



ELEVATION 'A'



ELEVATION 'B'



ELEVATION 'C'

THE RIVERVIEW - 5013

SB-12 ENERGY EFFICIENCY DESIGN MATRIX

PRESCRIPTIVE COMPLIANCE

SB-12 (SECTION 3.1.1) TABLE 3.1.1.2.A

PACKAGE A1

SPACE HEATING FUEL	
☒ GAS	☐ OIL
☐ ELECTRIC	☐ PROPANE
☐ EARTH	☐ SOLID FUEL

BUILDING COMPONENT	REQUIRED	PROPOSED
INSULATION RSI (R) VALUE		
CEILING W/ ATTIC SPACE	10.56 (R60)	10.56 (R60)
CEILING W/O ATTIC SPACE	5.46 (R31)	5.46 (R31)
EXPOSED FLOOR	5.46 (R31)	5.46 (R31)
WALLS ABOVE GRADE	3.87 (R22)	3.87 (R22)
BASEMENT WALLS	3.52 ci (R20 ci)	3.52 ci (R20 ci)
* PROPOSED VALUES MAY BE SUBSTITUTED W/ 2.11+1.76ci (R12+R10ci)	*	*
BELOW GRADE SLAB ENTIRE SURFACE > 600mm BELOW GRADE	-	-
EDGE OF BELOW GRADE SLAB ≤ 600mm BELOW GRADE	1.76 (R10)	1.76 (R10)
HEATED SLAB OR SLAB ≤ 600mm BELOW GRADE	1.76 (R10)	1.76 (R10)
WINDOWS & DOORS		
WINDOWS/SLIDING GLASS DOORS (MAX U-VALUE)	1.6	1.6
SKYLIGHTS (MAX. U-VALUE)	2.8	2.8
APPLIANCE EFFICIENCY		
SPACE HEATING EQUIP. (AFUE%)	96%	96%
HRV EFFICIENCY (%)	75%	75%
DHW HEATER (EF)	0.8	0.8

AREA CALCULATIONS	EL. 'A'	EL. 'A'	EL. 'A'	EL. 'B'	EL. 'B'	EL. 'B'
	STD./OPT.	STD./OPT.W/ELEV.	W/ LOGGIA	STD. PLAN	STD./OPT.W/ELEV.	W/ LOGGIA
GROUND FLOOR AREA	2106 sq. ft.	2106 sq. ft.	2106 sq. ft.	2122 sq. ft.	2122 sq. ft.	2122 sq. ft.
SECOND FLOOR AREA	2740 sq. ft.	2740 sq. ft.	2740 sq. ft.	2778 sq. ft.	2778 sq. ft.	2778 sq. ft.
SUBTOTAL	4846 sq. ft.	4846 sq. ft.	4846 sq. ft.	4900 sq. ft.	4900 sq. ft.	4900 sq. ft.
DEDUCT ALL OPEN AREAS	399 sq. ft.	429 sq. ft.	399 sq. ft.	399 sq. ft.	429 sq. ft.	399 sq. ft.
TOTAL NET AREA	4447 sq. ft.	4417 sq. ft.	4447 sq. ft.	4501 sq. ft.	4471 sq. ft.	4501 sq. ft.
FINISHED BASEMENT AREA	198 sq. ft.	198 sq. ft.	198 sq. ft.	198 sq. ft.	198 sq. ft.	198 sq. ft.
COVERAGE W/OUT PORCH	2786 sq. ft.	2786 sq. ft.	2786 sq. ft.	2801 sq. ft.	2801 sq. ft.	2801 sq. ft.
COVERAGE W/ PORCH	258.83 sq. m.	258.83 sq. m.	258.83 sq. m.	260.22 sq. m.	260.22 sq. m.	260.22 sq. m.
	3097 sq. ft.	3097 sq. ft.	3348 sq. ft.	3122 sq. ft.	3122 sq. ft.	3375 sq. ft.
	(287.72 sq. m.)	(287.72 sq. m.)	(311.04 sq. m.)	(290.04 sq. m.)	(290.04 sq. m.)	(313.55 sq. m.)

- 1 - TITLE PAGE
- 2 - BASEMENT PLAN, EL. 'A'
- 3 - GROUND FLOOR PLAN, EL. 'A'
- 4 - SECOND FLOOR PLAN, EL. 'A'
- 5 - SECOND FLOOR PLAN W/O. LOFT, EL. 'A'
- 6 - OPT. 5 BEDROOM SECOND FLOOR PLAN, EL. 'A'
- 7 - OPT. 5 BEDROOM SECOND FLOOR PLAN W/O. LOFT, EL. 'A'
- 8 - PARTIAL FLOOR PLANS, EL. 'B'
- 9 - PARTIAL SECOND FLOOR PLANS W/O LOFT, EL. 'B'
- 10 - PART. OPT. 5-BDRM. SECOND FLOOR PLANS, EL. 'B'
- 11 - PART. OPT. 5-BDRM. SECOND FLOOR PLANS W/O. LOFT, EL. 'B'
- 12 - PARTIAL FLOOR PLANS, EL. 'C'
- 13 - PART. OPT. 5 BEDROOM SECOND FLOOR PLAN, EL. 'C'
- 14 - FRONT ELEVATION 'A'
- 15 - LEFT ELEVATION 'A'
- 16 - RIGHT ELEVATION 'A'
- 17 - REAR ELEVATION 'A'
- 18 - FRONT ELEVATION 'B'
- 19 - LEFT ELEVATION 'B'
- 20 - RIGHT ELEVATION 'B'
- 21 - REAR ELEVATION 'B'
- 22 - FRONT ELEVATION 'C'
- 23 - LEFT ELEVATION 'C'
- 24 - RIGHT ELEVATION 'C'
- 25 - REAR ELEVATION 'C'
- 26 - CROSS SECTION 'A-A'
- 27 - CONSTRUCTION NOTES
- W1 - DECK CONDITIONS
- W2 - DECK CONDITIONS

EL. 'C'	EL. 'C'	EL. 'C'
STD. PLAN	STD./OPT.W/ELEV.	W/ LOGGIA
2108 sq. ft.	2108 sq. ft.	2108 sq. ft.
2793 sq. ft.	2793 sq. ft.	2793 sq. ft.
4901 sq. ft.	4901 sq. ft.	4901 sq. ft.
399 sq. ft.	429 sq. ft.	399 sq. ft.
4502 sq. ft.	4472 sq. ft.	4502 sq. ft.
(418.25 sq. m.)	(415.46 sq. m.)	(418.25 sq. m.)
198 sq. ft.	198 sq. ft.	198 sq. ft.
2787 sq. ft.	2787 sq. ft.	2787 sq. ft.
(258.92 sq. m.)	(258.92 sq. m.)	(258.92 sq. m.)
3107 sq. ft.	3107 sq. ft.	3346 sq. ft.
(288.65 sq. m.)	(288.65 sq. m.)	(310.85 sq. m.)

WINDOW / WALL AREA CALCULATIONS	EL. 'A'	EL. 'A'	EL. 'A'	EL. 'A'	EL. 'A'	EL. 'A'	EL. 'A'	EL. 'A'
	STD. PLAN	STD. - WOD	STD. - LOD	STD. - WOB	OPT. 5BDRM	OPT. - WOD	OPT. - LOD	OPT. - WOB
GROSS WALL AREA	4450 sq. ft.	4533 sq. ft.	4592 sq. ft.	4483 sq. ft.	4450 sq. ft.	4534 sq. ft.	4592 sq. ft.	4683 sq. ft.
	(413.42 sq. m.)	(421.13 sq. m.)	(426.61 sq. m.)	(416.48 sq. m.)	(413.42 sq. m.)	(421.22 sq. m.)	(426.61 sq. m.)	(435.06 sq. m.)
GROSS WINDOW AREA (INCL. GLASS DOORS & SKYLIGHTS)	671 sq. ft.	674 sq. ft.	684 sq. ft.	746 sq. ft.	679 sq. ft.	682 sq. ft.	692 sq. ft.	754 sq. ft.
	(62.34 sq. m.)	(62.62 sq. m.)	(63.55 sq. m.)	(69.31 sq. m.)	(63.08 sq. m.)	(63.36 sq. m.)	(64.29 sq. m.)	(70.05 sq. m.)
TOTAL WINDOW %	15.08 %	14.87 %	14.90 %	16.64 %	15.26 %	15.04 %	15.07 %	16.10 %

WINDOW / WALL AREA CALCULATIONS	EL. 'B'	EL. 'B'	EL. 'B'	EL. 'B'	EL. 'B'	EL. 'B'	EL. 'B'	EL. 'B'
	STD. PLAN	STD. - WOD	STD. - LOD	STD. - WOB	OPT. 5BDRM	OPT. - WOD	OPT. - LOD	OPT. - WOB
GROSS WALL AREA	4482 sq. ft.	4565 sq. ft.	4624 sq. ft.	4715 sq. ft.	4482 sq. ft.	4565 sq. ft.	4624 sq. ft.	4715 sq. ft.
	(416.39 sq. m.)	(424.10 sq. m.)	(429.58 sq. m.)	(438.04 sq. m.)	(416.39 sq. m.)	(424.10 sq. m.)	(429.58 sq. m.)	(438.04 sq. m.)
GROSS WINDOW AREA (INCL. GLASS DOORS & SKYLIGHTS)	723 sq. ft.	726 sq. ft.	736 sq. ft.	798 sq. ft.	731 sq. ft.	734 sq. ft.	744 sq. ft.	806 sq. ft.
	(67.17 sq. m.)	(67.45 sq. m.)	(68.38 sq. m.)	(74.14 sq. m.)	(67.91 sq. m.)	(68.19 sq. m.)	(69.12 sq. m.)	(74.88 sq. m.)
TOTAL WINDOW %	16.13 %	15.90 %	15.92 %	16.92 %	16.31 %	16.08 %	16.09 %	17.09 %

WINDOW / WALL AREA CALCULATIONS	EL. 'C'	EL. 'C'	EL. 'C'	EL. 'C'	EL. 'C'	EL. 'C'	EL. 'C'	EL. 'C'
	STD. PLAN	STD. - WOD	STD. - LOD	STD. - WOB	OPT. 5BDRM	OPT. - WOD	OPT. - LOD	OPT. - WOB
GROSS WALL AREA	4615 sq. ft.	4698 sq. ft.	4618 sq. ft.	4848 sq. ft.	4618 sq. ft.	4698 sq. ft.	4757 sq. ft.	4848 sq. ft.
	(428.75 sq. m.)	(436.46 sq. m.)	(429.03 sq. m.)	(450.39 sq. m.)	(429.03 sq. m.)	(436.46 sq. m.)	(441.94 sq. m.)	(450.39 sq. m.)
GROSS WINDOW AREA (INCL. GLASS DOORS & SKYLIGHTS)	764 sq. ft.	767 sq. ft.	764 sq. ft.	839 sq. ft.	772 sq. ft.	775 sq. ft.	785 sq. ft.	847 sq. ft.
	(70.98 sq. m.)	(71.26 sq. m.)	(70.98 sq. m.)	(77.95 sq. m.)	(71.72 sq. m.)	(72.00 sq. m.)	(72.93 sq. m.)	(78.69 sq. m.)
TOTAL WINDOW %	16.55 %	16.33 %	16.54 %	17.31 %	16.72 %	16.50 %	16.50 %	17.47 %

		7. -	-	-
		6. -	-	-
		5. -	-	-
		4. ISSUED FOR PERMIT	-	-
		3. REVISED PER ENG. STRUCT. COMMENTS	2022.08.05	WT
		2. CO-ORD. W/ FLOOR & TRUSS LAYOUTS	2022.05.19	SP
		1. ISSUED FOR CLIENT REVIEW	2022/02/25	WT
		REVISIONS		DATE (YYYYMMDD)

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION

Albin Whiting

SIGNATURE

HUNT DESIGN ASSOCIATES INC.

19905

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GOLDPARK HOMES - 221081
PINE VALLEY PH. 2, VAUGHAN, ON.

Drawn By: WT, Checked By: AW, Scale: 3/16"=1'-0"

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THE RIVERVIEW - 5013
REV.2022.08.05

Page Number: 1 of 27

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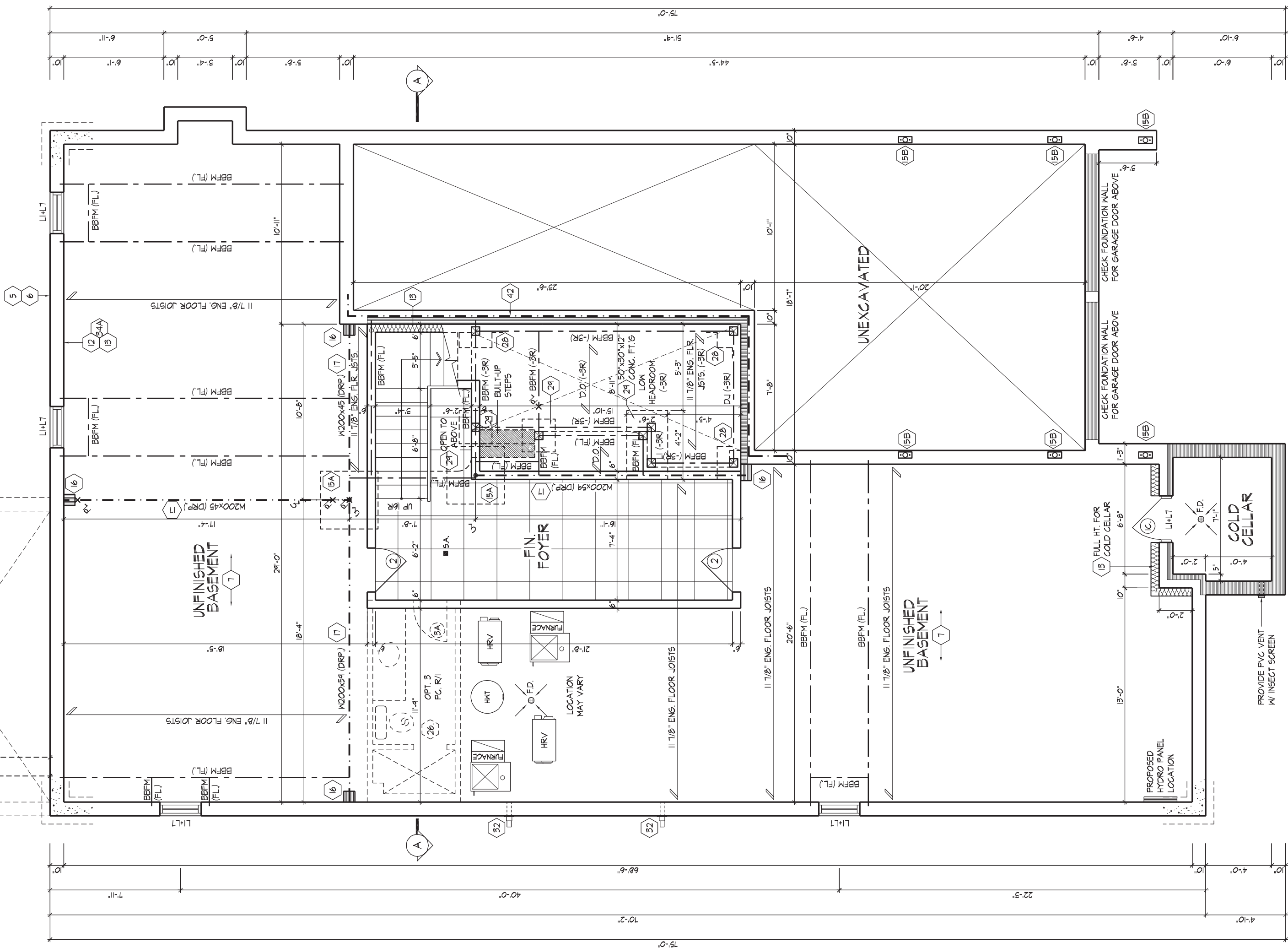
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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: 
DATE: AUG 08, 2022

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professional responsibility.

STRIP FOOTING ARE DESIGNED
BASED ON ASSUMPTION THAT
SOIL W/ 125KPa (9LS) BEARING
CAPACITY.

PROVIDE SOLID WOOD
BLOCKING @ 24" O.C. FOR
FIRST JOIST SPAN WHEN
PARALLEL W/ EXTERIOR WALL

SPACE ALL FLOOR JOISTS @
2" O.C. UNDER ALL CERAMIC
TILE AREAS.

REFER TO FLOOR JOIST
MANUFACTURER'S DRAWINGS
FOR LAYOUT, SPACING,
BLOCKING & STRAPPING
REQUIREMENTS, INSTALLATION
DETAILS AND HANGER SIZES, &
SUBFLOOR THICKNESS

BASEMENT PLAN, EL. 'A'

BASEMENT PLAN, EL. 'A'
'THE RIVERVIEW' - 5013
REV.2022.08.05

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CODE TO BE A DESIGNER QUALIFICATION INFORMATION Allan Whiting	aw	2317
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NAME	SIGNATURE	BO
REGISTRATION INFORMATION		
HILL INT DESIGN ASSOCIATES INC		1965

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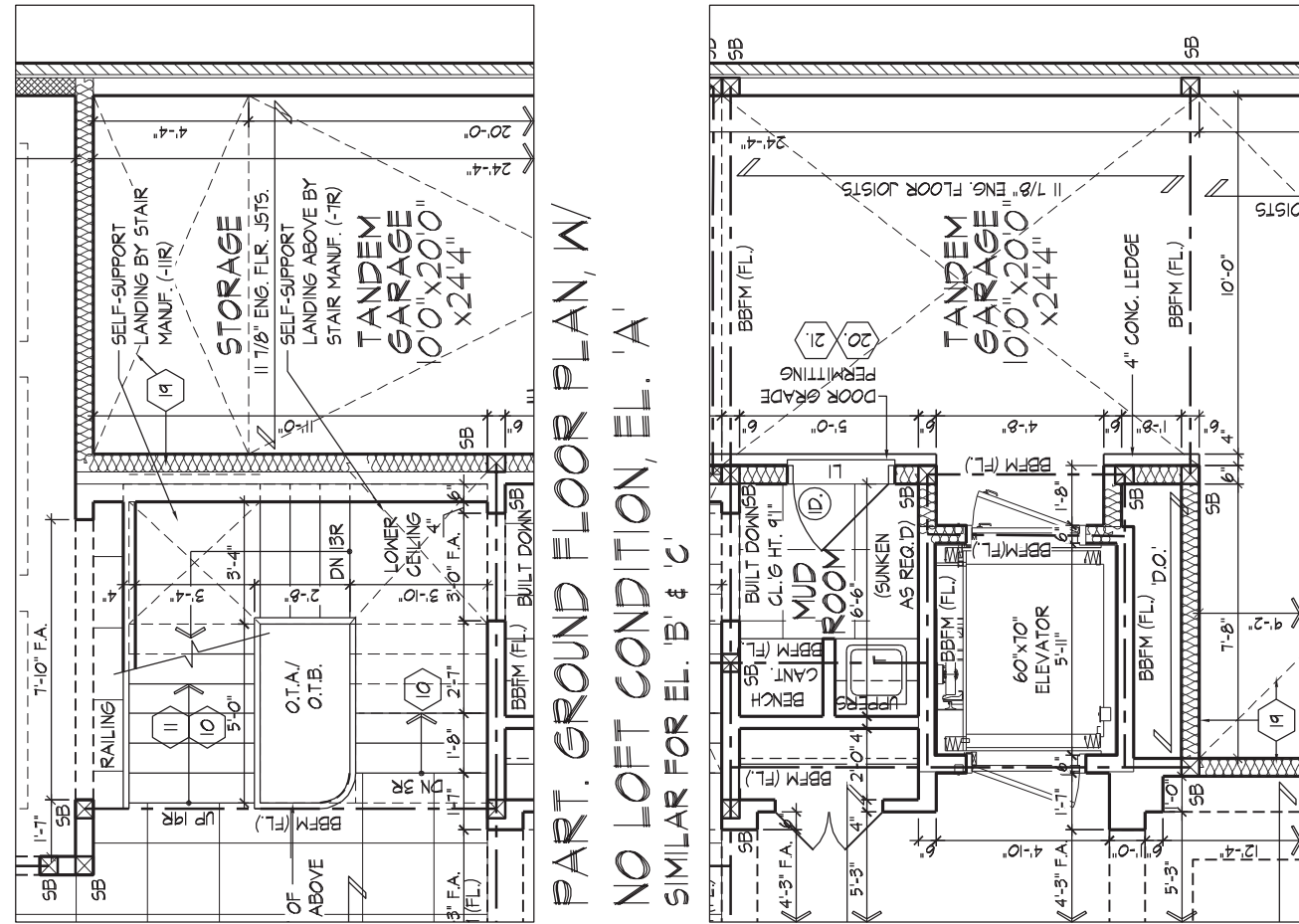
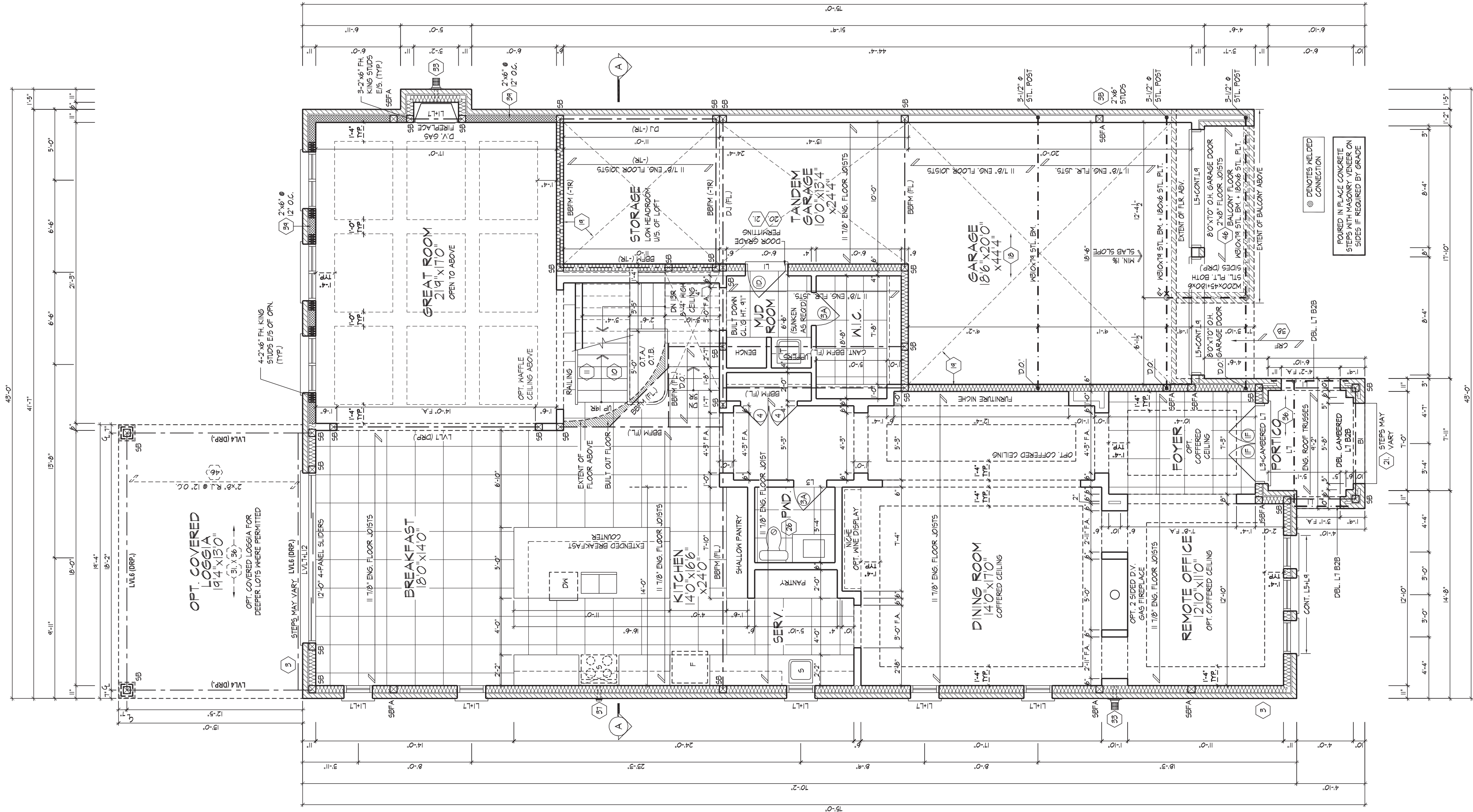
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JOIST, AND FLOOR LVL BEAM DESIGN.



PART. GROUND FLOOR PLAN,
W/ OPT. ELEVATOR, EL. 'A'
SIMILAR FOR EL. 'B' & 'C'

- PROVIDE SOLID WOOD BLOCKING @ 24" O.C. FOR FIRST JOIST SPAN WHEN PARALLEL W/ EXTERIOR WALL
- REFER TO FLOOR JOIST MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, BLOCKING & STRAPPING REQUIREMENTS, INSTALLATION DETAILS AND HANGER SIZES, & SEPT FLOOR THICKNESS
- GRADE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS
- REFER TO ROOF TRUSS MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, INSTALLATION DETAILS AND HANGER SIZES
- SOLID MASONRY WALL W/ 2'-0M VERT. REBARS (LAP 1'-6") GROTTED INTO BRICK JOINT
- 2"x6" SILL PLATE @ TOP ANCHORED TO SOLID MASONRY WALL W/ 12"x6 x 12" BOLTS @ 24" O.C. STAGGERED
- MASONRY VENEER TIED TO MASONRY VENEER WITH GALV. METAL TIES @ 16" O.C. AND 24" VERTICAL, FILL VOID BETWEEN MASONRY VENEER WITHES SOLID W/ MORTAR

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL

APPROVED BY: [Signature]
DATE: AUG 08, 2022

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GROUND FLOOR PLAN, EL. 'A'
THE RIVERVIEW - 5013
REV.2022.08.05

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QUALIFICATION INFORMATION
Signature: [Signature] 23177
NAME: ALAN WHITING
REGISTRATION INFORMATION: BCIN
HUNT DESIGN ASSOCIATES INC. 19995



GOLDPARK HOMES - 221081
PINE VALLEY PH. 2, VAUGHAN, ON.

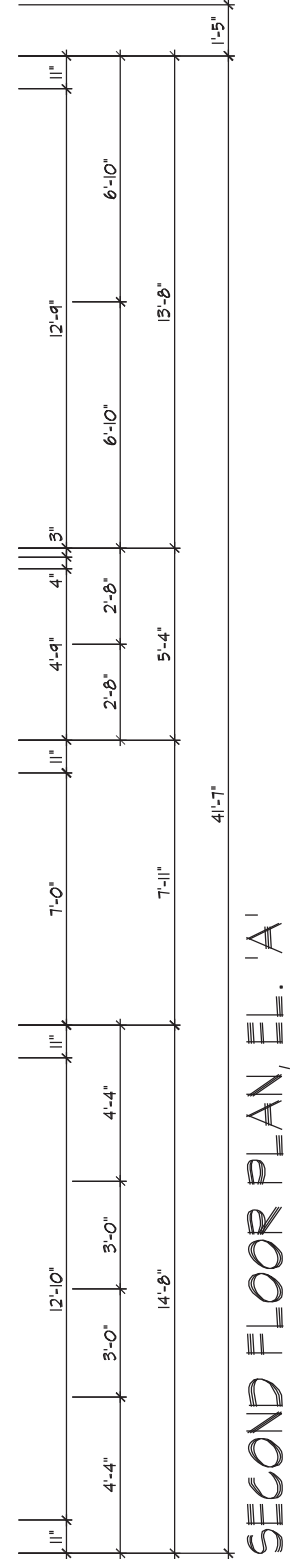
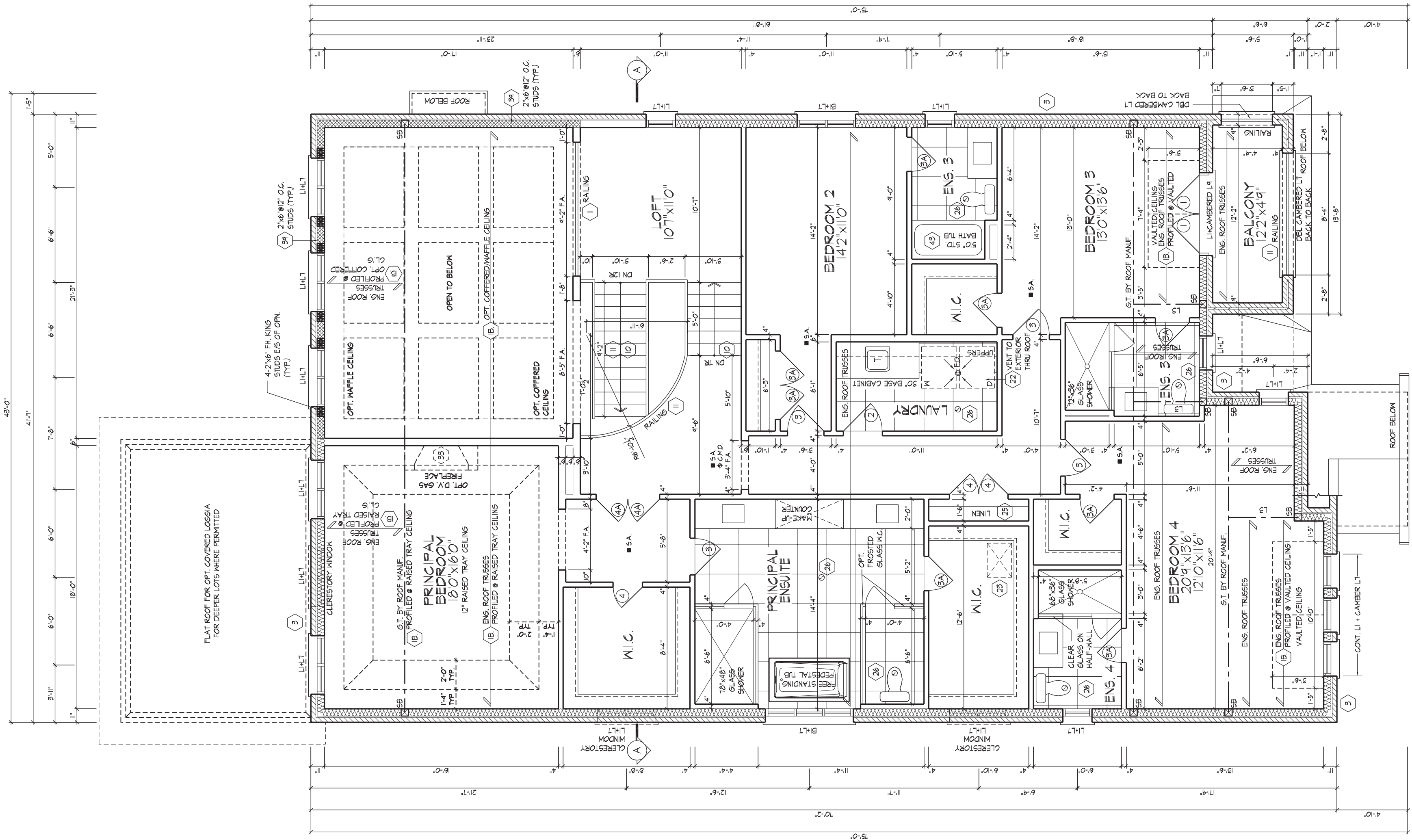
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PROVIDE 6" CIRC. &
RUBBER MAT.
MAT TO EXTEND 6" MIN.
ABOVE FLOOR LEVEL.

REFER TO ROOF TRUSS
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QUALIFICATION INFORMATION
NAME: Alton Whiting
REGISTRATION INFORMATION
HUNT DESIGN ASSOCIATES INC. 19995

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Checked By: BCN
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F 905.737.7326

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GOLDPARK HOMES - 221081
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SECOND FLOOR PLAN, EL. 'A'
THE RIVERVIEW - 5013
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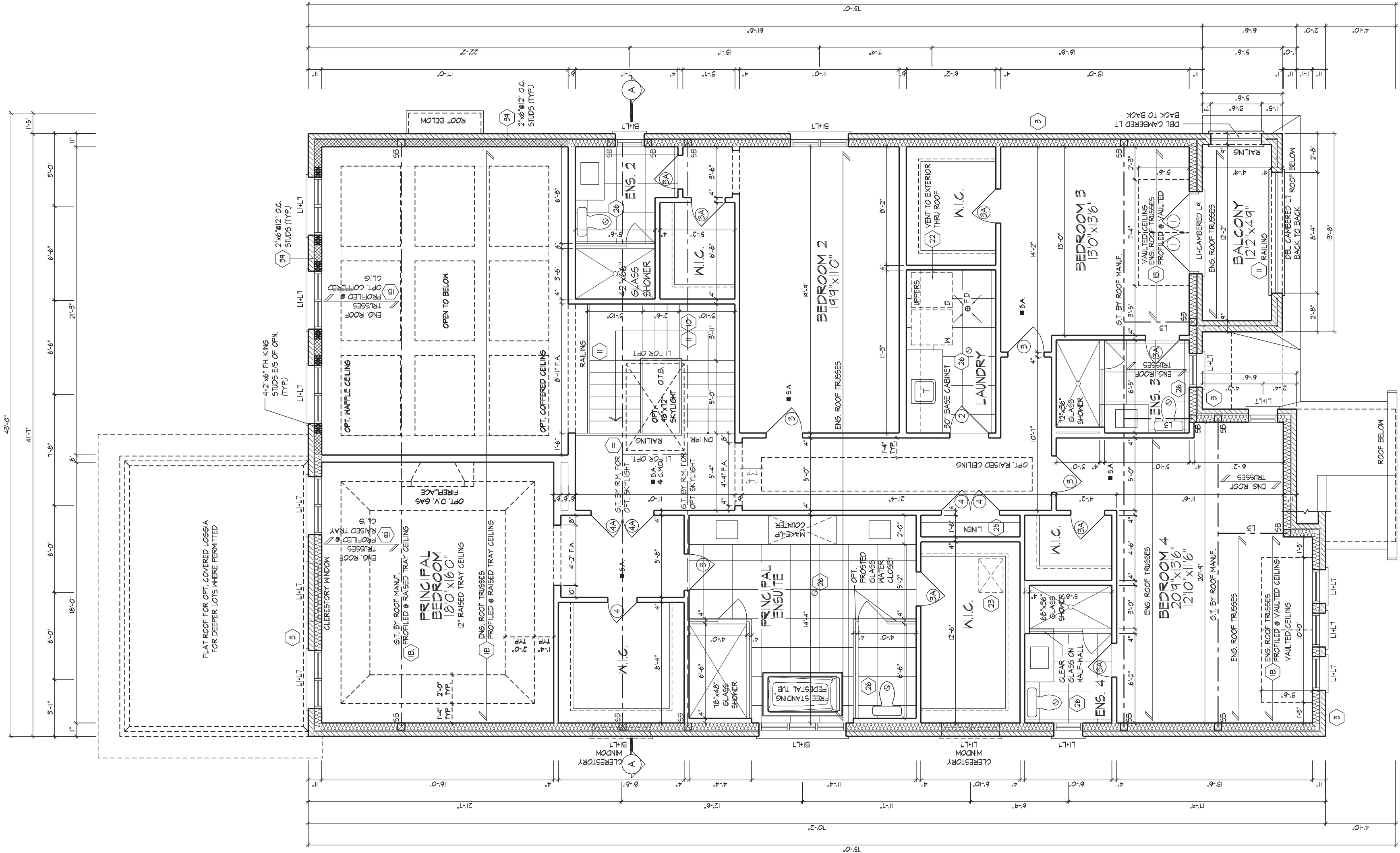
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SIMILAR FOR EL. 'C'

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QUALIFICATION INFORMATION
NAME: ALAN WHITING
SIGNATURE: [Signature]
REGISTRATION INFORMATION
HUNT DESIGN ASSOCIATES INC. 19995

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SECOND FLOOR PLAN W/O. LOFT, EL. 'A'
THE RIVERVIEW - 5013
REV.2022.08.05

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PINE VALLEY PH. 2, VAUGHAN, ON.

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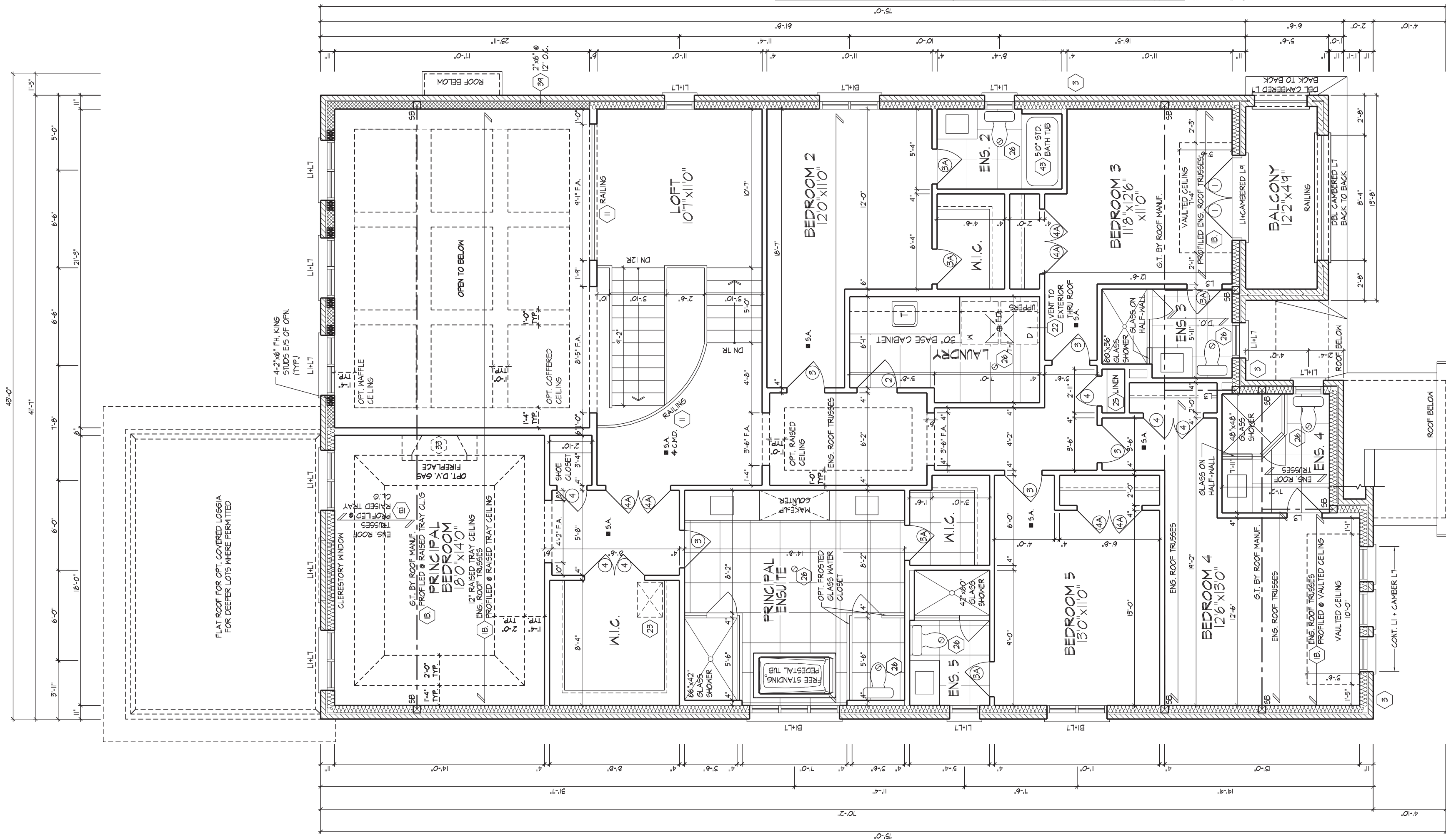
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PROVIDE 6" CURB &
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OPT. 5 BEDROOM SECOND FLOOR PLAN, EL. 'A'
SIMILAR FOR EL. 'C'

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS
THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING
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QUALIFICATION INFORMATION
Alvin Whiting
SIGNATURE
BCIN

HUNT DESIGN ASSOCIATES INC.
19995

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BCIN

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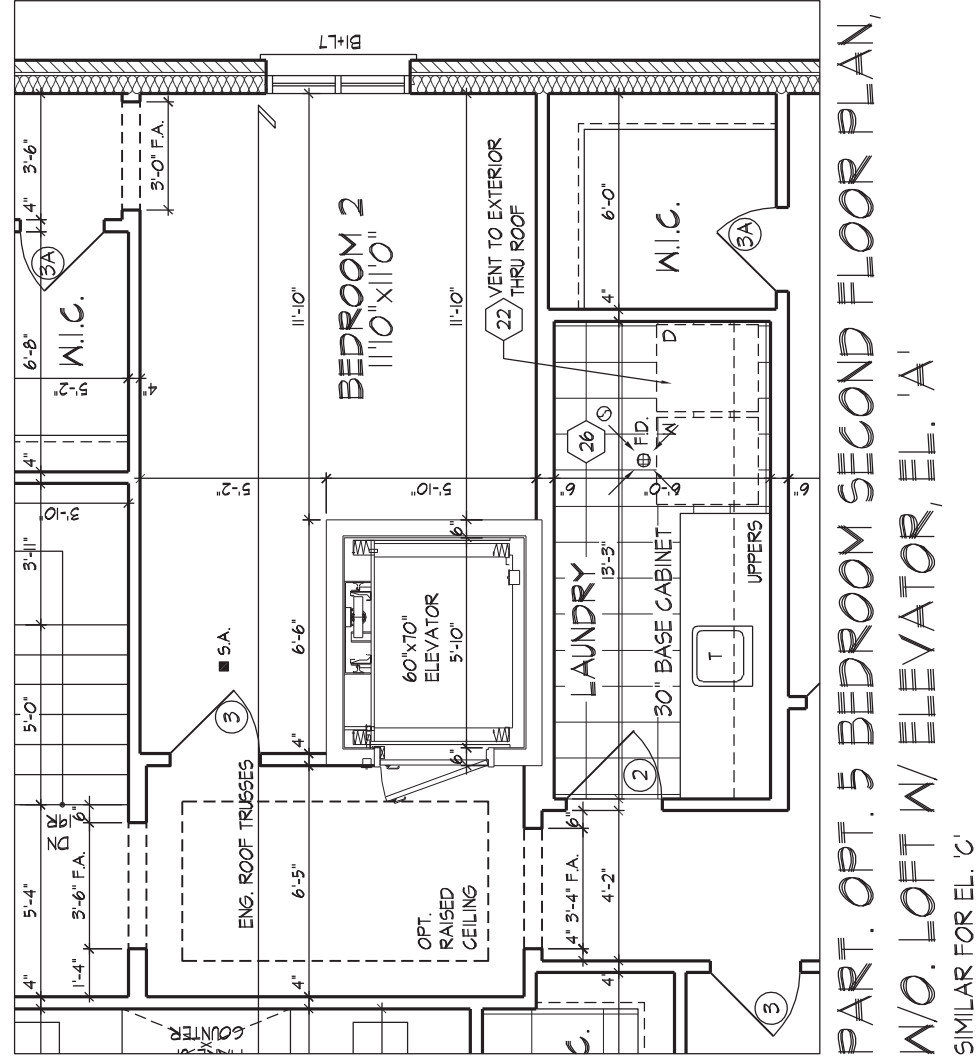
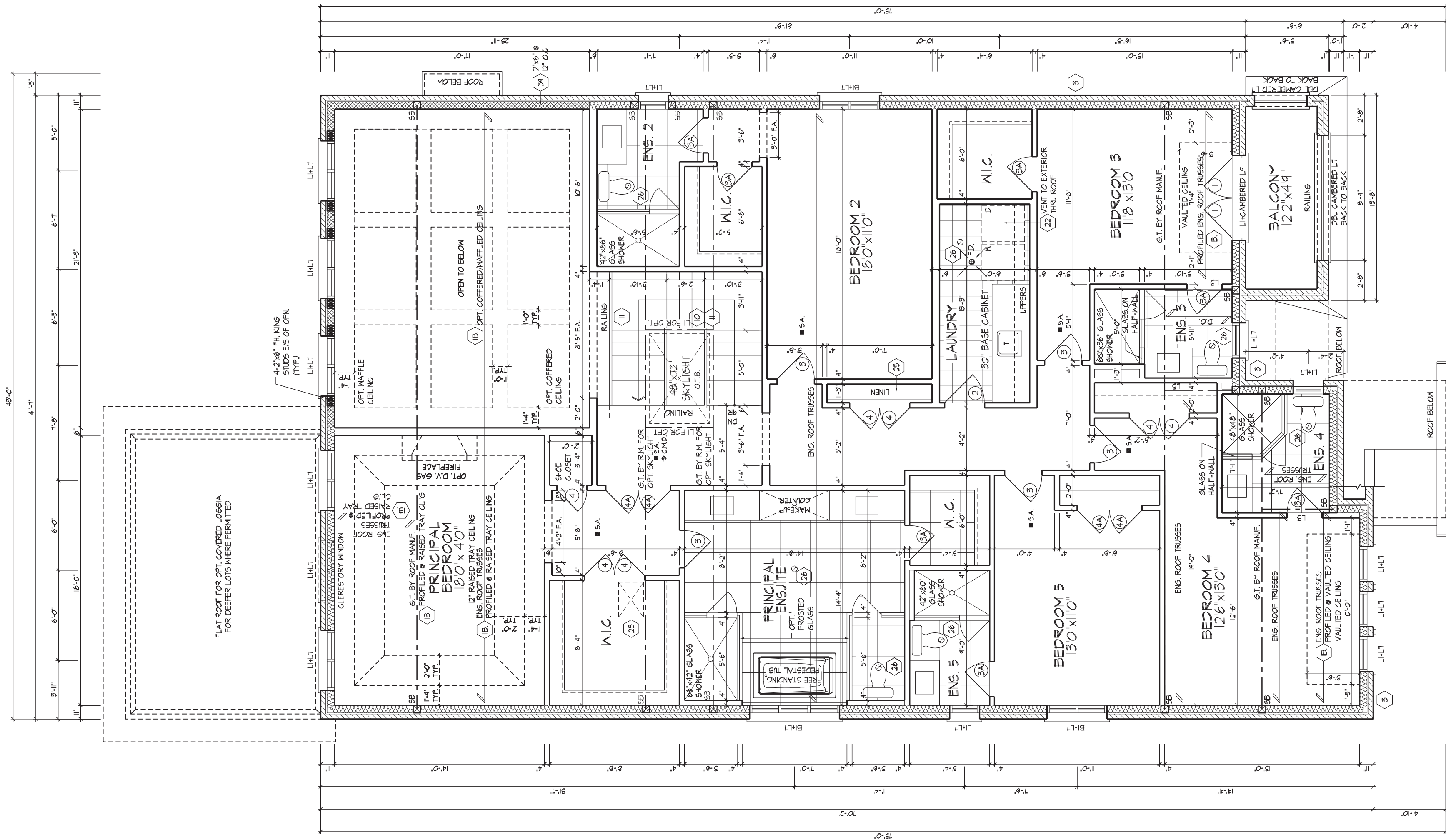
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FOR STRUCTURAL ONLY, EXCLUDING
ENGINEERED ROOF TRUSS, FLOOR
JOIST, AND FLOOR LVL BEAM DESIGN.



PROVIDE 6" CURB &
RUBBER MAT.
MAT TO EXTEND 6" MIN.
ABOVE FLOOR LEVEL.

REFER TO ROOF TRUSS
MANUFACTURER'S DRAWINGS
FOR LAYOUT, SPACING,
HANGER SIZES, DETAILS AND
HANGER SIZES.



OPT. 5 BEDROOM SECOND FLOOR PLAN W/O. LOFT, EL. 'A'
GOLDPARK HOMES - 221081
PINE VALLEY PH. 2, VAUGHAN, ON.
REV. 2022.08.05

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS
THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING
CODE TO BE A DESIGNER.

QUAIFICATION INFORMATION
Signature: [Signature]
Name: [Name]
Registration Information: [Registration Information]

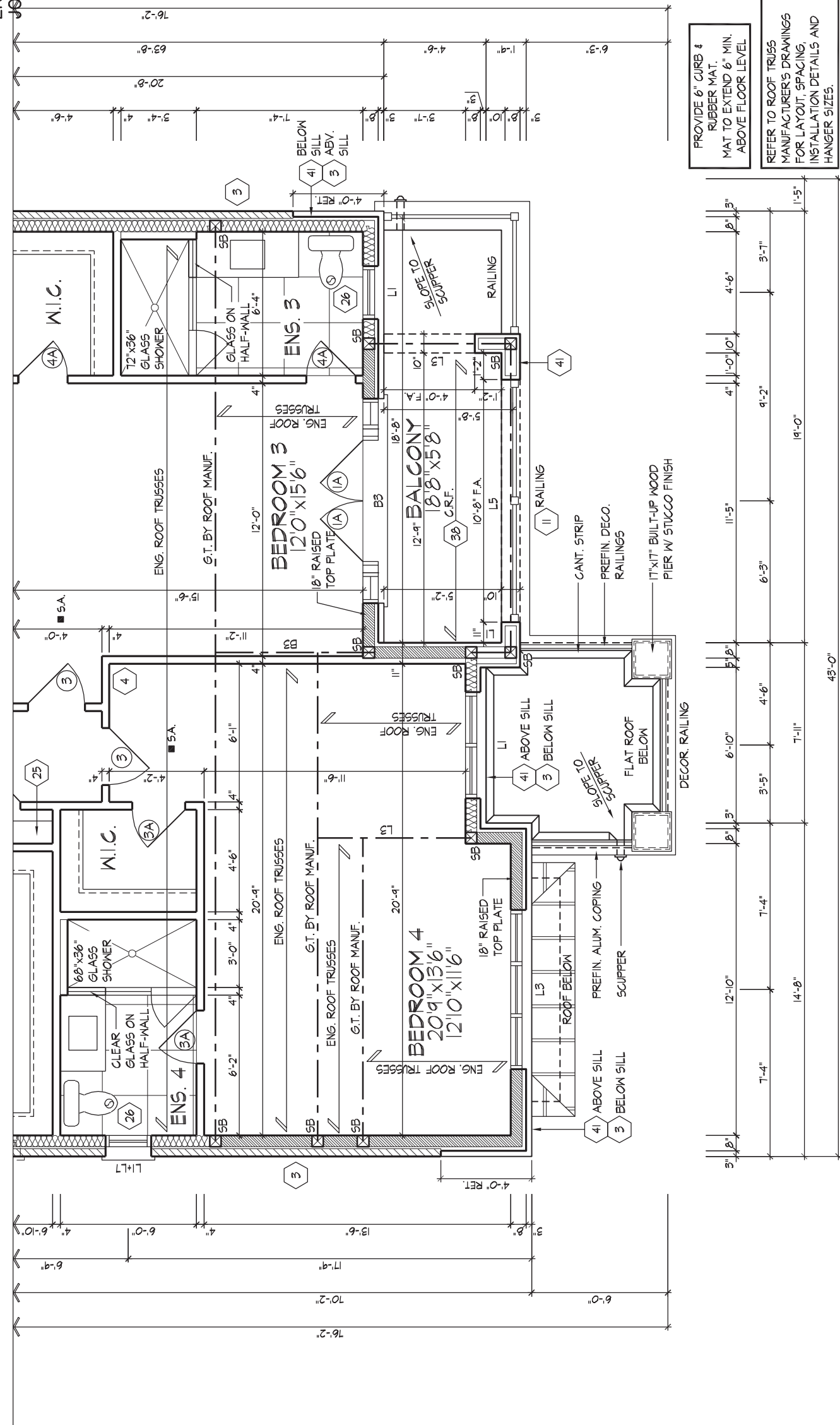


Down By: [Name] Scale: 3/16"=1'-0"
Checked By: [Name] File Number: 221081WS5013.dwg
8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326
7 of 27

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ENGINEERED ROOF TRUSS, FLOOR
JOIST, AND FLOOR LVL BEAM DESIGN.



PARTIAL SECOND FLOOR PLAN, EL. 'B'

PROVIDE 6" CURB & RUBBER MAT. MAT TO EXTEND 6" MIN. ABOVE FLOOR LEVEL.

REFER TO ROOF TRUSSES MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, INSTALLATION DETAILS AND HANGER SIZES.

REFER TO STANDARD PLAN ELEVATION 'A' FOR COMPLETE CONSTRUCTION NOTES & DIMENSIONS.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements, including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: 
DATE: AUG 08, 2022

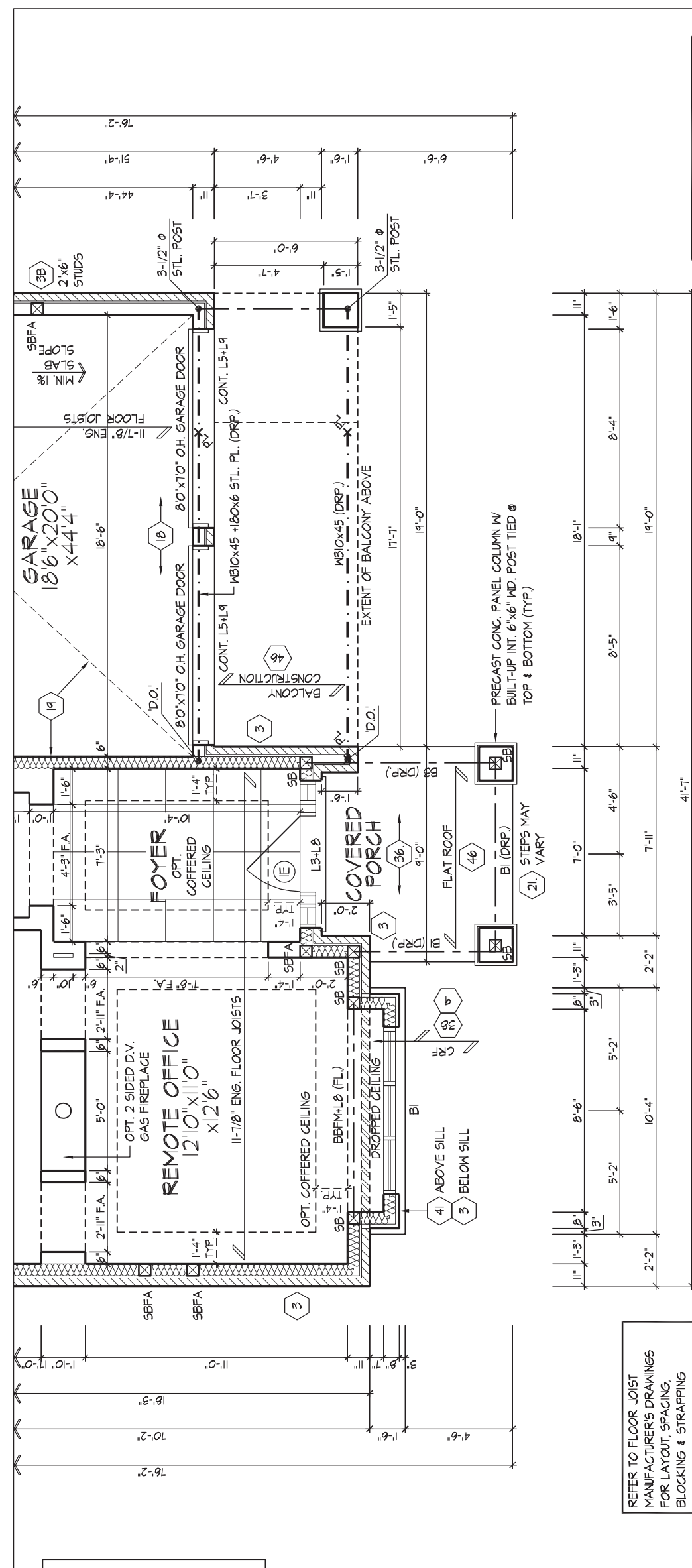
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CODE TO BE A DESIGNER.
QUALIFICATION INFORMATION

NAME _____
REGISTRATION INFORMATION _____

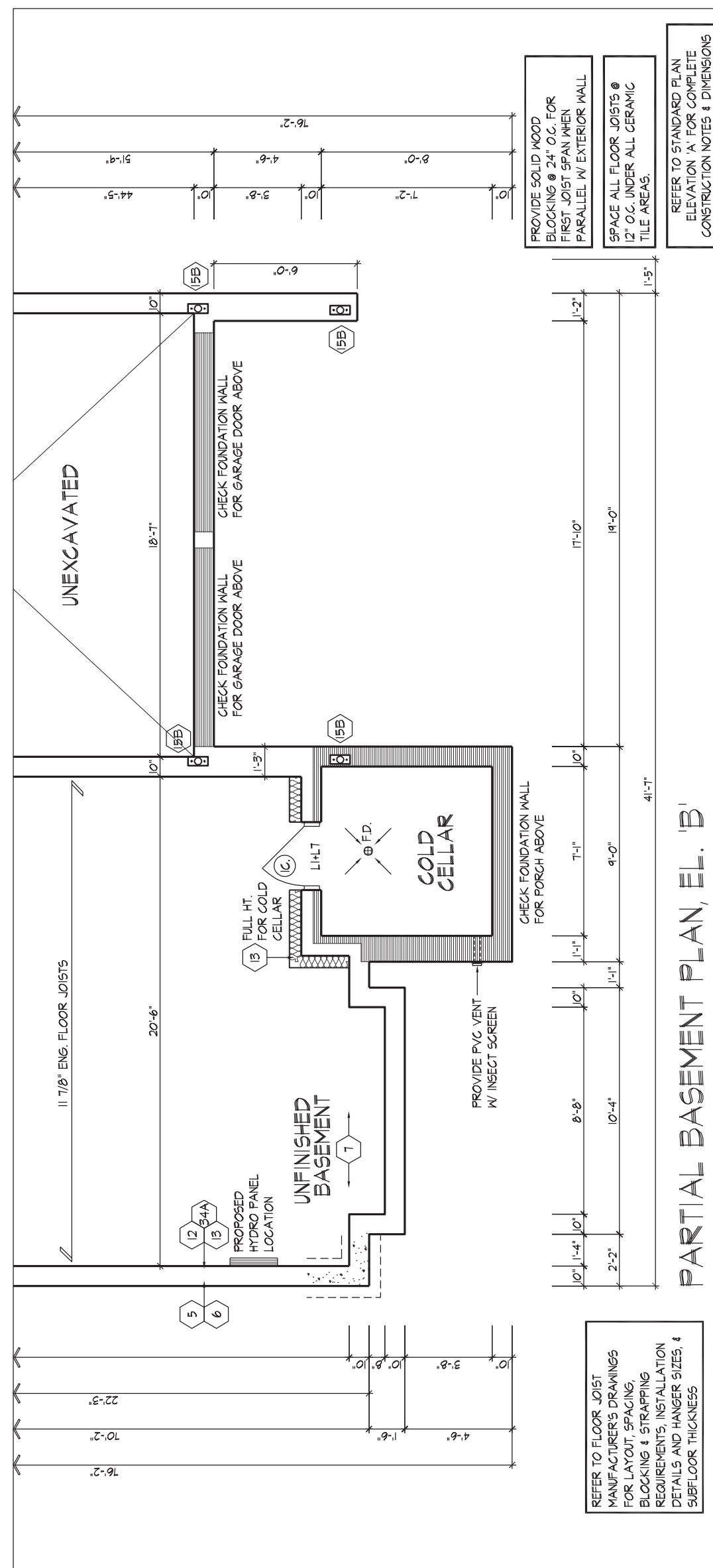
HUNT DESIGN ASSOCIATES
All drawings specific to



PARTIAL GROUND FLOOR PLAN, EL. 'B'

REFER TO STANDARD PLAN
ELEVATION 'A' FOR COMPLETE
CONSTRUCTION NOTES & DIMENSIONS

REFER TO FLOOR JOIST
MANUFACTURER'S DRAWINGS
FOR LAYOUT, SPACING,
BLOCKING & STRAPPING
REQUIREMENTS; INSTALLATION
DETAILS AND HANGER SIZES, &
SUBFLOOR THICKNESS



PARTIAL BASEMENT PLAN, EL. 'B'

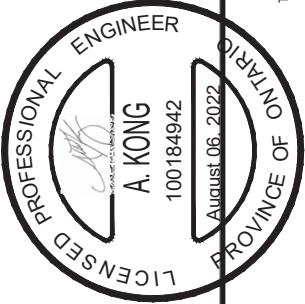
PROVIDE SOLID WOOD
FLOORBLOCKING @ 24" O.C. FOR
FIRST JOIST SPAN WHEN
PARALLEL TO EXTERIOR WALL

SPACE ALL FLOOR JOISTS @
12" O.C. UNDER ALL CERAMIC
TILE AREAS.

REFER TO STANDARD PLAN
ELEVATION 'A' FOR COMPLETE
CONSTRUCTION NOTES & DIMENSIONS

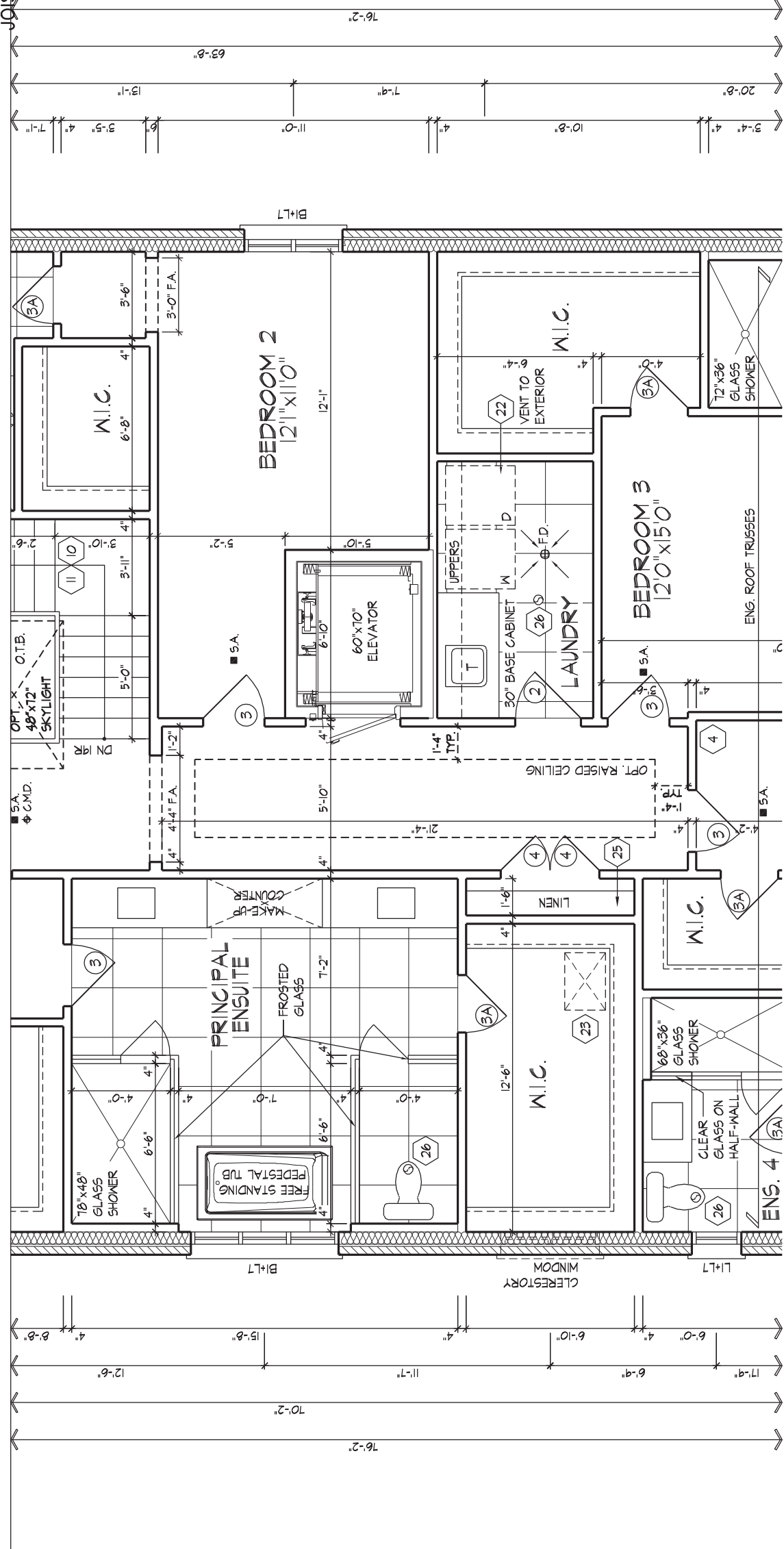
REFER TO FLOOR JOIST
MANUFACTURER'S DRAWINGS
FOR LAYOUT, SPACING,
BLOCKING & STRAPPING
REQUIREMENTS, INSTALLATION
DETAILS AND HANGER SIZES, &
SUBFLOOR THICKNESS

STRIP FOOTING ARE DESIGNED
BASED ON ASSUMPTION THAT
SOIL W/ 125kPa (SLS) BEARING
CAPACITY.



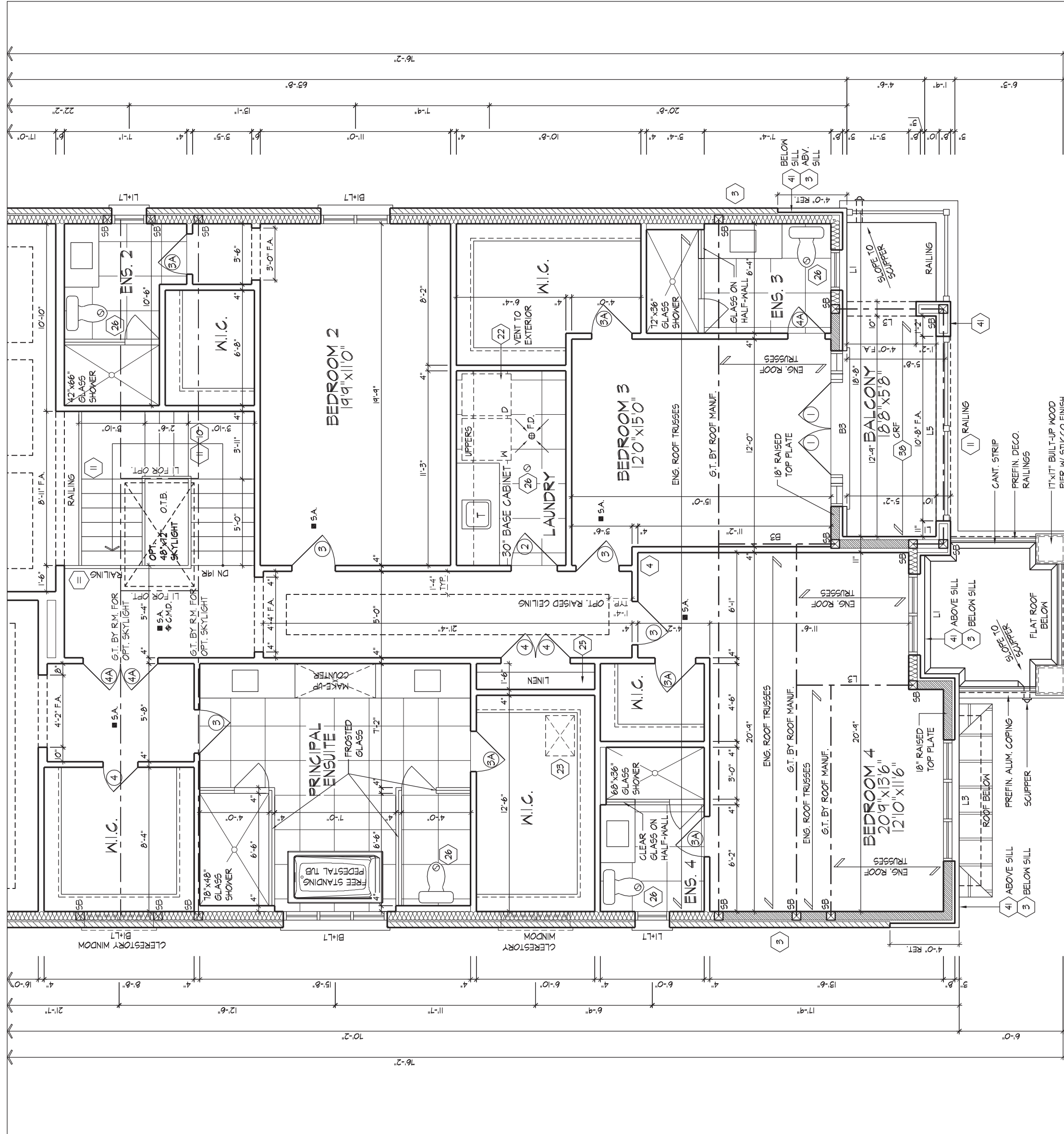
100 COMMERCE VALLEY DR. W.
SCARBOROUGH, ONTARIO M1V 4Y4
TEL: 1-800-461-7771 FAX: 416-291-1000

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JOIST, AND FLOOR LVL BEAM DESIGN.



PARTIAL SECOND FLOOR PLAN W/O. LOFT W. ELEVATOR, EL. 'B'

REFER TO STANDARD PLAN
ELEVATION 'A' FOR COMPLETE
CONSTRUCTION NOTES & DIMENSIONS



PARTIAL SECOND FLOOR PLAN W/O. LOFT, EL. 'B'

REFER TO STANDARD PLAN
ELEVATION 'A' FOR COMPLETE
CONSTRUCTION NOTES & DIMENSIONS

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: AUG 08, 2022
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THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.
QUALIFICATION INFORMATION
Alton Whiting
SIGNATURE
REGISTRATION INFORMATION
HUNT DESIGN ASSOCIATES INC.
19995

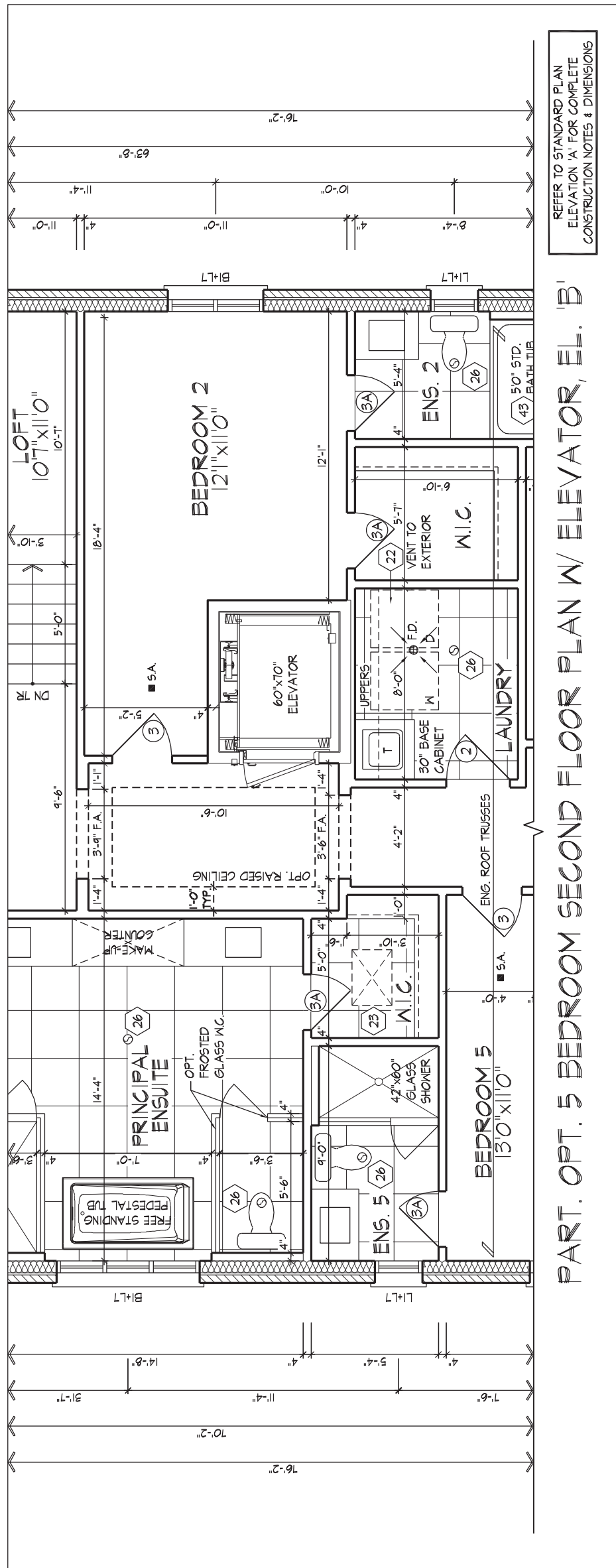
HUNT DESIGN ASSOCIATES INC.
www.huntdesign.ca

PARTIAL SECOND FLOOR PLANS W/O. LOFT, EL. 'B'
GOLDPARK HOMES - 221081
PINE VALLEY PH. 2, VAUGHAN, ON.
REV. 2022.08.05
Down By: WT
Checked By: AW
Scale: 3/16"=1'-0"
File Number: 221081WS5013.dwg
Page Number: 9 of 27

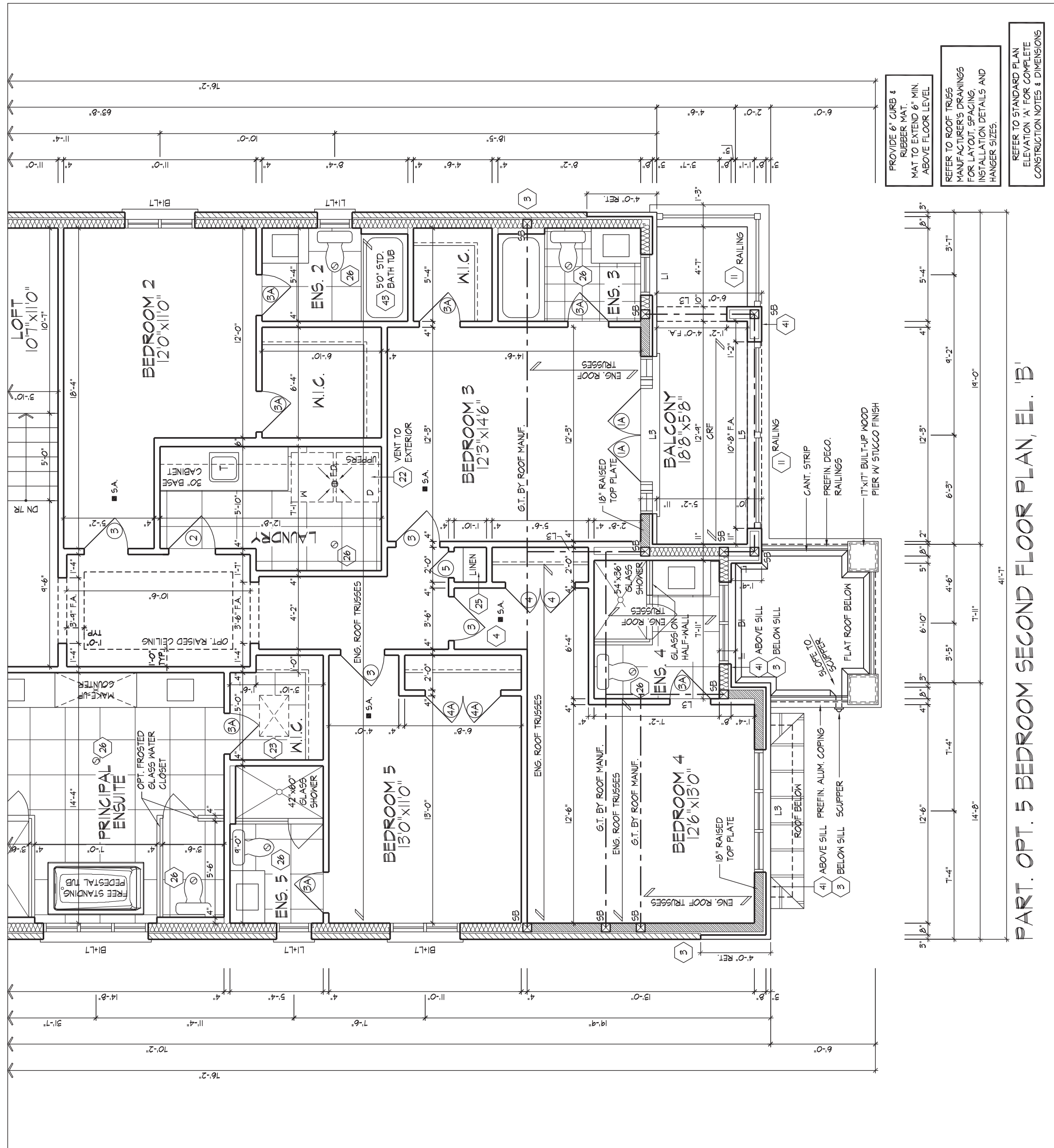


100 COMMERCE VALLEY DR. W.
THIRD FLOOR, SUITE 300
TEL: 1-866-842-1111 FAX: 1-866-842-0055 WWW.HUNTDGROUP.CA

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JOIST, AND FLOOR LVL BEAM DESIGN.



PART. OPT. 5 BEDROOM SECOND FLOOR PLAN W/ ELEVATOR, EL. 'B'



PART. OPT. 5 BEDROOM SECOND FLOOR PLAN, EL. 'B'

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: AUG 08, 2022
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QUALIFICATION INFORMATION
Alton Whiting 23177

SIGNATURE [Signature] BCIN
HUNT DESIGN ASSOCIATES INC. 19995

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PART. OPT. 5-BDRM. SECOND FLOOR PLANS, EL. 'B'
GOLDPARK HOMES - 221081
PINE VALLEY PH. 2, VAUGHAN, ON.
REV.2022.08.05

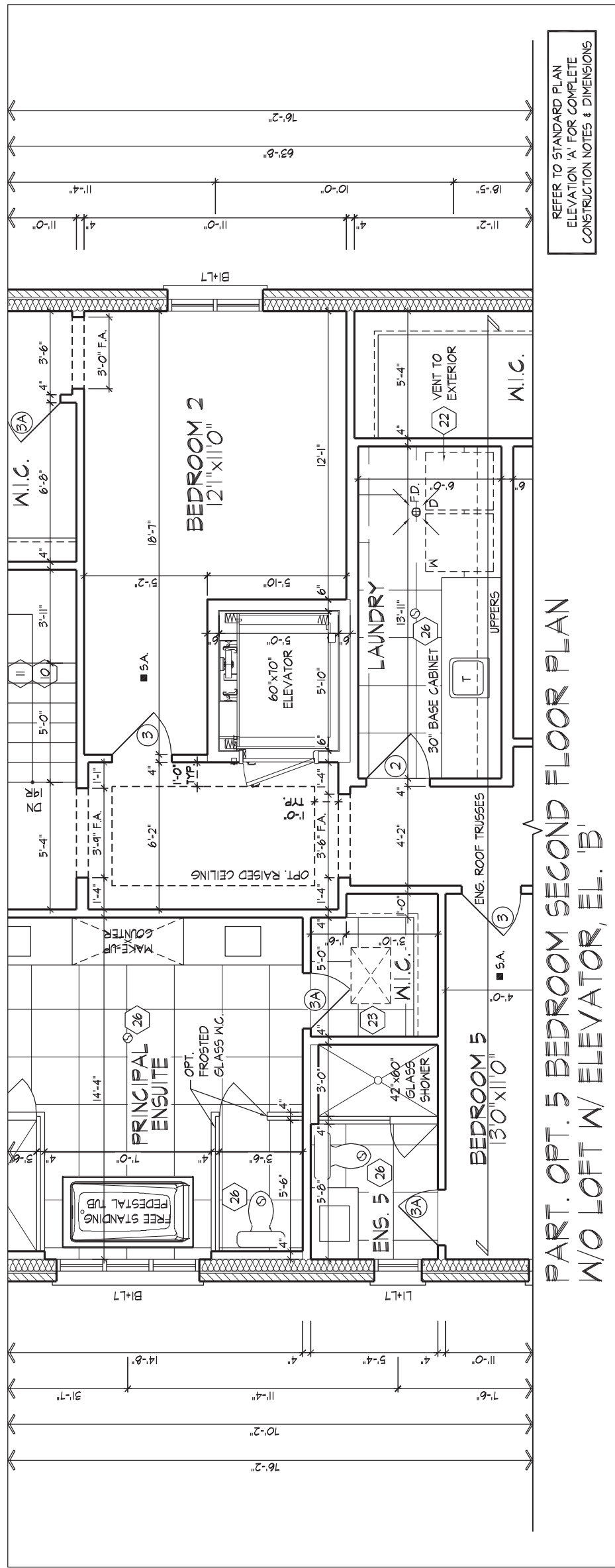
Down By: WT Scale: 3/16"=1'-0" File Number: 221081WS5013.dwg Page Number: 10 of 27
Checked By: AW
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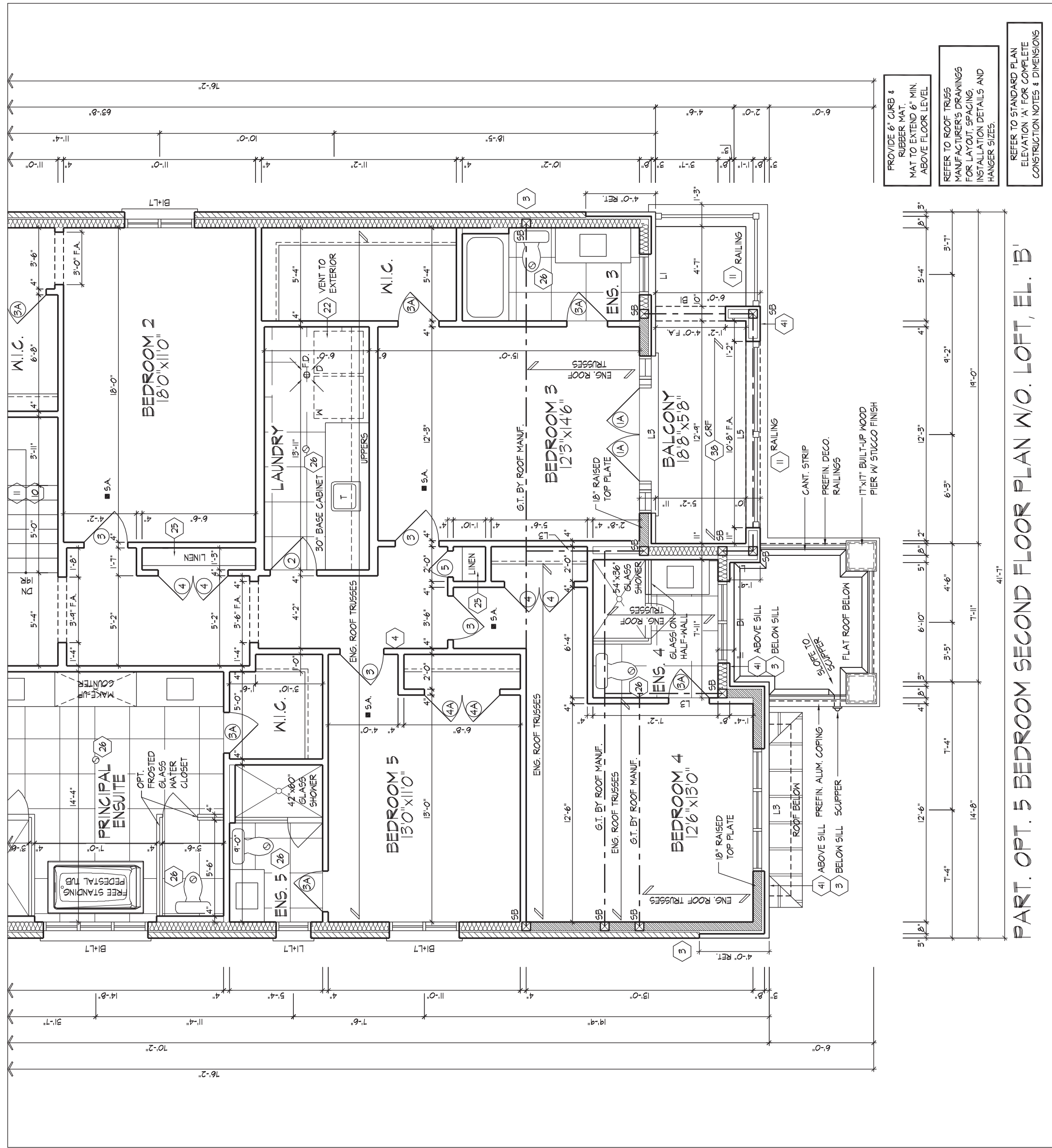


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PART. OPT. 5 BEDROOM SECOND FLOOR PLAN
W/O LOFT W/ ELEVATOR, EL. 'B'



PART. OPT. 5 BEDROOM SECOND FLOOR PLAN W/O. LOFT, EL. 'B'

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS
THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING
CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION
Albin Whiting

REGISTRATION INFORMATION
HUNT DESIGN ASSOCIATES INC.

19995

23177

BCIN

19995

19995

HUNT
DESIGN ASSOCIATES INC.
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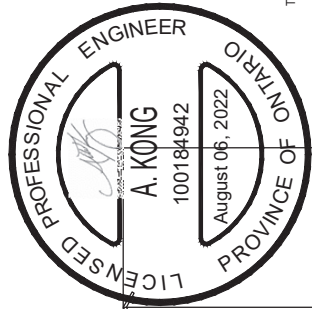
PART. OPT. 5-BDRM. SECOND FLOOR PLANS W/O. LOFT, EL. 'B'
GOLDPARK HOMES - 221081
PINE VALLEY PH. 2, VAUGHAN, ON.
REV.2022.08.05

Down By: WT
Checked By: AW
Scale: 3/16"=1'-0"
File Number: 221081WS5013.dwg
Page Number: 11 of 27

It is the builder's complete responsibility to
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and all applicable regulations and requirements
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Architect is not responsible in any way for
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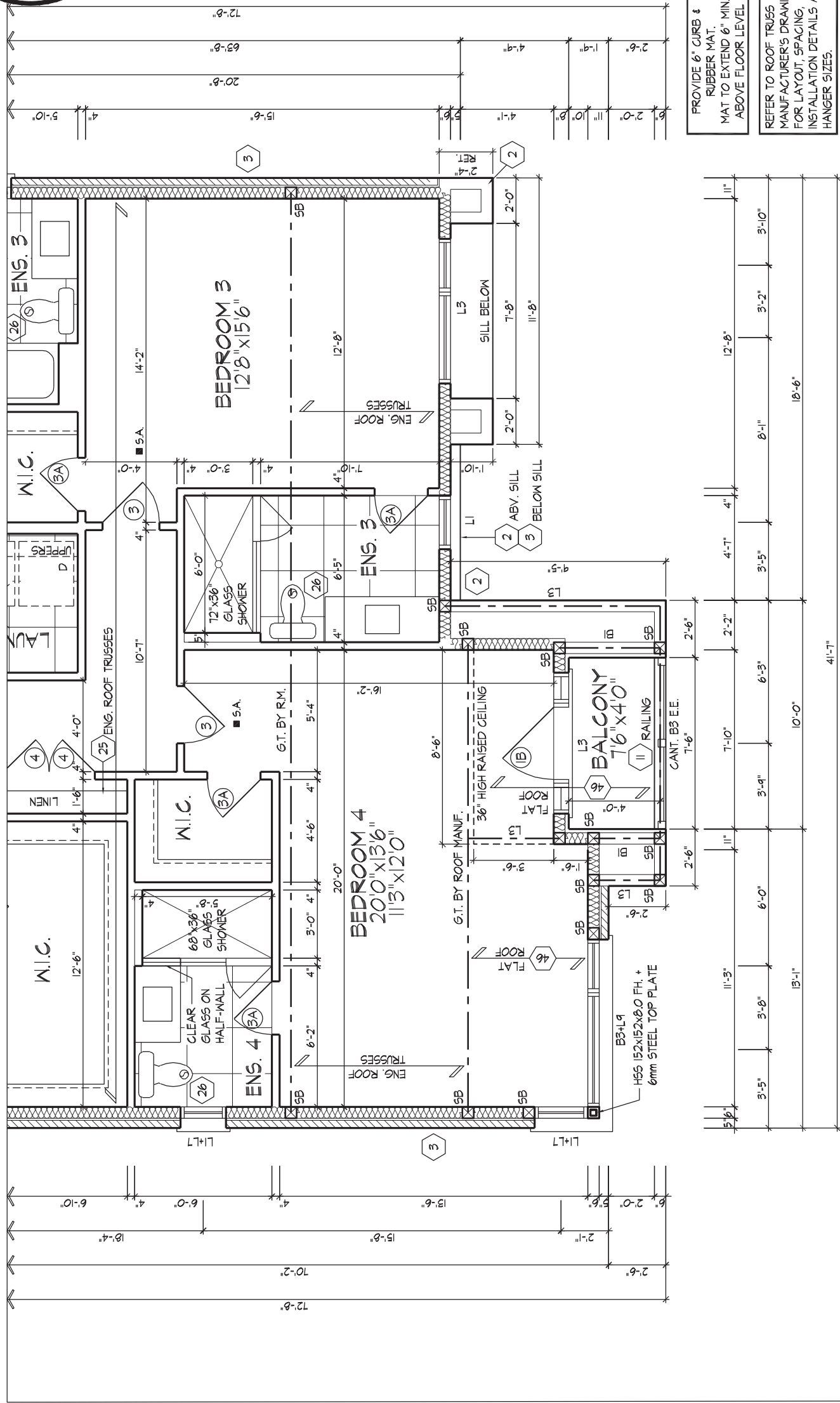
This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the City of
VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: AUG 08, 2022
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professional responsibility.

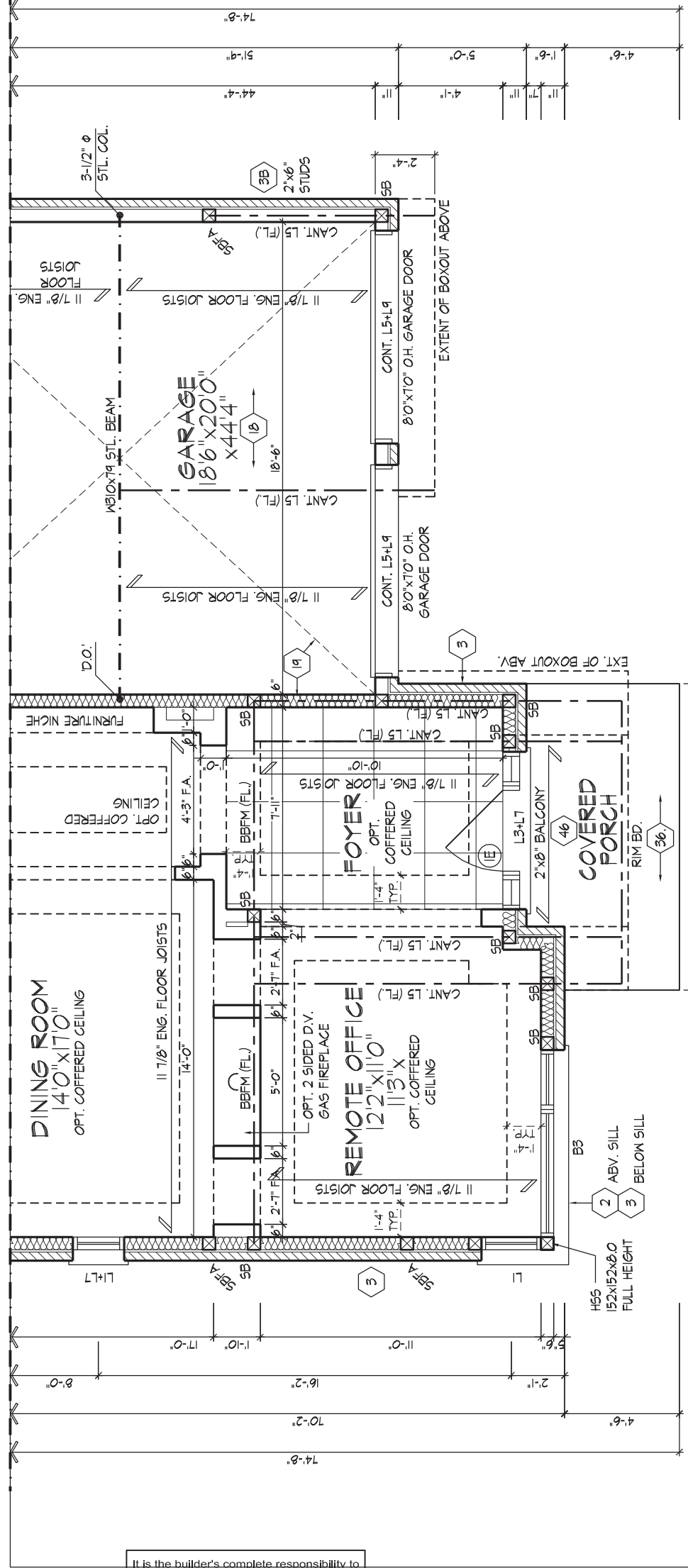


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THORNHILL, ONTARIO L4M 1B1
TEL: 905.882.4211 FAX: 905.882.4055 WWW.HUNTDGROUP.CA

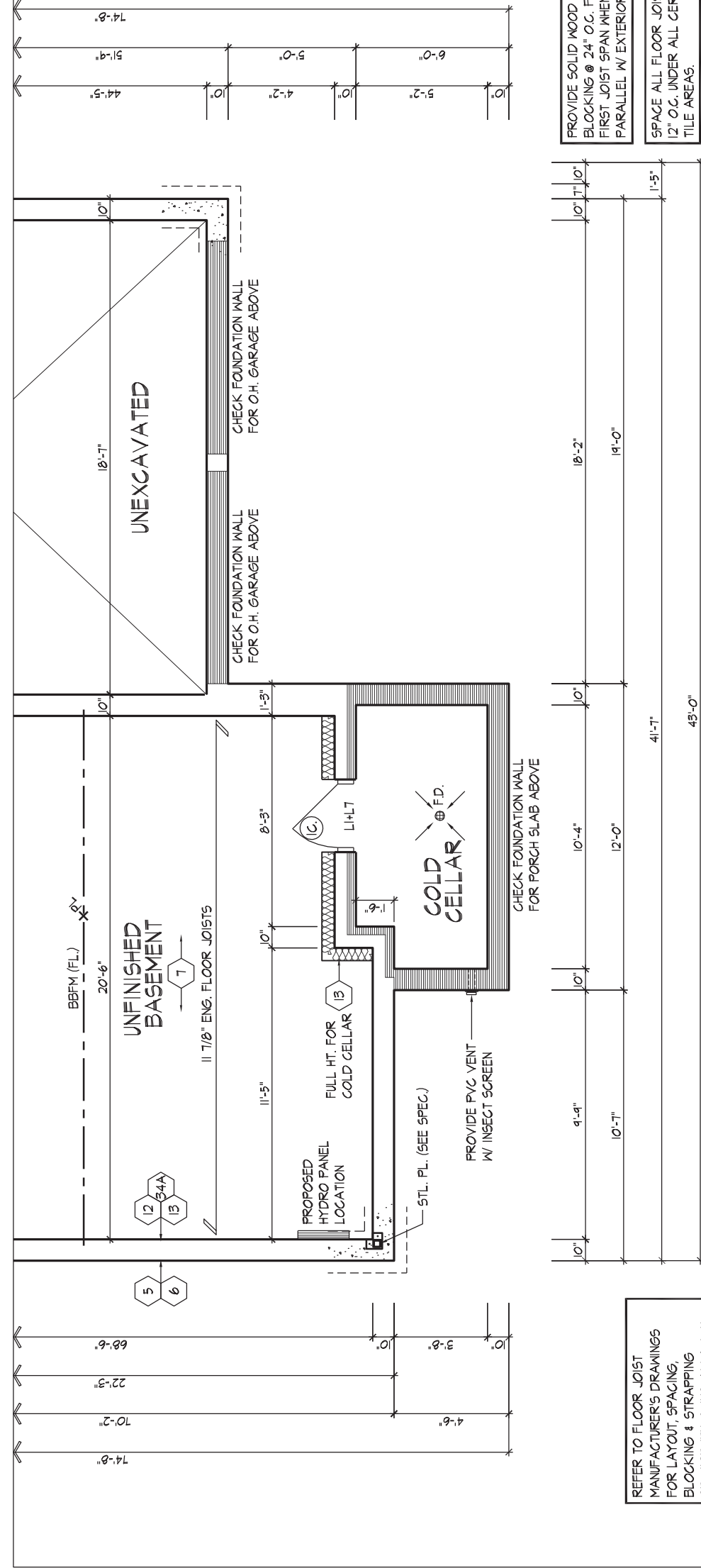
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PARTIAL SECOND FLOOR PLAN, EL. 'C'



PARTIAL GROUND FLOOR PLAN, EL. 'C'



PARTIAL BASEMENT PLAN, EL. 'C'

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AND APPROVAL
APPROVED BY: [Signature]
DATE: AUG 08, 2022
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Albin Whiting
SIGNATURE: [Signature] BCIN: 23177
NAME: ALBIN WHITING
REGISTRATION INFORMATION: 19895
HUNT DESIGN ASSOCIATES INC.

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GOLDPARK HOMES - 221081
PINE VALLEY PH. 2, VAUGHAN, ON.
Down By: WT Scale: 3/16"=1'-0"
Checked By: AW
8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

PARTIAL FLOOR PLANS, EL. 'C'
"THE RIVERVIEW" - 5013
REV.2022.08.05
221081WS5013.dwg
12 of 27

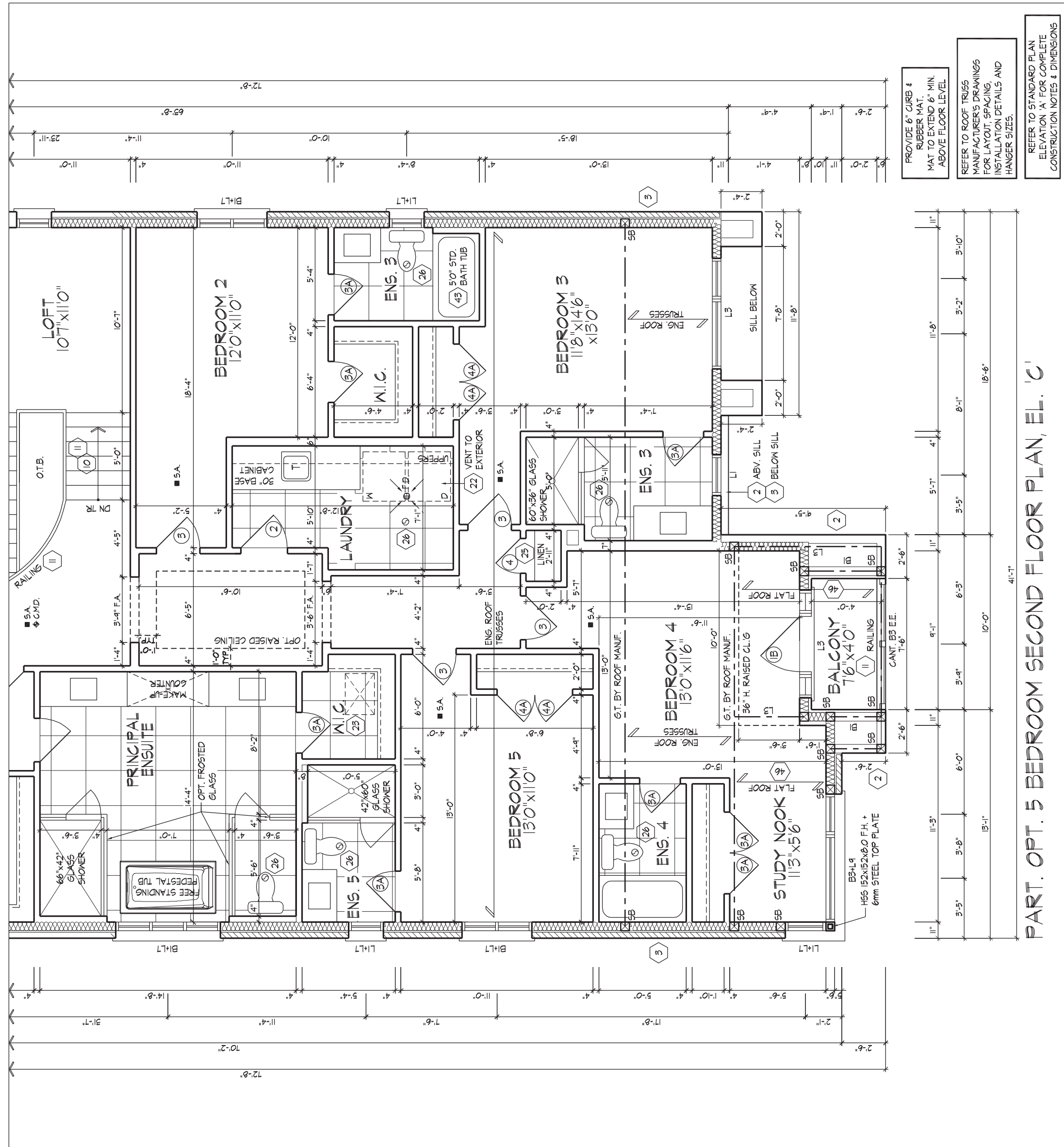
STRIP FOOTING ARE DESIGNED
BASED ON ASSUMPTION THAT
SOIL W/ 125KPa (6.5) BEARING
CAPACITY.

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THIRD FLOOR, SUITE 300
TEL: 1-866-882-4211 FAX: 1-866-882-4055 WWW.HUNTDGROUP.CA

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PART. OPT. 5 BEDROOM SECOND FLOOR PLAN, EL. 'C'

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QUALIFICATION INFORMATION
NAME: [Signature]
REGISTRATION INFORMATION
HUNT DESIGN ASSOCIATES INC.
19695

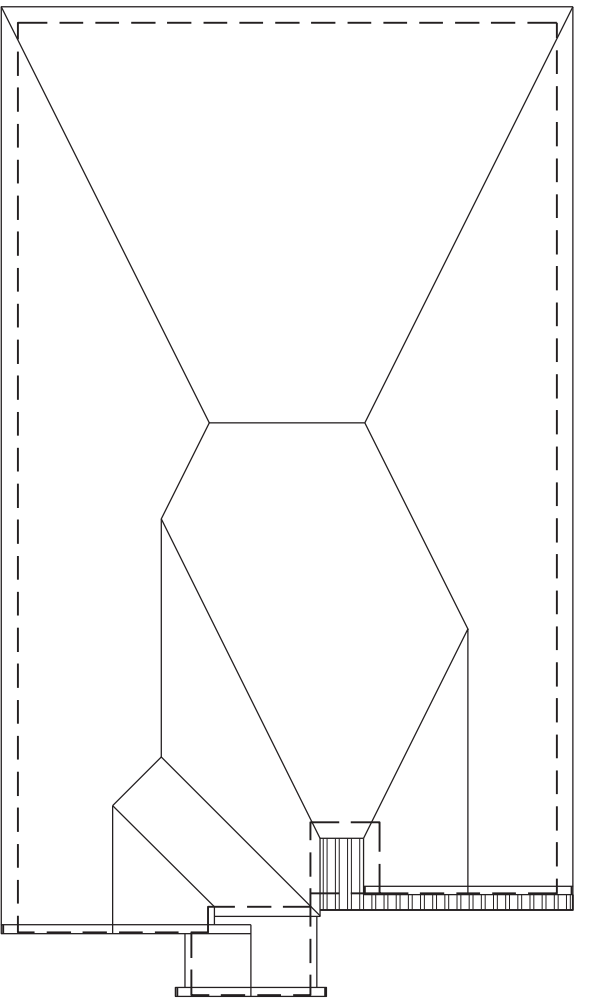
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File Number: 221081WS5013.dwg
Page Number: 13 of 27

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T 905.737.5133 F 905.737.7326
www.huntdesign.ca

PART. OPT. 5 BEDROOM SECOND FLOOR PLAN, EL. 'C'
GOLDPARK HOMES - 221081
PINE VALLEY PH. 2, VAUGHAN, ON.
REV.2022.08.05



ROOF PLAN, EL. 'A'
NTS



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ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY:
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DESIGN ASSOCIATES INC.
HUNT DESIGN ASSOCIATES INC.
19995

HUNT
DESIGN ASSOCIATES INC.
www.huntdesign.ca

GOLDPARK HOMES - 221081
PINE VALLEY PH. 2, VAUGHAN, ON.

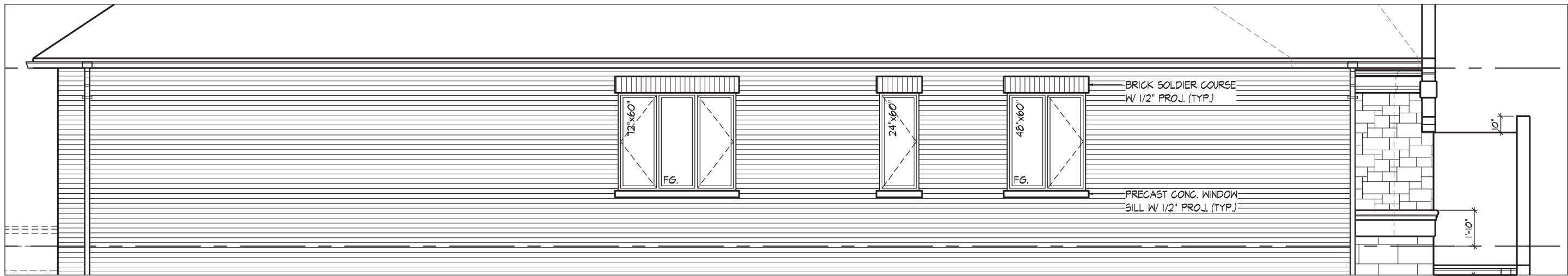
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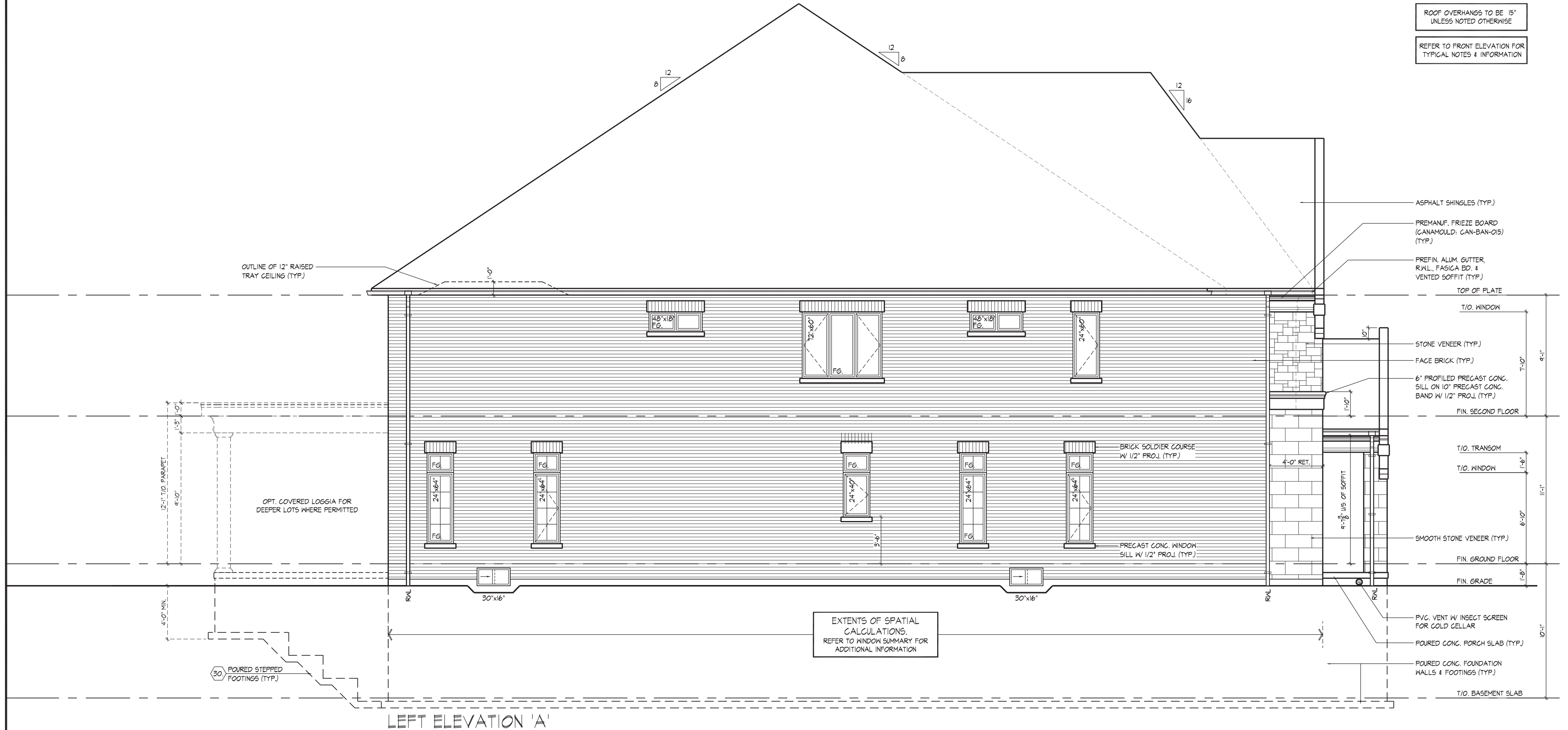
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WINDOW SUMMARY				WINDOW SUMMARY			
PER O.B.C. TABLE 9.10.15.4				PER O.B.C. TABLE 9.10.15.4			
LEFT ELEVATION 'A'				LEFT ELEVATION 'A' - OPT.			
QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)
1	72"	60"	28.44	1	72"	60"	28.44
2	24"	60"	7.78	1	24"	60"	7.78
2	48"	16"	8.56	1	48"	60"	17.11
4	24"	64"	33.33	4	24"	64"	33.33
1	24"	40"	5.00	1	24"	40"	5.00
5	24"	16"	9.72	5	24"	16"	9.72
2	30"	16"	4.33	2	30"	16"	4.33
0	0"	0"	0.00	0	0"	0"	0.00
0	0"	0"	0.00	0	0"	0"	0.00
0	0"	0"	0.00	0	0"	0"	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
SPATIAL CALCULATION				SPATIAL CALCULATION			
EXPOSING BUILDING	1531.97	S.F.		EXPOSING BUILDING	1531.97	S.F.	
FACE AREA	142.32	S.M.		FACE AREA	142.32	S.M.	
PORTION WALL AREA	1531.97	S.F.		PORTION WALL AREA	1531.97	S.F.	
	142.32	S.M.			142.32	S.M.	
LIMITING DISTANCE	1.20 m			LIMITING DISTANCE	1.20 m		
MAX. % OPENINGS	7.00	%		MAX. % OPENINGS	7.00	%	
OPENINGS ALLOWED	107.24	S.F.		OPENINGS ALLOWED	107.24	S.F.	
OPENINGS PROVIDED	95.17	S.F.		OPENINGS PROVIDED	103.72	S.F.	
ADDITIONAL NOTES				ADDITIONAL NOTES			
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER				GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER			



OPT. 5 BEDROOM LEFT ELEVATION 'A'



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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: *[Signature]*
DATE: AUG 08, 2022
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QUALIFICATION INFORMATION
Albin Whiting
SIGNATURE: *[Signature]* BCIN: 23177
HUNT DESIGN ASSOCIATES INC. 19895

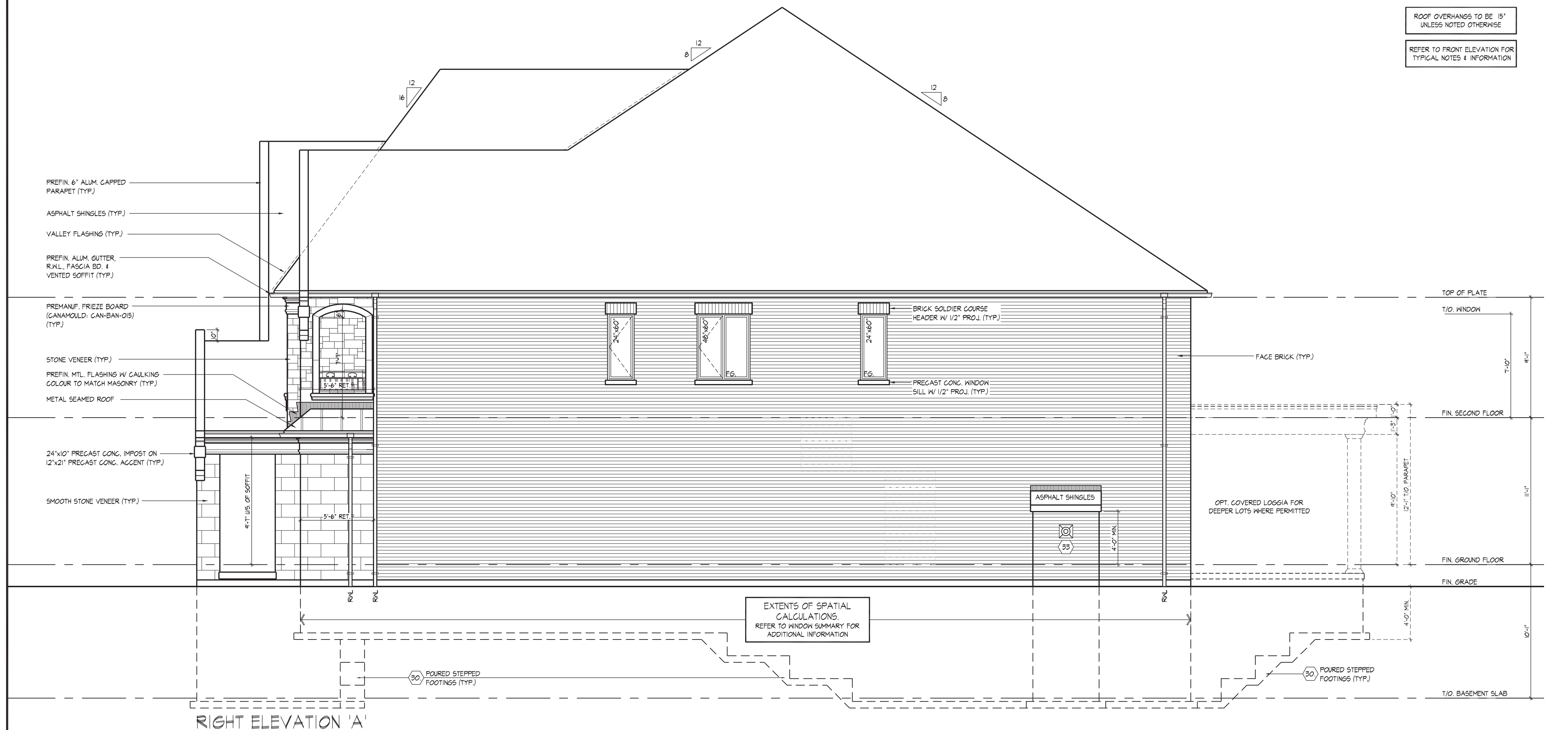
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Drawn By: WT
Checked By: AW
Scale: 3/16"=1'-0"
8966 Woodbine Ave, Markham, ON L3R 0J7
T 905.737.5133 F 905.737.7326

LEFT ELEVATION 'A'
THE RIVERVIEW - 5013
REV.2022.08.05
File Number: 221081WS5013.dwg
Page Number: 15 of 27

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WINDOW SUMMARY			
PER O.S.C. TABLE 8.10.15.4			
RIGHT ELEVATION 'A'			
QUANTITY	UNIT	WINDOW DOOR FRAME SIZE (M)	
2	2M ²	2400	15.56
1	48"	60"	17.11
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00
SPATIAL CALCULATION			
EXPOSING BUILDING FACE AREA	1466.47	S.F.	
	136.24	S.M.	
PORTION WALL AREA	1466.47	S.F.	
	136.24	S.M.	
LIMITING DISTANCE	1.20	m	
MAX % OPENINGS	7.00	%	
OPENINGS ALLOWED	102.65	S.F.	
OPENINGS PROVIDED	32.67	S.F.	
ADDITIONAL NOTES			
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2x DOOR ENTIRE PERIMETER			



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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: 
DATE: AUG 08, 2022

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THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.		
QUALIFICATION INFORMATION		
Allan Whiting		2317
NAME	SIGNATURE	BC
REGISTRATION INFORMATION		
HUNT DESIGN ASSOCIATES INC.		
1965		

HUNT 
DESIGN ASSOCIATES INC.
www.huntdesign.ca

GOLDPARK HOMES - 221081
PINE VALLEY PH. 2, VAUGHAN, ON.

Drawn By	Checked By	Scale	File Number
WT	AW	3/16"=1'-0"	221081WS50
8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326			

RIGHT ELEVATION 'A'
'THE RIVERVIEW' - 5013
REV.2022.08.05



ROOF OVERHANGS TO BE 15"
UNLESS NOTED OTHERWISE

WINDOW SUMMARY			
PER O.B.C. TABLE 9.10.15.4			
REAR ELEVATION 'A'			
QTY.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)
9	48"	64"	165.00
2	48"	60"	34.22
1	48"	18"	4.26
4	24"	64"	33.33
1	24"	40"	5.00
5	24"	18"	9.72
2	30"	18"	4.33
2	60"	18"	10.89
1	144"	82"	75.53
0	0"	0"	0.00
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00
SPATIAL CALCULATION			
EXPOSING BUILDING	907.50	S.F.	
FACE AREA	84.35	S.M.	
PORTION WALL AREA	907.50	S.F.	
UNITING DISTANCE	84.35	S.M.	
MAX. % OPENINGS	50.50	%	7.50 m
OPENINGS ALLOWED	458.49	S.F.	
OPENINGS PROVIDED	342.61	S.F.	
ADDITIONAL NOTES			
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER			

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: 
DATE: AUG 08, 2022
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QUALIFICATION INFORMATION
NAME:  23177
REGISTRATION INFORMATION
HUNT DESIGN ASSOCIATES INC. 19895

HUNT
DESIGN ASSOCIATES INC.
www.hunt-design.ca

GOLDPARK HOMES - 221081
PINE VALLEY PH. 2, VAUGHAN, ON.

Drawn By: WT
Checked By: AW
Scale: 3/16"=1'-0"

File Number: 221081WS5013.dwg

Page Number: 17 of 27

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FRONT ELEVATION 'B'

Annotations:

- PREFIN. 10' PROFILED ALUM. GLAD WOOD TRIM (TYP.)
- 2"x4" PREFIN. ALUM. GLAD WOOD TRIM (TYP.)
- RAISED SOFFIT
- PROFILLED STUCCO WINDOW SURROUND (TYP.)
- PREFIN. MTL FLASHING W/ CAULKING COLOUR TO MATCH MASONRY (TYP.)
- CONT. PROFILED 6" PRECAST CONC. SILL W/ 1/2" PROJ. (TYP.)
- METAL SEAMED ROOF (TYP.)
- SMOOTH STONE VENEER (TYP.)
- STUCCO FINISH W/ RAISED STUCCO TRIM (TYP.)
- PROFILED 6" PRECAST CONC. WINDOW SILL W/ 1/2" PROJ. (TYP.)
- POURED CONG. FOUNDATION WALLS & FOOTINGS (TYP.)
- ROOF OVERHANGS TO BE 15" UNLESS NOTED OTHERWISE
- PREFIN. METAL DECORATIVE FINIAL (TYP.)
- ASPHALT SHINGLES (TYP.)
- VALLEY FLASHING (TYP.)
- OUTLINE OF ROOF BEYOND
- (1A) PROVIDE ADD'L ICE & WATER SHIELD (TYP.)
- PREFIN. ALUM. GUTTER, R.W.L., FASCIA BD. & VENTED SOFFIT (TYP.)
- TOP OF PLATE T/O TRANSOM
- T/O WINDOW
- PREMANUF. FRIEZE BOARD (CANAMOULD CAN-BAN-015) (TYP.)
- SMOOTH STUCCO FINISH W/ RAISED STUCCO TRIM (TYP.)
- (II) DECORATIVE ALUM. RAILING (TYP.)
- FIN. SECOND FLOOR
- SCUPPER (TYP.)
- PREFIN. 10' FASCIA BOARD (TYP.) T/O TRANSOM
- T/O WINDOW
- PRECAST 4"x10" CONC. HEADER W/ 1/2" PROJ. (TYP.)
- COACH LAMP (TYP.)
- ADDRESS PLAQUE
- PRECAST CONC. PANEL COL. W/ STL. POST TIED @ TOP & BOTTOM (TYP.)
- FIN. GROUND FLOOR
- FIN. GRADE
- U/S. OF FOOTING @ GARAGE
- T/O BASEMENT SLAB
- (21) STEPS MAY VARY
- POURED IN PLACE CONCRETE STEPS WITH MASONRY VENEER ON SIDES IF REQUIRED BY GRADE
- (30) POURED STEPPED FOOTINGS (TYP.)

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

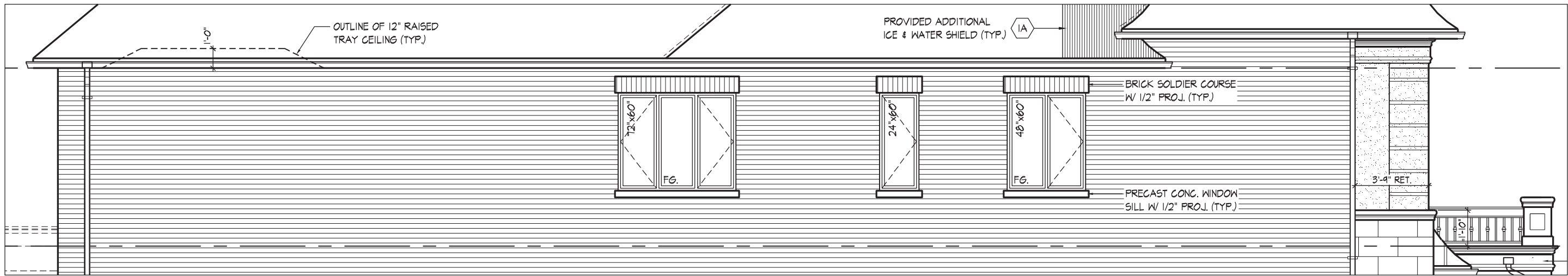
APPROVED BY: 

DATE: AUG 08, 2022

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Design Guidelines only and bears no further
professional responsibility.

FRONT ELEVATION 'B'
'THE RIVERVIEW' - 5013
REV.2022.08.05

WINDOW SUMMARY				WINDOW SUMMARY			
PER O.B.C. TABLE 9.10.15.4				PER O.B.C. TABLE 9.10.15.4			
LEFT ELEVATION 'B'				LEFT ELEVATION 'B' - OPT.			
QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)
1	72"	60"	28.44	1	72"	60"	28.44
2	24"	60"	7.78	1	24"	60"	7.78
4	48"	16"	8.56	1	48"	60"	17.11
4	24"	64"	33.33	4	24"	64"	33.33
1	24"	40"	5.00	1	24"	40"	5.00
5	24"	16"	9.72	5	24"	16"	9.72
2	30"	16"	4.33	2	30"	16"	4.33
0	0"	0"	0.00	0	0"	0"	0.00
0	0"	0"	0.00	0	0"	0"	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
SPATIAL CALCULATION				SPATIAL CALCULATION			
EXPOSING BUILDING	1552.13	S.F.		EXPOSING BUILDING	1552.13	S.F.	
FACE AREA	144.20	S.M.		FACE AREA	144.20	S.M.	
PORTION WALL AREA	1552.13	S.F.		PORTION WALL AREA	1552.13	S.F.	
PORTION WALL AREA	144.20	S.M.		PORTION WALL AREA	144.20	S.M.	
LIMITING DISTANCE	1.20 m			LIMITING DISTANCE	1.20 m		
MAX. % OPENINGS	7.00	%		MAX. % OPENINGS	7.00	%	
OPENINGS ALLOWED	108.65	S.F.		OPENINGS ALLOWED	108.65	S.F.	
OPENINGS PROVIDED	95.17	S.F.		OPENINGS PROVIDED	103.72	S.F.	
ADDITIONAL NOTES				ADDITIONAL NOTES			
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER				GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER			



OPT. 5 BEDROOM LEFT ELEVATION 'B'

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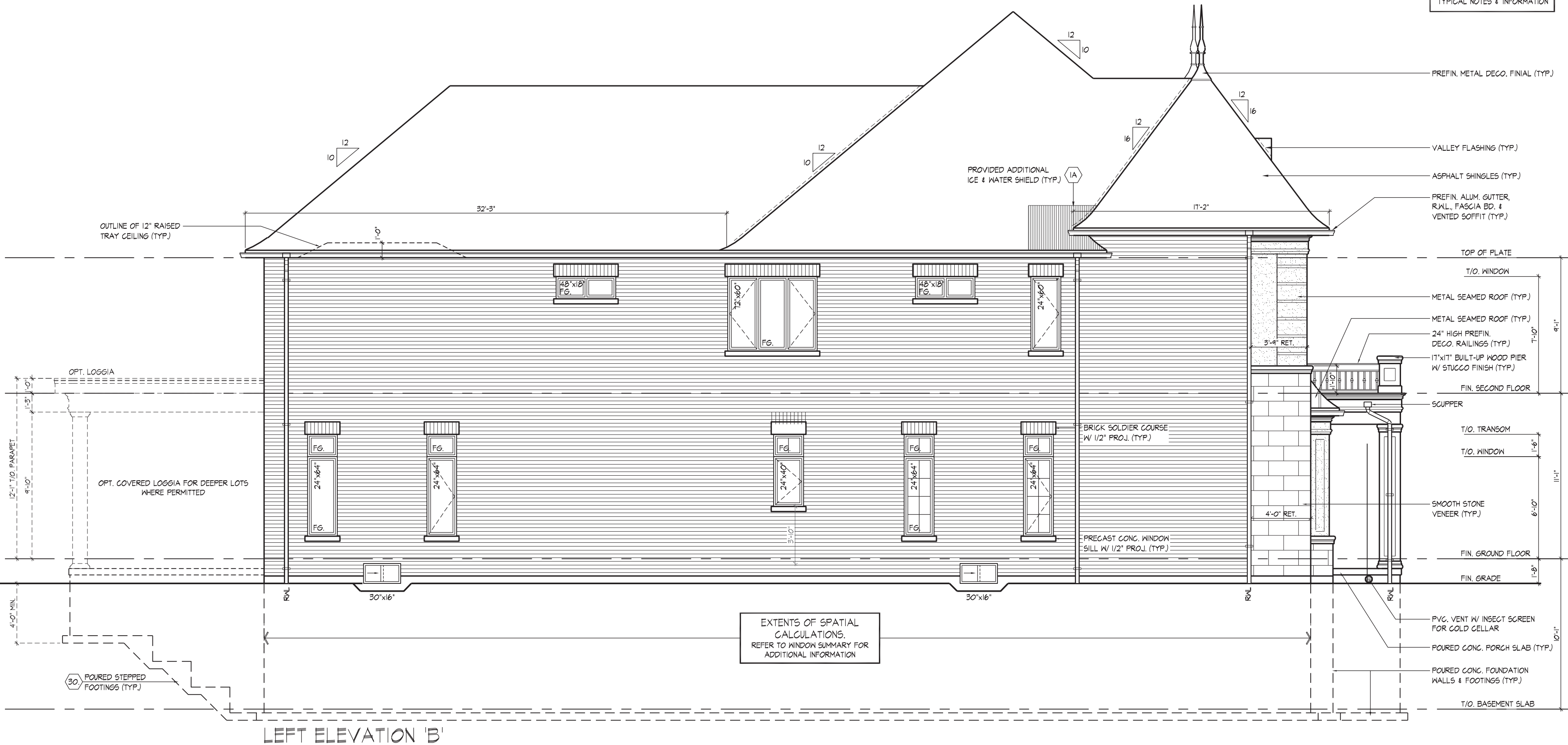
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: [Signature]
DATE: AUG 08, 2022
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

ROOF OVERHANGS TO BE 15"
UNLESS NOTED OTHERWISE

REFER TO FRONT ELEVATION FOR
TYPICAL NOTES & INFORMATION



LEFT ELEVATION 'B'

EXTENTS OF SPATIAL
CALCULATIONS.
REFER TO WINDOW SUMMARY FOR
ADDITIONAL INFORMATION

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS
THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING
CODE TO BE A DESIGNER.
QUALIFICATION INFORMATION
Albin Whiting
SIGNATURE
BCIN
23177
HUNT DESIGN ASSOCIATES INC.
19995

HUNT
DESIGN ASSOCIATES INC.
www.hunt-design.ca

GOLDPARK HOMES - 221081
PINE VALLEY PH. 2, VAUGHAN, ON.
Down By: WT
Scale: 3/16"=1'-0"
Checked By: AW
8966 Woodbine Ave, Markham, ON L3R 0J7
T 905.737.5133 F 905.737.7326

LEFT ELEVATION 'B'
THE RIVERVIEW - 5013
REV.2022.08.05
File Number: 221081WS5013.dwg
Page Number: 19 of 27

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WTANG | FRI AUG 5 02:01:51 PM | K:\PROJECTS\2021\221081 GOLDPARK HOMES\5013.DWG

WINDOW SUMMARY				
PER O.S.C. TABLE 9.10.15.4				
REAR ELEVATION 'B'				
QUANT.	UNIT	WINDOW DOOR FRAME SIZE (S.F.)		
9	48" 64"	185.00		
2	48" 60"	34.22		
1	48" 18"	4.28		
1	48" 48"	33.33		
1	24" 40"	9.72		
2	24" 18"	4.33		
4	60" 18"	9.72		
2	144" 18"	10.89		
1	60" 62"	75.83		
0	0" 0"	0.00		
0	ARCH	0.00	0.00	
0	ARCH	0.00	0.00	
0	ARCH	0.00	0.00	
0	ARCH	0.00	0.00	
SPATIAL CALCULATION				
EXPOSING BUILDING		90.970	S.F.	
FACE AREA		94.35	S.F.	
PORTION WALL AREA		84.50	S.F.	
LIMITING DISTANCE		7.50	m	
MAX. % OPENINGS		80.35	%	
MAX. % OPENINGS QUOTED		458.49	%	
OPENINGS PROVIDED		324.61	S.F.	
ADDITIONAL NOTES				
GLAZED AREA = 240.00 S.F. IN FRAME SIZE				
MINUS 2 X WINDOW PER PERIMETER				

- ASPHALT SHINGLES (TYP.)
- OUTLINE OF 12" RAISED TRAY CEILING
- PREFIN. ALUM. GUTTER, R.W.L., FASCIA BD. & VENTED SOFFIT (TYP.)

TOP OF PLATE

T/O. WINDOW

— BRICK SOLDIER COURSE
HEADER W/ 1/2" PROJ. (TYP.)

—FACE BRICK (TYP)

— PRECAST 4" CONC. WINDOW
SILL W/ 1/2" PROJ. (TYP.)

FIN, SECOND FLOOR

T/O. TRANSOM

562 2007

FIN. GROUND FLOOR

FIN GRADE

—POURED 6" CONC.
DOOR SILL

U/S. OF FOOTING

30. POURED CONC.
STEPPED FOOTINGS

POURED CONC. FOUNDATION
WALLS & FOOTINGS (TYP.)

REAR ELEVATION 'B'

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: 

DATE: AUG 08, 2022

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REAR ELEVATION 'THE RIVERVIEW' - 501
REV.2022.08.0

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

CODE TO BE A DESIGNER
 QUALIFICATION INFORMATION
 Allen Williams

NAME	SIGNATURE	BO
------	-----------	----

HUNT DESIGN ASSOCIATES INC.	1965
-----------------------------	------

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GOLDPARK HOMES - 221081
PINE VALLEY PH. 2, VAUGHAN, ON.

Drawn By: WT Checked By: AW Scale: 3/16" = 1'-0"

8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.73

...without the written permission (H.D.A. assumes no responsibility or liability for this prop

File Number 221081WS5013.dwg Page Number 21 of 21

3 F 905.737.7326

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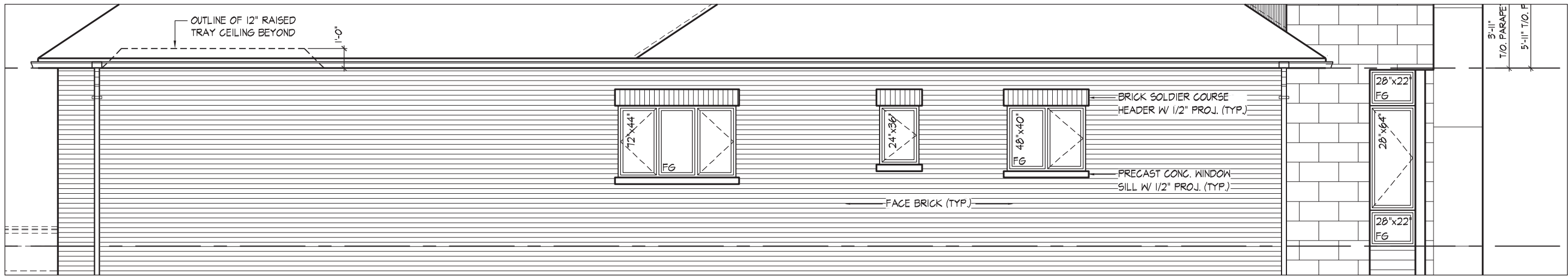
Number Page Number
 VS5013.dwg 22 of 27

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FRONT ELEVATION 'C'
THE RIVERVIEW' - 5013
REV.2022.08.05

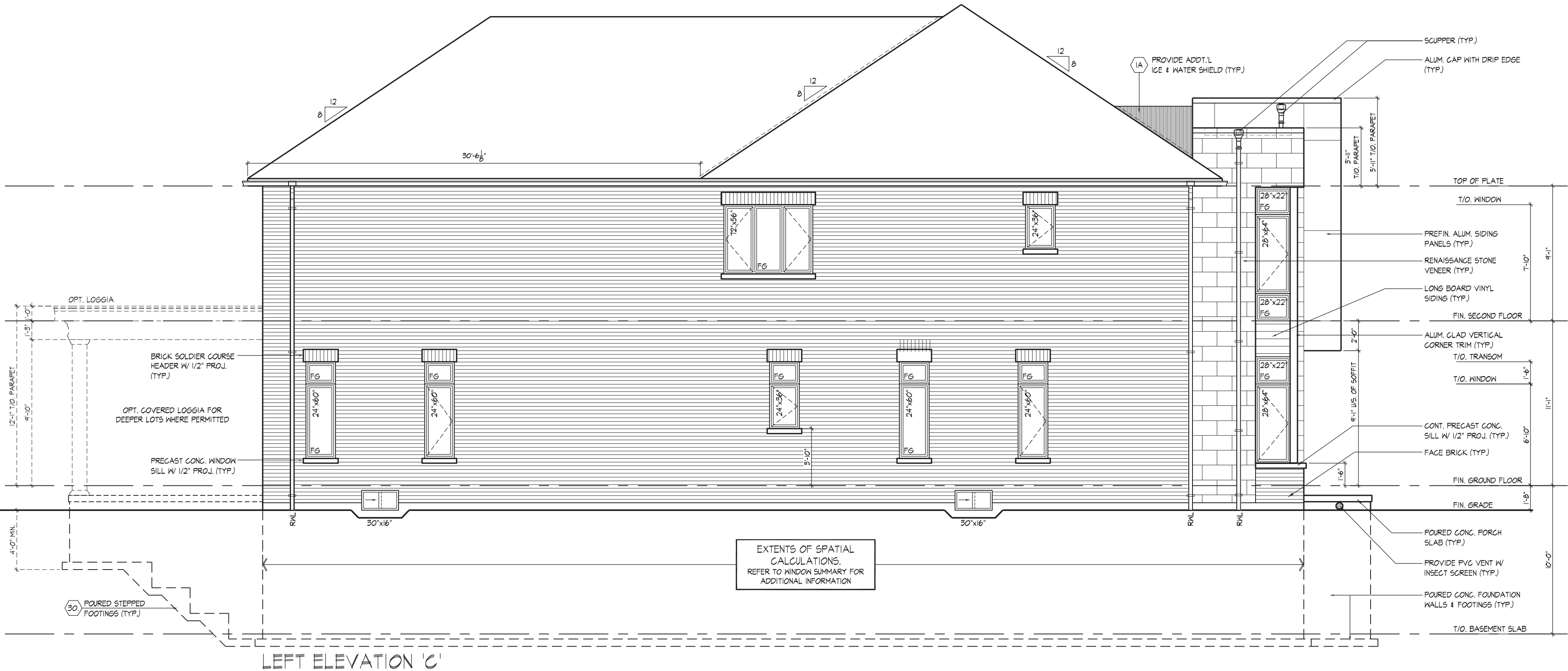
WINDOW SUMMARY				WINDOW SUMMARY			
PER O.B.C. TABLE 9.10.15.4				PER O.B.C. TABLE 9.10.15.4			
LEFT ELEVATION 'C'				LEFT ELEVATION 'C' - OPT.			
QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)
1	72"	56"	24.56	1	72"	44"	16.89
2	24"	36"	8.64	1	24"	36"	4.44
2	28"	64"	20.00	1	48"	40"	11.00
3	28"	22"	9.00	4	24"	64"	33.33
4	24"	60"	31.11	1	24"	40"	5.00
5	24"	18"	9.72	5	24"	18"	9.72
2	30"	16"	4.33	2	30"	16"	4.33
0	0"	0"	0.00	0	0"	0"	0.00
0	0"	0"	0.00	0	0"	0"	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
SPATIAL CALCULATION				SPATIAL CALCULATION			
EXPOSING BUILDING	1555.10	S.F.		EXPOSING BUILDING	1555.10	S.F.	
FACE AREA	144.47	S.M.		FACE AREA	144.47	S.M.	
PORTION WALL AREA	1555.10	S.F.		PORTION WALL AREA	1555.10	S.F.	
PORTION WALL AREA	144.47	S.M.		PORTION WALL AREA	144.47	S.M.	
LIMITING DISTANCE	1.20 m			LIMITING DISTANCE	1.20 m		
MAX. % OPENINGS	7.00	%		MAX. % OPENINGS	7.00	%	
OPENINGS ALLOWED	108.96	S.F.		OPENINGS ALLOWED	108.96	S.F.	
OPENINGS PROVIDED	107.61	S.F.		OPENINGS PROVIDED	86.72	S.F.	
ADDITIONAL NOTES				ADDITIONAL NOTES			
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER				GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER			



OPT. 5 BEDROOM LEFT ELEVATION 'C'

ROOF OVERHANGS TO BE 12" UNLESS NOTED OTHERWISE

REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFORMATION



LEFT ELEVATION 'C'

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: *[Signature]*
DATE: AUG 08 2022

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THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION
Albin Whiting
SIGNATURE: *[Signature]* BCIN: 23177
HUNT DESIGN ASSOCIATES INC. 19695

HUNT
DESIGN ASSOCIATES INC.
www.hunt-design.ca

GOLDPARK HOMES - 221081
PINE VALLEY PH. 2, VAUGHAN, ON.

Drawn By: WT
Checked By: AW
Scale: 3/16"=1'-0"

LEFT ELEVATION 'C'
THE RIVERVIEW - 5013
REV.2022.08.05

File Number: 221081WS5013.dwg
Page Number: 23 of 27

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T/O. BASEMENT SLAB

appropriate BCIN number and original signature.)

ROOF OVERHANGS TO BE 15"
UNLESS NOTED OTHERWISE

WINDOW SUMMARY			
PER O.B.C. TABLE 8.10.15.4			
REAR ELEVATION 'C'			
QVAL	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)
9	48"	64"	165.00
2	48"	60"	34.22
1	48"	18"	4.26
4	24"	64"	33.33
1	24"	40"	5.00
5	24"	18"	9.72
2	30"	18"	4.33
2	60"	18"	10.89
1	144"	82"	75.83
0	0"	0"	0.00
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00
SPATIAL CALCULATION			
EXPOSING BUILDING	907.90	S.F.	
FACE AREA	84.35	S.M.	
PORTION WALL AREA	907.90	S.F.	
	84.35	S.M.	
LIMITING DISTANCE		7.50 m	
MAX. % OPENINGS	50.50	%	
OPENINGS ALLOWED	458.40	S.F.	
OPENINGS PROVIDED	342.61	S.F.	
ADDITIONAL NOTES			
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER			



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: 
DATE: AUG 08, 2022
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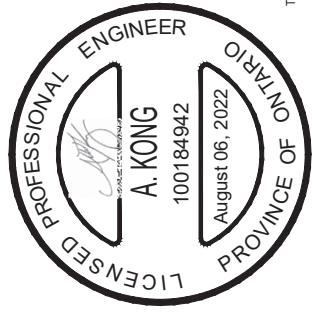
THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.
QUALIFICATION INFORMATION
NAME: ALAN WHITING
SIGNATURE: 
REGISTRATION INFORMATION
HUNT DESIGN ASSOCIATES INC. 19895

HUNT
DESIGN ASSOCIATES INC.
www.hunt-design.ca

GOLDPARK HOMES - 221081
PINE VALLEY PH. 2, VAUGHAN, ON.
Drawn By: WT
Checked By: AW
Scale: 3/16"=1'-0"
8966 Woodbine Ave, Markham, ON L3R 0J7
T 905.737.5133 F 905.737.7326

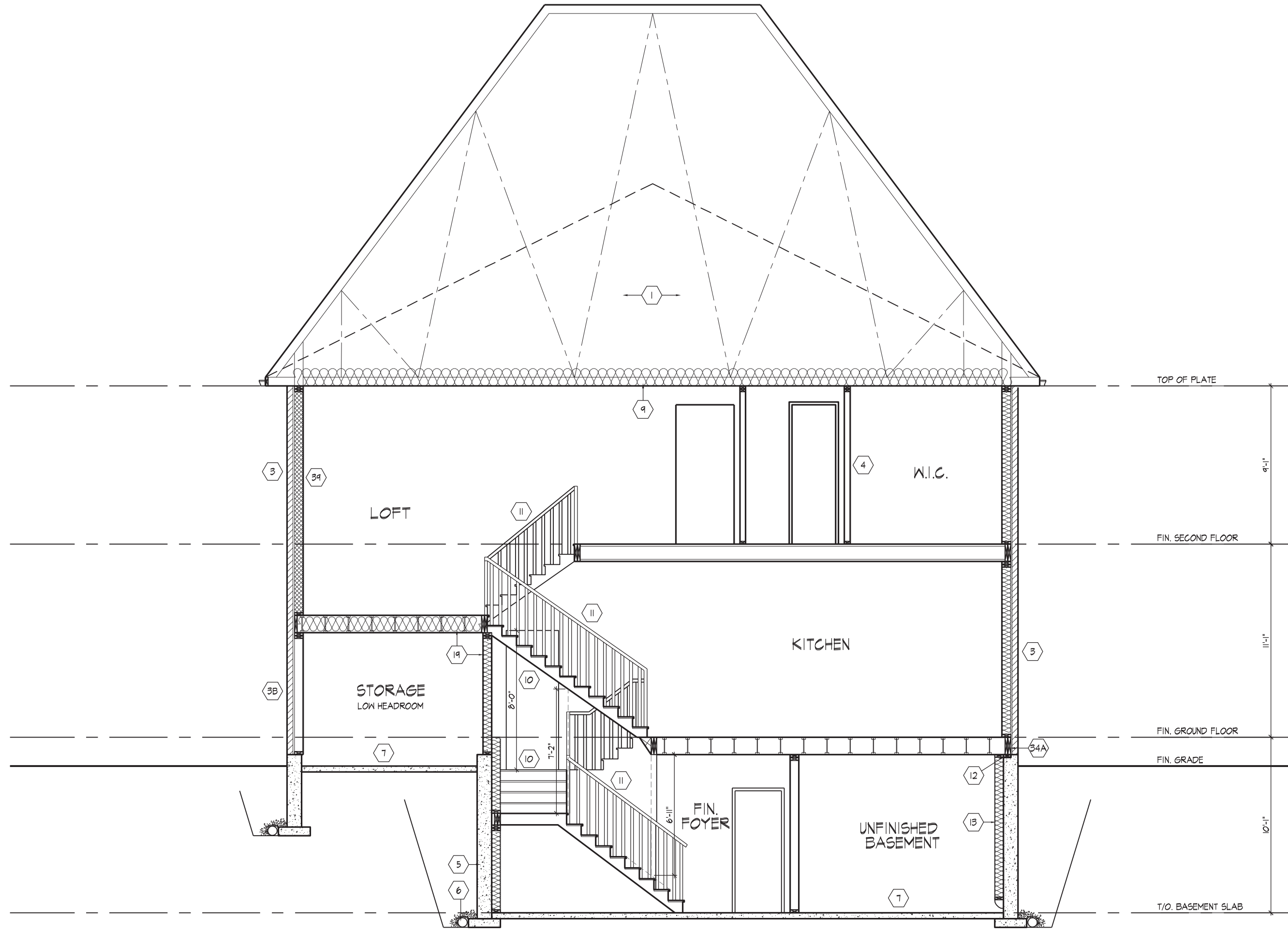
REAR ELEVATION 'C'
THE RIVERVIEW - 5013
REV.2022.08.05
File Number: 221081WS5013.dwg
Page Number: 25 of 27

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100 COMMERCE VALLEY DR. W.
THIRD FLOOR, SUITE 300
1400 SHEPPARD AVENUE EAST, UNIT 300
MARKHAM, ONTARIO L3R 9V7
TEL: 1-905-882-4211 FAX: 1-905-882-5055 WWW.HUNTDGP.COM

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JOIST, AND FLOOR LVL BEAM DESIGN.



THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS
THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING
CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION

Albin Whiting

SIGNATURE

REGISTRATION INFORMATION

HUNT DESIGN ASSOCIATES INC.

23177

BCIN

19995

19995

HUNT
DESIGN ASSOCIATES INC.

www.hunt-design.ca

GOLDPARK HOMES - 221081
PINE VALLEY PH. 2, VAUGHAN, ON.

Drawn By
WT

Checked By
AW

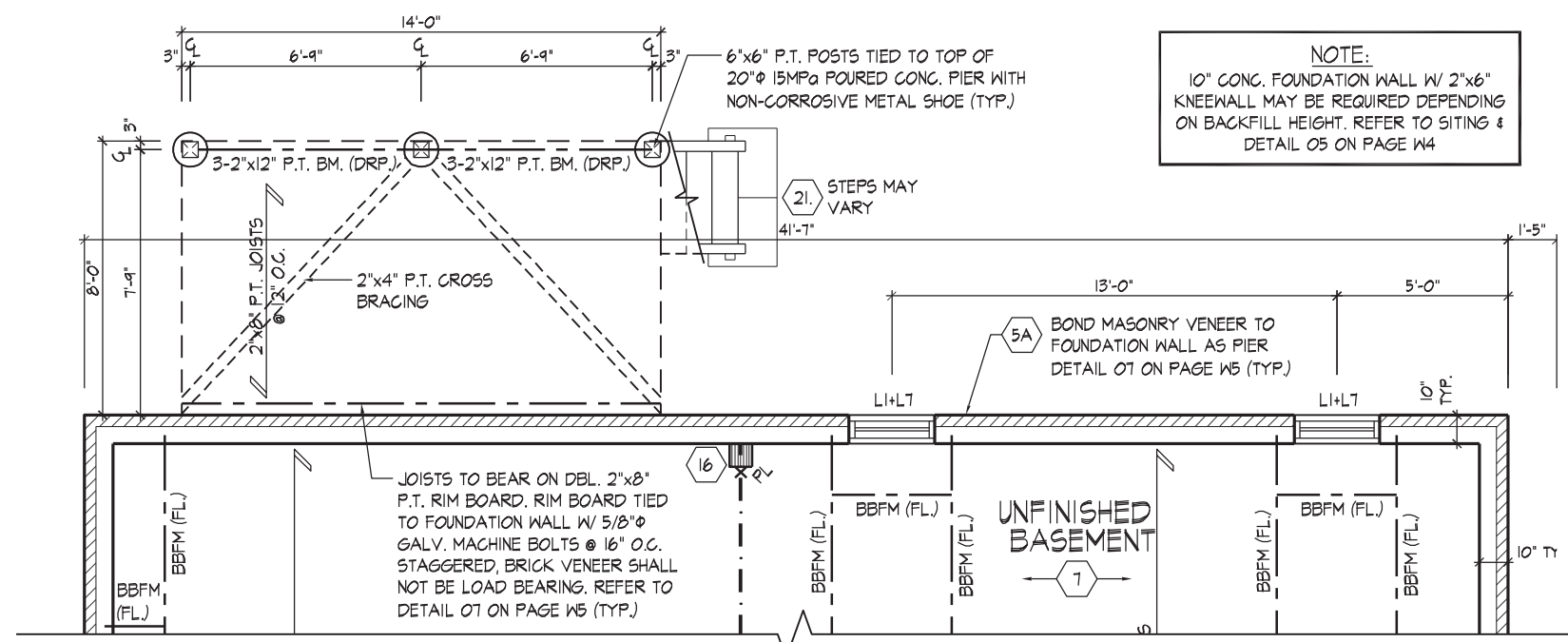
Scale
3/16" = 1'-0"

File Number
221081WS5013.dwg

Page Number
26 of 27

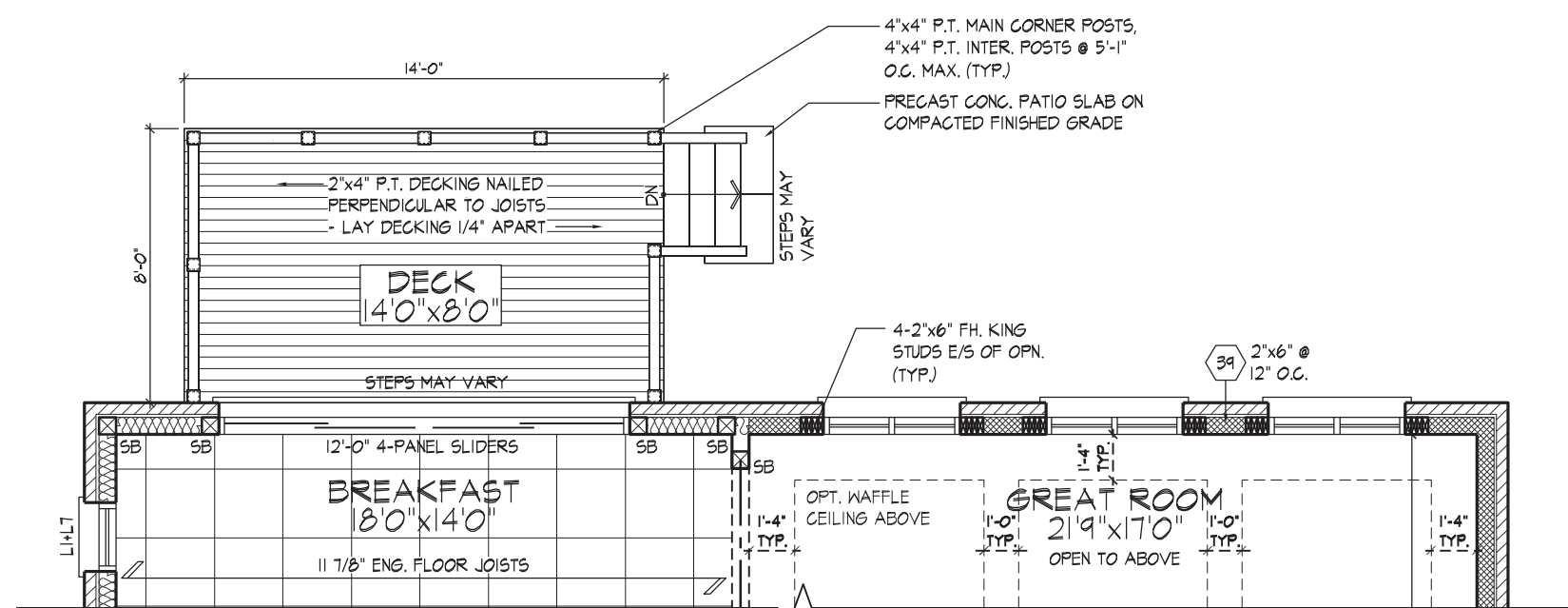
CROSS SECTION 'A-A'
THE RIVERVIEW - 5013
REV.2022.08.05

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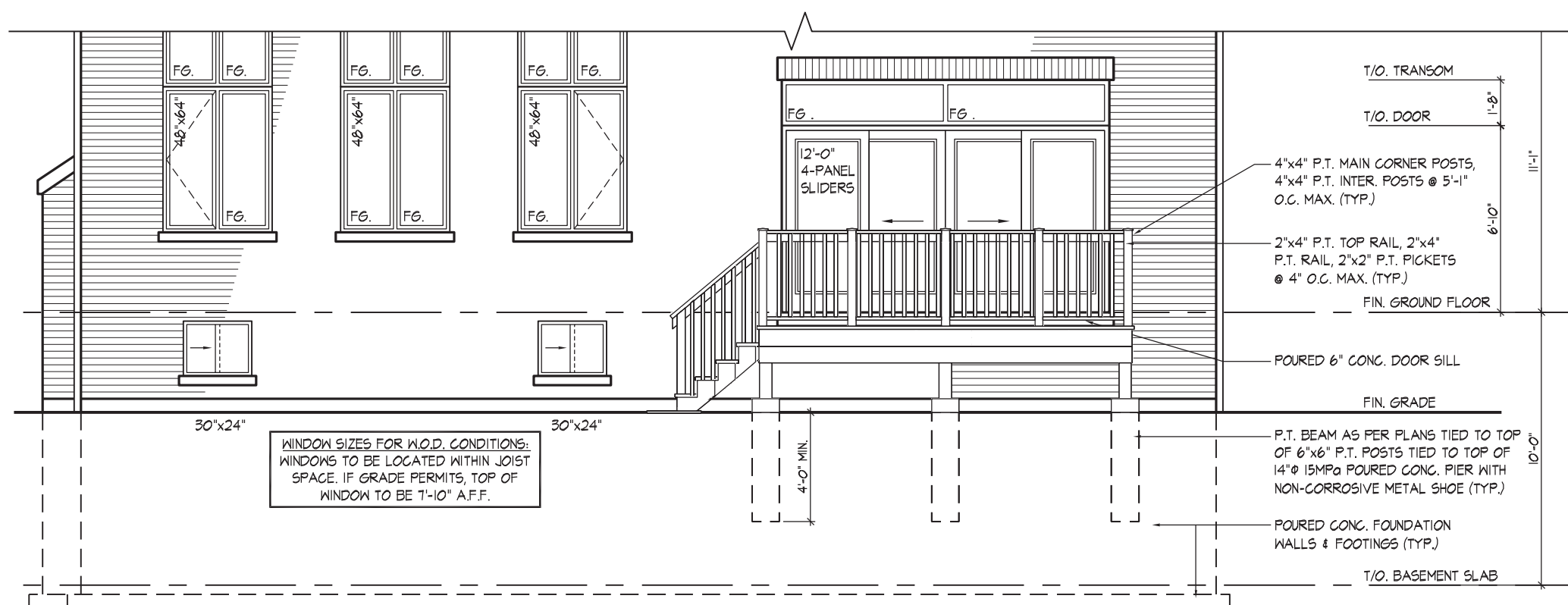
PART. BASEMENT PLAN, EL. 'A', 'B' & 'C' - W.O.D. CONDITION

REFER TO STANDARD PLAN FOR COMPLETE CONSTRUCTION NOTES & DIMENSIONS



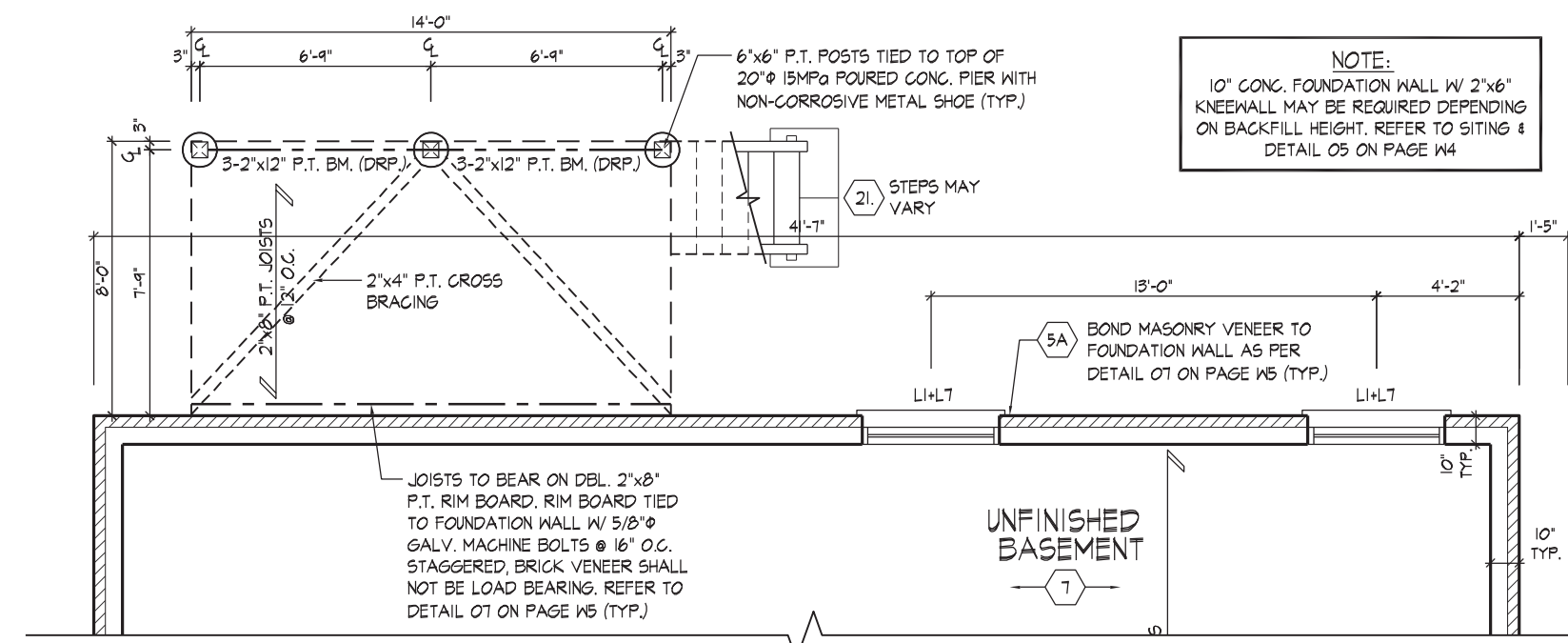
PART. GROUND FLOOR PLAN, EL. 'A', 'B' & 'C' - W.O.D. CONDITION

REFER TO STANDARD PLAN FOR COMPLETE CONSTRUCTION NOTES & DIMENSIONS



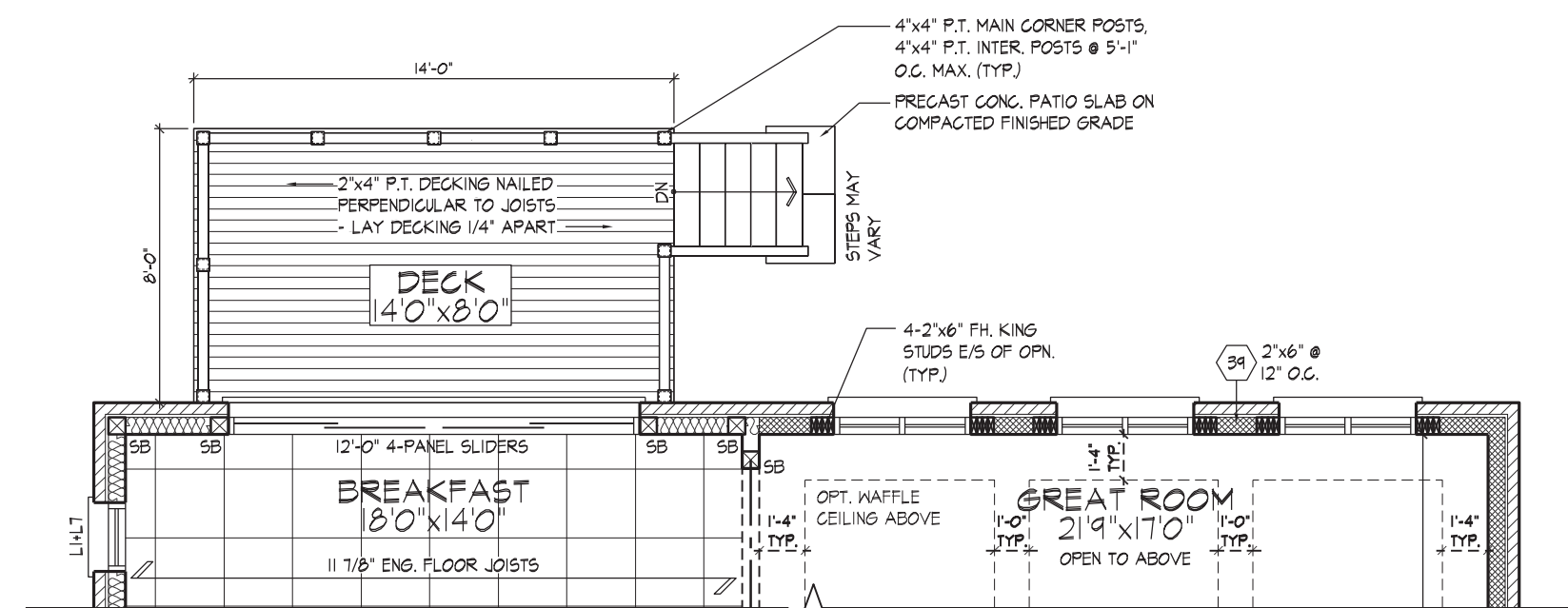
PART. REAR ELEVATION 'A', 'B' & 'C' - W.O.D. CONDITION

REFER TO FRONT ELEVATION & STANDARD REAR FOR TYPICAL NOTES & INFO.



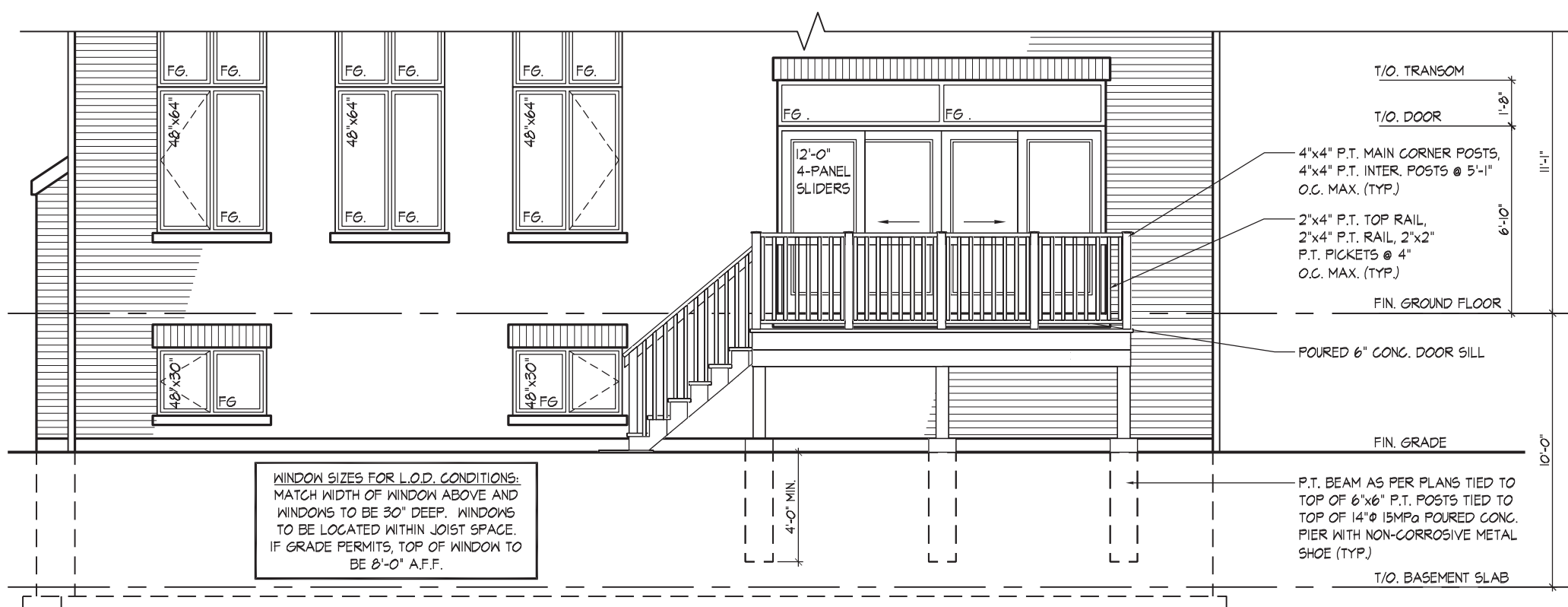
PART. BASEMENT PLAN, EL. 'A', 'B' & 'C' - L.O.D. CONDITION

REFER TO STANDARD PLAN FOR COMPLETE CONSTRUCTION NOTES & DIMENSIONS



PART. GROUND FLOOR PLAN, EL. 'A', 'B' & 'C' - L.O.D. CONDITION

REFER TO STANDARD PLAN FOR COMPLETE CONSTRUCTION NOTES & DIMENSIONS



PART. REAR ELEVATION 'A', 'B' & 'C' - L.O.D. CONDITION

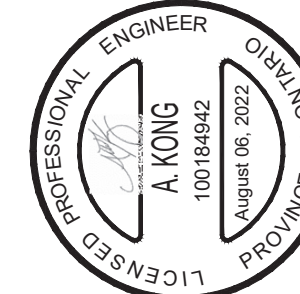
REFER TO FRONT ELEVATION & STANDARD REAR FOR TYPICAL NOTES & INFO.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: _____
DATE: AUG 08, 2022
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

100 COMMERCE VALLEY DR. W.
THIRD FLOOR
TEL: 905.882.4211 FAX: 905.882.0020 WSP GROUP INC.



FOR STRUCTURAL ONLY, EXCLUDING
ENGINEERED ROOF TRUSS, FLOOR
JOIST, AND FLOOR LVL BEAM DESIGN.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION
NAME: HUNT DESIGN ASSOCIATES INC.
REGISTRATION NUMBER: 19995
SIGNATURE: [Signature]
DATE: 23177

HUNT DESIGN ASSOCIATES INC.
www.huntdesign.ca

GOLDPARK HOMES - 221081
PINE VALLEY PH. 2, VAUGHAN, ON.

Down By: WT
Checked By: AW
Scale: 3/16"=1'-0"
8966 Woodbine Ave, Markham, ON L3R 0J7
T 905.737.5133 F 905.737.7326

W.O.D., L.O.D. CONDITIONS
THE RIVERVIEW - 5013
REV.2022.08.05

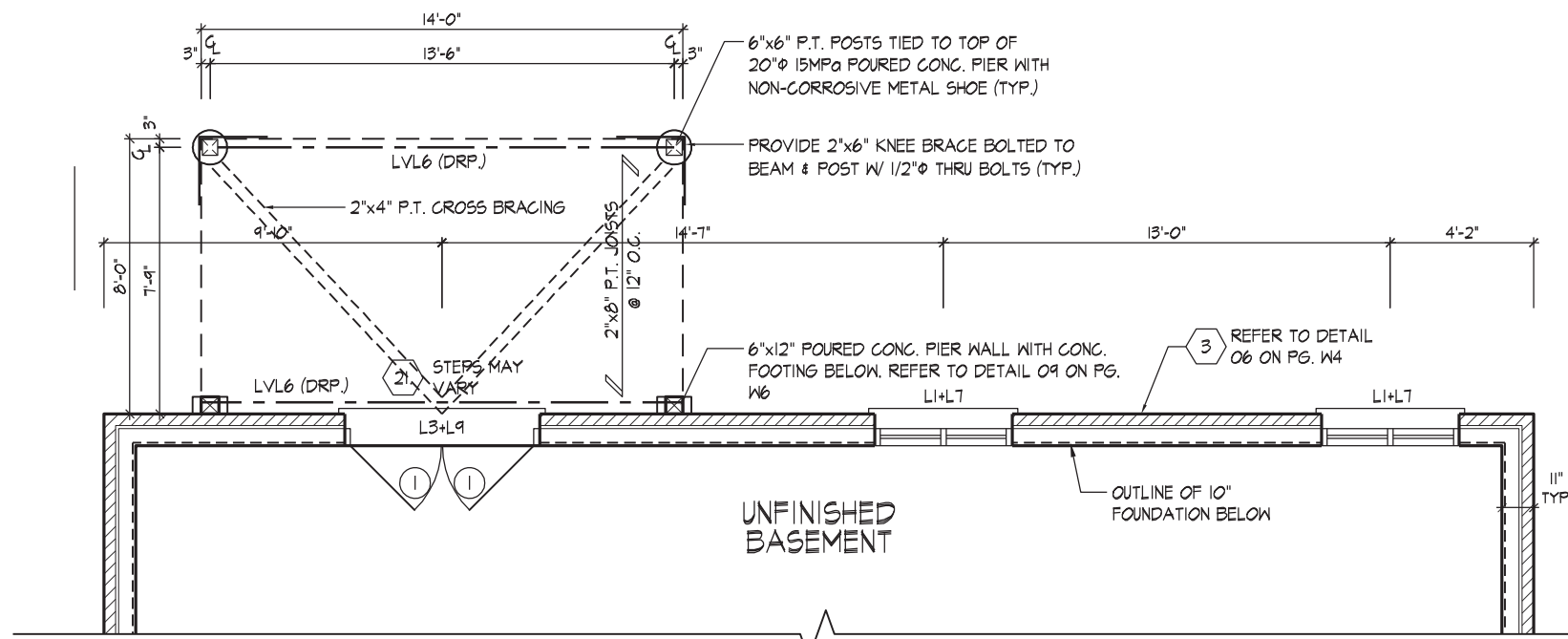
File Number: 221081WS013.dwg
Page Number: W1 of W2

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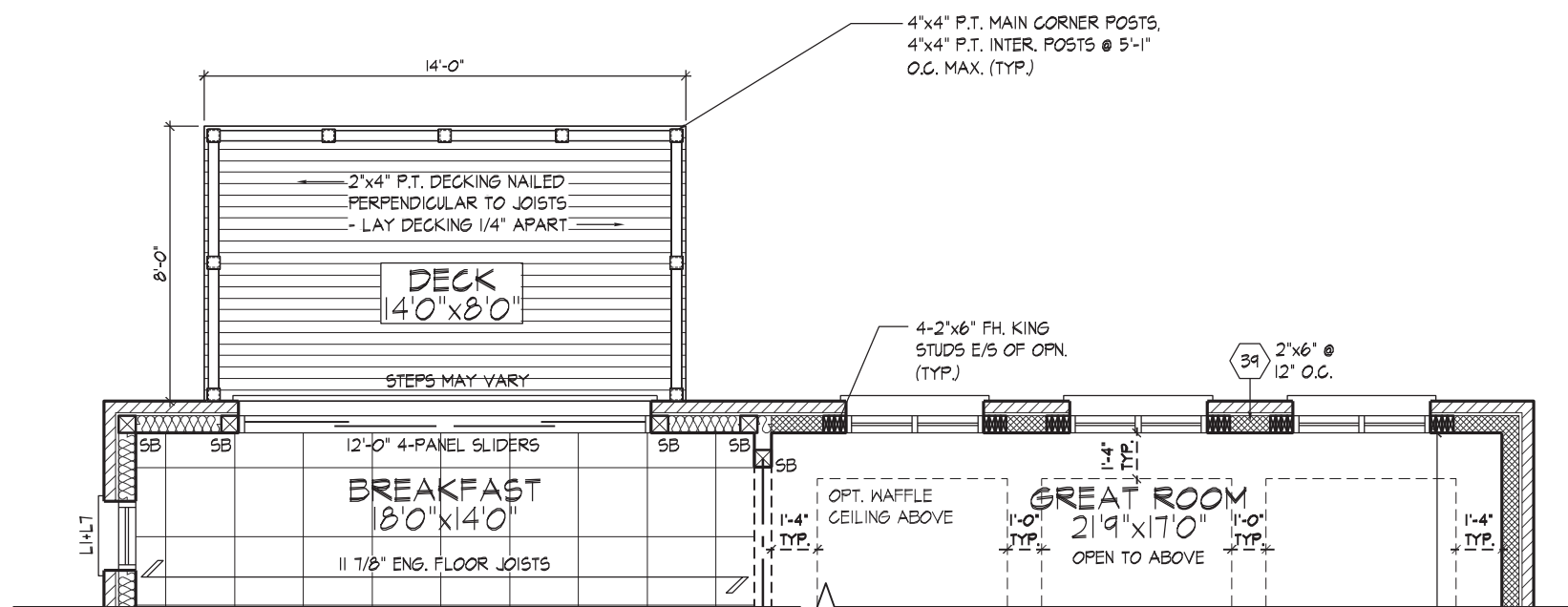
100 COMMERCE VALLEY DR. W.
THIRD FLOOR, SUITE 300
1400 SHEPPARD AVE. E. UNIT 300
SCARBOROUGH, ONTARIO M1S 1T5
TEL: 1-866-882-4211 FAX: 1-866-882-0550 WWW.HUNTDGP.CA

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JOIST, AND FLOOR LVL BEAM DESIGN.



PART. BASEMENT PLAN, EL. 'A', 'B' & 'C' - W.O.B. CONDITION

REFER TO STANDARD PLAN FOR
COMPLETE CONSTRUCTION NOTES
& DIMENSIONS



PART. GROUND FLOOR PLAN, EL. 'A', 'B' & 'C' - W.O.B. CONDITION

REFER TO STANDARD PLAN FOR
COMPLETE CONSTRUCTION NOTES
& DIMENSIONS



PART. REAR ELEVATION, 'A', 'B' & 'C' - W.O.B. CONDITION

REFER TO FRONT ELEVATION & STANDARD
REAR FOR TYPICAL NOTES & INFO.

WINDOW SIZES FOR W.O.B. CONDITIONS:
- W.O.B. = MATCH WIDTH OF WINDOW
ABOVE AND WINDOWS TO BE 56" DEEP.
TOP OF WINDOW TO BE @ 7'-10" A.F.F.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS
THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING
CODE TO BE A DESIGNER.

Albin Whiting
SIGNATURE
HUNT DESIGN ASSOCIATES INC.
19995

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DESIGN ASSOCIATES INC.
www.huntdesign.ca

GOLDPARK HOMES - 221081
PINE VALLEY PH. 2, VAUGHAN, ON.

Drawn By: WT
Checked By: AW
Scale: 3/16"=1'-0"
8966 Woodbine Ave, Markham, ON L3R 0J7
T 905.737.5133 F 905.737.7326

File Number: 221081WS5013.dwg
Page Number: W2 of W2

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: AUG 08, 2022
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

W.O.B. CONDITION
THE RIVERVIEW - 5013
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