



ELEVATION 'A'

ELEVATION 'B'

ELEVATION 'C'

## UNIT 5010 - 'THE OAKWOOD'

### SB-12 ENERGY EFFICIENCY DESIGN MATRIX

PRESCRIPTIVE COMPLIANCE		SB-12 (SECTION 3.1.1) TABLE 3.1.1.2.A	
PACKAGE A1		SPACE HEATING FUEL	
		<input checked="" type="checkbox"/> GAS	<input type="checkbox"/> OIL
		<input type="checkbox"/> ELECTRIC	<input type="checkbox"/> PROPANE
		<input type="checkbox"/> EARTH	<input type="checkbox"/> SOLID FUEL
BUILDING COMPONENT	REQUIRED	PROPOSED	
INSULATION RSI (R) VALUE			
CEILING W/ ATTIC SPACE	10.56 (R60)	10.56 (R60)	
CEILING W/O ATTIC SPACE	5.46 (R31)	5.46 (R31)	
EXPOSED FLOOR	5.46 (R31)	5.46 (R31)	
WALLS ABOVE GRADE	3.87 (R22)	3.87 (R22)	
BASEMENT WALLS	3.52 ci	3.52 ci	
* PROPOSED VALUES MAY BE SUBSTITUTED W/ 2.11+1.76ci (R12+R10ci)	(R20 ci) *	(R20 ci) *	
BELOW GRADE SLAB ENTIRE SURFACE > 600mm BELOW GRADE	-	-	
EDGE OF BELOW GRADE SLAB ≤ 600mm BELOW GRADE	1.76 (R10)	1.76 (R10)	
HEATED SLAB OR SLAB ≤ 600mm BELOW GRADE	1.76 (R10)	1.76 (R10)	
WINDOWS & DOORS			
WINDOWS/SLIDING GLASS DOORS (MAX U-VALUE)	1.6	1.6	
SKYLIGHTS (MAX. U-VALUE)	2.8	2.8	
APPLIANCE EFFICIENCY			
SPACE HEATING EQUIP. (AFUE%)	96%	96%	
HRV EFFICIENCY (%)	75%	75%	
DHW HEATER (EF)	0.8	0.8	

AREA CALCULATIONS	EL. 'A'	EL. 'B'	EL. 'C'			
	STD. PLAN	STD. PLAN	STD. PLAN			
GROUND FLOOR AREA	2386 sq. ft. (221.67 sq. m.)	2294 sq. ft. (213.12 sq. m.)	2363 sq. ft. (219.53 sq. m.)			
SECOND FLOOR AREA	2077 sq. ft. (192.96 sq. m.)	2111 sq. ft. (196.12 sq. m.)	2115 sq. ft. (196.49 sq. m.)			
SUBTOTAL	4463 sq. ft. (414.63 sq. m.)	4405 sq. ft. (409.24 sq. m.)	4478 sq. ft. (416.02 sq. m.)			
DEDUCT ALL OPEN AREAS	830 sq. ft. (77.11 sq. m.)	830 sq. ft. (77.11 sq. m.)	866 sq. ft. (80.45 sq. m.)			
TOTAL NET AREA	3633 sq. ft. (337.52 sq. m.)	3575 sq. ft. (332.13 sq. m.)	3612 sq. ft. (335.57 sq. m.)			
FINISHED BASEMENT AREA	149 sq. ft. (13.84 sq. m.)	149 sq. ft. (13.84 sq. m.)	149 sq. ft. (13.84 sq. m.)			
COVERAGE W/OUT PORCH	2792 sq. ft. (259.39 sq. m.)	2700 sq. ft. (250.84 sq. m.)	2768 sq. ft. (257.16 sq. m.)			
COVERAGE W/ PORCH	2845 sq. ft. (264.31 sq. m.)	2757 sq. ft. (256.13 sq. m.)	2820 sq. ft. (261.99 sq. m.)			
COVERAGE W/ OPT. LOGGIA	3106 sq. ft. (288.56 sq. m.)	3017 sq. ft. (280.29 sq. m.)	3080 sq. ft. (286.14 sq. m.)			
WINDOW / WALL AREA CALCULATIONS	EL. 'A' STD. PLAN	EL. 'A' WOOD	EL. 'A' LOD	EL. 'A' WOB	EL. 'B' STD. PLAN	EL. 'B' WOOD
GROSS WALL AREA	4866.67 sq. ft. (452.13 sq. m.)	4943.06 sq. ft. (459.23 sq. m.)	5002.08 sq. ft. (464.71 sq. m.)	5566.67 sq. ft. (517.16 sq. m.)	4730.67 sq. ft. (439.49 sq. m.)	4807.06 sq. ft. (446.59 sq. m.)
GROSS WINDOW AREA (INCL. GLASS DOORS & SKYLIGHTS)	606.76 sq. ft. (56.37 sq. m.)	608.43 sq. ft. (56.52 sq. m.)	628.43 sq. ft. (58.38 sq. m.)	733.48 sq. ft. (68.14 sq. m.)	617.31 sq. ft. (57.35 sq. m.)	618.98 sq. ft. (57.51 sq. m.)
TOTAL WINDOW %	12.47 %	12.31 %	12.56 %	13.18 %	13.05 %	12.88 %

- 1 - TITLE PAGE
- 2 - BASEMENT PLAN, ELEV. 'A'
- 3 - GROUND FLOOR PLAN, ELEV. 'A'
- 4 - SECOND FLOOR PLAN, ELEV. 'A'
- 5 - PARTIAL PLANS, ELEV. 'B'
- 6 - PARTIAL PLANS, ELEV. 'C'
- 7 - FRONT ELEVATION 'A'
- 8 - LEFT SIDE ELEVATION 'A'
- 9 - RIGHT SIDE ELEVATION 'A'
- 10 - REAR ELEVATION 'A', 'B' & 'C'
- 11 - FRONT ELEVATION 'B'
- 12 - LEFT SIDE ELEVATION 'B'
- 13 - RIGHT SIDE ELEVATION 'B'
- 14 - FRONT ELEVATION 'B'
- 15 - LEFT SIDE ELEVATION 'B'
- 16 - RIGHT SIDE ELEVATION 'B'
- 17 - CROSS SECTION 'A-A'
- 18 - CONSTRUCTION NOTES
- W1 - DECK CONDITIONS
- W2 - DECK CONDITIONS
- W3 - DECK DETAILS
- W4 - DECK DETAILS

7. -	-	-
6. -	-	-
5. ISSUED PER PERMIT	-	-
4. REVISED PER ENG. STRUCT. COMMENTS	2022.08.05	WT
3. CO-ORD. W/ FLOOR & ROOF LAYOUTS	2022.05.19	SP
2. REV'D AS PER ROOF MANUF. COMMENTS	2022/04/05	WT
1. REVISED DESIGN AS PER CLIENT COMMENTS	2022.02.21	AW
REVISIONS		DATE (YYYYMMDD) BY

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION

Albin Whiting

SIGNATURE

REGISTRATION INFORMATION

HUNT DESIGN ASSOCIATES INC.

23177

BCIN

19695



GOLDPARK HOMES - 221081  
PINE VALLEY PH. 2, VAUGHAN, ONT.

Down By JMc  
Checked By AW  
Scale 3/16"=1'-0"  
8966 Woodbine Ave, Markham, ON L3R 0J7  
T 905.737.5133 F 905.737.7326

THE OAKWOOD - UNIT 5010  
REV.2022.08.05

File Number 221081WS5010  
Page Number 1 of 18

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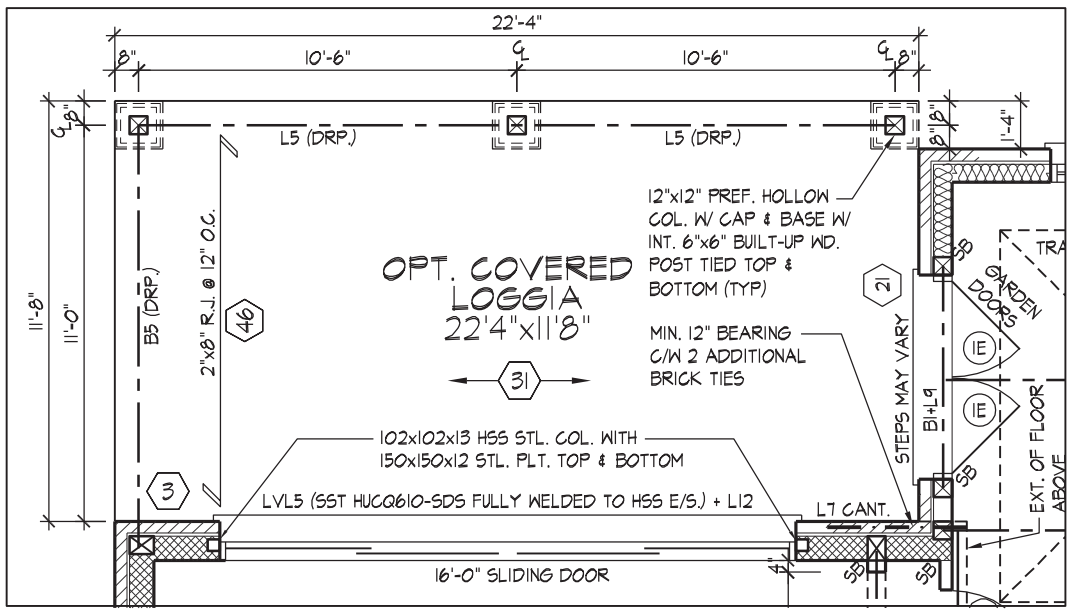
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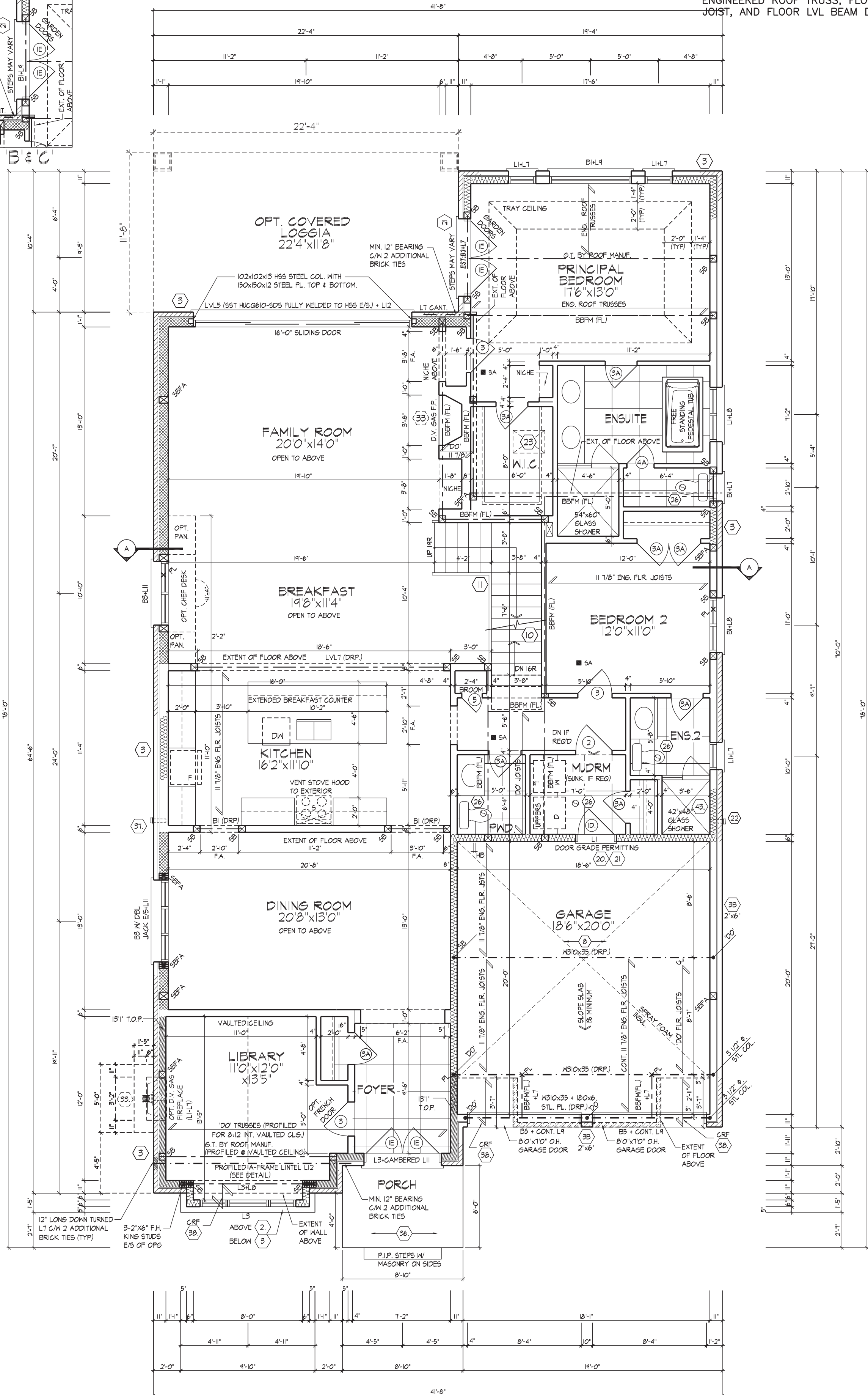


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THORNHILL, ONTARIO CANADA L3T 0A1  
TEL: 1-905-882-4211 FAX: 1-905-820-0355 WWW.WSPGROUP.CA

FOR STRUCTURAL ONLY, EXCLUDING  
ENGINEERED ROOF TRUSS, FLOOR  
JOIST, AND FLOOR LVL BEAM DESIGN.



PART. GROUND FLOOR PLAN ELEV. 'A', 'B' & 'C'  
(OPT. COVERED LOGGIA)



GROUND FLOOR PLAN ELEV. 'A'

REFER TO FLOOR JOIST  
MANUFACTURER'S DRAWINGS FOR  
LAYOUT, SPACING, BLOCKING &  
STRAPPING REQUIREMENTS,  
INSTALLATION DETAILS AND HANGER  
SIZES, & SUBFLOOR THICKNESS

PROVIDE SOLID WOOD BLOCKING @  
24" O.C. FOR FIRST JOIST SPAN  
WHEN PARALLEL W/ EXTERIOR WALL

SPACE ALL FLOOR JOISTS @  
12" O.C. UNDER ALL CERAMIC  
TILE AREAS.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot. This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY: [Signature]  
DATE: AUG 08, 2022

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FLAT ROOF BELOW

SCUPPER

PREFIN. ALUM. COPING

CANT STRIP

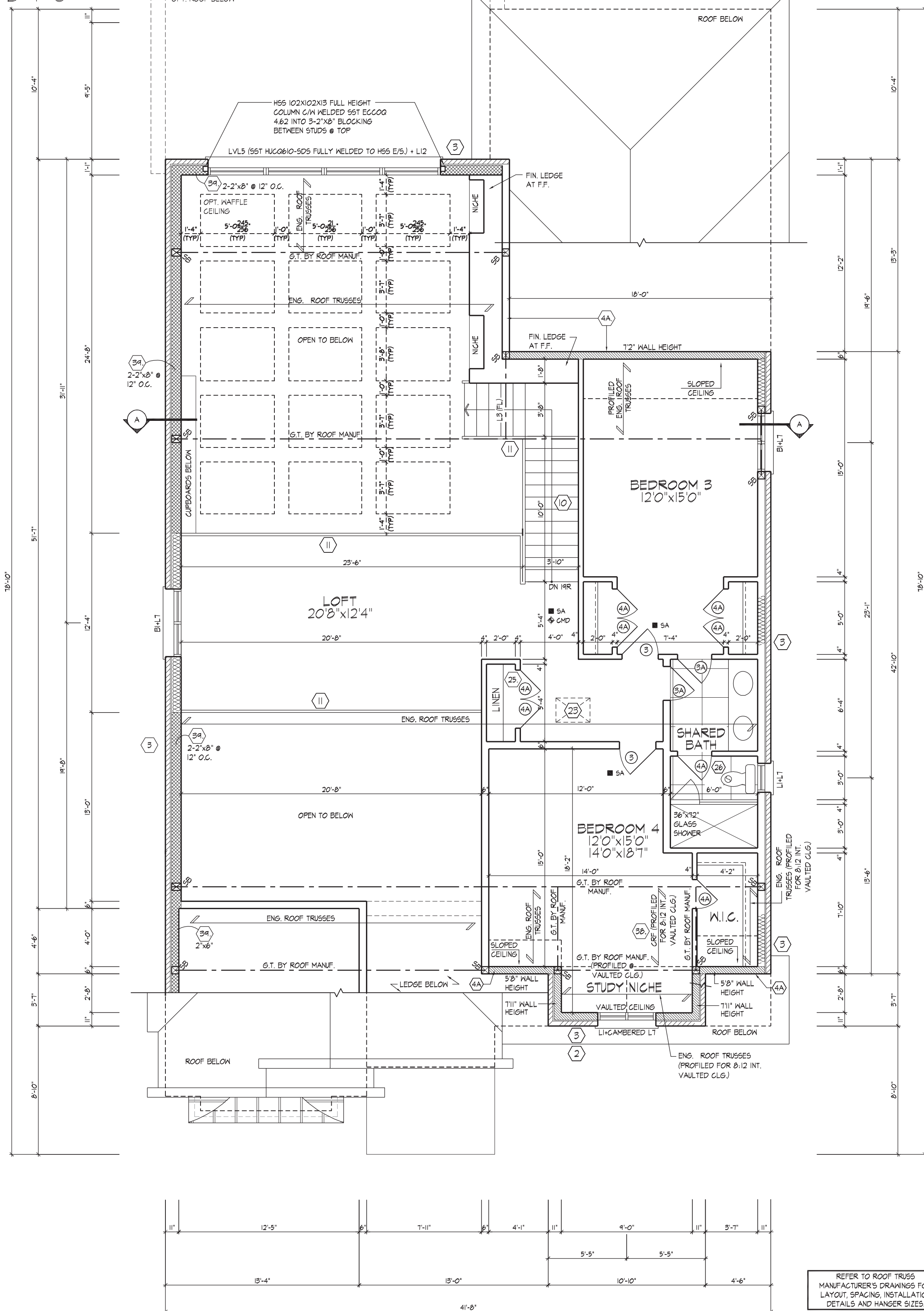
SLOPE TO SCUPPER

HSS 102x102x13 FULL HEIGHT COLUMN C/W WELDED SST ECCOR 4x2 INTO 3-2'x8" BLOCKING BETWEEN STUDS @ TOP

LVL5 (SST HUC0610-SDS FULLY WELDED TO HSS E/S) + L12

3/4" 2-2'x8" @ 12" O.C.

PART. SECOND FLOOR PLAN ELEV. 'A', 'B' & 'C'  
(OPT. COVERED LOGGIA)



SECOND FLOOR PLAN ELEV. 'A'

REFER TO ROOF TRUSS  
MANUFACTURER'S DRAWINGS FOR  
LAYOUT, SPACING, INSTALLATION  
DETAILS AND HANGER SIZES

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ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY:   
DATE: AUG 08, 2022

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REFER TO ROOF TRUSS  
MANUFACTURER'S DRAWINGS FOR  
LAYOUT, SPACING, INSTALLATION  
DETAILS AND HANGER SIZES.

SPACE ALL FLOOR JOISTS @  
12" O.C. UNDER ALL CERAMIC  
TILE AREAS.

SPACE ALL FLOOR JOISTS @  
12" O.C. UNDER ALL CERAMIC  
TILE AREAS.

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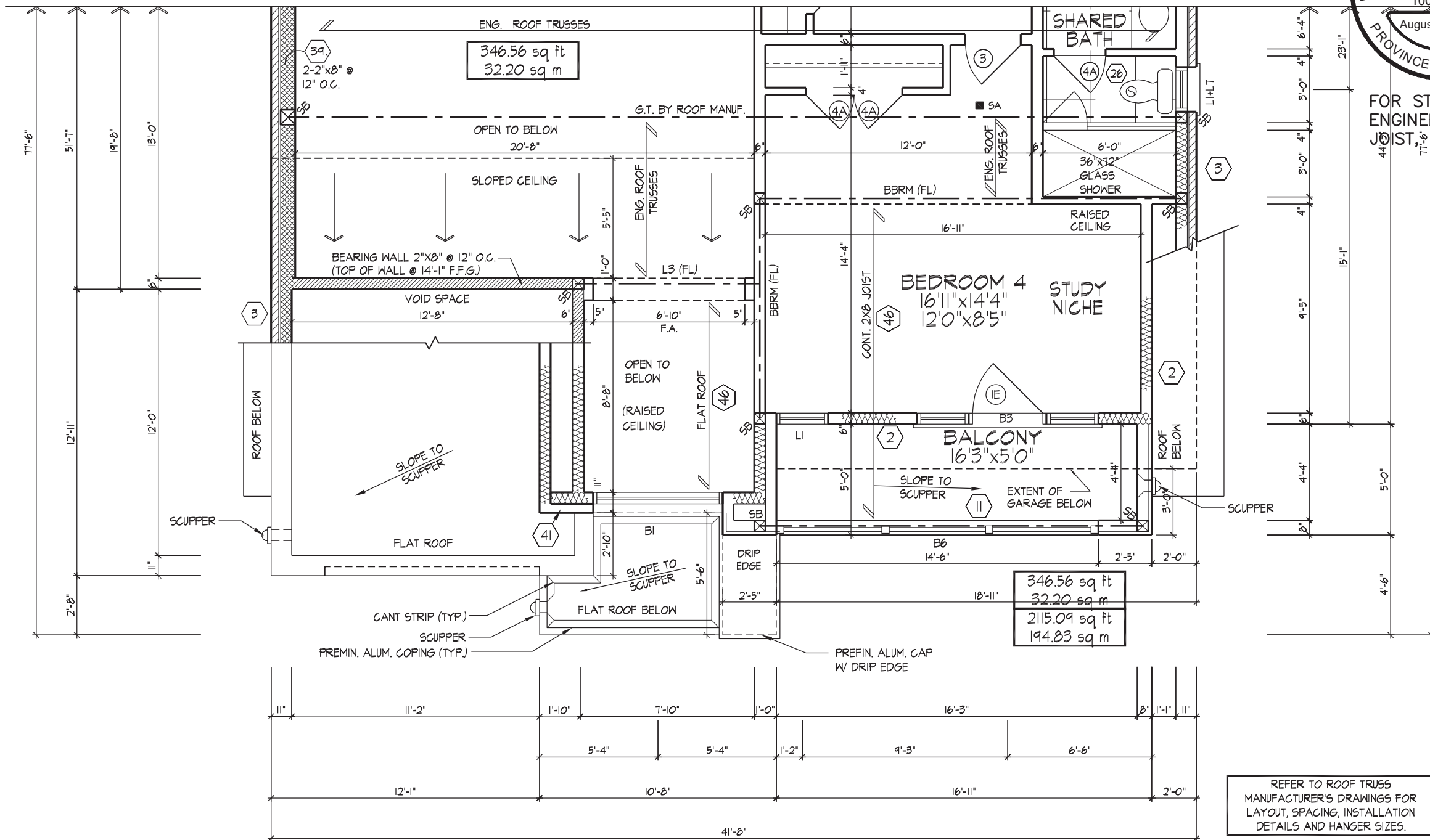
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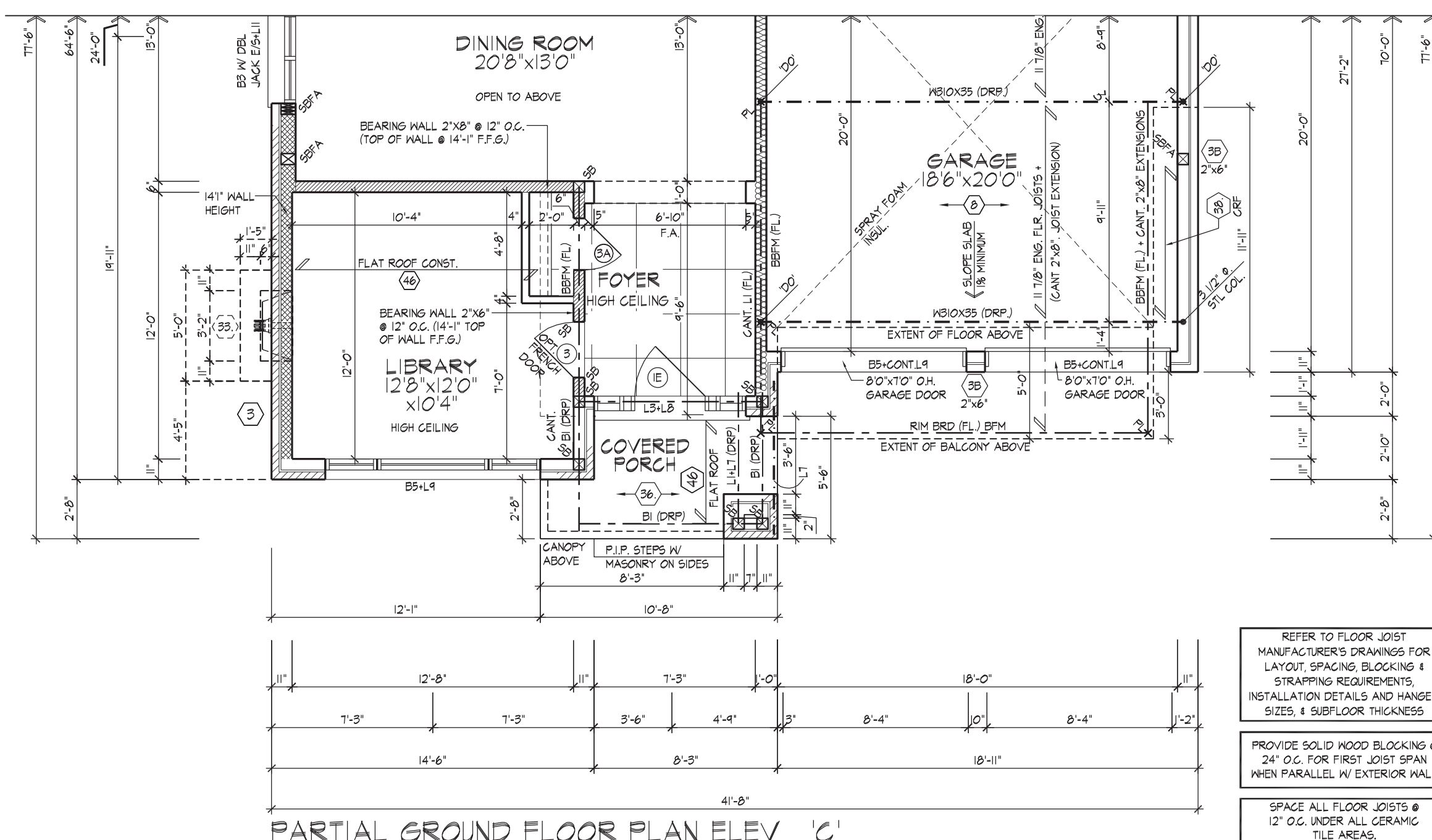
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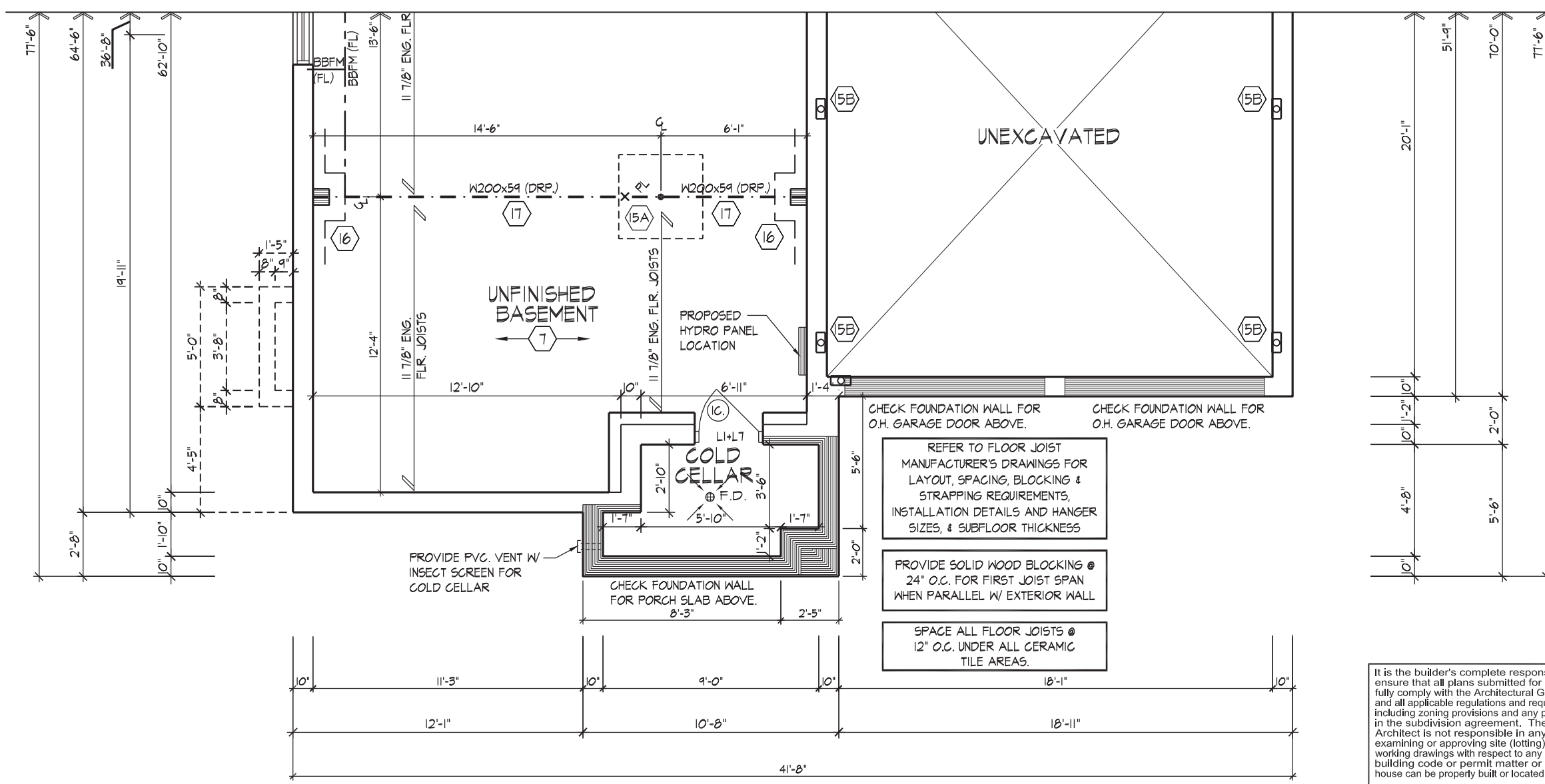
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PARTIAL SECOND FLOOR PLAN ELEV. 'C'



PARTIAL GROUND FLOOR PLAN ELEV. 'C'



PARTIAL BASEMENT PLAN ELEV. 'C'

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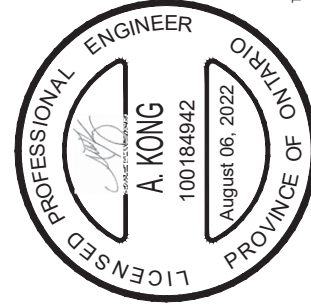
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HUNT GROUP  
DESIGN ASSOCIATES INC.  
PINE VALLEY PH. 2, VAUGHAN, ONT.  
GOLDPARK HOMES - 221081  
THE OAKWOOD - UNIT 5010  
REV. 2022.08.05

Drawn By: JWC  
Checked By: AW  
Scale: 3/16"=1'-0"  
File Number: 217020WSS006  
Page Number: 6 of 18

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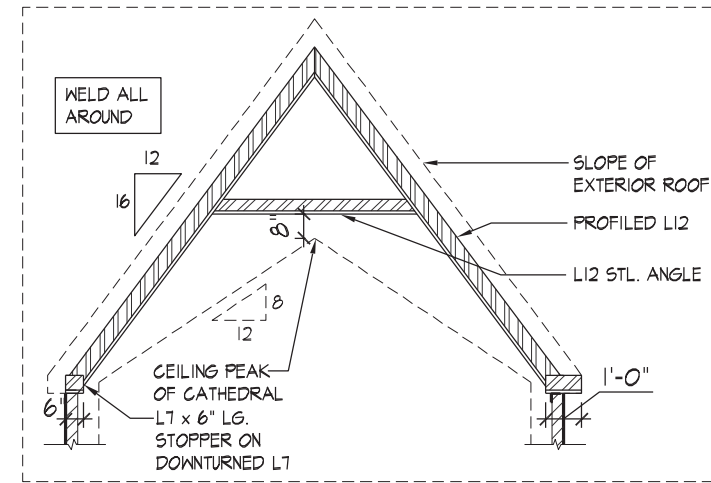




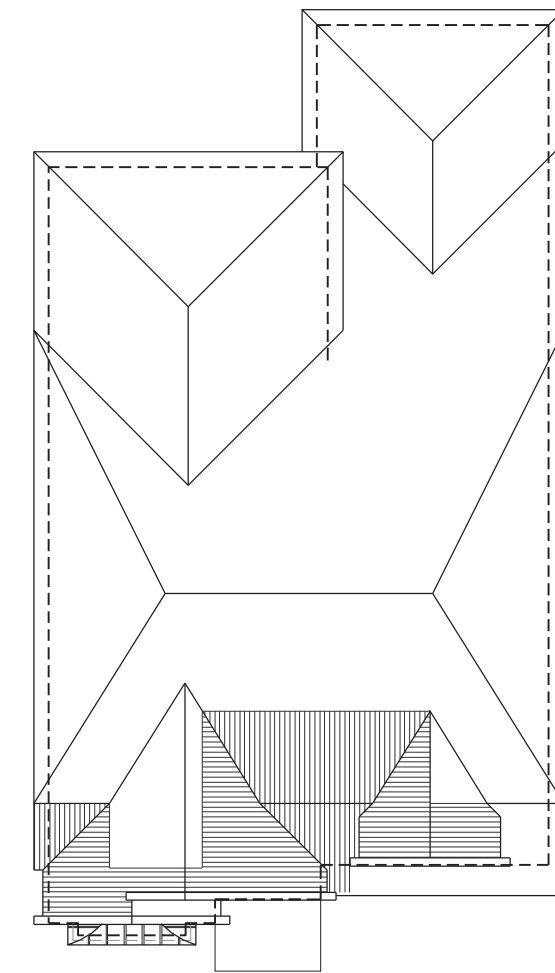
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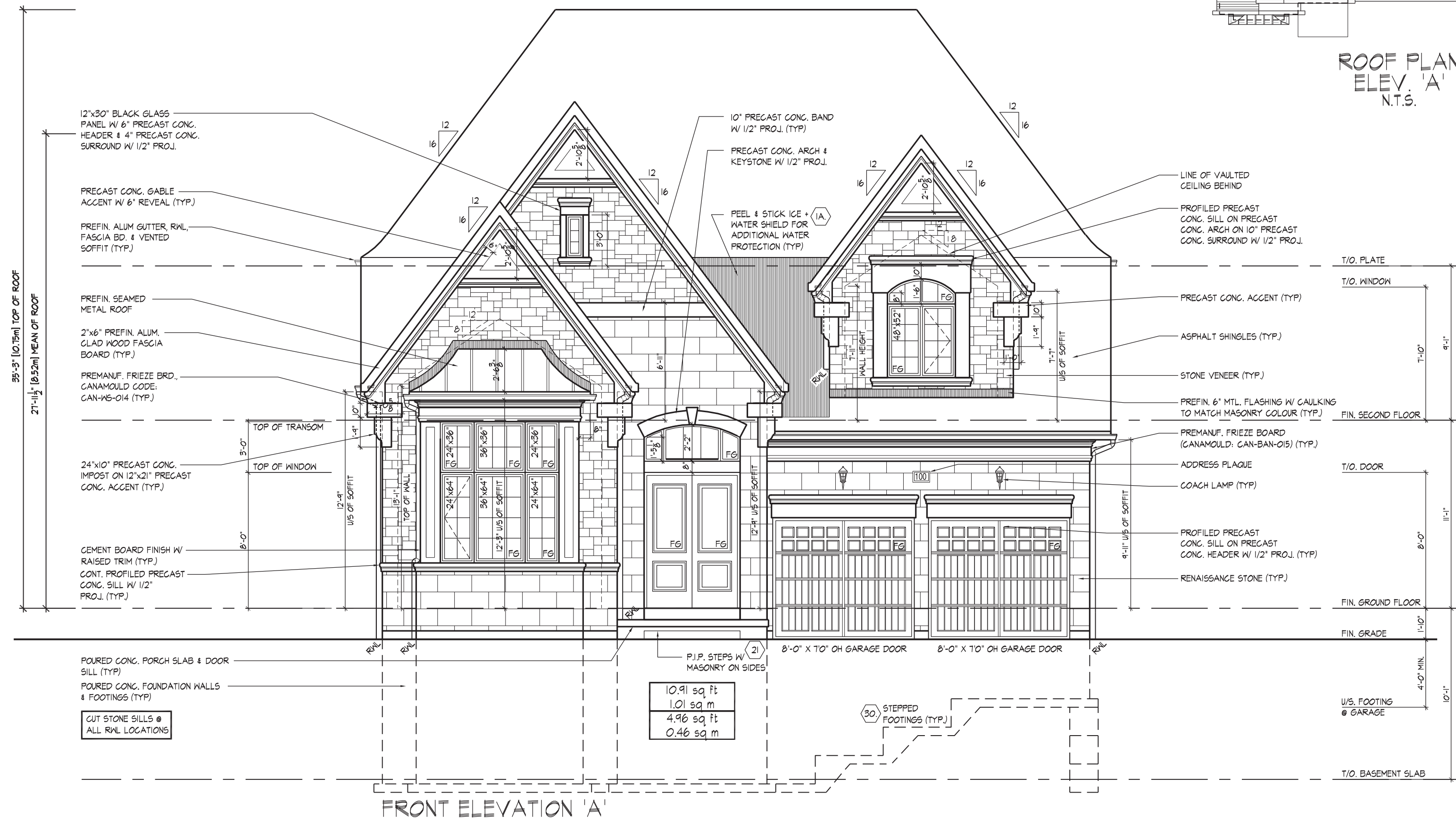
ROOF OVERHANGS TO BE 15"  
UNLESS NOTED OTHERWISE



## MASONRY 'A' FRAME DETAIL



ROOF PLAN  
ELEV. 'A'  
N.T.S.



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ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY:   
DATE: AUG 08, 2022

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QUALIFICATION INFORMATION

Allan Whiting 2317

NAME SIGNATURE BC

REGISTRATION INFORMATION

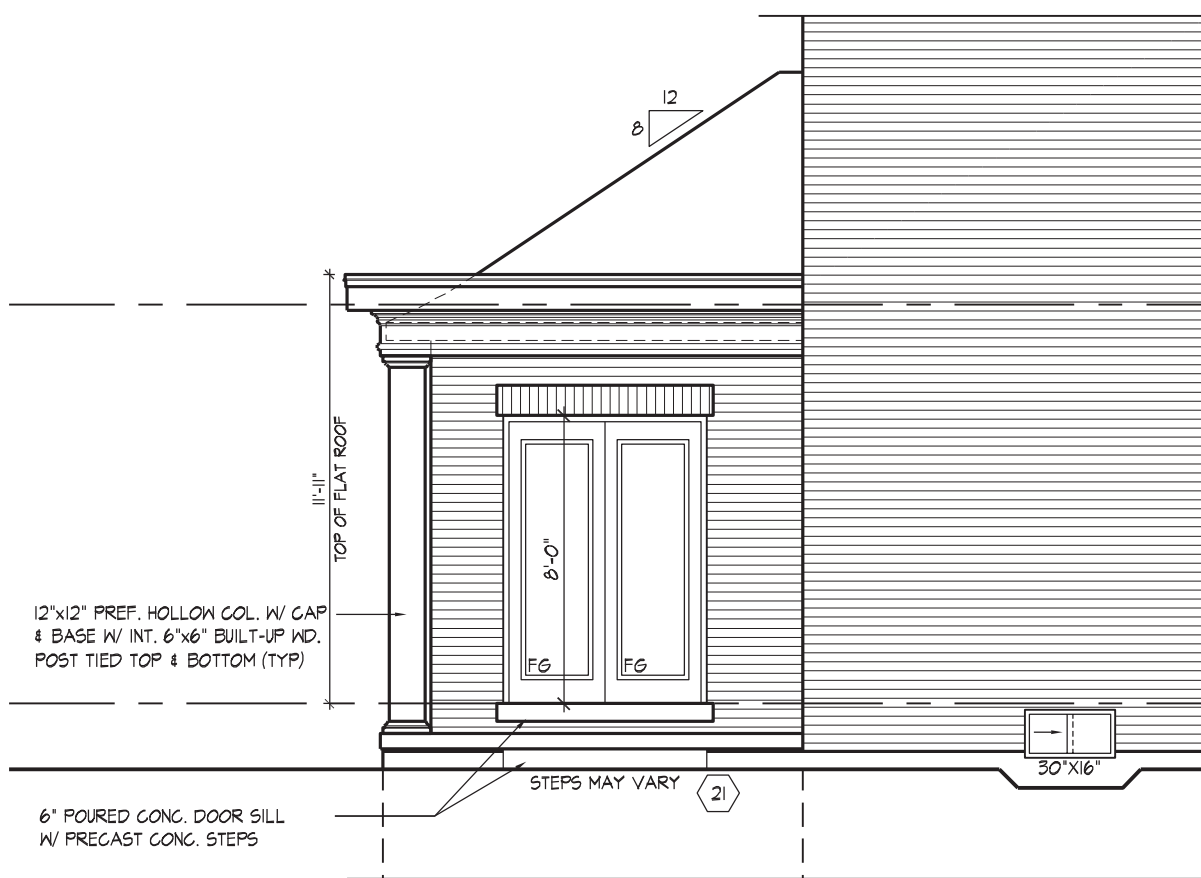
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**GOLDPARK HOMES - 221081**  
PINE VALLEY PH. 2, VAUGHAN, ONT.

**FRONT ELEVATION 'A'**  
**THE OAKWOOD - UNIT 5010**  
REV.2022.08.05



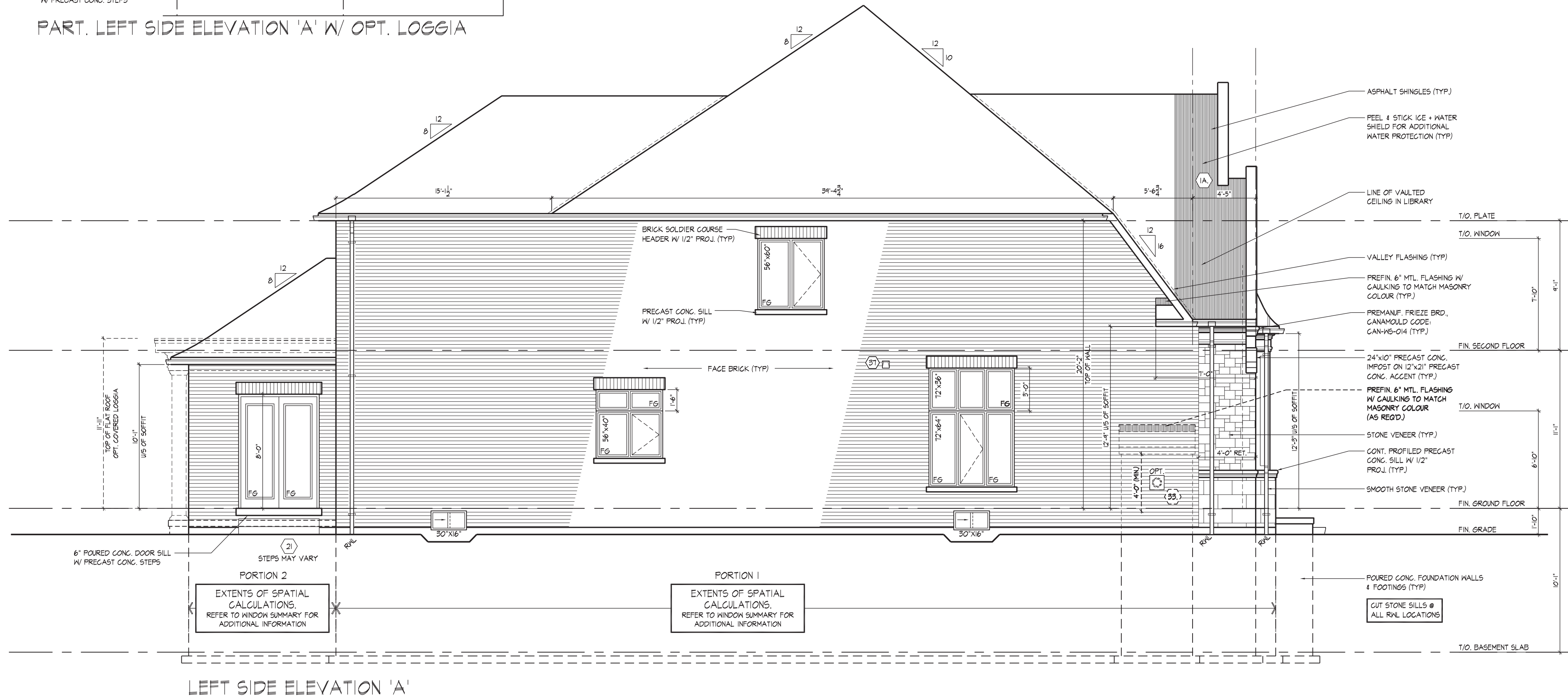
PART. LEFT SIDE ELEVATION 'A' W/ OPT. LOGGIA

REFER TO FRONT  
ELEVATION FOR TYPICAL  
NOTES & INFORMATION

ROOF OVERHANGS TO BE 15"  
UNLESS NOTED OTHERWISE

WINDOW SUMMARY				
PER O.B.C. TABLE 9.10.15.4				
LEFT SIDE ELEVATION A PORT. 1				
QTY	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	
1	56"	60"	20.22	
1	56"	40"	13.00	
1	56"	18"	5.06	
1	72"	64"	29.53	
1	72"	36"	15.11	
1	30"	18"	2.17	
0	0"	0"	0.00	
0	0"	0"	0.00	
0	0"	0"	0.00	
0	0"	0"	0.00	
1	ARCH	0.00	0.00	
0	ARCH	0.00	0.00	
0	ARCH	0.00	0.00	
0	ARCH	0.00	0.00	
SPATIAL CALCULATION				
EXPOSING BUILDING	1540.20	S.F.		
FACE AREA	143.09	S.M.		
PORTION WALL AREA	143.09	S.F.		
LIMITING DISTANCE	7	1.2 m		
MAX. % OPENINGS	107.81	%		
OPENINGS ALLOWED	83.89	S.F.		
OPENINGS PROVIDED	83.89	S.F.		
ADDITIONAL NOTES				
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER				

WINDOW SUMMARY				
PER O.B.C. TABLE 9.10.15.4				
LEFT SIDE ELEVATION A PORT. 2				
QTY	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	
0	0"	0"	0.00	
0	0"	0"	0.00	
0	0"	0"	0.00	
0	0"	0"	0.00	
0	0"	0"	0.00	
0	0"	0"	0.00	
0	0"	0"	0.00	
0	0"	0"	0.00	
0	0"	0"	0.00	
1	FRENCH DRs.	41.80	41.80	
0	ARCH	0.00	0.00	
0	ARCH	0.00	0.00	
0	ARCH	0.00	0.00	
SPATIAL CALCULATION				
EXPOSING BUILDING	1540.20	S.F.		
FACE AREA	143.09	S.M.		
PORTION WALL AREA	1540.20	S.F.		
LIMITING DISTANCE	7	1.2 m		
MAX. % OPENINGS	107.81	%		
OPENINGS ALLOWED	107.81	S.F.		
OPENINGS PROVIDED	41.80	S.F.		
ADDITIONAL NOTES				
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER				



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JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW AND APPROVAL  
APPROVED BY: [Signature]  
DATE: AUG 08, 2022  
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THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.  
QUALIFICATION INFORMATION  
Albin Whiting  
SIGNATURE [Signature]  
REGISTRATION INFORMATION  
HUNT DESIGN ASSOCIATES INC.  
19995

HUNT DESIGN ASSOCIATES INC.  
www.hunt-design.ca

GOLDPARK HOMES - 221081  
PINE VALLEY PH. 2, VAUGHAN, ONT.  
Down By: JMc  
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Scale: 3/16"=1'-0"  
8966 Woodbine Ave, Markham, ON L3R 0J7  
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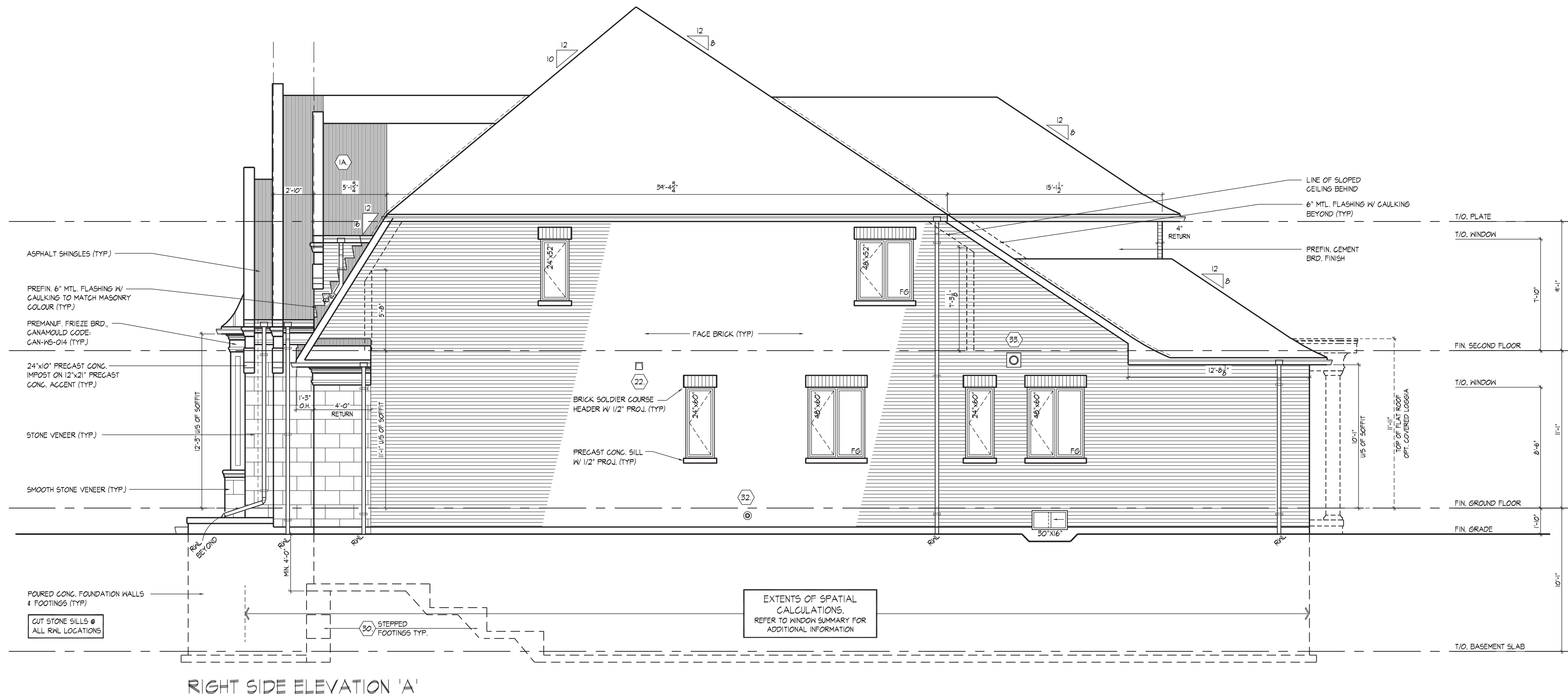
LEFT SIDE ELEVATION 'A'  
THE OAKWOOD - UNIT 5010  
REV.2022.08.05  
8 of 18



REFER TO FRONT  
ELEVATION FOR TYPICAL  
NOTES & INFORMATION

ROOF OVERHANGS TO BE 15"  
UNLESS NOTED OTHERWISE

WINDOW SUMMARY			
PER O.B.C. TABLE 9.10.15.4			
RIGHT SIDE ELEVATION A			
QTY	UNIT	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)
1	24"	52"	6.67
1	48"	52"	14.67
2	24"	60"	15.36
2	48"	60"	34.22
1	30"	16"	2.17
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00
SPATIAL CALCULATION			
EXPOSING BUILDING	1540.20	S.F.	
FACE AREA	143.09	S.M.	
PORTION WALL AREA	1540.20	S.F.	
	143.09	S.M.	
LIMITING DISTANCE	12 m		
MAX. % OPENINGS	%		
OPENINGS ALLOWED	107.81	S.F.	
OPENINGS PROVIDED	73.28	S.F.	
ADDITIONAL NOTES			
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER			



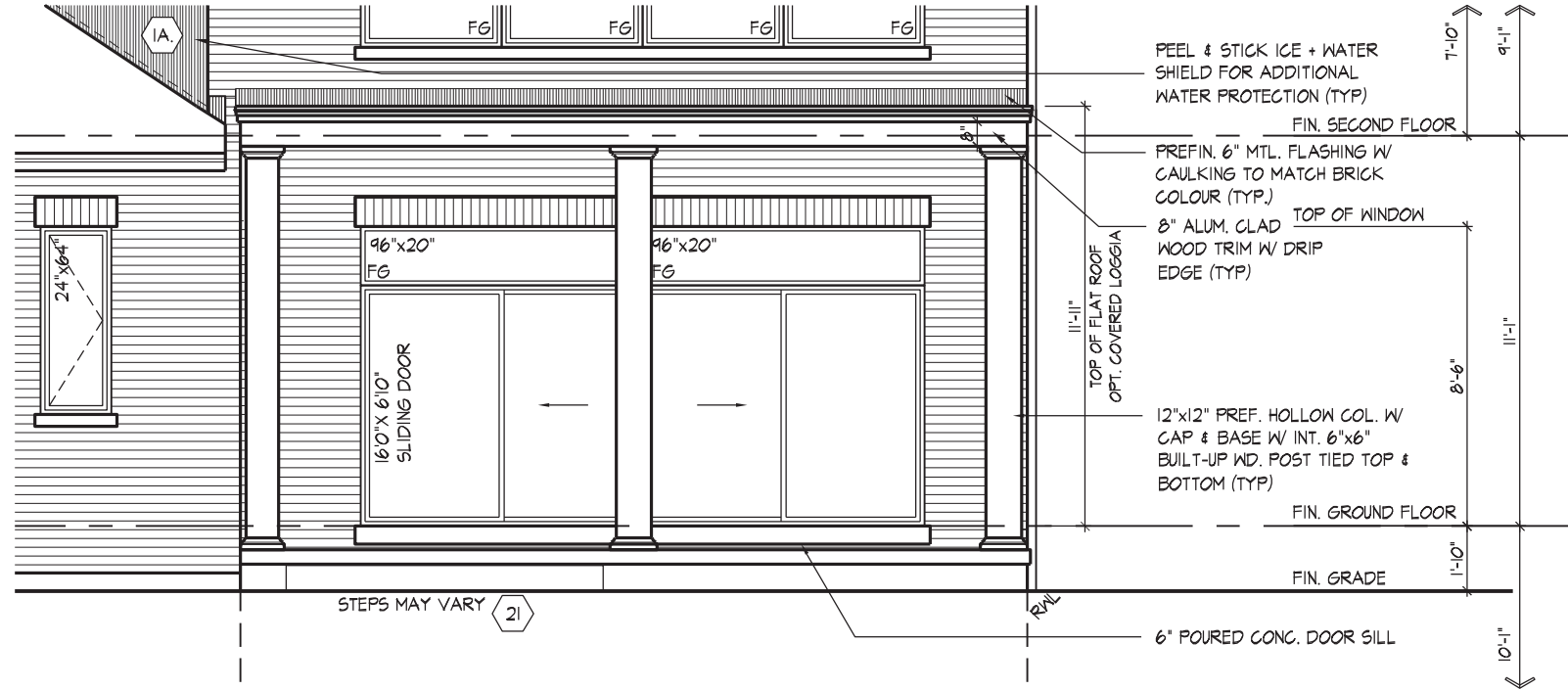
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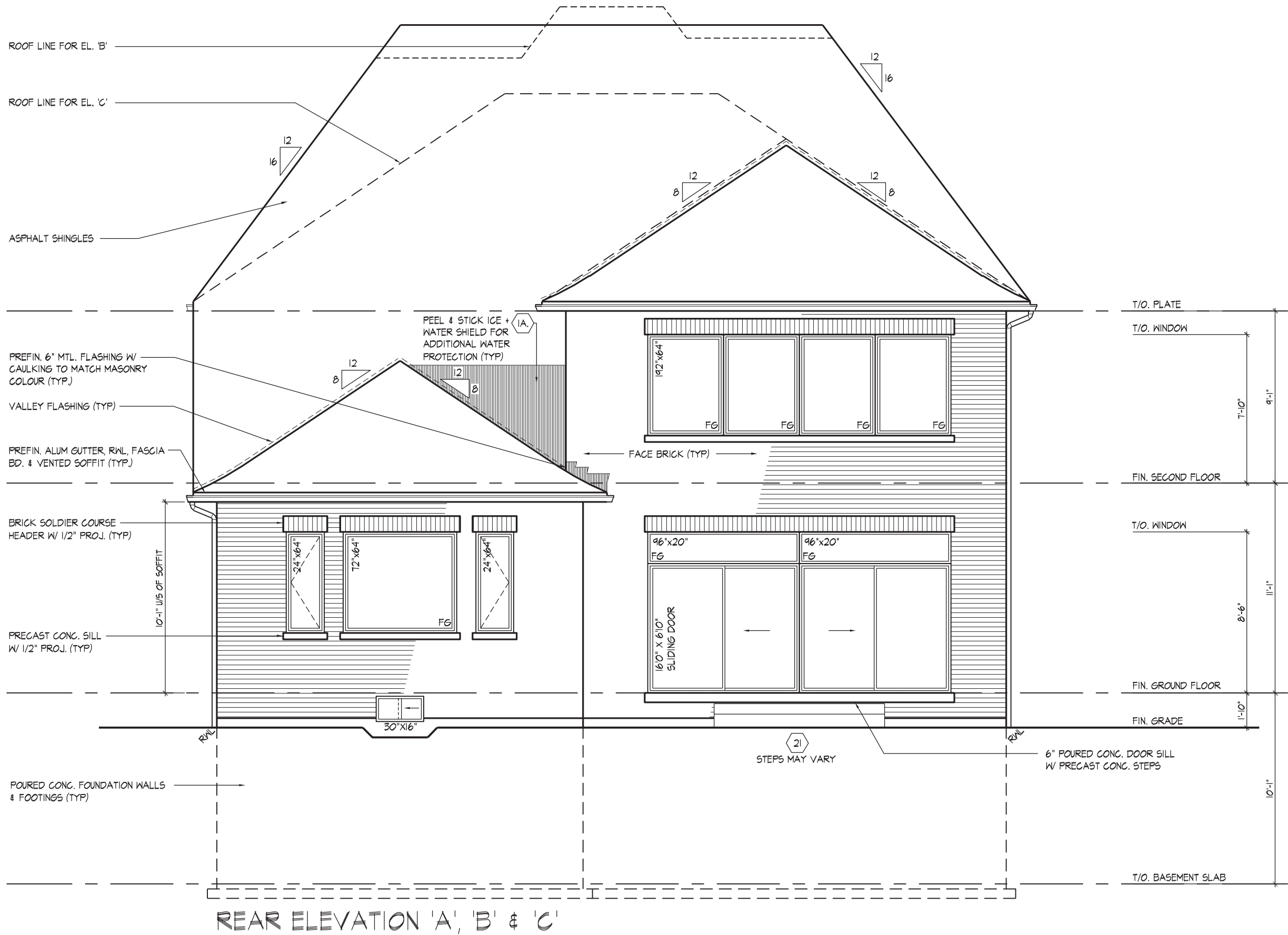
WINDOW SUMMARY			
PER O.B.C. TABLE 9.10.15.4			
REAR ELEVATION A, B, C			
QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)
2	28"	64"	20.00
1	48"	64"	18.33
2	24"	64"	16.00
1	72"	64"	28.33
1	102"	102"	127.94
1	30"	16"	2.17
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00
SPATIAL CALCULATION			
EXPOSING BUILDING	730.50	S.F.	
FACE AREA	67.87	S.M.	
PORTION WALL AREA	730.50	S.F.	
PORTION WALL AREA	67.87	S.M.	
LIMITING DISTANCE	50.50	m	
MAX. % OPENINGS	50.50	%	
OPENINGS ALLOWED	368.90	S.F.	
OPENINGS PROVIDED	213.44	S.F.	
ADDITIONAL NOTES			
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER			

REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFORMATION

ROOF OVERHANGS TO BE 15" UNLESS NOTED OTHERWISE



PART. REAR ELEVATION 'A', 'B' & 'C' W/ OPT. LOGGIA



REAR ELEVATION 'A', 'B' & 'C'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot. This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

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ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL  
APPROVED BY:   
DATE: AUG 08 2022  
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QUALIFICATION INFORMATION  
Albin Whiting  
SIGNATURE:   
REGISTRATION INFORMATION  
HUNT DESIGN ASSOCIATES INC.  
19995

23177

BCIN

19995

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GOLDPARK HOMES - 221081  
PINE VALLEY PH. 2, VAUGHAN, ONT.

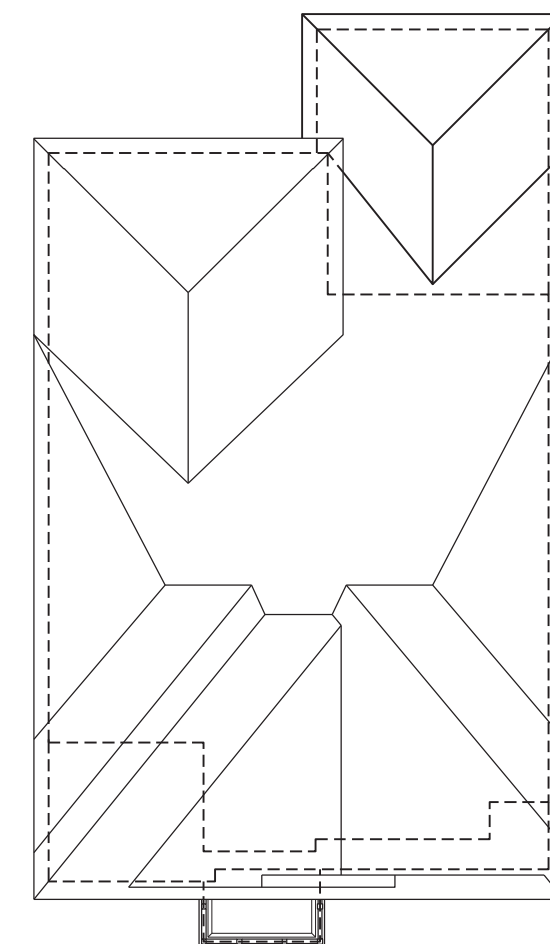
Drawn By: JMc  
Checked By: AW  
Scale: 3/16"=1'-0"  
8966 Woodbine Ave, Markham, ON L3R 0J7  
T 905.737.5133 F 905.737.7326

REAR ELEVATION 'A' & 'B'  
THE OAKWOOD - UNIT 5010  
REV.2022.08.05

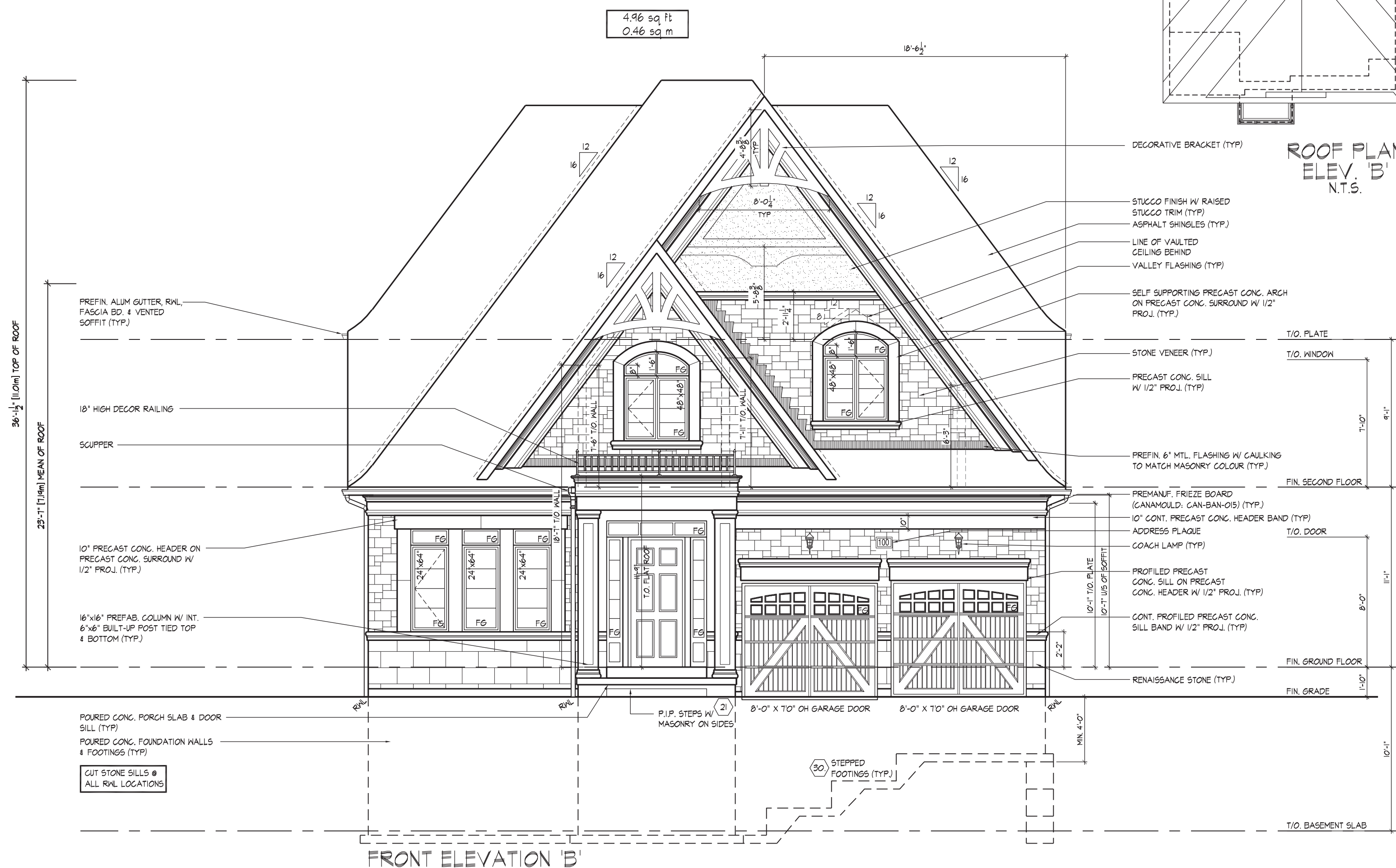
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Page Number: 10 of 18

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ROOF PLAN  
ELEV. 'B'  
N.T.S.



FRONT ELEVATION 'B'

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CODE TO BE A DESIGNER		
QUALIFICATION INFORMATION		
Allan Whiting	<i>AW</i>	2317
NAME	SIGNATURE	BC
REGISTRATION INFORMATION		
HUNT DESIGN ASSOCIATES INC.		1965

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**GOLDPARK HOMES - 221081**  
PINE VALLEY PH. 2, VAUGHAN, ONT.

Drawn By JMc      Checked By AW      Scale 3/16"=1'-0"      File Number 217020WS5006

8966 Woodbine Ave, Markham, ON L3R 0J7      T 905.737.5133      F 905.737.7326

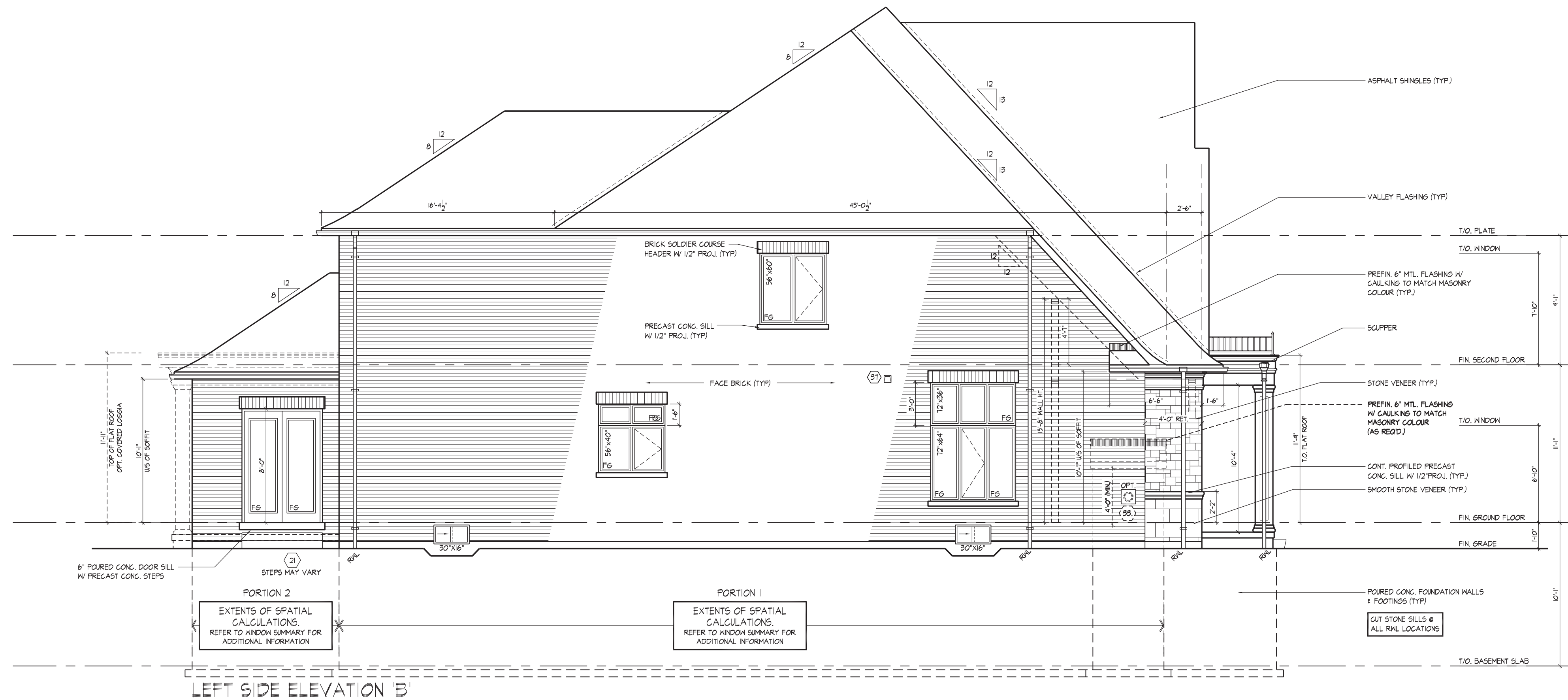
**FRONT ELEVATION 'B'**  
**THE OAKWOOD - UNIT 5010**  
REV.2022.08.05

REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFORMATION

ROOF OVERHANGS TO BE 15' UNLESS NOTED OTHERWISE

WINDOW SUMMARY				
PER O.B.C. TABLE 9.10.15.4				
LEFT SIDE ELEVATION B PORT. 1				
QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	
1	56"	60"	20.22	
1	56"	40"	13.00	
1	56"	18"	5.06	
1	72"	64"	28.33	
1	72"	36"	15.11	
1	30"	18"	2.17	
0	0"	0"	0.00	
0	0"	0"	0.00	
0	0"	0"	0.00	
0	0"	0"	0.00	
0	0"	0"	0.00	
0	0"	0"	0.00	
1	ARCH	0.00	0.00	
0	ARCH	0.00	0.00	
0	ARCH	0.00	0.00	
0	ARCH	0.00	0.00	
SPATIAL CALCULATION				
EXPOSING BUILDING	1384.45	S.F.		
FACE AREA	128.62	S.M.		
PORTION WALL AREA	1384.45	S.F.		
PORTION WALL AREA	128.62	S.M.		
LIMITING DISTANCE	7	1.2 m		
MAX. % OPENINGS	7	%		
OPENINGS ALLOWED	96.91	S.F.		
OPENINGS PROVIDED	63.89	S.F.		
ADDITIONAL NOTES				
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER				

WINDOW SUMMARY				
PER O.B.C. TABLE 9.10.15.4				
LEFT SIDE ELEVATION B PORT. 2				
QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	
0	0"	0"	0.00	
0	0"	0"	0.00	
0	0"	0"	0.00	
0	0"	0"	0.00	
0	0"	0"	0.00	
0	0"	0"	0.00	
0	0"	0"	0.00	
0	0"	0"	0.00	
0	0"	0"	0.00	
0	0"	0"	0.00	
0	0"	0"	0.00	
1	FRENCH DRs.	41.80	41.80	
0	ARCH	0.00	0.00	
0	ARCH	0.00	0.00	
0	ARCH	0.00	0.00	
SPATIAL CALCULATION				
EXPOSING BUILDING	1384.45	S.F.		
FACE AREA	128.62	S.M.		
PORTION WALL AREA	1384.45	S.F.		
PORTION WALL AREA	128.62	S.M.		
LIMITING DISTANCE	7	1.2 m		
MAX. % OPENINGS	7	%		
OPENINGS ALLOWED	96.91	S.F.		
OPENINGS PROVIDED	41.80	S.F.		
ADDITIONAL NOTES				
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER				



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QUALIFICATION INFORMATION  
Albin Whiting  
SIGNATURE:   
REGISTRATION INFORMATION  
HUNT DESIGN ASSOCIATES INC.  
19695

23177

BCIN

19695

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GOLDPARK HOMES - 221081  
PINE VALLEY PH. 2, VAUGHAN, ONT.

Drawn By: JMc  
Checked By: AW  
Scale: 3/16"=1'-0"

LEFT SIDE ELEVATION 'B'  
THE OAKWOOD - UNIT 5010  
REV.2022.08.05

File Number: 217020WS5006  
Page Number: 12 of 18

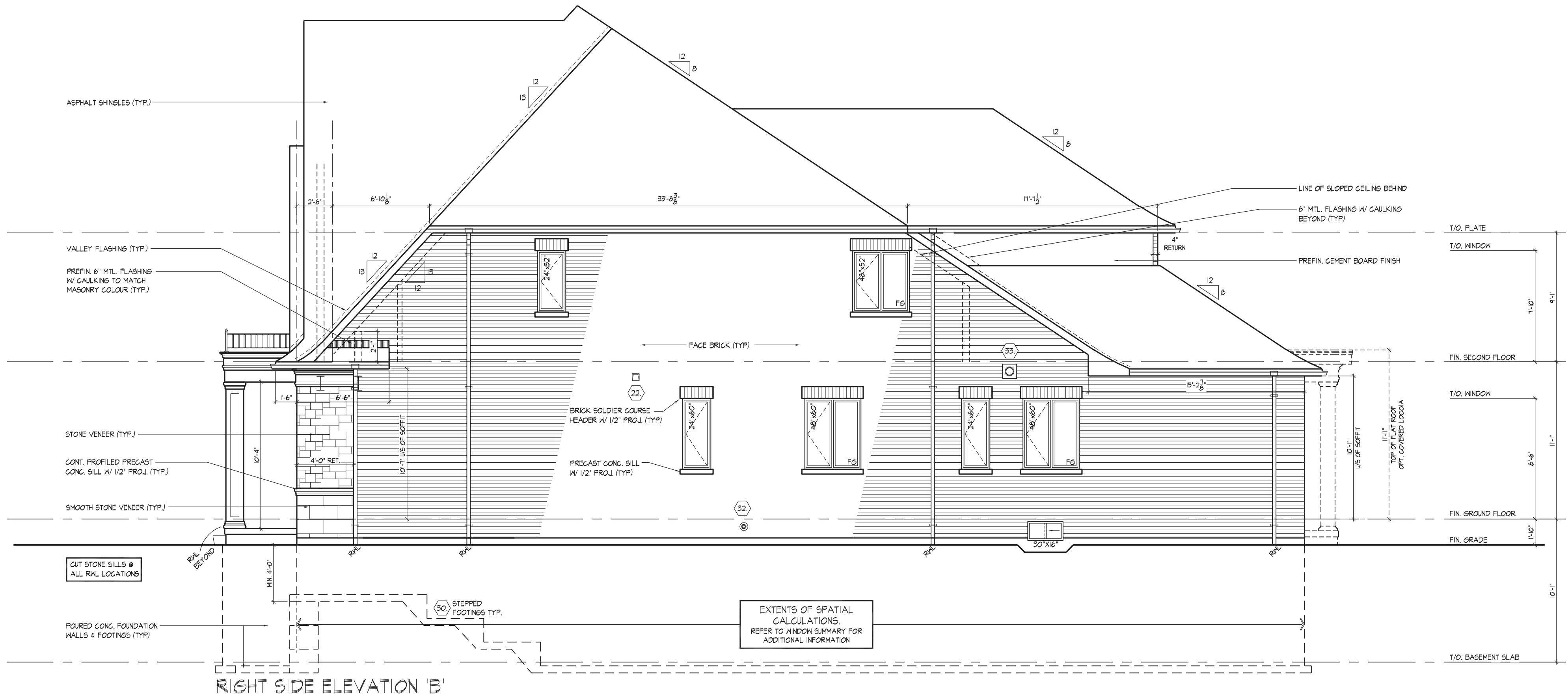
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REFER TO FRONT  
ELEVATION FOR TYPICAL  
NOTES & INFORMATION

ROOF OVERHANGS TO BE 15"  
UNLESS NOTED OTHERWISE

WINDOW SUMMARY				
PER O.B.C. TABLE 9.10.15.4				
RIGHT SIDE ELEVATION B				
QTY	UNIT	DEPTH	WINDOW / DOOR	FRAME SIZE (S.F.)
1	24"	52"		6.87
1	48"	52"		14.67
2	24"	80"		15.36
2	48"	80"		34.27
1	30"	16"		2.17
0	0"	0"		0.00
0	0"	0"		0.00
0	0"	0"		0.00
0	0"	0"		0.00
0	0"	0"		0.00
0	0"	0"		0.00
0	ARCH			0.00
0	ARCH			0.00
0	ARCH			0.00
0	ARCH			0.00
SPATIAL CALCULATION				
EXPOSING BUILDING	1540.20	S.F.		
FACE AREA	143.09	S.M.		
PORTION WALL AREA	1540.20	S.F.		
	143.09	S.M.		
LIMITING DISTANCE	12 m			
MAX. % OPENINGS	%			
OPENINGS ALLOWED	107.81	S.F.		
OPENINGS PROVIDED	73.28	S.F.		
ADDITIONAL NOTES				
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER				



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APPROVED BY:   
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QUALIFICATION INFORMATION  
Albin Whiting  
SIGNATURE:   
REGISTRATION INFORMATION  
HUNT DESIGN ASSOCIATES INC.  
19895

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GOLDPARK HOMES - 221081  
PINE VALLEY PH. 2, VAUGHAN, ONT.  
Drawn By: JMc  
Checked By: AW  
Scale: 3/16"=1'-0"  
8966 Woodbine Ave, Markham, ON L3R 0J7  
T 905.737.5133 F 905.737.7326

RIGHT SIDE ELEVATION 'B'  
THE OAKWOOD - UNIT 5010  
REV.2022.08.05

File Number: 217020WS5006  
Page Number: 13 of 18

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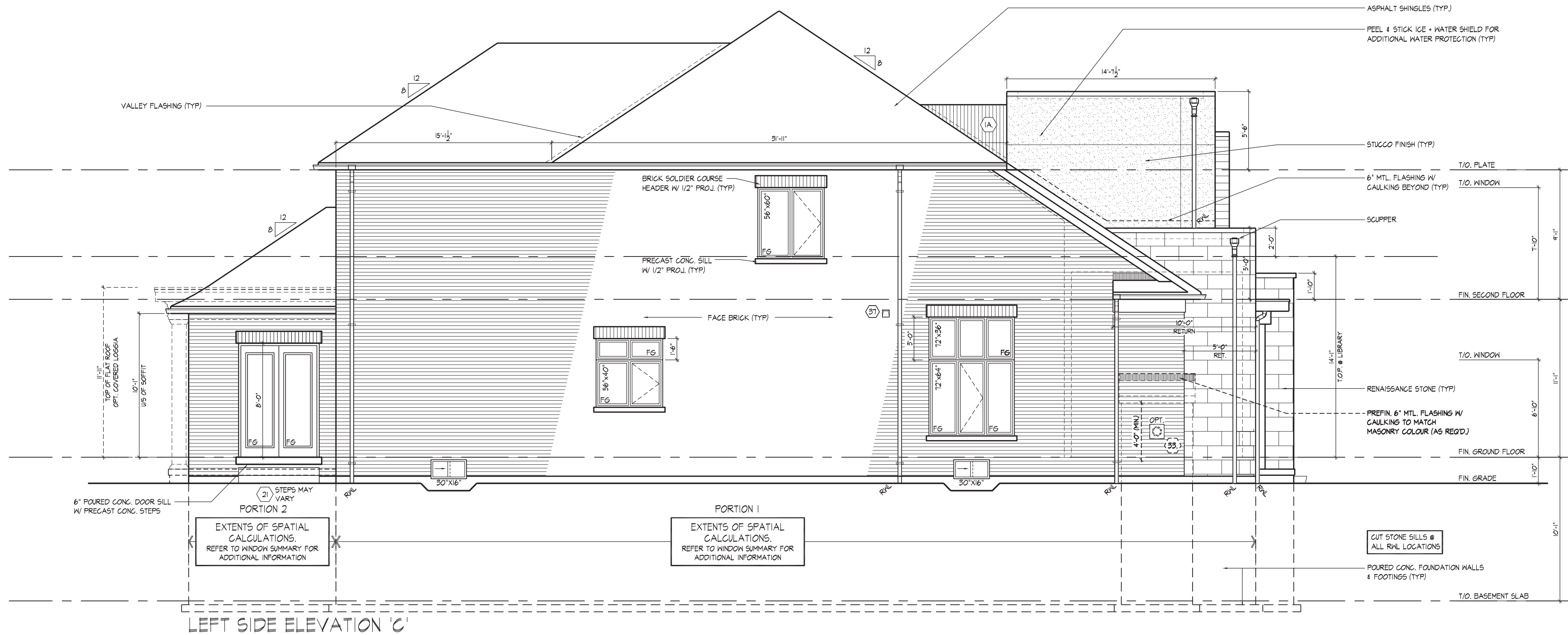


REFER TO FRONT  
ELEVATION FOR TYPICAL  
NOTES & INFORMATION

ROOF OVERHANGS TO BE '5"  
UNLESS NOTED OTHERWISE

WINDOW SUMMARY			
PER O.B.C. TABLE 9.10.15.4			
LEFT SIDE ELEVATION C PORT. 1			
QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)
1	56"	60"	20.22
1	56"	40"	13.00
1	56"	18"	5.06
1	72"	64"	28.33
1	72"	36"	15.11
1	30"	18"	2.17
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
1	ARCH	0.00	0.00
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00
SPATIAL CALCULATION			
EXPOSING BUILDING	1565.60	S.F.	
FACE AREA	145.45	S.M.	
PORTION WALL AREA	1565.60	S.F.	
LIMITING DISTANCE	145.45	S.M.	
MAX. % OPENINGS	7	%	
OPENINGS ALLOWED	109.59	S.F.	
OPENINGS PROVIDED	63.89	S.F.	
ADDITIONAL NOTES			
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER			

WINDOW SUMMARY			
PER O.B.C. TABLE 9.10.15.4			
LEFT SIDE ELEVATION C PORT. 2			
QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
1	FRENCH DR.	41.80	41.80
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00
SPATIAL CALCULATION			
EXPOSING BUILDING	1565.60	S.F.	
FACE AREA	145.45	S.M.	
PORTION WALL AREA	1565.60	S.F.	
LIMITING DISTANCE	145.45	S.M.	
MAX. % OPENINGS	7	%	
OPENINGS ALLOWED	109.59	S.F.	
OPENINGS PROVIDED	44.80	S.F.	
ADDITIONAL NOTES			
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER			



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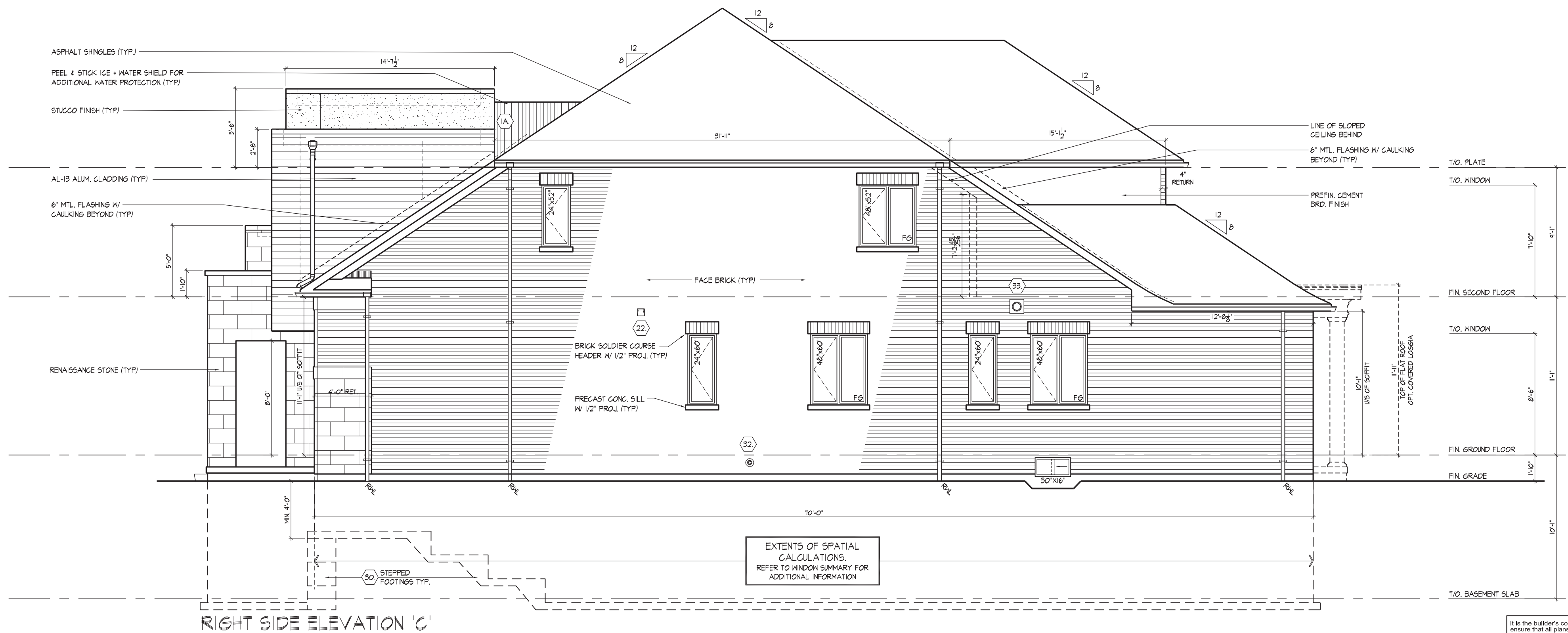
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QUALIFICATION INFORMATION  
Alban Whiting  
SIGNATURE:   
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REGISTRATION INFORMATION  
BCIN  
23177  
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GOLDPARK HOMES - 221081  
PINE VALLEY PH. 2, VAUGHAN, ONT.  
Drawn By: JMc  
Checked By: AW  
Scale: 3/16"=1'-0"  
8966 Woodbine Ave, Markham, ON L3R 0J7  
T 905.737.5133 F 905.737.7326

LEFT SIDE ELEVATION 'C'  
THE OAKWOOD - UNIT 5010  
REV.2022.08.05  
File Number: 217020WSS006  
Page Number: 15 of 18

WINDOW SCHEDULE				
FWR O.E.C. TABLE 8.10.15.4				
RIGHT SIDE ELEVATION C				
QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	
1	24"	52"	1.67	
1	48"	62"	4.67	
2	24"	60"	15.56	
2	30"	60"	24.22	
1	48"	16"	3.11	
0	0"	0"	0.00	
0	0"	0"	0.00	
0	0"	0"	0.00	
0	0"	0"	0.00	
0	ARCH	0.00	0.00	
0	ARCH	0.00	0.00	
0	ARCH	0.00	0.00	
0	ARCH	0.00	0.00	
SPATIAL CALCULATION				
EXPOSING BUILDING FACE AREA		1540.20	S.F.	
		143.09	S.F.	
PORTION WALL AREA		1540.20	S.F.	
		143.09	S.F.	
LIMITING DISTANCE		7	12 m	
MAX % OPENINGS			%	
OPENINGS ALLOWED		107.81	S.F.	
OPENINGS PROVIDED		73.28	S.F.	
ADDITIONAL NOTES				
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER				



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**JOHN G. WILLIAMS LTD., ARCHITECT**  
ARCHITECTURAL CONCEPT REVIEW  
AND APPROVAL

APPROVED BY: [Signature]  
DATE: AUG 08, 2022

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CODE TO BE A DESIGNER  
QUALIFICATION INFORMATION  
Allan Whiting

NAME	SIGNATURE	BC
REGISTRATION INFORMATION		

HUNT DESIGN ASSOCIATES INC. 1963

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**GOLDPARK HOMES - 221081**  
PINE VALLEY PH. 2, VAUGHAN, ONT.

Drawn By JMC      Checked By AW      Scale 3/16"=1'-0"

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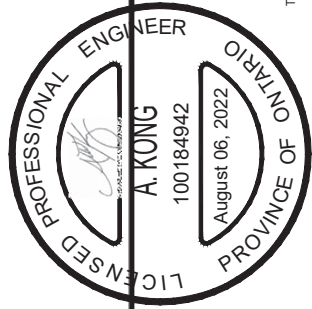
**RIGHT SIDE ELEVATION 'C'**  
**THE OAKWOOD - UNIT 5010**  
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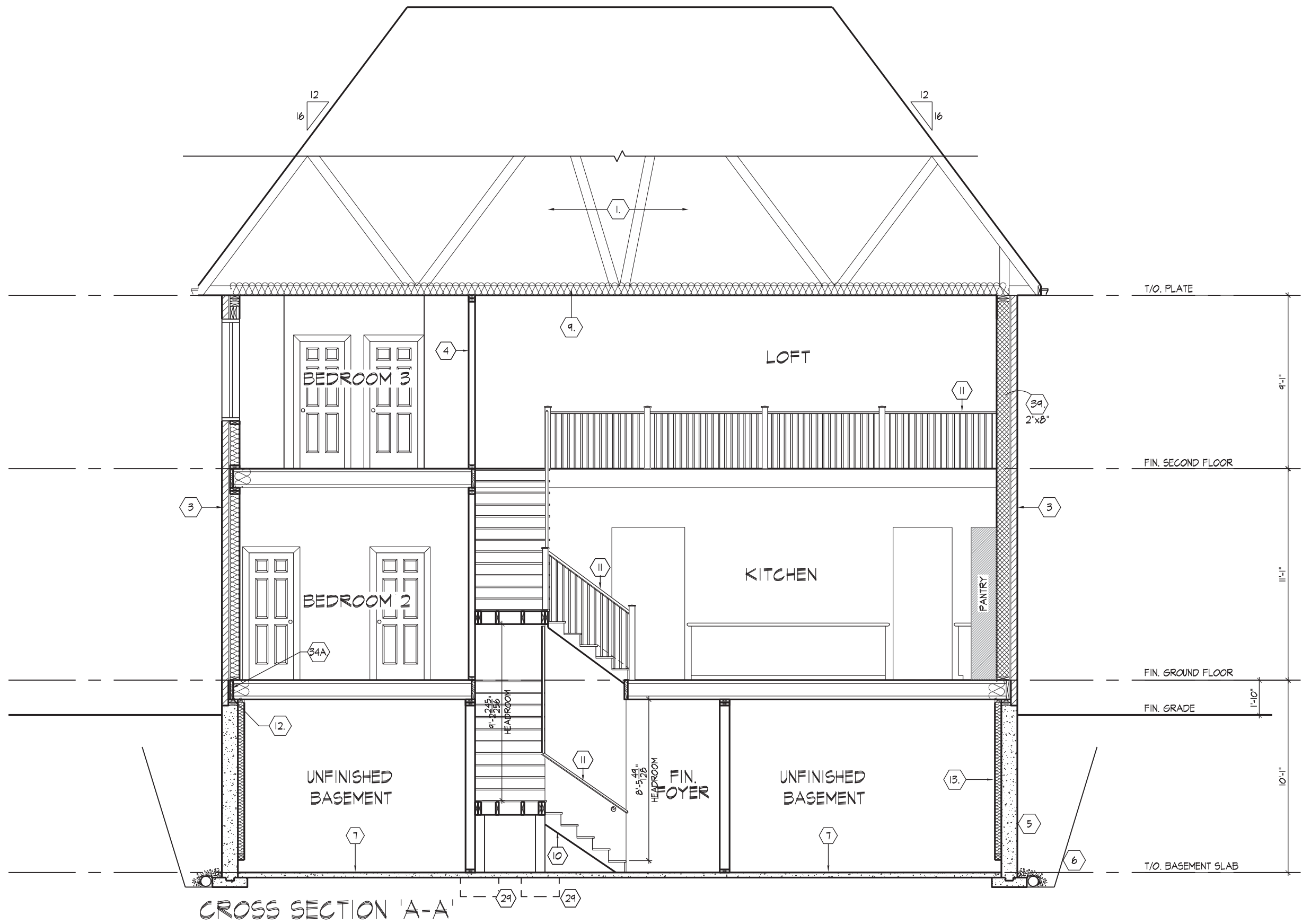
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100 COMMERCE VALLEY DR. W.  
THIRD FLOOR  
100184942  
TEL: 1-905-882-4774 FAX: 1-905-882-0000 WWW.WSP.CA

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CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION

Albin Whiting

Signature

23177

NAME

BCIN

REGISTRATION INFORMATION

19995

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**GOLDPARK HOMES - 221081**  
**THE OAKWOOD - UNIT 5010**  
PINE VALLEY PH. 2, VAUGHAN, ONT.

Drawn By  
JMc

Checked By  
AW

Scale  
3/16"=1'-0"

File Number  
217020WS5006

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17 of 18

**CROSS SECTION 'A-A'**

**THE OAKWOOD - UNIT 5010**

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## SECTION 1.0. CONSTRUCTION NOTES

- 1 ROOF CONSTRUCTION** (9.19, 9.23.13, 9.23.15)  
NO. 210 (10.25 KG/M2) ASPHALT SHEET, 3/8" (9.5) PLYWOOD SHEATHING WITH 1/4" CURS, APPROVED WOOD TRUSSES @ 24" (610) O.C. MAX. APPROVED EAVES PROTECTION TO EXTEND 2'-11" (900) FROM EDGE OF ROOF AND MIN. 12" (305) BEYOND INTERIOR WALL. 2X4(38x89) TRUSS BRACING @ 6'-4" (193) ON PEEL, AND 2'-11" (889) HORIZONTAL. FILL VOID WITH METAL EAVESTROUGH, FASCO, R4 & VENTED SOFFIT. ATTIC VENTILATION 1:300 OF INSULATED CEILING AREA WITH MIN. 25% OR REQUIRED OPENINGS LOCATED AT TOP OF SPACE & MIN. 25% OF REQUIRED OPENINGS LOCATED AT BOTTOM OF SPACE. EAVESTROUGH TO BE SECURED TO EAVESTROUGH ON TOP OF CONCRETE FLASH PADS OR PER MUNICIPAL REQUIREMENTS, TOWNHOUSES TO HAVE 5" MIN. EAVESTROUGH WITH ELEC. TRACED HEATER CABLE ALONG EAVESTROUGH AND DOWN R/WL.
- 1A ICE AND WATER SHIELD**  
PROVIDE ICE AND WATER SHIELD IN THE AREAS INDICATED. THE ICE AND WATER SHIELD SHALL BE A SELF-ADHERING AND SELF-SEALING MEMBRANE. SIDE LAPS MUST BE A MINIMUM 3 1/2" (90) AND END LAPS A MINIMUM 6" (152) AND TO EXTEND UP DOWNER WALLS A MINIMUM 12" (305).
- 1B PROFILED ROOF TRUSSES**  
ROOF TRUSSES SHALL BE PROFILED AND/OR STEPPED AT RAISED COPPERFRAY CEILINGS. ANGLED TRAY CEILINGS WILL BE SHEATHED W/ 3/8" (9.5) PLYWOOD.
- 2 SIDING WALL CONSTRUCTION (2'x6")**  
SIDING MATERIAL AS PER ELEVATION ATTACHED TO FRAMING MEMBERS. FURRING MEMBERS OR BLOCKING BETWEEN THE FRAMING MEMBERS ON APPROVED SHEATHING PAPER ON 3/8" (9.5) EXT. GRADE SHEATHING ON STUDS CONFORMING TO O.B.C. (9.23.10.1) & SECTION 1.1. INSULATION, APPROVED 6 MIL POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INTERIOR FINISH. (GYPSUM SHEATHING, RIGID INSULATION, AND FIBERBOARD SHALL NOT BE USED FOR THE ATTACHMENT OF SIDING (9.23.16.3.1.1) (REFER TO 35 NOTE AS REQ.)
- 2A SIDING WALL CONSTRUCTION (2'x6") w/ CONTIN. INSULATION**  
SIDING MATERIAL AS PER ELEVATION ATTACHED TO FURRING MEMBERS ON APPROVED AIRWATER BARRIER AS PER O.B.C. 9.27.3. ON EXTERIOR TYPE RIGID INSULATION JOINTS UNTAPED. MECHANICALLY FASTENED AS PER MANUFACTURERS SPECIFICATIONS ON 3/8" (9.5) EXT. GRADE SHEATHING ON STUDS CONFORMING TO O.B.C. (9.23.10.1) & SECTION 1.1. INSULATION, APPROVED 6 MIL POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INT. FIN. (GYPSUM SHEATHING, RIGID INSULATION, AND FIBERBOARD SHALL NOT BE USED FOR THE ATTACHMENT OF SIDING (9.23.16.3.1.1) (REFER TO 35 NOTE AS REQ.)
- 2B SIDING WALL @ GARAGE CONSTRUCTION**  
SIDING MATERIAL AS PER ELEVATION ATTACHED TO FRAMING MEMBERS. FURRING MEMBERS OR BLOCKING BETWEEN THE FRAMING MEMBERS ON APPROVED SHEATHING PAPER ON 3/8" (9.5) EXTERIOR TYPE SHEATHING ON STUDS CONFORMING TO O.B.C. (9.23.10.1) & SECTION 1.1. INSULATION, APPROVED 6 MIL POLYETHYLENE VAPOUR BARRIER WITH APPROVED CONTIN. AIR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INTERIOR FINISH. PROVIDE WEEP HOLES @ 32" (800) O.C. BOTTOM COURSE AND OVER OPENINGS. PROVIDE BASE FLASHING UP MIN. 6" (152) BEHIND BUILDING PAPER (9.20.13.6) (REFER TO 35 NOTE AS REQUIRED)
- 3 BRICK VENEER WALL CONSTRUCTION (2'x6")**  
3 1/2" (90) BRICK VENEER 1" (25) AIR SPACE, 7/8"x7"x0.03" (22x180x76) GALV. METAL TIES @ 16" (406) O.C. HORIZ. 24" (610) O.C. VERT. BONDING AND FASTENING FOR TIES TO CONFORM WITH 9.20.9. ON APPROVED SHEATHING PAPER, 3/8" (9.5) EXTERIOR TYPE SHEATHING, STUDS CONFORMING TO O.B.C. (9.23.10.1) & SECTION 1.1. INSULATION AND 6 MIL POLYETHYLENE VAPOUR BARRIER WITH APPROVED CONTIN. AIR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INTERIOR FINISH. PROVIDE WEEP HOLES @ 32" (800) O.C. BOTTOM COURSE AND OVER OPENINGS. PROVIDE BASE FLASHING UP MIN. 6" (152) BEHIND BUILDING PAPER (9.20.13.6) (REFER TO 35 NOTE AS REQUIRED)
- 3A BRICK VENEER WALL CONSTRUCTION (2'x6") w/ CONTIN. INSULATION**  
3 1/2" (90) BRICK VENEER 1" (25) AIR SPACE, 7/8"x7"x0.03" (22x180x76) GALV. METAL TIES @ 16" (406) O.C. HORIZ. 24" (610) O.C. VERT. BONDING AND FASTENING FOR TIES TO CONFORM WITH 9.20.9. ON APPROVED AIRWATER BARRIER AS PER O.B.C. 9.27.3. ON EXTERIOR TYPE RIGID INSULATION JOINTS UNTAPED. MECHANICALLY FASTENED AS PER MANUFACTURERS SPECIFICATIONS, ON 3/8" (9.5) EXTERIOR TYPE SHEATHING, STUDS CONFORMING TO O.B.C. (9.23.10.1) & SECTION 1.1. INSULATION AND 6 MIL POLYETHYLENE VAPOUR BARRIER WITH APPROVED CONTIN. AIR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INTERIOR FINISH. PROVIDE WEEP HOLES @ 32" (800) O.C. BOTTOM COURSE AND OVER OPENINGS. PROVIDE BASE FLASHING UP MIN. 6" (152) BEHIND BUILDING PAPER (9.20.13.6) (REFER TO 35 NOTE AS REQUIRED)
- 3B BRICK VENEER WALL @ GARAGE CONSTRUCTION**  
3 1/2" (90) BRICK VENEER, MIN. 1" (25) AIR SPACE, 7/8"x7"x0.03" (22x180x76) GALV. METAL TIES @ 16" (406) O.C. HORIZ. 24" (610) O.C. VERT. BONDING AND FASTENING FOR TIES TO CONFORM WITH 9.20.9. ON APPROVED SHEATHING PAPER, 3/8" (9.5) EXTERIOR TYPE SHEATHING ON STUDS CONFORMING TO O.B.C. (9.23.10.1) & SECTION 1.1. INSULATION AND 6 MIL POLYETHYLENE VAPOUR BARRIER WITH APPROVED CONTIN. AIR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INTERIOR FINISH. PROVIDE WEEP HOLES @ 32" (800) O.C. AT BOTTOM COURSE AND OVER OPENINGS. PROVIDE BASE FLASHING UP (150) MIN. BEHIND BUILDING PAPER (9.20.13.6) (REFER TO 35 NOTE AS REQ.)

- 4 INTERIOR STUD PARTITIONS** (9.23.8.5, 9.23.10)  
BEARING PARTITIONS SHALL BE A MINIMUM 2'x4" (38x89) @ 16" (406) O.C. FOR 2 STORY AND 1 1/2" (381) PARTITIONS. NON-BEARING PARTITIONS 2'x4" (38x89) @ 24" (610) O.C. PROVIDE 2'x4" (38x89) BOTTOM PLATE AND 2'x4" (38x89) TOP PLATE, 1/2" (12.7) INT. DRYWALL, BOTH SIDES OF STUDS. PROVIDE 2'x6" (38x140) STUDS WHERE NOTED. PROVIDE 2'x4" (38x89) @ 24" (610) O.C. LADDER FRAMING WHERE WALLS REQUIRE PERPENDICULAR TO ONE ANOTHER. PROVIDE 2'x4" (38x89) WOOD BLOCKING ON FLAT @ 3'-11" (1194) O.C. MAX. BETWEEN FLOOR JOISTS WHEN NON-LOADBEARING WALLS ARE PARALLEL TO FLOOR JOISTS.
- 4A EXT. LOFT WALL CONSTRUCTION (2'x6") - NO CLADDING**  
3/8" (9.5) EXTERIOR TYPE SHEATHING, STUDS CONFORMING TO O.B.C. (9.23.10.1) & SECTION 1.1. INSULATION AND 6 MIL POLYETHYLENE VAPOUR BARRIER WITH APPROVED CONTIN. AIR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (9.23)
- 4B EXT. LOFT WALL CONSTRUCTION (2'x6") NO CLADDING w/ CONTINUOUS INSULATION**  
APPROVED AIRWATER BARRIER AS PER O.B.C. 9.27.3. ON EXTERIOR TYPE RIGID INSULATION JOINTS UNTAPED. MECHANICALLY FASTENED AS PER MANUFACTURERS SPECIFICATIONS, ON 3/8" (9.5) EXTERIOR TYPE SHEATHING, STUDS CONFORMING TO O.B.C. (9.23.10.1) & SECTION 1.1. INSULATION AND 6 MIL POLYETHYLENE VAPOUR BARRIER WITH APPROVED CONT. AIR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (9.23)

- 5 FOUNDATION WALL/FOOTINGS**  
POURED CONC. FOUNDATION WALLS AS PER CHART ON CONTINUOUS KEYED CONCRETE FOOTING. FOUNDATION WALLS SHALL EXTEND NOT LESS THAN 6" (152) ABOVE FINISHED GRADE. THE OUTSIDE OF THE FOUNDATION SHALL BE DAMPROOFED FROM THE TOP OF THE FOOTING TO FINISHED GRADE AND BRUSH COAT FROM THE TOP TO 2" BELOW GRADE. PROVIDE A DRAINAGE LAYER ON THE OUTSIDE OF THE FOUNDATION WALL. SEAL THE DRAINAGE LAYER AT THE TOP. THE TOP OF THE CONC. FOOTING SHALL BE DAMPROOFED. CONCRETE FOOTINGS SUPPORTING JOIST SPANS GREATER THAN 16'-1" (4903) SHALL BE SIZED IN ACCORDANCE WITH 9.15.3.4 (1) (2) OF THE O.B.C. (REFER TO CHART BELOW FOR RESPECTIVE SIZE). BRACE FOUNDATION WALLS PRIOR TO BACKFILLING. ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OF 125kPa S.L.S. OR COMPACTED ENGINEERED FILL WITH MIN. BEARING CAPACITY OF 125kPa S.L.S. IF SOIL BEARING DOES NOT MEET MINIMUM CAPACITY, ENGINEERED FOOTINGS ARE REQUIRED. ACTUAL SOIL BEARING CAPACITY TO BE VERIFIED WITH SOIL ENGINEERING REPORT.
- REFER TO CONSTRUCTION DRAWINGS AND DETAILS FOR FOUNDATION WALL STRENGTH AND THICKNESS AND 9.15.4.
- FOUNDATION WALLS SHALL NOT EXCEED 9'-10" (3.0m) IN UNSUPPORTED HEIGHT UNLESS OTHERWISE NOTED. (9.15.4.2.1.1)

UNREINFORCED SOLID CONCRETE FOUNDATION WALLS (9.15.4.2.2)	MAX. HEIGHT FROM FIN. SLAB TO GRADE			
	UNSUPPORTED	SUPPORTED AT TOP	SUPPORTED AT TOP	SUPPORTED AT TOP
16" MIN. STRENGTH				
10"	3'-11" (1.20m)	2'-5m (2.15m)	2'-5m (2.15m)	2'-5m (2.15m)
12"	4'-7" (1.40m)	7'-6" (2.30m)	7'-6" (2.30m)	7'-6" (2.30m)
14"	4'-7" (1.40m)	7'-6" (2.30m)	7'-6" (2.30m)	7'-6" (2.30m)
16"	4'-7" (1.40m)	7'-6" (2.30m)	7'-6" (2.30m)	7'-6" (2.30m)
18"	4'-7" (1.40m)	7'-6" (2.30m)	7'-6" (2.30m)	7'-6" (2.30m)
20"	4'-7" (1.40m)	7'-6" (2.30m)	7'-6" (2.30m)	7'-6" (2.30m)
22"	4'-7" (1.40m)	7'-6" (2.30m)	7'-6" (2.30m)	7'-6" (2.30m)
24"	4'-7" (1.40m)	7'-6" (2.30m)	7'-6" (2.30m)	7'-6" (2.30m)
26"	4'-7" (1.40m)	7'-6" (2.30m)	7'-6" (2.30m)	7'-6" (2.30m)
28"	4'-7" (1.40m)	7'-6" (2.30m)	7'-6" (2.30m)	7'-6" (2.30m)
30"	4'-7" (1.40m)	7'-6" (2.30m)	7'-6" (2.30m)	7'-6" (2.30m)

\* 9" MIN. THICK FOUNDATION WALL IS REQUIRED FOR MASONRY VENEER FINISHED EXTERIOR WALLS WITH CONTINUOUS INSULATION CONDITION. TO PROVIDE MIN. BEARING FOR SILL PLATES, BEAMS AND FLOOR JOIST AS PER 9.23.7.2, 9.23.8.1, & 9.23.9.1.1 OF THE O.B.C.

MINIMUM STRIP FOOTING SIZES (9.15.3)	MINIMUM STRIP FOOTING SIZES (9.15.3)			
	SUPPORTING MASONRY WALLS	SUPPORTING EXTERIOR	SUPPORTING PARTI-WALL	SUPPORTING PARTI-WALL
1	16" WIDE x 6" THICK	16" WIDE x 6" THICK	16" WIDE x 6" THICK	16" WIDE x 6" THICK
2	24" WIDE x 8" THICK	20" WIDE x 8" THICK	24" WIDE x 8" THICK	24" WIDE x 8" THICK
3	36" WIDE x 14" THICK	28" WIDE x 9" THICK	36" WIDE x 14" THICK	36" WIDE x 14" THICK

## REFER TO SB-12 ENERGY EFFICIENCY DESIGN MATRIX ON THE TITLE PAGE FOR ALL VALUES AS REQUIRED PER 3.1.1., 3.1.2., 3.1.3. OF THE OBC.

- 5A FOUNDATION REDUCTION IN THICKNESS FOR MASONRY**  
WHERE THE TOP OF THE FOUNDATION WALL IS REDUCED IN THICKNESS TO PERMIT THE INSTALLATION OF MASONRY EXTERIOR FACING, THE REDUCED SECTION SHALL BE NOT LESS THAN 3 1/2" (90) THICK. THE BRICK VENEER SHALL BE TIED TO THE FOUNDATION WALL WITH CORROSION RESISTANT METAL TIES @ 7/8" (20) VERTICAL AND 2'-11" (889) HORIZONTAL. FILL VOID WITH METAL EAVESTROUGH, FASCO, R4 & VENTED SOFFIT. ATTIC VENTILATION 1:300 OF INSULATED CEILING AREA WITH MIN. 25% OR REQUIRED OPENINGS LOCATED AT TOP OF SPACE & MIN. 25% OF REQUIRED OPENINGS LOCATED AT BOTTOM OF SPACE. EAVESTROUGH TO BE SECURED TO EAVESTROUGH ON TOP OF CONCRETE FLASH PADS OR PER MUNICIPAL REQUIREMENTS, TOWNHOUSES TO HAVE 5" MIN. EAVESTROUGH WITH ELEC. TRACED HEATER CABLE ALONG EAVESTROUGH AND DOWN R/WL.
- 5B FOUNDATION REDUCTION IN THICKNESS FOR JOISTS**  
WHERE THE TOP OF THE FOUNDATION WALL IS REDUCED IN THICKNESS TO PERMIT THE INSTALLATION OF FLOOR JOISTS, THE REDUCED SECTION SHALL BE NOT MORE THAN 13 3/4" (350) HIGH AND NOT LESS THAN 3 1/2" (90) THICK (9.15.4.7.1)
- 6 WEEPING TILE** (9.14.3)  
4" (100) Ø WEEPING TILE W/ FLT. CLOTH WRAP & 6" (152) CRUSHED STONE COVER (9.16.4), (9.13)
- 7 BASEMENT SLAB OR SLAB ON GRADE** (9.16.4), (9.13)  
3" (80) MIN. 25MPa (3600psi) CONC. SLAB ON 4" (100) COARSE GRANULAR FILL OR 20MPa (2900psi) CONC. WITH DAMPROOFING BELOW SLAB. PROVIDE 1/2" (12.7) IMPERVIOUS BOARD FOR BOND BREAK AT EDGE. WHERE A BASEMENT SLAB IS WITHIN 24" (610) OF THE EXTERIOR GRADE PROVIDE RIGID SLAB AROUND THE PERIMETER EXTENDING MIN. 24" (610) BEYOND GRADE. FOR SLAB ON GRADE CONDITIONS RIGID INSULATION SHALL BE APPLIED TO THE UNDERSIDE OF THE ENTIRE SLAB. (SB-12) 3.1.1.7.5 (6) & (6)
- 8 EXPOSED FLOOR TO EXTERIOR** (9.10.17.1, & CANULC-S705.2)  
PROVIDE SPRAY FOAM INSULATION BETWEEN CONT. JOIST AND INSTALL OSB CONFIRMING TO 9.29.3. FIN. SOFFT OR CLADDING AS PER ELEVATION TO US OF EXPOSED CANT. JOIST.
- 9 EXPOSED CEILING TO EXTERIOR w/ ATTIC** (9.25.2.4)  
INSULATION & 6 MIL POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM BOARD INTERIOR FINISH OR APPROVED EAVESTROUGH, FASCO, R4 & VENTED SOFFIT. ATTIC VENTILATION 1:300 OF INSULATED CEILING AREA WITH MIN. 25% OR REQUIRED OPENINGS LOCATED AT TOP OF SPACE & MIN. 25% OF REQUIRED OPENINGS LOCATED AT BOTTOM OF SPACE. EAVESTROUGH TO BE SECURED TO EAVESTROUGH ON TOP OF CONCRETE FLASH PADS OR PER MUNICIPAL REQUIREMENTS, TOWNHOUSES TO HAVE 5" MIN. EAVESTROUGH WITH ELEC. TRACED HEATER CABLE ALONG EAVESTROUGH AND DOWN R/WL.
- 10 EXPOSED CEILING TO EXTERIOR w/o ATTIC**  
INSULATION & 6 MIL POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM BOARD INTERIOR FINISH OR APPROVED EAVESTROUGH, FASCO, R4 & VENTED SOFFIT. ATTIC VENTILATION 1:300 OF INSULATED CEILING AREA WITH MIN. 25% OR REQUIRED OPENINGS LOCATED AT TOP OF SPACE & MIN. 25% OF REQUIRED OPENINGS LOCATED AT BOTTOM OF SPACE. EAVESTROUGH TO BE SECURED TO EAVESTROUGH ON TOP OF CONCRETE FLASH PADS OR PER MUNICIPAL REQUIREMENTS, TOWNHOUSES TO HAVE 5" MIN. EAVESTROUGH WITH ELEC. TRACED HEATER CABLE ALONG EAVESTROUGH AND DOWN R/WL.
- 11 EXPOSED CEILING TO EXTERIOR w/ ATTIC**  
INSULATION & 6 MIL POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM BOARD INTERIOR FINISH OR APPROVED EAVESTROUGH, FASCO, R4 & VENTED SOFFIT. ATTIC VENTILATION 1:300 OF INSULATED CEILING AREA WITH MIN. 25% OR REQUIRED OPENINGS LOCATED AT TOP OF SPACE & MIN. 25% OF REQUIRED OPENINGS LOCATED AT BOTTOM OF SPACE. EAVESTROUGH TO BE SECURED TO EAVESTROUGH ON TOP OF CONCRETE FLASH PADS OR PER MUNICIPAL REQUIREMENTS, TOWNHOUSES TO HAVE 5" MIN. EAVESTROUGH WITH ELEC. TRACED HEATER CABLE ALONG EAVESTROUGH AND DOWN R/WL.

- 12 SILL PLATES**  
2'x4" (38x89) SILL PLATE WITH 1/2" (12.7) Ø ANCHOR BOLTS 8" (200) LONG. EMBEDDED MIN. 4" (100) INTO CONC. @ 4'-0" (1219) O.C. CALLING OR GASKET BETWEEN SILL PLATE AND TOP OF FOUNDATION WALL. USE NON-SHRINK GROUT TO LEVEL SILL PLATE WHEN REQUIRED (9.23.7)
- 13 BASEMENT INSULATION** (SB-12) 3.1.1.7.1  
PROVIDE CONTINUOUS BLANKET INSULATION W/ BUILT IN 6 MIL POLYETHYLENE VAPOUR BARRIER. INSULATION TO EXTEND NO MORE THAN 8" (200) ABOVE FINISHED BASEMENT FLOOR. DAMPROOFING WITH FLUSH PAPER BETWEEN THE FOUNDATION WALL AND INSULATION UP TO GRADE LEVEL.
- 14 BEARING STUD PARTITION IN BASEMENT** (9.15.3.6, 9.23.10.1)  
2'x4" (38x89) STUDS @ 16" (406) O.C. 2'x4" (38x89) SILL PLATE (2'x6" (38x140) AS REQUIRED) ON DAMPROOFING MATERIAL OR 6 MIL POLYETHYLENE FILM, 1/2" (12.7) Ø ANCHOR BOLTS @ 200" LONG. EMBEDDED 4" (100) MIN. INTO CONC. @ 4'-0" (1219) O.C. OR 1" (25) HIGH CONC. FOOTING. FOR SIZE REFER TO HEX NOTE 5. ADD HORIZ. BLOCKING AT MID-HEIGHT IF WALL IS UNFINISHED.
- 15 ADJUSTABLE STEEL BASEMENT COLUMN** (9.15.3.4)  
9'-10" (3000) MAX. SPAN BETWEEN COLUMNS, 3 1/2" (90) Ø SINGLE TUBE ADJUSTABLE STEEL COLUMN CONFORMING TO CAN/C687-2M AND WITH 6'x6"x18" (152x152x56) STEEL PLATE TOP & BOTTOM. RIGID BASEMENT COLUMN CONNECTION. REQUIRED CONCRETE FOOTING ON NATURAL UNDISTURBED SOIL OF 125kPa S.L.S. OR COMPACTED ENGINEERED FILL WITH MIN. BEARING CAPACITY OF 125kPa S.L.S. AS PER SOILS REPORT.

- 15A NON-ADJUSTABLE STEEL BASEMENT COLUMN**  
3 1/2" (90) Ø x 0.188" (4.78) NON-ADJUSTABLE STEEL COLUMN WITH 6'x6"x3/8" (152x152x56) STEEL PLATE TOP & BOTTOM. BOTTOM PLATE CW 2 1/2"x 12" LONGx2" HOOK ANCHORS. FIELD WELD BASEMENT COLUMN CONNECTION. POURED CONCRETE FOOTING ON NATURAL UNDISTURBED SOIL OF 125kPa S.L.S. OR COMPACTED ENGINEERED FILL WITH MIN. BEARING CAPACITY OF 125kPa S.L.S. AS PER SOILS REPORT.
- 15B NON-ADJUSTABLE STL. COLUMN AT FOUNDATION WALL**  
3 1/2" (90) Ø x 0.188" (4.78) NON-ADJUSTABLE STEEL COLUMN WITH 6'x6"x3/8" (152x152x56) STEEL TOP PLATE & 6'x4"x3/8" (152x109x5) BOTTOM PLATE. BASE PLATE 4'-12"x10"x1/2" (120x250x12.7) WITH 2-1/2"x 12"x 1/2" LONG x 2" HOOK ANCHORS @ 2'-0" (610) O.C. OR 1" (25) HIGH CONC. FOOTING. FOR SIZE REFER TO HEX NOTE 5. ADD HORIZ. BLOCKING AT MID-HEIGHT IF WALL IS UNFINISHED.

- 16 STEEL BEAM BEARING AT FOUNDATION WALL** (9.23.8.1)  
BEAM BEARING OR 8"x8" (200x200) POURED CONC. NID WALLS. MIN. BEARING 3' (91) O.C. CONC. NID WALLS TO HAVE EXTENDED FOOTINGS.
- 17 WOOD STRAPPING AT STEEL BEAMS** (9.23.4.3.3), (9.23.9.3)  
1"x2" (19x64) CONTIN. WOOD STRAPPING BEHIND SIDES OF STEEL BEAM.
- 18 GARAGE SLAB** (9.16, 9.35)  
4" (100) 32MPa (4640psi) CONC. SLAB WITH 5-8" AIR ENTRAINMENT ON OPT. 4" (100) COARSE GRANULAR FILL WITH COMPACTED SUB-BASE OR COMPACTED SUBGRADE (9.10.16.6)
- 19 GARAGE TO HOUSE WALLS/CEILING** (9.10.16.6)  
1/2" (12.7) GYPSUM BOARD ON WALL AND CEILING BETWEEN HOUSE AND GARAGE. PLUS REQUIRED INSULATION IN WALLS AND SPRAY FOAM FOR CEILINGS. TAPE AND SEAL ALL JOINTS GAS TIGHT. (9.10.17.10, CANULC-S705.2)
- 19A GARAGE TO HOUSE WALLS/CEILING w/ CONTIN. INSULATION**  
1/2" (12.7) GYPSUM BOARD ON CEILING AND ON WALLS INSTALLED OVER EXTERIOR TYPE RIGID INSULATION JOINTS UNTAPED. MECHANICALLY FASTENED AS PER MANUFACTURERS SPECIFICATIONS ON 3/8" (9.5) EXTERIOR GRADE SHEATHING ON STUDS BETWEEN HOUSE AND GARAGE. PLUS REQUIRED INSULATION IN WALLS & SPRAY FOAM FOR CEILINGS. TAPE AND SEAL ALL JOINTS GAS TIGHT. (9.10.16.6, 9.10.17.10, CANULC-S705.2)

- 20 GARAGE DOOR TO HOUSE** (9.10.9.16, 9.10.13.10, 9.10.13.15)  
GAS-PROOF DOOR AND FRAME. DOOR EQUIPPED WITH SELF CLOSING DEVICE AND WEATHER STRIPPING.
- 21 EXTERIOR AND GARAGE STEPS**  
PRECAST CONC. STEP OR WOOD STEP WHERE NOT EXPOSED TO WEATHER. MAX RISE 7/8" (200) MIN. TREAD 9 1/4" (235). FOR THE REQUIRED NUMBER OF STEPS REFER TO SINGING AND GRADING DRAWINGS. EXTERIOR CONCRETE STAIRS WITH MORE THAN 2 RISERS AND 2 TREADS SHALL BE PROVIDED WITH FOUNDATION AS REQUIRED BY ARTICLE 9.8.8.2. OR SHALL BE CANTILEVERED AS PER SUBSECTION 9.8.10.
- 22 DRYER EXHAUST**  
CAPPED DRYER EXHAUST VENTED TO EXT. CONFORMING TO PART 6. OBC 9.32.
- 23 ATTIC ACCESS** (9.19.2.1)  
ATTIC ACCESS HATCH WITH MIN. AREA OF 0.32m2 AND NO DIM. LESS THAN 21" (534) WITH WEATHER STRIPPING. HATCHWAYS TO THE ATTIC OR ROOF SPACE WILL BE FITTED WITH DOORS OR COVERS AND WILL BE INSULATED WITH MIN. R20 (R51.3.52) (SB-12) 3.1.1.8.1(1)
- 24 FIREPLACE CHIMNEYS** (9.21)  
TOP OF FIREPLACE CHIMNEY SHALL BE 2'-11" (889) ABOVE THE HIGHEST POINT AT WHICH IT COMES IN CONTACT WITH THE ROOF AND 2'-0" (610) ABOVE THE ROOF SURFACE WITH IN A HORIZ. DISTANCE OF 10'-0" (3048) FROM THE CHIMNEY.
- 25 LINEN CLOSET**  
PROVIDE 4 SHELVES MIN. 14" (356) DEEP.
- 26 MECHANICAL VENTILATION** (9.32.1.3)  
MECHANICAL EXHAUST FAN VENTED TO EXTERIOR TO PROVIDE AT LEAST ONE AIR CHANGE PER HOUR. SEE GENERAL NOTE 2.3.
- 27 PARTY WALL BEARING** (9.23.8)  
12"x12"x6" (305x305x15) STEEL PLATE FOR STEEL BEAMS AND 12"x12"x1/2" (305x305x1/2) STEEL PLATE FOR WOOD BEAMS BEARING (MIN. 3'-12" (89) ON CONC. BLOCK PARTY WALL. ANCHORED WITH 2'-4" (219) x 8" (200) LONG GALV. ANCHORS WITHIN SOLID BLOCK COURSE. LEVEL W/ NON-SHRINK GROUT. REFER TO NOTE SOLID BEARING (SECTION 5.0) FOR WD. STUD PARTY WALL.
- 28 WOOD FRAMING IN CONTACT TO CONCRETE**  
WOOD BEARING WALLS, THE UNDERSIDE OF BUILT-UP WOOD POSTS AND SILLS SHALL BE WRAPPED WITH 2 mil POLY. STRIP FOOTINGS SUPPORTING THE FOUNDATION WALL SHALL BE WIDENED @ (152) BELOW THE BEARING WALL AND/OR WOOD POST. (9.17.4.3)
- 29 BUILT-UP WOOD POST AND FOOTING** (9.17.4.1, 9.15.3.7)  
3'-2"x6" (38x140) BUILT-UP WOOD POST (UNLESS OTHERWISE NOTED) ON METAL BASE SHOE. ANCHORED TO CONC. WITH 1/2" (12.7) Ø BOLT, 24"x24"x12" (610x610x305) CONC. FOOTING OR AS PROVIDED ON PLAN. REFER TO NOTE 28
- 30 STEP FOOTINGS** (9.15.3.9)  
MIN. HORIZ. STEP = 23 5/8" (600) MAX. VERT. STEP = 23 5/8" (600).
- 31 CONC. PORCH SLAB** (9.16.4)  
MIN. 4" (100) CONCRETE SLAB ON GRADE ON 4" (100) COARSE GRANULAR FILL. REINFORCED WITH 6'x6"x2"x9/16" (25x25x9.5) MESH SPACING NEAR MID-DEPTH OF SLAB. CONC. STRENGTH 32MPa (4640psi) WITH 5-8" AIR ENTRAINMENT ON 1/2" (12.7) GYPSUM WALLBOARD INTERIOR FINISH. (REFER TO 35 NOTE AS REQUIRED)
- 32 FURNACE VENTING** (9.32.6)  
DIRECT VENT FURNACE TERMINAL MIN. 3'-0" (915) FROM A GAS REGULATOR. MIN. 12" (305) ABOVE GRADE. FROM ALL OPENINGS. EXHAUST AND INTAKE TENTS. HRV INTAKE TO BE A MIN. OF 6'-0" (1830) FROM ALL EXHAUST TERMINALS. REFER TO GAS UTILIZATION CODE.
- 33 FIREPLACE VENTING** (9.23.2.3)  
DIRECT VENT GAS FIREPLACE VENT TO BE A MIN. 12" (305) FROM ANY OPENING AND ABOVE FIN. GRADE. REFER TO GAS UTILIZATION CODE.
- 34 FLOOR FRAMING** (9.23.3.5, 9.23.9.4, 9.23.14)  
2'x4" (38x89) ON WOOD OR CONCRETE JOISTS. FOR CERAMIC TILE APPLICATION SEE O.B.C. 9.30.6. ALL JOISTS WHERE REQUIRED TO BE BRIDGED WITH 2'x2" (38x38) CROSS BRACING OR SOLID BLOCKING @ 6'-11" (2108) O.C. MAX. ALL JOISTS TO BE STRAPPED WITH 1"x3" (19x64) @ 6'-11" (2108) O.C. UNLESS A PANEL TYPE CEILING FINISH IS APPLIED.
- 35 EXPOSED BUILDING FACE w/ LIMITING DISTANCE < 3'-11" (1.20m)**  
WALL ASSEMBLY CONTAINS INSULATION CONFORMING TO CANULC-S705.2 & HAVING A MASS OF NOT LESS THAN 1.22 KG/M2 OF WALL SURFACE AND 1/2" (12.7) TYPE X GYPSUM WALLBOARD INTERIOR FINISH. EXTERIOR CLADDING MUST BE NON-COMBUSTIBLE WHEN LIMITING DISTANCE IS 23 5/8" (600) OR LESS. WALL ASSEMBLY REQUIRES TO HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN 45 MINUTES & CONFORMING TO O.B.C. (9.10.14, OR 9.10.15). REFER TO DETAILS FOR TYPE & SPECS. \*\* AN OPENING IN AN EXPOSING BUILDING FACE NOT MORE THAN 20' (610) SHALL NOT BE CONSIDERED AN UNPROTECTED OPENING AS PER 9.10.14)
- 36 COLD CELLAR PORCH SLAB** (9.38)  
FOR MAX. 8'-2" (2500) PORCH DEPTH, 5" (127) 32 MPa (4640psi) CONC. SLAB W/ 5-8" AIR ENTRAINMENT. REINF. WITH 10M BARS @ 7/8" (200) O.C. EACH DIRECTION. W/ 1 1/4" (32) CLEAR COVER FROM BOTTOM OF SLAB TO FIRST LAYER OF BARS & SECOND LAYER OF BARS LAD DOWN ON TOP OF LOWER LAYER IN OPPOSITE DIR. 24"x24" (610x610) 10M DOWELS @ 23 5/8" (600) O.C., ANCHORED IN PERIMETER FND. WALLS. SLOPE SLAB 1.0% FROM DOOR.
- 37 RANGE HOODS AND RANGE-TOP FANS**  
COOKING APPLANCE EXHAUST FANS VENTED TO EXTERIOR MUST CONFORM TO OBC 9.10.22, 9.23.9.3, & 9.32.3.10.
- 38 CONVENTIONAL ROOF FRAMING** (9.23.13, 9.23.15)  
2'x6" (38x89) RAFTERS @ 16" (406) O.C. 2'x6" (38x184) RIDGE BOARD. 2'x4" (38x89) COLLAR TIES AT MID-SPAN. CEILING JOISTS TO BE 2'x4" (38x89) @ 16" (406) O.C. FOR MAX. 9'-0" (2819) SPAN & 2'x6" (38x140) @ 16" (406) O.C. FOR MAX. 9'-0" (2819) SPAN & 2'x6" (38x140) RAFTERS FOR BUILT UP ROOF OVER PRE-ENGINEERED ROOF TRUSSES AND OR CONVENTIONAL FRAMING TO BE 2'x4" (38x89) @ 24" (610) O.C. UNLESS OTHERWISE SPECIFIED.

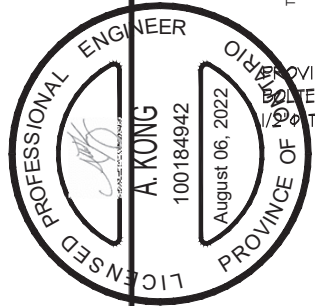
FOR STRUCTURAL ONLY. EXCLUDING  
ENGINEERED ROOF TRUSS, FLOOR  
JOIST, AND FLOOR LVL-BEAM DESIGN.

## cont. SECTION 1.0. CONSTRUCTION NOTES

- 39 TWO STOREY VOLUME SPACES** (9.23.10.1, 9.23.11, 9.23.16)  
WALL ASSEMBLY WIND LOADS > 0.5 kPa (650) > 0.5 kPa (650)  
EXTERIOR STUDS SPACING MAX HEIGHT SPACING MAX HEIGHT  
BRCK 2'-0" (610) 12' (305) O.C. 18'-4" (5588) 8' (200) O.C. 18'-4" (5588)  
SIDING 2'-0" (610) 12' (305) O.C. 18'-4" (5588) 8' (200) O.C. 18'-4" (5588)  
BRCK 2'-0" (610) 12' (305) O.C. 21'-0" (6400) 12' (305) O.C. 21'-0" (6400)  
SIDING 2'-0" (610) 12' (305) O.C. 21'-0" (6400) 12' (305) O.C. 21'-0" (6400)  
\*\* STUD SIZE & SPACING TO BE VERIFIED BY STRUCTURAL ENGINEER \*\*
- STUDS ARE TO BE CONTINUOUS. CW 3/8" (9.5) THICK EXTERIOR PLYWOOD SHEATHING. PROVIDE SOLID WOOD BLOCKING BETWEEN WOOD STUDS @ 4'-0" (1220) O.C. VERTICALLY.  
FOR HORIZ. DISTANCES LESS THAN 8'-6" (2596) PROVIDE 2'x6" (38x140) STUDS @ 16" (406) O.C. WITH CONTIN. 2'x6" (38x140) TOP PLATE. 1'x2" (25x51) 1-38x140 BOTTOM PLATE & MIN. OF 3'-2" (965) (38x184) CONT. HEADER AT GRADE/FLOOR CEILING LEVEL. TOE-NAILLED & GLUED AT JOINT. BOTTOM PLATES & HEADERS.
- 40 1 HR. PARTY WALL (CONC. BLOCK)** (SB-8) WALL TYPE 9'6" & 9'11"  
1/2" (12.7) GYPSUM SHEATHING ON EACH SIDE ON 2'x2" (38x38) VERTICAL WD. STRAPPING @ 24" (610) O.C. ON 8" (200) CONC. BLOCK FILL STRAPPING CAVITY EACH SIDE WITH AT LEAST 90% OF ABSORPTIVE MATERIAL. PROCESSED FROM ROCK, SLAG OR GLASS. TAPE, FILL & SAND ALL GYPSUM JOINTS. EXPOSED BLOCK MUST BE SEALED W/ COATS OF PAINT OR FURRED WITH 2'x2" (38x38) WD. STRAPPING & 1/2" (12.7) GYPSUM SHEATHING.
- 40A 1 HR. PARTY WALL (DOUBLE STUD)** (SB-8) WALL TYPE W132  
5/8" (15.9) TYPE X GYPSUM SHEATHING ON EXTERIOR SIDE OF 2 ROWS OF 2'x4" (38x89) STUDS @ 16" (406) O.C. MIN. 1" (25) APART ON SEPARATE 2'x4" (38x89) SILL PLATES. (2'x6" (38x140) AS REQUIRED) FILL ONE SIDE OF STUD CAVITY WITH AT LEAST 90% OF ABSORPTIVE MATERIAL. PROCESSED FROM ROCK, SLAG OR GLASS. TAPE, FILL & SAND ALL GYPSUM JOINTS.
- 40A 2 HR. FIREWALL** (SB-8) WALL TYPE 9'6" & 9'11"  
1/2" (12.7) GYPSUM SHEATHING ON EACH SIDE ON 2'x2" (38x38) VERTICAL WOOD STRAPPING @ 24" (610) O.C. ON 8" (200) CONC. BLOCK 75% SOLID. FILL STRAPPING CAVITY EACH SIDE WITH AT LEAST 90% OF ABSORPTIVE MATERIAL. PROCESSED FROM ROCK, SLAG OR GLASS. TAPE, FILL & SAND ALL GYPSUM JOINTS. AT UNFINISHED AREAS, EXTERIOR FACE OF CONC. BLOCK TO BE SEALED WITH 2 COATS OF PAINT. GYPSUM SHEATHING TO BE ATTACHED TO CONCRETE BLOCKS.
- 41 STUCCO WALL CONSTRUCTION (2'x6")**  
STUCCO FINISH CONFORMING TO O.B.C. SECTION 9.28, AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1 1/2" (38) E.F.S. (MINIMUM) ON APPROVED DRAINAGE MAT ON 1/2" (12.7) DENSGLASS GOLD GYPSUM BOARD ON STUDS CONFORMING TO O

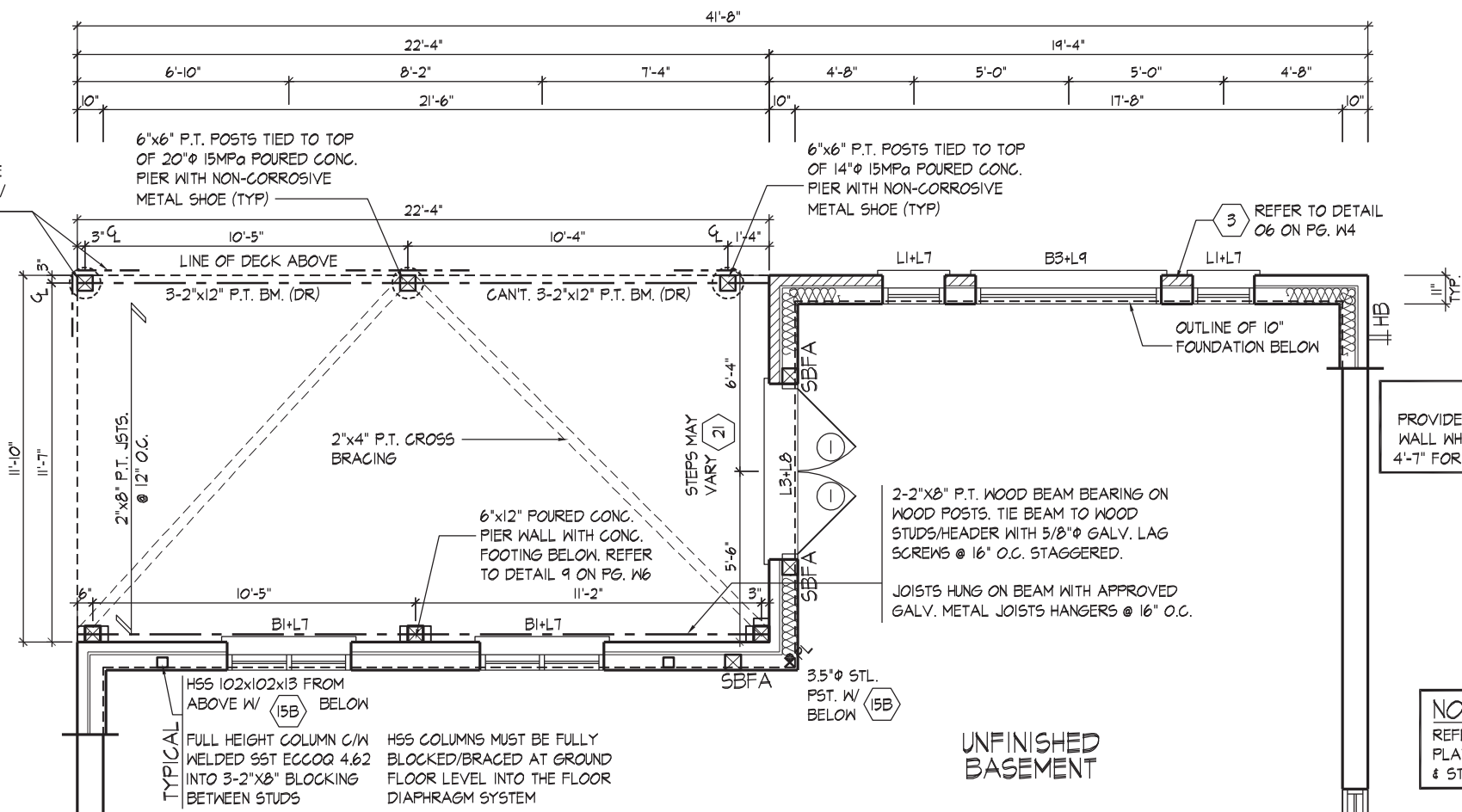




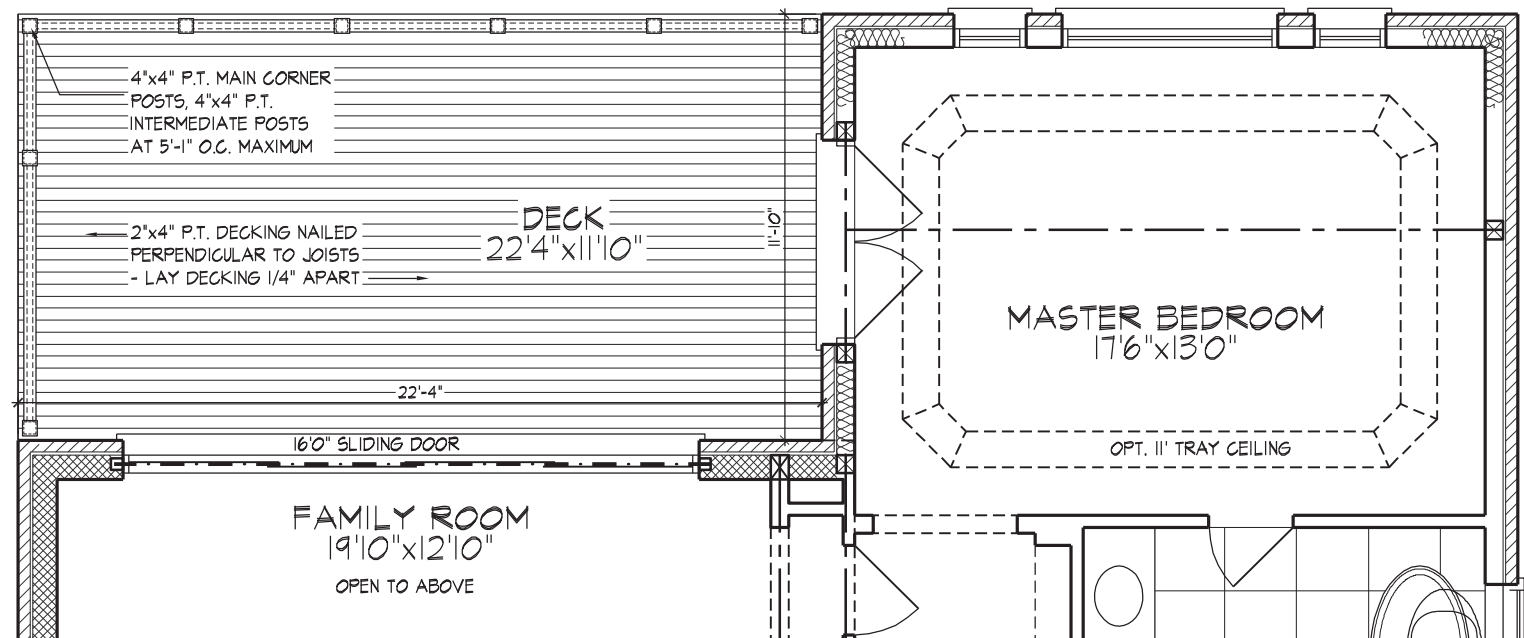


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PART. BASEMENT PLAN ELEV. 'A', 'B' & 'C' - W.O.B. COND.



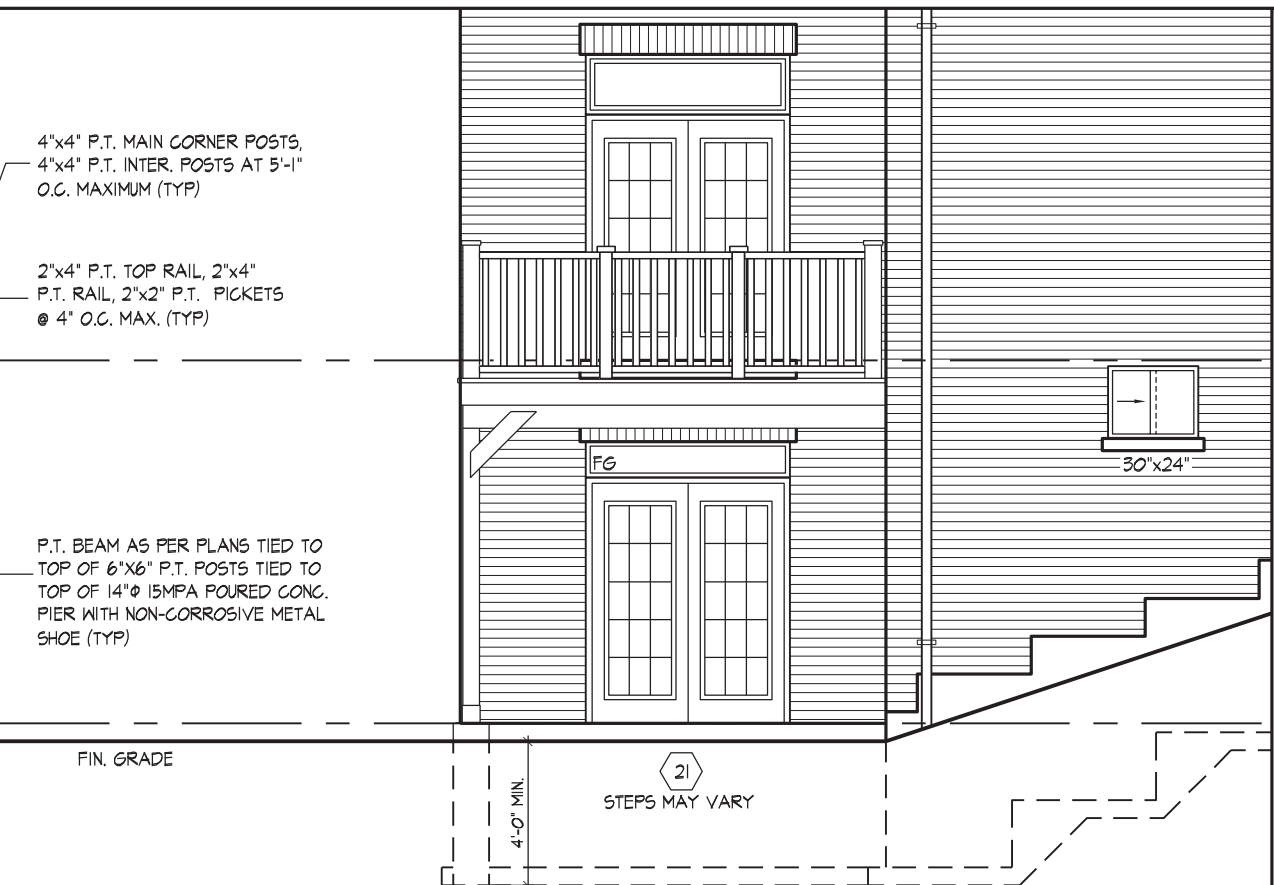
PART. GROUND FLOOR PLAN ELEV. 'A', 'B' & 'C' - W.O.B. COND.



PART. REAR ELEVATION 'A', 'B' & 'C' - W.O.B. COND.

REFER TO FRONT ELEVATION & STANDARD  
REAR FOR TYPICAL NOTES & INFO.

WINDOW SIZES FOR W.O.B. CONDITIONS:  
- W.O.B. = MATCH WIDTH OF WINDOW  
ABOVE AND WINDOWS TO BE 56" DEEP.  
TOP OF WINDOW TO BE @ 7'-10" A.F.F.



PART. LEFT SIDE ELEVATION 'A', 'B' & 'C' - W.O.B. COND.

REFER TO FRONT ELEVATION & STANDARD  
REAR FOR TYPICAL NOTES & INFO.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot. This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL  
APPROVED BY: [Signature]  
DATE: AUG 08, 2022  
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.  
QUALIFICATION INFORMATION  
Name: [Signature]  
Registration Number: 23177  
HUNT DESIGN ASSOCIATES INC. 19995

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Down By: JMc  
Checked By: AW  
Scale: 3/16"=1'-0"  
File Number: 217020WS5006  
Page Number: W2 of W4  
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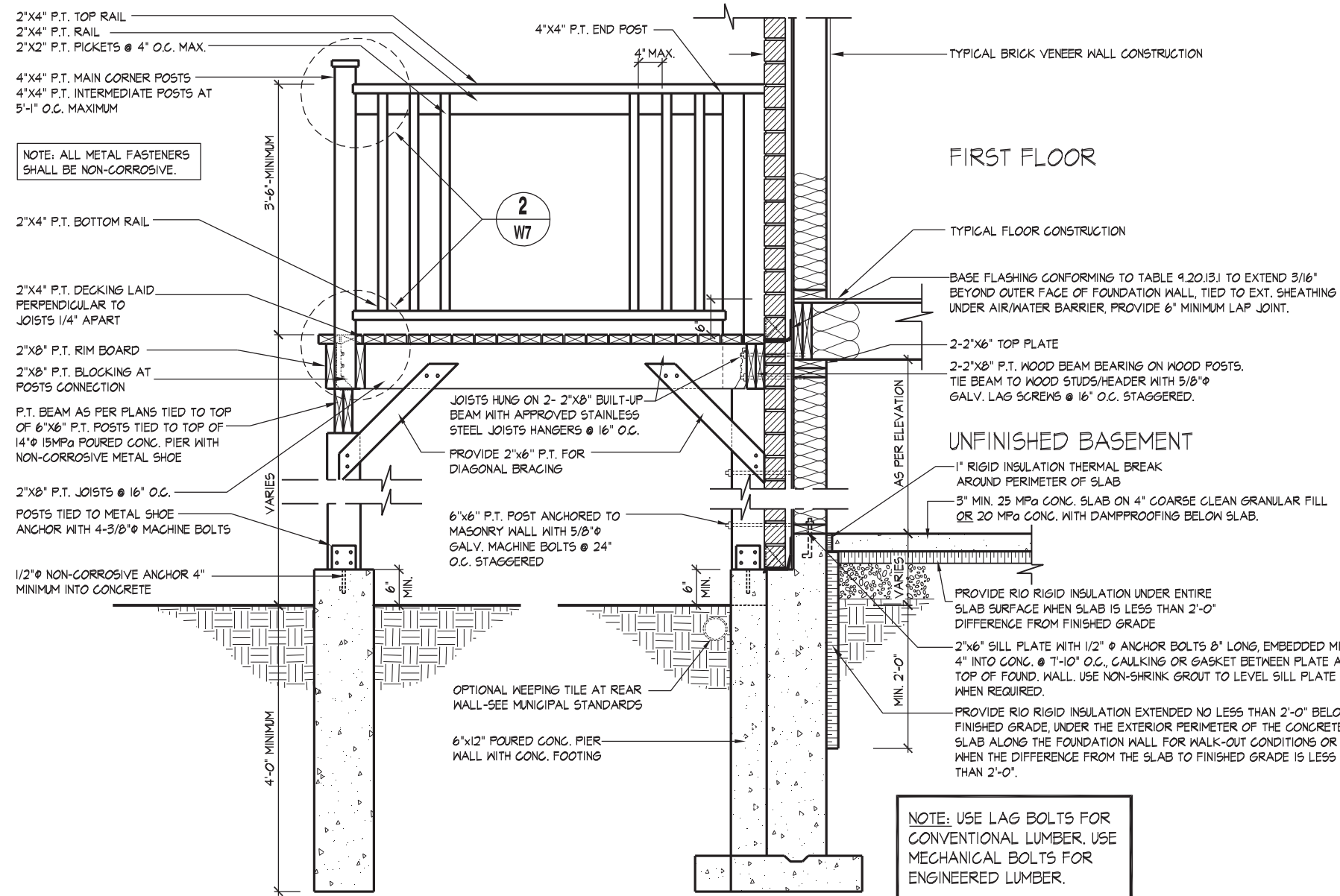
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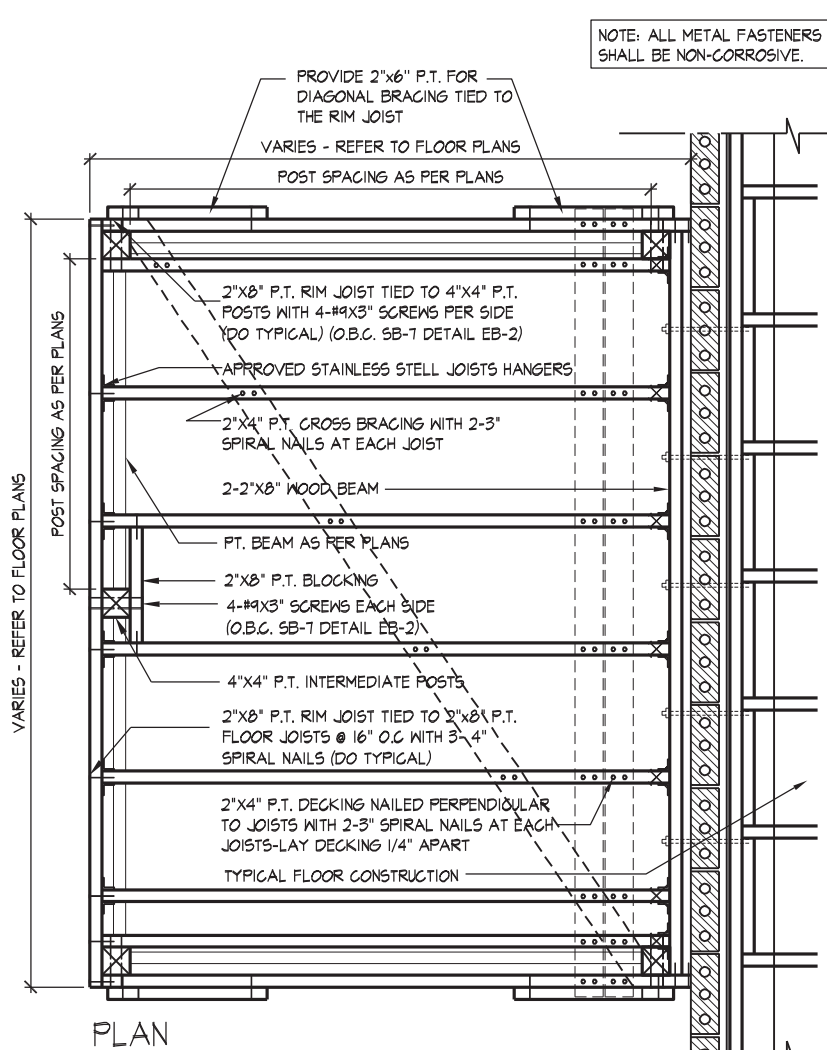






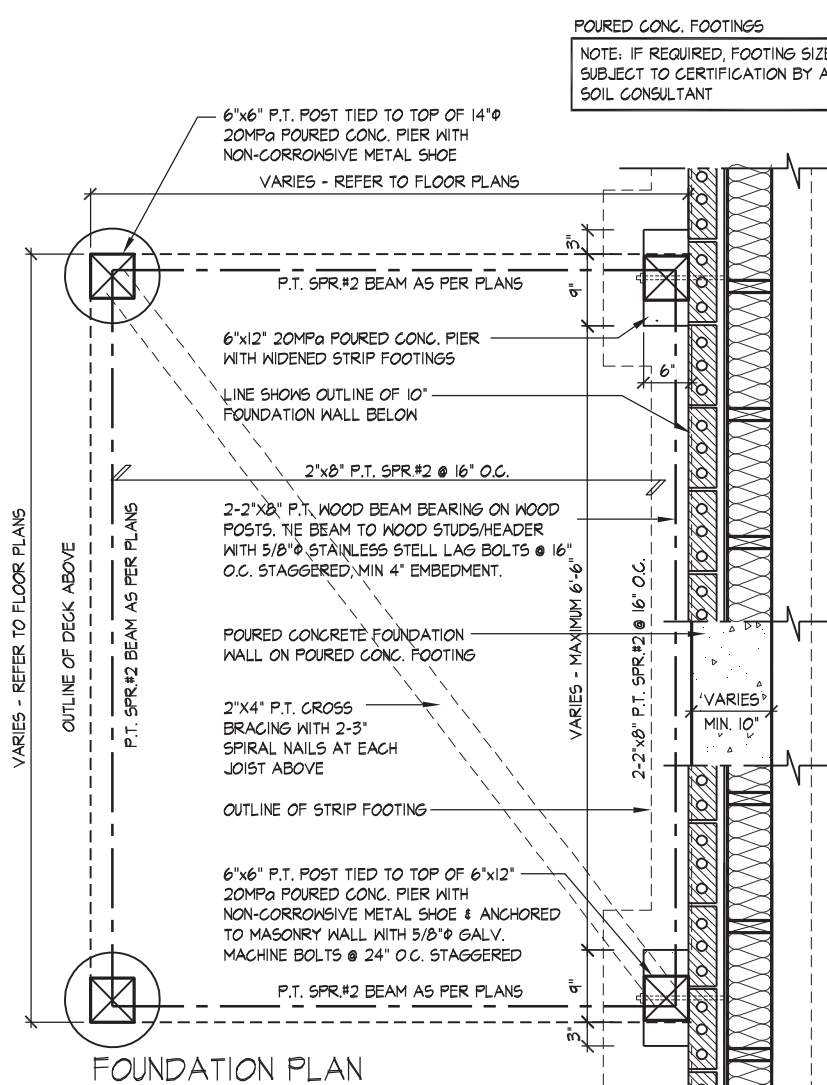


09 MASONRY VENEER, TYPICAL WOOD DECK FOR WALK OUT BASEMENT  
1/2" = 1'-0"

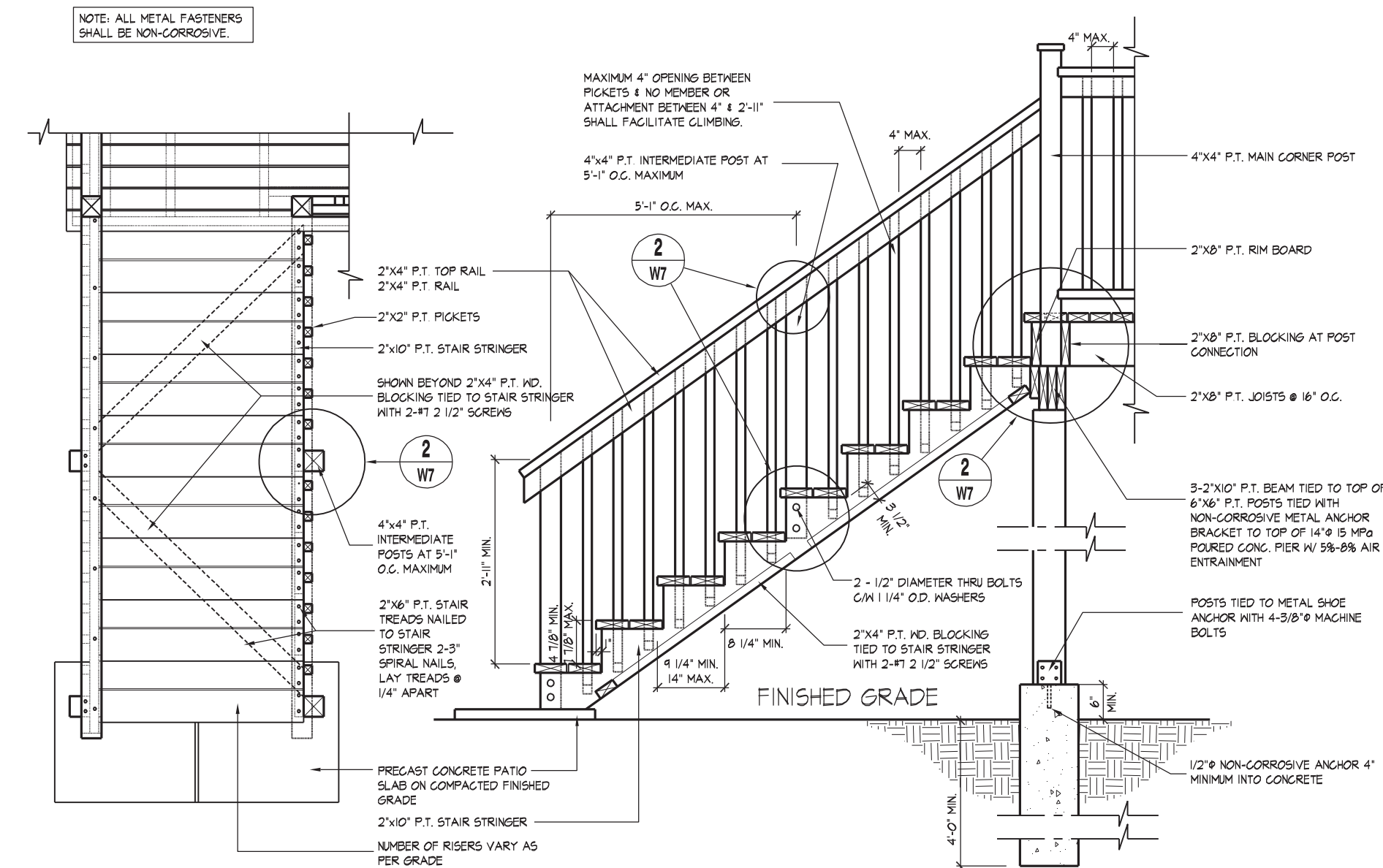


**GENERAL NOTES**  
1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE O.B.C. AND SB-7 OF THE SUPPLEMENTARY STANDARD  
2. LUMBER GRADES SHALL NOT BE LESS THAN NO. 2 SPT.  
LUMBER SHALL BE FREE OF LOOSE KNOTS AND  
ALL CUT ENDS OF PRESERVATIVE TREATED LUMBER SHALL BE TREATED TO PREVENT DECAY  
SPECIES FOR POSTS, PICKETS AND RAILS SHALL BE DOUGLAS FIR-LARCH, HEM-FIR, SPRUCE-PINE-FIR  
3. ALL FASTENERS, SCREWS AND NAILS SHALL BE RESISTANT TO CORROSION - NAILS TO BE COMMON SPIRAL

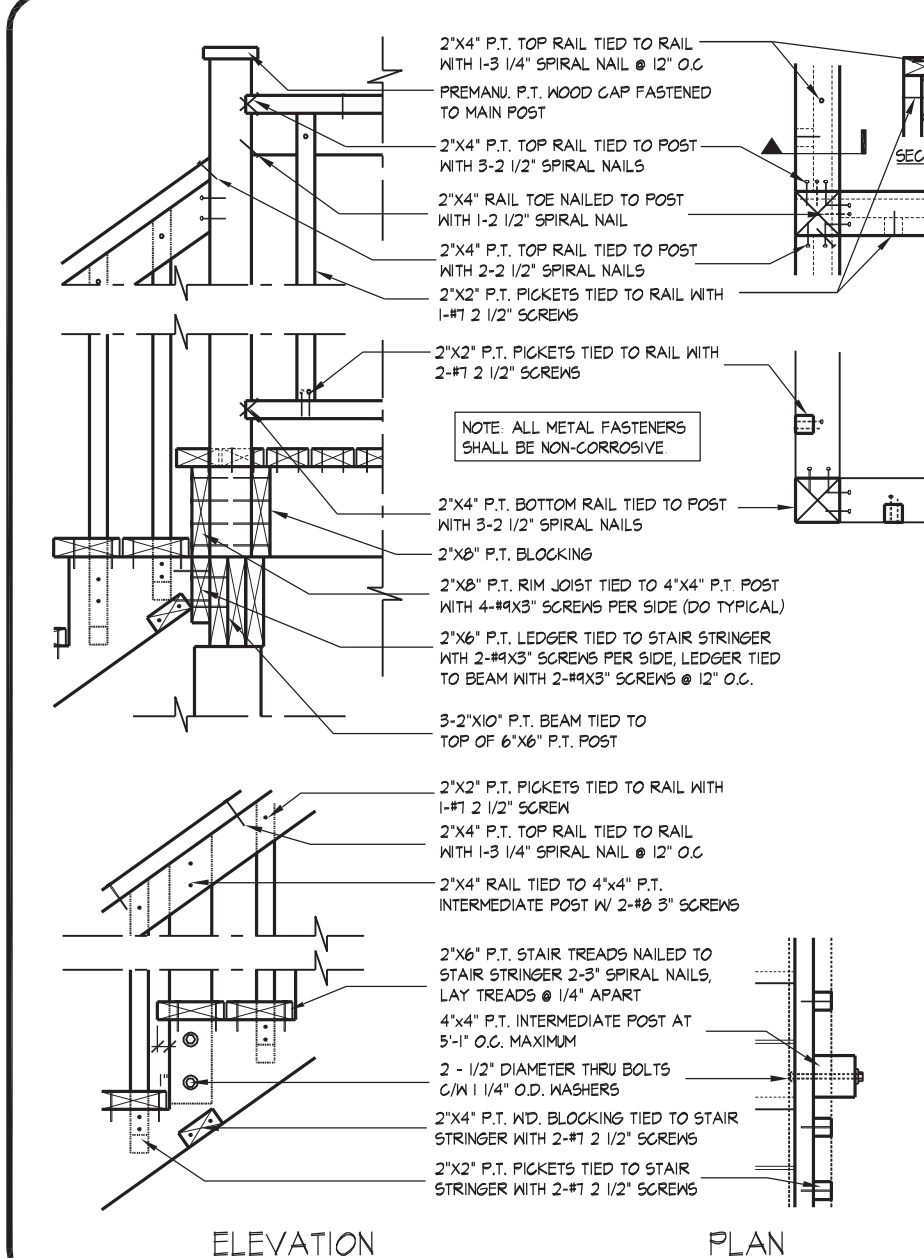
10 MASONRY VENEER, TYPICAL DECK FRAMING PLAN  
1/2" = 1'-0"



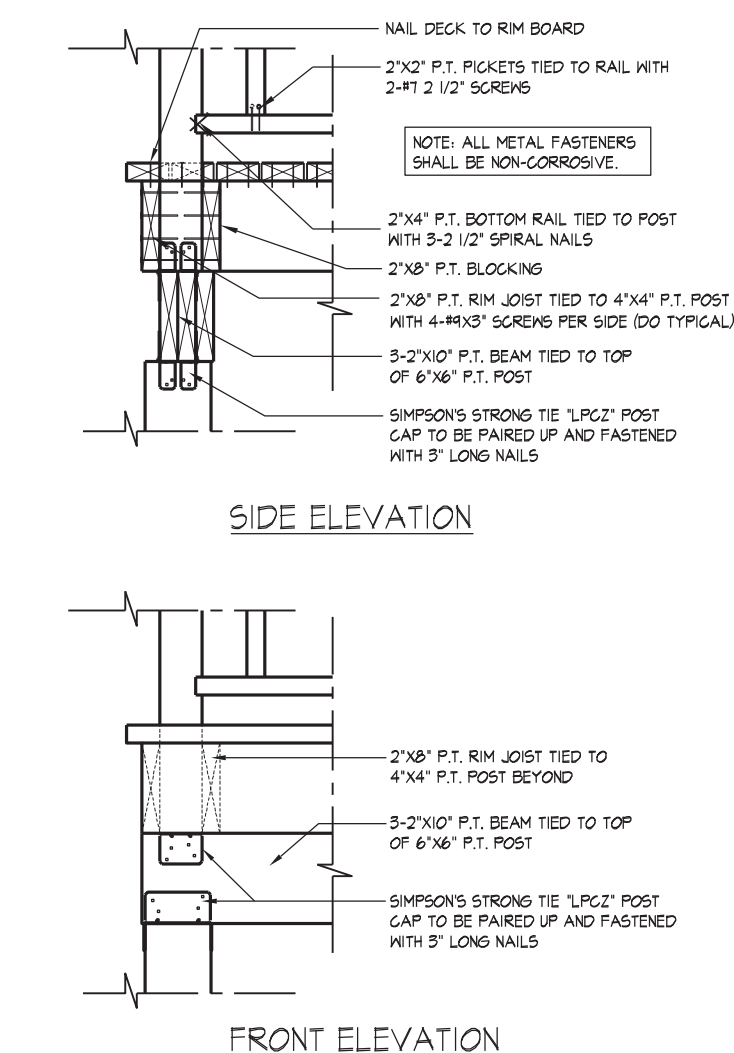
11 MASONRY VENEER, TYPICAL DECK FOUNDATION PLAN  
1/2" = 1'-0"



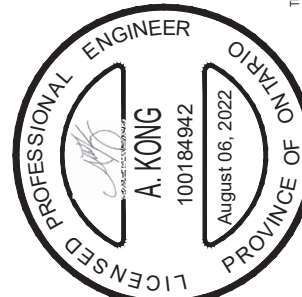
01 TYPICAL WOOD DECK STAIR  
1/2" = 1'-0"



02 TYP. MAIN AND INTERMEDIATE POST ANCHORAGE  
3/4" = 1'-0"



03 TYP. POST & BEAM CONNECTION  
3/4" = 1'-0"



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JOIST, AND FLOOR LVL BEAM DESIGN.