





FRONT ELEVATION 'A'

FRONT ELEVATION 'B'

FRONT ELEVATION 'C'

UNIT 6001 - 'THE QUEENSLAND'

SB-12 E	NERGY	/ EFFIC	CIENCY	DE:	SIG	an Ma	ATRIX
PRESCRIPTIVE COM	PI IANCE			SB-12 (S	SECTI	ON 3 1.1) T	ABLE 3.1.1.2.A
				00		PACE HEA	TING FUEL
	CKA	()	Λ1		■ GA		□ OIL
	ノバ	1UL	. / *				□ PROPANE
						RTH	☐ SOLID FUEL
BUILDING COMPON	ENT				RE	QUIRED	PROPOSED
INSULATION RSI (R)	VALUE						
CEILING W/ ATTIC SI	PACE				10.5	56 (R60)	10.56 (R60)
CEILING W/O ATTIC	SPACE				5.4	6 (R31)	5.46 (R31)
EXPOSED FLOOR					5.4	6 (R31)	5.46 (R31)
WALLS ABOVE GRAD	DE				3.8	7 (R22)	3.87 (R22)
BASEMENT WALLS					3	.52 ci *	3.52 ci
* PROPOSED VALUE			,		(F	R20 ci) 🔭	(R20 ci) *
BELOW GRADE SLAI				RADE		-	-
EDGE OF BELOW G	RADE SLAB <	600mm BELC	OW GRADE		1.7	6 (R10)	1.76 (R10)
HEATED SLAB OR SI		BELOW GRA	vDE		1.7	6 (R10)	1.76 (R10)
WINDOWS & DOORS	3						
WINDOWS/SLIDING	GLASS DOOR	S (MAX U-VAI	UE)			1.6	1.6
SKYLIGHTS (MAX. U-	-VALUE)					2.8	2.8
APPLIANCE EFFICIE	NCY						
SPACE HEATING EQ	UIP. (AFUE%)					96%	96%
HRV EFFICIENCY (%)					75%	75%
DHW HEATER (EF)						0.8	0.8
AREA CALCULATIONS	EL. 'A'	EL. 'A'	EL. 'B'	EL.	'B'	EL. 'C'	' EL. 'C'
	STD. PLAN	OPT. PLAN	STD. PLAN	OPT. P	LAN	STD. PLAN	
GROUND FLOOR AREA	2574 sq. ft.	2574 sq. ft.	2508 sq. ft.	2508 s		2581 sq. ft	•
							m.) (239.78 sq. m.)
SECOND FLOOR AREA	3208 sq. ft.	3208 sq. ft.	3155 sq. ft.	3155 s	•	3175 sq. ft	
SUBTOTAL	(298.03 sq. m.) 5782 sq. ft.	(298.03 sq. m.) 5782 sq. ft.	(293.11 sq. m.) 5663 sq. ft.	5663 s		5756 sq. ft	m.) (294,97 sq. m.) t. 5756 sq. ft.
SUBTUTAL	•		•		•		n.) (534.75 sq. m.)
DEDUCT ALL OPEN AREAS	470 sq. ft.	129 sq. ft.	448 sq. ft.	107 sc		355 sq. ft.	
	(43.66 sq. m.)	(11.98 sq. m.)	(41.62 sq. m.)	(9.94 sc	ր. m.)	(32.98 sq. n	
TOTAL NET AREA	5312 sq. ft.	5653 sq. ft.	5215 sq. ft.	5556 s		5401 sq. 1	ft. 5742 sq. ft.
	(493.50 sq. m.)	(525.18 sq. m.)	(484.49 sq. m.)	(516.17 s		(501.77 sq. r	
FINISHED BASEMENT AREA	0 sq. ft.	0 sq. ft.	0 sq. ft.	0 sq.		0 sq. ft.	0 sq. ft.
	(0.00 sq. m.) 3248 sq. ft.	(0.00 sq. m.) 3248 sq. ft.	(0.00 sq. m.) 3202 sq. ft.	(0.00 so		(0.00 sq. m 3254 sq. f	
COVERAGE W/OUT PORCH	(301.75 sq. m.)	(301.75 sq. m.)	(297.48 sq. m.)	(297.48 s		(302.31 sq. r	
COVERAGE (+403 SQ.FT	3323 sq. ft.	3323 sq. ft.	3278 sq. ft.	3278 s		3344 sq. 1	
	(308.72 sq. m.)	(308.72 sq. m.)	(304.54 sq. m.)	(304.54 s		(310.67 sq. r	
WINDOW / WALL AREA	EL. 'A'	EL. 'A'	EL. 'A'	EL.'	A'	EL. 'A'	EL. 'A'
<u>CALCULATIONS</u>	STD. PLAN	STD WOD	STD WOB	OPT. P		OPT WOD	
GROSS WALL AREA	5258.38 sq. ft. (488.52 sq. m.)	5415.72 sq. ft. (503.14 sq. m.)	5773.65 sq. ft. (536.39 sq. m.)	5258.38 (488.52 s		5415.72 sq. (503.14 sq. m	
GROSS WINDOW AREA	785.48 sq. ft.	788.82 sq. ft.	977.48 sq. ft.	745.26		748.59 sq. ii	
(INCL. GLASS DOORS & SKYLIGHTS)	(72.97 sq. m.)	(73.28 sq. m.)	(90.81 sq. m.)	(69.24 s		(69.55 sq. m	•
TOTAL WINDOW %	14.94 %	14.57 %	16.93 %	14.17	7 %	13.82 %	15.96 %
						45-	
			11			APA.	

1 - TITLE PAGE

2 - BASEMENT PLAN, EL.'A'

3 - GROUND FLOOR PLAN, EL.'A' 4 - SECOND FLOOR PLAN, EL.'A'

5 - OPT. SECOND FLOOR PLAN, EL.'A'

6 - PART. FLOOR PLANS 'A' W/ OPT. ELEVATOR (EL. 'B' & 'C' SIMILAR)

7 - PART. FLOOR PLANS, ELEV. 'B'

8 - PART. FLOOR PLANS, ELEV. 'B' 9 - PART. FLOOR PLANS, ELEV. 'C'

10 - PART. FLOOR PLANS, ELEV. 'C'

11 - FRONT ELEVATION 'A'

12 - LEFT SIDE ELEVATION 'A'

13 - RIGHT SIDE ELEVATION 'A' 14 - REAR ELEVATION 'A', 'B' & 'C'

15 - FRONT ELEVATION 'B'

16 - LEFT SIDE ELEVATION 'B'

17 - RIGHT SIDE ELEVATION 'B'

18 - FRONT ELEVATION 'C' 19 - LEFT SIDE ELEVATION 'C'

20 - RIGHT SIDE ELEVATION 'C'

21 - CROSS SECTION 'A-A'

22 - CONSTRUCTION NOTES

W1 - WALK OUT DECK CONDITION W2 - WALK OUT BASEMENT CONDITION

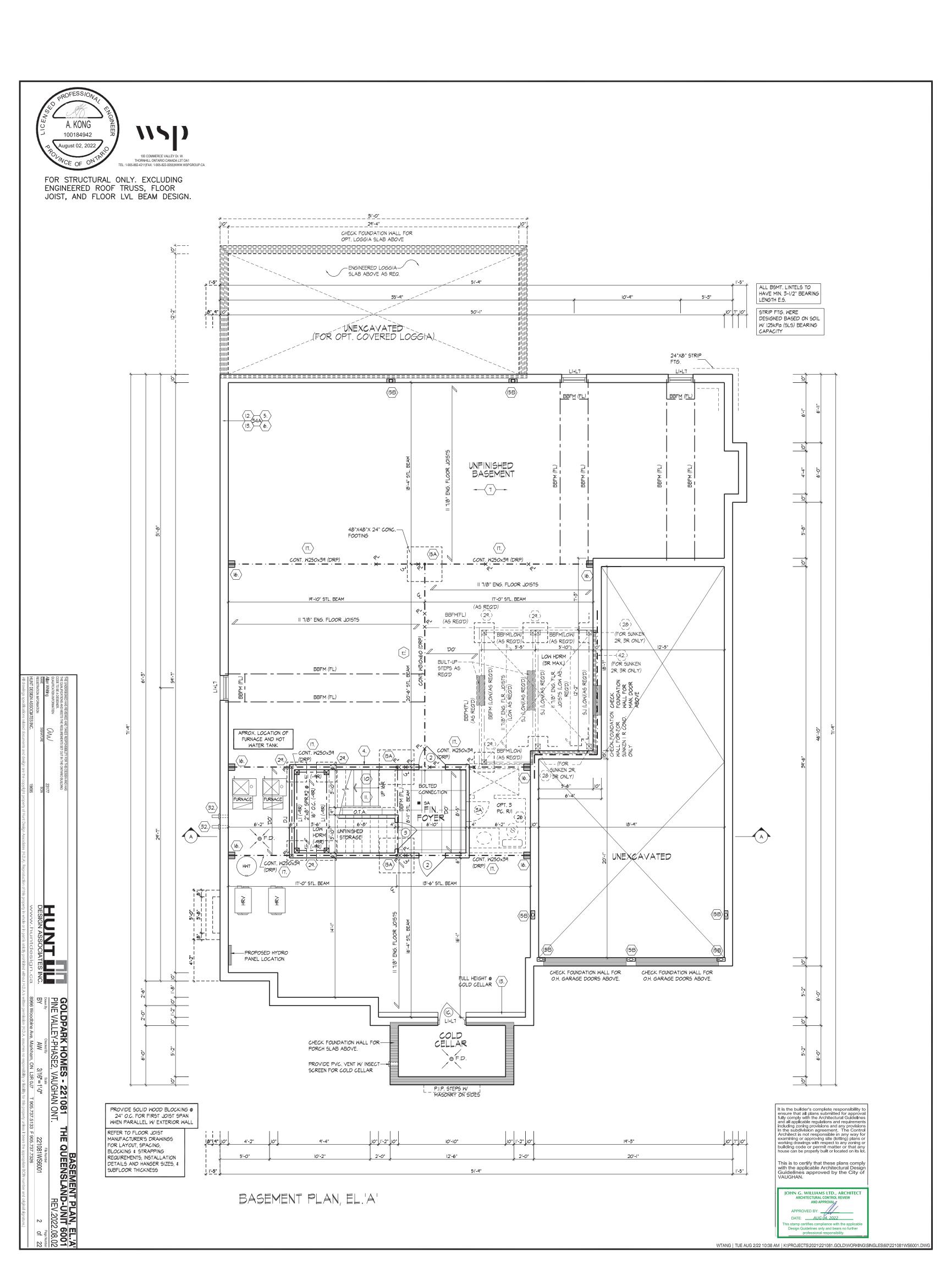
, l	WINDOW / WALL AREA	EL' B	EL. B				
n.)	CALCULATIONS	STD. PLAN	STD WOD	STD WOB	OPT. PLAN	OPT WOD	OPT WOB
	00000 WALL ADEA	5115.76 sq. ft.	5358.95 sq. ft.	5716.89 sq. ft.	5115.76 sq. ft.	5358.95 sq. ft.	5716.89 sq. ft.
.)	GROSS WALL AREA	(475.27 sq. m.)	(497.86 sq. m.)	(531.12 sq. m.)	(475.27 sq. m.)	(497.86 sq. m.)	(531.12 sq. m.)
ft.	GROSS WINDOW AREA	804.99 sq. ft.	808.33 sq. ft.	996.99 sq. ft.	764.77 sq. ft.	768.11 sq. ft.	912.77 sq. ft.
n.)	(INCL. GLASS DOORS & SKYLIGHTS)	(74.79 sq. m.)	(75.10 sq. m.)	(92.62 sq. m.)	(71.05 sq. m.)	(71.36 sq. m.)	(84.80 sq. m.)
ft. n.)	TOTAL WINDOW %	15.74 %	15.08 %	17.44 %	14.95 %	14.33 %	15.97 %
	WINDOW / WALL AREA	EL. 'C'					
3	CALCULATIONS	STD. PLAN	STD WOD	STD WOB	OPT. PLAN	OPT WOD	OPT WOB
ft.	GROSS WALL AREA	5284.28 sq. ft.	5379.16 sq. ft.	5737.10 sq. ft.	5284.28 sq. ft.	5379.16 sq. ft.	5737.10 sq. ft.
1.)	GROSS WALL AREA	(490.93 sq. m.)	(499.74 sq. m.)	(532.99 sq. m.)	(490.93 sq. m.)	(499.74 sq. m.)	(532.99 sq. m.)
ft.	GROSS WINDOW AREA	901.33 sq. ft.	904.67 sq. ft.	1067.06 sq. ft.	861.11 sq. ft.	868.44 sq. ft.	1026.83 sq. ft.
.)	(INCL. GLASS DOORS & SKYLIGHTS)	(83.74 sq. m.)	(84.05 sq. m.)	(99.13 sq. m.)	(80.00 sq. m.)	(80.68 sq. m.)	(95.40 sq. m.)
.	TOTAL MINIDOMAS	47.00.0/	40.00.0/	40.00.0/	40.00.0/	40 44 0/	47.00.0/

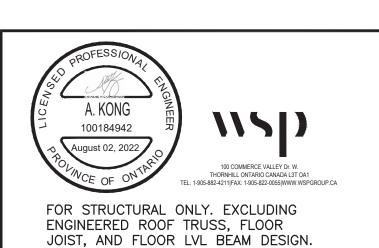


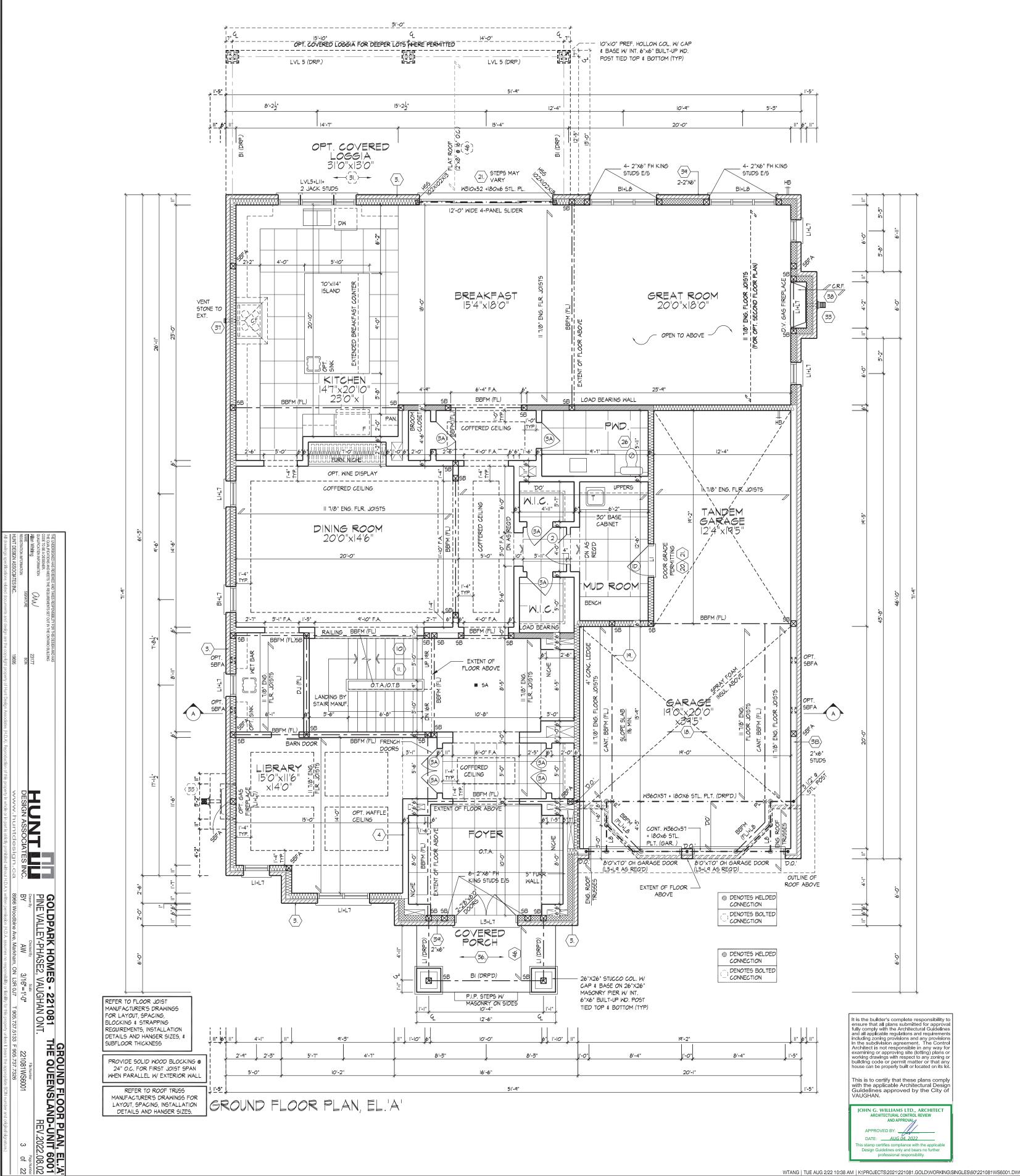


	TOTAL WINDOW %	17.06 %	16.82 %	18.60 %	16.30 %	16.14 %	17.90 %	
7.	-						-	-
6.	-						-	-
5.	REVISED PER STRUC	T. ENG. COMM	ENTS				2022.08.02	WT
4.	ISSUED FOR PERMIT						2022.07.25	AW
3.	REVISED PER STRUC	T. ENG. COMM	ENTS				2022.07.20	SP
2.	CO-ORD. W/ FLOOR &	TRUSS LAYOU	JTS				2022.05.19	SP
1.	ISSUED FOR CLIENT F	REVIEW					2022.02.21	AW
			REVISION	S			DATE (YYYY/MM/DD)	BY
1								

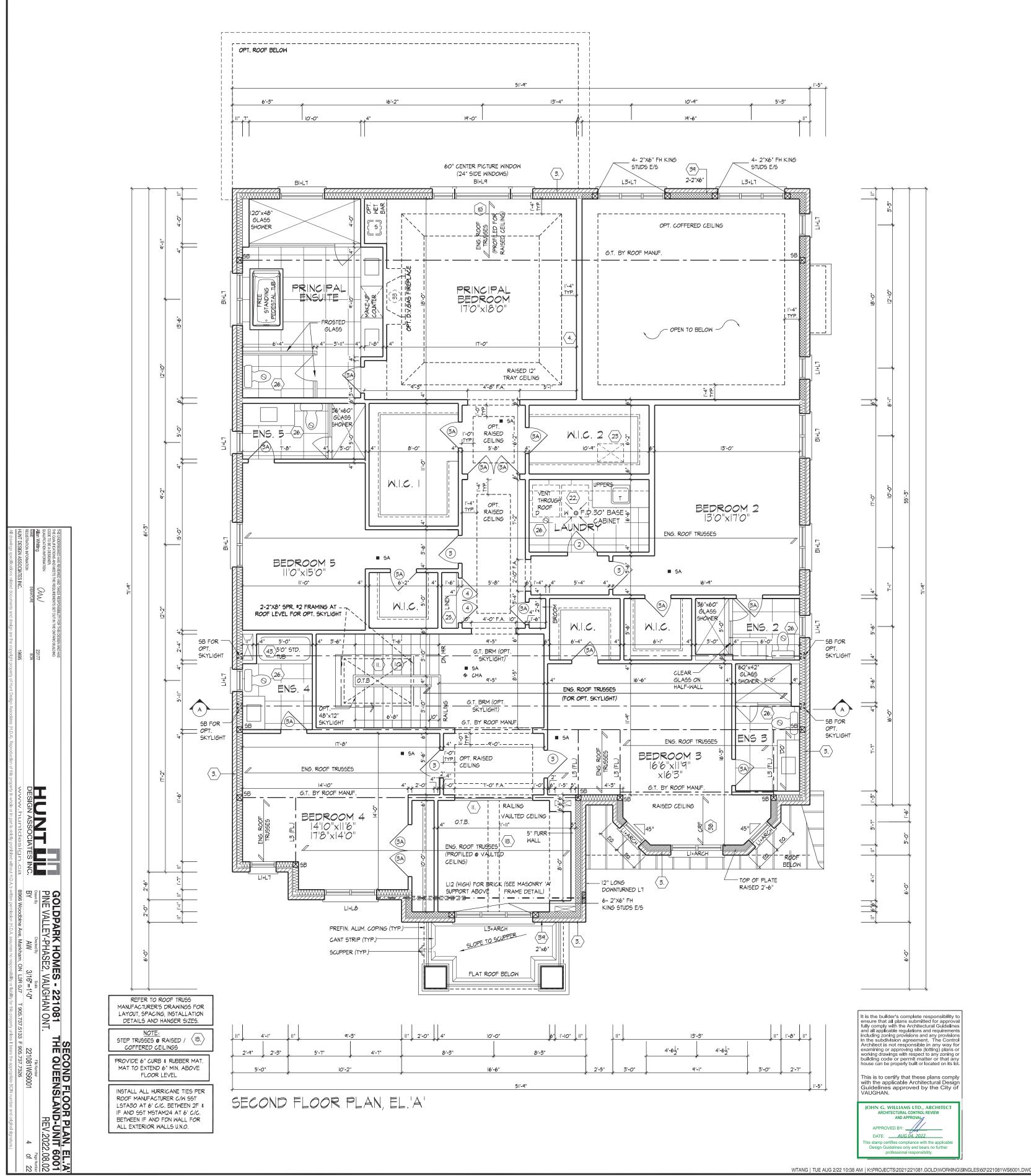
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CODE TO BE A DESIGNER. QUALIFICATION INFORMATION Allan Whiting	aw	23177	HUNTÜÜ	PINE V	ALLEY-PHASE Checked By	E2, VAUGH	IAN ONT.	REV.202	2.08.02 Page Numb
NAME REGISTRATION INFORMATION	SIGNATURE	BCIN	DESIGN ASSOCIATES INC.	BY	AW	3/16"=1'-0"		1	of 2
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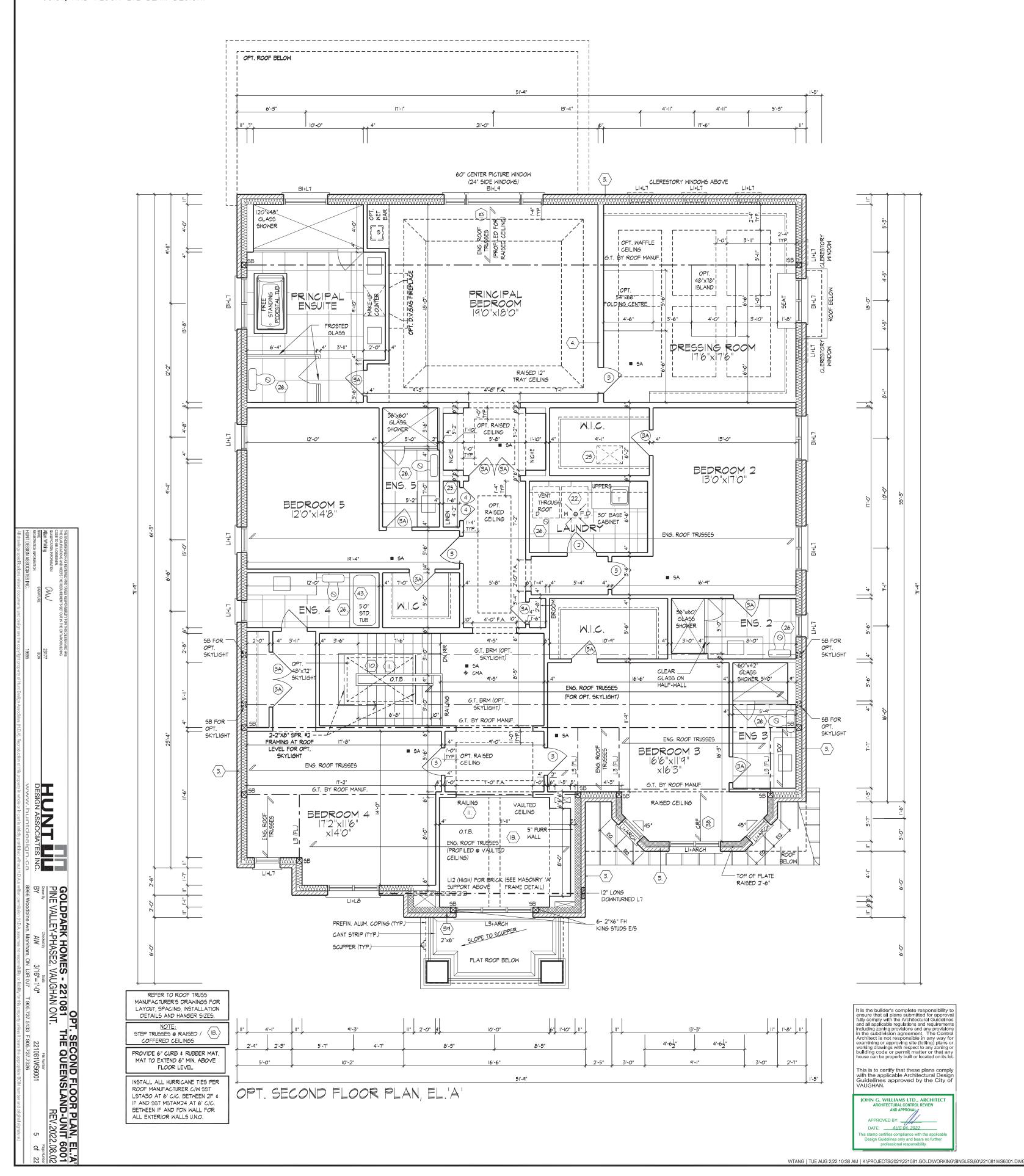


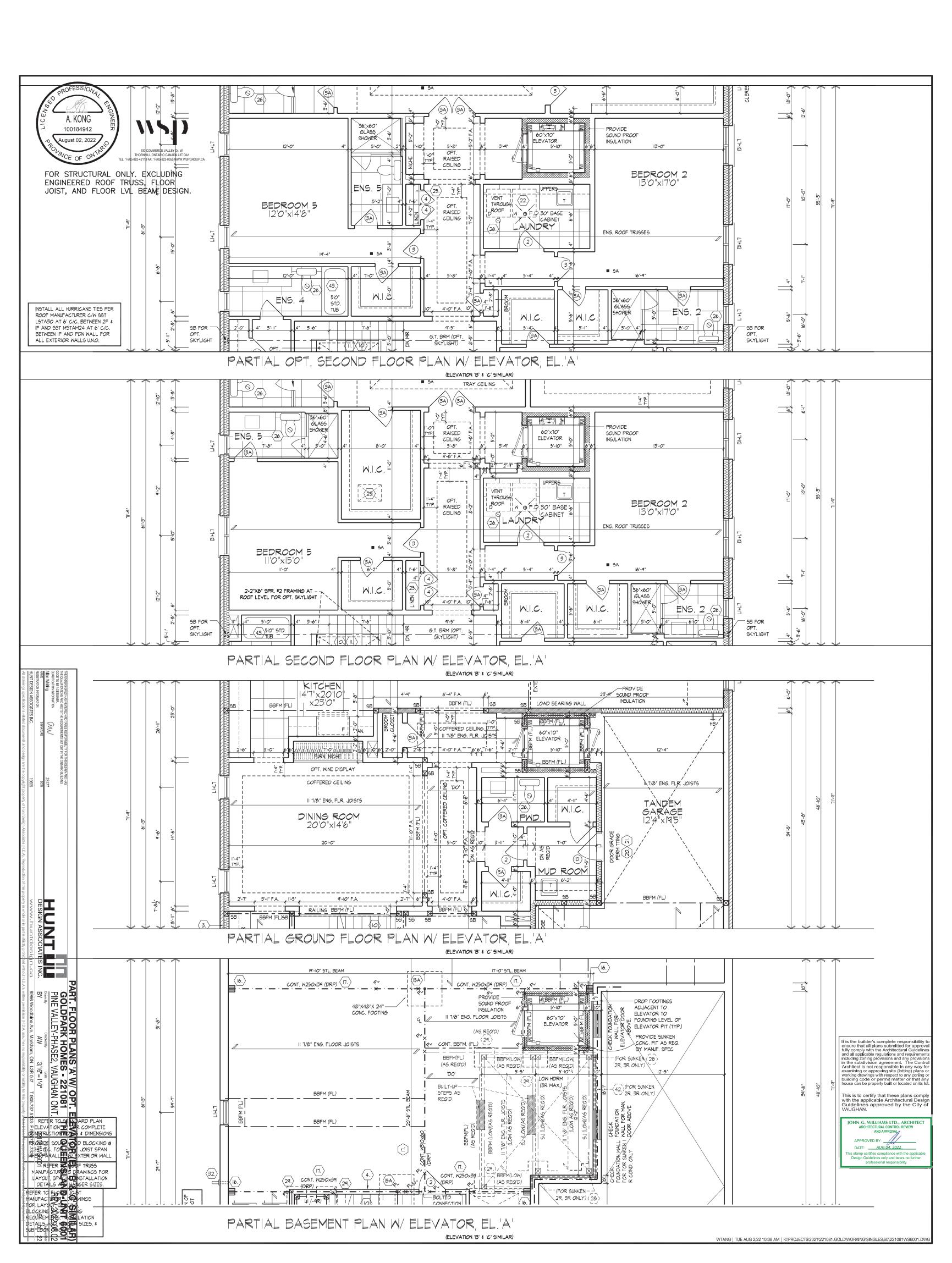


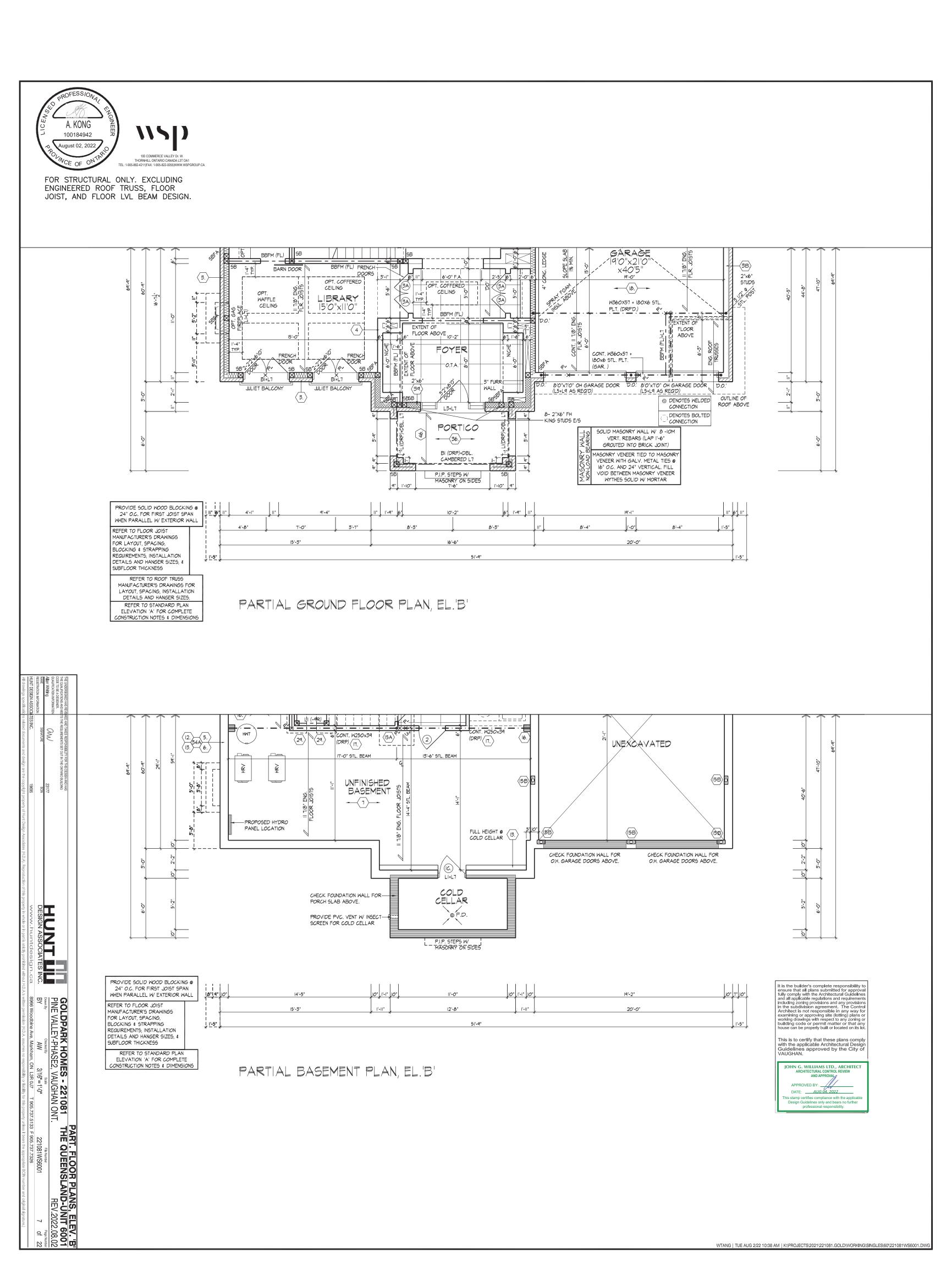




ENGINEERED ROOF TRUSS, FLOOR
JOIST, AND FLOOR LVL BEAM DESIGN.

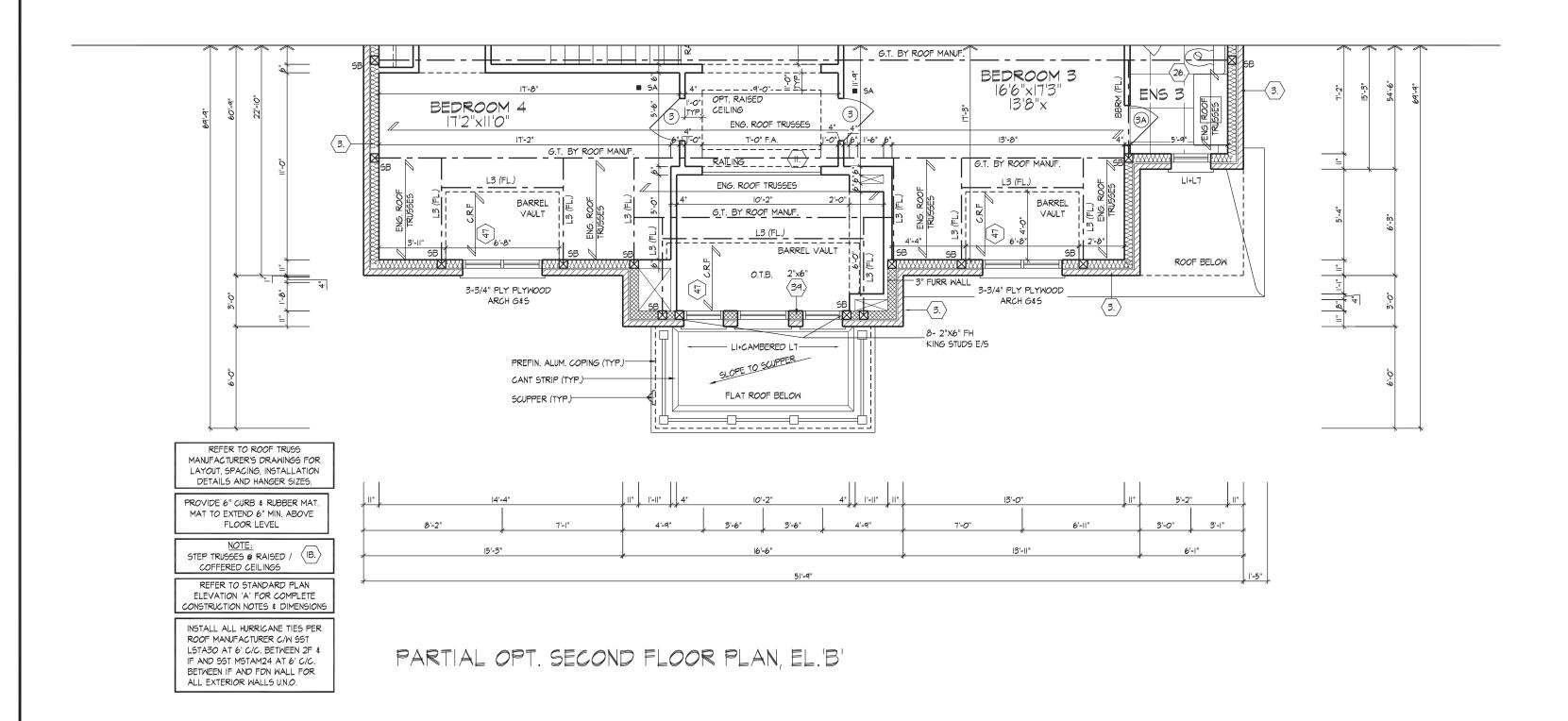


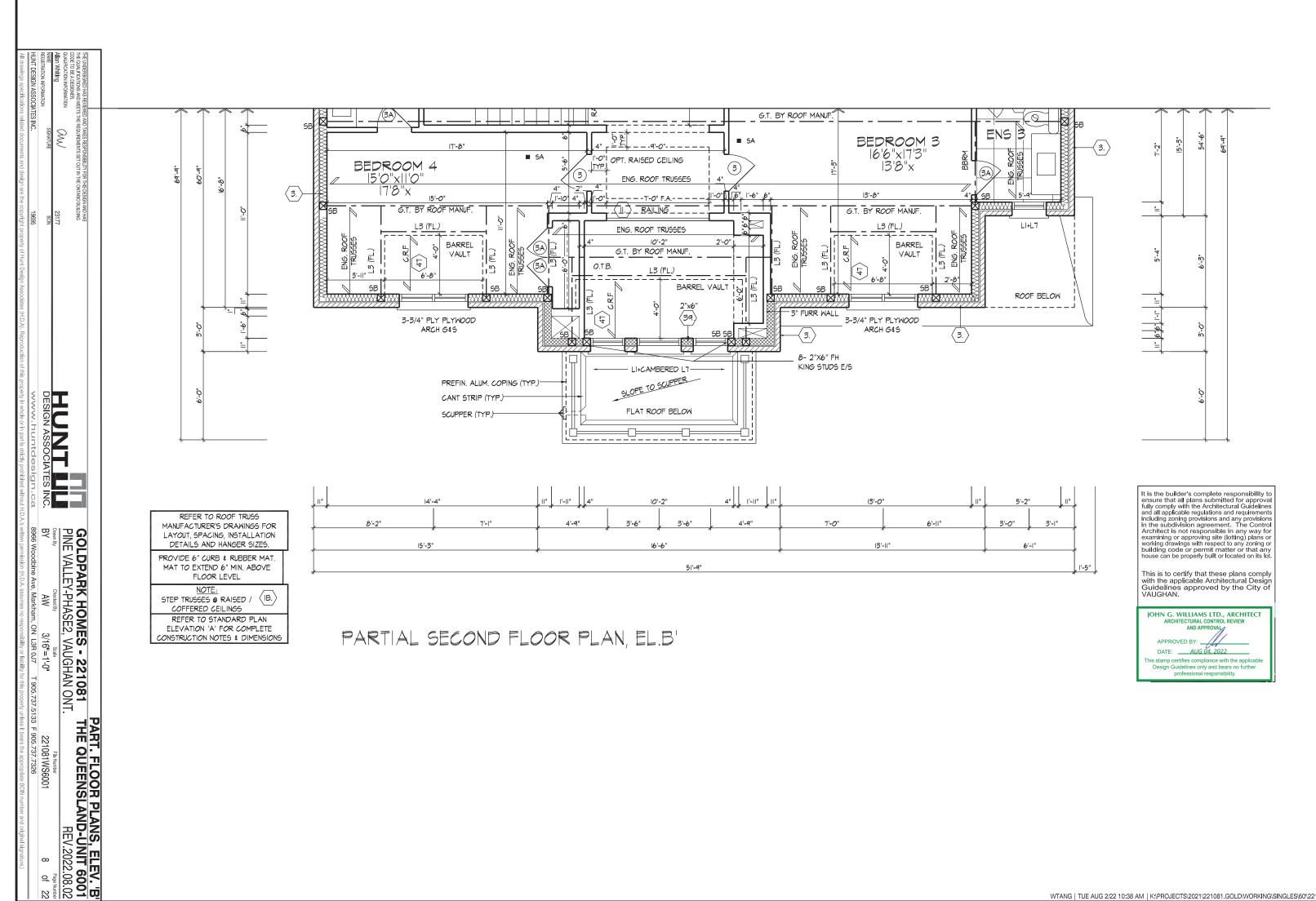






ENGINEERED ROOF TRUSS, FLOOR JOIST, AND FLOOR LVL BEAM DESIGN.





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FOR STRUCTURAL ONLY. EXCLUDING ENGINEERED ROOF TRUSS, FLOOR JOIST, AND FLOOR LVL BEAM DESIGN.

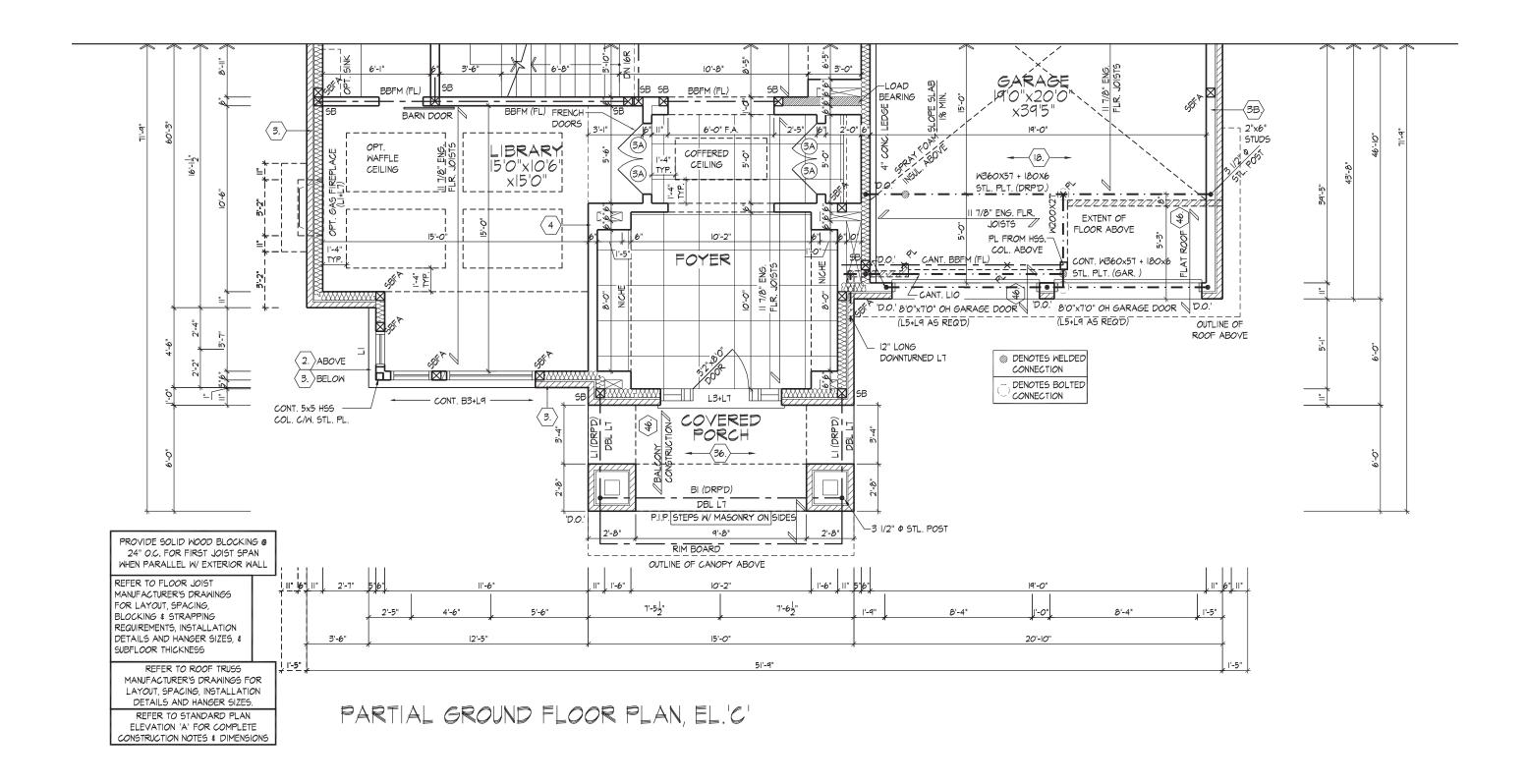
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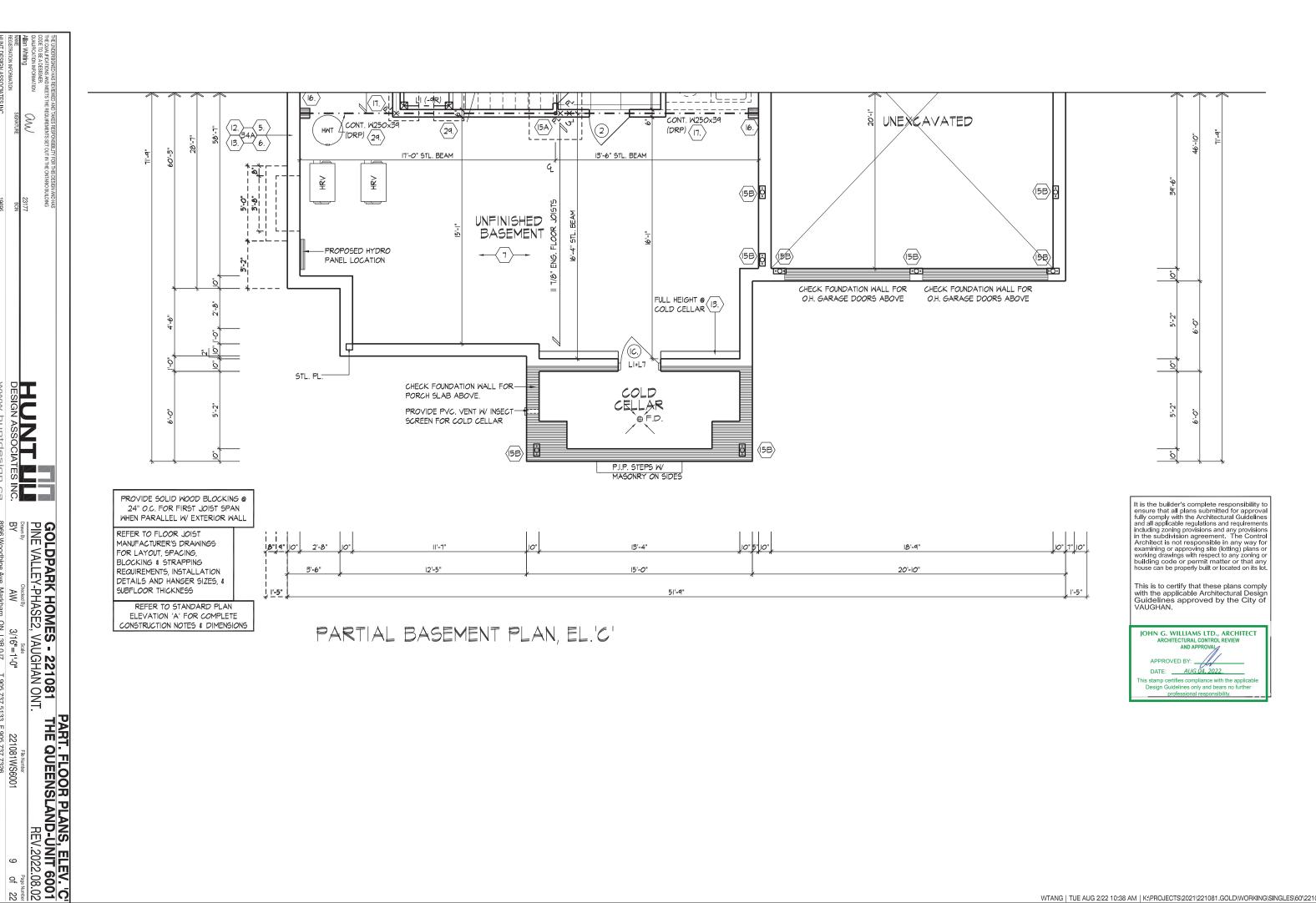
HUNT DESIGN ASSOCIAT

AW Mark

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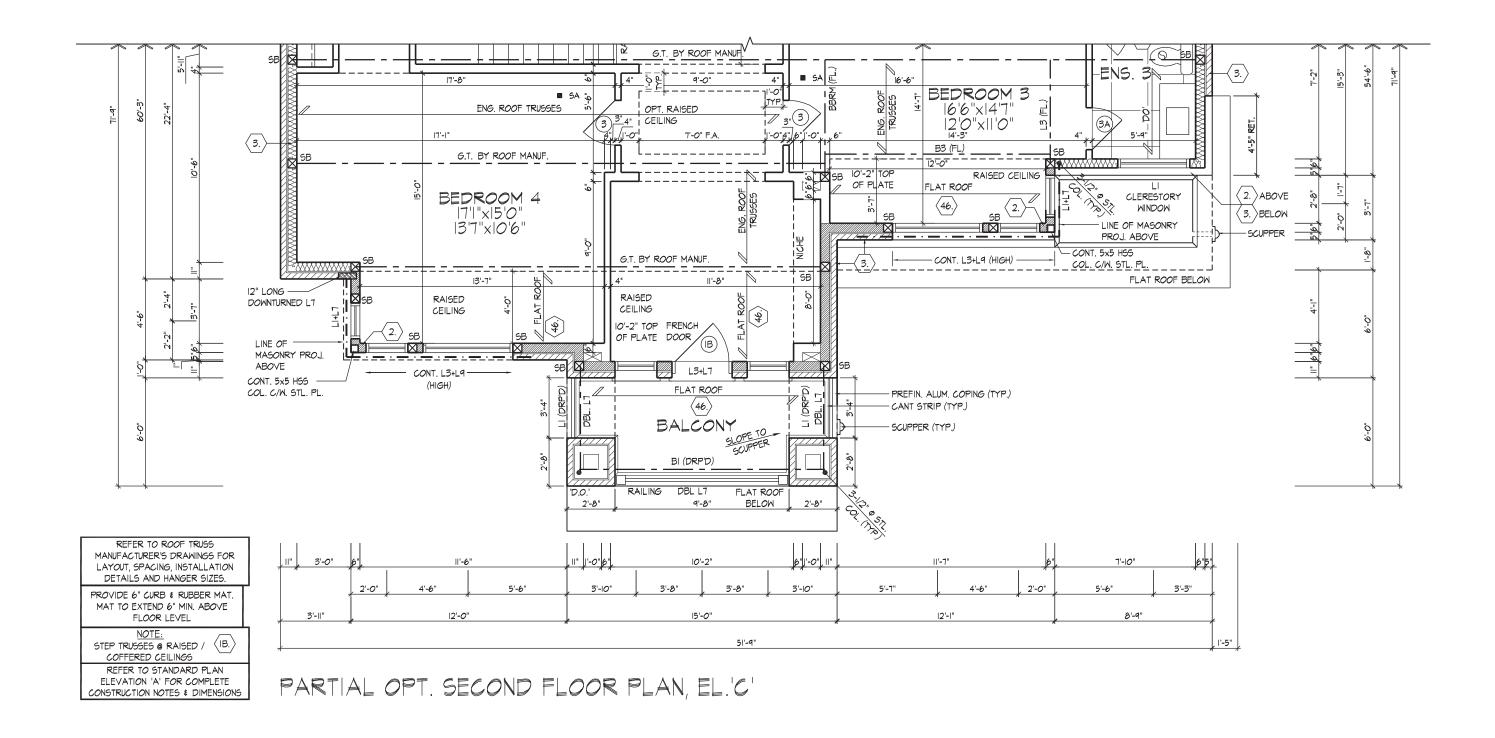
HUNT DESIGN ASSOCIATION

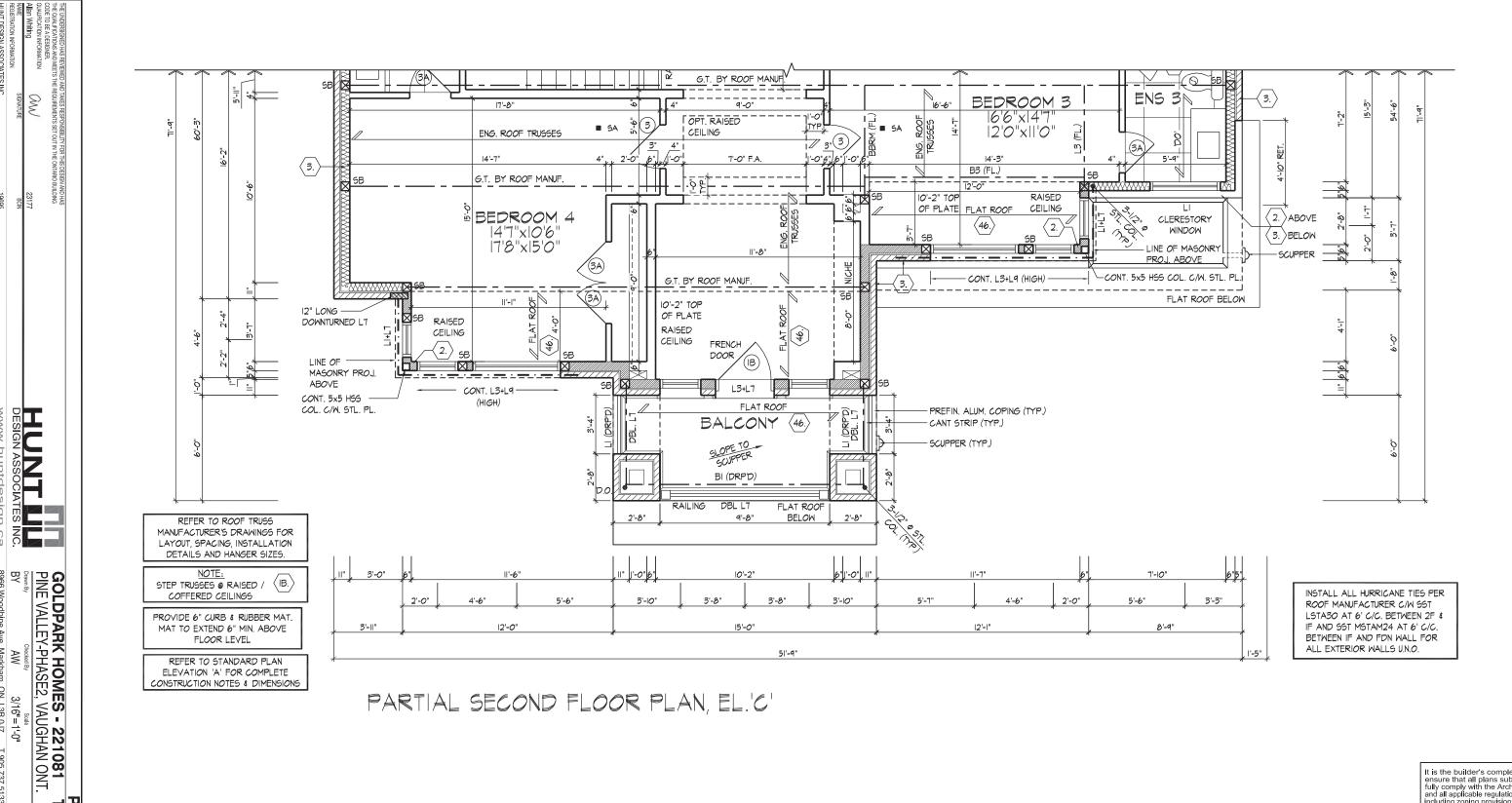
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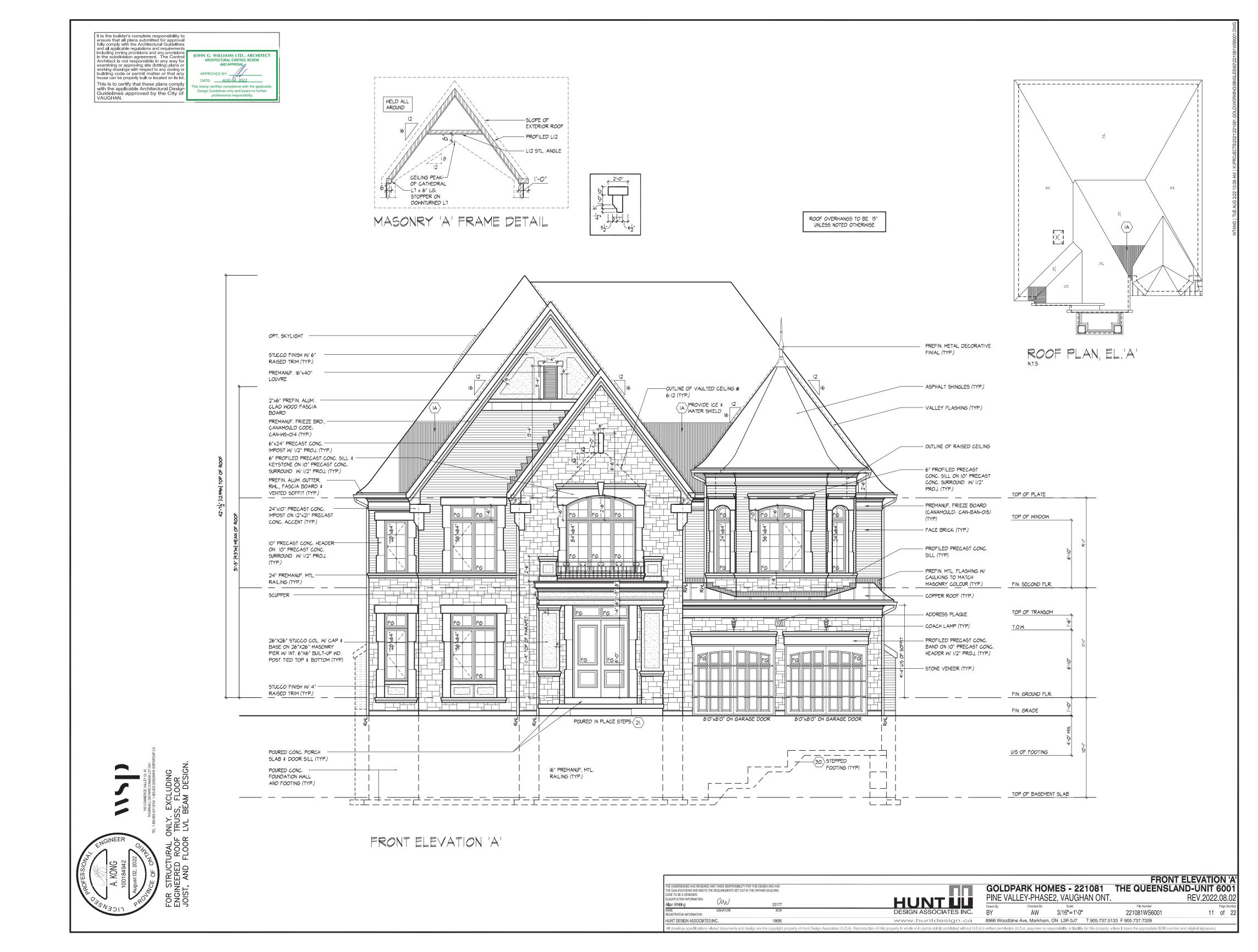
PART. FLOOR PLANS, ELEV. 'C'
THE QUEENSLAND-UNIT 6001
REV.2022.08.02

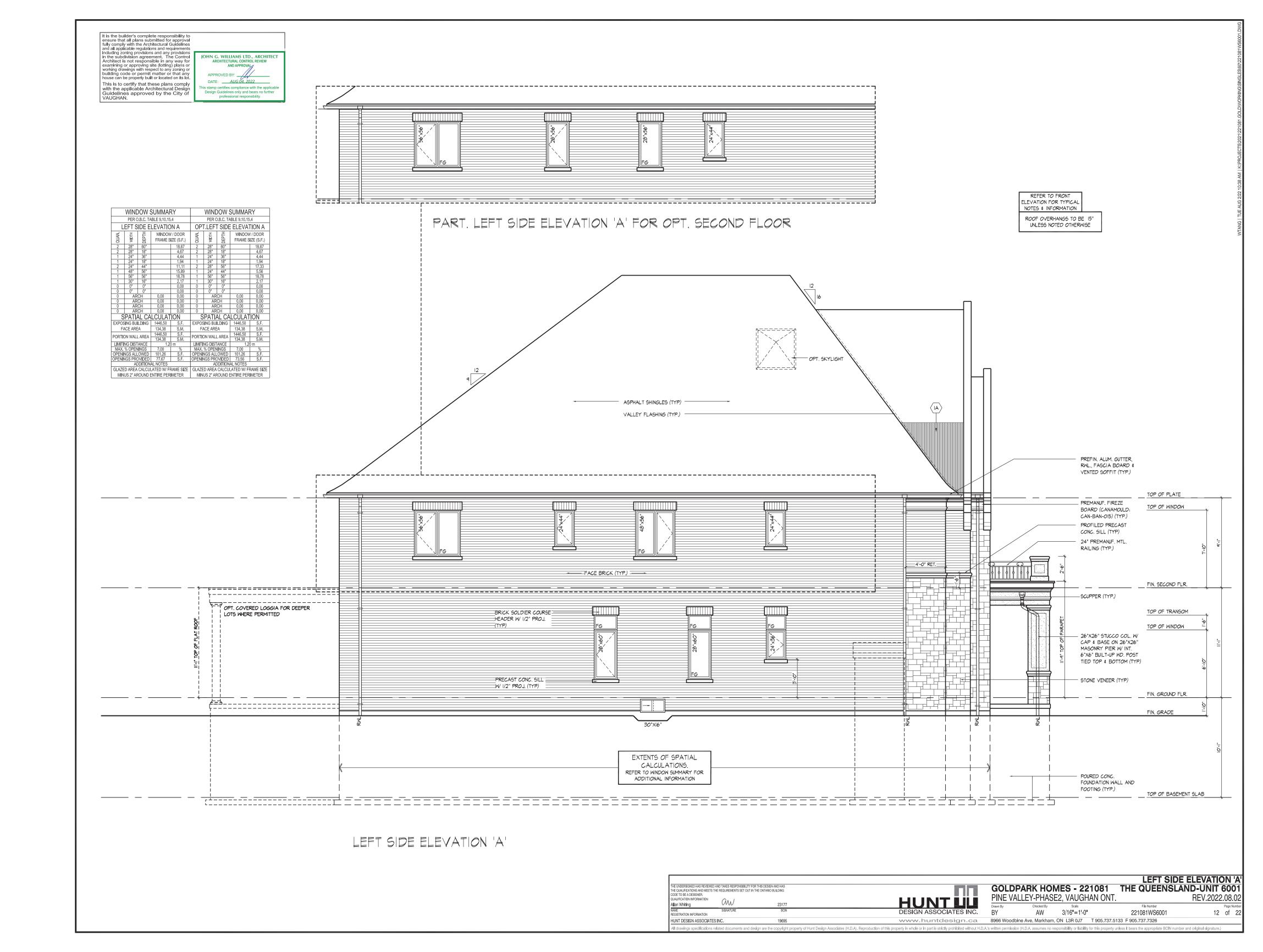


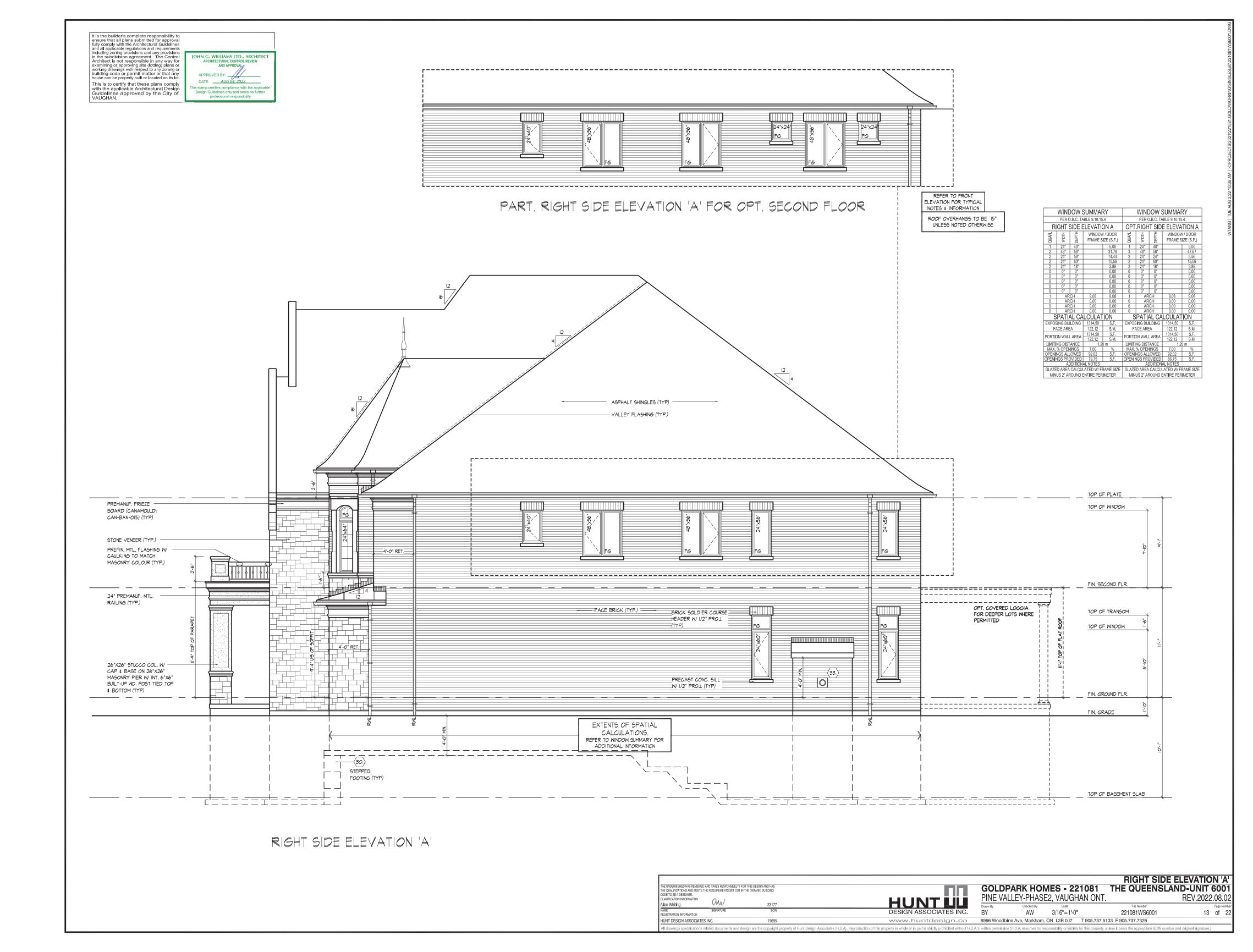


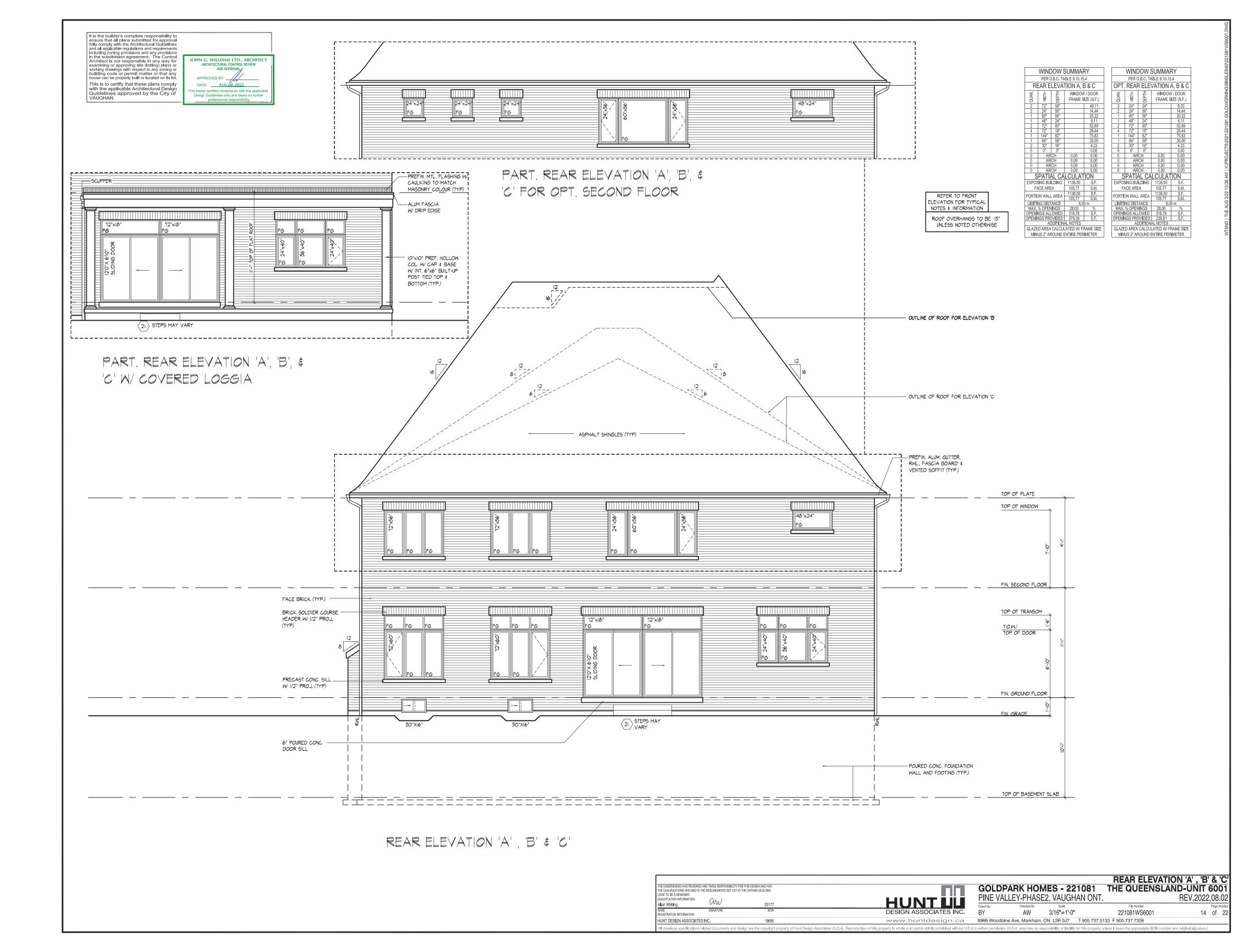


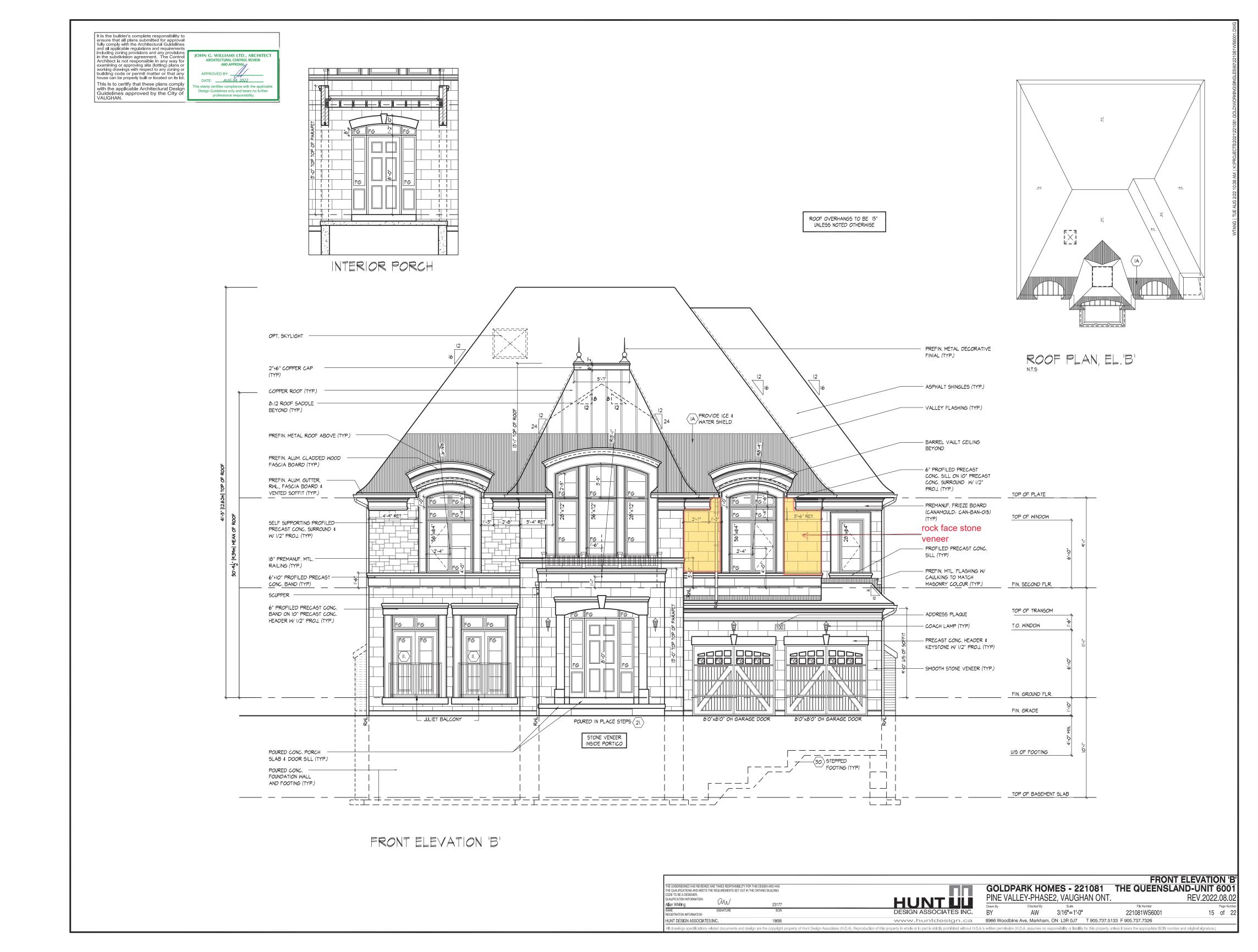
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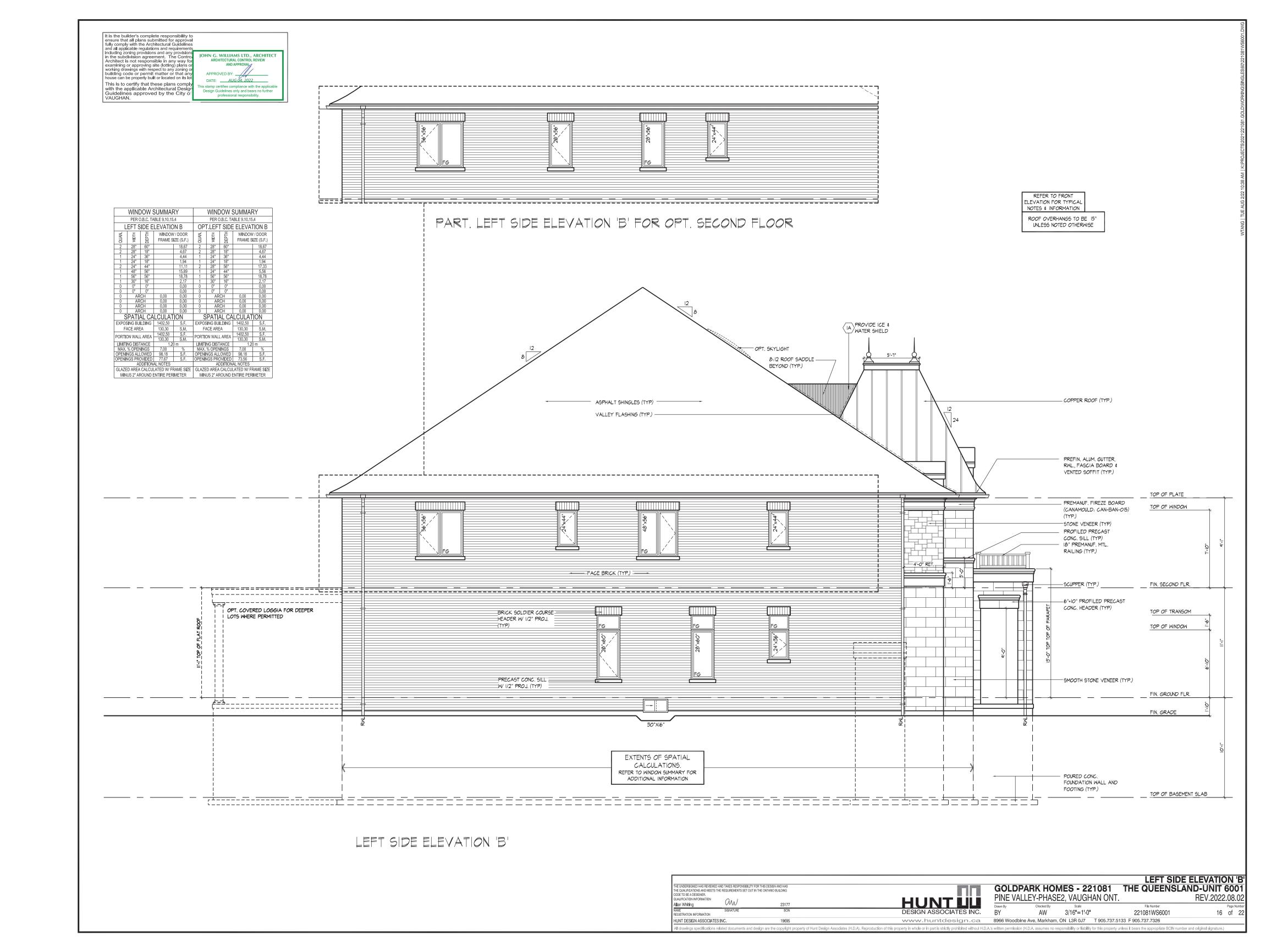


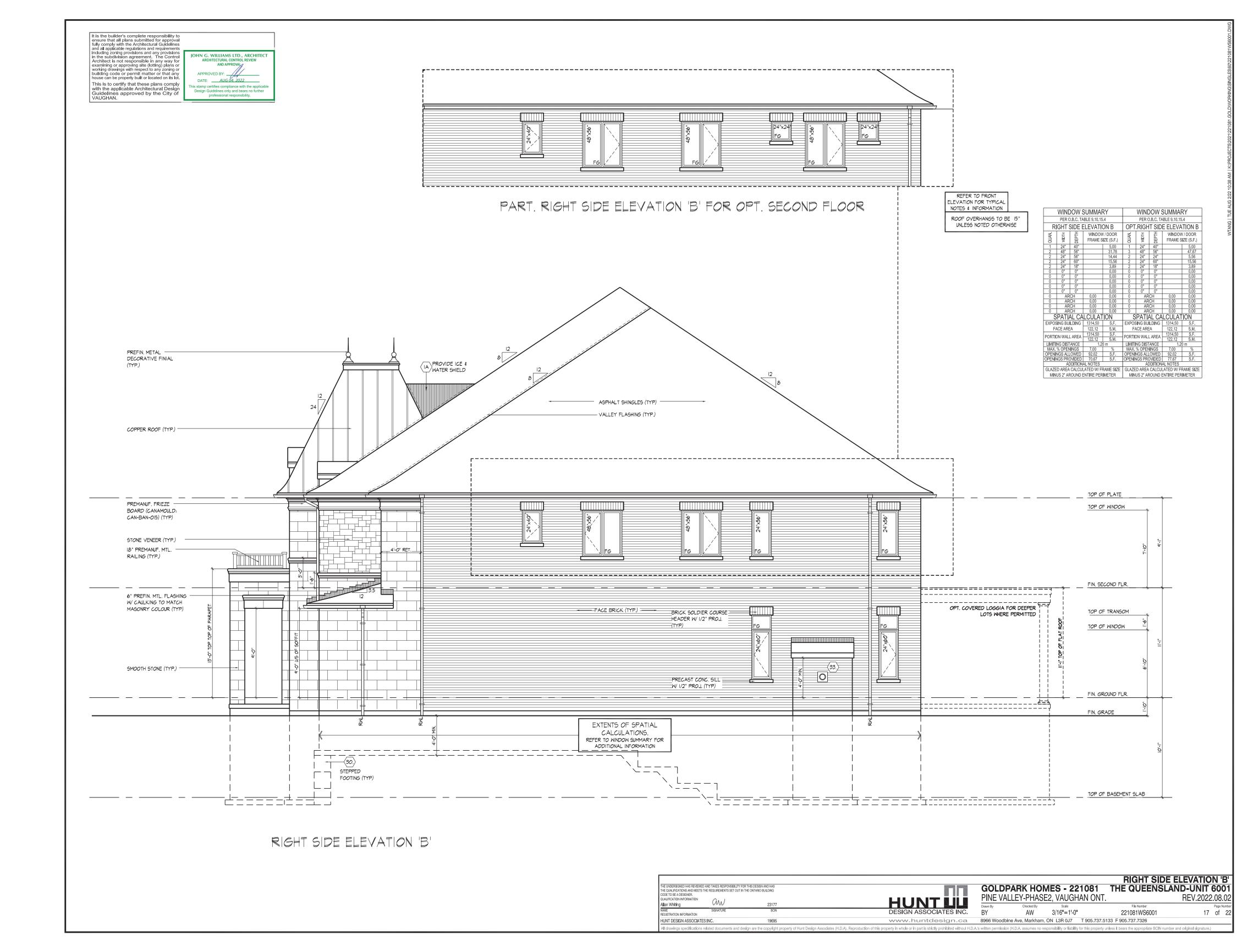


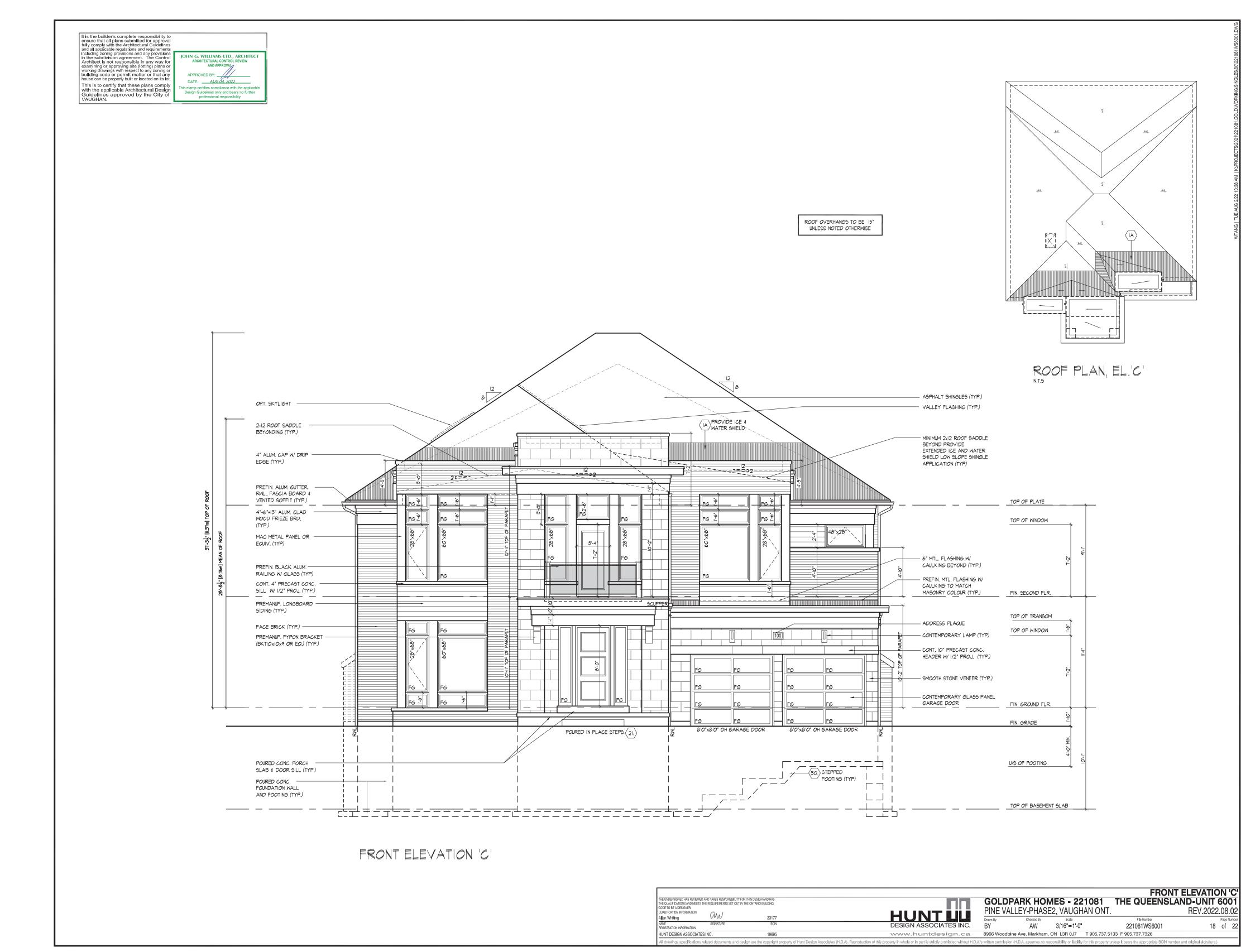


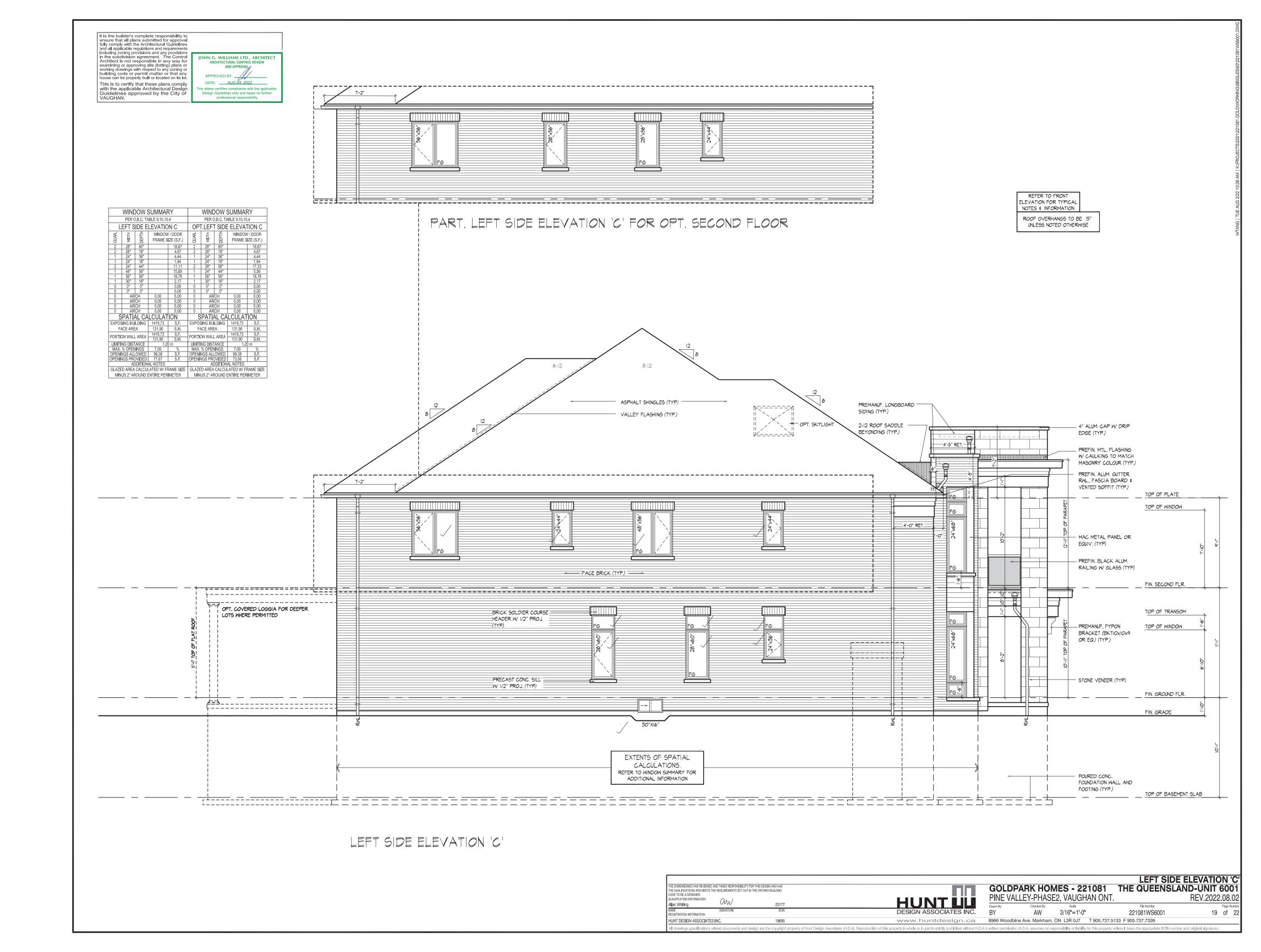


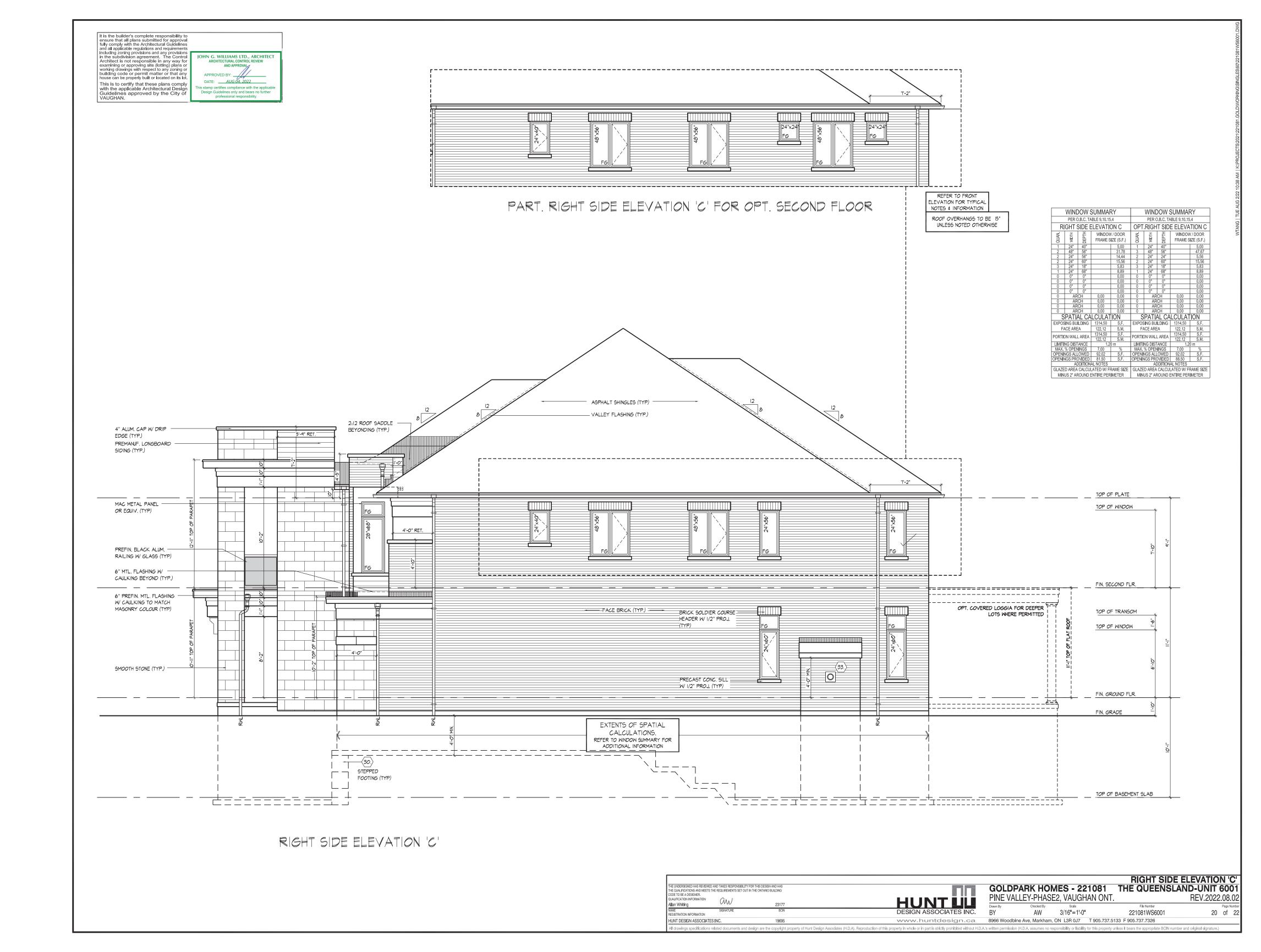


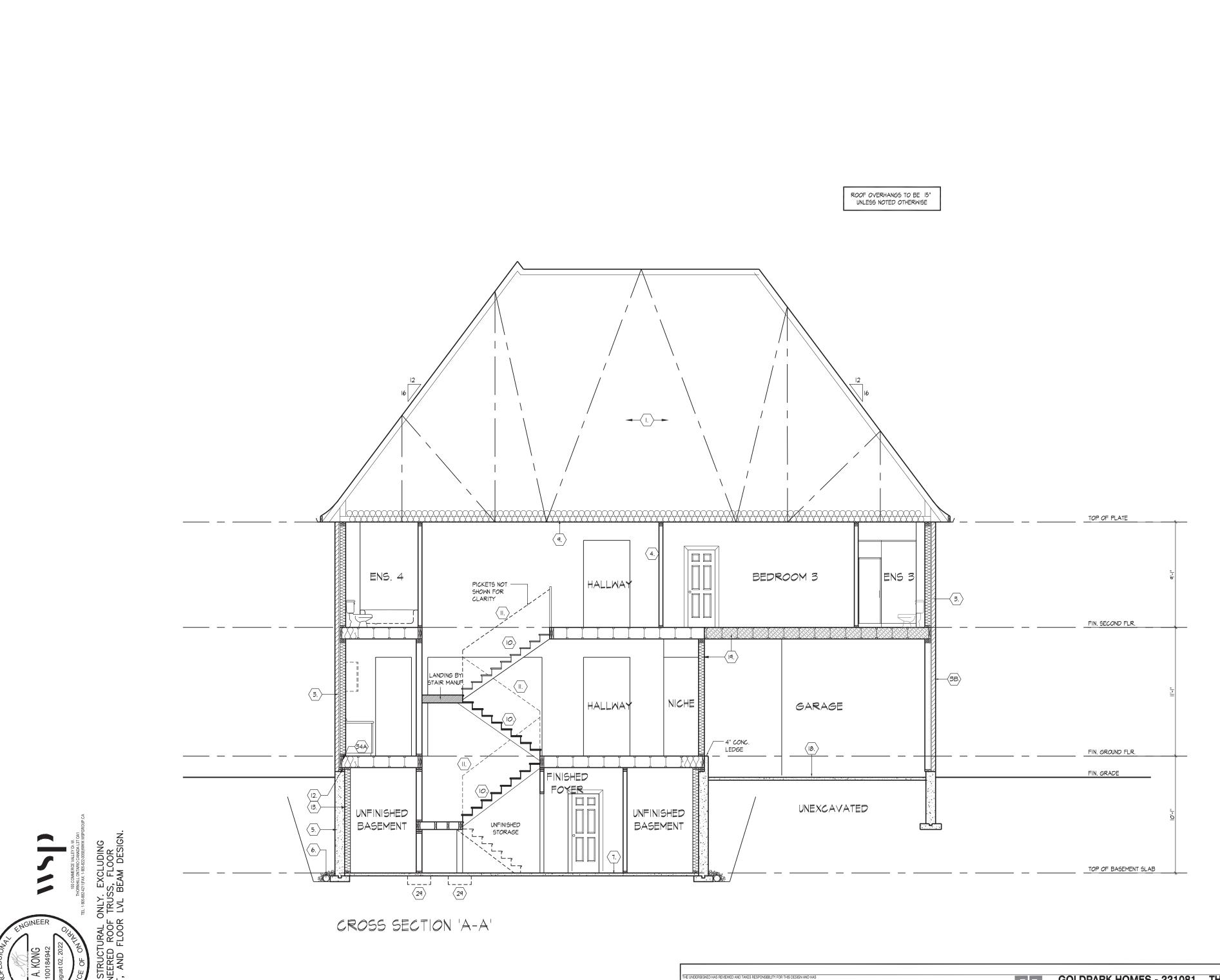












								CRO	SS SECTION	1 'A-	A
THE UNDERSIGNED HAS REVIEWED A THE QUALIFICATIONS AND MEETS TH					GOLI	DPARK HO	MES - 22	1081 THE QUEENS	LAND-UNIT	600)1
CODE TO BE A DESIGNER. QUALIFICATION INFORMATION	aw			HUNTU	PINE \	/ALLEY-PHAS	E2, VAUGH	IAN ONT.	REV.2022	2.08.0	02
Allan Whiting	SIGNATURE	23177			Diawii by	Checked By	Scale	File Number		Page Nu	
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1A ICE AND WATER SHIELD

PROVIDE ICE AND WATER SHIELD IN THE AREAS INDICATED. THE ICE AND WATER SHIELD SHALL BE A SELF ADHERING AND SELF SEALING MEMBRANE. SIDE LAPS MUST BE A MINIMUM 3 1/2" (90) AND END LAPS A MINIMUM 6" (152). AND TO EXTEND UP DORMER WALLS A MINIMUM 12" (305).

PROFILED ROOF TRUSSES ROOF TRUSSES SHALL BE PROFILED AND/OR STEPPED AT RAISED COFFER/TRAY CEILINGS. ANGLED TRAY CEILINGS WILL BE SHEATHED W/ 3/8" (9.5) PLYWOOD.

SIDING WALL CONSTRUCTION (2'x6') SIDING MATERIAL AS PER ELEVATION ATTACHED TO FRAMING MEMBERS FURRING MEMBERS OR BLOCKING BETWEEN THE FRAMING MEMBERS ON APPROVED SHEATHING PAPER ON 3/8" (9.5) EXT. GRADE SHEATHING ON STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1., INSULATION, APPROVED 6 MIL POLYETHYLENE AIR/VAPOUR BARRIER, ON 1/2" (12.7) GYPSUM WALLBOARD INT. FIN. (GYPSUM SHEATHING, RIGID INSULATION, AND FIBERBOARD SHALL NOT BE USED

FOR THE ATTACHMENT OF SIDING (9.23.16.3.(1.)) (REFER TO 35 NOTE AS REQ.) SIDING WALL CONSTRUCTION (2'x6') W/ CONTIN. INSULATION SIDING MATERIAL AS PER ELEVATION ATTACHED TO FURRING MEMBERS ON APPROVED AIRWATER BARRIER AS PER O.B.C. 9,27,3, ON EXTERIOR TYPE RIGID NSULATION (JOINTS UNTAPED) MECHANICALLY FASTENED AS I MANUFACTURER'S SPECIFICATIONS ON 3/8" (9.5) EXT. GRADE SHEATHING ON STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1., INSULATION, APPROVED 6 MIL POLYETHYLENE AIR/VAPOUR BARRIER, ON 1/2" (12.7) GYPSUM WALLBOARD INT. FIN. (GYPSUM SHEATHING, RIGID INSULATION, AND FIBERBOARD SHALL NOT BE (10) USED FOR THE ATTACHMENT OF SIDING (9.23.16.3.(1.)) (REFER TO 35 NOTE AS REQ.)

SIDING WALL @ GARAGE CONSTRUCTION SIDING MATERIAL AS PER ELEVATION ATTACHED TO FRAMING MEMBERS FURRING MEMBERS OR BLOCKING BETWEEN THE FRAMING MEMBERS C APPROVED SHEATHING PAPER ON 3/8" (9.5) EXTERIOR TYPE SHEATHING ON APPROVED SHEATHING PAPER ON 3/8' (9.3) EXTENDED TYPE SHEATHING ON STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1.,1/2" (12.7) GYPSUM WALLBOARD INTERIOR FINISH. (GYPSUM SHEATHING, RIGID INSULATION AND FIBERBOARD SHALL NOT BE USED FOR THE ATTACHMENT OF SIDING (9.23.16.3.(1.)) (REFER TO 35 NOTE AS REQ.)

BRICK VENEER WALL CONSTRUCTION (2'x6') 1/2' (90) BRICK VENEER 1" (25) AIR SPACE, 7/8"x7'x0.03" (22x180x0.76) GALV. METAL TIES ⊇ 16" (400) O.C. HORIZ. 24" (600) O.C. VERT. BONDING AND FASTENING FOR TIES TO CONFORM WITH 9.20.9. ON APPROVED SHEATHING PAPER, 3/8" (9.5) EXTERIOR TYPE SHEATHING, STUDS CONFORMING TO 0.B.C (9.23.10.1.) & SECTION 1.1., INSULATION AND 6 mil POLYETHYLENE VAPOUR BARRIER WITH APPROVED CONTIN. AIR BARRIER. 1/(12.7) GYPSUM WALLBOARD INTERIOR FINISH. PROVIDE WEEP HOLES @ 32" (800) O.C. BOTTOM COURSE AND OVER OPENINGS. PROVIDE BASE FLASHING UP MIN. 6" (150) BEHIND BUILDING PAPER (9.20.13.6.) (REFER TO 35 NOTE AS REQUIRED)

BRICK VENEER WALL CONSTRUCTION (2"x6") W/ CONTIN. INSULATION 1/2" (90) BRICK VENEER 1" (25) AIR SPACE, 7/8"x7"x0.03" (22x180x0.76) GALV. METAL IES @ 16" (400) O.C. HORIZ. 24" (600) O.C. VERT. BONDING AND FASTENING FOR ES TO CONFORM WITH 9.20.9. ON APPROVED AIR/WATER BARRIER AS PER O.B.C. 9.27.3. ON EXTERIOR TYPE RIGID INSULATION (JOINTS UNTAPED) MECHANICALLY FASTENED AS PER MANUFACTURER'S SPECIFICATIONS, ON 3/8" (9.5) EXTERIOR TYPE SHEATHING, STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1., INSULATION AND 6 mil POLYETHYLENE VAPOUR BARRIER WITH APPROVED CONTIN. AIR BARRIER 1/2" (12.7) GYPSUM WALLBOARD INTERIOR FINISH. PROVIDE WEEP HOLES @ 32" (800 O.C. BOTTOM COURSE AND OVER OPENINGS. PROVIDE BASE FLASHING UP MIN. 6" (150) OVER RIGID INSULATION (9.20.13.6.) (REFER TO 35 NOTE AS REQUIRED)

BRICK VENEER WALL @ GARAGE CONSTRUCTION 3 1/2" (90) BRICK VENEER, MIN. 1" (25) AIR SPACE, 7/8"x7"x0.03" (22x180x0.76) GALV. METAL TIES @ 16" (400) O.C. HORIZ. 24" (600) O.C. VERT. BONDING AND FASTENING FOR TIES TO CONFORM WITH 9.20.9. ON APPROVED SHEATHING PAPER, 3/8" (9.5) EXTERIOR TYPE SHEATHING ON STUDS CONFORMING TO SECTION 1.1., 1/2" (12.7) GYPSUM WALLBOARD INTERIOR FINISH, PROVIDE WEEP HOLES @ 32" (800) O.C. AT BOTTOM COURSE AND OVER OPENINGS, PROVIDE BASE FLASHING UP 6" (150) MIN. BEHIND BUILDING PAPER (9.20.13.6.) (REFER TO

INTERIOR STUD PARTITIONS (9.23.9.8., 9.23.10) BEARING PARTITIONS SHALL BE A MINIMUM 2"X4" (38x89) @ 16" (406) O.C. FOR 2 STOREY AND 12" (305) O.C. FOR 3 STOREY, NON-BEARING PARTITIONS 2"X4" (38x89) @ 24" (610) O.C. PROVIDE 2"X4" (38x89) BOTTOM PLATE AND 2-2"X4" (2-38x89) TOP PLATE. 1/2" (1.2") INT. DRYWALL BOTH SIDES OF STUDS, PROVIDE 2"x6" (38x140) STUDS WHERE NOTED. PROVIDE 2"X4" (38x89) @ 24" (610) O.C. LADDER FRAMING WHERE WALLS INTERSECT PERPENDICULAR TO ONE ANOTHER. PROVIDE 2"X4" (38x89) WOOD BLOCKING ON FLAT & 2000 CONTROL OF CO JOISTS WHEN NON-LOADBEARING WALLS ARE PARALLEL TO FLOOR JOISTS

4A EXT. LOFT WALL CONSTRUCTION (2"x6") - NO CLADDING 3/8" (9.5) EXTERIOR TYPE SHEATHING, STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1., INSULATION AND 6 mil POLYETHYLENE VAPOUR BARRIER WITH APPROVED CONT. AIR BARRIER. 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (9.23.)

EXT. LOFT WALL CONSTRUCTION (2"x6") NO CLADDING W/ CONTINUOUS INSULATION

PROVED AIRWATER BARRIER AS PER O.B.C. 9.27.3. ON EXTERIOR TYPE RIGID SULATION (JOINTS UNTAPED) MECHANICALLY FASTENED AS PER MANUFACTURER'S SPECIFICATIONS, ON 3/8" (9.5) EXTERIOR TYPE SHEATHING. STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1., INSULATION AND 6 mil POLYETHYLENE VAPOUR BARRIER WITH APPROVED CONT. AIR BARRIER. 1/2"

(12.7) GYPSUM WALLBOARD INT. FINISH. (9.23.)

FOUNDATION WALL/FOOTINGS POURED CONC. FOUNDATION WALL AS PER CHART BELOW ON CONTINUOUS KEYED CONCRETE FOOTING. FOUNDATION WALLS SHALL EXTEND NOT LES THAN 6" (150) ABOVE FINISHED GRADE. THE OUTSIDE OF THE FOUNDATION SHALL BE DAMPROOFED FROM THE TOP OF THE FOOTING TO FINISHED GRADE AND BRUSH COAT FROM THE TOP TO 2" BELOW GRADE, PROVIDE A DRAINAGE LAYER ON THE OUTSIDE OF THE FOUNDATION WALL. SEAL THE DRAINAGE LAYER AT THE TOP. THE TOP OF THE CONC. FOOTING SHALL BE DAMPROOFED. CONCRETE FOOTINGS SUPPORTING JOIST SPANS GREATER THAN 16-1" (4900) SHALL BE SIZED IN ACCORDANCE WITH 9.15.3.4 (1),(2) OF THE O.B.C. (REFER TO CHART BELOW FOR RESPECTIVE SIZE). BRACE FOUNDATION WALL PRIOR TO BACKFILLING. ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OF 125kPa S.L.S. OR COMPACTED ENGINEERED FILL WITH MIN. BEARING CAPACITY OF 125KPA S.L.S. IF SOIL BEARING DOES NOT MEET MINIMUM CAPACITY, ENGINEERED FOOTINGS ARE REQUIRED. ACTUAL SOIL BEARING CAPACITY TO BE VERIFIED WITH SOIL ENGINEERING REPORT. REFER TO CONSTRUCTION DRAWINGS AND DETAILS FOR FOUNDATION

WALL STRENGTH AND THICKNESS AND 9.15.4 FOUNDATION WALLS SHALL NOT EXCEED 9'-10" (3.0m) IN UNSUPPORTED

HEIG	HEIGHT UNLESS OTHERWISE NOTED. [9.15.4.2.(1.)]								
	UNREINFORCED SOLID CONCRETE FOUNDATION WALLS (9.15.4.2.)								
E.	ESS	MAX	. HEIGHT FROM	F I N. SLAB TO GR	ADE				
STRENGTH	THICKNESS	UNSUPPORTED	SI	JPPORTED AT TO)P				
STF	불	AT TOP	≤2.5m	>2.5m & ≤2.75m	>2.75m & ≤3.0m				
МРа	* 8"	3'-11" (1.20m)	7'-0" (2.15m)	7'-0" (2.15m)	6'-10" (2.10m)				
	10"	4'-7" (1.40m)	7'-6" (2.30m)	8'-6" (2.60m)	8'-2" (2.50m)				
15	12"	4'-11" (1.50m)	7'-6" (2.30m)	8'-6" (2.60m)	9'-3" (2.85m)				
a	* 8"	3'-11" (1.20m)	7'-6" (2.30m)	7'-6" (2.30m)	7'-2" (2.20m)				

0" 4-7" (1.40m) 7'-6" (2.30m) 8'-6" (2.60m) 9'-3" (2.85m) 2" 4'-11" (1.50m) 7'-6" (2.30m) 8'-6" (2.60m) 9'-3" (2.85m) *9" MIN. THICK FOUNDATION WALL IS REQUIRED FOR MASONRY VENEER FINISHED EXTERIOR WALLS WITH CONTINUOUS INSULATION CONDITION, TO PROVIDE MIN. BEARING FOR SILL PLATES, BEAMS AND FLOOR JOIST AS PER 9.23.7.2., 9.23.8.1., & 9.23.9.1. OF THE O.B.C.

. ι., α	9.23.9.1	. OF II	IE U.B.C		
N	INIMUN	STRIP	OOTING	SIZES	(9.15.3.

MINIMUM STRIP FOOTING SIZES (9.15.3.) UNLESS NOTED OTHERWISE ON PLANS								
NUMBER FLOORS SUPPORTED	SUPPORTING INT. LOAD BEARING MASONRY WALLS	SUPPORTING EXTERIOR	SUPPORTING PARTYWALL					
1	16' WIDE x 6" THICK	16" WIDE x 6" THICK	16" WIDE x 6" THICK					
2	24' WIDE x 8" THICK	20" WIDE x 6" THICK	24" WIDE x 8" THICK					
3	36" WIDE x 14" THICK	26" WIDE x 9" THICK	36" WIDE x 14" THICK					

REFER TO SB-12 ENERGY EFFICIENCY DESIGN MATRIX ON THE TITLE PAGE FOR ALL VALUES AS REQUIRED PER 3.1.1., 3.1.2., 3.1.3. OF THE OBC.

FOUNDATION REDUCTION IN THICKNESS FOR MASONR' VHERE THE TOP OF THE FOUNDATION WALL IS REDUCED IN THICKNESS. WHERE THE INSTALLATION OF MASONRY EXTERIOR FACING, THE REDUCED SECTION SHALL BE NOT LESS THAN 3 1/2" (90) THICK. THE BRICK VENEER SHAL BE TIED TO THE FOUNDATION WALL WITH CORROSION RESISTANT METAL TIES @ 7 7/8" (200) VERTICAL AND 2'-11" (889) HORIZONTAL. FILL VOID WITH MORTAR BETWEEN WALL AND BRICK VENEER (9.15.4.7(2)(3) & 9.20.9.4(3))

FOUNDATION REDUCTION IN THICKNESS FOR JOISTS WHERE THE TOP OF THE FOUNDATION WALL IS REDUCED IN THICKNESS TO PERMIT THE INSTALLATION OF FLOOR JOISTS, THE REDUCED SECTION SHALL BE NOT MORE THAN 13 3/4" (350) HIGH & NOT LESS THAN 3 1/2" (90) THICK (9.15.4.7(1))

F" (100) Ø WEEPING TILE W/ FILTER CLOTH WRAP & 6" (152) CRUSHED STONE COVER BASEMENT SLAB OR SLAB ON GRADE (9.16.4.) (9.13.) " (80) MIN 25MPa (3600psi) CONC SLAB ON 4" (100) COARSE GRANULAR EILL DR 20MPa (2900psi) CONC. WITH DAMPPROOFING BELOW SLAB. PROVIDE 2.7) IMPERVIOUS BOARD FOR BOND BREAK AT EDGE. WHERE A BASEMENT SLAB IS WITHIN 24" (610) OF THE EXTERIOR GRADE PROVIDE RIGID INSUL AROUND THE PERIMETER EXTENDING MIN. 24" (610) BELOW GRADE. FO ON GRADE CONDITIONS RIGID INSULATION SHALL BE APPLIED TO THE UNDERSIDE OF THE ENTIRE SLAB. ([SB-12] 3.1.1.7.(5) & (6))

EXPOSED FLOOR TO EXTERIOR (9.10.17.10, & CAN/ULC-S705.2) PROVIDE SPRAY FOAM INSULATION BETWEEN CANT. JOIST AND INSTALL OSE CONFIRMING TO 9.29.9. FIN. SOFFIT OR CLADDING AS PER ELEVATION TO U/S OF

EXPOSED CEILING TO EXTERIOR w/ ATTIC (9.25.2.4) NSULATION, 6 mil POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM BOARD INTERIOR FINISH OR APPROVED EQ.

EXPOSED CEILING TO EXTERIOR W/o ATTIC

JOISTS/TRUSSES AS PER PLANS W/ 2"x2" (38x38) PURLINS @ 16" (406) O.C. PERPENDICULAR TO JOISTS (PURLINS NOT REQ. W/ SPRAY FOAM OR ROOF TRUSSES), W/ INSULATION BETWEEN JOIST, 6 mil POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM BOARD INT. FINISH OR APPROVED EQ. (CAN/ULC-S705.2, 9.19.1, 9.10.17.10)

ALL STAIRS/EXTERIOR STAIRS (9.8.1.2., 9.8.2., 9.8.4.)

2-10 (860) MIN. A

LIC 2'-11" (900) MIN

AGE RUN OF TAPERED TREAD MEASURED AT A POINT 300mm FROM THE CENTERLINE OF INSIDE HANDRAIL. (9.8.4.3.) * HEIGHT OVER STAIRS (HEADROOM) IS MEASURED VERTICALLY ACROSS WIDTH OF STAIRS FROM A STRAIGHT LINE TO THE TREAD & LANDING NOSING TO LOWEST POINT ABOVE AND NOT LESS THAN 6-5" (1950) FOR SINGLE DWELLING UNIT & 6-8 3/4" (2050) FOR EVERYTHING ELSE. (9.8.2.2.)

REQUIRED LANDING IN GARAGE - O.B.C. 9.8.6.2.(3.)
FOR AN EXTERIOR STAIR SERVING A GARAGE W/ MORE THAN 3 RISERS. GUARDS, HANDRAILS & STEPS AS PER CONSTRUCTION HEX NOTE 10 & 11.

GUARDS/RAILINGS (9.8.7., 9.8.8.) GUARDS TO BE DESIGNED NOT TO FACILITATE CLIMBING AND PROVIDING MAX. OPENING CONFORMING TO O.B.C. 9.8.8.5. & 9.8.8.6. AND BE ABLE TO RESIST LOADS AS PER TABLE 9.8.8.2.

GUARD HEIGHTS - O.B.C. 9.8.8. NTERIOR GUARDS: 2'-11" (900) MIN. EXTERIOR GUARDS: 2'-11" (900) MIN. (LESS THAN 5'-11" (1800) TO GRADE)

3-6" (1070) MIN. (MORE THAN 5-11" (1800) TO GRADE) GUARDS FOR EXIT STAIRS: 3'-6" (1070) MIN. GUARDS FOR LANDINGS @ EXIT STAIRS: 3'-6" (1070) MIN. GUARDS FOR FLOORS & RAMPS IN GARAGES (SERVICE STAIRS) FLOOR OR RAMP W/O EXTERIOR WALLS THAT IS 23 5/8" (600) OR MORE ABOVE ADJACENT SURFACE REQUIRES CONT. CURB MIN. 6" (150) HIGH, AND GUARD MIN. 3'-6" (1070) HIGH.

REQUIRED GUARDS TWEEN WALKING SURFACE & ADJACENT SURFACE WITH A DIFFERENCE IN ELEVATION MORE THAN 23 5/8" (600) OR ADJACENT SURFACE WITHIN 3'-11" (1200) & WALKING SURFACE W/ A SLOPE MORE THAN 1 IN 12 SHALL BE PROTECTED WITH GUARDS PER CONSTRUCTION HEX NOTE 11. HANDRAIL HEIGHTS - O.B.C. 9.8.7. - REQUIRED AS PER 9.8.7.1.(3) MIN. HEIGHT AT STAIRS, RAMP AND LANDINGS: 2-10" (865)

SILL PLATES

2"X4" (38x89) SILL PLATE WITH 1/2" (12.7)Ø ANCHOR BOLTS 8" (200) LONG, EMBEDDED MIN. 4" (100) INTO CONC. @ 4'-0" (1220) O.C., CAULKING OR GASKET BETWEEN PLATE AND TOP OF FOUNDATION WALL. USE NON-SHRINK GROUT TO LEVEL SILL PLATE WHEN REQUIRED (9.23.7.)

MAX. HEIGHT AT STAIRS, RAMP AND LANDING: 3'-6" (1070)

BASEMENT INSULATION ([SB-12] 3.1.1.7.) PROVIDE CONTINUOUS BLANKET INSULATION W/ BUILT IN 6 mil POLYETHYLENE VAPOUR BARRIER. INSULATION TO EXTEND NO MORE THAN 8" (200) ABOVE FINISHED BASEMENT FLOOR. DAMPROOFED WITH BUILDING PAPER BETWEEN

HE FOUNDATION WALL AND INSULATION UP TO GRADE LEVEL BEARING STUD PARTITION IN BASEMENT (9.15.3.6., 9.23.10.1.) 2"x4" (38x89) STUDS @ 16" (406) O.C., 2"x4" (38x89) SILL PLATE (2"x6" (38x140) AS REQUIRED) ON DAMPPROOFING MATERIAL OR 2 mil POLYETHYLENE FILM, 1/2" (12.7) Ø ANCHOR BOLTS 8" (200) LONG, EMBEDDED 4" (100) MIN. INTO CONC. @ 7'-10" (2390) O.C. 4" (100) HIGH CONC. CURB ON CONC. FOOTING. FOR SIZE REFER

TO HEX NOTE 5. ADD HORIZ. BLOCKING AT MID-HEIGHT IF WALL IS UNFINISHED. ADJUSTABLE STEEL BASEMENT COLUMN (9.15.3.4.) . -10" (3000) MAX. SPAN BETWEEN COLUMNS. 3 1/2" (90)Ø SINGLE TUBE ADJUSTABLE STEEL COLUMN CONFORMING TO CAN/CGSB-7.2M. AND WITH COLUMN CONNECTION. POURED CONCRETE FOOTING ON NATURA UNDISTURBED SOIL OF 125KPa S.L.S. OR COMPACTED ENGINEERED FILL WITH MIN. BEARING CAPACITY OF 125KPa S.L.S. AS PER SOILS REPORT.

SUPPORTING 2 STOREY FLR. LOAD PROVIDE 34"x34"x16" (870x870x410) CONC. FOOTING UPPORTING 3 STOREY FLR. LOAD PROVIDE 40"x40"x19" (1060x1060x480) CONC. FOOT

15A) NON-ADJUSTABLE STEEL BASEMENT COLUMN /2" (90)Ø x 0.188" (4.78) NON-ADJUSTABLE STEEL COLUMN WITH 6"x6"x3/8" (152x152x9.5 ATE TOP & BOTTOM. BOTTOM PLATE C/W 2 1/2"Ø X 12" I ONGX2" HOOK ANCHORS. FIELD WELD BASEMENT COLUMN CONNECTION. POURED CONCRETE FOOTING ON NATURAL UNDISTURBED SOIL OF 125KPA S.L.S. OR COMPACTED ENGINEERED FILL WITH MIN. BEARING CAPACITY OF 125KPA S.L.S. AS PER SOILS REPORT. SUPPORTING 2 STOREY FLR. LOAD PROVIDE 42"x42"x18" (1070x1070x460) CONC. FOOTING SUPPORTING 3 STOREY FLR. LOAD PROVIDE 48"x48"x24" (1220x1220x610) CONC. FOOTING

NON-ADJUSTABLE STL, COLUMN AT FOUNDATION WALL 3 1/2" (90)Ø x 0.188" (4.78) NON-ADJUSTABLE STEEL COLUMN WITH 6"x6"x3/6" (152x152x9.5) STEEL TOP PLATE & 6"x4"x3/6" (152x100x9.5) BOTTOM PLATE. BASE PLATE 4-1/2"x10"x1/2" (120x250x12.7) WITH 2-1/2" x 12" LONG x 2" HOOK ANCHORS (2- 12.7Øx305x50). FIELD WELD COLUMN TO BASE PLATE & STEEL BM.

STEEL BEAM BEARING AT FOUNDATION WALL (9.23.8.1.) BEAM POCKET OR 8"x8" (200x200) POURED CONC. NIB WALLS, MIN. BEARING 3 1/2" (90). CONC. NIB WALLS TO HAVE EXTENDED FOOTINGS

WOOD STRAPPING AT STEEL BEAMS (9.23.4.3.(3.), 9.23.9.3.) x3" (19x64) CONTIN. WOOD STRAPPING BOTH SIDES OF STEEL BEAM. GARAGE SLAB (9.16., 9.35.)

4" (100) 32MPa (4640psi) CONC. SLAB WITH 5-8% AIR ENTRAINMENT ON OPT. 4" (100) COARSE GRANULAR FILL WITH COMPACTED SUB-BASE OR COMPACTED NATIVE FILL. SLOPE TO FRONT @ 1% MIN. GARAGE TO HOUSE WALLS/CEILING (9.10.9.16.)

(12.7) GYPSUM BOARD ON WALL AND CEILING BETWEEN HOUSE AND GARAGE, PLUS REQUIRED INSULATION IN WALLS AND SPRAY FOAM FOR CEILINGS. TAPE AND SEAL ALL JOINTS GAS TIGHT. (9.10.17.10, CAN/ULC-S705.2 GARAGE TO HOUSE WALLS/CEILING W/ CONTIN. INSULATION " (12.7) GYPSUM BOARD ON CEILING AND ON WALLS INSTALLED OVER TERIOR TYPE RIGID INSULATION (JOINTS UNTAPED) MECHANICALLY EASTENED AS PER MANUEACTURER'S SPECIFICATIONS ON 3/8" EXTERIOR

GRADE SHEATHING ON STUDS BETWEEN HOUSE AND GARAGE, PLUS
REQUIRED INSULATION IN WALLS & SPRAY FOAM FOR CEILINGS. TAPE AND

SEAL ALL JOINTS GAS TIGHT. (9.10.9.16., 9.10.17.10, CAN/ULC-S705.2

(9.10.9.16., 9.10.13.10., 9.10.13.15.) S-PROOF DOOR AND FRAME. DOOR EQUIPPED WITH SELF CLOSING DEVICE AND WEATHER STRIPPING

EXTERIOR AND GARAGE STEPS

PRECAST CONC. STEP OR WOOD STEP WHERE NOT EXPOSED TO WEATHER. MAX RISE 7 7/8" (200), MIN. TREAD 9 1/4" (235). FOR THE REQUIRED NUMBER OF STEPS REFER TO SITING AND GRADING DRAWINGS, EXTERIOR CONCRETI STAIRS WITH MORE THAN 2 RISERS AND 2 TREADS SHALL BE PROVIDED WITH FOUNDATION AS REQUIRED BY ARTICLE 9.8.9.2. OR SHALL BE CANTILEVERED AS PER SUBSECTION 9.8.10.

DRYER EXHAUST CAPPED DRYER EXHAUST VENTED TO EXT. CONFORMING TO PART 6, OBC 9.32.

ATTIC ACCESS (9.19.2.1.) ATTIC ACCESS HATCH WITH MIN. AREA OF 0.32m2 AND NO DIM. LESS THAN 21 1/2" (545) WITH WEATHER STRIPPING. HATCHWAYS TO THE ATTIC OR ROOF SPACE WILL BE FITTED WITH DOORS OR COVERS AND WILL BE INSULATED WITH MIN. R20 (RSI 3.52) ([SB-12] 3.1.1.8.(1))

(24) FIREPLACE CHIMNEYS (9.21.) TOP OF FIREPLACE CHIMNEY SHALL BE 2'-11" (889) ABOVE THE HIGHEST POINT BOOF SURFACE WITHIN A HORIZ, DISTANCE OF 10'-0" (3048) FROM THE CHIMNEY

25 LINEN CLOSET
PROVIDE 4 SHELVES MIN. 14" (356) DEEP.

MECHANICAL VENTILATION (9.32.1.3.)
MECHANICAL EXHAUST FAN, VENTED TO EXTERIOR, TO PROVIDE AT LEAST ONE AIR CHANGE PER HOUR. SEE GENERAL NOTE 2.3.

PARTY WALL BEARING (9.23.8) 12"x12"x5/8" (305x305x15.9) STEEL PLATE FOR STEEL BEAMS AND 12"x12"x1/2" (305x305x12.7) STEEL PLATE FOR WOOD BEAMS BEARING (MIN. 3-1/2" (89)) ON CONC. BLOCK PARTY WALL, ANCHORED WITH 2-3/4" (2-19) x 8" (200) LONG GALV. ANCHORS WITHIN SOLID BLOCK COURSE, LEVEL WI, NON-SHRINK GROUT. REFER TO NOTE SOLID BEARING (SECTION 3.0) FOR WD. STUD PARTY WALL.

28 WOOD FRAMING IN CONTACT TO CONCRETE WOOD BEARING WALLS, THE UNDERSIDE OF BUILT-UP WOOD POSTS AND SILLS SHALL BE WRAPPED WITH 2 mil POLY. STRIP FOOTINGS SUPPORTING THE FOUNDATION WALL SHALL BE WIDENED 6" (152) BELOW THE BEARING WALL AND/OR WOOD POST. (9.17.4.3.)

29) BUILT-UP WOOD POST AND FOOTING (9.17.4.1., 9.15.3.7.) 3-2"x6" (3-38x140) BUILT-UP WOOD POST (UNLESS OTHERWISE NOTED) ON METAL BASE SHOE ANCHORED TO CONC. WITH 1/2" (12.7) Ø BOLT, 24"x24"x12" (610x610x305) CONC. FOOTING OR AS PROVIDED ON PLAN. REFER TO NOTE 28

30 STEP FOOTINGS (9.15.3.9.) MIN. HORIZ. STEP = 23 5/8" (600). MAX. VERT. STEP = 23 5/8" (600).

(9.16.4.)

MIN. 4" (100) CONCRETE SLAB ON GRADE ON 4" (100) COARSE GRANULAR FILL, REINFORCED WITH 6x6xW2.9xW2.9 MESH PLACED NEAR MID-DEPTH OF SLAB. CONC. STRENGTH 32MPa (4640psi) WITH 5-8% AIR ENTRAINMENT ON COMPACTED SUB-GRADE.

32 FURNACE VENTING (9.32.)

DIRECT VENT FURNACE TERMINAL MIN. 3'-0" (915) FROM A GAS REGULATOR. MIN. 12" (305) ABOVE FIN. GRADE, FROM ALL OPENINGS, EXHAUST AND INTAKE VENTS. HRV INTAKE TO BE A MIN. OF 6'-0" (1830) FROM ALL EXHAUST TERMINALS. REFER TO GAS UTILIZATION CODE.

FIREPLACE VENTING (9.32.3.) DIRECT VENT GAS FIREPLACE VENT TO BE A MIN. 12" (305) FROM ANY

OPENING AND ABOVE FIN. GRADE. REFER TO GAS UTILIZATION CODE. **FLOOR FRAMING** (9.23.3.5., 9.23.9.4., 9.23.14.)

T&G SUBFLOOR ON WOOD FLOOR JOISTS. FOR CERAMIC TILE APPLICATION SEE O.B.C. 9.30.6. ALL JOISTS WHERE RECUIRED TO BE BRIDGED WITH 2"X2" (38x38) CROSS BRACING OR SOLID BLOCKING @ 6"-11" (2108) O.C. MAX. ALL JOISTS TO BE STRAPPED WITH 1"X2" (19x64) @ 6"-11" (2108) O.C. UNLESS A PANEL TYPE CEILING FINISH IS APPLIED.

34A HEADER CONSTRUCTION

PROVIDE CONTINUOUS APPROVED AIR/VAPOUR BARRIER (HEADER WRAP) UNDER THE SILL PLATE, AROUND THE RIM BOARD AND UNDER THE BOTTOM PLATE. THE HEADER WRAP SHALL EXTEND 6" (152) BELOW THE TOP OF FOUNDATION WALL AND WILL BE SEALED TO THE CONCRET FOUNDATION WALL. EXTEND HEADER WRAP 6" (152) UP THE INTERIOR SIDE OF THE STUD WALL AND OVERLAP WITH THE VAPOUR BARRIER AND SEAL THE JOINT. ALL EDGES/JOINTS MUST BE MECHANICALLY CLAMPED.

EXPOSED BUILDING FACE w/ LIMITING DISTANCE <= 3'-11" (1.20m) WALL ASSEMBLY CONTAINS INSULATION CONFORMING TO CAN/ULC-S702 & HAVING A MASS OF NOT LESS THAN 1.22 KG/M2 OF WALL SURFACE AND 1/2* (12.7) TYPE X GYPSUM WALLBOARD INTERIOR FINISH. EXTERIOR CLADDING MUST BE NON-COMBUSTIBLE WHEN LIMITING DISTANCE IS 23 5/8* (0.60m) OR LESS. WALL ASSEMBLY REQUIRES TO HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN 45 MINUTES & CONFORMING TO 0.B.C. (9.10.14. OR 9.10.15). REFER TO DETAILS FOR TYPE & SPECS. ** AN OPENING IN AN EXPOSING BUILDING FACE NOT MORE THAN 20 in² (130cm²) SHALL NOT BE CONSIDERED AN UNPROTECTED OPENING AS PER 9 10.15.

36 COLD CELLAR PORCH SLAB (9.39.) FOR MAX. 8-2' (2500) PORCH DEPTH, 5" (127) 32 MPa (4640psi) CONC. SLAB W/ 5-8% AIR ENTRAINMENT. REINF. WITH 10M BARS @ 7 7/8" (200) O.C. EACH DIRECTION, W/1 1/4" (32) CLEAR COVER FROM BOTTOM OF SLAB TO FIRST LAYER OF BARS & SECOND LAYER OF BARS LAID DIRECTLY ON TOP OF LOWER LAYER IN OPPOSITE DIR. 24"X24" (610x610) 10M DOWELS @ 23 5/8" (600) O.C. ANCHORED IN PERIMETER FND. WALLS. SLOPE SLAB 1.0% FROM DOOR

RANGE HOODS AND RANGE-TOP FANS COOKING APPLIANCE EXHAUST FANS VENTED TO EXTERIOR MUST CONFORM TO OBC 9.10.22, 9.32.3.9. & 9.32.3.10.

(9.23.13., 9.23.15.) 2"x6" (38x140) RAFTERS @ 16" (406) O.C., 2"x8" (38x184) RIDGE BOARD. 2"x4" (38x89) COLLAR TIES AT MID-SPAN. CEILING JOISTS TO BE 2"x4" (38x89) @ 16" (406) O.C. FOR MAX. 9'-3" (2819) SPAN & 2"x6" (38x140) @ 16" (406) O.C. FOR MAX. SPAN 14'-7" (4450). RAFTERS FOR BUILT UP ROOF OVER PRE-ENGINEERED ROOF TRUSSES AND OR CONVENTIONAL FRAMING TO BE 2"x4" (38x89) @ 24" (610) O.C. UNLESS OTHERWISE SPECIFIED.

A. KONG ****\$[) 100184942 August 02, 2022 00 COMMERCE VALLEY Dr. W. CE OF

FOR STRUCTURAL ONLY. EXCLUDING ENGINEERED ROOF TRUSS, FLOOR JOIST, AND FLOOR LVL BEAM DESIGN.

cont. SECTION 1.0. CONSTRUCTION NOTES

(9.23.10.1., 9.23.11.) (1.39) TWO STOREY VOLUME SPACES BRICK 2-2"x6" 12" (305) O.C. 18'-4" (5588) 8" (200) O.C. 18'-4" (5588) SIDING (2-38x140) SPR.#2 16" (406) O.C. 18'-4" (5588) 12" (305) O.C. 18'-4" (5588) BRICK 2-2"x8" 12" (305) O.C. 21'-0" (6400) 12" (305) O.C. 21'-0" (6400) SIDING SPR.#2 16" (406) O.C. 21'-0" (6400) 16' (406) O.C. 21'-0" (6400) ** STUD SIZE & SPACING TO BE VERIFIED BY STRUCTURAL ENGINEER * STUDS ARE TO BE CONTINUOUS, C/W 3/8" (9.5) THICK EXTERIOR PLYWOOD SHEATHING. PROVIDE SOLID WOOD BLOCKING BETWEEN WOOD STUDS

4'-0" (1220) O.C. VERTICALLY. - FOR HORIZ. DISTANCES LESS THAN 9-6" (2896) PROVIDE 2"x6" (38x140) STUDS @ 16" (406) O.C. WITH CONTIN. 2-"x6" (2-38x140) TOP PLATE + 1-2"x6" (1-38x140) EDOTTOM PLATE & MIN. OF 3-2"x8" (3-38x184) CONT. HEADER AT GROUND FLOOR CEILING LEVEL TOE-NAILED & GLUED AT TOP, BOTTOM PLATES & HEADERS.

1 HR. PARTY WALL (CONC. BLOCK) ([SB-3] WALL TYPE 'B6e' & 'B1b') 1/2" (12.7) GYPSUM SHEATHING ON EACH SIDE ON 2"x2" (38x38) VERTICAL WD. STRAPPING @ 24" (610) O.C. ON 8" (200) CONC. BLOCK FILL STRAPPING CAVITY EACH SIDE WITH AT LEAST 90% OF ABSORPTIVE MATERIAL PROCESSED FROM ROCK, SLAG OR GLASS. TAPE, FILL & SAND ALL GYPSUM JOINTS EXPOSED BLOCK MUST BE SEALED W/ 2 COATS OF PAINT OF FURRED WITH 2"x2" (38x38) WD. STRAPPING & 1/2" (12.7) GYPSUM SHEATHING.

1 HR. PARTY WALL (DOUBLE STUD) ([SB-3] WALL TYPE 'W13c') 5/8" (15.9) TYPE 'X' GYPSUM SHEATHING ON EXTERIOR SIDE OF 2 ROWS OF 2"x4" (38x89) STUDS @ 16" (406) O.C., MIN. 1" (25) APART ON SEPARATE 2"x4 (38x89) SILL PLATES. (2"x6" (38x140) AS REQUIRED) FILL ONE SIDE OF STUD CAVITY WITH AT LEAST 90% OF ABSORPTIVE MATERIAL PROCESSED FROM ROCK, SLAG OR GLASS. TAPE FILL AND SAND ALL GYPSUM JOINTS.

([SB-3] WALL TYPE 'B6e' & 'B1b') /2" (12.7) GYPSUM SHEATHING ON EACH SIDE ON 2"x2" (38x38) VERTICAI WOOD STRAPPING @ 24" (610) O.C ON 8" (200) CONC. BLOCK 75% SOLID. FILL STRAPPING @ 24" (610) O.C ON 8" (200) CONC. BLOCK 75% SOLID. FILL STRAPPING CAVITY EACH SIDE WITH AT LEAST 90% OF ABSORPTIVE MATERIAL PROCESSED FROM ROCK, SLAG OR GLASS. TAPE, FILL & SAND ALL GYPSUM JOINTS. AT UNFINISHED AREAS, EXTERIOR FACE OF CONC. BLOCK TO BE SEALED WITH 2 COATS OF PAINT. GYPSUM SHEATHING TO BE ATTACHED TO CONC. BLOCK. (REFER TO DETAILS)

STUCCO WALL CONSTRUCTION (2"x6") STUCCO FINISH CONFORMING TO O.B.C. SECTION 9.28. AND APPLIED PERMANUFACTURERS SPECIFICATIONS OVER 1 1/2" (38) E.I.F.S. (MINIMUM) ON APPROVED DRAINAGE MAT ON 1/2" (12.7) DENSGLASS GOLD GYPSUM BOAR ON STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1., INSULATION,

APPROVED 6 MIL. POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (REFER TO 35 NOTE AS REQUIRED) (41A) STUCCO WALL CONSTRUCTION (2"x6") W/ CONTIN. INSUL. STUCCO FINISH CONFORMING TO O.B.C. SECTION 9.28, AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1 1/2" (38) E.I.F.S. (MINIMUM) C APPROVED DRAINAGE MAT ON APPROVED AIRWATER BARRIER AS PER 9.27.3. ON EXTERIOR TYPE RIGID INSULATION (JOINTS UNTAPED) MECHANICAL FASTENED AS PER MANUFACTURER'S SPECIFICATIONS, ON 7/16" EXTERIOR TY SHEATHING ON STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1. INSULATION, APPROVED 6 MIL. POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7)

GYPSUM WALLBOARD INT. FINISH. (REFER TO 35 NOTE AS REQUIRED) STUCCO WALL @ GARAGE CONST. STUCCO FINISH CONFORMING TO O.B.C. SECTION 9.28. AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1 1/2" (38) E.F.I.S (MINIMUM) ON APPROVED DRAINAGE MAT ON 1/2" (12.7) DENSGLASS GOLD GYPSUM BRD. ON STUDS CONFORMING TO O.B.C. (9.23.10.1.) & SECTION 1.1., 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (REFER TO 35 NOTE AS REQ.) STUDS CONFORMING TO U.S.C (9:23: 01.1) & SECTION 1.1., 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (REFER TO 35 NOTE AS REQ.) *** FOR DWELLINGS USING CONTIN. INSULATION CONSTRUCTION, PROVIDE APPROVED DRAINAGE MAT ON 7/16" (11) EXTERIOR TYPE SHEATHING OVER FURRING (AS REQ.) AND STUDS IN ILEU OF 1 1/2" (38) E.F.I.S (MINIMUM) ON APPROVED DRAINAGE MAT ON 1/2" (12.7) DENSGLASS GOLD GYPSUM BRD.

UNSUPPORTED FOUNDATION WALLS (9.15.4.2.) REINFORCING AT STAIRS AND SUNKEN FLOOR AREAS
2-20M BARS IN TOP PORTION OF WALL (UP TO 8-0" OPENING)
3-20M BARS IN TOP PORTION OF WALL (8-0" TO 10-0" OPENING)
4-20M BARS IN TOP PORTION OF WALL (10-0" TO 15-0" OPENING) - BARS STACKED VERTICALLY AT INTERIOR FACE OF WALL @ 6" O.C. REINFORCING AT BASEMENT WINDOWS 2-15M HORIZ. REINFORCING ON THE INSIDE AND OUTSIDE FACE OF THE FOUNDATION WALL BELOW THE WIN. SILL. EXTEND BARS 24" (610) BEYOND THE OPENING. 2-15M VERTICAL REINFORCING ON THE INSIDE AND OUTSIDE FACE OF THE FOUNDATION WALL ON EACH SIDE OF THE WINDOW OPENING.

- BARS TO HAVE MIN. 1" (25) CONC. COVER - BARS TO EXTEND 2'-0" (610) BEYOND BOTH SIDES OF OPENING STUD WALL REINFORCEMENT PROVIDE STUD WALL REINFORCEMENT IN MAIN BATHROOM CONFORMING TO O.B.C. (9.5.2.3.(1)) (REFER TO DETAILS)

44 WINDOW WELLS

STRATION INFORMATION

HUNT DESIGN ASSOCIATES INC

WHERE A WINDOW OPENS INTO A WINDOW WELL, A CLEARANCE OF NOT LESS THAN 21 5/8" (550) SHALL BE PROVIDED IN FRONT OF THE WINDOW. EVERY MINDOW WELL SHALL BE DRAINED TO THE FOOTING LEVEL OR OTHER SUITABLE LOCATION WITH A 4" (100) WEEPING TILE C.W. A FILTER CLOTH WRAP AND FILLED WITH CRUSHED STONE. (9.9.10.1.(5), 9.14.6.3.)

SLOPED CEILING CONSTRUCTION ([SB-12] 3.1.1.8., 9.23.4.2.) 2"x12" (38x286) ROOF JOISTS @ 16" (406) O.C. MAX. (UNLESS OTHERWISE NOTED) W/ 2"x2" (38x38) PURLINS @ 16" (406) O.C. PERPENDICULAR TO ROOF JOIST (PURLINS NOT REQ. W/ SPRAY FOAM), W/ INSULATION BETWEEN JOIST 6 mil POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH OR APPROVED EQ. INSULATION VALUE DIRECTLY ABOVE THE INNER SURFACE OF EXTERIOR WALLS SHALL NOT BE LESS THAN B20 (3.52 BSI)

FLAT ROOF/BALCONY CONSTRUCTION

WATERPROOFING MEMBRANE (9.26.11, 9.26.15, 9.26.16) FULLY ADHERED TO 5/ (15.9) T&G EXTERIOR GRADE PLYWOOD SHEATHING ON 2"X2" (38x38) PURLINS ANGLED TOWARDS SCUPPER @ 2% MINIMUM LAID PERPENDICULAR TO 2"x8" (38x184) FLOOR JOISTS @ 16" (406) O.C. (UNLESS OTHERWISE NOTED). BUILT L TRIM DRIP EDGÉ TO BE PROVIDED ON OUTSIDE FACE OF CURB TO BE LOCATED 24" (610) MIN. AWAY FROM HOUSE, PREFINISHED ALUMINUM (PANEL FOR UNDERSIDE OF SOFFIT (9.23.2.3). REMOVE CURB WHERE REQ.

BALCONY CONDITION SEE FLAT ROOF/BALCONY CONSTRUCTION NOTE. INCLUDE 2"x4" (38x89) PT. DECKING W/ 1/4" (6.4) GAPS LAID FLAT PARALLEL TO JOISTS ON 2"x4" (38x89) PT. SLEEPERS @ 12" (305) O.C. LAID FLAT PERPENDICULAR TO JOISTS

BALCONY OVER HEATED SPACE CONDITION SEE FLAT ROOF/BALCONY CONSTRUCT<mark>I</mark>ON NOTE FOR ASSEMBLY. REFER TO PLANS FOR FLOOR JOIST SIZE & REFER TO HEX NOTE 9 FOR INSULATION AND INTERIOR FINISH

BARREL VAULT CONSTRUCTION CANTILEVERED 2"x4" (38x89) SPACERS LAID FLAT ON 2"x10" (38x235) SPR. #2 ROOF JOIST NAILED TO BUILT-UP 3-3/4" (19) PLYWOOD HEADER PROFILED FOR BARREL, SPRAY FOAM INSULATION BETWEEN JOISTS W/ GYPSUM BOARD. INTERIOR FIN. (REFER TO DETAILS)

REFER TO SB-12 ENERGY EFFICIENCY DESIGN MATRIX ON THE TITLE PAGE FOR ALL VALUES AS REQUIRED PER 3.1.1., 3.1.2., 3.1.3. OF THE OBC.

SECTION 1.1. WALL STUDS

- REFER TO THIS CHART FOR STUD SIZE & SPACING AS REQUIRED FOR EXTERIOR WALLS ONLY. REFER TO SITING & GRADING PLAN OF THIS UNIT FOR CONFIRMATION OF TOP OF FOUNDATION WALL AND ADDITIONAL INFORMATION. - IF STUD WALL HEIGHT EXCEEDS MAX. UNSUPPORTED HEIGHT, WALL NEEDS TO BE REVIEWED AND APPROVED BY ENGINEER.

SIZE & SPACING OF STUDS: (OBC REFERENCE - TABLE 9.23.10.1.)							
MIN.		SUPPORTED LOADS (EXTERIOR)					
STUD SIZE.	ROOF w/ OR w/o ATT I C	ROOF w/ OR w/o ATTIC & 1 FLOOR	ROOF w/ OR w/o ATTIC & 2 FLOOR	ROOF w/ OR w/o ATTIC & 3 FLOOR			
in (mm)	MAX. STUD SPACING, in (mm) O.C.						
` ′	MAX. UNSUPPORTED HGT., ft-in (m)						
2"x4"	24" (610)	16" (405)	12" (305)	N/A			
(38x89)	9'-10" (3.0)	9'-10" (3.0)	9'-10" (3.0)	N/A			
2"x6"	-	24" (610)	16" (406)	12" (305)			
(38x140)	-	9'-10" (3.0)	11'-10" (3.6)	5'-11" (1.8)			

SECTION 2.0. GENERAL NOTES

DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL CONTAINING A REDROOM IS PORTION W/ NO DIMENSION LESS THAN 1'-3" (380), CAPABLE OF MAINTAINING THE OPENING WITHOUT THE NEED FOR ADDITIONAL SUPPORT, CONFORMING TO 9.9.10. 2) WINDOW GUARDS: A GUARD OR A WINDOW WITH A MAXIMUM RESTRICTED OPENING WIDTH OF 4" (100) IS REQUIRED WHERE THE TOP OF THE WINDOW SILL IS LOCATED LESS THAN 1'-7" (480) ABOVE FIN. FLOOR AND THE DISTANCE FROM THE FINISHED FLOOR TO THE ADJACENT GRADE IS GREATER THAN 5'-11" (1800). (9.8.8.1.) 3) WINDOWS IN EXIT STAIRWAYS THAT EXTEND TO LESS THAN 2-11" (900) [3-6" (1070) FOR ALL OTHER BUILDINGS] SHALL BE PROTECTED BY GUARDS IN ACCORDANCE WITH NOTE #2 (ABOVE). OR THE WINDOW SHALL BE NON-OPERABLE AND DESIGNED TO WITHSTAND THE SPECIFIED LOADS FOR BALCONY GUARDS AS PROVIDED IN 4.1.5.15 OR 9.8.8.2

4) REFER TO TITLE PAGE FOR MAX. U-VALUE REQUIREMENTS

2.2. CEILING HEIGHTS

RÉQUIREMENTS OF SB12 - 3.1.1.12. OF THE O.B.C.

THE CEILING HEIGHTS OF ROOMS AND SPACES SHALL CONFORM TO TABLE 9.5.3.1 MINIMUM HEIGHT: 7'-7" OVER 75% OF REQUIRED FLOOR AREA WITH A CLEAR HEIGHT OF 6'-11" AT ANY POINT ROOM AND KITCHEN -7" OVER 50% OF REQUIRED FLOOR AREA OR 6'-11" OVER ALL OF THE REQUIRED FLOOR AREA. BEDROOM I1" OVER AT LEAST 75% OF THE BASEMENT AREA EXCEPT THAT UNDER BEAMS AND DUCTS THE EARANCE IS PERMITTED TO BE REDUCED TO 6'-5". NORMALLY BE STANDING AREA ABOVE GRADE FINISHED ROOM NO MENTIONED ABOVE 6'-11" ABOVE & BELOW FLOOR ASSEMBLY (9.5.3.2.) MEZZAN**I**NES STORAGE GARAGE

2.3. MECHANICAL / PLUMBING 1) MECHANICAL VENTILATION IS REQUIRED TO PROVIDE 0.7 AIR CHANGE PER HOUR IF NOT AIR CONDITIONED 1 PER HOUR IF AIR CONDITIONED AVERAGED OVER 24 HOURS. WHEN A VENTILATION FAN (PRINCIPAL EXHAUST) IS REQUIRED, CONFORM TO OBC 9.32.3.4. WHEN A HRV IS REQUIRED, CONFORM TO 9.32.3.11. REFER TO MECHANICAL DRAWINGS.

2) REFER TO HOT WATER TANK MANUFACTURER SPECS, CONFORM TO OBC 9.31.6. 3) REFER TO TITLE PAGE FOR SPACE HEATING EQUIPMENT, HRV AND DOMESTIC HOT WATER HEATER MINIMUM EFFICIENCIES. 4) DRAIN WATER HEAT RECOVERY UNIT(S) WILL BE INSTALLED CONFORMING TO THE

) ALL LUMBER SHALL BE SPRUCE No.2 GRADE OR BETTER, UNLESS NOTED OTHERWISE. 2) STUDS SHALL BE STUD GRADE SPRUCE, UNLESS NOTED OTHERWISE. 3) LUMBER EXPOSED TO THE EXTERIOR TO BE SPRUCE No. 2 GRADE PRESSURE TREATED OR CEDAR, UNLESS NOTED OTHERWISE.

4) ALL LAMINATED VENEER LUMBER (LVL) BEAMS, GIRDER TRUSSES, AND METAL HANGER CONNECTIONS SUPPORTING ROOF FRAMING TO BE DESIGNED & CERTIFIED BY FLOOR AND ROOF TRUSS MANUFACTURER. LIOIST HANGERS: PROVIDE APPROVED METAL HANGERS FOR ALL JOISTS AND

BUILT-UP WOOD MEMBERS INTERSECTING WITH FLUSH BUILT-UP WOOD MEMBERS. 6) WOOD FRAMING NOT TREATED WITH A WOOD PRESERVATIVE, IN CONTACT WITH CONCRETE, SHALL BE SEPARATED FROM THE CONC. BY AT LEAST 2 mil POLYETHYLE FILM, No.50 (45lbs) ROLL ROOFING OR OTHER DAMPPROOFING MATERIAL, EXCEPT WHERE THE WOOD MEMBER IS AT LEAST 6" (152) ABOVE THE GROUND.

1) STRUCTURAL STEEL SHALL CONFORM TO CAN/CSA-G40-21 GRADE 350W. HOLLOW STRUCT. SECTIONS SHALL CONFORM TO CAN/CSA-G40-21 GRADE 350W CLASS "H". 2) REINFORCING STEEL SHALL CONFORM TO CSA-G30-18M GRADE 400R.

2.6. FLAT ARCHES) FOR 8'-0" (2440) CEILINGS, FLAT ARCHES SHALL BE 6'-10" (2080) A.F.F 2) FOR 9'-0" (2740) CEILINGS, FLAT ARCHES SHALL BE 7'-10" (2400) A.F.F 3) FOR 10-0" (3040) CEILINGS, FLAT ARCHES SHALL BE 8-6" (2600) A.F.F.

2.7. ROOF OVERHANGS

1) ALL ROOF OVERHANGS SHALL BE 1'-0" (305). UNLESS NOTED OTHERWISE. **2.8. FLASHING** (9.20.13., 9.26.4. & 9.27.3.)

1) FLASHING MATERIALS & INSTALLATION SHALL CONFORM TO O.B.C.

2.9. GRADING
1) THE BUILDING SHALL BE LOCATED OR THE BUILDING SITE GRADED SO THE WATER
WILL NOT ACCUMULATE AT OR NEAR THE BUILDING AND WILL NOT ADVERSELY
AFFECT ADJACENT PROPERTIES. CONFORM TO 9.14.6.

2.10. ULC SPECIFIED ASSEMBLIES
ALL REQUIRED INDIMIDUAL COMPONENTS THAT FORM PART OF ANY 'ULC LISTED ASSEMBLY', SPECIFIED WITHIN THESE DRAWINGS, CANNOT BE ALTERED OR SUBSTITUTED FOR ANY OTHER MATERIAL/PRODUCT OR SPECIFIED MANUFACTURER THAT IS IDENTIFIED IN THAT 'SPECIFIED ULC LISTING'. THERE SHALL BE NO DEVIATIONS UNDER ANY

CIRCUMSTANCES IN ANY 'ULC LISTED ASSEMBLY' IDENTIFIED IN THESE DRAWINGS.

SECTION 3.0. LEGEND

3.1. WOOD LINTELS AND BUILT-UP WOOD (DIVISION B PART 9. TABLES AS TO A10 AND A12, A15 & A16) DRMÎNG PART OF SENTENCE 9.23.4.2.(3), 9.23.4.2.(4), 9.23.12.3.(1),(3), 9.23.13.8.(2), 9.37.3.1

	2"x8" SPRUCE #2			2"x10" SPRUCE #2	2"x12" SPRUCE #2			
	L1	2/2"x8" (2/38x184)	L3	2/2"x10" (2/38x235)	L5	2/2"x12" (2/38x286)		
	B1	3/2"x8" (3/38x184)	ВЗ	3/2"x10" (3/38x235)	B5	3/2"x12" (3/38x286)		
	B2	4/2"x8" (4/38x184)	B4	4/2"x10" (4/38x235)	B6	4/2"x12" (4/38x286)		
,	B7	5/2"x8" (5/38x184)	B8	5/2"x10" (5/38x235)	В9	5/2"x12" (5/38x286)		
1	ENGINEERED LUMBER SCHEDULE - GRADE 2.0E (UNLESS NOTE OTHERWISE)							
	1 3/4" x 9 1/2" LVL		1 3/4" x 11 7/8" LVL			1 3/4" x 14" LVL		
	LVL2	1-1 3/4"x9 1/2"	LVL3	1-1 3/4"x11 7/8"	LVL10	1-1 3/4"x14"		
	LVL4	2-1 3/4"x9 1/2"	LVL6	2-1 3/4"x11 7/8"	LVL11	2-1 3/4"x14"		
	LVL5	3-1 3/4"x9 1/2"	LVL7	3-1 3/4"x11 7/8"	LVL12	3-1 3/4"x14"		
	LVL8	4-1 3/4"x9 1/2"	LVL9	4-1 3/4"x11 7/8"	LVL13	4-1 3/4"x14"		
				SUPPORTING MAS				
		(DIVISIO	ON E	PART 9. TABLE 9.20).5.2	.B.)		

FORMING PART OF SENTENCE 9.20.5.2.(2) & 9.20.5.2.(3)

CODE	SIZE	BRICK	STONE
L7	3 1/2" x 3 1/2" x 1/4" (89 x 89 x 6.4)	8'-1" (2.47m)	7'-6" (2.30m)
L8	4" x 3 1/2" x 1/4" (102 x 89 x 6.4)	8'-9" (2.66m)	8'-1" (2.48m)
L9	4 7/8" x 3 1/2" x 5/16" (127 x 89 x 7.9)	10'-10" (3.31m)	10'-1" (3.03m)
L10	4 7/8" x 3 1/2" x 3/8" (127 x 89 x 11)	11'-5" (3.48m)	10'-7" (3.24m)
L11	5 7/8" x 3 1/2" x 3/8" (152 x 89 x 11)	12'-6" (3.82m)	11'-7" (3.54m)
L12	7 1/8" x 4" x 3/8" (178 x 102 x 11)	14'-1" (4.30m)	13'-1" (3.99m)

3.3. DOOR SCHEDULE CONFORMING TO SECTIONS 9.5.11, 9.6., 9.7.2.1, 9.7.5.2, & 9.10.13.10 EXTERIOR | 2'-8" x 6'-8" x 1-3/4" (815 x 2030 x 45) INSULATED MIN. R4 (RSI 0.7) EXTERIOR | 2'-10" x 6'-8" x 1-3/4" (865 x 2030 x 45) INSULATED MIN. R4 (RSI 0.7) EXTERIOR 3'-0" x 6'-8" x 1-3/4" (915 x 2030 x 45) INSULATED MIN. R4 (RSI 0.7)

EXTERIOR | 2'-6" x 6'-8" x 1-3/4" (760 x 2030 x 45) INSULATED MIN. R4 (RSI 0.7)

INTERIOR | 1'-6" x 6'-8" x 1-3/8" (460 x 2030 x 35)

D | EXTERIOR | 2'-8" x 6'-8" x 1-3/4" (815 x 2030 x 45) INS. MIN. R4 (RSI 0.7) (SEE HEX NOTE 20

3.4. ACRONYMS

1E EXTERIOR 3'-0" x 8'-0" x 1-3/4" (915 x 2440 x 45) INSULATED MIN. R4 (RSI 0.7) | F | EXTERIOR | 2'-8" x 8'-0" x 1-3/4" (815 x 2440 x 45) INSULATED MIN. R4 (RSI 0.7) 2A | EXTERIOR | 2-8" x 6-8" x 1-3/4" (815 x 2030 x 45) 20 MIN. F.R.R. DOOR/FRAME WITH APP. SELF CLOSING DEVICE. 2 INTERIOR 2'-8" x 6'-8" x 1-3/8" (815 x 2030 x 35) INTERIOR | 2'-6" x 6'-8" x 1-3/8" (760 x 2030 x 35) PROVIDE 8'-0" HIGH INTERIOR | 2'-4" x 6'-8" x 1-3/8" (710 x 2030 x 35) INTERIOR DOORS FOR ALL 10' CEILING INTERIOR | 2'-0" x 6'-8" x 1-3/8" (610 x 2030 x 35) CONDITIONS IA | INTERIOR | 2'-2" x 6'-8" x 1-3/8" (660 x 2030 x 35)

AFF	ABOVE FINISHED FLOOR	JST	JOIST
BBFM	BEAM BY FLOOR MANUFACTURER	LIN	LINEN CLOSET
BG	FIXED GLASS W/ BLACK BACKING	LVL	LAMINATED VENEER LUMBER
ВМ	BEAM	OTB/A	OPEN TO BELOW/ABOVE
BBRM	BEAM BY ROOF MANUFACTURER	PL	POINT LOAD
CRF	CONVENTIONAL ROOF FRAMING	PLT	PLATE
C/W	COMPLETE WITH	PT	PRESSURE TREATED
DJ/TJ	DOUBLE JOIST/ TRIPLE JOIST	PTD	PAINTED
DO	DO OVER	PWD	POWDER ROOM
DRP	DROPPED	RWL	RAIN WATER LEADER
ENG	ENGINEERED	SB	SOLID BEARING WOOD POST
EST	ESTIMATED	SBFA	SB FROM ABOVE
FA	FLAT ARCH	SJ	SINGLE JOIST
FD	FLOOR DRAIN	SPR	SPRUCE
FG	FIXED GLASS	STL	STEEL
FL	FLUSH	T/O	TOP OF
FLR	FLOOR	TYP	TYPICAL
GT	GIRDER TRUSS	U/S	UNDERSIDE
НВ	HOSE BIB	WD	WOOD
HRV	HEAT RETURN VENTILATION UNIT	WIC	WALK IN CLOSET
HWT	HOT WATER TANK	WP	WEATHER PROOF
ALL	3.5. SY ELECTRICAL FACILITIES SHALL BE INST.		
•	CLASS 'B' VENT	0	EXHAUST VENT
=	DUPLEX OUTLET (12" HIGH)	₩	DUPLEX OUTLET (HEIGHT AS NOTED A.F.F.
•	HEAVY DUTY OUTLET	-6-	SWITCH (2/3/4 WAY)
\Leftrightarrow	POT LIGHT	\	LIGHT FIXTURE (CEILING MOUNTED
X4	C LIGHT FIXTURE (PULL CHAIN)	ф-	LIGHT FIXTURE (WALL MOUNTED)

CHANDELIER (CEILING MOUNTE **SMOKE ALARM** (9.10.19.) ROVIDE ONE PER FLOOR, NEAR THE STAIRS CONNECTING THE FLOOR LEVEL. ALARMS RE TO BE INSTALLED IN EACH SLEEPING ROOM AND IN A LOCATION BETWEEN
LEEPING ROOMS AND CONNECTING HALLWAYS AND WIRED TO BE INTERCONNECTED
O ACTIVATE ALL ALARMS IF ONE SOUNDS. ALARMS ARE TO BE CONNECTED TO AN LECTRICAL CIRCUIT AND WITH A BATTERY BACKUP. ALARM SIGNAL SHALL MEET EMPORAL SOUND PATTERNS MIN. ALARMS SHALL HAVE A VISUAL SIGNALLING "OMPONENT AS PER THE "NATIONAL FIRE ALARM AND SIGNALING CODE 72"

TELEPHONE JACK

CMD CARBON MONOXIDE ALARM (9.33.4.) ** CHECK LOCAL BY-LAWS FOR REQUIREMENTS ** A CARBON MONOXIDE ALARM(S)
CONFORMING TO CAN/CGA-6.19 SHALL BE INSTALLED ON OR NEAR THE CEILING IN EACH
DWELLING UNIT ADJACENT TO EACH SLEEPING AREA. CARBON MONOXIDE ALARM(S)
SHALL BE PERMANENTLY WIRED WITH NO DISCONNECT SWITCH, WITH AN ALARM THAT IS AUDIBLE WITHIN SLEEPING ROOMS WHEN THE INTERVENING DOORS ARE CLOSED.

SB SOLID BEARING (BUILT-UP WOOD COLUMNS AND STUD POSTS) THE WIDTH OF A WOOD COLUMN SHALL NOT BE LESS THAN THAN THE WIDTH OF SUPPORTED MEMBER. BUILT-UP WOOD COLUMNS SHALL BE NAILED TOGETHER WITH NOT LESS THAN 3" (76) NAILS SPACED NOT MORE THAN 11 3/4" (300) O.C. THE NUMBER OF STUDS IN A WALL DIRECTLY BELOW A GIRDER TRUSS OR ROOF BEAM SHALL CONFORM TO TABLES A-34 TO A-37. (9.17.4., 9.23.10.7.)

TWO STOREY VOLUME SPACE. SEE CONSTRUCTION NOTE 39.

VARYING PLATES, BUILT-OUT FLOORS, BEARING WALLS, ICE & WATER SHIELD

EXPOSED BUILDING FACE -0.B.C. 9.10.14. OR 9.10.15.
REFER TO HEX NOTE 35. & DETAILS FOR TYPE AND SF REFER TO HEX NOTE 35. & DETAILS FOR TYPE AND SPECIFICATIONS 1 HR. PARTY WALL

SECTION 4.0. CLIMATIC DATA

CABLE T.V. JACK

CENTRAL VACUUM OUTLET

DESIGN SNOW LOAD (9.4.2.2.): WIND PRESSURE (q50) (SB-1.2.):

CONSTRUCTION NOTE REVISION DATE: **DECEMBER 15, 2021**

INDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HA DDE TO BE A DESIGNER. HUNTUU Allan Whiting

CONSTRUCTION NOTES GOLDPARK HOMES - 221081 THE QUEENSLAND-UNIT 600 PINE VALLEY-PHASE2, VAUGHAN ONT. REV.2022.08.0

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22 of 2

1.01 kPa

0.44 **kPa**

3/16"=1'-0"

