

UNIT 5010 -'THE OAKWOOD'

-CD + C + C + C + C + C + C + C + C + C +	
\sim R_{-} Γ γ Γ Γ Γ Γ Γ Γ Γ	FICIENCY DESIGN MATRIX

PRESCRIPTIVE COMPLIANCE SB-12 (SECTION 3.1.1) TABLE 3.1.1.2.A SPACE HEATING FUEL PACKAGE A1 ■ GAS □ OIL □ ELECTRIC □ PROPANE

BUILDING COMPONENT	REQUIRED	PROPOSED
INSULATION RSI (R) VALUE		
CEILING W/ ATTIC SPACE	10.56 (R60)	10.56 (R60)
CEILING W/O ATTIC SPACE	5.46 (R31)	5.46 (R31)
EXPOSED FLOOR	5.46 (R31)	5.46 (R31)
WALLS ABOVE GRADE	3.87 (R22)	3.87 (R22)
BASEMENT WALLS	3.52 ci \star	3.52 ci
* PROPOSED VALUES MAY BE SUBSTITUTED W/ 2.11+1.76ci (R12+R10ci)	(R20 ci)	(R20 ci)
BELOW GRADE SLAB ENTIRE SURFACE > 600mm BELOW GRADE	-	-
EDGE OF BELOW GRADE SLAB \leq 600mm BELOW GRADE	1.76 (R10)	1.76 (R10)
HEATED SLAB OR SLAB \leq 600mm BELOW GRADE	1.76 (R10)	1.76 (R10)
WINDOWS & DOORS		
WINDOWS/SLIDING GLASS DOORS (MAX U-VALUE)	1.6	1.6
SKYLIGHTS (MAX. U-VALUE)	2.8	2.8
APPLIANCE EFFICIENCY	***********	
SPACE HEATING EQUIP. (AFUE%)	96%	96%
HRV EFFICIENCY (%)	75%	75%
DHW HEATED (EE)	0.8	ΛΩ

AREA CALCULATIONS	EL. 'A'	EL. 'B'	EL. 'C'			
	STD. PLAN	STD. PLAN	STD. PLAN			
GROUND FLOOR AREA	2386 sq. ft.	2294 sq. ft.	2363 sq. ft.			
	(221.67 sq. m.)	(213.12 sq. m.)	(219.53 sq. m.)			
SECOND FLOOR AREA	2077 sq. ft.	2111 sq. ft.	2115 sq. ft.			
	(192.96 sq. m.)	(196.12 sq. m.)	(196.49 sq. m.)			
SUBTOTAL	4463 sq. ft.	4405 sq. ft.	4478 sq. ft.			
	(414.63 sq. m.)	(409.24 sq. m.)	(416.02 sq. m.)			
DEDUCT ALL OPEN AREAS	830 sq. ft.	830 sq. ft.	866 sq. ft.			
	(77.11 sq. m.)	(77.11 sq. m.)	(80.45 sq. m.)			
TOTAL NET AREA	3633 sq. ft.	3575 sq. ft.	3612 sq. ft.			
	(337.52 sq. m.)	(332.13 sq. m.)	(335.57 sq. m.)			
FINISHED BASEMENT AREA	149 sq. ft.	149 sq. ft.	149 sq. ft.			
	(13.84 sq. m.)	(13.84 sq. m.)	(13.84 sq. m.)			
COVERAGE	2792 sq. ft.	2700 sq. ft.	2768 sq. ft.			
W/OUT PORCH	(259.39 sq. m.)	(250.84 sq. m.)	(257.16 sq. m.)			
COVERAGE	2845 sq. ft.	2757 sq. ft.	2820 sq. ft.			
W/ PORCH	(264.31 sq. m.)	(256.13 sq. m.)	(261.99 sq. m.)			
COVERAGE	3106 sq. ft.	3017 sq. ft.	3080 sq. ft.			
W/ OPT. LOGGIA	(288.56 sq. m.)	(280.29 sq. m.)	(286.14 sq. m.)			
WINDOW / WALL AREA	EL. 'A'	EL. 'A'	EL. 'A'	EL. 'A'	EL. 'B'	EL. 'B'
CALCULATIONS	STD. PLAN	WOD	LOD	WOB	STD. PLAN	WOD
GROSS WALL AREA	4866.67 sq. ft.	4943.06 sq. ft.	5002.08 sq. ft.	5566.67 sq. ft.	4730.67 sq. ft.	4807.06 sq. ft.
CHOOS WILE MILEN	(452.13 sq. m.)	(459.23 sq. m.)	(464.71 sq. m.)	(517.16 sq. m.)	(439.49 sq. m.)	(446.59 sq. m.)
GROSS WINDOW AREA	606.76 sq. ft.	608.43 sq. ft.	628.43 sq. ft.	733.48 sq. ft.	617.31 sq. ft.	618.98 sq. ft.
(INCL. GLASS DOORS & SKYLIGHTS)	(56.37 sq. m.)	(56.52 sq. m.)	(58.38 sq. m.)	(68.14 sq. m.)	(57.35 sq. m.)	(57.51 sq. m.)
TOTAL WINDOW %	12.47 %	12.31 %	12.56 %	13.18 %	13.05 %	12.88 %

1 1	 TITI	F	РΔ	1

- 1 TITLE PAGE 2 BASEMENT PLAN, ELEV. 'A'
- 3 GROUND FLOOR PLAN, ELEV. 'A'
- 4 SECOND FLOOR PLAN, ELEV. 'A'
- 5 PARTIAL PLANS, ELEV. 'B'
- 6 PARTIAL PLANS, ELEV. 'C'
- 7 FRONT ELEVATION 'A'
- 8 LEFT SIDE ELEVATION 'A'
- 9 RIGHT SIDE ELEVATION 'A'
- 10 REAR ELEVATION 'A', 'B' & 'C' 11 - FRONT ELEVATION 'B'
- 12 LEFT SIDE ELEVATION 'B'
- 13 RIGHT SIDE ELEVATION 'B'
- 14 FRONT ELEVATION 'B'
- 15 LEFT SIDE ELEVATION 'B'
- 16 RIGHT SIDE ELEVATION 'B'
- 17 CROSS SECTION 'A-A' 18 - CONSTRUCTION NOTES
- W1 DECK CONDITIONS
- W2 DECK CONDITIONS
- W3 DECK DETAILS W4 DECK DETAILS

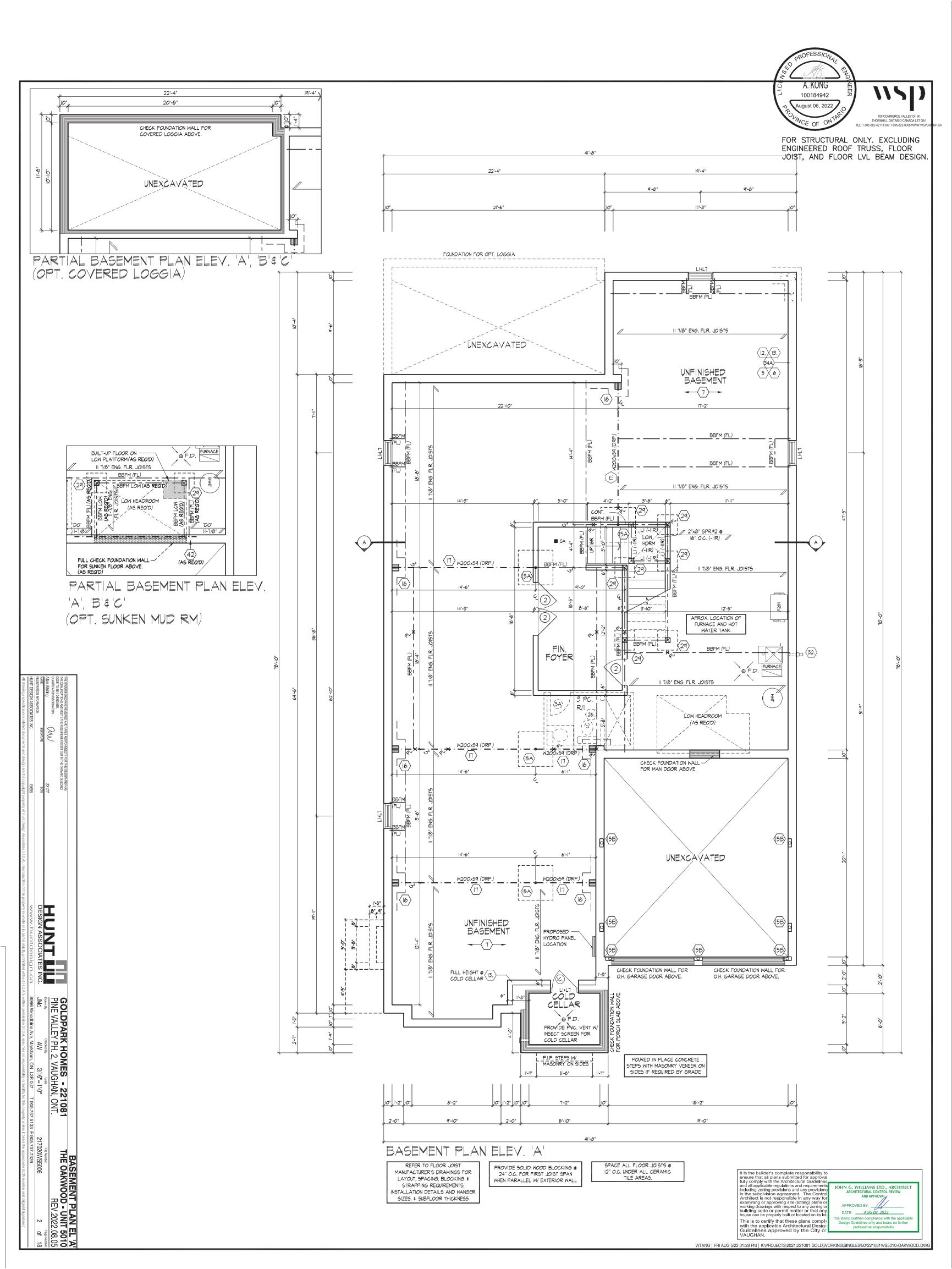
EL. 'B' EL. 'C' EL. 'C' EL. 'C' WOB STD, PLAN WOD 4866.08 sq. ft. 5430.67 sq. ft. 4884.67 sq. ft. 4961.06 sq. ft. 5020.08 sq. ft. 5584.67 sq. ft. (452.07 sq. m.) (504.53 sq. m.) (453.80 sq. m.) (460.90 sq. m.) (466.38 sq. m.) (518.83 sq. m.) 638.98 sq. ft. 744.03 sq. ft. 788.42 sq. ft. 790.08 sq. ft. 811.75 sq. ft. 916.81 sq. ft. (59.36 sq. m.) (69.12 sq. m.) (73.25 sq. m.) (73.40 sq. m.) (75.41 sq. m.) (85.17 sq. m.) 13.13 % 13.70 % 16.14 % 15.93 % 16.17 % 16.42 %

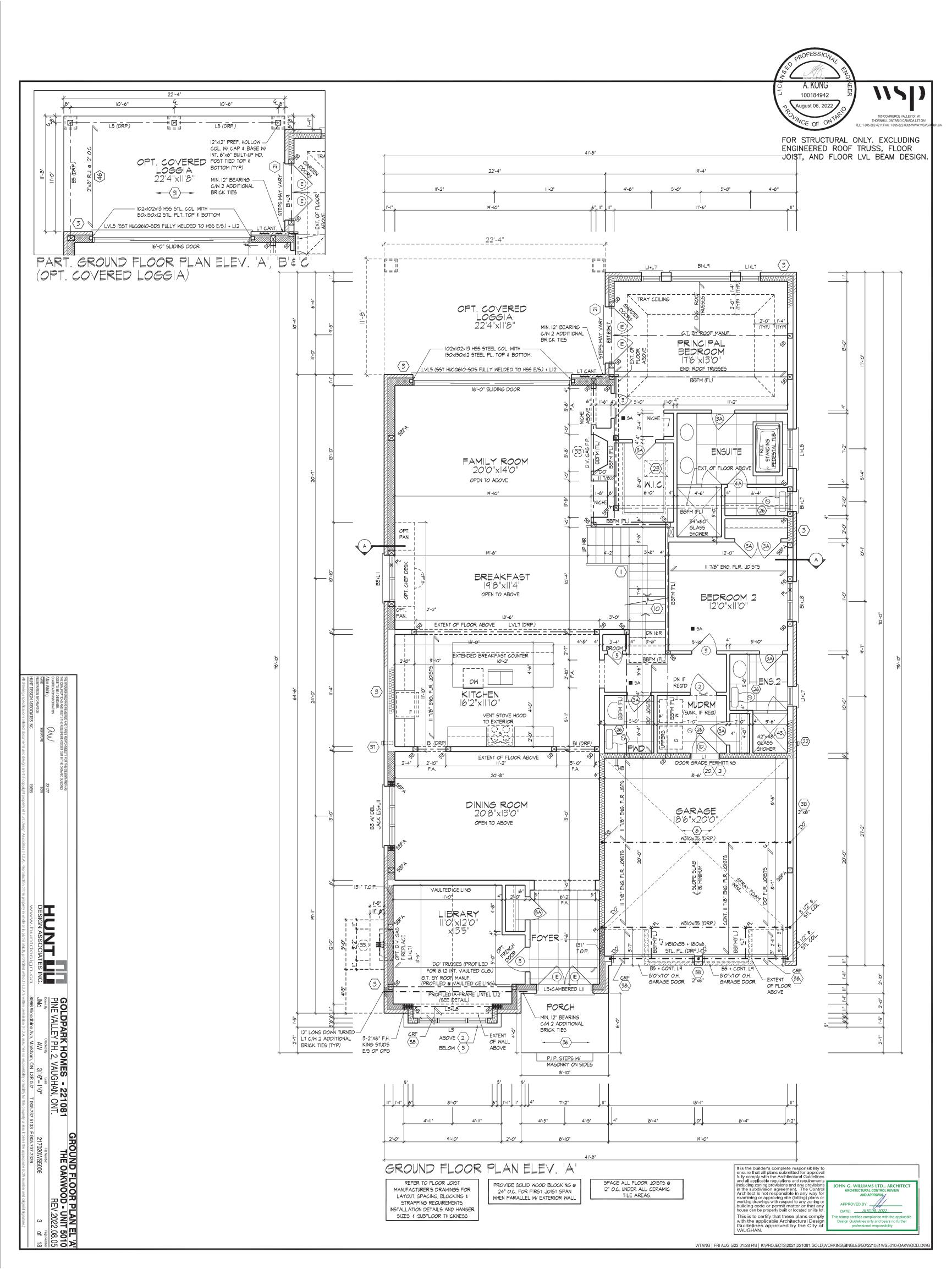


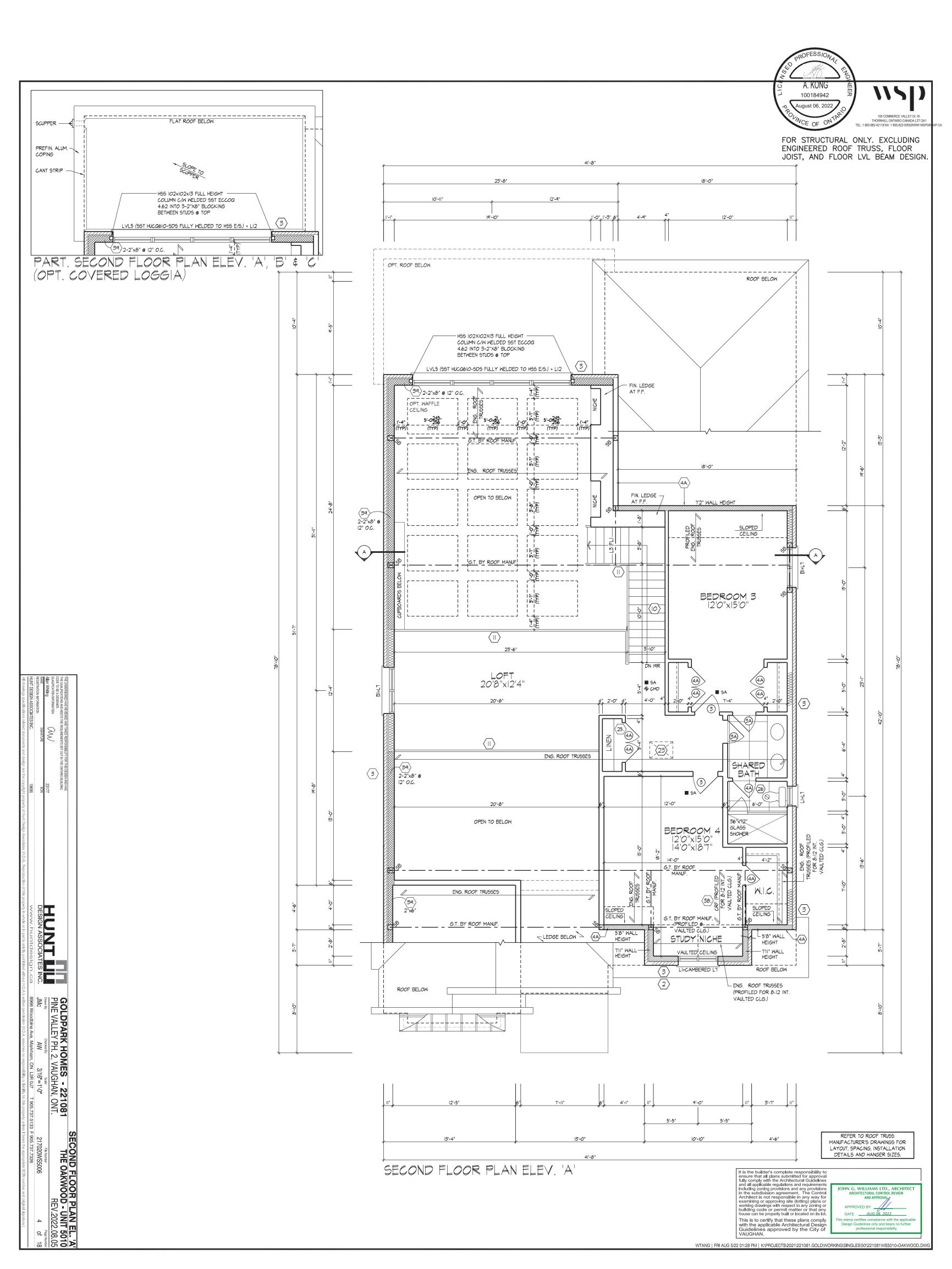


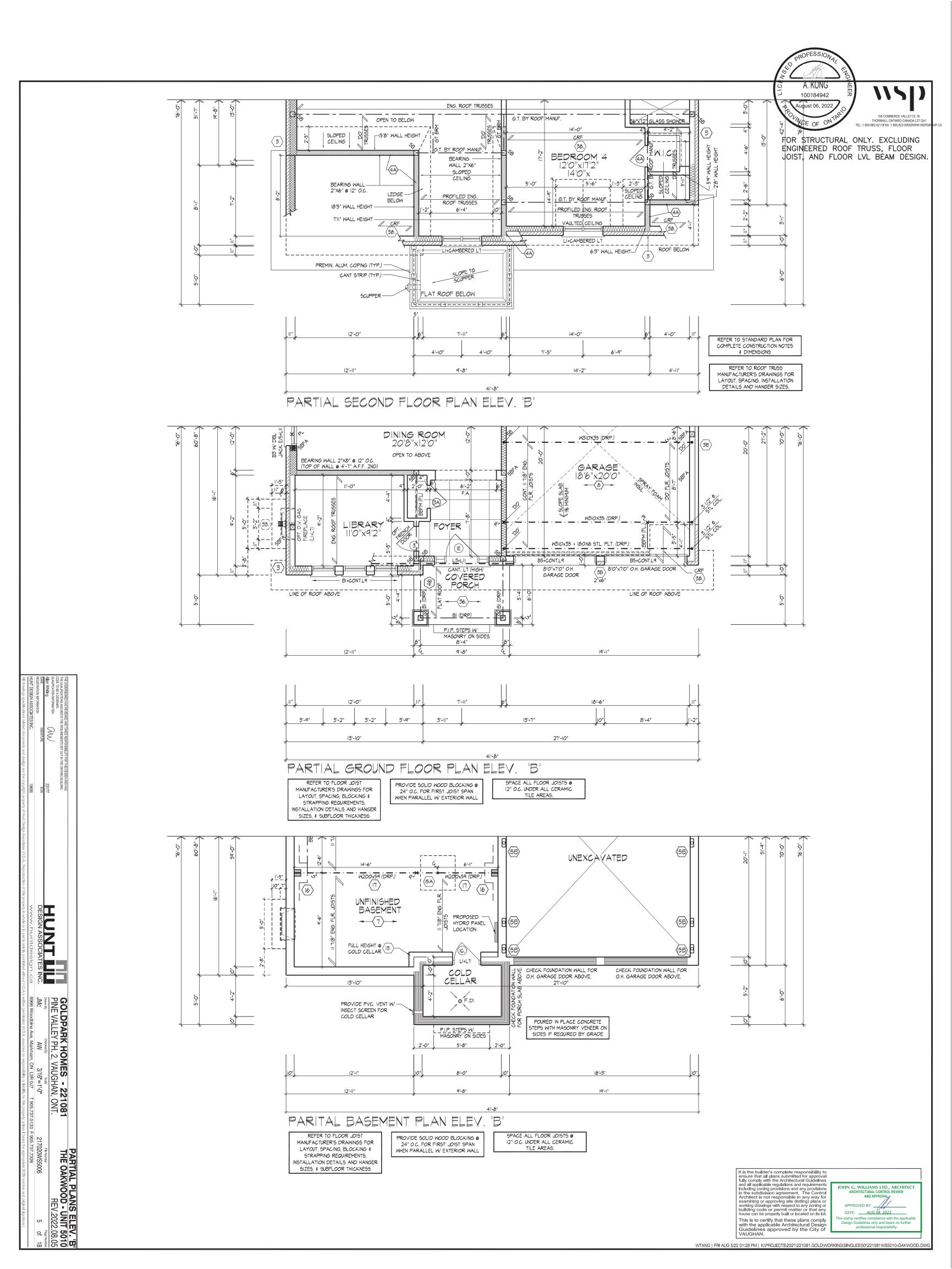
3.13 %	13.70 %	16.14 %	15.93 %	16.17 %	16.42 %		
-						=	-
-						-	-
ISSUED PE	ER PERMIT					=	-
REVISED F	PER ENG. STR	RUCT. COMME	NTS			2022.08.05	WT
CO-ORD. V	V/ FLOOR & R	OOF LAYOUTS	3			2022.05.19	SP
REV.'D AS	PER ROOF M.	ANUF. COMME	ENTS			2022/04/05	WT
REVISED [DESIGN AS PE	R CLIENT CO	MMENTS			2022.02.21	AW
			REVISIONS			DATE (YYYY/MM/DD)	BY

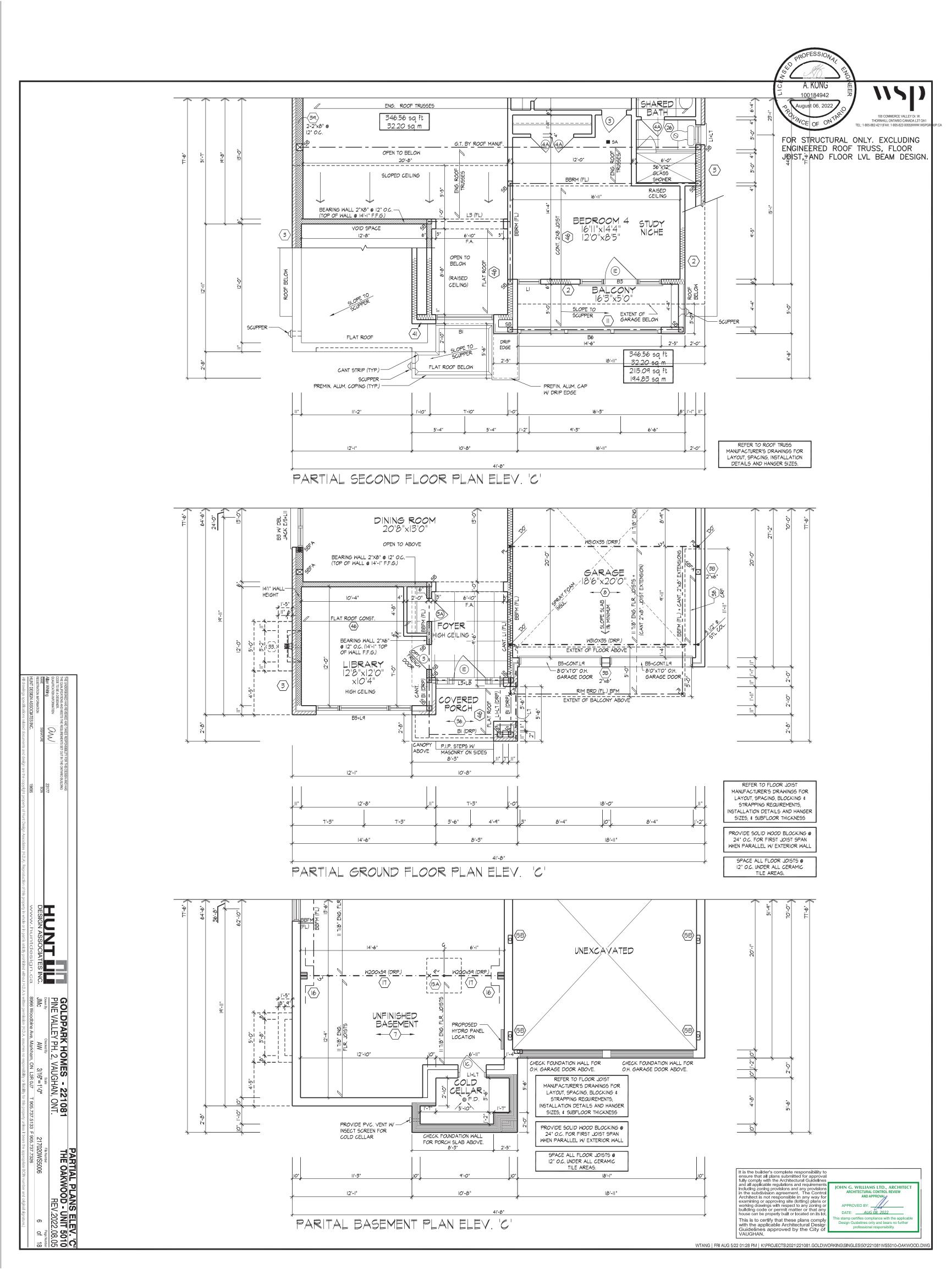
								TITLE	PAGI
THE UNDERSIGNED HAS REVIEWED A THE QUALIFICATIONS AND MEETS TH				GOLD	PARK HON	MES - 22	21081 THE OAKWO	DOD - UNI	T 5010
CODE TO BE A DESIGNER. QUALIFICATION INFORMATION	aw		HUNTI	PINE V	ALLEY PH. 2,	VAUGHAN	, ONT.	REV.202	2.08.0
Allan Whiting	SIGNATURE	23177 BCIN	DESIGN ASSOCIATES INC.	Drawn By	Checked By	Scale	File Number		Page Numb
REGISTRATION INFORMATION				JMc	AW	3/16"=1'-0"	221081WS5010	I	of 1
HUNT DESIGN ASSOCIATES	INC.	19695	www.huntdesign.ca	8966 Wood	bine Ave, Markham,	ON L3R 0J7	T 905.737.5133 F 905.737.7326		
All drawings specifications re	lated documents and	design are the copyright property of Hunt Design As	ssociates (H.D.A). Reproduction of this property in whole or in part is strictly prohibited without H.D.A	.'s written permissi	ion (H.D.A. assumes no re	sponsibility or liability	for this property unless it bears the appropriate BCIN numbe	r and original signatur	ə.)

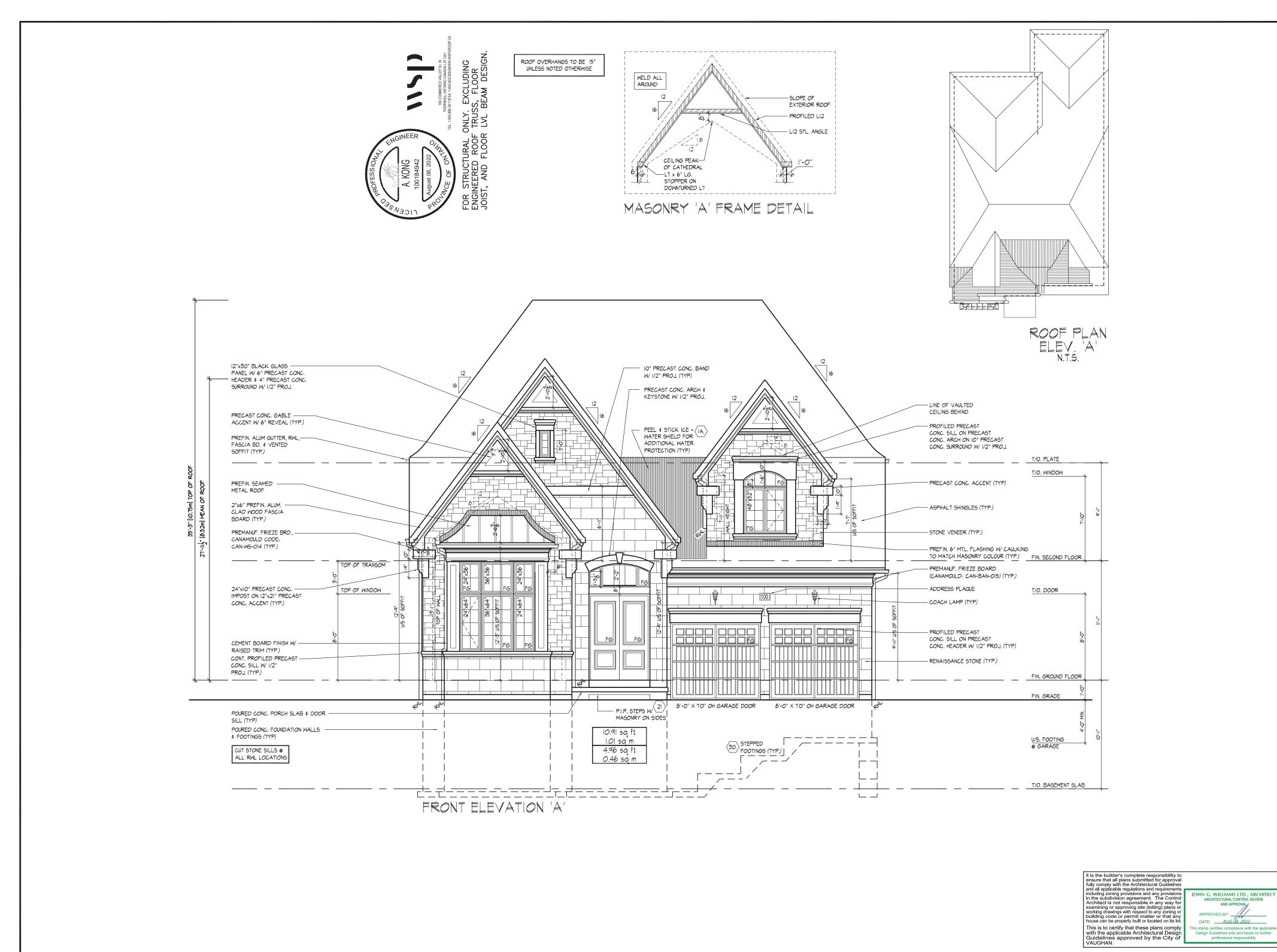




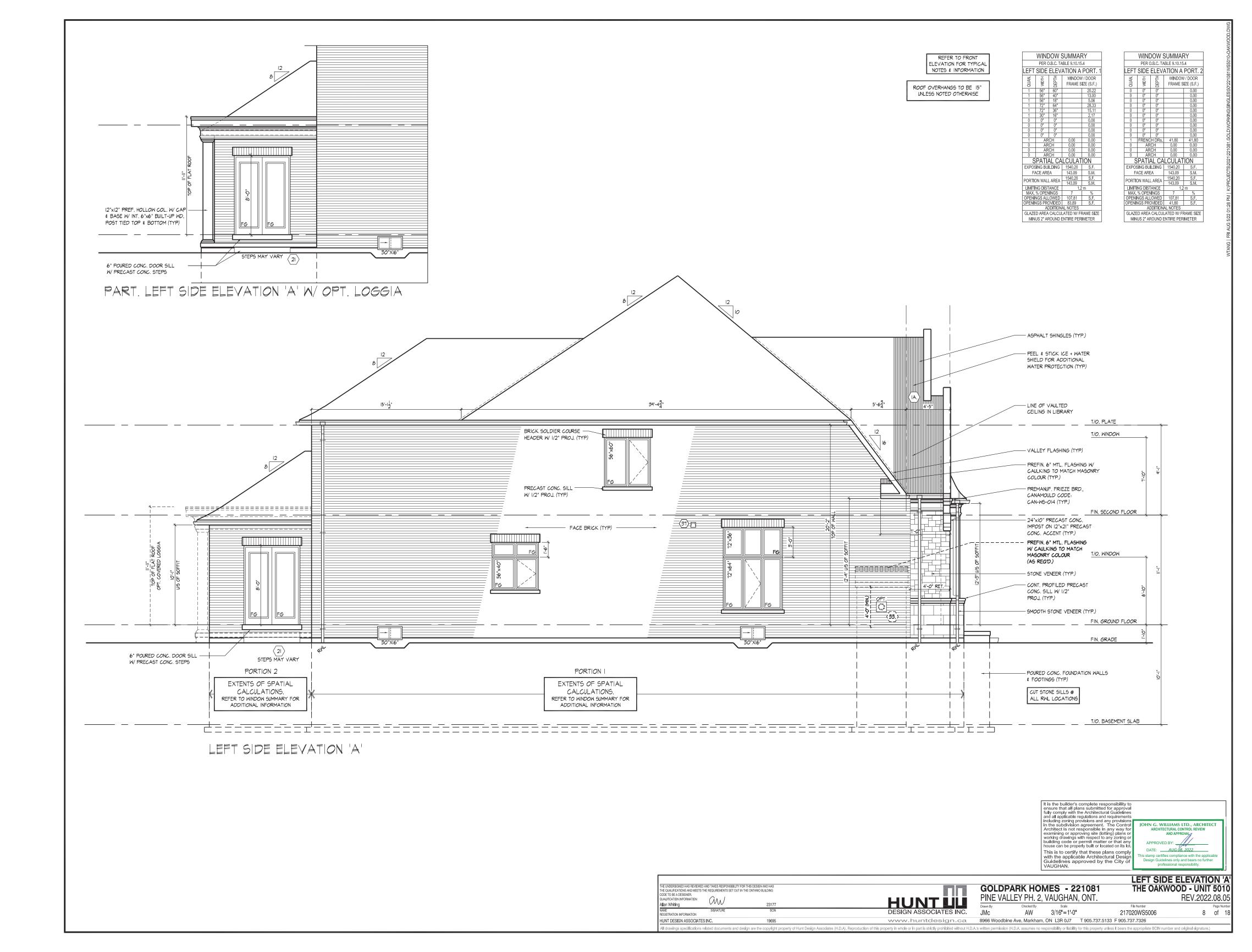






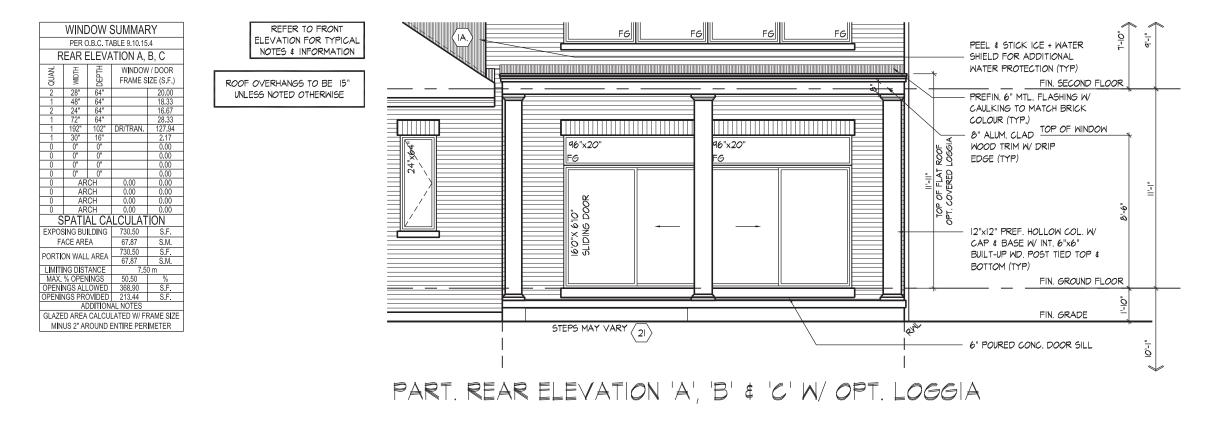


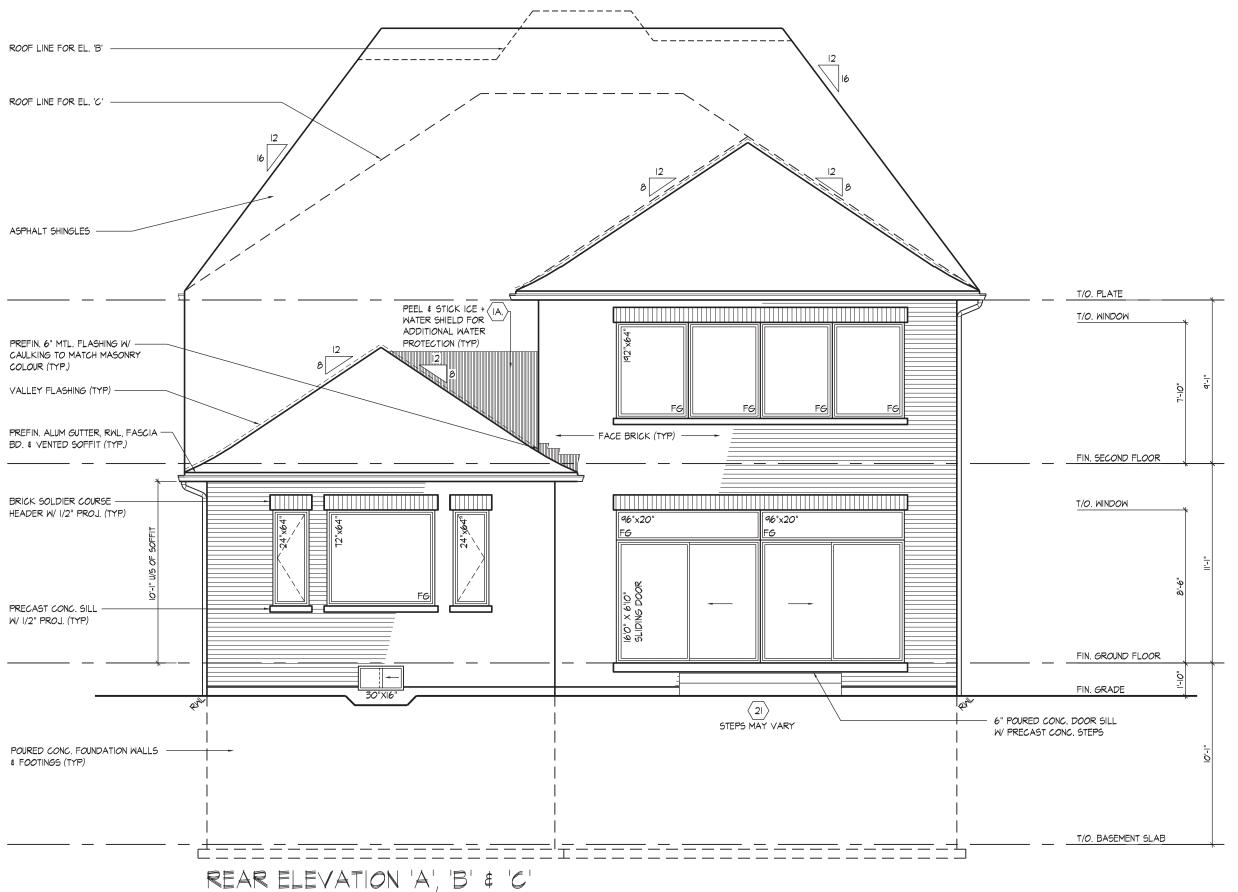




WINDOW SUMMARY REFER TO FRONT PER O.B.C. TABLE 9.10.15.4 ELEVATION FOR TYPICAL NOTES & INFORMATION RIGHT SIDE ELEVATION A FRAME SIZE (S.F.) ROOF OVERHANGS TO BE 15" UNLESS NOTED OTHERWISE PORTION WALL AREA 1540.20 S.F. 143.09 S.M. LIMITING DISTANCE 1.2 m MAX. % OPENINGS 7 % OPENINGS ALLOWED 107.81 S.F. OPENINGS PROVIDED 7.3.28 S.F. ADDITIONAL NOTES GLAZED AREA CALCULATED WI FRAME SIZE MINI S.2" APOLINDE TAUTIEP PERMITTER MINUS 2" AROUND ENTIRE PERIMETER LINE OF SLOPED 39'-4<mark>3</mark>" 15'-1<mark>1</mark>" CEILING BEHIND 6" MTL. FLASHING W/ CAULKING BEYOND (TYP) T/O. PLATE T/O. WINDOW PREFIN. CEMENT ASPHALT SHINGLES (TYP.) -BRD. FINISH PREFIN. 6" MTL. FLASHING W/ -CAULKING TO MATCH MASONRY COLOUR (TYP.) PREMANUF. FRIEZE BRD., CANAMOULD CODE: FACE BRICK (TYP) ---- CAN-WS-014 (TYP.) FIN. SECOND FLOOR 24"xIO" PRECAST CONC. -= 12'-8|" | IMPOST ON 12"x21" PRECAST 22. T/O. WINDOW CONC. ACCENT (TYP.) BRICK SOLDIER COURSE — HEADER W/ I/2" PROJ. (TYP) RETURN STONE VENEER (TYP.) -PRECAST CONC. SILL -W/ 1/2" PROJ. (TYP) SMOOTH STONE VENEER (TYP.) -(32.) (30) FIN. GROUND FLOOR FIN. GRADE POURED CONC. FOUNDATION WALLS -EXTENTS OF SPATIAL & FOOTINGS (TYP) CALCULATIONS. REFER TO WINDOW SUMMARY FOR CUT STONE SILLS @ ADDITIONAL INFORMATION ALL RWL LOCATIONS T/O. BASEMENT SLAB RIGHT SIDE ELEVATION 'A' It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot. JOHN G. WILLIAMS LTD., ARCHITECT ARCHITECTURAL CONTROL REVIEW
AND APPROVAL This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN. This stamp certifies compliance with the applicabl Design Guidelines only and bears no further professional responsibility. **RIGHT SIDE ELEVATION 'A'** THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS **GOLDPARK HOMES - 221081** THE OAKWOOD - UNIT 5010 THE OULDERGOINED HAS REFERRED AND FARCE RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

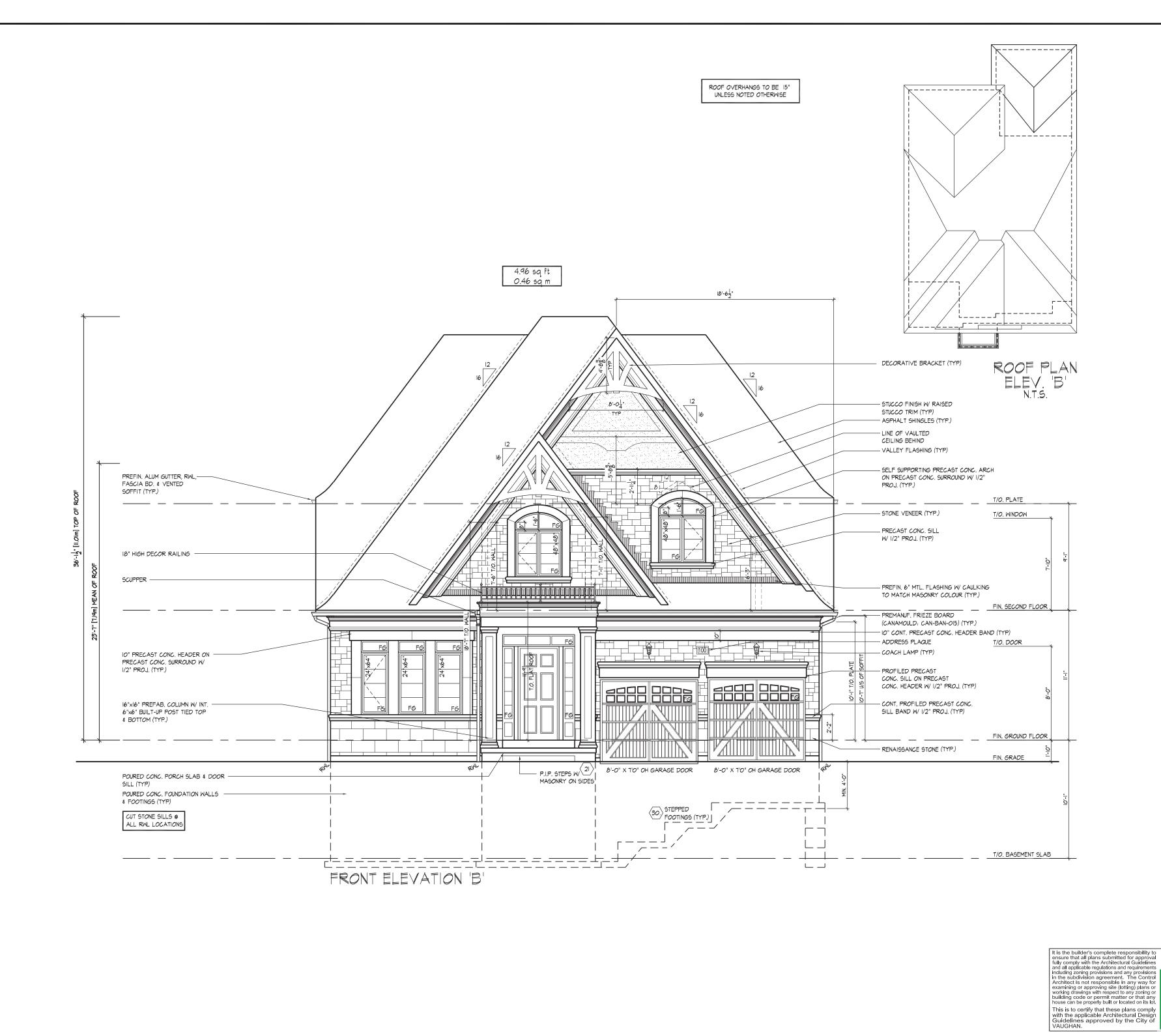
QUALIFICATION INFORMATION PINE VALLEY PH. 2, VAUGHAN, ONT. REV.2022.08.05 aw HUNTUU Allan Whiting
NAME
REGISTRATION INFORMATION File Number 217020WS5006 AW 3/16"=1'-0" 9 of 18 JMc 8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326 www.huntdesign.ca HUNT DESIGN ASSOCIATES INC.





It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot. This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

						REAR ELE\	/ation 'a'	' & 'B
THE UNDERSIGNED HAS REVIEWED AND TAKES THE QUALIFICATIONS AND MEETS THE REQUIRE			GOLDF	PARK HON	/IES - 22	21081 THE OAKWO	OD - UNIT	5010
CODE TO BE A DESIGNER. QUALIFICATION INFORMATION Allon Whiting	A)	HUNTÜÜ	PINE VAI	LLEY PH. 2,	VAUGHAN,	, ONT.	REV.2022	2.08.05
Allan Whiting	20177	DESIGN ASSOCIATES INC.	Drawn By	Checked By	Scale	File Number	40	Page Number
REGISTRATION INFORMATION			JMc	AW	3/16"=1'-0"	217020WS5006	10	of 18
HUNT DESIGN ASSOCIATES INC.	19695	www.huntdesign.ca	8966 Woodbi	ne Ave, Markham,	ON L3R 0J7	T 905.737.5133 F 905.737.7326		
All drawings specifications related dod	cuments and design are the copyright property of	f Hunt Design Associates (H.D.A). Reproduction of this property in whole or in part is strictly prohibited without H.D.A	's written permission	n (H.D.A. assumes no res	sponsibility or liability t	for this property unless it bears the appropriate BCIN number	and original signature.)	





JOHN G. WILLIAMS LTD., ARCHITECT ARCHITECTURAL CONTROL REVIEW AND APPROVAL

REFER TO FRONT WINDOW SUMMARY WINDOW SUMMARY ELEVATION FOR TYPICAL PER O.B.C. TABLE 9.10.15.4 PER O.B.C. TABLE 9.10.15.4 NOTES & INFORMATION LEFT SIDE ELEVATION B PORT. 2 LEFT SIDE ELEVATION B PORT. FRAME SIZE (S.F.) FRAME SIZE (S.F.) ROOF OVERHANGS TO BE 15" UNLESS NOTED OTHERWISE PORTION WALL AREA 1384.45 S.F. 128.62 S.M.

LIMITING DISTANCE 1.2 M

MAX. % OPENINGS 7 %

OPENINGS ALLOWED 96.91 S.F.

OPENINGS PROVIDED 41.80 S.F.

ADDITIONAL NOTES

GLAZED AREA CALCULATED W/ FRAME SIZE PORTION WALL AREA 1384.45 S.F. 128.62 S.M. LIMITING DISTANCE 1.2 m MAX. OPENINGS 7 % OPENINGS ALL OWER 2 C.S. OPENINGS ALLOWED 96.91 S.F.
OPENINGS PROVIDED 83.89 S.F.
ADDITIONAL NOTES
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER MINUS 2" AROUND ENTIRE PERIMETER ASPHALT SHINGLES (TYP.) VALLEY FLASHING (TYP) 43'-0[|] T/O. PLATE BRICK SOLDIER COURSE -T/O. WINDOW HEADER W/ I/2" PROJ. (TYP) — PREFIN. 6" MTL. FLASHING W CAULKING TO MATCH MASONRY COLOUR (TYP.) PRECAST CONC. SILL - SCUPPER W/ 1/2" PROJ. (TYP) F=====/================ FIN. SECOND FLOOR - FACE BRICK (TYP) -STONE VENEER (TYP.) ______ ---- PREFIN. 6" MTL. FLASHING W/ CAULKING TO MATCH 4'-0" RET T/O. WINDOW MASONRY COLOUR (AS REQ'D.) - CONT. PROFILED PRECAST CONC. SILL W/ I/2"PROJ. (TYP.) - SMOOTH STONE VENEER (TYP.) FIN. GROUND FLOOR FIN. GRADE 6" POURED CONC. DOOR SILL -W/ PRECAST CONC. STEPS - POURED CONC. FOUNDATION WALLS PORTION 2 PORTION I & FOOTINGS (TYP) EXTENTS OF SPATIAL EXTENTS OF SPATIAL CUT STONE SILLS @ ALL RWL LOCATIONS CALCULATIONS. CALCULATIONS. REFER TO WINDOW SUMMARY FOR ADDITIONAL INFORMATION REFER TO WINDOW SUMMARY FOR ADDITIONAL INFORMATION T/O. BASEMENT SLAB It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot. JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: DATE: <u>AUG 08, 2022</u> This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN. **LEFT SIDE ELEVATION 'B'** THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS **GOLDPARK HOMES - 221081** THE OAKWOOD - UNIT 5010 THE OULDERGOINED HAS REFERRED AND FARCE RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION PINE VALLEY PH. 2, VAUGHAN, ONT. REV.2022.08.05 aw HUNTUU Allan Whiting
NAME
REGISTRATION INFORMATION File Number 217020WS5006 AW 3/16"=1'-0" 12 of 18 JMc 8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326 www.huntdesign.ca HUNT DESIGN ASSOCIATES INC.

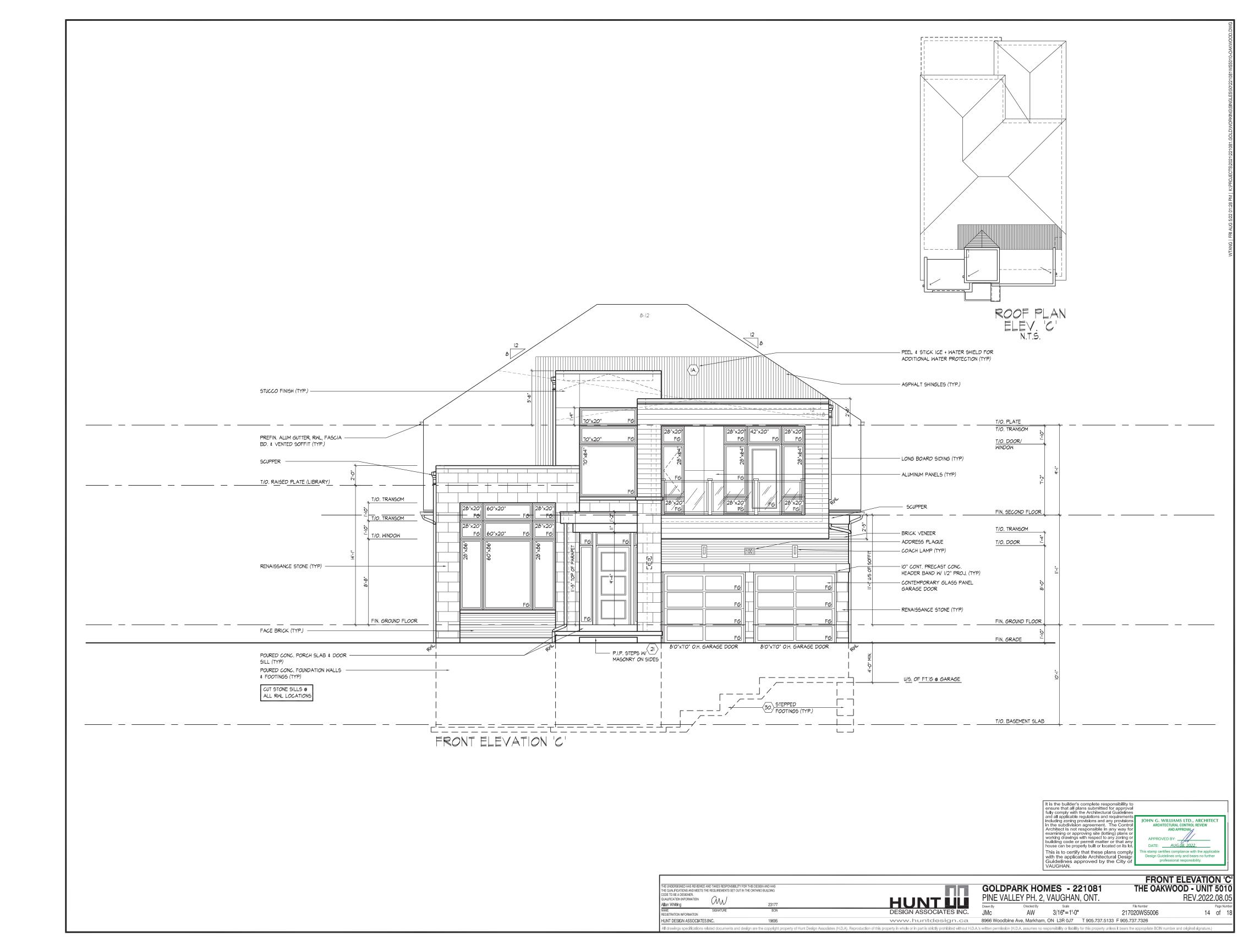
WINDOW SUMMARY PER O.B.C. TABLE 9.10.15.4 REFER TO FRONT ELEVATION FOR TYPICAL RIGHT SIDE ELEVATION B NOTES & INFORMATION FRAME SIZE (S.F.) ROOF OVERHANGS TO BE 15" UNLESS NOTED OTHERWISE ASPHALT SHINGLES (TYP.) -LINE OF SLOPED CEILING BEHIND 33'-8<mark>3</mark>" 17'-7<u>|</u>" 6'-10<u>|</u>" -6" MTL. FLASHING W/ CAULKING BEYOND (TYP) T/O. PLATE T/O. WINDOW VALLEY FLASHING (TYP.) -PREFIN. CEMENT BOARD FINISH PREFIN. 6" MTL. FLASHING W/ CAULKING TO MATCH MASONRY COLOUR (TYP.) FACE BRICK (TYP) ---- FIN. SECOND FLOOR 22. T/O. WINDOW BRICK SOLDIER COURSE — HEADER W 1/2" PROJ. (TYP) STONE VENEER (TYP.) -CONT. PROFILED PRECAST — 4'-0" RET. PRECAST CONC. SILL -CONC. SILL W/ I/2" PROJ. (TYP.) W/ 1/2" PROJ. (TYP) (32.) (30) SMOOTH STONE VENEER (TYP.) FIN. GROUND FLOOR FIN. GRADE CUT STONE SILLS @ ALL RWL LOCATIONS STEPPED FOOTINGS TYP. EXTENTS OF SPATIAL CALCULATIONS. POURED CONC. FOUNDATION -REFER TO WINDOW SUMMARY FOR WALLS & FOOTINGS (TYP) ADDITIONAL INFORMATION T/O. BASEMENT SLAB ZJ== LJ RIGHT SIDE ELEVATION 'B' It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot. JOHN G. WILLIAMS LTD., ARCHITECT AND APPROVAL APPROVED BY: DATE: <u>AUG 08, 2022</u> This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN. his stamp certifies compliance with the applicabl Design Guidelines only and bears no further professional responsibility. **RIGHT SIDE ELEVATION 'B'** THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS **GOLDPARK HOMES - 221081** THE OAKWOOD - UNIT 5010 THE OULDERGOINED HAS REFERRED AND FARCE RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION PINE VALLEY PH. 2, VAUGHAN, ONT. REV.2022.08.05 aw HUNTUU Allan Whiting
NAME
REGISTRATION INFORMATION File Number 217020WS5006 AW 3/16"=1'-0" 13 of 18 JMc

HUNT DESIGN ASSOCIATES INC.

8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

www.huntdesign.ca



REFER TO FRONT WINDOW SUMMARY WINDOW SUMMARY ELEVATION FOR TYPICAL PER O.B.C. TABLE 9.10.15.4 PER O.B.C. TABLE 9.10.15.4 NOTES & INFORMATION LEFT SIDE ELEVATION C PORT. LEFT SIDE ELEVATION C PORT. 2 WINDOW / DOOR FRAME SIZE (S.F.) WINDOW / DOOR FRAME SIZE (S.F.) ROOF OVERHANGS TO BE 15" UNLESS NOTED OTHERWISE 0 ARCH 0.00 0.00

SPATIAL CALCULATION

EXPOSING BUILDING 1565.80 S.F.
FACE AREA 145.45 S.M.

PORTION WALL AREA 1565.80 S.F.
LIMITING DISTANCE 1.2 m
MAX. % OPENINGS 7 %
OPENINGS ALLOWED 109.59 S.F.
OPENINGS PROVIDED 83.89 S.F.
ADDITIONAL NOTES

GLAZED AREA CALCULATED W FRAME SIZE
MINIS 2" ARQUIND FNTIRE PERIMETER 0 ARCH 0.00 0.00

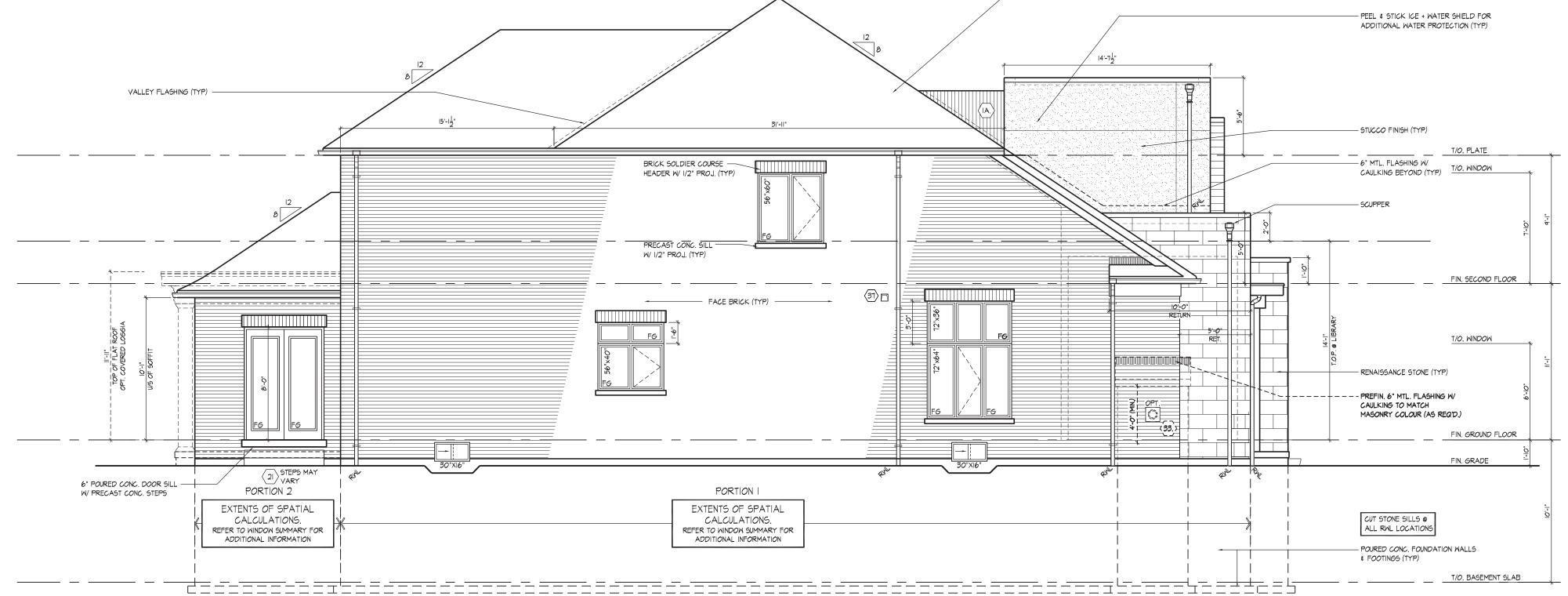
SPATIAL CALCULATION

EXPOSING BUILDING 1565.60 S.F.
FACE AREA 145.45 S.M.

PORTION WALL AREA 1565.60 S.F.
145.45 S.M.

LIMITING DISTANCE 1.2 m
MAX. % OPENINGS 7 %
OPENINGS ALLOWED 109.59 S.F.
OPENINGS PROVIDED 41.80 S.F.
ADDITIONAL NOTES

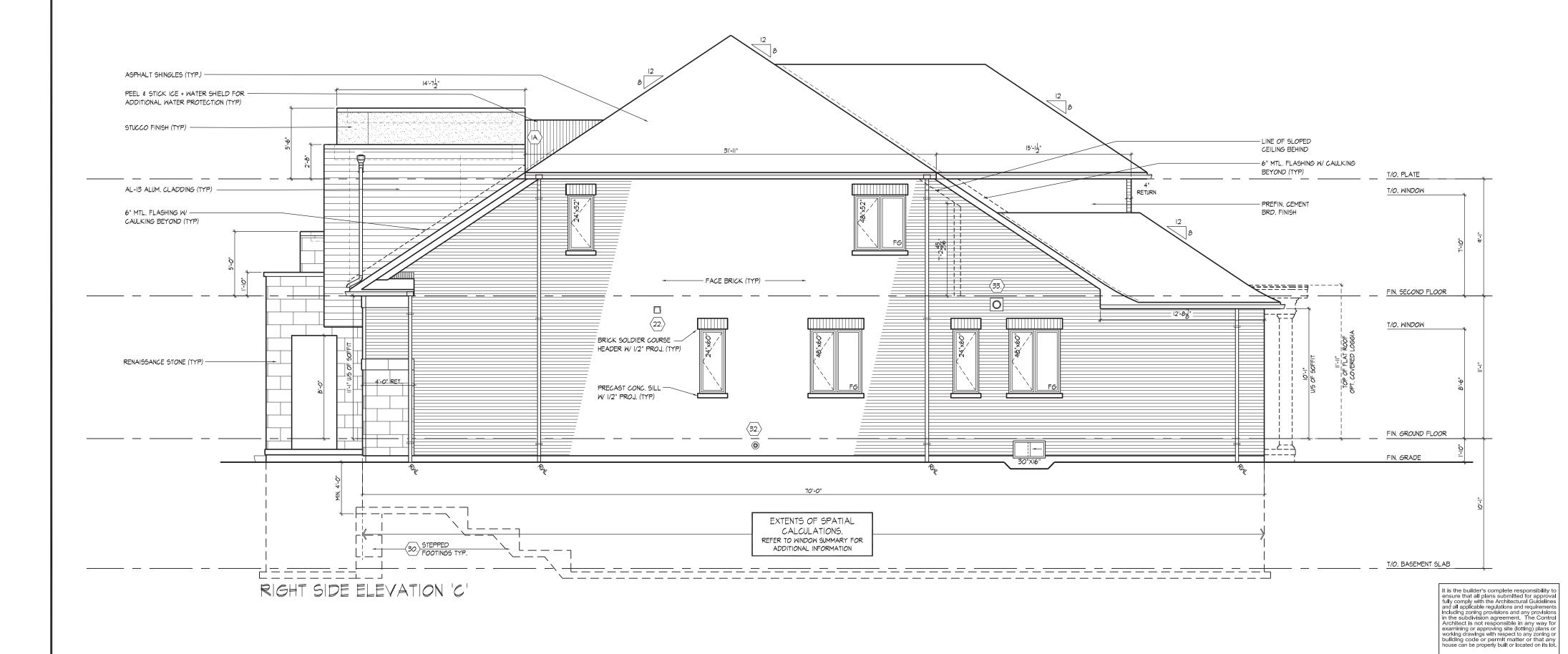
GLAZED AREA CALCULATED W/ FRAME SIZE
MINUS 2" ARQUIND FUTIRE PERIMETER MINUS 2" AROUND ENTIRE PERIMETER MINUS 2" AROUND ENTIRE PERIMETER ASPHALT SHINGLES (TYP.) PEEL & STICK ICE + WATER SHIELD FOR ADDITIONAL WATER PROTECTION (TYP)



LEFT SIDE ELEVATION 'C'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot. This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

							LEFT SIDE	E ELEVATION
THE UNDERSIGNED HAS REVIEWED THE QUALIFICATIONS AND MEETS T				GOLD	PARK HO!	MES - 22108	1 THE OAKW	OOD - UNIT 50
CODE TO BE A DESIGNER. QUALIFICATION INFORMATION	aw		HUNTUU	PINE VA	ALLEY PH. 2,	VAUGHAN, ONT	· ·	REV.2022.08
Allan Whiting	SIGNATURE	23177		Drawn By	Checked By	Scale	File Number	Pag
REGISTRATION INFORMATION	SIGNATURE	BOIN	DESIGN ASSOCIATES INC.	JMc	AW	3/16"=1'-0"	217020WS5006	15 of
HUNT DESIGN ASSOCIATES	SINC.	19695	www.huntdesign.ca	8966 Woodl	oine Ave, Markham,	ON L3R 0J7 T 905.7	737.5133 F 905.737.7326	
All drawings specifications r	related documents ar	nd design are the copyright property of Hunt Desiç	ign Associates (H.D.A). Reproduction of this property in whole or in part is strictly prohibited without H.D.A	A.'s written permissi	on (H.D.A. assumes no re	esponsibility or liability for this pro	perty unless it bears the appropriate BCIN numb	per and original signature.)



THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING

CODE TO BE A DESIGNER.

COULEIFCATION INFORMATION

Allan Whiting

23177

Allan Whiting

23177

DESIGN ASSOCIATES INC.

DESIGN ASSOCIATES INC.

DESIGN ASSOCIATES INC.

DESIGN ASSOCIATES INC.

BOB Seed File Number

Page Number

Pa

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

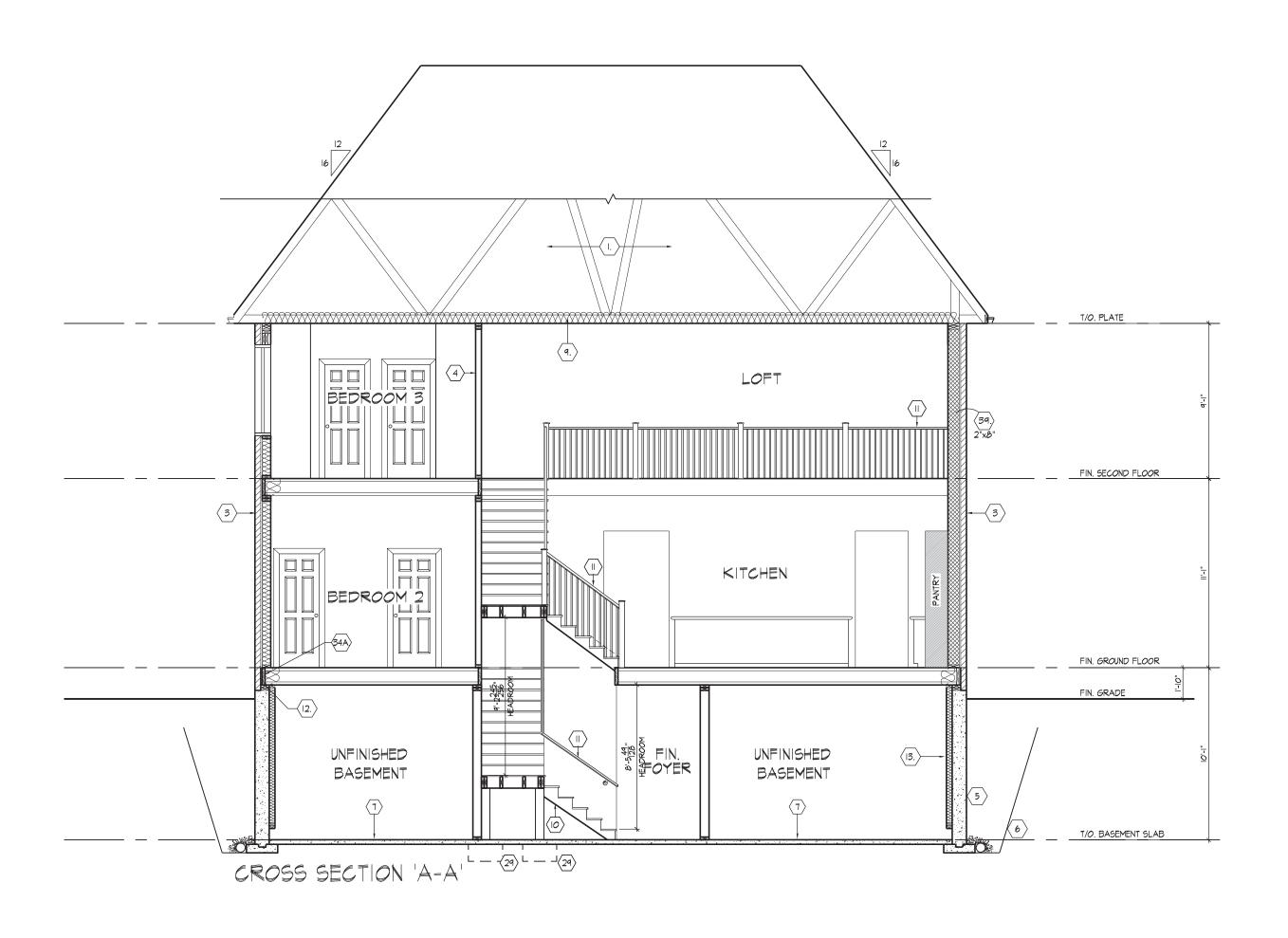
JOHN G. WILLIAMS LTD., ARCHITECT ARCHITECTURAL CONTROL REVIEW AND APPROVAL

APPROVED BY:

AUG 08. 2022

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.





							CR	OSS SECTION 'A-A'
THE UNDERSIGNED HAS REVIEWED A THE QUALIFICATIONS AND MEETS TH CODE TO BE A DESIGNER. QUALIFICATION INFORMATION	HE REQUIREMENTS SET OUT IT				PARK HOI ALLEY PH. 2,			AKWOOD - UNIT 5010 REV.2022.08.05
Allan Whiting	SIGNATURE	23177	HUNTUU	Drawn By	Checked By	Scale	File Number	Page Number
REGISTRATION INFORMATION	SIGNATURE	BCIN	DESIGN ASSOCIATES INC.	JMc	AW	3/16"=1'-0"	217020WS500	6 17 of 18
HUNT DESIGN ASSOCIATES	INC.	19695	www.huntdesign.ca	8966 Woodl	bine Ave, Markham	, ON L3R 0J7	T 905.737.5133 F 905.737.7326	

2" (305) BEYOND INNER FACE OF EXTERIOR WALL, 2"X4"(38X89) TRUSS RACING @ 6"-0" (1830) O.C. AT BOTTOM CHORD. PREFIN. ALUM. AVESTROUGH, FASCIA, RWL & VENTED SOFFIT. ATTIC VENTILATION 1:300 OF INSULATED CEILING AREA WITH MIN. 25% OR REQUIRED OPENINGS LOCATED AT TOP OF SPACE & MIN. 25% OF REQUIRED OPENINGS LOCATED AT BOTTOM OF SPACE. EAVESTROUGH TO BE 4" MIN. WITH RWL DISCHARGING ONTO CONCRETE SPLASH PADS OR PER MUNICIPAL REQUIREMENTS. TOWNHOUSES TO HAVE 5" MIN. EAVESTROUGH WITH ELEC. TRACED HEATER CABLE ALONG

1A ICE AND WATER SHIELD

PROVIDE ICE AND WATER SHIELD IN THE AREAS INDICATED. THE ICE AND WATER SHIELD SHALL BE A SELF ADHERING AND SELF SEALING MEMBRANE. SIDE LAPS MUST BE A MINIMUM 3 1/2" (90) AND END LAPS A MINIMUM 6" (152). AND TO EXTEND UP DORMER WALLS A MINIMUM 12" (305).

1B PROFILED ROOF TRUSSES

ROOF TRUSSES SHALL BE PROFILED AND/OR STEPPED AT RAISED COFFER/TRAY CEILINGS. ANGLED TRAY CEILINGS WILL BE SHEATHED W/ 3/8" (9.5) PLYWOOD.

SIDING WALL CONSTRUCTION (2"x6")

SIDING MATERIAL AS PER ELEVATION ATTACHED TO FRAMING MEMBERS, FURRING MEMBERS OR BLOCKING BETWEEN THE FRAMING MEMBERS ON APPROVED SHEATHING PAPER ON 3/8" (9.5) EXT. GRADE SHEATHING ON STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1.1, INSULATION, APPROVED 6 MILES OF THE PROPERTY O POLYETHYLENE AIR/VAPOUR BARRIER, ON 1/2" (12.7) GYPSUM WALLBOARD INT. FIN. (GYPSUM SHEATHING, RIGID INSULATION, AND FIBERBOARD SHALL NOT BE USED FOR THE ATTACHMENT OF SIDING (9.23.16.3.(1.)) (REFER TO 35 NOTE AS REQ.) 2A SIDING WALL CONSTRUCTION (2'x6') W/ CONTIN. INSULATION SIDING MATERIAL AS PER ELEVATION ATTACHED TO FURRING MEMBERS ON APPROVED AIR/WATER BARRIER AS PER O.B.C. 9.27.3. ON EXTERIOR TYPE RIGID

INSULATION (JOINTS UNTAPED) MECHANICALLY FASTENED AS PER MANUFACTURER'S SPECIFICATIONS ON 3/8" (9.5) EXT. GRADE SHEATHING ON STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1., INSULATION, APPROVED 6 MIL POLYETHYLENE AIR/VAPOUR BARRIER, ON 1/2" (12.7) GYPSUM WALLBOARD INT. FIN. (GYPSUM SHEATHING, RIGID INSULATION, AND FIBERBOARD SHALL NOT BE USED FOR THE ATTACHMENT OF SIDING (9.23.16.3.(1.)) (REFER TO 35 NOTE AS REQ.)

2B SIDING WALL @ GARAGE CONSTRUCTION

SIDING MATERIAL AS PER ELEVATION ATTACHED TO FRAMING MEMBERS, FURRING MEMBERS OR BLOCKING BETWEEN THE FRAMING MEMBERS ON APPROVED SHEATHING PAPER ON 3/8" (9.5) EXTERIOR TYPE SHEATHING ON STUDS CONFORMING TO U.B.C (9.23 I.O.L.) & SECTION 1.1., 1/2 (12.7) GTFSOM WALLBOARD INTERIOR FINISH. (GYPSUM SHEATHING, RIGID INSULATION AND FIBERBOARD SHALL NOT BE USED FOR THE ATTACHMENT OF SIDING

BRICK VENEER WALL CONSTRUCTION (2"x6")

3 1/2" (90) BRICK VENEER 1" (25) AIR SPACE, 7/8"x7"x0.03" (22x180x0.76) GALV. METAL TIES
@ 16" (400) O.C. HORIZ. 24" (600) O.C. VERT. BONDING AND FASTENING FOR TIES TO
CONFORM WITH 9.20.9. ON APPROVED SHEATHING PAPER, 3/8" (9.5) EXTERIOR TYPE
SHEATHING, STUDS CONFORMING TO O.B.C (9.23 10.1), 8 SECTION 1.1, INSULATION
AND 6 mil POLYETHYLENE VAPOUR BARRIER WITH APPROVED CONTIN. AIR BARRIER. 1/2"
(12.7) GYPSUM WALLBOARD INTERIOR RINISH, PROVIDE WEEP HOLES @ 32" (800) O.C. BOTTOM COURSE AND OVER OPENINGS, PROVIDE BASE FLASHING UP MIN. 6" (150) BEHIND BUILDING PAPER (9.20.13.6.) (REFER TO 35 NOTE AS REQUIRED)

3A BRICK VENEER WALL CONSTRUCTION (2"x6") W/ CONTIN, INSULATION | 1/2" (90) BRICK VENEER 1" (25) AIR SPACE, 7/8"x7"x0.03" (22x180x0.76) GALV. METAL TES @ 16" (400) O.C. HORIZ. 24" (600) O.C. VERT. BONDING AND FASTENING FOR TIES TO CONFORM WITH 9.20.9. ON APPROVED AIR/WATER BARRIER AS PER O.B.C. 9.27.3. ON EXTERIOR TYPE RIGID INSULATION (JOINTS UNTAPED) MECHANICALLY FASTENED AS PER MANUFACTURER'S SPECIFICATIONS, ON 3/8" (9.5) EXTERIOR TYPE SHEATHING, STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1.. INSULATION AND 6 mil POLYETHYLENE VAPOUR BARRIER WITH APPROVED CONTIN. AIR BARRIER. 1/2" (12.7) GYPSUM WALLBOARD INTERIOR FINISH. PROVIDE WEEP HOLES @ 32" (800) D.C. BOTTOM COURSE AND OVER OPENINGS. PROVIDE BASE FLASHING UP MIN. 6" (150) OVER RIGID INSULATION (9.20.13.6.) (REFER TO 35 NOTE AS REQUIRED)

3B BRICK VENEER WALL @ GARAGE CONSTRUCTION 3 1/2" (90) BRICK VENEER, MIN. 1" (25) AIR SPACE, 7/8"x7"x0.03" (22x180x0.76) GALV. METAL TIES @ 16" (400) O.C. HORIZ. 24" (600) O.C. VERT. BONDING AND FASTENING FOR TIES TO CONFORM WITH 9.20.9. ON APPROVED SHEATHING PAPER, $3/8^\circ$ (9.5) EXTERIOR TYPE SHEATHING ON STUDS CONFORMING TO 0.B.C (9.23.10.1.) & SECTION 1.1., 1/2" (12.7) GYPSUM WALLBOARD INTERIOR FINISH, PROVIDE WEEP HOLES @ 32" (800) O.C. AT BOTTOM COURSE AND OVER OPENINGS, PROVIDE BASE FLASHING UP 6" (150) MIN. BEHIND BUILDING PAPER (9.20.13.6.) (REFER TO

4 INTERIOR STUD PARTITIONS (9.23.9.8., 9.23.10) BEARING PARTITIONS SHALL BE A MINIMUM 2"x4" (38x89) @ 16" (406) O.C. FOR 2 STOREY AND 12" (305) O.C. FOR 3 STOREY, NON-BEARING PARTITIONS 2"x4" (38x89) @ 24" (610) O.C. PROVIDE 2"x4" (38x89) BOTTOM PLATE AND 2-2"x4" (2-38x89) TOP PLATE. 1/2" (12.7) INT. DRYWALL BOTH SIDES OF STUDS, PROVIDE 2"x6" (38x140) STUDS WHERE NOTED. PROVIDE 2"x4" (38x89) @ 24" (610) O.C. LADDER FRAMING WHERE WALLS INTERSECT PERPENDICULAR TO ONE ANOTHER. PROVIDE 2"x4" (38x89) WOOD BLOCKING ON FLAT @ 3'-11" (1194) O.C. MAX. BETWEEN FLOOR JOISTS WHEN NON-LOADBEARING WALLS ARE PARALLEL TO FLOOR JOISTS.

4A EXT. LOFT WALL CONSTRUCTION (2'x6") - NO CLADDING 3/8" (9.5) EXTERIOR TYPE SHEATHING, STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1., INSULATION AND 6 mil POLYETHYLENE VAPOUR BARRIER WITH APPROVED CONT. AIR BARRIER. 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (9.23.)

4B EXT. LOFT WALL CONSTRUCTION (2'x6")
NO CLADDING W/ CONTINUOUS INSULATION

APPROVED AIRWATER BARRIER AS PER O.B.C. 9.27.3. ON EXTERIOR TYPE RIGID INSULATION (JOINTS UNTAPED) MECHANICALLY FASTENED AS PER MANUFACTURER'S SPECIFICATIONS, ON 3/8" [9.5] EXTERIOR TYPE SHEATHING, STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1., INSULATION AND 6 (12.7) GYPSUM WALLBOARD INT. FINISH. (9.23.)

FOUNDATION WALL/FOOTINGS

POURED CONC. FOUNDATION WALL AS PER CHART BELOW ON CONTINUOUS KEYED CONCRETE FOOTING. FOUNDATION WALLS SHALL EXTEND NOT LESS THAN 6" (150) ABOVE FINISHED GRADE. THE OUTSIDE OF THE FOUNDATION SHALL BE DAMPROOFED FROM THE TOP OF THE FOOTING TO FINISHED GRADE AND BRUSH COAT FROM THE TOP TO 2" BELOW GRADE. PROVIDE A DRAINAGE LAYER ON THE OUTSIDE OF THE FOUNDATION WALL. SEAL THE DRAINAGE LAYER AT THE TOP. THE TOP OF THE CONC. FOOTING SHALL BE DAMPROOFED. CONCRETE FOOTINGS SUPPORTING JOIST SPANS GREATER THAN 16'-1" (4900) SHALL BE SIZED IN ACCORDANCE WITH 9.15.3.4 (1),(2) OF THE O.B.C. (REFER TO CHART BELOW FOR RESPECTIVE SIZE). BRACE FOUNDATION WALL PRIOR TO BACKFILLING. ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OF 125kPa S.L.S. OR COMPACTED ENGINEERED FILL WITH MIN. BEARING CAPACITY 123A 3.L.3. O COMPA DE DINGINICENTE IL CONTROLLA SI DE DANING APACITY OF 125KPA S.L.S. IF SOIL BEARING DOES NOT MEET MINIMUM CAPACITY, ENGINEERED FOOTINGS ARE REQUIRED. ACTUAL SOIL BEARING CAPACITY TO BE VERIFIED WITH SOIL ENGINEERING REPORT.

REFER TO CONSTRUCTION DRAWINGS AND DETAILS FOR FOUNDATION WALL STRENGTH AND THICKNESS AND 9.15.4. FOUNDATION WALLS SHALL NOT EXCEED 9"-10" (3.0m) IN UNSUPPORTED

HEIG	aHI U	NLESS OTHERWI	SE NOTED. [9.15	.4.2.(1.)]			
UNREINFORCED SOLID CONCRETE FOUNDATION WALLS (9.15.4.2.)							
II.	ESS	MAX	. HEIGHT FROM	F I N. SLAB TO GR	ADE		
STRENGTH	THICKNESS	UNSUPPORTED	Sl	JPPORTED AT TO)P		
S	崖	AT TOP	≤2.5m	>2.5m & ≤2.75m	>2.75m & ≤3.0m		
МРа	* 8"	3'-11" (1.20m)	7'-0" (2.15m)	7'-0" (2.15m)	6'-10" (2.10m)		
	10"	4'-7" (1.40m)	7'-6" (2.30m)	8'-6" (2.60m)	8'-2" (2.50m)		
15	12"	4'-11" (1.50m)	7'-6" (2.30m)	8'-6" (2.60m)	9'-3" (2.85m)		
МРа	* 8"	3'-11" (1.20m)	7'-6" (2.30m)	7'-6" (2.30m)	7'-2" (2.20m)		
Σ	10"	4'-7" (1.40m)	7'-6" (2.30m)	8'-6" (2.60m)	9'-3" (2.85m)		
20	12"	4'-11" (1.50m)	7'-6" (2.30m)	8'-6" (2.60m)	9'-3" (2.85m)		

* 9" MIN. THICK FOUNDATION WALL IS REQUIRED FOR MASONRY VENEER FINISHED EXTERIOR WALLS WITH CONTINUOUS INSULATION CONDITION, TO PROVIDE MIN, BEARING FOR SILL PLATES, BEAMS AND FLOOR JOIST AS PER 187 D. O. 188 S. P. 188

9.23.7.2., 9.23.8.1.	, & 9.23.9.1. OF THE	O.B.C.				
MINIMUM STRIP FOOTING SIZES (9.15.3.) UNLESS NOTED OTHERMISE ON PLANS						
NUMBER FLOORS SUPPORTED	SUPPORTING INT. LOAD BEARING MASONRY WALLS	SUPPORTING EXTERIOR	SUPPORTING PARTYWALL			
1	16' WIDE x 6" THICK	16" WIDE x 6" THICK	16" WIDE x 6" THICK			
2	24' WIDE x 8" THICK	20" WIDE x 6" THICK	24" WIDE x 8" THICK			
3	36" WIDE x 14' THICK	26" WIDE x 9" THICK	36" WIDE x 14" THICK			

REFER TO SB-12 ENERGY EFFICIENCY DESIGN MATRIX ON THE TITLE PAGE FOR ALL VALUES AS REQUIRED PER 3.1.1., 3.1.2., 3.1.3. OF THE OBC.

FOUNDATION REDUCTION IN THICKNESS FOR MASONR' HERE THE TOP OF THE FOUNDATION WALL IS REDUCED IN THICKNESS TO PERMIT THE INSTALLATION OF MASONRY EXTERIOR FACING, THE REDUCED SECTION SHALL BE NOT LESS THAN 3 1/2" (90) THICK. THE BRICK VENEER SHALL BE TIED TO THE FOUNDATION WALL WITH CORROSION RESISTANT METAL TIES @ 7 7/8" (200) VERTICAL AND 2-11" (889) HORIZONTAL. FILL VOID WITH MORTAR BETWEEN WALL AND BRICK VENEER (9.15.4.7(2)(3) & 9.20.9.4(3))

5B FOUNDATION REDUCTION IN THICKNESS FOR JOISTS WHERE THE TOP OF THE FOUNDATION WALL IS REDUCED IN THICKNESS TO PERMIT THE INSTALLATION OF FLOOR JOISTS, THE REDUCED SECTION SHALL B NOT MORE THAN 13 3/4" (350) HIGH & NOT LESS THAN 3 1/2" (90) THICK (9.15.4.7(1))

4" (100) Ø WEEPING TILE W/ FILTER CLOTH WRAP & 6" (152) CRUSHED STONE COVER

BASEMENT SLAB OR SLAB ON GRADE (9.16.4.) (9.13.) 3" (80) MIN. 25MPa (3600psi) CONC. SLAB ON 4" (100) COARSE GRANULAR FILL OR 20MPa (2900psi) CONC, WITH DAMPPROOFING BELOW SLAB, PROVIDE 1/2 OH 20MPa (29009S) CONC. WITH DAMPPHODHING BELOW SLAB. PHOVIDE 1/2" (12.7) IMPERVIOUS BOARD FOR BOND BREAK AT EDGE. WHERE A BASEMENT SLAB IS WITHIN 24" (610) OF THE EXTERIOR GRADE PROVIDE RIGID INSUL. AROUND THE PERIMETER EXTENDING MIN. 24" (610) BELOW GRADE. FOR SLAB ON GRADE CONDITIONS RIGID INSULATION SHALL BE APPLIED TO THE UNDERSIDE OF THE ENTIRE SLAB. ([SB-12] 3.1.1.7.(5) & (6))

EXPOSED FLOOR TO EXTERIOR (9.10.17.10, & CAN/ULC-S705.2) PROVIDE SPRAY FOAM INSULATION BETWEEN CANT. JOIST AND INSTALL OSB CONFIRMING TO 9,29,9. FIN. SOFFIT OR CLADDING AS PER ELEVATION TO U/S OF

EXPOSED CEILING TO EXTERIOR w/ ATTIC (9.25.2.4) NSULATION, 6 mil POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM BOARD INTERIOR FINISH OR APPROVED EQ.

EXPOSED CEILING TO EXTERIOR W/o ATTIC JOISTS/TRUSSES AS PER PLANS W/ 2"x2" (38x38) PURLINS @ 16" (406) O.C. PERPENDICULAR TO JOISTS (PURLINS NOT REQ. W/ SPRAY FOAM OR ROOF TRUSSES), W/ INSULATION BETWEEN JOIST, 6 mil POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM BOARD INT. FINISH OR APPROVED EQ. (CAN/ULC-S705.2, 9.19.1, 9.10.17.10)

ALL STAIRS/EXTERIOR STAIRS (9.8.1.2., 9.8.2., 9.8.4.) MAX NOSING 1 (25 MIN. STAIR WIDTH TAPERED TREADS

(TE 2-10 (860) MIN. RUN 5 7/8 (150) MIN. AVG. RUN 10 (255) 20BLC 2-11*(900) MIN, RUN 10*(255)
MIN, RUN 57/8*(150)
MIN, AVG, RUN 11*(280)

AVERAGE RUN OF TAPERED TREAD MEASURED AT A POINT 300mm FROM THE CENTERLINE OF INSIDE HANDRAIL. (9.8.4.3.)

** HEIGHT OVER STAIRS (HEADROOM) IS MEASURED VERTICALLY ACROSS WIDTH OF STAIRS FROM A STRAIGHT LINE TO THE TREAD & LANDING NOSING TO LOWEST POINT ABOVE AND NOT LESS THAN 6'-5" (1950) FOR SINGLE DWELLING UNIT & 6'-8 3/4' (2050)

REQUIRED LANDING IN GARAGE - O.B.C. 9.8.6.2.(3.)
FOR AN EXTERIOR STAIR SERVING A GARAGE W/ MORE THAN 3 RISERS. GUARDS, HANDRAILS & STEPS AS PER CONSTRUCTION HEX NOTE 10 & 11.

GUARDS/RAILINGS (9.8.7., 9.8.8.) GUARDS TO BE DESIGNED NOT TO FACILITATE CLIMBING AND PROVIDING MAX. OPENING CONFORMING TO O.B.C. 9.8.8.5. & 9.8.8.6. AND BE ABLE TO RESIST LOADS AS PER TABLE 9.8.8.2. GUARD HEIGHTS - O.B.C. 9.8.8.

INTERIOR GUARDS: 2'-11" (900) MIN. EXTERIOR GUARDS: 2'-11" (900) MIN. (LESS THAN 5'-11" (1800) TO GRADE) 3'-6" (1070) MIN. (MORE THAN 5'-11" (1800) TO GRADE) GUARDS FOR EXIT STAIRS: 3'-6" (1070) MIN. GUARDS FOR LANDINGS @ EXIT STAIRS: 3'-6" (1070) MIN.

GUARDS FOR FLOORS & RAMPS IN GARAGES (SERVICE STAIRS), FLOOR OR RAMP W/O EXTERIOR WALLS THAT IS 23 5/8* (600) OR MORE ABOVE ADJACENT SURFACE REQUIRES CONT. CURB MIN. 6" (150) HIGH, AND GUARD MIN. 3'-6" (1070) HIGH.

EN WALKING SURFACE & ADJACENT SURFACE WITH A DIFFERENCE IN ELEVATION MORE THAN 23 5/8" (600) OR ADJACENT SURFACE WITHIN 3'-11" (1200) & WALKING SURFACE W/A SLOPE MORE THAN 1 IN 12 SHALL BE PROTECTED WITH GUARDS PER CONSTRUCTION HEX NOTE 11. HANDRAIL HEIGHTS - O.B.C. 9.8.7. - REQUIRED AS PER 9.8.7.1.(3) MIN. HEIGHT AT STAIRS, RAMP AND LANDINGS: 2-10" (865) MAX. HEIGHT AT STAIRS, RAMP AND LANDING: 3'-6" (1070)

SILL PLATES

2"x4" (38x89) SILL PLATE WITH 1/2" (12.7)Ø ANCHOR BOLTS 8" (200) LONG, EMBEDDED MIN. 4" (100) INTO CONC. @ 4-0" (1220) O.C., CAULKING OR GASKET BETWEEN PLATE AND TOP OF FOUNDATION WALL. USE NON-SHRINK GROUT TO EVEL SILL PLATE WHEN REQUIRED (9.23.7.)

BASEMENT INSULATION ([SB-12] 3.1.1.7.) PROVIDE CONTINUOUS BLANKET INSULATION W/ BUILT IN 6 mil POLYETHYLENE VAPOUR BARRIER. INSULATION TO EXTEND NO MORE THAN 8" (200) ABOVE FINISHED BASEMENT FLOOR. DAMPROOFED WITH BUILDING PAPER BETWEEN THE FOUNDATION WALL AND INSULATION UP TO GRADE LEVEL.

BEARING STUD PARTITION IN BASEMENT (9.15.3.6., 9.23.10.1.) 2"x4" (38x89) STUDS @ 16" (406) O.C., 2"x4" (38x89) SILL PLATE (2"x6" (38x140) AS REQUIRED) ON DAMPPROOFING MATERIAL OR 2 mil POLYETHYLENE FILM, 1/2" 2.7) Ø ANCHOR BOLTS 8" (200) LONG, EMBEDDED 4" (100) MIN. INTO CONC. @ -10" (2390) O.C. 4" (100) HIGH CONC. CURB ON CONC. FOOTING. FOR SIZE REFEF TO HEX NOTE 5, ADD HORIZ, BLOCKING AT MID-HEIGHT IF WALL IS UNFINISHED.

ADJUSTABLE STEEL BASEMENT COLUMN (9.15.3.4. 9'-10" (3000) MAX. SPAN BETWEEN COLUMNS. 3 1/2" (90)Ø SINGLE TUBE ADJUSTABLE STEEL COLUMN CONFORMING TO CAN/CGSB-7.2M, AND WITH 6%6%3/8" (152x152x9.5) STEEL PLATE TOP & BOTTOM, FIELD WELD BASEMENT COLUMN CONNECTION. POURED CONCRETE FOOTING ON NATURAL UNDISTURBED SOIL OF 125kPa S.L.S. OR COMPACTED ENGINEERED FILL WITH MIN. BEARING CAPACITY OF 125KPA S.L.S. AS PER SOILS REPORT. SUPPORTING 2 STOREY FLR. LOAD PROVIDE 34"x34"x16" (870x870x410) CONC. FOOTING

SUPPORTING 3 STOREY FLR, LOAD PROVIDE 40"x40"x19" (1060x1060x480) CONC, FOOTI

15A) NON-ADJUSTABLE STEEL BASEMENT COLUMN ANCHORS FIELD WELD BASEMENT COLLIMN CONNECTION POURED CONCRETE FOOTING ON NATURAL UNDISTURBED SOIL OF 125KPA S.L.S. OR COMPACTED ENGINEERED FILL WITH MIN. BEARING CAPACITY OF 125KPA S.L.S. AS PER SOILS REPORT. SUPPORTING 2 STOREY FLR. LOAD PROVIDE 42"x42"x18" (1070x1070x460) CONC. FOOTING

SUPPORTING 3 STOREY FLR. LOAD PROVIDE 48"x48"x24" (1220x1220x610) CONC. FOOTING NON-ADJUSTABLE STL. COLUMN AT FOUNDATION WALL

3 1/2" (90)/0/ v 0 188" (4 70) NIONI AD II 1071 DI E 3 1/2" (90)Ø x 0.188" (4.78) NON-ADJUSTABLE STEEL COLUMN WITH 6"x6"x3/8" (152x152x9.5) STEEL TOP PLATE & 6"x4"x3/8" (152x100x9.5) BOTTOM PLATE. BASE PLATE 4-1/2"x10"x1/2" (120x250x12.7) WITH 2-1/2"Ø x 12" LONG x 2" HOOK ANCHORS (2- 12.7Øx305x50). FIELD WELD COLUMN TO BASE PLATE & STEEL BM.

STEEL BEAM BEARING AT FOUNDATION WALL (9.23.8.1.)
BEAM POCKET OR 8''x8" (2002/2001 DOLIDED COMP. 175 BEAM POCKET OR 8"x8" (200x200) POURED CONC. NIB WALLS, MIN. BEARING 3 1/2" (90). CONC. NIB WALLS TO HAVE EXTENDED FOOTINGS **WOOD STRAPPING AT STEEL BEAMS** (9.23.4.3.(3.), 9.23.9.3.)

1"x3" (19x64) CONTIN. WOOD STRAPPING BOTH SIDES OF STEEL BEAM. (9.16., 9.35.) (100) 32MPa (4640psi) CONC. SLAB WITH 5-8% AIR ENTRAINMENT ON OPT.

4" (100) COARSE GRANULAR FILL WITH COMPACTED SUB-BASE OR COMPACTED NATIVE FILL. SLOPE TO FRONT @ 1% MIN. 49) GARAGE TO HOUSE WALLS/CEILING (9.10.9.16.) (12.7) GYPSUM BOARD ON WALL AND CEILING BETWEEN HOUSE AND GARAGE, PLUS REQUIRED INSULATION IN WALLS AND SPRAY FOAM FOR CEILINGS. TAPE AND SEAL ALL JOINTS GAS TIGHT. (9.10.17.10, CAN/ULC-S705.

GARAGE TO HOUSE WALLS/CEILING W/ CONTIN. INSULATION 1/2" (12.7) GYPSUM BOARD ON CEILING AND ON WALLS INSTALLED OVER EXTERIOR TYPE RIGID INSULATION (JOINTS UNTAPED) MECHANICALLY FASTENED AS PER MANUFACTURER'S SPECIFICATIONS ON 3/8" EXTERIOR GRADE SHEATHING ON STUDS BETWEEN HOUSE AND GARAGE PLUS REQUIRED INSULATION IN WALLS & SPRAY FOAM FOR CEILINGS. TAPE AND SEAL ALL JOINTS GAS TIGHT. (9.10.9.16. , 9.10.17.10, CAN/ULC-S705.2)

GARAGE DOOR TO HOUSE (9.10.9.16., 9.10.13.10., 9.10.13.15.) S-PROOF DOOR AND FRAME. DOOR EQUIPPED WITH SELF CLOSING DEVICE AND WEATHER STRIPPING

EXTERIOR AND GARAGE STEPS

PRECAST CONC. STEP OR WOOD STEP WHERE NOT EXPOSED TO WEATHER. MAX RISE 7 7/8" (200), MIN. TREAD 9 1/4" (235). FOR THE REQUIRED NUMBER OF STEPS REFER TO SITING AND GRADING DRAWINGS. EXTERIOR CONCRETE STAIRS WITH MORE THAN 2 RISERS AND 2 TREADS SHALL BE PROVIDED WITH FOUNDATION AS REQUIRED BY ARTICLE 9.8.9.2. OR SHALL BE CANTILEVERED AS PER SUBSECTION 9.8.10.

CAPPED DRYER EXHAUST VENTED TO EXT. CONFORMING TO PART 6, OBC 9.32. 23) ATTIC ACCESS (9.19.2.1.)

ATTIC ACCESS HATCH WITH MIN. AREA OF 0.32m2 AND NO DIM. LESS THAN 21 1/2" (545) WITH WEATHER STRIPPING. HATCHWAYS TO THE A OR BOOF SPACE WILL BE FITTED WITH DOORS OR COVERS AND WILL BE INSULATED WITH MIN. R20 (RSI 3.52) ([SB-12] 3.1.1.8.(1))

FIREPLACE CHIMNEYS (9.21.) OP OF FIREPLACE CHIMNEY SHALL BE 2-11" (889) ABOVE THE HIGHEST POINT AT WHICH IT COMES IN CONTACT WITH THE ROOF AND 2'-0" (610) ABOVE T ROOF SURFACE WITHIN A HORIZ. DISTANCE OF 10'-0" (3048) FROM THE CHIMNEY

LINEN CLOSET PROVIDE 4 SHELVES MIN. 14" (356) DEEP.

MECHANICAL VENTILATION (9.32.1.3.)
MECHANICAL EXHAUST FAN, VENTED TO EXTERIOR, TO PROVIDE AT LEAST ONE AIR CHANGE PER HOUR. SEE GENERAL NOTE 2.3.

PARTY WALL BEARING (9.23.8 2"x12"x5/8" (305x305x15.9) STEEL PLATE FOR STEEL BEAMS AND 12"x12"x1/2" (305x305x12.7) STEEL PLATE FOR WOOD BEAMS BEARING (MIN. 3-1)2" (89)) ON CONC. BLOCK PARTY WALL, ANCHORED WITH 2-3/4" (2-19) x 8" (200) LONG GALV. ANCHORS WITHIN SOLID BLOCK COURSE, LEVEL W/ NON-SHRINK GROUT REFER TO NOTE SOLID BEARING (SECTION 3.0) FOR WD. STUD PARTY WALL.

WOOD FRAMING IN CONTACT TO CONCRETE WOOD BEARING WALLS, THE UNDERSIDE OF BUILT-UP WOOD POSTS AND SILLS SHALL BE WRAPPED WITH 2 mill POLY. STRIP FOOTINGS SUPPORTING THE FOUNDATION WALL SHALL BE WIDENED 6" (152) BELOW THE BEARING WALL AND/OR WOOD POST. (9.17.4.3.)

29 BUILT-UP WOOD POST AND FOOTING (9.17.4.1., 9.15.3.7.) 3-2"x6" (3-38x140) BUILT-UP WOOD POST (UNLESS OTHERWISE NOTED) ON METAL BASE SHOE ANCHORED TO CONC. WITH 1/2" (12.7) Ø BOLT, 24"x24"x12" (610x610x305) CONC. FOOTING OR AS PROVIDED ON PLAN. REFER TO NOTE 28

STEP FOOTINGS (9.15.3.9.) MIN. HORIZ. STEP = 23 5/8" (600). MAX. VERT. STEP = 23 5/8" (600).

CONC. PORCH SLAB (9.16.4.) MIN. 4" (100) CONCRETE SLAB ON GRADE ON 4" (100) COARSE GRANULAR FILL, REINFORCED WITH 6x6xW2.9xW2.9 MESH PLACED NEAR MID-DEPTH OF SLAB, CONC. STRENGTH 32MPa (4640psi) WITH 5-8% AIR ENTRAINMENT ON COMPACTED SUB-GRADE.

FURNACE VENTING (9.32.) DIRECT VENT FURNACE TERMINAL MIN. 3'-0" (915) FROM A GAS REGULATOR. MIN. 12" (305) ABOVE FIN. GRADE, FROM ALL OPENINGS, EXHAUST AND INTAKE VENTS. HRV INTAKE TO BE A MIN. OF 6'-0" (1830) FROM ALL EXHAUST TERMINALS. REFER TO GAS UTILIZATION CODE. FIREPLACE VENTING (9.32.3.)

DIRECT VENT GAS FIREPLACE VENT TO BE A MIN. 12" (305) FROM ANY OPENING AND ABOVE FIN. GRADE. REFER TO GAS UTILIZATION CODE.

FLOOR FRAMING (9.23.3.5., 9.23.9.4., 9.23.14.) T&G SUBFLOOR ON WOOD FLOOR JOISTS. FOR CERAMIC TILE APPLICATION SEE O.B.C. 9.30.6. ALL JOISTS WHERE REQUIRED TO BE BRIDGED WITH 2"x2" (38x38) CROSS BRACING OR SOLID BLOCKING @ 6'-11" (2108) O.C. MAX. ALL PANEL TYPE CEILING FINISH IS APPLIED.

HEADER CONSTRUCTION

PROVIDE CONTINUOUS APPROVED AIR/VAPOUR BARRIER (HEADER WRAP)
UNDER THE SILL PLATE, AROUND THE RIM BOARD AND UNDER THE
BOTTOM PLATE. THE HEADER WRAP SHALL EXTEND 6" (152) BELOW THE
TOP OF FOUNDATION WALL AND WILL BE SEALED TO THE CONCRETE FOUNDATION WALL. EXTEND HEADER WRAP 6" (152) UP THE INTERIOR SIDE OF THE STUD WALL AND OVERLAP WITH THE VAPOUR BARRIER AND SEAL THE JOINT. ALL EDGES/JOINTS MUST BE MECHANICALLY CLAMPED.

EXPOSED BUILDING FACE w/ LIMITING DISTANCE <= 3'-11" (1.20m) ON-COMBUSTIBLE WHEN LIMITING DISTANCE IS 23 5/8' (0.60m) OR LESS. WALL ASSEMBLY REQUIRES TO HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN 45 MINUTES & CONFORMING TO O.B.C. (9.10.14. OR 9.10.15.), REFER TO DETAILS FOR TYPE & SPECS. ** AN OPENING IN AN EXPOSING BUILDING FACE NOT MORE THAN 20 in? (130cm²) SHALL NOT BE CONSIDERED AN UNPROTECTED OPENING AS PER

COLD CELLAR PORCH SLAB (9.39.)

FOR MAX. 8-2" (2500) PORCH DEPTH, 5" (127) 32 MPa (4640psi) CONC. SLAB W/5-8% AIR ENTRAINMENT. REINF. WITH 10M BARS @ 7 7/8" (200) O.C. EACH DIRECTION, W/1 1/4" (32) CLEAR COVER FROM BOTTOM OF SLAB TO FIRST LAYER OF BARS & SECOND LAYER OF BARS LAID DIRECTLY ON TOP OF LOWER LAYER IN OPPOSITE DIR. 24**24" (610x610) 10M DOWELS @ 23 5/8" (600) O.C. ANCHORED IN PERIMETER FND. WALLS, SLOPE SLAB 1.0% FROM DOOR.

RANGE HOODS AND RANGE-TOP FANS COOKING APPLIANCE EXHAUST FANS VENTED TO EXTERIOR MUST CONFORM TO OBC 9.10.22, 9.32.3.9. & 9.32.3.10.

CONVENTIONAL ROOF FRAMING (9.23.13., 9.23.15.) 2"x6" (38x140) RAFTERS @ 16" (406) O.C., 2"x8" (38x184) RIDGE BOARD. 2"x4" (38x89) COLLAR TIES AT MID-SPAN. CEILING JOISTS TO BE 2"x4" (38x89) . 16" (406) O.C. FOR MAX. 9-3" (2819) SPAN & 2"x6" (38x140) @ 16" (406) C. FOR MAX. SPAN 14-7" (4450). RAFTERS FOR BUILT UP ROOF OVER PRF-ENGINEERED ROOF TRUSSÉS AND OR CONVENTIONAL FRAMING TO BE 2"x4" (38x89) @ 24" (610) O.C. UNLESS OTHERWISE SPECIFIED.

A. KONG VVSI) 100184942 August 06, 2022 THORNHILL ONTARIO CANADA L3T OA1 : 1-905-882-4211|FAX: 1-905-822-0055|WWW.WSPGROUP.C. OF

FOR STRUCTURAL ONLY. EXCLUDING

JOIST, AND FLOOR LVL BEAM DESIGN.

ENGINEERED ROOF TRUSS, FLOOR

cont. SECTION 1.0. CONSTRUCTION NOTES

TWO STOREY VOLUME SPACES (9.23.10.1., 9.23.11., 9.23.16.) WALL ASSEMBLY 2-2"x6" | 12" (305) O.C. | 18'-4" (5588) | 8" (200) O.C. | 18'-4" (5588) SIDING (2-38×140) SPR.#2 16" (406) O.C. 18'-4" (5588) 12" (305) O.C. 18'-4" (5588) BRICK 2-2"x8" 12" (305) O.C. 21'-0" (6400) 12" (305) O.C. 21'-0" (6400) SIDING SPR.#2 16" (406) O.C. 21'-0" (6400) 16" (406) O.C. 21'-0" (6400) ** STUD SIZE & SPACING TO BE VERIFIED BY STRUCTURAL ENGINEER *>

STUDS ARE TO BE CONTINUOUS, C/W 3/8" (9.5) THICK EXTERIOR PLYWOOD SHEATHING. PROVIDE SOLID WOOD BLOCKING BETWEEN WOOD STUDS @ 4'-0" (1220) O.C. VERTICALLY. - FOR HORIZ. DISTANCES LESS THAN 9'-6' (2896) PROVIDE 2"x6' (38x140) STUDS @ 16' (406) O.C. WITH CONTIN. 2-2"x6' (2-38x140) TOP PLATE + 1-2"x6' (1-38x140) SOTTOM PLATE & MIN. OF 3-2"x8' (3-38x184) CONT. HEADER AT GROUND FLOOR CEILING LEVEL TOE-NAILED & GLUED AT TOP, BOTTOM PLATES & HEADERS.

1 HR. PARTY WALL (CONC. BLOCK) ([SB-3] WALL TYPE 'B6e' & 'B1b') 1/2" (12.7) GYPSUM SHEATHING ON EACH SIDE ON 2"X2" (38x38) VERTICAL WD. STRAPPING @ 24" (610) O.C. ON 8" (200) CONC. BLOCK FILL STRAPPING CAVITY EACH SIDE WITH AT LEAST 90% OF ABSORPTIVE MATERIAL PROCESSED FROM ROCK, SLAG OR GLASS, TAPE, FILL & SAND ALL GYPSUM JOINTS EXPOSED BLOCK MUST BE SEALED W/ 2 COATS OF PAINT OF FURRED WITH 2"x2" (38x38) WD. STRAPPING & 1/2" (12.7) GYPSUM SHEATHING.

 $\underline{\textbf{1 HR. PARTY WALL (DOUBLE STUD)}} \hspace{0.2cm} ([SB-3] \hspace{0.1cm} WALL \hspace{0.1cm} TYPE \hspace{0.1cm} W13c')$ 5/8" (15.9) TYPE 'X' GYPSUM SHEATHING ON EXTERIOR SIDE OF 2 ROWS OF 2'%4" (188x89) STUDS @ 16" (406) O.C., MIN. 1" (25) APART ON SEPARATE 2'%4" (38x89) SILL PLATES. (2'%6" (38x140) AS REQUIRED) FILL ONE SIDE OF STUD CAVITY WITH AT LEAST 90% OF ABSORPTIVE MATERIAL PROCESSED FROM ROCK, SLAG OR GLASS. TAPE FILL AND SAND ALL GYPSUM JOINTS.

40A) 2 HR. FIREWALL ((SB-3) WALL TYPE 'B6e' & 'B1b') 1/2" (12.7) GYPSUM SHEATHING ON EACH SIDE ON 2"x2" (38x38) VERTICAL WOOD STRAPPING @ 24" (610) O.C ON 8" (200) CONC. BLOCK 75% SOLID. FILL STRAPPING CAVITY EACH SIDE WITH AT LEAST 90% OF ABSORPTIVE MATERIAL PROCESSED FROM ROCK, SLAG OR GLASS. TAPE, FILL & SAND ALL GYPSUM JOINTS. AT UNFINISHED AREAS, EXTERIOR FACE OF CONC. BLOCK TO BE SEALED WITH 2 COATS OF PAINT. GYPSUM SHEATHING TO BE ATTACHED TO CONC. BLOCK, (REFER TO DETAILS)

41 STUCCO WALL CONSTRUCTION (2'x6') STUCCO FINISH CONFORMING TO O.B.C. SECTION 9.28. AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1 1/2" (38) E.I.F.S. (MINIMUM) ON APPROVED DRAINAGE MAT ON 1/2" (12.7) DENSGLASS GOLD GYPSUM BOARD ON STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1., INSULATION, APPROVED 6 MIL. POLYETHYLENE VÅPOUR BARRIER, 1 WALLBOARD INT. FINISH. (REFER TO 35 NOTE AS REQUIRED)

41A STUCCO WALL CONSTRUCTION (2*x6*) W/ CONTIN, INSUL, STUCCO FINISH CONFORMING TO O.B.C. SECTION 9.28. AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1 1/2" (38) E.I.F.S. (MINIMUM) O MANDEACTORERS SPECIFICATIONS OVER 1 1 / 2 (SI) E.I.F.S. (WINNIVOW) ON APPROVED DRAINAGE MAT ON APPROVED AIR, MATER BARRIER AS PER O.B.C. 9.27.3. ON EXTERIOR TYPE RIGID INSULATION (JOINTS UNTAPED) MECHANICAL FASTENED AS PER MANUFACTURER'S SPECIFICATIONS, ON 7/16" EXTERIOR TY SHEATHING ON STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1., INSULATION, APPROVED 6 MIL. POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (REFER TO 35 NOTE AS REQUIRED

41B STUCCO WALL @ GARAGE CONST. STUCCO FINISH CONFORMING TO O.B.C. SECTION 9.28. AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1 1/2" (38) E.F.I.S (MINIMUM) ON APPROVED DRAINAGE MAT ON 1/2" (12.7) DENSGLASS GOLD GYPSUM BRD. ON STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1., 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (REFER TO 35 NOTE AS RE WALLBOARD IN I. FINISH. (REFER TO 35 NOTE AS REQ.)
**** FOR DWELLINGS USING CONTIN. INSULATION CONSTRUCTION,
PROVIDE APPROVED DRAINAGE MAT ON 7/16" (11) EXTERIOR TYPE SHEATHING
OVER FURRING (AS REQ.) AND STUDS IN LIEU OF 1 1/2" (38) E.F.I.S (MINIMUM)
ON APPROVED DRAINAGE MAT ON 1/2" (12.7) DENSGLASS GOLD GYPSUM BRD

UNSUPPORTED FOUNDATION WALLS

(9.15.4.2.)

QUINT ON 1/2 (12.7) DENSGLASS G REINFORCING AT STAIRS AND SUNKEN FLOOR AREAS 2-20M BARS IN TOP PORTION OF WALL (UP TO 8-0" OPENING) 3-20M BARS IN TOP PORTION OF WALL (8-0" TO 10-0" OPENING) 4-20M BARS IN TOP PORTION OF WALL (10-0" TO 15-0" OPENING - BARS STACKED VERTICALLY AT INTERIOR FACE OF WALL @ 6" O.C REINFORCING AT BASEMENT WINDOWS 2-15M HORIZ. REINFORCING ON THE INSIDE AND OUTSIDE FACE OF THE FOUNDATION WALL BELOW THE WIN. SILL. EXTEND BARS 24" (610) BEYOND THE OPENING. 2-15M VERTICAL REINFORCING ON THE INSIDE AND OUTSIDE FACE OF THE FOUNDATION WALL ON EACH SIDE OF THE WINDOW OPENING.

- BARS TO HAVE MIN. 1" (25) CONC. COVER - BARS TO EXTEND 2'-0" (610) BEYOND BOTH SIDES OF OPENING

STUD WALL REINFORCEMENT PROVIDE STUD WALL REINFORCEMENT IN MAIN BATHROOM CONFORMING TO O.B.C. (9.5.2.3.(1)) (REFER TO DETAILS)

WINDOW WELLS

WHERE A WINDOW OPENS INTO A WINDOW WELL, A CLEARANCE OF NOT LESS THAN 21 5/8" (550) SHALL BE PROVIDED IN FRONT OF THE WINDOW. EVERY WINDOW WELL SHALL BE DRAINED TO THE FOOTING LEVEL OR OTHER SUITABLE LOCATION WITH A 4" (100) WEEPING TILE C/W A FILTER CLOTH WRAP AND FILLED WITH CRUSHED STONE. (9.9.10.1.(5), 9.14.6.3.)

SLOPED CEILING CONSTRUCTION ([SB-12] 3.1.1.8., 9.23.4.2.) 2"x12" (38x286) ROOF JOISTS @ 16" (406) O.C. MAX. (UNLESS OTHERWISE NOTED) W/ 2"x2" (38x38) PURLUINS @ 16" (406) O.C. PEPRENDICULAR TO ROOF JOIST (PURLUINS NOT REQ. W/ SPRAY FOAM), W/ INSULATION BETWEEN JOIST 6 mil POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH OR APPROVED EQ. INSULATION VALUE DIRECTLY ABOVE THE INNER SURFACE OF EXTERIOR WALLS SHALL NOT BE LESS THAN R20 (3.52 RSI).

FLAT ROOF/BALCONY CONSTRUCTION

INDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HA

aw

DE TO BE A DESIGNER.

STRATION INFORMATION

HUNT DESIGN ASSOCIATES INC

Allan Whiting

ÀNGLED TOWARDS SCUPPER @ 2% MINIMUM LAID PERPENDICULAR TO 2"x8 (38x184) FLOOR JOISTS @ 16" (406) O.C. (UNLESS OTHERWISE NOTED). BUILT CURB TO BE 4" (100) MIN. ABOVE FINISHED BALCONY FLOOR. CONTINUOUS "L TRIM DRIP EDGE TO BE PROVIDED ON OUTSIDE FACE OF CURB. SCUPPER DR TO BE LOCATED 24" (610) MIN. AWAY FROM HOUSE. PREFINISHED ALLUMINUM PANEL FOR UNDERSIDE OF SOFFIT (9.23.2.3). REMOVE CURB WHERE REQ. **BALCONY CONDITION**

FLAT ROOF/BALCONY CONSTRUCTION NOTE, INCLUDE 2"x4" (38x89) PT SEE FLAH HOUF/BALCOINT CONSTRUCTION NOTE: INCLUDE 2.24 (300.09) F1.

DECKING W 1/4" (6.4) GAPS LAID FLAT PARALLEL TO JOISTS ON 2"44" (38.89)

PT. SLEEPERS @ 12" (305) O.C. LAID FLAT PERPENDICULAR TO JOISTS BALCONY OVER HEATED SPACE CONDITION

SEE FLAT ROOF/BALCONY CONSTRUCTION NOTE FOR ASSEMBLY. REFER TO PLANS FOR FLOOR JOIST SIZE & REFER TO HEX NOTE 9 FOR INSULATION AN INTERIOR FINISH

47 BARREL VAULT CONSTRUCTION CANTILEVERED 2"x4" (38x89) SPACERS LAID FLAT ON 2"x10" (38x235) SPR. #2
ROOF JOIST NAILED TO BUILT-UP 3-3/4" (19) PLYWOOD HEADER PROFILED FO
BARREL. SPRAY FOAM INSULATION BETWEEN JOISTS W/ GYPSUM BOARD. INTERIOR FIN. (REFER TO DETAILS)

REFER TO SB-12 ENERGY EFFICIENCY DESIGN MATRIX ON THE TITLE PAGE FOR ALL VALUES AS REQUIRED PER 3.1.1., 3.1.2., 3.1.3. OF THE OBC.

SECTION 1.1. WALL STUDS BEFER TO THIS CHART FOR STUD SIZE & SPACING AS REQUIRED FOR EXTERIOR

OF TOP OF FOUNDATION WALL AND ADDITIONAL INFORMATION. - IF STUD WALL HEIGHT EXCEEDS MAX. UNSUPPORTED HEIGHT, WALL NEEDS TO BE

SIZE	SIZE & SPACING OF STUDS: (OBC REFERENCE - TABLE 9.23.10.1.)								
MIN.		SUPPORTED LO	ADS (EXTER I OR)						
STUD SIZE,	ROOF w/ OR w/o ATT I C	ROOF w/ OR w/o ATTIC & 1 FLOOR	ROOF w/ OR w/o ATTIC & 2 FLOOR	ROOF w/ OR w/o ATTIC & 3 FLOOR					
n (mm)	MAX. STUD SPACING, in (mm) O.C.								
((((((()	MAX. UNSUPPORTED HGT., ft-in (m)								
2"x4"	24" (610)	16" (405)	12" (305)	N/A					
38x89)	9'-10" (3.0)	9'-10" (3.0)	9'-10" (3.0)	N/A					
2"x6"	-	24" (610)	16" (406)	12" (305)					
38x140)	-	9'-10" (3.0)	11'-10" (3.6)	5'-11" (1.8)					

SECTION 2.0. GENERAL NOTES

2.1. WINDOWS

1) EXCEPT WHERE A DOOR ON THE SAME FLOOR LEVEL AS THE BEDROOM PROVIDES DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL CONTAINING A BEDROOM IS O HAVE AT LEAST ONE OUTSIDE WINDOW W/ MIN. 0.35m2 UNOBSTRUCTED OPE PORTION W/ NO DIMENSION LESS THAN 1-3" (380), CAPABLE OF MAINTAINING TH OPENING WITHOUT THE NEED FOR ADDITIONAL SUPPORT, CONFORMING TO 9.9.10. 2) WINDOW GUARDS: A GUARD OR A WINDOW WITH A MAXIMUM RESTRICTED OPENING WIDTH OF 4" (100) IS REQUIRED WHERE THE TOP OF THE WINDOW SILL IS LOCATED LESS THAN 1'-7" (480) ABOVE FIN. FLOOR AND THE DISTANCE FROM THE FINISHED FLOOR TO THE ADJACENT GRADE IS GREATER THAN 5'-11" (1800). (9.8.8.1.) 3) WINDOWS IN EXIT STAIRWAYS THAT EXTEND TO LESS THAN 2'-11" (900) [3'-6" (1070) FOR ALL OTHER BUILDINGS] SHALL BE PROTECTED BY GUARDS IN ACCORDANCE WITH NOTE #2 (ABOVE). OR THE WINDOW SHALL BE NON-OPERABLE AND DESIGNED O WITHSTAND THE SPECIFIED LOADS FOR BALCONY GUARDS AS PROVIDED IN

4) REFER TO TITLE PAGE FOR MAX. U-VALUE REQUIREMENTS

2.2. CEILING HEIGHTS

CEILING HEIGHTS OF ROOMS AND SPACES SHALL CONFORM TO TABLE 9.5.3.1

THE CEILING HEIGHTS OF ROOMS AND SPACES SHALL CONFORM TO TABLE 9.5.5.					
ROOM OR SPACE	MINIMUM HEIGHTS				
LIVING ROOM, DINING ROOM AND KITCHEN	7'-7" OVER 75% OF REQUIRED FLOOR AREA WITH A CLEAR HEIGHT OF 6'-11" AT ANY POINT				
BEDROOM	7'-7" OVER 50% OF REQUIRED FLOOR AREA OR 6'-11" OVER ALL OF THE REQUIRED FLOOR AREA.				
BASEMENT	6'-11" OVER AT LEAST 75% OF THE BASEMENT AREA EXCEPT THAT UNDER BEAMS AND DUCTS THE CLEARANCE IS PERMITTED TO BE REDUCED TO 6'-5".				
BATHROOM, LAUNDRY AREA ABOVE GRADE	6'-11" IN ANY AREA WHERE A PERSON WOULD NORMALLY BE STANDING				
FINISHED ROOM NOT MENTIONED ABOVE	6'-11"				
MEZZANINES	6'-11" ABOVE & BELOW FLOOR ASSEMBLY (9.5.3.2.)				
STORAGE GARAGE	6'-7" (9.5.3.3.)				
	·				

2.3. MECHANICAL / PLUMBING

MECHANICAL VENTILATION IS REQUIRED TO PROVIDE 0.7 AIR CHANGE PER HOUR I) MICCHANICAL VENTILATION IS REQUIRED TO FINAL CHANGE FER HOUR. IF NOT AIR CONDITIONED AVERAGED OVER 24 HOURS. WHEN A VENTILATION FAN (PRINCIPAL EXHAUST) IS REQUIRED, CONFORM O OBC 9.32.3.4. WHEN A HRV IS REQUIRED, CONFORM TO 9.32.3.11. REFER TO

2) REFER TO HOT WATER TANK MANUFACTURER SPECS. CONFORM TO OBC 9.31.6. 3) REFER TO TITLE PAGE FOR SPACE HEATING EQUIPMENT, HRV AND DOMESTIC OT WATER HEATER MINIMUM EFFICIENCIES. 4) DRAIN WATER HEAT RECOVERY UNIT(S) WILL BE INSTALLED CONFORMING TO THE REQUIREMENTS OF SB12 - 3.1.1.12. OF THE O.B.C.

2.4. LUMBER1) ALL LUMBER SHALL BE SPRUCE No.2 GRADE OR BETTER, UNLESS NOTED OTHERWISE. 2) STUDS SHALL BE STUD GRADE SPRUCE, UNLESS NOTED OTHERWISE, 3) LUMBER EXPOSED TO THE EXTERIOR TO BE SPRUCE No. 2 GRADE PRESSURE TREATED OR CEDAR, UNLESS NOTED OTHERWISE.

4) ALL LAMINATED VENEER LUMBER (LVL) BEAMS, GIRDER TRUSSES, AND METAL HANGER CONNECTIONS SUPPORTING ROOF FRAMING TO BE DESIGNED & CERTIFIED BY FLOOR AND ROOF TRUSS MANUFACTURER.) JOIST HANGERS: PROVIDE APPROVED METAL HANGERS FOR ALL JOISTS AND BUILT-UP WOOD MEMBERS INTERSECTING WITH FLUSH BUILT-UP WOOD MEMBERS.

6) WOOD FRAMING NOT TREATED WITH A WOOD PRESERVATIVE, IN CONTACT WITH CONCRETE, SHALL BE SEPARATED FROM THE CONC. BY AT LEAST 2 mil POLYETHYLE FILM, No.50 (45lbs) ROLL ROOFING OR OTHER DAMPPROOFING MATERIAL, EXCEPT WHERE THE WOOD MEMBER IS AT LEAST 6" (152) ABOVE THE GROUND. **2.5. STEEL** (9.23.4.3.) 1) STRUCTURAL STEEL SHALL CONFORM TO CAN/CSA-G40-21 GRADE 350W. HOLLOW STRUCT. SECTIONS SHALL CONFORM TO CAN/CSA-G40-21 GRADE 350W CLASS "H".

2) REINFORCING STEEL SHALL CONFORM TO CSA-G30-18M GRADE 400R. 2.6. FLAT ARCHES R 8'-0" (2440) CEILINGS, FLAT ARCHES SHALL BE 6'-10" (2080) A.F.F.

2) FOR 9-0" (2740) CEILINGS, FLAT ARCHES SHALL BE 7-10" (2400) A.F.F. 3) FOR 10-0" (3040) CEILINGS, FLAT ARCHES SHALL BE 8'-6" (2600) A.F.F.

2.7. ROOF OVERHANGS 1) ALL ROOF OVERHANGS SHALL BE 1'-0" (305). UNLESS NOTED OTHERWISE. 2.8. FLASHING (9.20.13., 9.26.4. & 9.27.3.) FLASHING MATERIALS & INSTALLATION SHALL CONFORM TO O.B.C.

::9: GHADING) THE BUILDING SHALL BE LOCATED OR THE BUILDING SITE GRADED SO THE WATER VILL NOT ACCUMULATE AT OR NEAR THE BUILDING AND WILL NOT ADVERSELY CT ADJACENT PROPERTIES. CONFORM TO 9.14.6.

2.10. ULC SPECIFIED ASSEMBLIES
ALL REQUIRED INDIMIDUAL COMPONENTS THAT FORM PART OF ANY 'ULC LISTED ASSEMBLY', SPECIFIED WITHIN THESE DRAWINGS, CANNOT BE ALTERED OR SUBS FOR ANY OTHER MATERIAL/PRODUCT OR SPECIFIED MANUFACTURER THAT IS IDENTIFIED IN THAT 'SPECIFIED ULC LISTING'. THERE SHALL BE NO DEVIATIONS UNDER ANY CIRCUMSTANCES IN ANY 'ULC LISTED ASSEMBLY' IDENTIFIED IN THESE DRAWINGS

SECTION 3.0. LEGEND

3.1. WOOD LINTELS AND BUILT-UP WOOD (DIVISION B PART 9. TABLES AS TO A10 AND A12, A15 & A16) G PART OF SENTENCE 9.23.4.2.(3), 9.23.4.2.(4), 9.23.12.3.(1),(3), 9.23.13.8.(2), 9.37.3

		O O OTEEL LINE		OLIDBODTINIO MAG		N/ \/ENIEED		
	LVL8	4-1 3/4"x9 1/2"	LVL9	4-1 3/4"x11 7/8"	LVL13	4-1 3/4"x14"		
	LVL5	3-1 3/4"x9 1/2"	LVL7	3-1 3/4"x11 7/8"	LVL12	3-1 3/4"x14"		
	LVL4	2-1 3/4"x9 1/2"	LVL6	2-1 3/4"x11 7/8"	LVL11	2-1 3/4"x14"		
	LVL2	1-1 3/4"x9 1/2"	LVL3	1-1 3/4"x11 7/8"	LVL10	1-1 3/4"x14"		
	1 3/4" x 9 1/2" LVL			1 3/4" x 11 7/8" LVL	1 3/4" x 14" LVL			
-OR	ENGINEERED LUMBER SCHEDULE - GRADE 2.0E (UNLESS NOTE OTHERWISE)							
2	B7	5/2"x8" (5/38x184)	B8	5/2"x10" (5/38x235)	B9	5/2"x12" (5/38x286		
	B2	4/2"x8" (4/38x184)	B4	4/2"x10" (4/38x235)	В6	4/2"x12" (4/38x286		
O ND	B1	3/2"x8" (3/38x184)	ВЗ	3/2"x10" (3/38x235)	B5	3/2"x12" (3/38x286		
	L1	2/2"x8" (2/38x184)	L3	2/2"x10" (2/38x235)	L5	2/2"x12" (2/38x286		
	2"x8" SPRUCE #2			2"x10" SPRUCE #2	2"x12" SPRUCE #2			

3.2. STEEL LINTELS SUPPORTING MASONRY VENEER (DIVISION B PART 9, TABLE 9,20,5,2,B.)

FORMING PART OF SENTENCE 9.20.5.2.(2) & 9.20.5.2.(3)						
CODE	SIZE	BRICK	STONE			
L7	3 1/2" x 3 1/2" x 1/4" (89 x 89 x 6.4)	8'-1" (2.47m)	7'-6" (2.30m)			
L8	4" x 3 1/2" x 1/4" (102 x 89 x 6.4)	8'-9" (2.66m)	8'-1" (2.48m)			
L9	4 7/8" x 3 1/2" x 5/16" (127 x 89 x 7.9)	10'-10" (3.31m)	10'-1" (3.03m)			
L10	4 7/8" x 3 1/2" x 3/8" (127 x 89 x 11)	11'-5" (3.48m)	10'-7" (3.24m)			
L11	5 7/8" x 3 1/2" x 3/8" (152 x 89 x 11)	12'-6" (3.82m)	11'-7" (3.54m)			
L12	7 1/8" x 4" x 3/8" (178 x 102 x 11)	14'-1" (4.30m)	13'-1" (3.99m)			

HUNTUU

EXTERIOR | 2'-8" x 6'-8" x 1-3/4" (815 x 2030 x 45) INSULATED MIN. R4 (RSI 0.7) XTERIOR | 2'-10" x 6'-8" x 1-3/4" (865 x 2030 x 45) INSULATED MIN. R4 (RSI 0.7) EXTERIOR | 3'-0" x 6'-8" x 1-3/4" (915 x 2030 x 45) INSULATED MIN. R4 (RSI 0.7) EXTERIOR | 2'-6" x 6'-8" x 1-3/4" (760 x 2030 x 45) INSULATED MIN. R4 (RSI 0.7) EXTERIOR | 2'-8" x 6'-8" x 1-3/4" (815 x 2030 x 45) INS. MIN. R4 (RSI 0.7) (SEE HEX NOTE 20 E | EXTERIOR | 3'-0" x 8'-0" x 1-3/4" (915 x 2440 x 45) INSULATED MIN. R4 (RSI 0.7) EXTERIOR | 2'-8" x 8'-0" x 1-3/4" (815 x 2440 x 45) INSULATED MIN. R4 (RSI 0.7) A | EXTERIOR | 2-8 x 6-8" x 1-3/4" (815 x 2030 x 45) 20 MIN. F.R.R. DOOR/FRAME WITH APP. SELF CLOSING DEVIC INTERIOR | 2'-8" x 6'-8" x 1-3/8" (815 x 2030 x 35) INTERIOR | 2'-6" x 6'-8" x 1-3/8" (760 x 2030 x 35) PROVIDE 8'-0" HIGH INTERIOR | 2'-4" x 6'-8" x 1-3/8" (710 x 2030 x 35) INTERIOR DOORS FOR ALL 10' CEILING INTERIOR | 2'-0" x 6'-8" x 1-3/8" (610 x 2030 x 35) A INTERIOR 2'-2" x 6'-8" x 1-3/8" (660 x 2030 x 35) INTERIOR | 1'-6" x 6'-8" x 1-3/8" (460 x 2030 x 35) BFM BEAM BY FLOOR MANUFACTURER LIN LINEN CLOSET BG | FIXED GLASS W/ BLACK BACKING | LVL | LAMINATED VENEER LUMBER M I BEAM B/A OPEN TO BELOW/ABOVE POINT LOAD

CONFORMING TO SECTIONS 9.5.11, 9.6., 9.7.2.1, 9.7.5.2, & 9.10.13.10

W COMPLETE WITH PT | PRESSURE TREATED /TJ| DOUBLE JOIST/ TRIPLE JOIST PTD PAINTED O DO OVEF PWD POWDER ROOM RWL RAIN WATER LEADER RP DROPPEI G | ENGINEERED SB | SOLID BEARING WOOD POST T | ESTIMATED SBFA SB FROM ABOVE FLAT ARCH SINGLE JOIST SPR SPRUCE FG | FIXED GLASS T/O TOP OF TYP TYPICAL GT | GIRDER TRUSS U/S UNDERSIDE HB HOSE BIB WD WOOD RV | HEAT RETURN VENTILATION UNIT | WIC | WALK IN CLOSET WP WEATHER PROOF 3.5. SYMBOLS ALL ELECTRICAL FACILITIES SHALL BE INSTALLED IN ACCORDANCE WITH SECTION 9.34 CLASS 'B' VENT S EXHAUST VENT ⇒ Ø DUPLEX OUTLET (HEIGHT AS NOTED A.F

→ SWITCH (2/3/4 WAY) HEAVY DUTY OUTLET POT LIGHT LIGHT FIXTURE (CEILING MOUNTE ∠ LIGHT FIXTURE (PULL CHAIN) LIGHT FIXTURE (WALL MOUNTED TELEPHONE JACK CABLE T.V. JACK CENTRAL VACUUM OUTLET CHANDELIER (CEILING MOUNTE

PROVIDE ONE PER FLOOR, NEAR THE STAIRS CONNECTING THE FLOOR LEVEL. ALARMS ARE TO BE INSTALLED IN EACH SLEEPING ROOM AND IN A LOCATION BETWEEN SLEEPING ROOMS AND CONNECTING HALLWAYS AND WIRED TO BE INTERCONNECTED TO ACTIVATE ALL ALARMS IF ONE SOUNDS, ALARMS ARE TO BE CONNECTED TO AN EXCEPTION AND WITHOUT ALL ALARMS IF ONE SOUNDS, ALARMS ARE TO BE CONNECTED TO AN EXCEPTION AND WITHOUT ALL ALARMS IF ONE SOUNDS. ECTRICAL CIRCUIT AND WITH A BATTERY BACKUP, ALARM SIGNAL SHALL MEET TEMPORAL SOUND PATTERNS MIN. ALARMS SHALL HAVE A VISUAL SIGNALLING COMPONENT AS PER THE "NATIONAL FIRE ALARM AND SIGNALING CODE 72".

CMD CARBON MONOXIDE ALARM (9.33.4.)

 SB SOLID BEARING (BUILT-UP WOOD COLUMNS AND STUD POSTS) THE WIDTH OF A WOOD COLUMN SHALL NOT BE LESS THAN THAN THE WIDTH OF

VARYING PLATES, BUILT-OUT FLOORS, BEARING WALLS, ICE & WATER SHIELD

1 HR. PARTY WALL REFER TO HEX NOTE 40.

SECTION 4.0. CLIMATIC DATA

DESIGN SNOW LOAD (9.4.2.2.) 1.01 **kPa** WIND PRESSURE (q50) (SB-1.2.)

)NTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB. REPORT ANY DISCREPANCIES TO HUNT SIGN ASSOCIATES INC. (H.D.A.J.) BEFORE PROCEEDING WITH THE WORK, ALL THE DRAWINGS &

GOLDPARK HOMES - 221081

PINE VALLEY PH. 2, VAUGHAN, ONT. 3/16"=1'-0" JMc AW 217020WS5006

8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326 www.huntdesign.ca

SMOKE ALARM (9.10.19.

* CHECK LOCAL BY-LAWS FOR REQUIREMENTS ** A CARBON MONOXIDE ALARM(S) ONFORMING TO CAN/CGA-6.19 SHALL BE INSTALLED ON OR NEAR THE CEILING IN EACH WELLING UNIT ADJACENT TO EACH SLEEPING AREA. CARBON MONOXIDE ALARM(S) AUDIBLE WITHIN SLEEPING ROOMS WHEN THE INTERVENING DOORS ARE CLOSED.

UPPORTED MEMBER. BUILT-UP WOOD COLUMNS SHALL BE NAILED TOGETHER WITH OT LESS THAN 3" (76) NAILS SPACED NOT MORE THAN 11 3/4" (300) O.C. THE NUMBER F STUDS IN A WALL DIRECTLY BELOW A GIRDER TRUSS OR ROOF BEAM SHALL

TWO STOREY VOLUME SPACE. SEE CONSTRUCTION NOTE 39.

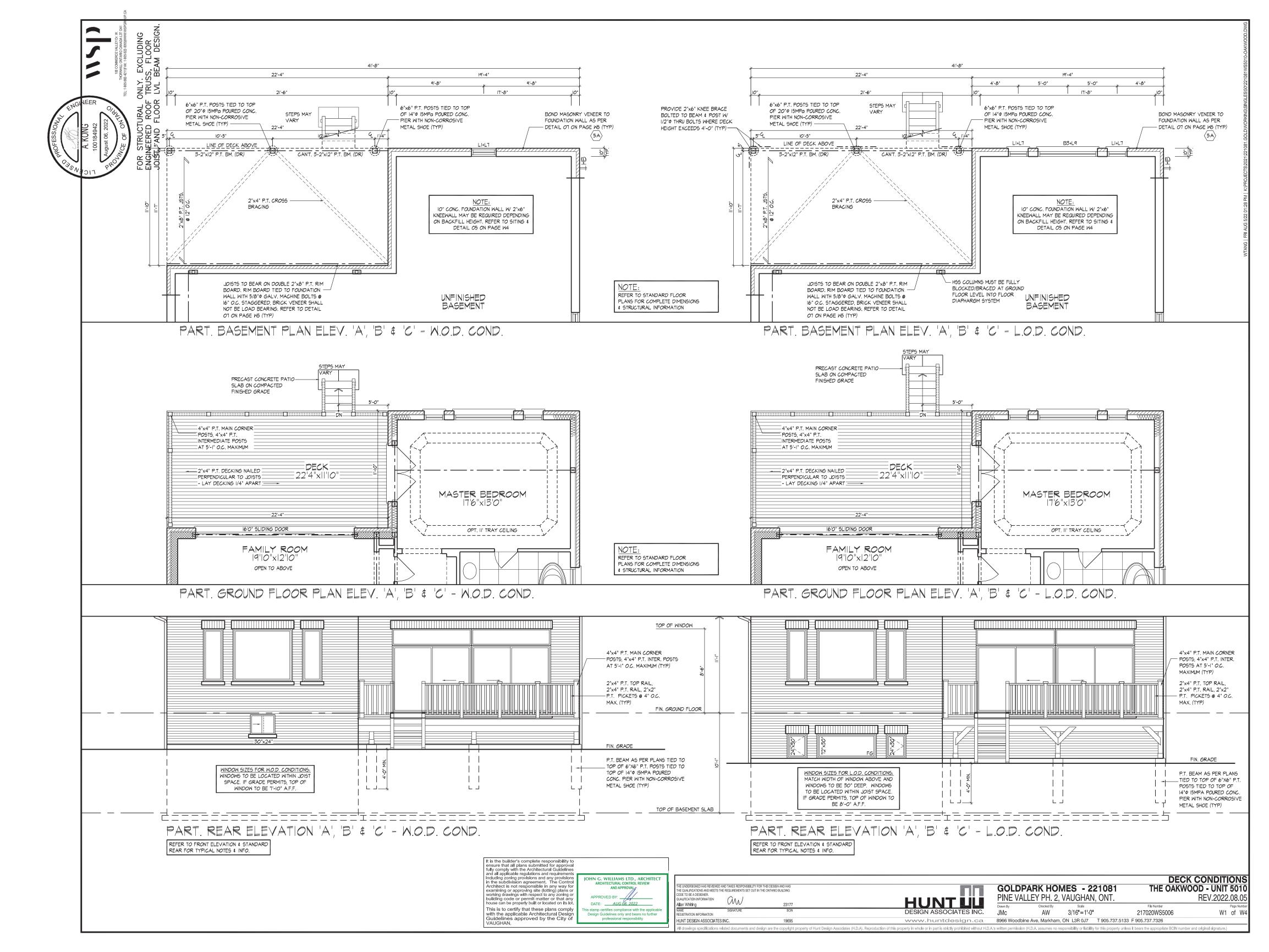
EXPOSED BUILDING FACE -O.B.C. 9.10.14. OR 9.10.15.
REFER TO HEX NOTE 35. & DETAILS FOR TYPE AND SPECIFICATIONS.

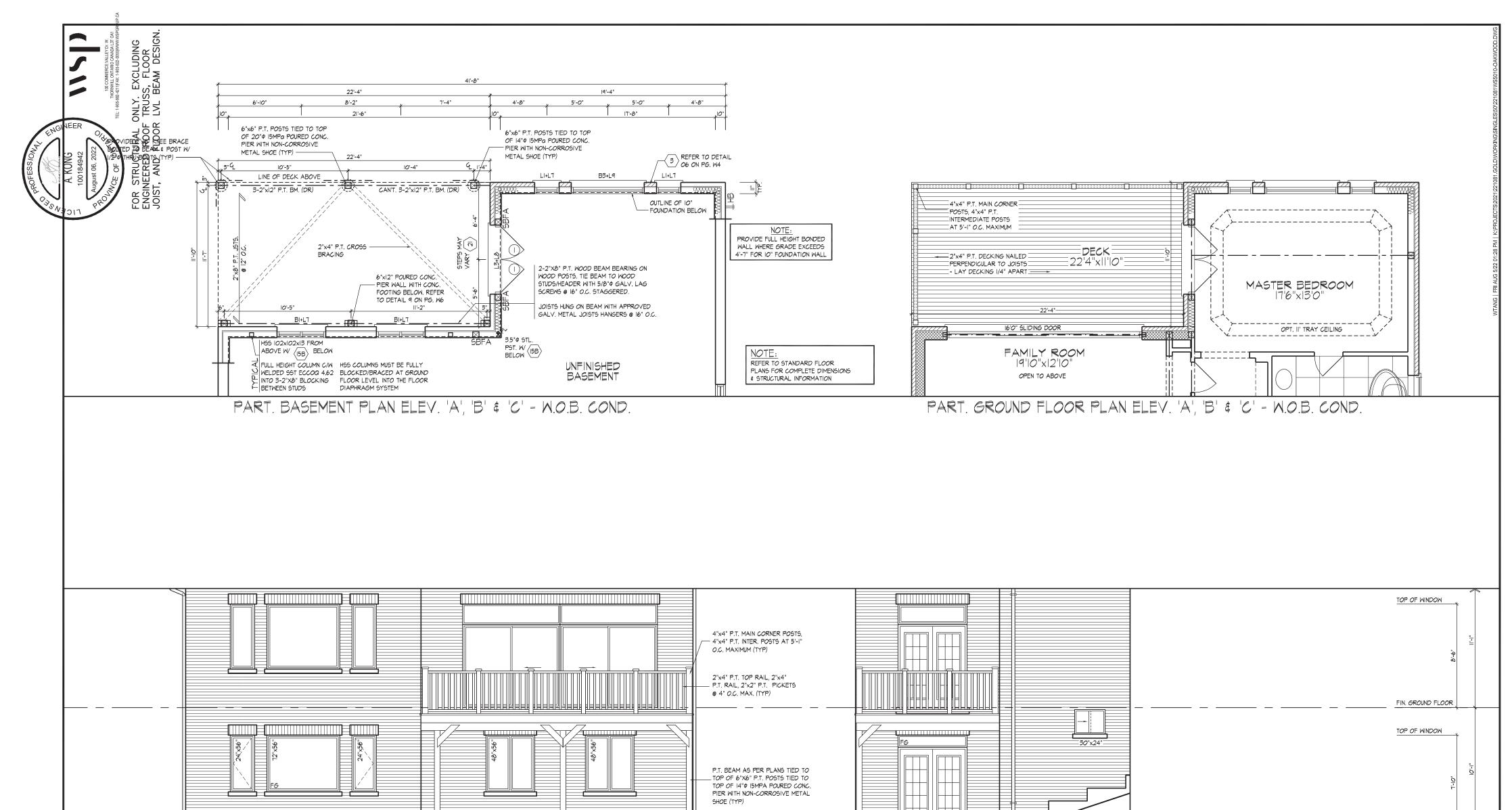
0.44 **kPa**

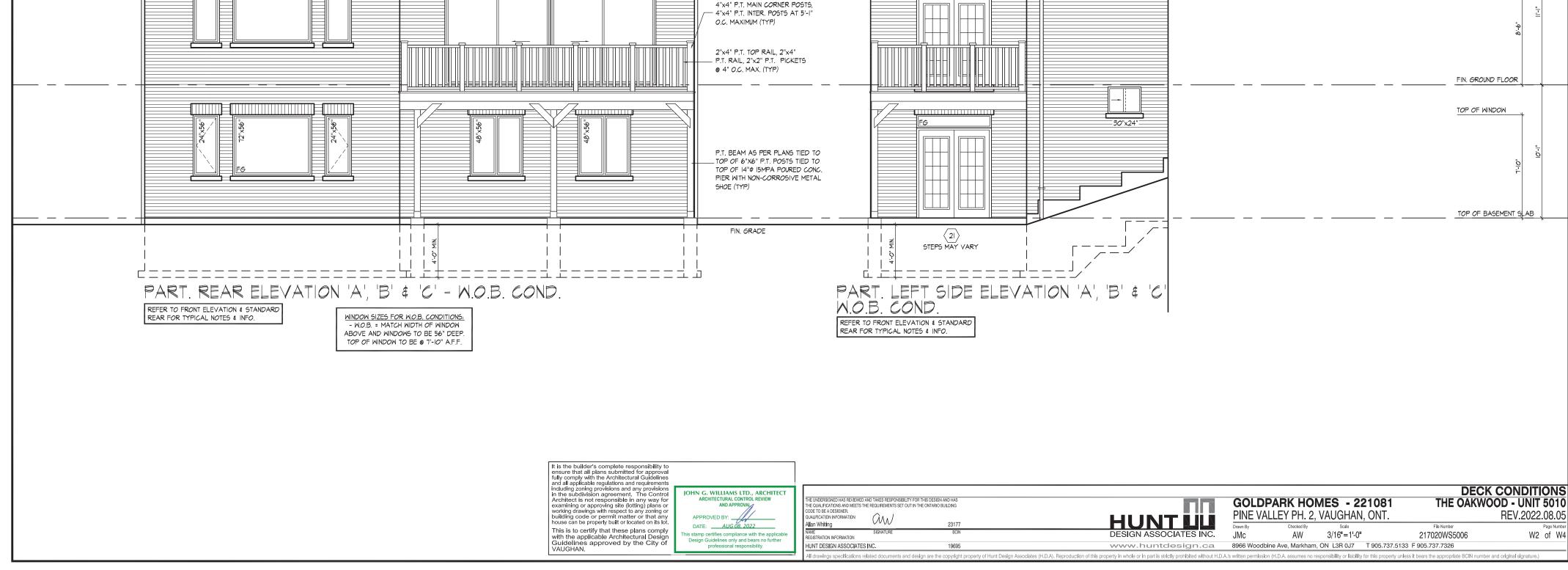
JCTION NOTE REVISION DATE: DECEMBER 15, 2021

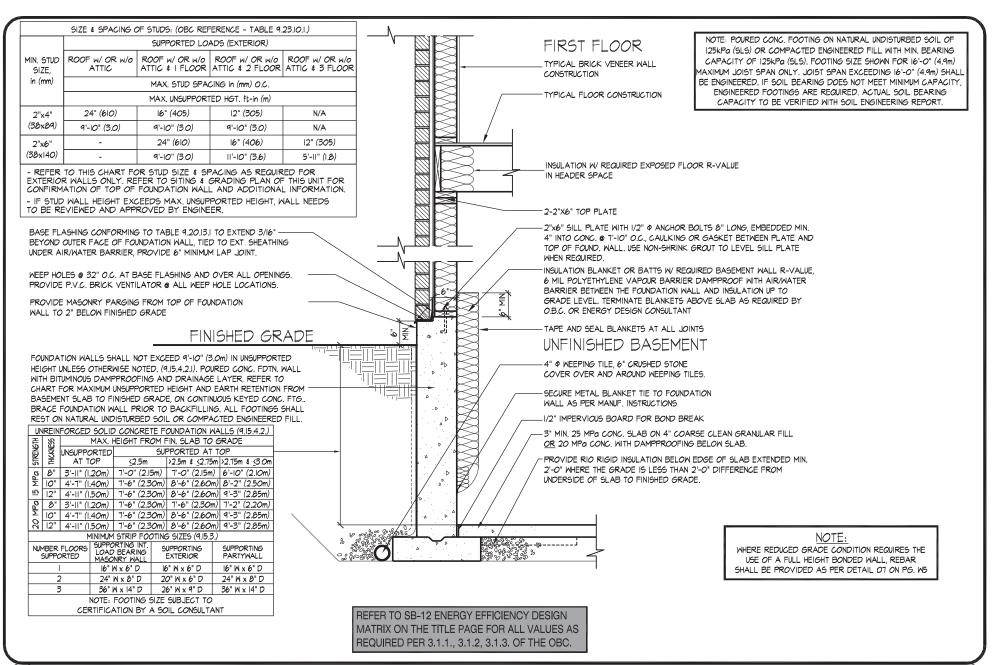
CONSTRUCTION NOTES THE OAKWOOD - UNIT 5010 REV.2022.08.0

18 of 1

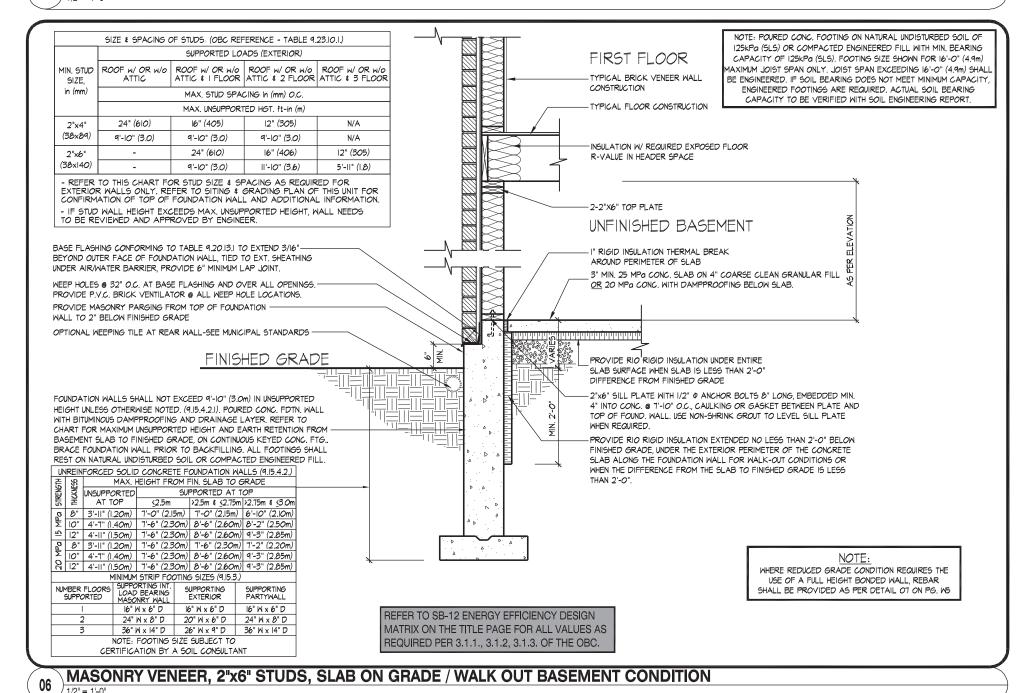


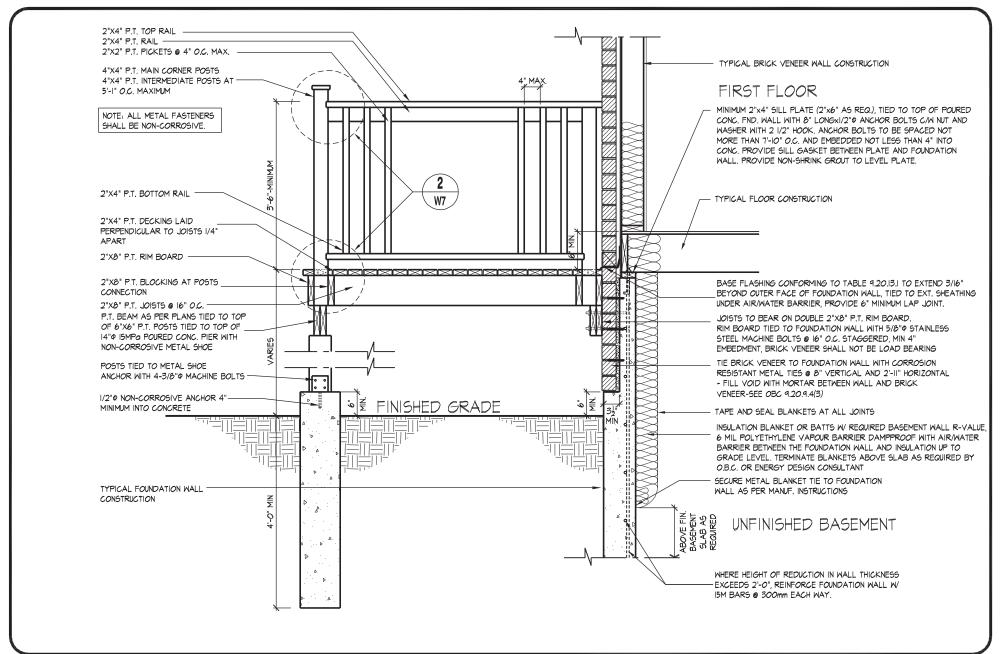




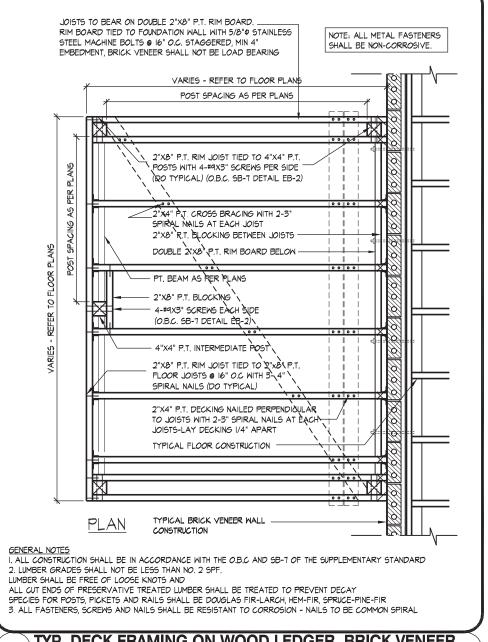


MASONRY VENEER, 2"x6" STUDS, 10" FOUNDATION WALL LATERALLY UNSUPPORTED





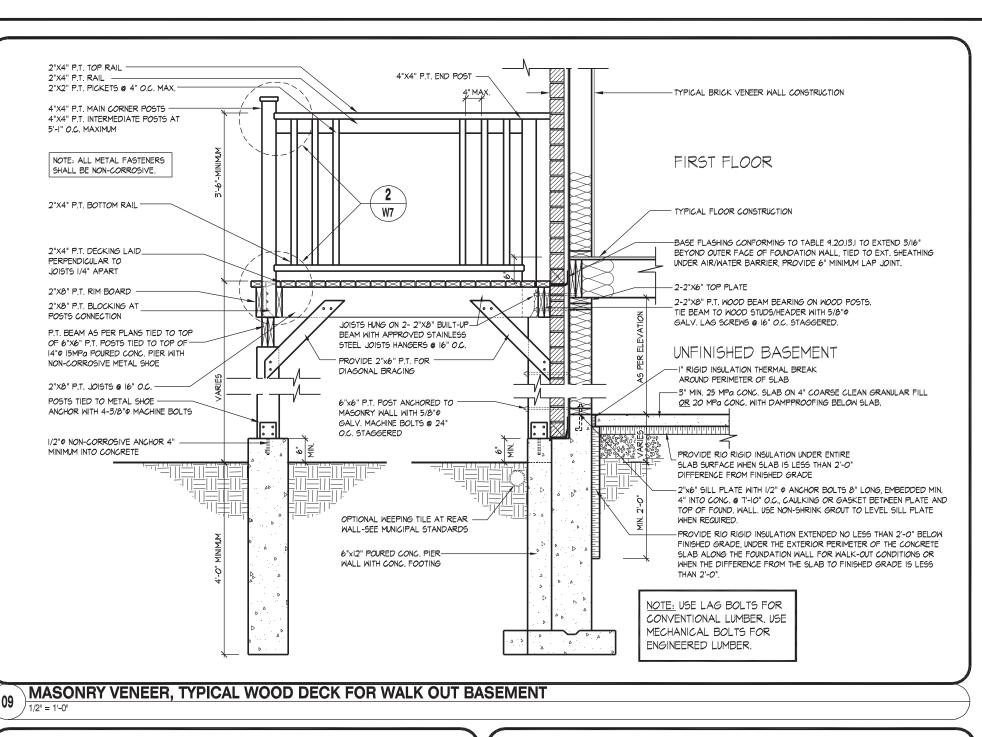
MASONRY VENEER, TYPICAL WALK/LOOK OUT WOOD DECK, SOLID MASONRY

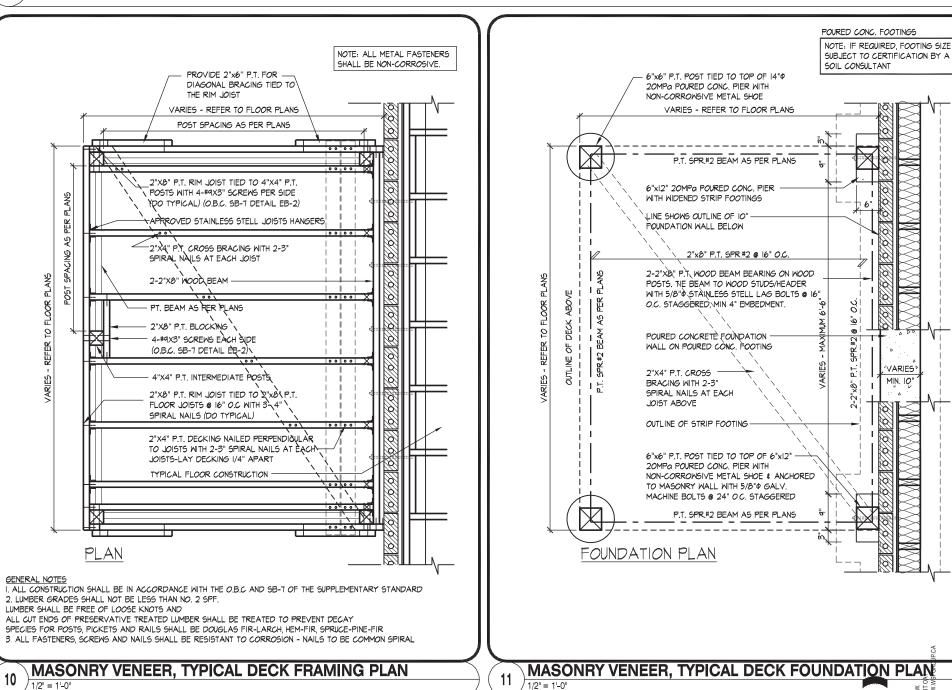


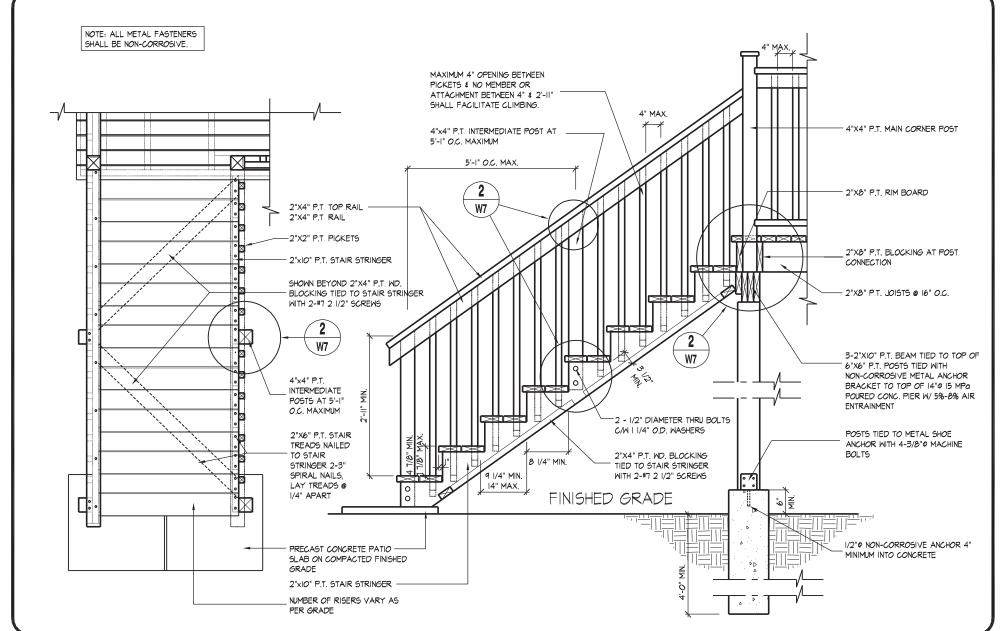
TYP. DECK FRAMING ON WOOD LEDGER, BRICK VENEER 80



THE UNDERSIGNED HAS REVIEWED AND THE QUALIFICATIONS AND MEETS THE F			пп		PARK HOI		21081		DECK DETAILS DOD - UNIT 5010
QUALIFICATION INFORMATION Allan Whiting	aw	23177	HUNT	PINE VA	ALLEY PH. 2,	VAUGHAN Scale	I, ONT.	File Number	REV.2022.08.05
NAME REGISTRATION INFORMATION	SIGNATURE	BCIN	DESIGN ASSOCIATES INC.	JMc	AW	3/16"=1'-0'	Ī	217020WS5006	W3 of W4
HUNT DESIGN ASSOCIATES IN	IC.	19695	www.huntdesign.ca	8966 Woodb	oine Ave, Markham	, ON L3R 0J7	T 905.737.513	33 F 905.737.7326	







TYPICAL WOOD DECK STAIR 01

VARIES

