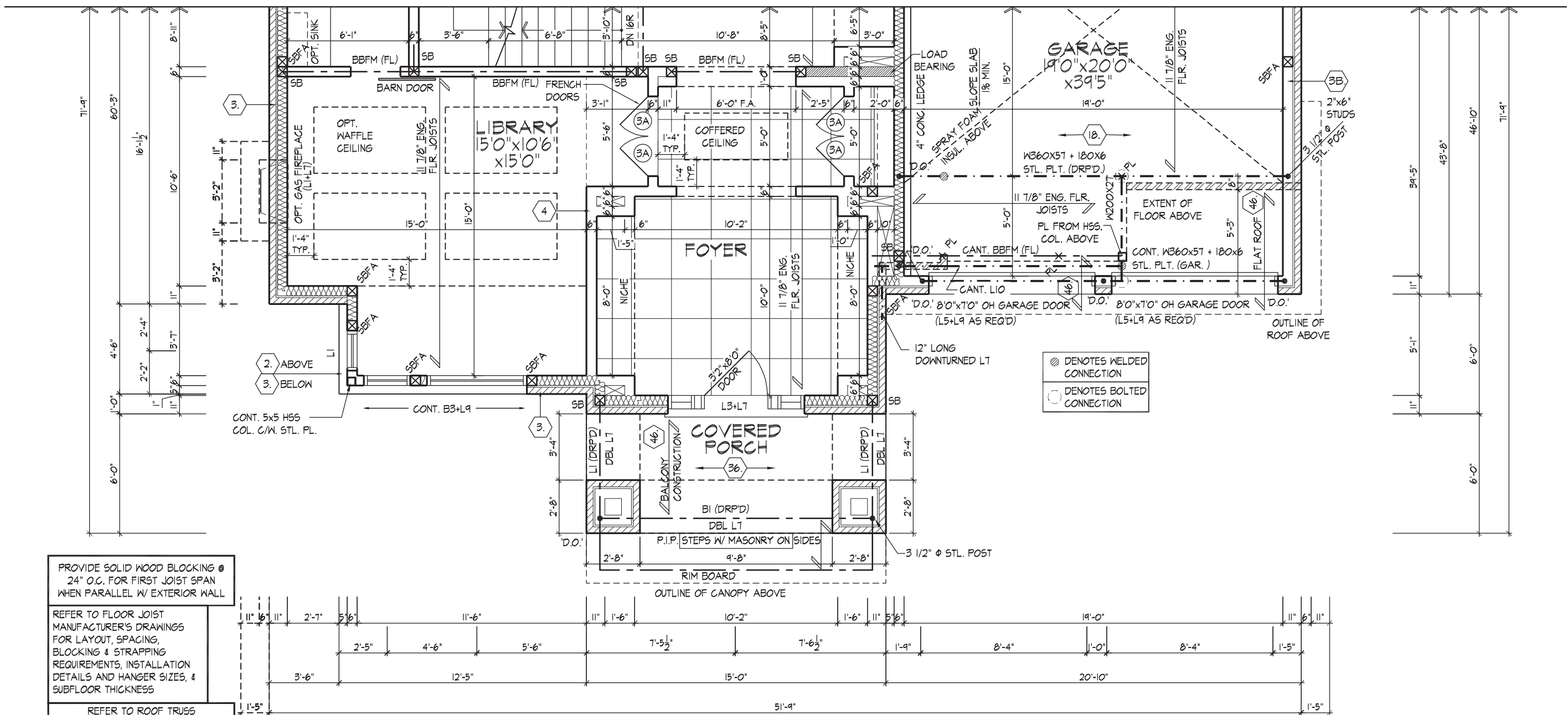
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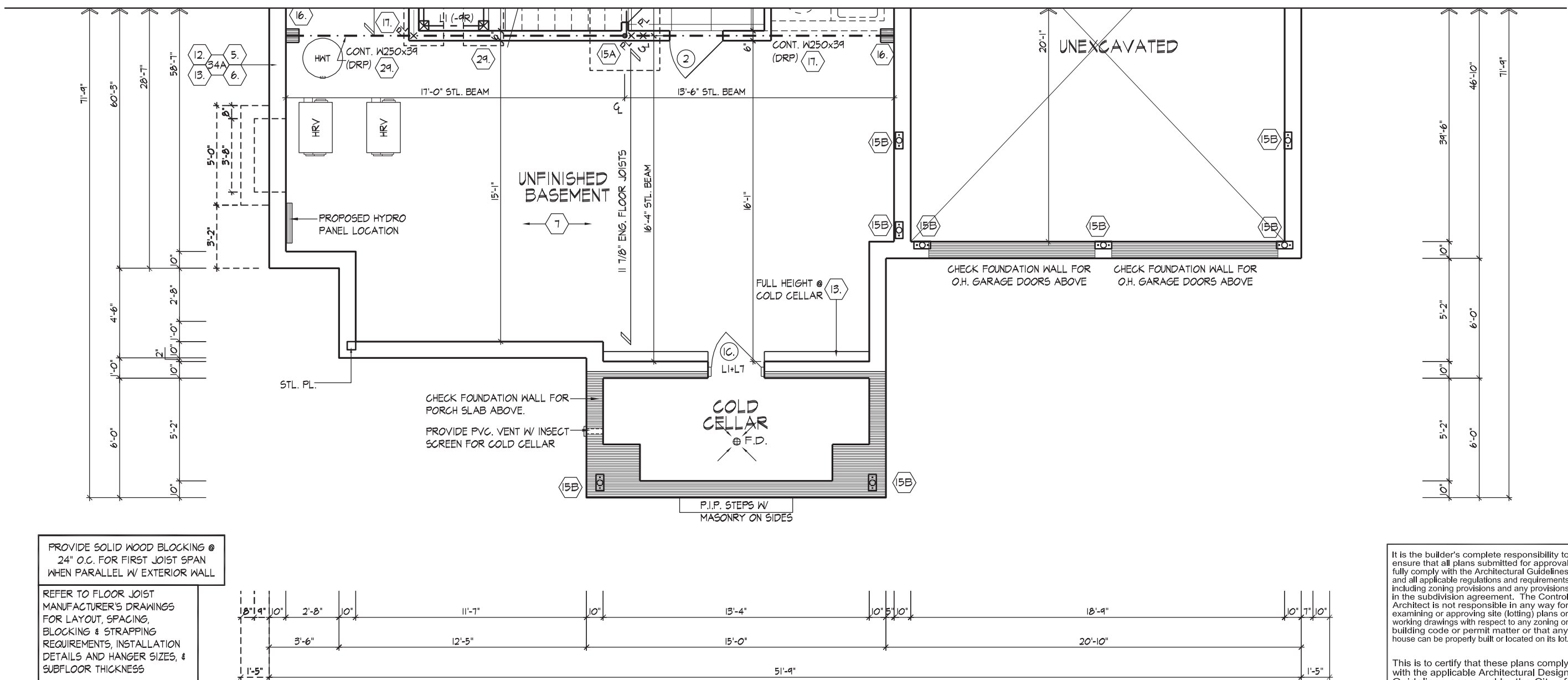


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PARTIAL GROUND FLOOR PLAN, EL. 'C'



PARTIAL BASEMENT PLAN, EL. 'C'

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APPROVED BY: [Signature]  
DATE: AUG 05, 2022

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**SECOND FLOOR PLAN**

**ROOMS AND DIMENSIONS:**

- BEDROOM 3:** 16'6" x 14'7" (12'0" x 11'0" flat roof)
- BEDROOM 4:** 17'1" x 15'0" (13'7" x 10'6" flat roof)
- BATH:** 5'6" x 7'6"
- BALCONY:** 10'2" x 6'0" (flat roof)

**FEATURES AND DETAILS:**

- Roofing:** Eng. roof trusses, flat roof, raised ceiling, 10'-2" top of plate door, 10'-2" long downturned LT.
- Windows:** 12' long downturned LT, 10'-2" top of plate door, 10'-2" long downturned LT.
- Doors:** 10'-2" top of plate door, 10'-2" long downturned LT.
- Structural:** G.T. by roof manuf., 12' long downturned LT, 10'-2" top of plate door, 10'-2" long downturned LT.
- Scupper:** 10'-2" top of plate door, 10'-2" long downturned LT.
- Notes:** REFER TO ROOF TRUSS MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, INSTALLATION DETAILS AND HANGER SIZES. PROVIDE 6" CURB & RUBBER MAT. MAT TO EXTEND 6" MIN. ABOVE FLOOR LEVEL. NOTE: STEP TRUSSES @ RAISED / (B).

Architectural floor plan of a house with three bedrooms, a bathroom, and a balcony. The plan includes detailed dimensions for rooms and overall sections, as well as notes on roof trusses, ceiling types, and structural requirements like hurricane ties.

**Rooms and Dimensions:**

- BEDROOM 3:** 66" x 147" / 20' x 11'0"
- BEDROOM 4:** 147" x 106" / 12'8" x 8'10"
- BEDROOM 5:** 11'8" x 11'0"
- BATH:** 5'4" x 7'0"
- BALCONY:** 10'2" x 4'8"

**Notes and Details:**

- REFER TO ROOF TRUSS MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, INSTALLATION DETAILS AND HANGER SIZES.
- NOTE: STEP TRUSSES @ RAISED / COFFERED CEILING
- PROVIDE 6" CURB & RUBBER MAT. MAT TO EXTEND 6" MIN. ABOVE FLOOR LEVEL
- INSTALL ALL HURRICANE TIES PER ROOF MANUFACTURER C/M SST LSTA30 AT 6' C/C. BETWEEN 2F & IF AND SST MSTM24 AT 6' C/C. BETWEEN IF AND FDN WALL FOR ALL EXTERIOR WALLS UNO.

<p>REFER TO ROOF TRUSS MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, INSTALLATION DETAILS AND HANGER SIZES.</p>
<p>NOTE: STEP TRUSSES @ RAISED / COFFERED CEILINGS</p>
<p>PROVIDE 6" CURB &amp; RUBBER MAT. MAT TO EXTEND 6" MIN. ABOVE FLOOR LEVEL</p>
<p>REFER TO STANDARD PLAN ELEVATION 'A' FOR COMPLETE CONSTRUCTION NOTES &amp; DIMENSIONS</p>

INSTALL ALL HURRICANE TIES PER  
ROOF MANUFACTURER C/W SST  
LSTA30 AT 6' C/C. BETWEEN 2F &  
IF AND SST MSTAM24 AT 6' C/C.  
BETWEEN IF AND FDN WALL FOR  
ALL EXTERIOR WALLS U.N.O.

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DATE: AUG 04, 2022

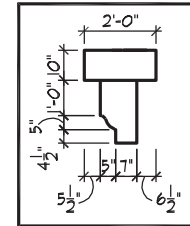
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ROOF OVERHANGS TO BE 15'  
UNLESS NOTED OTHERWISE



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[www.huntdesign.ca](http://www.huntdesign.ca)

**FRONT ELEVATION 'A'**  
**GOLDPARK HOMES - 221081 THE QUEENSLAND-UNIT 6001**  
 PINE VALLEY-PHASE2, VAUGHAN ONT. REV.2022.08.02

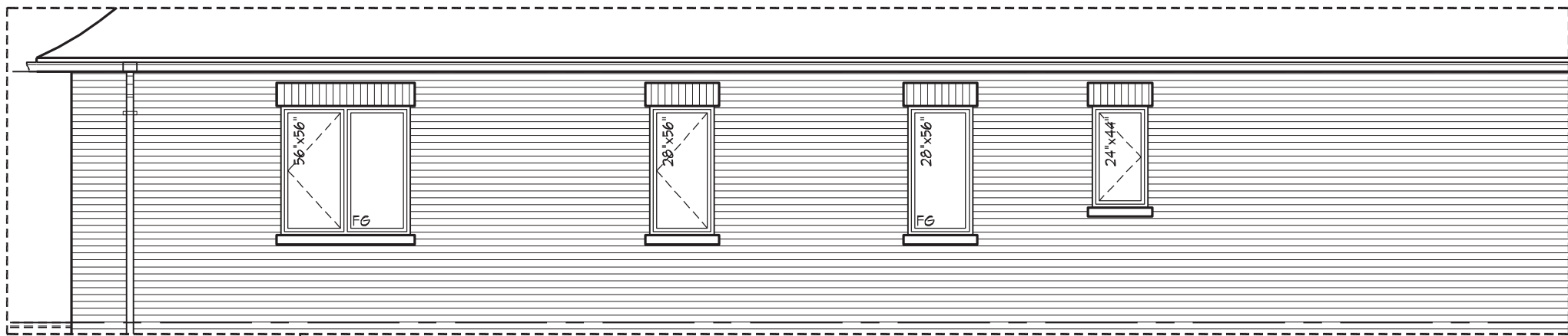
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BY	AW	3/16"=1'-0"	221081WS6001	11 of 22

8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

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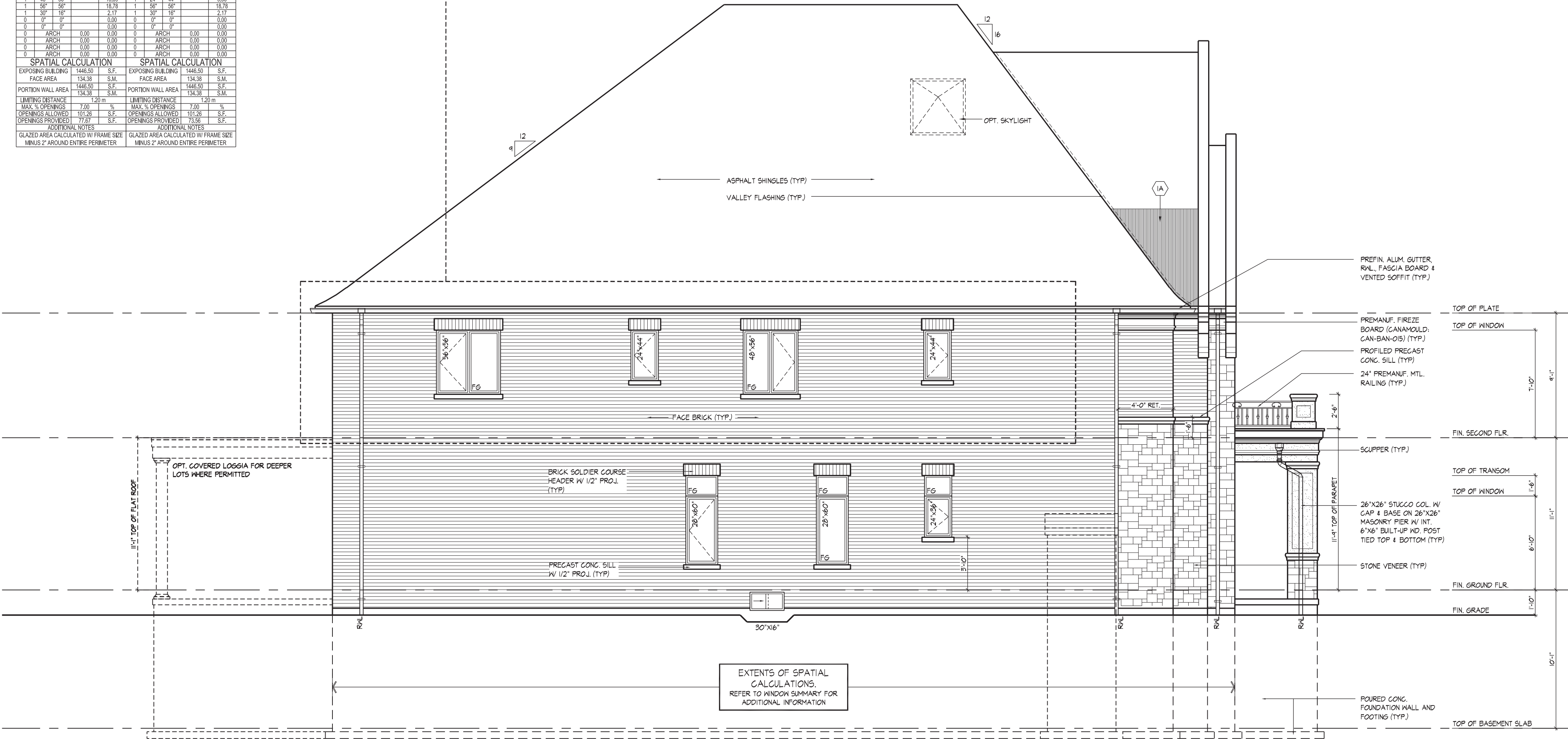
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APPROVED BY:   
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WINDOW SUMMARY				WINDOW SUMMARY			
PER O.B.C. TABLE 9.10.15.4				PER O.B.C. TABLE 9.10.15.4			
LEFT SIDE ELEVATION A				OPT. LEFT SIDE ELEVATION A			
QUAL.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	QUAL.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)
2	28"	60"	18.67	2	28"	60"	18.67
2	28"	18"	4.67	2	28"	18"	4.67
1	24"	36"	4.44	1	24"	36"	4.44
1	24"	18"	1.94	1	24"	18"	1.94
2	24"	44"	11.11	2	28"	56"	17.33
1	48"	56"	15.89	1	24"	44"	5.56
1	60"	56"	18.75	1	56"	56"	18.75
1	30"	16"	2.17	1	30"	16"	2.17
0	0"	0"	0.00	0	0"	0"	0.00
0	0"	0"	0.00	0	0"	0"	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
SPATIAL CALCULATION				SPATIAL CALCULATION			
EXPOSING BUILDING	1446.50	S.F.		EXPOSING BUILDING	1446.50	S.F.	
FACE AREA	134.38	S.M.		FACE AREA	134.38	S.M.	
PORTION WALL AREA	134.38	S.F.		PORTION WALL AREA	134.38	S.F.	
LIMITING DISTANCE	1.20	m		LIMITING DISTANCE	1.20	m	
MAX. % OPENINGS	7.00	%		MAX. % OPENINGS	7.00	%	
OPENINGS ALLOWED	101.28	S.F.		OPENINGS ALLOWED	101.28	S.F.	
OPENINGS PROVIDED	77.67	S.F.		OPENINGS PROVIDED	73.56	S.F.	
ADDITIONAL NOTES				ADDITIONAL NOTES			
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER				GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER			



PART. LEFT SIDE ELEVATION 'A' FOR OPT. SECOND FLOOR

REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFORMATION  
ROOF OVERHANGS TO BE 15' UNLESS NOTED OTHERWISE



LEFT SIDE ELEVATION 'A'

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.  
QUALIFICATION INFORMATION  
Albin Whiting  
SIGNATURE  
REGISTRATION INFORMATION  
HUNT DESIGN ASSOCIATES INC.  
19995

23177

BCIN

19995

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DESIGN ASSOCIATES INC.  
www.huntdesign.ca


**LEFT SIDE ELEVATION 'A'**  
**GOLDPARK HOMES - 221081 THE QUEENSLAND-UNIT 6001**  
PINE VALLEY-PHASE2, VAUGHAN ONT.  
REV.2022.08.02  
Down By: BY  
Checked By: AW  
Scale: 3/16"=1'-0"  
File Number: 221081WS6001  
Page Number: 12 of 22

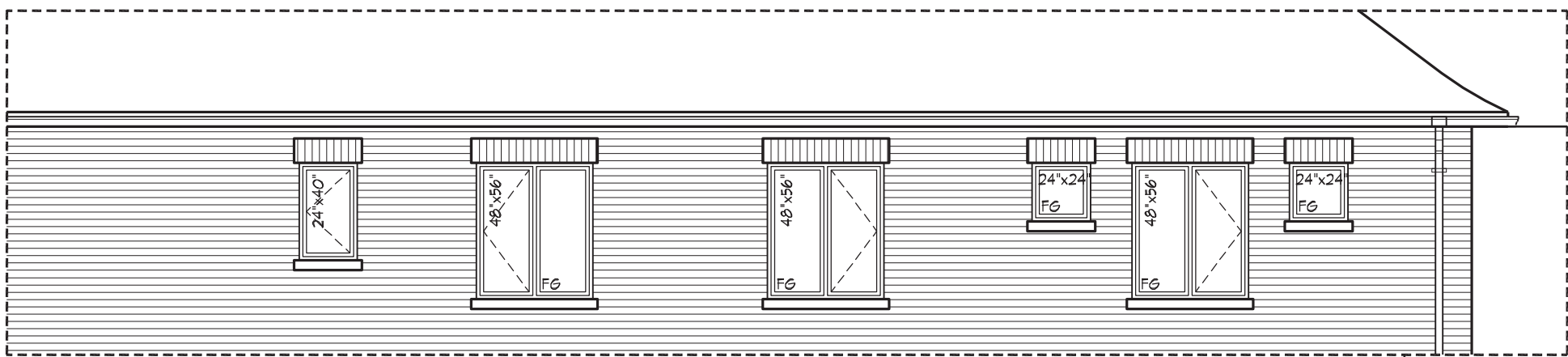
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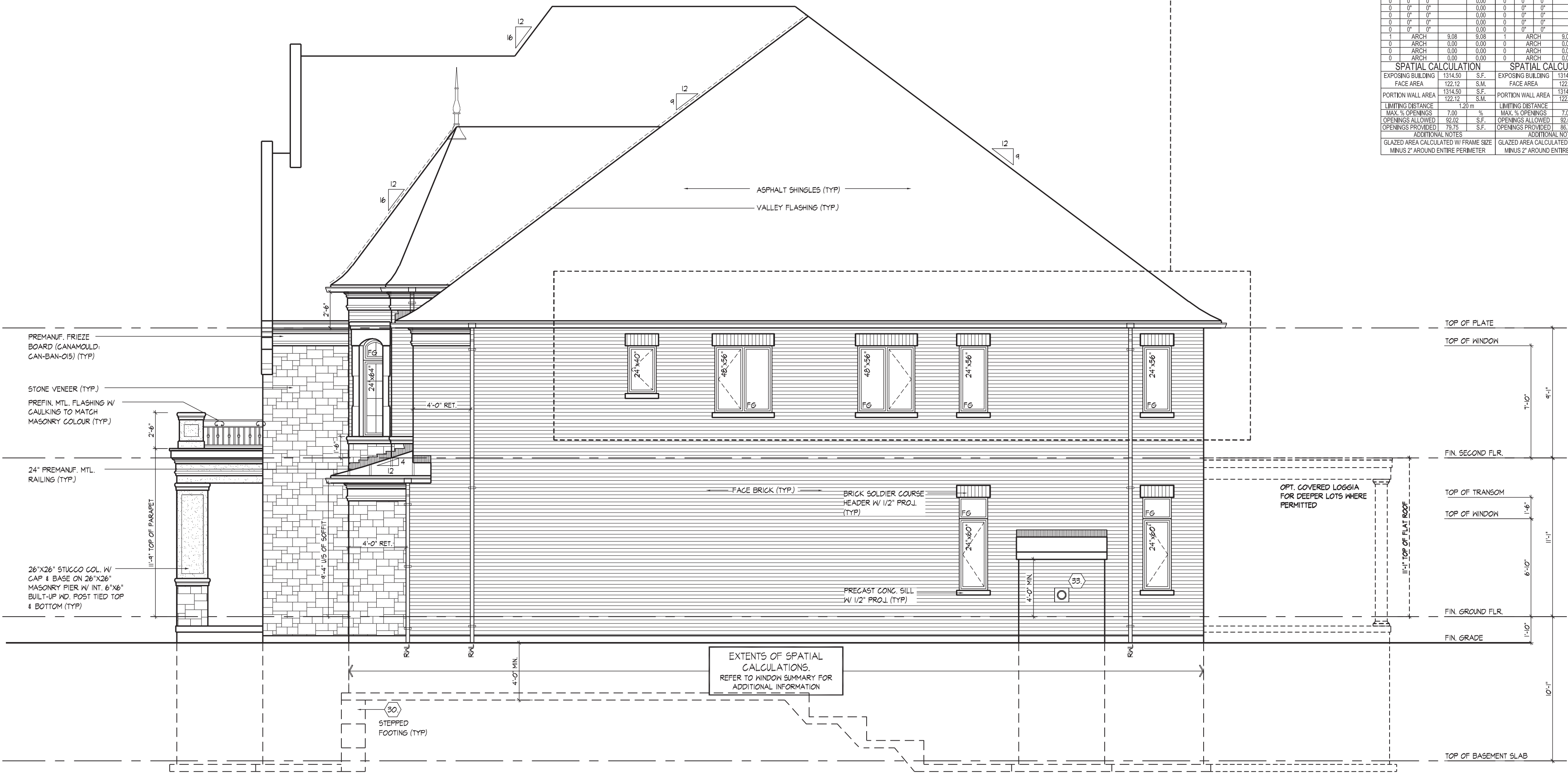
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ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL  
APPROVED BY:   
DATE: AUG 04, 2022  
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PART. RIGHT SIDE ELEVATION 'A' FOR OPT. SECOND FLOOR

REFER TO FRONT  
ELEVATION FOR TYPICAL  
NOTES & INFORMATION  
ROOF OVERHANGS TO BE 15"  
UNLESS NOTED OTHERWISE

WINDOW SUMMARY				WINDOW SUMMARY			
PER O.B.C. TABLE 9.10.15.4				PER O.B.C. TABLE 9.10.15.4			
RIGHT SIDE ELEVATION A				OPT. RIGHT SIDE ELEVATION A			
QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)
1	24"	40"	5.00	1	24"	40"	5.00
2	48"	56"	31.78	3	48"	56"	47.67
2	24"	56"	14.44	2	24"	24"	5.56
2	24"	60"	15.56	2	24"	60"	15.56
2	24"	18"	3.89	2	24"	18"	3.89
0	0"	0"	0.00	0	0"	0"	0.00
0	0"	0"	0.00	0	0"	0"	0.00
0	0"	0"	0.00	0	0"	0"	0.00
0	0"	0"	0.00	0	0"	0"	0.00
0	0"	0"	0.00	0	0"	0"	0.00
1	ARCH	9.08	9.08	1	ARCH	9.08	9.08
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
SPATIAL CALCULATION				SPATIAL CALCULATION			
EXPOSING BUILDING	1314.50	S.F.	EXPOSING BUILDING	1314.50	S.F.	EXPOSING BUILDING	1314.50
FACE AREA	122.12	S.M.	FACE AREA	122.12	S.M.	FACE AREA	122.12
PORTION WALL AREA	1314.50	S.F.	PORTION WALL AREA	1314.50	S.F.	PORTION WALL AREA	1314.50
PORTION WALL AREA	122.12	S.M.	PORTION WALL AREA	122.12	S.M.	PORTION WALL AREA	122.12
LIMITING DISTANCE	1.20 m		LIMITING DISTANCE	1.20 m		LIMITING DISTANCE	1.20 m
MAX. % OPENINGS	7.00	%	MAX. % OPENINGS	7.00	%	MAX. % OPENINGS	7.00
OPENINGS ALLOWED	92.02	S.F.	OPENINGS ALLOWED	92.02	S.F.	OPENINGS ALLOWED	92.02
OPENINGS PROVIDED	79.75	S.F.	OPENINGS PROVIDED	86.75	S.F.	OPENINGS PROVIDED	86.75
ADDITIONAL NOTES				ADDITIONAL NOTES			
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER				GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER			



RIGHT SIDE ELEVATION 'A'

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION  
Albin Whiting  
REGISTRATION INFORMATION  
HUNT DESIGN ASSOCIATES INC.  
19995

SIGNATURE  
BCIN  
23177

DATE  
3/16/21

SCALE  
3/16"=1'-0"

PROJECT  
GOLDPARK HOMES - 221081

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RIGHT SIDE ELEVATION 'A'

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PINE VALLEY-PHASE2, VAUGHAN ONT. REV.2022.08.02


Drawn By: AW Checked By: AW Scale: 3/16"=1'-0" File Number: 221081WS6001 Page Number: 13 of 22

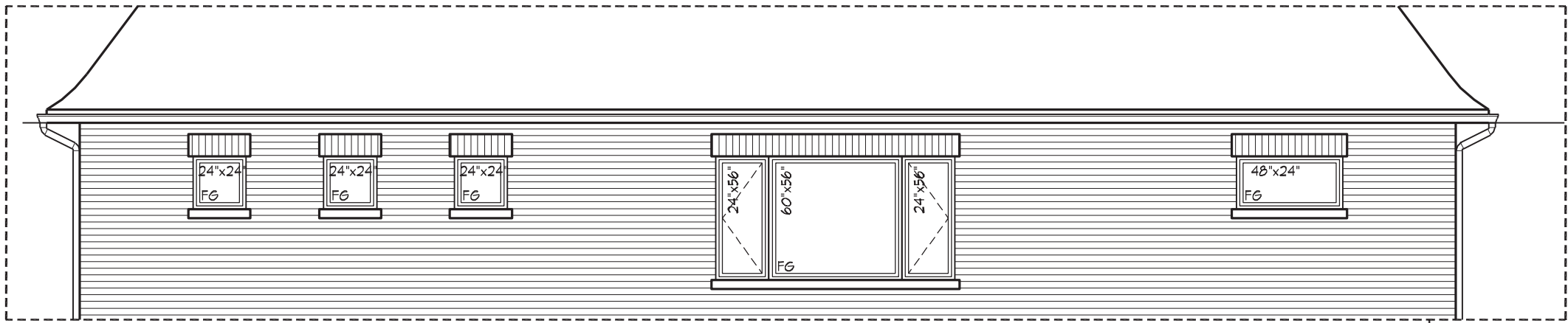
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DATE: AUG 04, 2022  
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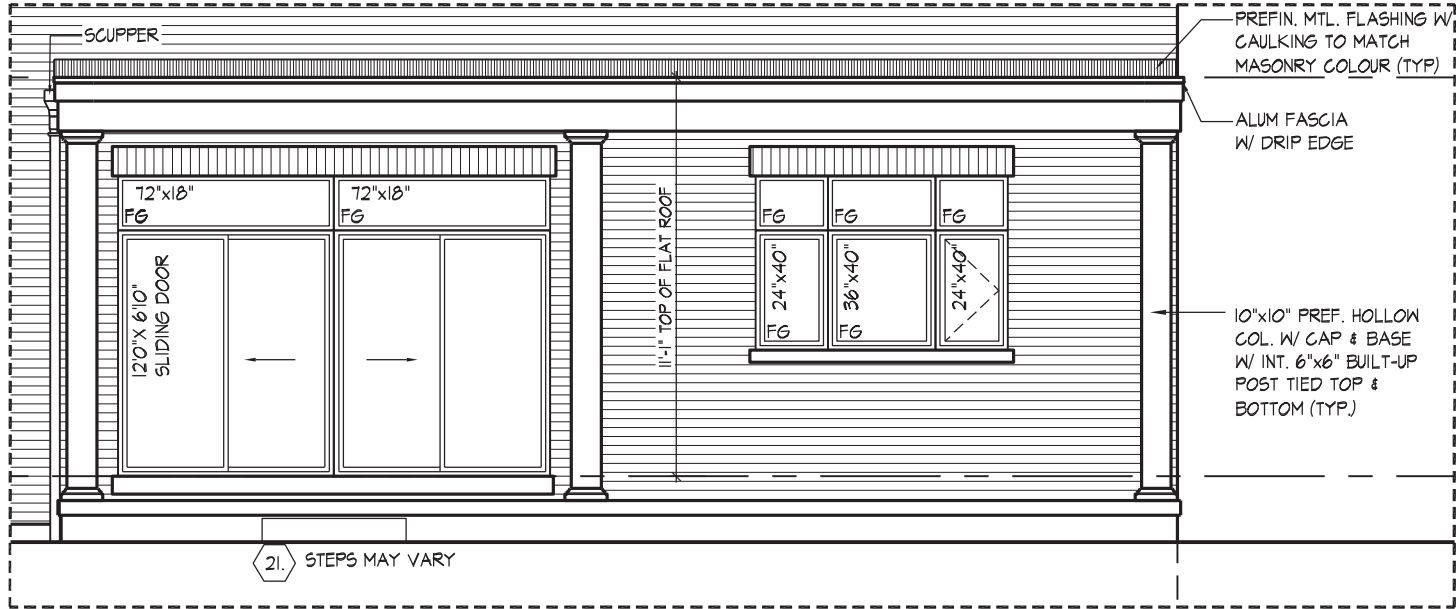


WINDOW SUMMARY				
PER O.B.C. TABLE 8.10.15.4				
REAR ELEVATION A, B & C				
QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	
3	24"	56"	48.11	
2	24"	56"	14.44	
1	60"	56"	20.22	
1	48"	24"	6.11	
2	72"	60"	52.89	
4	72"	18"	26.44	
1	144"	82"	75.83	
1	84"	56"	30.00	
2	30"	16"	4.33	
0	0"	0"	0.00	
0	ARCH.	0.00	0.00	
0	ARCH.	0.00	0.00	
0	ARCH.	0.00	0.00	
0	ARCH.	0.00	0.00	
SPATIAL CALCULATION				
EXPOSING BUILDING	1138.50	S.F.		
FACE AREA	105.77	S.M.		
PORTION WALL AREA	1138.50	S.F.		
	105.77	S.M.		
LIMITING DISTANCE	8.00 m			
MAX. % OPENINGS	28.00	%		
OPENINGS ALLOWED	318.78	S.F.		
OPENINGS PROVIDED	279.38	S.F.		
ADDITIONAL NOTES				
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER				

WINDOW SUMMARY				
PER O.B.C. TABLE 8.10.15.4				
OPT. REAR ELEVATION A, B & C				
QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	
3	24"	56"	8.33	
2	24"	56"	14.44	
1	60"	56"	20.22	
1	48"	24"	6.11	
2	72"	60"	52.89	
4	72"	18"	26.44	
1	144"	82"	75.83	
1	84"	56"	30.00	
2	30"	16"	4.33	
0	0"	0"	0.00	
0	ARCH.	0.00	0.00	
0	ARCH.	0.00	0.00	
0	ARCH.	0.00	0.00	
0	ARCH.	0.00	0.00	
SPATIAL CALCULATION				
EXPOSING BUILDING	1138.50	S.F.		
FACE AREA	105.77	S.M.		
PORTION WALL AREA	1138.50	S.F.		
	105.77	S.M.		
LIMITING DISTANCE	8.00 m			
MAX. % OPENINGS	28.00	%		
OPENINGS ALLOWED	318.78	S.F.		
OPENINGS PROVIDED	238.51	S.F.		
ADDITIONAL NOTES				
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER				

REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFORMATION

ROOF OVERHANGS TO BE 15" UNLESS NOTED OTHERWISE




PART. REAR ELEVATION 'A', 'B', & 'C' W/ COVERED LOGGIA



REAR ELEVATION 'A', 'B' & 'C'

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION

Albin Whiting  23177

NAME SIGNATURE BCIN

REGISTRATION INFORMATION

HUNT DESIGN ASSOCIATES INC. 19895

**HUNT** 

DESIGN ASSOCIATES INC.

www.huntdesign.ca

**GOLDPARK HOMES - 221081**

PINE VALLEY-PHASE2, VAUGHAN ONT.

Drawn By: BY

Checked By: AW

Scale: 3/16"=1'-0"

8966 Woodbine Ave, Markham, ON L3R 0J7

T 905.737.5133 F 905.737.7326

**REAR ELEVATION 'A', 'B' & 'C'**

**THE QUEENSLAND-UNIT 6001**


REV.2022.08.02

File Number: 221081WS6001

Page Number: 14 of 22



**JOHN G. WILLIAMS LTD., ARCHITECT**  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY:   
DATE: AUG 04, 2022


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professional responsibility.



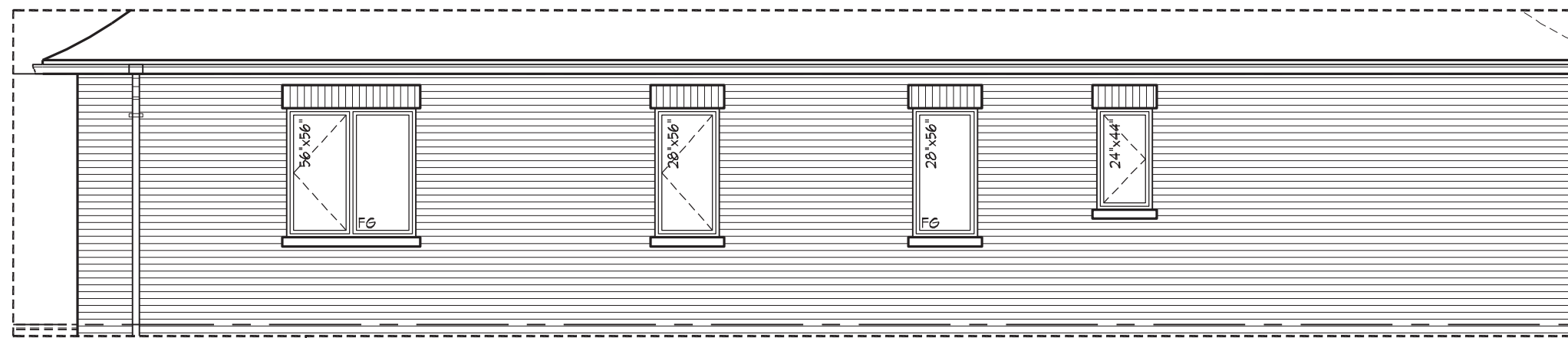
ROOF PLAN, EL.'B'  
N.T.S



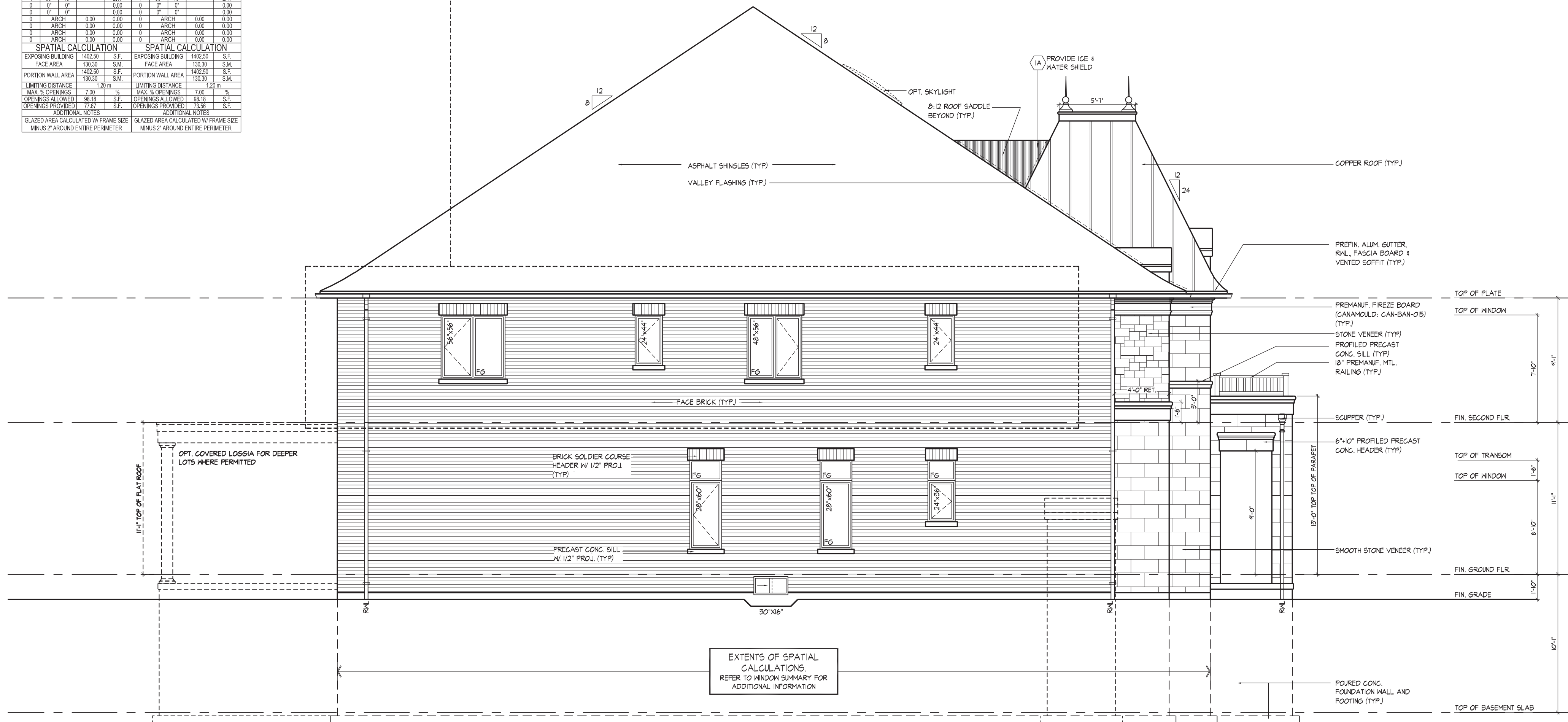
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Contractor is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot. This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL  
APPROVED BY:   
DATE: AUG 01, 2022  
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WINDOW SUMMARY					WINDOW SUMMARY				
PER O.B.C. TABLE 9.10.15.4					PER O.B.C. TABLE 9.10.15.4				
LEFT SIDE ELEVATION B					OPT. LEFT SIDE ELEVATION B				
QUAL.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)		QUAL.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	
2	28"	60"	18.67		2	28"	60"	18.67	
2	28"	18"	4.67		2	28"	18"	4.67	
1	24"	36"	4.44		1	24"	36"	4.44	
1	24"	18"	1.94		1	24"	18"	1.94	
2	24"	44"	11.11		2	28"	56"	17.33	
1	48"	56"	15.89		1	24"	44"	5.56	
1	60"	60"	18.75		1	60"	60"	18.75	
1	30"	16"	2.17		1	30"	16"	2.17	
0	0"	0"	0.00		0	0"	0"	0.00	
0	0"	0"	0.00		0	0"	0"	0.00	
0	ARCH	0.00	0.00		0	ARCH	0.00	0.00	
0	ARCH	0.00	0.00		0	ARCH	0.00	0.00	
0	ARCH	0.00	0.00		0	ARCH	0.00	0.00	
0	ARCH	0.00	0.00		0	ARCH	0.00	0.00	
SPATIAL CALCULATION					SPATIAL CALCULATION				
EXPOSING BUILDING	1402.50	S.F.			EXPOSING BUILDING	1402.50	S.F.		
FACE AREA	130.30	S.M.			FACE AREA	130.30	S.M.		
PORTION WALL AREA	1402.50	S.F.			PORTION WALL AREA	1402.50	S.F.		
	130.30	S.M.				130.30	S.M.		
LIMITING DISTANCE	1.20	m			LIMITING DISTANCE	1.20	m		
MAX. % OPENINGS	7.00	%			MAX. % OPENINGS	7.00	%		
OPENINGS ALLOWED	98.18	S.F.			OPENINGS ALLOWED	98.18	S.F.		
OPENINGS PROVIDED	77.67	S.F.			OPENINGS PROVIDED	73.56	S.F.		
ADDITIONAL NOTES					ADDITIONAL NOTES				
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER					GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER				



PART. LEFT SIDE ELEVATION 'B' FOR OPT. SECOND FLOOR



LEFT SIDE ELEVATION 'B'

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.  
QUALIFICATION INFORMATION  
Alban Whiting  
SIGNATURE  
BCIN  
23177  
HUNT DESIGN ASSOCIATES INC.  
19095

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DESIGN ASSOCIATES INC.  
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**GOLDPARK HOMES - 221081 THE QUEENSLAND-UNIT 6001**  
PINE VALLEY-PHASE2, VAUGHAN ONT.  
REV.2022.08.02  
Down By: AW  
Scale: 3/16"=1'-0"  
8966 Woodbine Ave, Markham, ON L3R 0J7  
T 905.737.5133 F 905.737.7326  
File Number: 221081WS6001  
Page Number: 16 of 22

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ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY: \_\_\_\_\_  
DATE: AUG 04, 2022

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ROOF OVERHANGS TO BE 15"  
UNLESS NOTED OTHERWISE

WINDOW SUMMARY					WINDOW SUMMARY				
PER O.C. TABLE 9.10.13.4					PER O.C. TABLE 9.10.13.4				
RIGHT SIDE, ELEVATION B					OPT RIGHT SIDE, ELEVATION B				
Q	U	W	W	D	Q	U	W	W	D
		HEIGHT	FRAME SIZE	FRAME SIZE			HEIGHT	FRAME SIZE	FRAME SIZE
1	24"	40"	5.00	24"	40"	5.00			
2	48"	56"	31.78	3	48"	56"	47.67		
3	24"	56"	14.44	2	24"	56"	5.56		
4	24"	0"	0.00	2	24"	0"	16.67		
5	24"	18"	3.89	2	24"	18"	3.89		
6	0"	0"	0.00	0	0"	0"	0.00		
7	0"	0"	0.00	0	0"	0"	0.00		
8	0"	0"	0.00	0	0"	0"	0.00		
9	0"	0"	0.00	0	0"	0"	0.00		
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00		
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00		
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00		
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00		
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00		
SPATIAL CALCULATION					SPATIAL CALCULATION				
EXPOSING BUILDING					EXPOSING BUILDING				
FACE AREA					FACE AREA				
PORTION WALL AREA					PORTION WALL AREA				
LIMITING DISTANCE					LIMITING DISTANCE				
MAX. % OPENINGS					MAX. % OPENINGS				
OPENINGS ALLIED					OPENINGS ALLIED				
OPENINGS PROVIDED					OPENINGS PROVIDED				
ADDITIONAL NOTES					ADDITIONAL NOTES				
GLAZED AREA CALCULATED W/ FRAME SIZE					GLAZED AREA CALCULATED W/ FRAME SIZE				
MINUS % AROUND ENTIRE PERIMETER					MINUS % AROUND ENTIRE PERIMETER				



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**RIGHT SIDE ELEVATION 'B'**

**GOLDPARK HOMES - 221081 THE QUEENSLAND-UNIT 6001**

**PINE VALLEY-PHASE2, VAUGHAN ONT.** **REV.2022.08.02**

Drawn By	Checked By	Scale	File Number	Page Number
BY	AW	3/16"=1'-0"	221081WS6001	17 of 22

8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY:   
DATE: AUG 04, 2022

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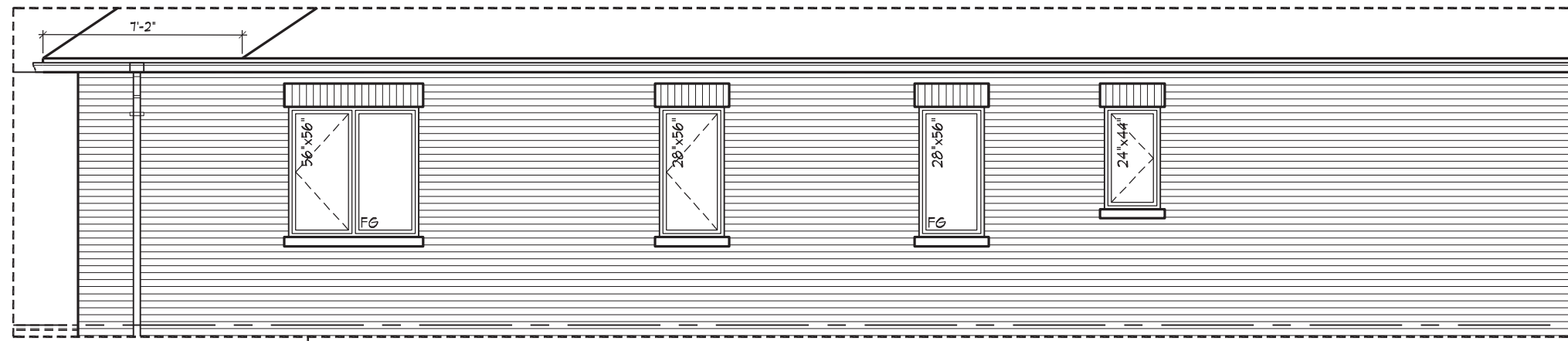
DRAWN BY		CHECKED BY	SCALE	FILE NUMBER	PAGE NUMBER
BY		AW	3/16" = 1'-0"	221081WS6001	18 OF 22



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot. This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

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ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL  
APPROVED BY:   
DATE: AUG 04, 2022  
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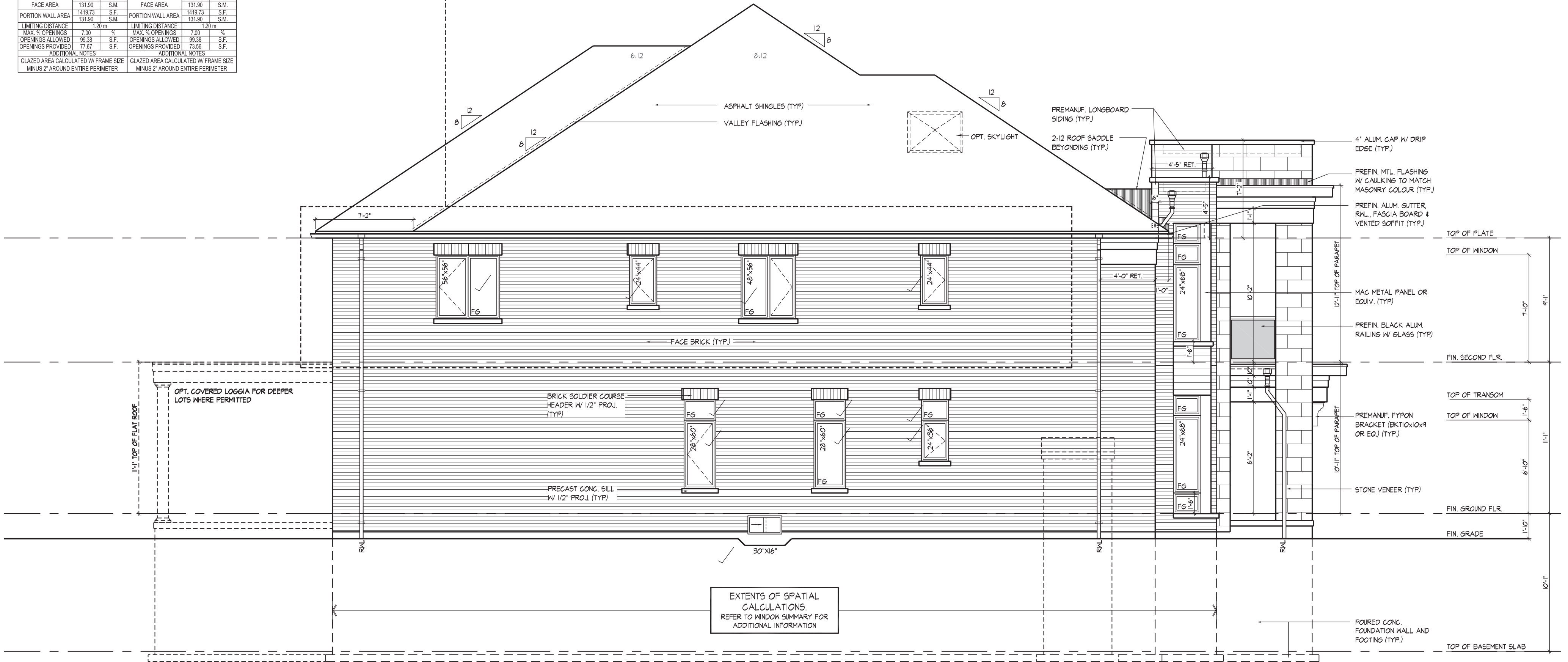
WINDOW SUMMARY				WINDOW SUMMARY			
PER O.B.C. TABLE 9.10.15.4				PER O.B.C. TABLE 9.10.15.4			
LEFT SIDE ELEVATION C				OPT. LEFT SIDE ELEVATION C			
QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)
2	28"	60"	18.67	2	28"	60"	18.67
2	28"	18"	4.67	2	28"	18"	4.67
1	24"	36"	4.44	1	24"	36"	4.44
1	24"	18"	1.94	1	24"	18"	1.94
2	24"	44"	11.11	2	28"	56"	17.33
1	48"	56"	15.89	1	24"	44"	5.56
1	60"	60"	18.75	1	60"	60"	18.75
1	30"	16"	2.17	1	30"	16"	2.17
0	0"	0"	0.00	0	0"	0"	0.00
0	0"	0"	0.00	0	0"	0"	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
SPATIAL CALCULATION				SPATIAL CALCULATION			
EXPOSING BUILDING	1419.73	S.F.	EXPOSING BUILDING	1419.73	S.F.	EXPOSING BUILDING	1419.73
FACE AREA	131.90	S.M.	FACE AREA	131.90	S.M.	FACE AREA	131.90
PORTION WALL AREA	1419.73	S.F.	PORTION WALL AREA	1419.73	S.F.	PORTION WALL AREA	1419.73
PORTION WALL AREA	131.90	S.M.	PORTION WALL AREA	131.90	S.M.	PORTION WALL AREA	131.90
LIMITING DISTANCE	1.20	m	LIMITING DISTANCE	1.20	m	LIMITING DISTANCE	1.20
MAX. % OPENINGS	7.00	%	MAX. % OPENINGS	7.00	%	MAX. % OPENINGS	7.00
OPENINGS ALLOWED	99.38	S.F.	OPENINGS ALLOWED	99.38	S.F.	OPENINGS ALLOWED	99.38
OPENINGS PROVIDED	77.67	S.F.	OPENINGS PROVIDED	73.56	S.F.	OPENINGS PROVIDED	73.56
ADDITIONAL NOTES				ADDITIONAL NOTES			
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER				GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER			



PART. LEFT SIDE ELEVATION 'C' FOR OPT. SECOND FLOOR

REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFORMATION

ROOF OVERHANGS TO BE 15' UNLESS NOTED OTHERWISE



LEFT SIDE ELEVATION 'C'

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION

Albin Whiting  23177

NAME: SIGNATURE: BCIN: 23177

REGISTRATION INFORMATION

HUNT DESIGN ASSOCIATES INC. 19695

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**LEFT SIDE ELEVATION 'C'**  
**GOLDPARK HOMES - 221081 THE QUEENSLAND-UNIT 6001**  
PINE VALLEY-PHASE2, VAUGHAN ONT. REV.2022.08.02

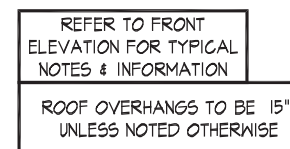
Drawn By: **BY** Scale: **3/16"=1'-0"** File Number: **221081WS6001** Page Number: **19** of **22**

Checked By: **AW** 8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

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AND APPROVAL

APPROVED BY:   
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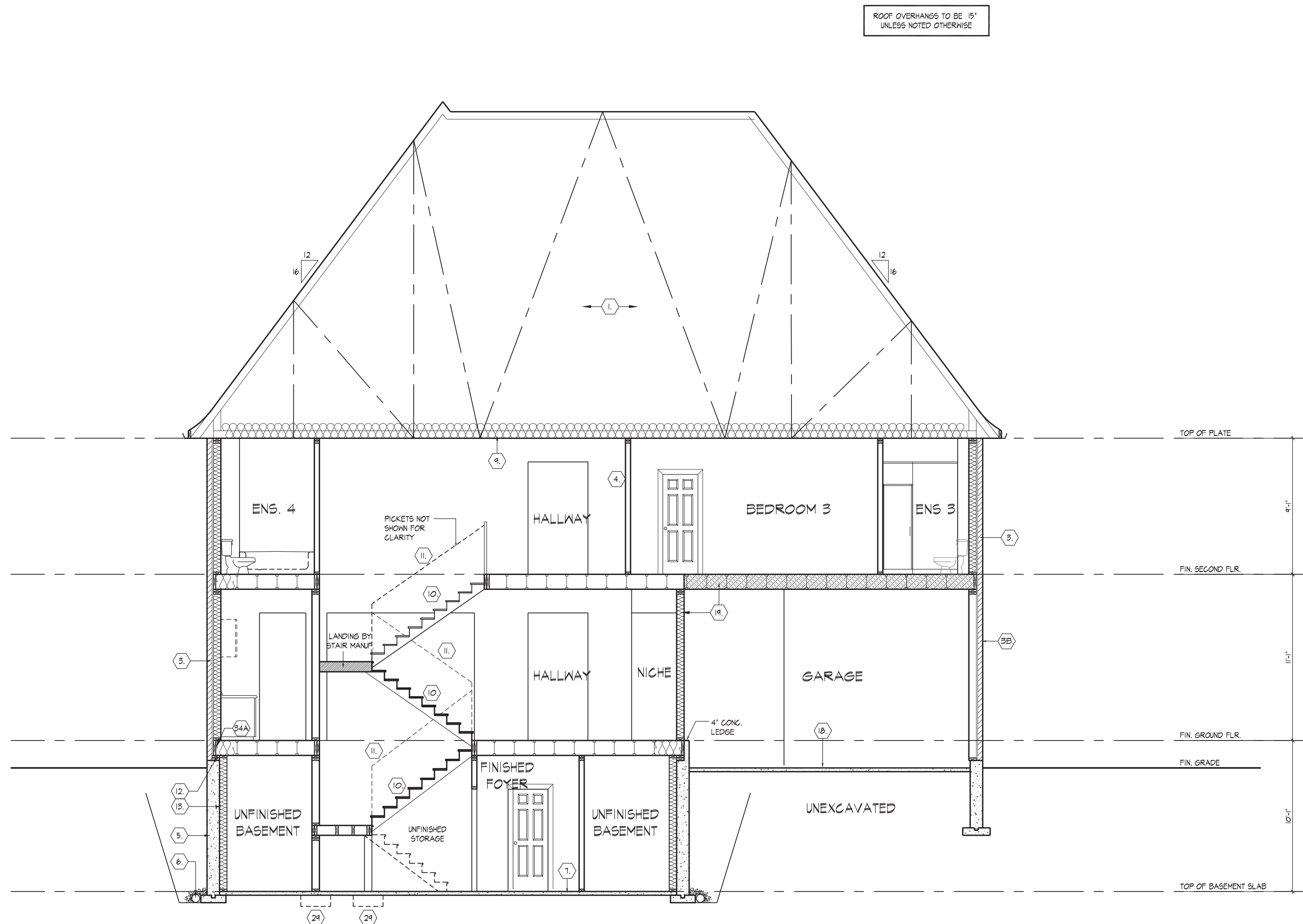
WINDOW SUMMARY					WINDOW SUMMARY				
PER O.B.C. TABLE 9.10.15.4					PER O.B.C. TABLE 9.10.15.4				
RIGHT SIDE ELEVATION					OPT. RIGHT SIDE ELEVATION				
QUANTITY	UNIT	WINDOW FRAME SIZE (F.S.)	WINDOW DOOR FRAME SIZE (F.S.)	WINDY FLOOR	QUANTITY	UNIT	WINDOW FRAME SIZE (F.S.)	WINDOW DOOR FRAME SIZE (F.S.)	WINDY FLOOR
2	24"	40"	50"	5.00	3	24"	40"	50"	5.00
2	48"	56"	31.78	3	48"	56"	31.78	47.8	3
2	24"	56"	14.44	2	24"	24"	56"	0.00	5.00
2	24"	60"	15.50	2	24"	60"	15.50	0.00	5.00
3	24"	18"	5.83	5	24"	18"	5.83	0.00	5.00
2	24"	66"	8.89	1	24"	66"	8.88	0.00	5.00
0	0"	0"	0.00	0	0"	0"	0.00	0.00	0.00
0	0"	0"	0.00	0	0"	0"	0.00	0.00	0.00
0	0"	0"	0.00	0	0"	0"	0.00	0.00	0.00
0	0"	0"	0.00	0	0"	0"	0.00	0.00	0.00
0	0"	0"	0.00	0	0"	0"	0.00	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00	0.00	0.00
<b>SPATIAL CALCULATION</b>					<b>SPATIAL CALCULATION</b>				
EXPOSING BUILDING		1314.50	S.F.		EXPOSING BUILDING		1314.50	S.F.	
FACE AREA		122.12	S.F.		FACE AREA		122.12	S.F.	
PORTION WALL AREA		1314.50	S.F.		PORTION WALL AREA		1314.50	S.F.	
PORTION WALL AREA		122.12	S.F.		PORTION WALL AREA		122.12	S.F.	
LIMITING DISTANCE		1.20m			LIMITING DISTANCE		1.20m		
MAX. % OPENINGS		7.00	%		MAX. % OPENINGS		7.00	%	
OPENINGS PROVIDED		92.02	S.F.		OPENINGS PROVIDED		92.02	S.F.	
OPENINGS PROVIDED		81.50	S.F.		OPENINGS PROVIDED		81.50	S.F.	
ADDITIONAL NOTES					ADDITIONAL NOTES				
GLAZED AREA CALCULATED W/ FRAME SIZE AS 4" AROUND ENTIRE PERIMETER					GLAZED AREA CALCULATED W/ FRAME SIZE AS 4" AROUND ENTIRE PERIMETER				



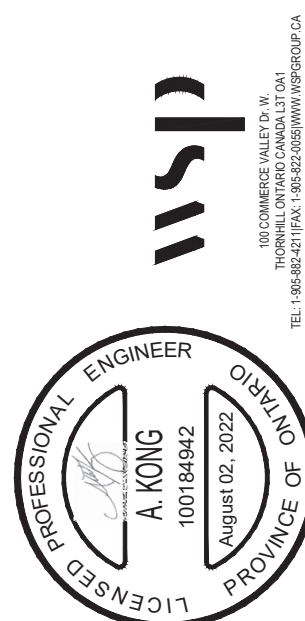
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GOLDPARK HOMES - 221081		RIGHT SIDE ELEVATION 'C'	
PINE VALLEY-PHASE2, VAUGHAN ONT.		THE QUEENSLAND-UNIT 6001	
Drawn By	Checked By	Scale	File Number
BY	AW	3/16"=1'-0"	221081WS6001
8966 Woodbine Ave, Markham, ON L3R 0J7	T 905.737.5133	P 905.737.7326	20 of 22





CROSS SECTION 'A-A'



FOR STRUCTURAL ONLY. EXCLUDING  
ENGINEERED ROOF TRUSS, FLOOR  
JOIST, AND FLOOR LVL BEAM DESIGN.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS  
THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING  
CODE TO BE A DESIGNER.  
QUALIFICATION INFORMATION  
Albin Whiting  
SIGNATURE  
BCIN  
23177  
HUNT DESIGN ASSOCIATES INC.  
19995

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DESIGN ASSOCIATES INC.  
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**GOLDPARK HOMES - 221081 THE QUEENSLAND-UNIT 6001**  
PINE VALLEY-PHASE2, VAUGHAN ONT.  
REV.2022.08.02  
Drawn By: BY  
Checked By: AW  
Scale: 3/16"=1'-0"  
File Number: 221081WS6001  
Page Number: 21 of 22  
8966 Woodbine Ave, Markham, ON L3R 0J7  
T 905.737.5133 F 905.737.7326

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[illegible]

5A

**FOUNDATION REDUCTION IN THICKNESS FOR MASONRY**

WHERE THE TOP OF THE FOUNDATION WALL IS REDUCED IN THICKNESS TO PERMIT THE INSTALLATION OF MASONRY EXTERIOR FACING, THE REDUCED SECTION SHALL BE NOT LESS THAN 3 1/2" (90) THICK. THE BRICK VENEER SHALL BE TIED TO THE FOUNDATION WALL WITH CORROSION RESISTANT METAL TIES @ 24" MAX VERTICAL AND 24" MAX HORIZONTAL. FILL VOID WITH MORTAR BETWEEN WALL AND BRICK VENEER @ (91.5,47.2)(9) & (92.0,3.4) (9)

5B

**FOUNDATION REDUCTION IN THICKNESS FOR JOISTS**

WHERE THE TOP OF THE FOUNDATION WALL IS REDUCED IN THICKNESS TO PERMIT THE INSTALLATION OF FLOOR JOISTS, THE REDUCED SECTION SHALL BE NOT MORE THAN 13 3/4" (350) HIGH AND NOT LESS THAN 3 1/2" (90) THICK (91.5,47.7)(1)

6

**WEAVING TILE** (91.4,3)

4" (100) O WEEPING TILE W/ FILTER CLOTH WRAP & 8" (152) CRUSHED STONE COVER

7

**BASEMENT SLAB OR SLAB ON GRADE** (91.6,4) (91.3)

3" (80) MIN. 25MPa (3600psi) CONC. SLAB ON 4" (100) COARSE GRANULAR FILL OR 2" (50) (2500psi) FILL. PROVIDE DAMPPROOFING BELOW SLAB. PROVIDE 1/2" (12.7) IMPERVIOUS BARRIER FOR BOND BREAK AT EDGE, WHERE A BASEMENT SLAB IS WITHIN 24" (610) OF THE EXTERIOR GRADE PROVIDE RIGID INSUL. AROUND THE PERIMETER EXTENDING MIN. 31 1/2" (800) BELOW GRADE. FOR SLAB ON GRADE CONSTRUCTION, THE INSULATION SHALL BE APPLIED TO THE UNDERSIDE OF THE ENTIRE SLAB, (1SB-12) (3.1,47.5) & (6)

8

**EXPOSED FLOOR TO EXTERIOR** (91.0,11.70) & CANULC-(570,52)

PROVIDE SPRAY FOAM INSULATION BETWEEN CNT. JOIST AND INSTALL OSB CONFORMING TO 929.9, FIN. SLOPE OR CLADDING AS PER ELEVATION TO U/S OF EXPOSED CNT. JOIST.

9

**EXPOSED CEILING TO EXTERIOR W/ ATTIC** (92.5,24)

INSULATION: 6 mil POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM BOARD EXTERIOR FINISH OR APPROVED E.C.

**EXPOSED CEILING TO EXTERIOR W/O ATTIC**

JOISTS/TRUSSES AS PER PLANS W/ 2"x2" (38x38) PURLINS @ 16" (400) O.C. PROVIDE 1/2" (12.7) INSULATION NOT DEC. W/ SPRAY FOAM OR RAMP TRUSSES W/ INSULATION BETWEEN JOIST. 6 mil POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM BOARD INT. FINISH OR APPROVED E.C. (CANULC-570.52, 9.19.1, 9.10.17,10)

10

**ALL STAIRS/ EXTERIOR STAIRS** (9.8.1.2, 9.9.2, 9.8.5, 9.8.6)

	MAX. REIN. TOP	MIN. REIN. TOP	MAX. REIN. TOP	MIN. REIN. TOP	ALL STAIRS
CONCRETE	1" (25.4) MIN.	1" (25.4) MIN.	1" (25.4) MIN.	1" (25.4) MIN.	
STEEL	1" (25.4) MIN.	1" (25.4) MIN.	1" (25.4) MIN.	1" (25.4) MIN.	
CONCRETE	2" (50.8) MIN.	2" (50.8) MIN.	2" (50.8) MIN.	2" (50.8) MIN.	
STEEL	2" (50.8) MIN.	2" (50.8) MIN.	2" (50.8) MIN.	2" (50.8) MIN.	

AVERAGE RUN OF TAPERED TREED MEASURED AT A POINT 300mm FROM THE CENTERLINE OF HIGH SIDE HORIZONTAL (9.8.4,3)

HEIGHT OVER STAIRS -HEADROOM IS MEASURED VERTICALLY ACROSS WIDTH OF STAIRS FROM A STRAIGHT LINE TO THE TREAD & LANDING NOISE TO LOWEST POINT ABOVE AND NOT LESS THAN 6'-6" (1960) FOR SINGLE DWELLING UNIT & 6'-8 3/4" (2050) FOR EVERYTHING ELSE. (9.8.2,2)

**REQUIRED LANDING & GEARING - O.C.B.C. 9.8.2,8.1,3**

FOR AN EXTERIOR STAIR SERVING A GARAGE, W/ MORE THAN 3 FLOORS, 11 GUARDS, HANDRAILS & STEPS AS PER CONSTRUCTION HEX NOTE 8.1 & 11.

11

**GUARDS/RAILINGS** (9.8.7, 9.8.8)

GUARDS TO BE DESIGNED NOT TO FACILITATE CLIMBING AND PROVIDING MAX. OPENING CONFORMING TO O.C.B.C. 9.8.8.5, 9.8.8.6. AND BE ABLE TO RESIST LOADS AS PER TABLE 9.8.8.2

**GRADE HEIGHTS - O.C.B.C. 9.8.8**

INTERIOR GUARDS: 2'-1" (508) MIN.

EXTERIOR GUARDS: 2'-11" (600) MIN. (LESS THAN 5'-11" (1800) TO GARAGE) 3'-0" (1070) MIN. (MORE THAN 5'-11" (1800) TO GARAGE)

GUARDS FOR EXIST STAIRS: 3'-6" (1070) MIN.

GUARDS FOR LANDING STAIRS: 3'-0" (1070) MIN.

GUARDS FOR FLOORS & RAMPS IN GARAGES (SERVICE STAIRS)

FLOOR OR RAMP W/O EXTERIOR WALLS THAT IS 2'-8 3/8" (660) OR MORE ABOVE ADJACENT SURFACE REQUIRES CONT. CURB MIN. 6" (150) HIGH AND GUARD MIN. 3'-6" (1070) HIGH.

**REQUIRED GUARDS**

BETWEEN WALKING SURFACE & ADJACENT SURFACE WITH A DIFFERENCE IN ELEVATION MORE THAN 23 5/8" (600) OR ADJACENT SURFACE WITHIN 3'-11" (1200) & WALKING SURFACE W/ A SLOPE MORE THAN 1 IN 12 SHALL BE PROTECTED WITH GUARDS PER CONSTRUCTION HEX NOTE 11.

**HANDRAIL HEIGHTS** (9.8.7, 9.8.8) CURBS ON GARAGE: 9.8.7.1,10

MIN. HEIGHT AT STAIRS, RAMPS AND LANDINGS: 2'-0" (605)

MAX. HEIGHT AT STAIRS, RAMP AND LANDING: 3'-6" (1070)

12

**SILL PLATES**

2"x4" (38x89) SILL PLATE WITH 1/2" (12.7) NAIL OR BOLTS @ 20" (500) LONG. EMBEDDED MIN. 4" (100) INTO CONG. @ 42" (1070) O.C. CAULKING OR GASKET BETWEEN PLATE AND TOP OF FOUNDATION. USE NON-SHRINK GROUT TO LEVEL SILL PLATE WHEN REQUIRED (9.23,7)

13

**BASEMENT INSULATION** (1SB-12) 3.11.1,7)

PROVIDE CONTINUOUS BLANKET INSULATION W/ BUILT IN 6 mil POLYETHYLENE VAPOUR BARRIER. INSULATION TO EXTEND NO MORE THAN 8" (200) ABOVE FINISHED BASEMENT FLOOR. INSULATION SHALL BE APPLIED TO WALLS BETWEEN THE FOUNDATION WALL AND INSULATION UP TO GRADE LEVEL.

14

**BEARING STUD PARTITION IN BASEMENT** (9.15.3.6, 9.23.10.1)

2"x4" (38x89) STUDS @ 16" (400) O.C. 2"x4" (38x89) SILL PLATE (2"x6" (38x140) AS REQUIRED) ON DAMPPROOFING MATERIAL OR 2 mil POLYETHYLENE FILM. L2" (12.7) O OR ANCHOR BOLTS @ 2000 LONG, EMBEDDED 4" (100) INTO CONG. @ 42" (1070) O.C. @ 42" (1070) O.C. CURBS ON CONG. FOOTING. FOR SEE REFER TO HEX NOTE 5, ADD HORIZ. BLOCKING AT MID-HEIGHT IF WALL IS UNFINISHED.

15

**ADJUSTABLE STEEL BASEMENT COLUMN** (91.5,3.4)

9'-10" (3000) MAX. SPAN BETWEEN COLUMNS, 3 1/2" (90) O SINGLE TUBE ADJUSTABLE STEEL COLUMN CONFORMING TO CANCSGS-7.2M. AND WITH 6"x6"x3/8" (152x152x5.8) STEEL PLATE TOP & BOTTOM, FIELD WELDED BASEMENT COLUMN CONNECTION. POURED CONCRETE FOOTING ON NATURAL UNDISTURBED SOIL OF 125kPa S.L.S. OR COMPACTED ENGINEERED FILL WITH MIN. BEARING CAPACITY OF 125kPa S.L.S. AS PER SLOPS REPORT.

SUPPORTING 2 STOREY FLR. LOAD PROVIDE 34"x42"x18" (870x870x104) CONC. FOOTING

SUPPORTING 3 STOREY FLR. LOAD PROVIDE 42"x42"x18" (1060x1060x49) CONC. FOOTING

15A

**NON-ADJUSTABLE STEEL BASEMENT COLUMN**

3 1/2" (90) O @ 10' (3000) L. NON-ADJUSTABLE STEEL COLUMN WITH 6"x6"x3/8" (152x152x5.8) STEEL PLATE TOP & BOTTOM, BOTTOM PLATE C/W 2 1/2"x9" (12" LONG) 2"x6" (38x140) AS REQUIRED. FIELD WELDED BASEMENT COLUMN CONNECTION, POURED CONCRETE FOOTING ON NATURAL UNDISTURBED SOIL OF 125kPa S.L.S. OR COMPACTED ENGINEERED FILL WITH MIN. BEARING CAPACITY OF 125kPa S.L.S. AS PER SLOPS REPORT.

SUPPORTING 2 STOREY FLR. LOAD PROVIDE 42"x42"x18" (1070x1070x49) CONC. FOOTING

SUPPORTING 3 STOREY FLR. LOAD PROVIDE 48"x48"x18" (1220x1220x61) CONC. FOOTING

15B

**NON-ADJUSTABLE STEEL COLUMN AT FOUNDATION WALL**

3 1/2" (90) O @ 10' (3000) L. NON-ADJUSTABLE STEEL COLUMN WITH 6"x6"x3/8" (152x152x5.8) STEEL PLATE TOP & BOTTOM, BOTTOM PLATE C/W 2 1/2"x9" (12" LONG) BASE PLATE 4 1/2"x24" (112" (226x25x12) WITH 2 1/2"x9" (12" LONG) 2"x6" (38x140) AS REQUIRED. FIELD WELDED COLUMN TO BASE PLATE & STEEL B.M.

16

**STEEL BEAM BEARING AT FOUNDATION WALL** (92.8.1)

BEAM JOCKET OR 8"x8" (200x200) POURED CONG. NB WALLS, MIN. BEARING: 1 PCT OR 10% MIN. NB WALLS TO HAVE EXTENDED FOOTINGS

17

**WOOD STRAPPING AT STEEL BEAMS** (92.8.3,1) & 9.23.9,3

1"x2" (19x64) CONTINUOUS WOOD STRAPPING BOTH SIDES OF STEEL BEAM.

18

**GARAGE SLAB** (9.16, 9.35)

4" (100) 35MPa (4600psi) CONC. SLAB WITH 50% AIR ENTRAINMENT ON OPT. 4" (100) COARSE GRANULAR FILL WITH COMPACTED SUB-BASE OR COMPACTED NATIVE FILL, SLOPE TO FRONT @ 1% MIN.

19

**G**

39

TWO STOREY VOLUME SPECIFICATIONS

(9.23.101, 9.23.11, 9.23.16)

WALL ASSEMBLY		WIND LOADS			
		<= 0.5 kPa (g50)	0.5 kPa (g50)		
EXTERIOR	STUDS	SPACING	MAX HEIGHT	SPACING	MAX HEIGHT
BRICK	2x26" (2x38-140)	12" (305) C	18'-4" (5588)	12" (305) C	18'-4" (5588)
SIDING	2x38-140 SPR #2	16" (406) C	18'-4" (5588)	12" (305) C	18'-4" (5588)
BRICK	2x26" (2x38-140)	12" (305) C	21'-0" (6400)	12" (305) C	21'-0" (6400)
SIDING	2x38-140 SPR #2	16" (406) C	21'-0" (6400)	16" (406) C	21'-0" (6400)

\*\* STUD SIZE & SPACING TO BE VERIFIED BY STRUCTURAL ENGINEER \*\*

STUDS ARE TO BE CONTINUOUS, C/N 3/8" (9.5) THICK EXTERIOR PLYWOOD SHEATHING, PROVIDE SOLID WOOD BLOCKING BETWEEN WOOD STUDS @ 4'-0" (1220) O.C. VERTICALLY.

- FOR HORIZ. DISTANCES LESS THAN 8'-0" (2438) PROVIDE 2x6" (38x140) STUDS @ 16" (406) O.C. WITH CENTER 2x26" (38x140) TOP PLATE @ 1'-2 1/2" (381.0) FROM BOTTOM PLATE & MIN. OF 3'-2 1/2" (381.84) CONT. HEADER @ 4000 FLOOR CEILING LEVEL TOE-NAIL&D & GLUED AT TOP, BOTTOM PLATES & HEADERS.

40

1 HR. PARTY WALL (CONC. BLOCK)

(S5-3) WALL TYPE 966 & 819

1/2" (12.7) GYPSUM SHEATHING ON EACH SIDE ON 2x2" (38x38) VERTICAL WOOD STRAPPING @ 16" (406) O.C. @ 2000 CONC. BLOCK FLT STRAPPING CAVITY EACH SIDE WITH AT LEAST 90% OF ABSORPTIVE MATERIAL PROCESSED FROM ROCK, SLAG OR GLASS, TAPE, FLT & SAND ALL GYPSUM JOINTS, EXPOSED BLOCK MUST BE SEALED W/ 2 COATS OF FINISH STUCCO WITH 2x2" (38x38) MIN. NINE 3/8" (9.5) 12-7" GYPSUM SHEATHING TO BE ATTACHED TO CONC. BLOCK (REFER TO DETAILS)

40

1 HR. PARTY WALL (DOUBLE STUD)

(S5-3) WALL TYPE W133

5/8" (15.9) TYPE Y GYPSUM SHEATHING ON EXTERIOR SIDE OF 2 ROWS OF 2x4" (38x89) STUDS @ 16" (406) O.C. MIN. 1" (25) APART ON SEPARATE 2x4" (38x89) SLT PLATES. 2x6" (38x140) (AS REQUIRED) FLT ONE SIDE OF STUD CAVITY WITH AT LEAST 90% OF ABSORPTIVE MATERIAL PROCESSED FROM ROCK, SLAG OR GLASS, TAPE, FLT & SAND ALL GYPSUM JOINTS, EXPOSED BLOCK MUST BE SEALED W/ 2 COATS OF FINISH STUCCO WITH 2x2" (38x38) MIN. NINE 3/8" (9.5) 12-7" GYPSUM SHEATHING TO BE ATTACHED TO CONC. BLOCK (REFER TO DETAILS)

40A

2 HR. FIREWALL

(S5-3) WALL TYPE 966 & 819

1/2" (12.7) GYPSUM SHEATHING ON EACH SIDE ON 2x2" (38x38) VERTICAL WOOD STRAPPING @ 16" (406) O.C. @ 2000 CONC. BLOCK 7/8" SOLID, FLT STRAPPING CAVITY EACH SIDE WITH AT LEAST 90% OF ABSORPTIVE MATERIAL PROCESSED FROM ROCK, SLAG OR GLASS, TAPE, FLT & SAND ALL GYPSUM JOINTS, EXPOSED BLOCK MUST BE SEALED W/ 2 COATS OF FINISH STUCCO WITH 2x2" (38x38) MIN. NINE 3/8" (9.5) 12-7" GYPSUM SHEATHING TO BE ATTACHED TO CONC. BLOCK (REFER TO DETAILS)

41

STUCCO WALL CONSTRUCTION (2x6")

STUCCO FINISH CONFORMING TO O.B.C. SECTION 9.28, AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1/2" (38) E.F.S. MINIMUM ON APPROVED DRAINAGE MAT ON 12" (12.7) DENGSSAL GOLD GYPSUM BRD. STUDS CONFORMING TO O.B.C. (9.23.101) & SECTION 1.1. INSULATION APPROVED 6 MIL. POLYETHYLENE VAPOUR BARRIER, 12" (12.7) GYPSUM WALLBOARD INT. FINISH. (REFER TO 35 NOTE AS REQUIRED)

41A

STUCCO WALL CONSTRUCTION (2x6") W/ CONTIN. INSUL.

STUCCO FINISH CONFORMING TO O.B.C. SECTION 9.28, AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1/2" (38) E.F.S. MINIMUM ON APPROVED DRAINAGE MAT ON 12" (12.7) DENGSSAL GOLD GYPSUM BRD. STUDS CONFORMING TO O.B.C. (9.23.101) & SECTION 1.1. INSULATION APPROVED 6 MIL. POLYETHYLENE VAPOUR BARRIER, 12" (12.7) GYPSUM WALLBOARD INT. FINISH. (REFER TO 35 NOTE AS REQUIRED)

41B

STUCCO WALL @ GARAGE CONST.

STUCCO FINISH CONFORMING TO O.B.C. SECTION 9.28, AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1/2" (38) E.F.S. MINIMUM ON APPROVED DRAINAGE MAT ON 12" (12.7) DENGSSAL GOLD GYPSUM BRD. STUDS CONFORMING TO O.B.C. (9.23.101) & SECTION 1.1. INSULATION APPROVED 6 MIL. POLYETHYLENE VAPOUR BARRIER, 12" (12.7) GYPSUM WALLBOARD INT. FINISH. (REFER TO 35 NOTE AS REQUIRED)

FOR DWELLINGS USING CONTIN. INSULATION CONSTRUCTION. PROVIDE APPROVED DRAINAGE MAT ON 12" (12.7) DENGSSAL GOLD GYPSUM BRD. STUDS CONFORMING TO O.B.C. (9.23.101) & SECTION 1.1. INSULATION APPROVED 6 MIL. POLYETHYLENE VAPOUR BARRIER, 12" (12.7) GYPSUM WALLBOARD INT. FINISH. (REFER TO 35 NOTE AS REQUIRED)

42

UNSUPPORTED FOUNDATION WALLS

(9.15.4.2)

REINFORCING AT STAIRS AND SUNKEN FLOOR AREAS

2-20M BARS IN TOP PORTION OF WALL (UP TO 8'-0" OPENING)

4-20M BARS IN TOP PORTION OF WALL (8'-0" TO 12'-0" OPENING)

4-20M BARS IN TOP PORTION OF WALL (10'-0" TO 15'-0" OPENING)

- BARS STAKED VERTICALLY AT INTERIOR FACE OF WALL @ 6' O.C.

REINFORCING AT BASEMENT WINDOWS

2-15M HORIZ. REINFORC. ON THE INSIDE AND OUTSIDE FACE OF THE FOUNDATION WALL BELOW THE WIN. SLT. EXTEND BARS 2' (610) BEYOND THE INSIDE & OUTSIDE FACE OF THE FOUNDATION WALL ON EACH SIDE OF THE WINDOW OPENING

- BARS TO HAVE MIN. 1" (25) CONC. COVER

- BARS TO EXTEND 2'-0" (610) BEYOND BOTH SIDES OF OPENING

43

STUD WALL REINFORCEMENT

PROVIDE STUD WALL REINFORCEMENT IN MAIN BATHROOM CONFORMING TO O.B.C. (9.5.2.3.11) (REFER TO DETAILS)

44

WINDOW WELLS

WHERE A WINDOW OPENS INTO A WINDOW WELL, A CLEARANCE OF NOT LESS THAN 21" (533) SHALL BE MAINTAINED IN FRONT OF THE WINDOW. EVERY WINDOW WELL SHALL BE DRAINED TO THE FOOTING LEVEL OR OTHER SUITABLE LOCATION WITH A 4" (100) WEEPING TILE C/W A FILTER CLOTH W/RAIP AND FILLED WITH CRUSHED STONE. (9.9.10.1.5, 9.14.6.3)

45

SLOPED CEILING CONSTRUCTION

(S5-3.1 3.1.8, 9.23.4.2)

2x12" (38x88) ROOF JOISTS @ 16" (406) O.C. MAX. (UNLESS OTHERWISE SPECIFIED) 2x2" (38x38) PURLINS @ 16" (406) O.C. PERPENDICULAR TO ROOF JOISTS (PURLINS NOT REQ. W/ SPRAY FOAM). W/ INSULATION BETWEEN JOIST 6 MIL POLYETHYLENE VAPOUR BARRIER, 12" (12.7) GYPSUM WALLBOARD IN FINISH OR APPROVED ECG INSULATION VALUE DIRECTLY ABOVE THE INNER SURFACE OF EXTERIOR WALL SHEATHING NOT LESS THAN 2" (50.8) R-VALUE

46

FLAT ROOF/BALCONY CONSTRUCTION

WATERPROOFING MEMBRANE 9.2.8.11, 9.2.16, 9.2.16.1 FULLY ADHERED TO (15.9) T&G EXTERIOR GRADE PLYWOOD SHEATHING ON 2x2" (38x38) PURLINS ANGLERED TOWARDS SCUPPER @ 2% MINIMUM LAID PERPENDICULAR TO 2x3" (38x184) FLOOR JOISTS @ 16" (406) O.C. (UNLESS OTHERWISE NOTED), BUT CURE TIME @ 100 °F (37.8 °C) SHALL NOT BE LESS THAN 72 HOURS. CONTINUOUS TRIM DRIP EDGE TO BE PROVIDED ON OUTSIDE FACE OF CURB. SCUPPER TO BE LOCATED 24" (610) MIN. AWAY FROM HOUSE. PREFINISHED ALUMINUM SLOPE DRAIN UNDERSTANDING SOFFIT (9.23.2.3). REMOVE CURB WHERE REQ.

**BALCONY CONSTRUCTION**

SEE FLAT ROOF/BALCONY CONSTRUCTION NOTE. INCLUDE 2x4" (38x89) PT DECKING W/ 1/4" (6.4) GAPS LAID FLAT PARALLEL TO JOISTS ON 2x4" (38x89) PT. SLEEPERS @ 12" (305) O.C. LAID FLAT PERPENDICULAR TO JOISTS

**BALCONY OVER HEATED SPACE CONDITION**

SEE FLAT ROOF/BALCONY CONSTRUCTION NOTE FOR ASSEMBLY. REFER TO 35 FOR FLOOR JOIST SIZE & REFER TO HEX NOTE 9 FOR INSULATION IN INTERIOR FINISH

47

BARREL VAULT CONSTRUCTION

CANTILEVERED 2x4" (38x89) SPACERS LAID FLAT ON 2x10" (38x235) SPR. #1. ROOF JOIST NAILED TO BUILT-UP 3'-3/4" (119) PLYWOOD HEADER PROFILED BARREL. SPRAY FOAM INSULATION BETWEEN JOISTS W/ GYPSUM BOARD. INTERIOR FIN. (REFER TO DETAILS)

SECTION 1.1. WALL STUDS

</

3.3. DOOR SCHEDULE

CONFORMING TO SECTIONS 9.5.11, 9.6, 9.7.2.1, 9.7.5.2, & 9.10.13.10

1	EXTERIOR	2'-0" x 6'-0" x 1-3/4" (815 x 2030 x 45) INSULATED MIN. R4 (RSI 0.7)	
1A	EXTERIOR	2'-10" x 6'-0" x 1-3/4" (865 x 2030 x 45) INSULATED MIN. R4 (RSI 0.7)	
1B	EXTERIOR	3'-0" x 6'-0" x 1-3/4" (915 x 2030 x 45) INSULATED MIN. R4 (RSI 0.7)	
1C	EXTERIOR	2'-0" x 6'-0" x 1-3/4" (760 x 2030 x 45) INSULATED MIN. R4 (RSI 0.7)	
1D	EXTERIOR	2'-0" x 6'-0" x 1-3/4" (815 x 2030 x 45) INS. MIN. R4 (RSI 0.7). (SEE HEX NOTE 20)	
1E	EXTERIOR	3'-0" x 8'-0" x 1-3/4" (915 x 2440 x 45) INSULATED MIN. R4 (RSI 0.7)	
1F	EXTERIOR	3'-0" x 8'-0" x 1-3/4" (815 x 2440 x 45) INSULATED MIN. R4 (RSI 0.7)	
2A	EXTERIOR	2'-0" x 6'-0" x 1-3/4" (815 x 2030 x 45) INS. MIN. F.R. DOORFRAME WITH APP. SELF-CLOSING DEVICE	
2	INTERIOR	2'-0" x 6'-0" x 1-3/8" (815 x 2030 x 35)	PROVIDE 8'-0" HIGH INTERIOR DOORS FOR ALL 10' CEILING CONDITIONS
3	INTERIOR	2'-0" x 6'-0" x 1-3/8" (760 x 2030 x 35)	
3A	INTERIOR	2'-4" x 6'-0" x 1-3/8" (710 x 2030 x 35)	
4	INTERIOR	2'-0" x 6'-0" x 1-3/8" (610 x 2030 x 35)	
4A	INTERIOR	2'-0" x 6'-0" x 1-3/8" (660 x 2030 x 35)	
5	INTERIOR	1'-0" x 6'-0" x 1-3/8" (460 x 2030 x 35)	

3.4. ACRONYMS

AFB	ABOVE FINISHED FLOOR	JST	JOIST
BBFM	BEAM BY FLOOR MANUFACTURER	LIN	LINEN CLOSET
BG	GLASS W/ BLACK BACKING	LVL	LAMINATED VENEER LUMBER
BM	BEAM	OTBA	OPEN TO BELOW/ABOVE
BBRM	BEAM BY ROOF MANUFACTURER	PL	POINT LOAD
CRF	CONVENTIONAL ROOF FRAMING	PLT	PLATE
CW	COMPLETE WITH	PT	PRESSURE TREATED
D/JT	DOUBLE JOIST/ TRIPLE JOIST	PTD	PAINTED
DO	DO OVER	PWD	POWDER ROOM
DRP	DROPPED	RWL	RAIN WATER LEADER
ENG	ENGINEERED	SB	SOLID BEARING WOOD POST
EST	ESTIMATED	SBFA	SB FROM ABOVE
FA	FLAT ARCH	SJ	SINGLE JOIST
FD	FLOOR DRAIN	SPR	SPRUCES
FG	GLASS FIXED	STL	STEEL
FL	FLUSH	T/O	TOP OF
FLR	FLOOR	TYP	TYPICAL
GT	GIRDER TRUSS	U/S	UNDERSIDE
HB	HOSE BIB	WD	WOOD
HRV	HEAT RETURN VENTILATION UNIT	WIC	WALK IN CLOSET
HWT	HOT WATER TANK	WP	WEATHER PROOF

3.5. SYMBOLS

ALL ELECTRICAL FACILITIES SHALL BE INSTALLED IN ACCORDANCE WITH SECTION 9.34.

	CLASS B VENT		EXHAUST VENT
	DUPLEX OUTLET (12" HIGH)		DUPLEX OUTLET (HEIGHT AS NOTED ABOVE)
	HONEY UNIT OUTLET		SWITCH (2/3/4 WAY)
	POT LIGHT		LIGHT FIXTURE (CEILING MOUNTED)
	LIGHT FIXTURE (PULL CHAIN)		LIGHT FIXTURE (WALL MOUNTED)
	CABLE T.V. JACK		TELEPHONE JACK
	CENTRAL VACUUM OUTLET		CHANDELIER (CEILING MOUNTED)

■ SA SMOKE ALARM (9.10.19)

PROVIDE ONE PER FLOOR, NEAR THE STAIRS CONNECTING THE FLOOR LEVEL. ALARMS ARE TO BE INSTALLED IN EACH SLEEPING ROOM AND IN A LOCATION BETWEEN SLEEPING ROOMS AND CONNECTING HALLWAYS AND WIRED TO BE INTERCONNECTED TO ACTIVATE ALL ALARMS IF ONE SOUNDS. ALARMS ARE TO BE CONNECTED TO AN ELECTRICAL CIRCUIT AND WITH A BATTERY BACKUP. ALARM SIGNAL SHALL MEET TEMPORAL SOUND PATTERNS MIN. ALARMS SHALL HAVE A VISUAL SIGNALING COMPONENT AS PER THE "NATIONAL FIRE ALARM AND SIGNALING CODE 72".

⚡ CMD CARBON MONOXIDE ALARM (9.33.4)

\*\* CHECK LOCAL B.Y. LAWS FOR REQUIREMENTS \*\* CARBON MONOXIDE ALARMS CONFORMING TO CAN/CSA-6.19 SHALL BE INSTALLED ON OR NEAR THE CEILING IN EACH DWELLING UNIT ADJACENT TO EACH SLEEPING AREA. CARBON MONOXIDE ALARMS SHALL BE PERMANENTLY WIRED WITH NO DISCONNECT SWITCH. WITH AN ALARM THAT IS AUDIBLE WITHIN SLEEPING ROOMS WHEN THE INTERVENING DOORS ARE CLOSED.

☑ SB SOLID BEARING (BUILT-UP WOOD COLUMNS AND STUD POSTS)

THE WIDTH OF A WOOD COLUMN SHALL NOT BE LESS THAN THE WIDTH OF SUPPORTED MEMBER. BUILT-UP WOOD COLUMNS SHALL BE NAILED TOGETHER WITH NOT LESS THAN 3" (76) NAILS SPACED NOT MORE THAN 11 3/4" (300) O.C. THE NUMBER OF STUDS IN A WALL DIRECTLY BELOW A GIRDER TRUSS OR ROOF BEAM SHALL CONFORM TO TABLES A-3-1 TO A-3-7, (B.17.4, 9.23.10.7).

TWO STORY VOLUME SPACE. SEE CONSTRUCTION NOTE 39.

VARYING PANELS, BUILT-UP FLOORS, BEARING WALLS, ICE & WATER SHIELD

EXPOSED BUILDING FACE - G.B.C. 9.10.4, 9.10.14, OR 9.10.15. REFER TO HEX NOTE 35, & DETAILS FOR TYPE AND SPECIFICATIONS.

1 HR. PARTY WALL

2 HR. FIREWALL

REFER TO HEX NOTE 40.

REFER TO HEX NOTE 40A.

SECTION 4.0. CLIMATIC DATA

DESIGN SNOW LOAD (9.4.2.2.):	1.01 kPa
WIND PRESSURE (q50) (SB-1.2.):	0.44 kPa

STAMP

(n) CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON THE JOB. REPORT ANY DISCREPANCIES TO HUNT DESIGN ASSOCIATES INC. (H.D.A.I.) BEFORE PROCEEDING WITH THE WORK. ALL THE DRAWINGS & SPECIFICATIONS ARE THE INSTRUMENTS OF SERVICE AND ARE THE PROPERTY OF H.D.A.I.

(m) ALL CONSTRUCTION TO ADHERE TO THESE PLANS AND SPECIFICATIONS AND TO CONFORM TO THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION.

(m) THESE REQUIREMENTS ARE TO BE TAKEN AS MINIMUM SPECIFICATIONS. ONT. REG. 332.12.

(m) CONSTRUCTION NOTE REVISION DATE: **DECEMBER 15, 2021**

K HOMES - 221081		CONSTRUCTION NO.	
PHASE2, VAUGHAN ONT.		THE QUEENSLAND-UNIT 6	
checked By	Scale	File Number	REV.2022
AW	3/16"=1'-0"	221081WS6001	22

**HUNT**   
DESIGN ASSOCIATES INC.

**GOLDPARK**  
**PINE VALLEY**

Drawn By \_\_\_\_\_  
BY \_\_\_\_\_

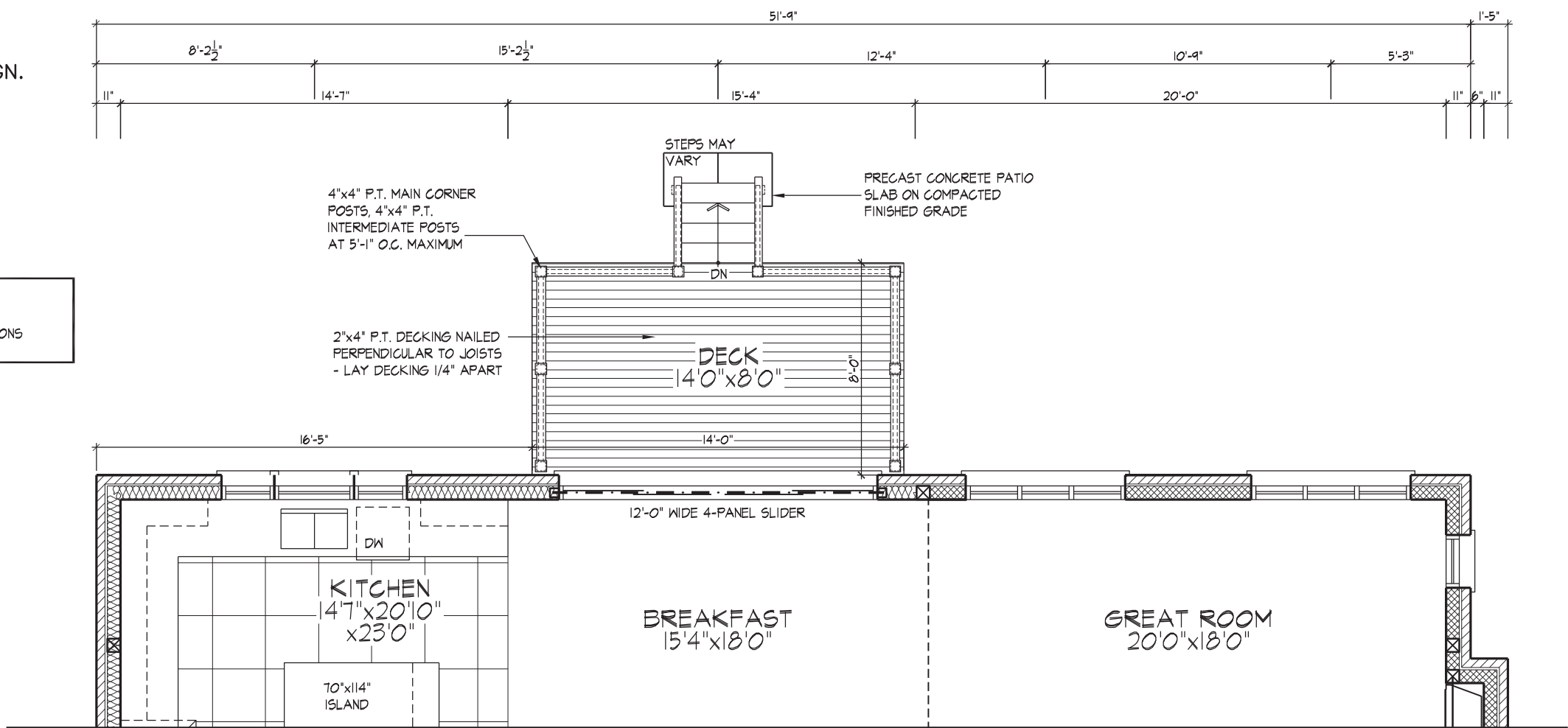




100 COMMERCE VALLEY DR. W.  
THORNHILL, ONTARIO CANADA L3T 0A1  
TEL: 1-905-882-4211 FAX: 1-905-822-0055 WWW.WSPGROUP.CA

FOR STRUCTURAL ONLY. EXCLUDING  
ENGINEERED ROOF TRUSS, FLOOR  
JOIST, AND FLOOR LVL BEAM DESIGN.

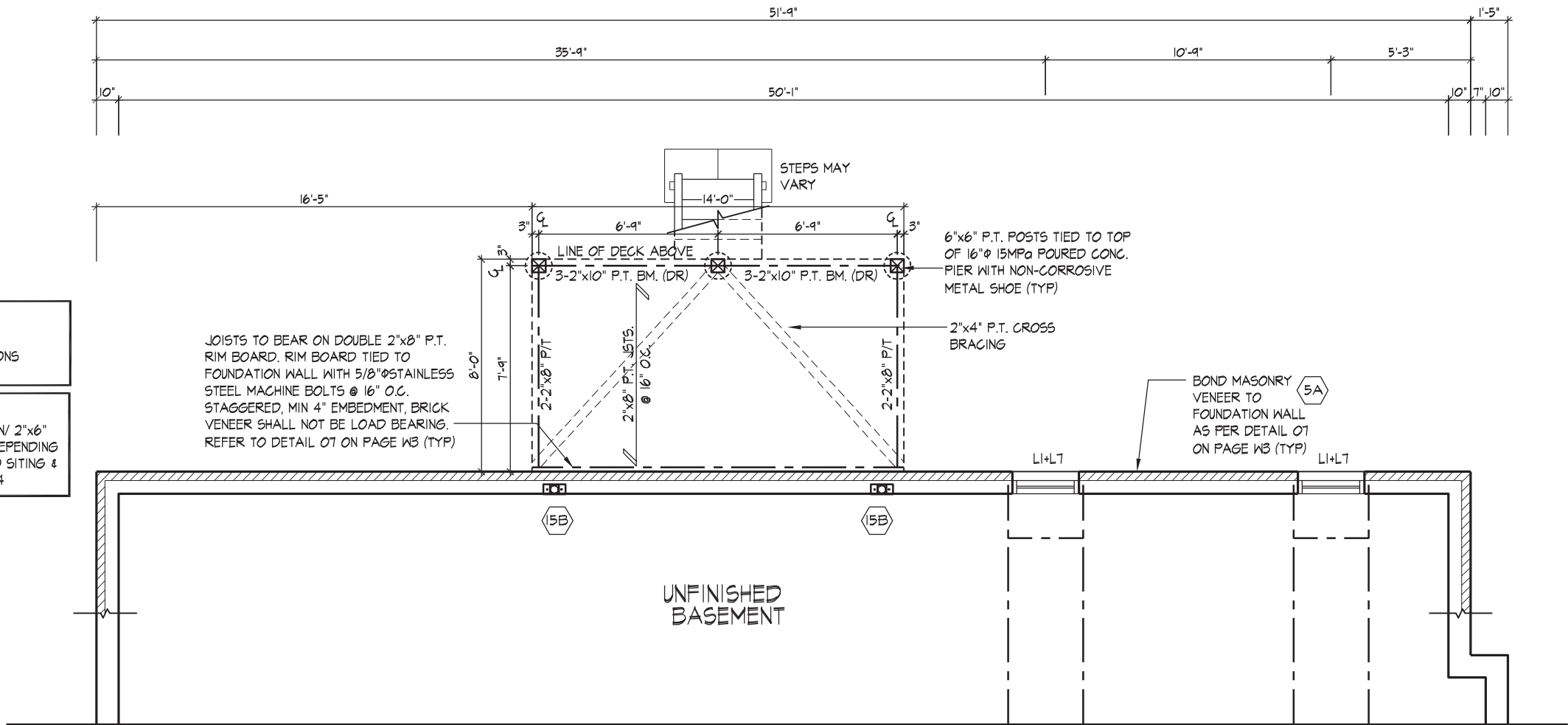
NOTE:  
REFER TO STANDARD FLOOR  
PLANS FOR COMPLETE DIMENSIONS  
& STRUCTURAL INFORMATION



PART. BASEMENT PLAN ELEV. 'A', 'B' & 'C' - W.O.D. COND.

NOTE:  
REFER TO STANDARD FLOOR  
PLANS FOR COMPLETE DIMENSIONS  
& STRUCTURAL INFORMATION

NOTE:  
10" CONC. FOUNDATION WALL W/ 2"x6"  
KNEEWALL MAY BE REQUIRED DEPENDING  
ON BACKFILL HEIGHT. REFER TO SITING &  
DETAIL 05 ON PAGE 114.



PART. BASEMENT PLAN ELEV. 'A', 'B' & 'C' - W.O.D. COND.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Vaughan.

JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL  
APPROVED BY: [Signature]  
DATE: AUG 04, 2022  
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.



PART. REAR ELEVATION 'A', 'B' & 'C' - W.O.D. CONDITION

WINDOW SIZES FOR W.O.D. CONDITIONS:  
WINDOWS TO BE LOCATED WITHIN JOIST  
SPACE. IF GRADE PERMITS, TOP OF  
WINDOW TO BE 1'-10" A.F.F.  
REFER TO FRONT ELEVATION & STANDARD  
REAR FOR TYPICAL NOTES & INFO.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THE DESIGN AND CONSTRUCTION OF THE BUILDING AND THE QUALITY OF THE WORKMANSHIP AND THE COMPLETION OF THE PROJECT. THE UNDERSIGNED IS NOT RESPONSIBLE FOR THE DESIGN OR CONSTRUCTION OF ANY OTHER BUILDING OR STRUCTURE. THE UNDERSIGNED IS NOT RESPONSIBLE FOR THE DESIGN OR CONSTRUCTION OF ANY OTHER BUILDING OR STRUCTURE. THE UNDERSIGNED IS NOT RESPONSIBLE FOR THE DESIGN OR CONSTRUCTION OF ANY OTHER BUILDING OR STRUCTURE.

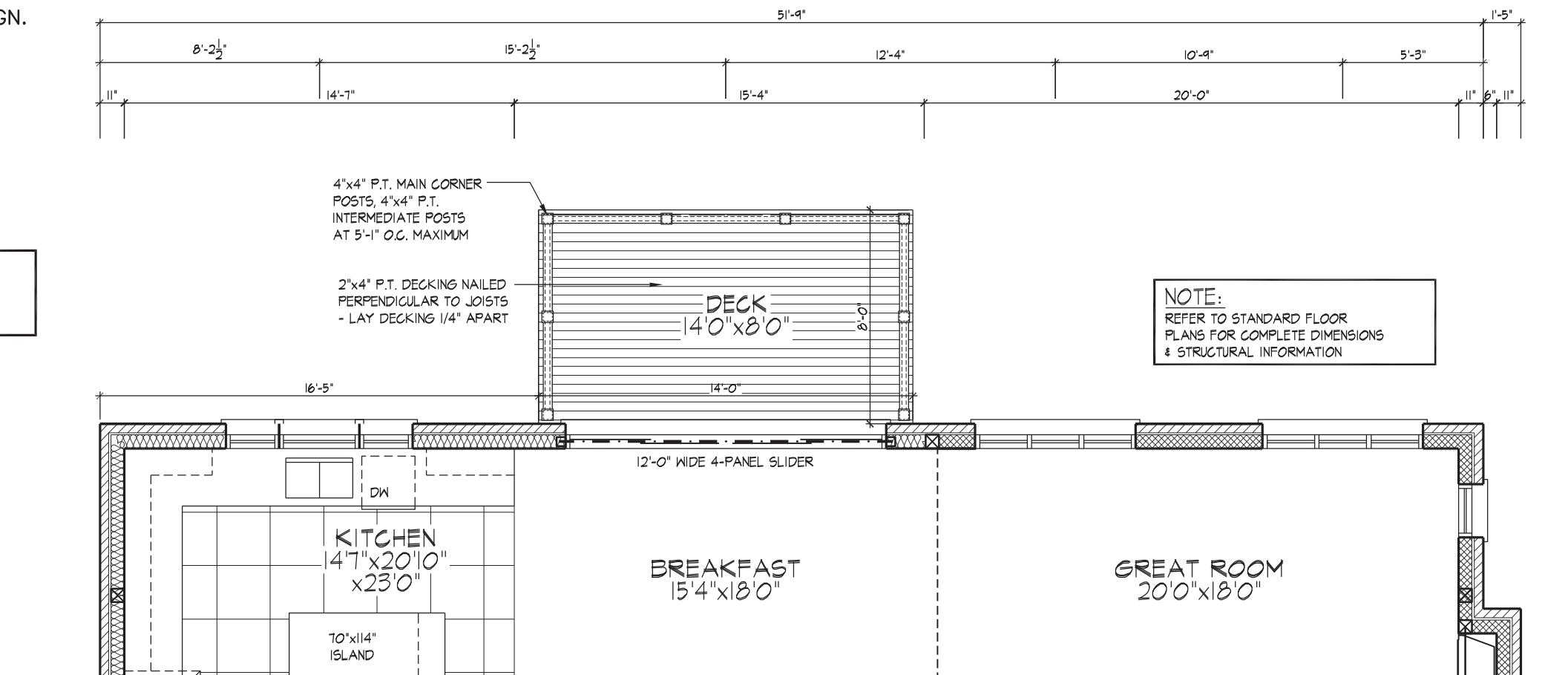
DESIGN ASSOCIATES INC.  
PINE VALLEY-PHASE2, VAUGHAN ONT.  
GOLDPARK HOMES - 221081 THE QUEENSLAND-UNIT 6001  
8966 Woodbine Ave. Markham, ON L3R 0J7 T 905.727.9133 F 905.727.7282  
REV/2022.08.02



101 COMMERCE VALLEY DR. W.  
THORNHILL, ONTARIO CANADA L3T 0A1  
TEL: 1-905-882-4211 FAX: 1-905-822-0055 WWW.WSPGROUP.CA

FOR STRUCTURAL ONLY. EXCLUDING  
ENGINEERED ROOF TRUSS, FLOOR  
JOIST, AND FLOOR LVL BEAM DESIGN.

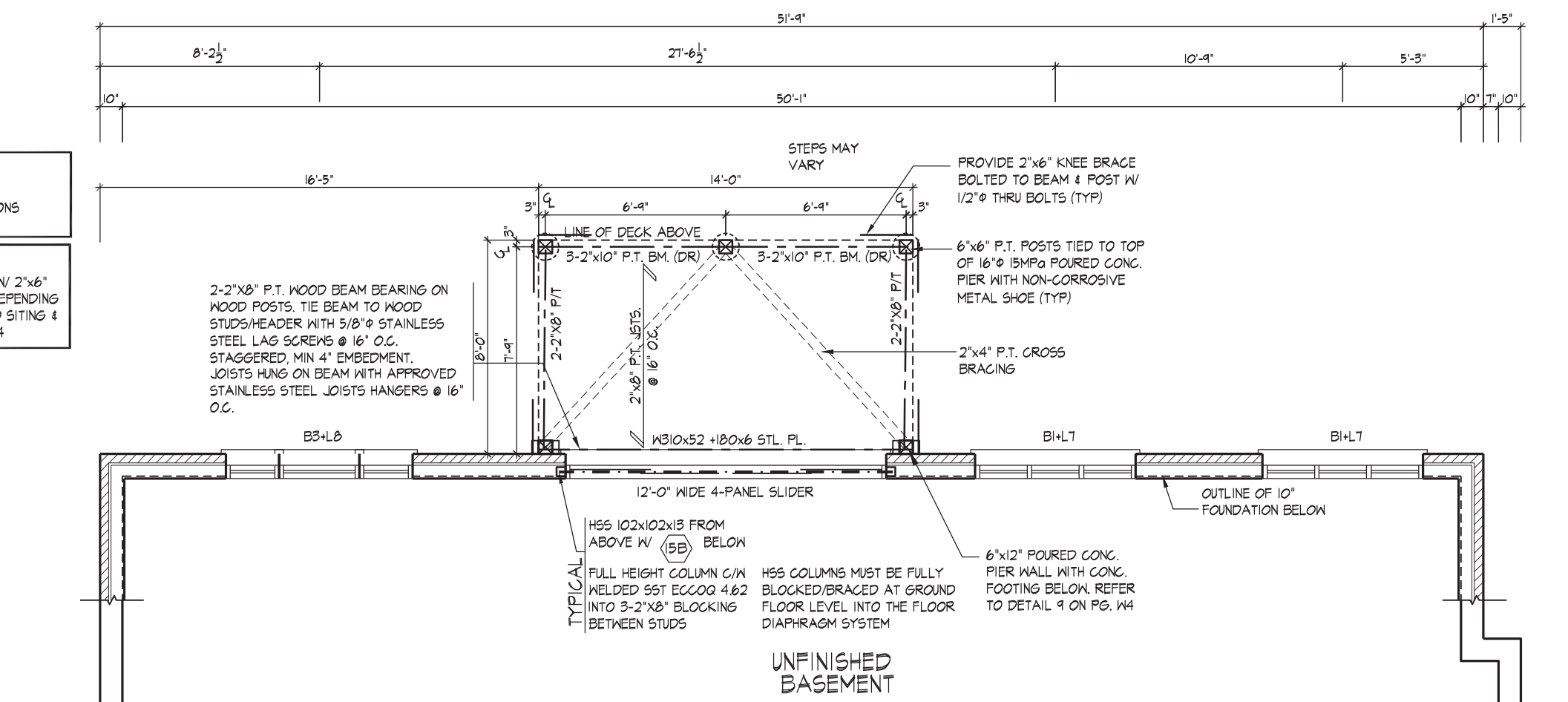
NOTE:  
REFER TO STANDARD FLOOR  
PLANS FOR COMPLETE DIMENSIONS  
& STRUCTURAL INFORMATION



PART. GROUND FLOOR PLAN ELEV. 'A', 'B' & 'C' - W.O.B. COND.

NOTE:  
REFER TO STANDARD FLOOR  
PLANS FOR COMPLETE DIMENSIONS  
& STRUCTURAL INFORMATION

NOTE:  
10" CONC. FOUNDATION WALL W/ 2"x6"  
KNEEWALL MAY BE REQUIRED DEPENDING  
ON BACKFILL HEIGHT. REFER TO SITING &  
DETAIL 05 ON PAGE W4



PART. BASEMENT PLAN ELEV. 'A', 'B' & 'C' - W.O.B. COND.



PART. REAR ELEV. 'A', 'B' & 'C' - W.O.B. COND.

REFER TO STANDARD ELEVATION FOR  
TYPICAL NOTES & INFO.

WINDOW SIZES FOR W.O.B. CONDITIONS:  
- W.O.B. = MATCH WIDTH OF WINDOW  
ABOVE AND WINDOWS TO BE 56" DEEP.  
TOP OF WINDOW TO BE @ 1'-10" A.F.F.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY: [Signature]  
DATE: AUG 04 2022

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THE DESIGN AND CONSTRUCTION OF THE ABOVE DESCRIBED PROJECT. THE DESIGNER HAS VERIFIED THAT THE CALCULATIONS AND MEETS THE REQUIREMENTS SET IN THE DIVISION'S BUILDING CODE. THE DESIGNER HAS VERIFIED THAT THE DESIGN MEETS THE REQUIREMENTS SET IN THE DIVISION'S BUILDING CODE. THE DESIGNER HAS VERIFIED THAT THE DESIGN MEETS THE REQUIREMENTS SET IN THE DIVISION'S BUILDING CODE.

DESIGNER'S INFORMATION  
NAME: HUNT DESIGN ASSOCIATES INC.  
ADDRESS: 8966 Woodbine Ave., Markham, ON L3R 0J7  
PHONE: 905.737.7333  
FAX: 905.737.7328  
EMAIL: info@hunt-design.com  
WEBSITE: www.hunt-design.com

DATE: 2022.08.02  
SCALE: 3/16"=1'-0"  
SHEET: 221081WS6001  
WALK OUT BASEMENT CONDITION  
PINE VALLEY-PHASE2, VAUGHAN ONT.  
GOLDPARK HOMES - 221081 - THE QUEENSLAND-UNIT 6001  
REV: 2022.08.02

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