



FRONT ELEVATION 'A'



FRONT ELEVATION 'B'



FRONT ELEVATION 'C'

# UNIT 5008 - 'THE BIRCHWOOD'

## SB-12 ENERGY EFFICIENCY DESIGN MATRIX

PRESCRIPTIVE COMPLIANCE		SB-12 (SECTION 3.1.1) TABLE 3.1.1.2.A	
PACKAGE A1		SPACE HEATING FUEL	
		<input checked="" type="checkbox"/> GAS	<input type="checkbox"/> OIL
		<input type="checkbox"/> ELECTRIC	<input type="checkbox"/> PROPANE
		<input type="checkbox"/> EARTH	<input type="checkbox"/> SOLID FUEL
BUILDING COMPONENT	REQUIRED	PROPOSED	
INSULATION RSI (R) VALUE			
CEILING W/ ATTIC SPACE	10.56 (R60)	10.56 (R60)	
CEILING W/O ATTIC SPACE	5.46 (R31)	5.46 (R31)	
EXPOSED FLOOR	5.46 (R31)	5.46 (R31)	
WALLS ABOVE GRADE	3.87 (R22)	3.87 (R22)	
BASEMENT WALLS	3.52 ci	3.52 ci	
* PROPOSED VALUES MAY BE SUBSTITUTED W/ 2.11+1.76ci (R12+R10ci)	(R20 ci) *	(R20 ci) *	
BELOW GRADE SLAB ENTIRE SURFACE > 600mm BELOW GRADE	-	-	
EDGE OF BELOW GRADE SLAB ≤ 600mm BELOW GRADE	1.76 (R10)	1.76 (R10)	
HEATED SLAB OR SLAB ≤ 600mm BELOW GRADE	1.76 (R10)	1.76 (R10)	
WINDOWS & DOORS			
WINDOWS/SLIDING GLASS DOORS (MAX U-VALUE)	1.6	1.6	
SKYLIGHTS (MAX. U-VALUE)	2.8	2.8	
APPLIANCE EFFICIENCY			
SPACE HEATING EQUIP. (AFUE%)	96%	96%	
HRV EFFICIENCY (%)	75%	75%	
DHW HEATER (EF)	0.8	0.8	

AREA CALCULATIONS	EL. 'A'	EL. 'A'	EL. 'B'	EL. 'B'	EL. 'C'	EL. 'C'
	STD. PLAN	OPT. PLAN	STD. PLAN	OPT. PLAN	STD. PLAN	OPT. PLAN
GROUND FLOOR AREA	1580 sq. ft.	1580 sq. ft.	1564 sq. ft.	1608 sq. ft.	1581 sq. ft.	1581 sq. ft.
SECOND FLOOR AREA	1863 sq. ft.	1863 sq. ft.	1870 sq. ft.	1870 sq. ft.	1871 sq. ft.	1871 sq. ft.
SUBTOTAL	3443 sq. ft.	3443 sq. ft.	3434 sq. ft.	3478 sq. ft.	3452 sq. ft.	3452 sq. ft.
DEDUCT ALL OPEN AREAS	33 sq. ft.	33 sq. ft.	33 sq. ft.	33 sq. ft.	33 sq. ft.	33 sq. ft.
TOTAL NET AREA	3410 sq. ft.	3410 sq. ft.	3401 sq. ft.	3445 sq. ft.	3419 sq. ft.	3419 sq. ft.
	(316.80 sq. m.)	(316.80 sq. m.)	(315.96 sq. m.)	(320.05 sq. m.)	(317.64 sq. m.)	(317.64 sq. m.)
FINISHED BASEMENT AREA	105 sq. ft.	105 sq. ft.	105 sq. ft.	105 sq. ft.	105 sq. ft.	105 sq. ft.
COVERAGE W/OUT PORCH	2012 sq. ft.		2018 sq. ft.		2014 sq. ft.	
	(186.92 sq. m.)		(187.48 sq. m.)		(187.11 sq. m.)	
COVERAGE W/ PORCH	2065 sq. ft.		2080 sq. ft.		2074 sq. ft.	
	(191.84 sq. m.)		(193.24 sq. m.)		(192.68 sq. m.)	
WINDOW / WALL AREA CALCULATIONS	EL. 'A'	EL. 'A'	EL. 'B'	EL. 'B'	EL. 'C'	EL. 'C'
	STD. PLAN	OPT. PLAN	STD. PLAN	OPT. PLAN	STD. PLAN	OPT. PLAN
GROSS WALL AREA	4111.38 sq. ft.	4111.38 sq. ft.	4115.30 sq. ft.	4115.30 sq. ft.	4074.43 sq. ft.	4074.43 sq. ft.
	(381.96 sq. m.)	(381.96 sq. m.)	(382.32 sq. m.)	(382.32 sq. m.)	(378.53 sq. m.)	(378.53 sq. m.)
GROSS WINDOW AREA (INCL. GLASS DOORS & SKYLIGHTS)	476.53 sq. ft.	465.42 sq. ft.	476.16 sq. ft.	465.05 sq. ft.	509.11 sq. ft.	498.00 sq. ft.
	(44.27 sq. m.)	(43.24 sq. m.)	(44.24 sq. m.)	(43.20 sq. m.)	(47.30 sq. m.)	(46.27 sq. m.)
TOTAL WINDOW %	11.59 %	11.32 %	11.57 %	11.30 %	12.50 %	12.22 %

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- 2 - BASEMENT PLAN, ELEV. 'A'
- 3 - GROUND FLOOR PLAN, ELEV. 'A'
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- 8 - PARTIAL BASEMENT & GROUND FLOOR PLANS, ELEV. 'C'
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- 11 - LEFT SIDE ELEVATION 'A'
- 12 - OPT. LEFT SIDE ELEVATION 'A'
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- 15 - FRONT ELEVATION 'B'
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- W1 - WALK OUT DECK CONDITION
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- W3 - WALK OUT BASEMENT CONDITION
- W4 - DECK DETAILS 1
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WINDOW / WALL AREA CALCULATIONS	EL. 'A'-W.O.D.	EL. 'A'-W.O.D.	EL. 'B'-W.O.D.	EL. 'B'-W.O.D.	EL. 'C'-W.O.D.	EL. 'C'-W.O.D.
	STD. PLAN	OPT. PLAN	STD. PLAN	OPT. PLAN	STD. PLAN	OPT. PLAN
GROSS WALL AREA	4144.54 sq. ft.	4144.54 sq. ft.	4148.47 sq. ft.	4148.47 sq. ft.	4107.60 sq. ft.	4107.60 sq. ft.
	(385.04 sq. m.)	(385.04 sq. m.)	(385.41 sq. m.)	(385.41 sq. m.)	(381.61 sq. m.)	(381.61 sq. m.)
GROSS WINDOW AREA (INCL. GLASS DOORS & SKYLIGHTS)	478.20 sq. ft.	467.09 sq. ft.	477.82 sq. ft.	466.71 sq. ft.	510.78 sq. ft.	499.67 sq. ft.
	(44.43 sq. m.)	(43.39 sq. m.)	(44.39 sq. m.)	(43.36 sq. m.)	(47.45 sq. m.)	(46.42 sq. m.)
TOTAL WINDOW %	11.54 %	11.27 %	11.52 %	11.25 %	12.43 %	12.16 %
WINDOW / WALL AREA CALCULATIONS	EL. 'A'-L.O.D.	EL. 'A'-L.O.D.	EL. 'B'-L.O.D.	EL. 'B'-L.O.D.	EL. 'C'-L.O.D.	EL. 'C'-L.O.D.
	STD. PLAN	OPT. PLAN	STD. PLAN	OPT. PLAN	STD. PLAN	OPT. PLAN
GROSS WALL AREA	4237.82 sq. ft.	4237.82 sq. ft.	4241.75 sq. ft.	4241.75 sq. ft.	4200.88 sq. ft.	4200.88 sq. ft.
	(393.71 sq. m.)	(393.71 sq. m.)	(394.07 sq. m.)	(394.07 sq. m.)	(390.27 sq. m.)	(390.27 sq. m.)
GROSS WINDOW AREA (INCL. GLASS DOORS & SKYLIGHTS)	495.70 sq. ft.	484.59 sq. ft.	495.32 sq. ft.	484.21 sq. ft.	528.28 sq. ft.	517.17 sq. ft.
	(46.05 sq. m.)	(45.02 sq. m.)	(46.02 sq. m.)	(44.98 sq. m.)	(49.08 sq. m.)	(48.05 sq. m.)
TOTAL WINDOW %	11.70 %	11.43 %	11.68 %	11.42 %	12.58 %	12.31 %
WINDOW / WALL AREA CALCULATIONS	EL. 'A'-W.O.B.	EL. 'A'-W.O.B.	EL. 'B'-W.O.B.	EL. 'B'-W.O.B.	EL. 'C'-W.O.B.	EL. 'C'-W.O.B.
	STD. PLAN	OPT. PLAN	STD. PLAN	OPT. PLAN	STD. PLAN	OPT. PLAN
GROSS WALL AREA	4546.69 sq. ft.	4546.69 sq. ft.	4550.62 sq. ft.	4550.62 sq. ft.	4509.74 sq. ft.	4509.74 sq. ft.
	(422.40 sq. m.)	(422.40 sq. m.)	(422.77 sq. m.)	(422.77 sq. m.)	(418.97 sq. m.)	(418.97 sq. m.)
GROSS WINDOW AREA (INCL. GLASS DOORS & SKYLIGHTS)	585.20 sq. ft.	574.09 sq. ft.	584.82 sq. ft.	573.71 sq. ft.	617.78 sq. ft.	606.67 sq. ft.
	(54.37 sq. m.)	(53.33 sq. m.)	(54.33 sq. m.)	(53.30 sq. m.)	(57.39 sq. m.)	(56.36 sq. m.)
TOTAL WINDOW %	12.87 %	12.63 %	12.85 %	12.61 %	13.70 %	13.45 %

7. -	-	-
6. -	-	-
5. -	-	-
4. -	-	-
3. -	-	-
2. REVISED AS PER STRUCTURAL COMMENTS & RE-ISSUED FOR PERMIT	2022/05/16	AW
1. ISSUED FOR PH2 PERMIT	2022/03/25	AW
REVISIONS		DATE (YYYY/MM/DD) BY

### TITLE PAGE

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION  
Allan Whiting  
NAME  
REGISTRATION INFORMATION  
HUNT DESIGN ASSOCIATES INC.

SIGNATURE

23177  
BCIN

HUNT DESIGN ASSOCIATES INC.  
www.huntdesign.ca

GOLDPARK HOMES - 221081  
PINE VALLEY PH. 2, VAUGHAN, ON.

Drawn By  
Checked By  
Scale  
3/16"=1'-0"

UNIT 5008- THE BIRCHWOOD  
REV.2022.05.16

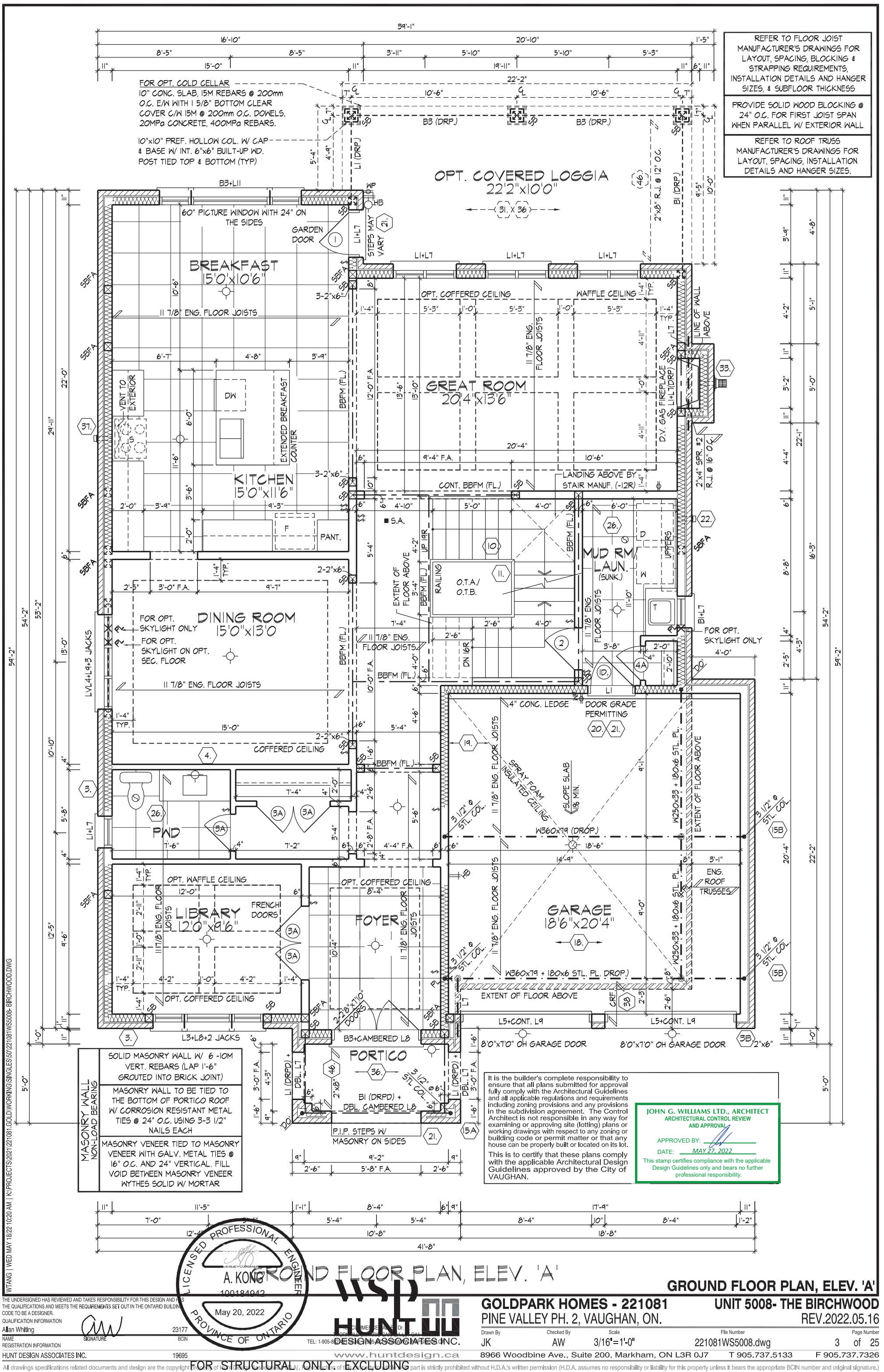
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REGISTRATION INFORMATION: 23177 BCIN  
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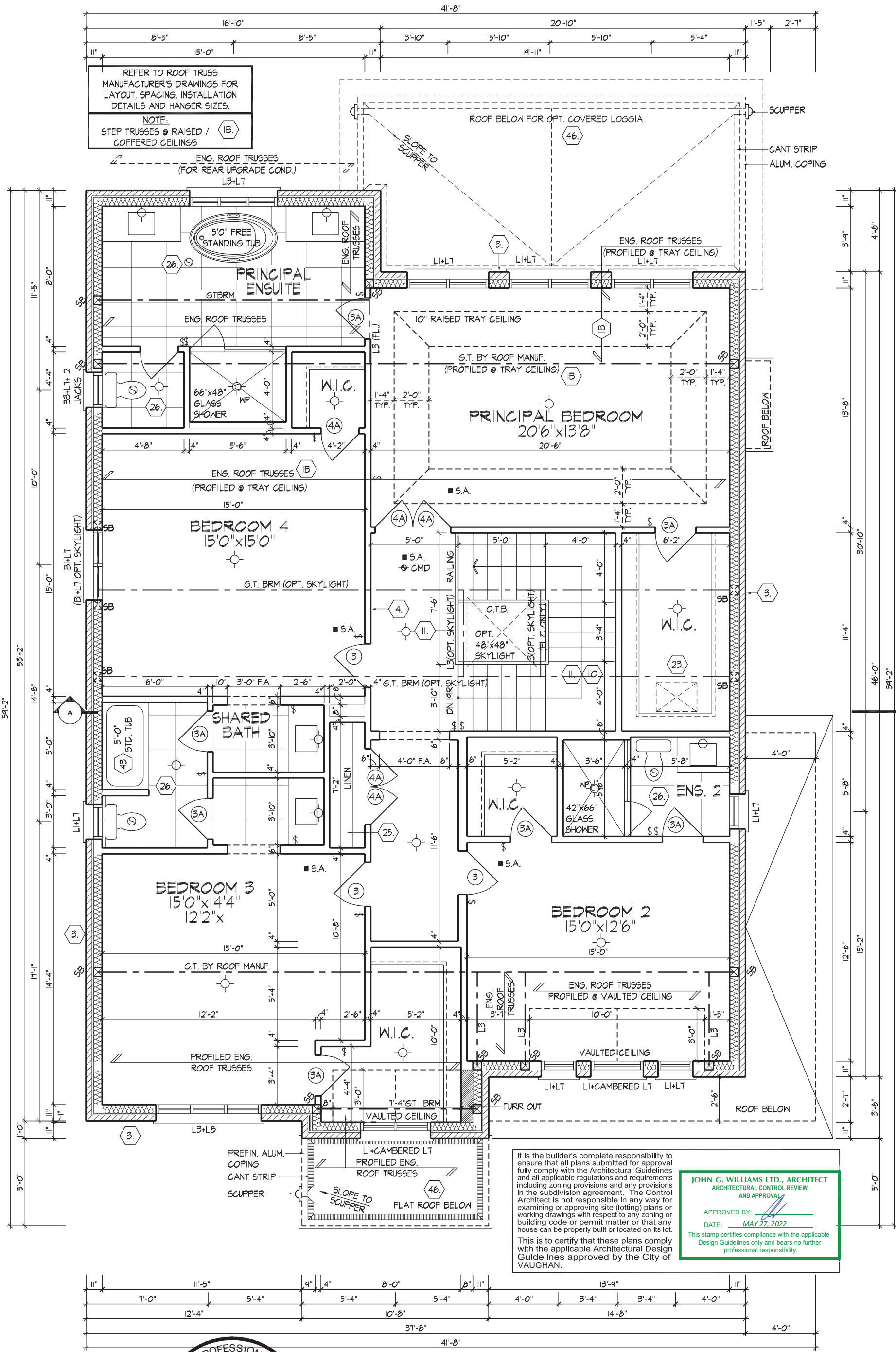
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SECOND FLOOR PLAN, ELEV. 'A'  
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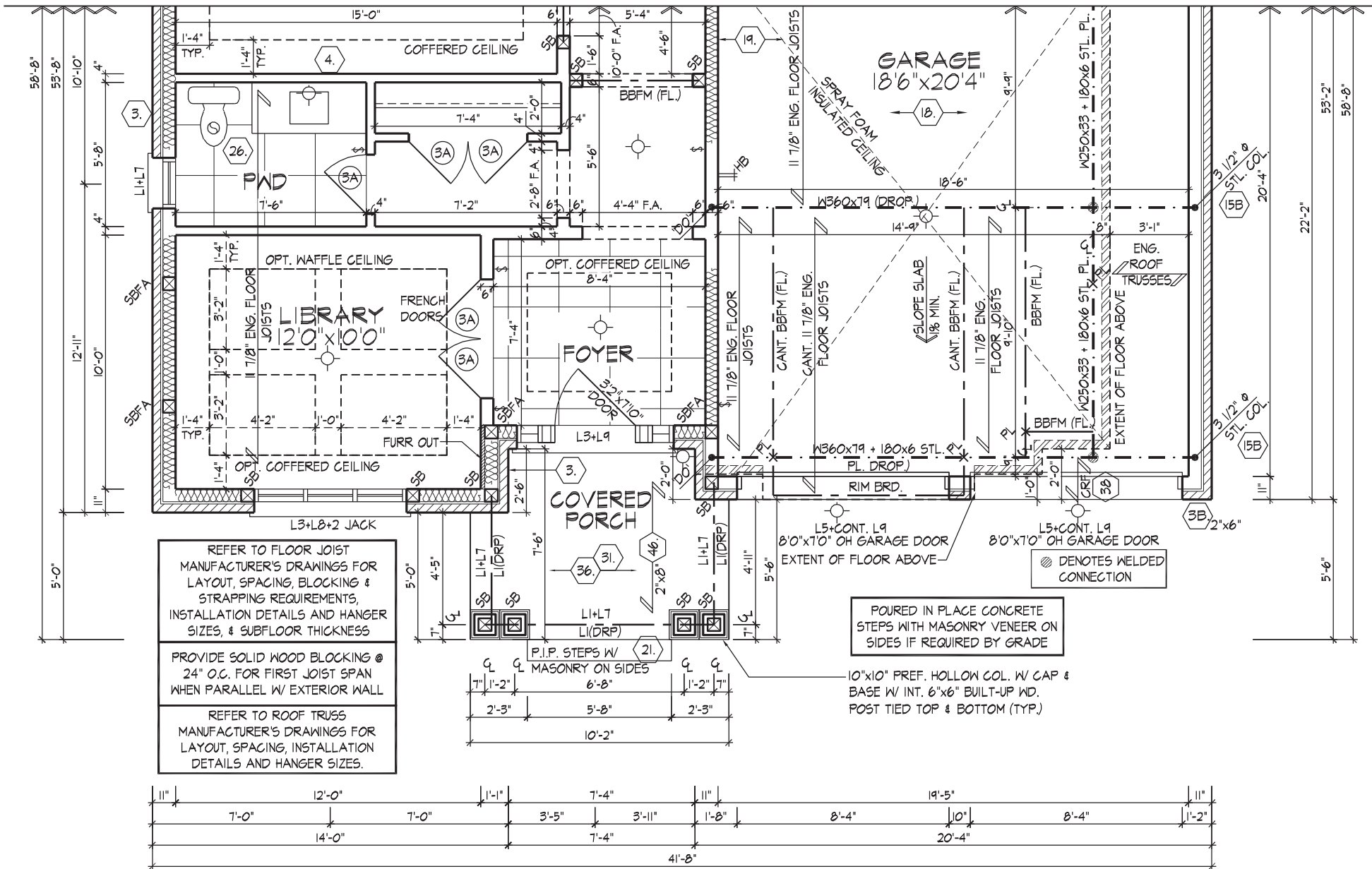
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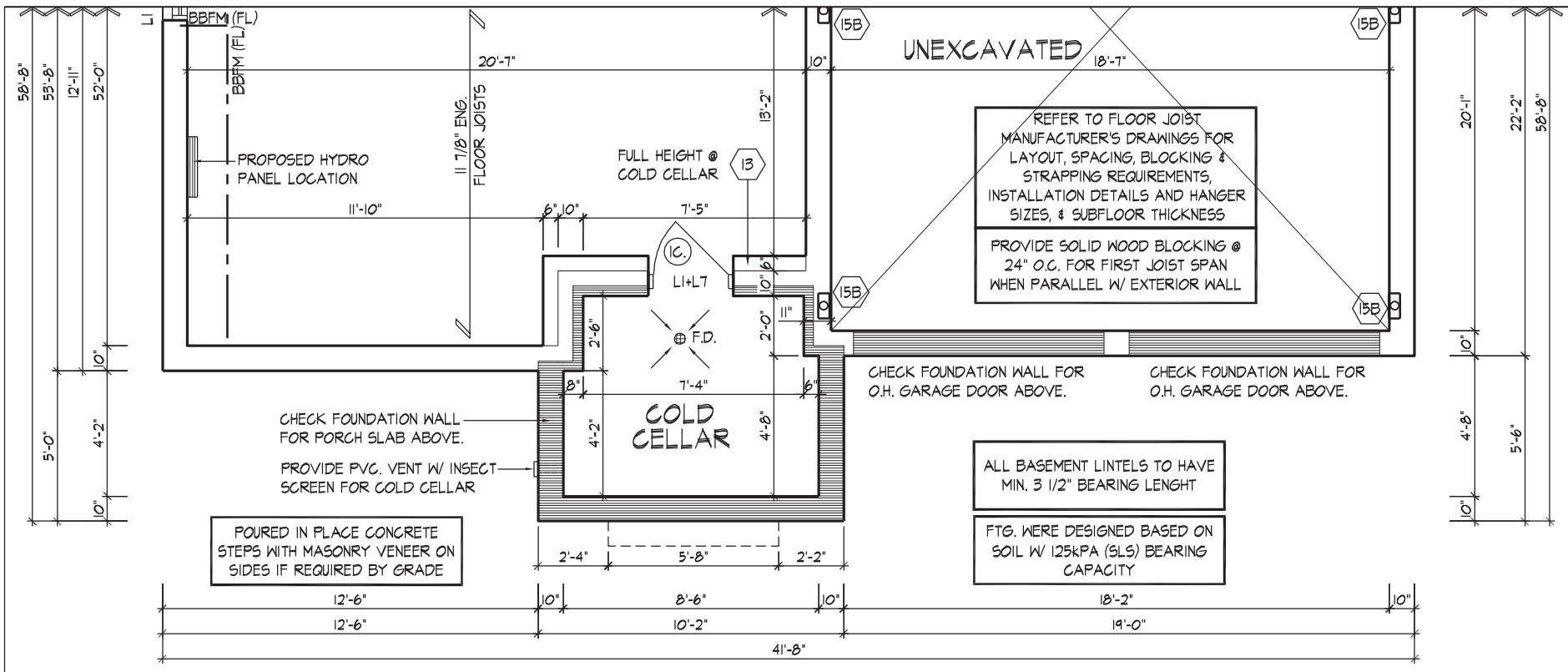








PART. GROUND FLOOR PLAN, ELEV. 'B'



PART. BASEMENT PLAN, ELEV. 'B'



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JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY: [Signature]  
DATE: MAY 27, 2022

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PARTIAL BASEMENT & GROUND FLOOR PLANS, ELEV. 'B'

GOLDPARK HOMES - 221081  
PINE VALLEY PH. 2, VAUGHAN, ON.

UNIT 5008- THE BIRCHWOOD  
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QUALIFICATION INFORMATION

NAME: Allan Whiting  
SIGNATURE: [Signature]

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BCIN

HUNT DESIGN ASSOCIATES INC.

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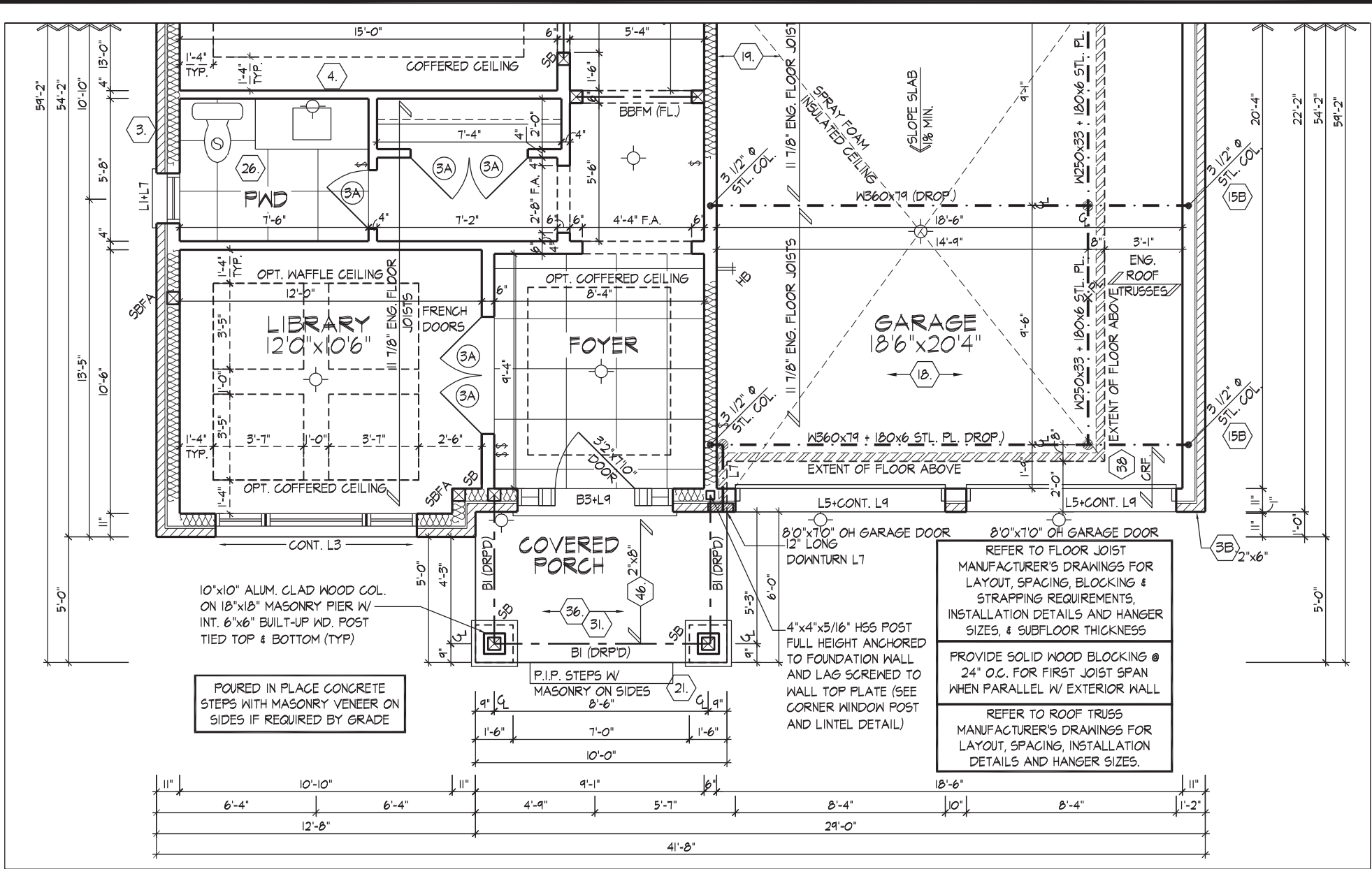
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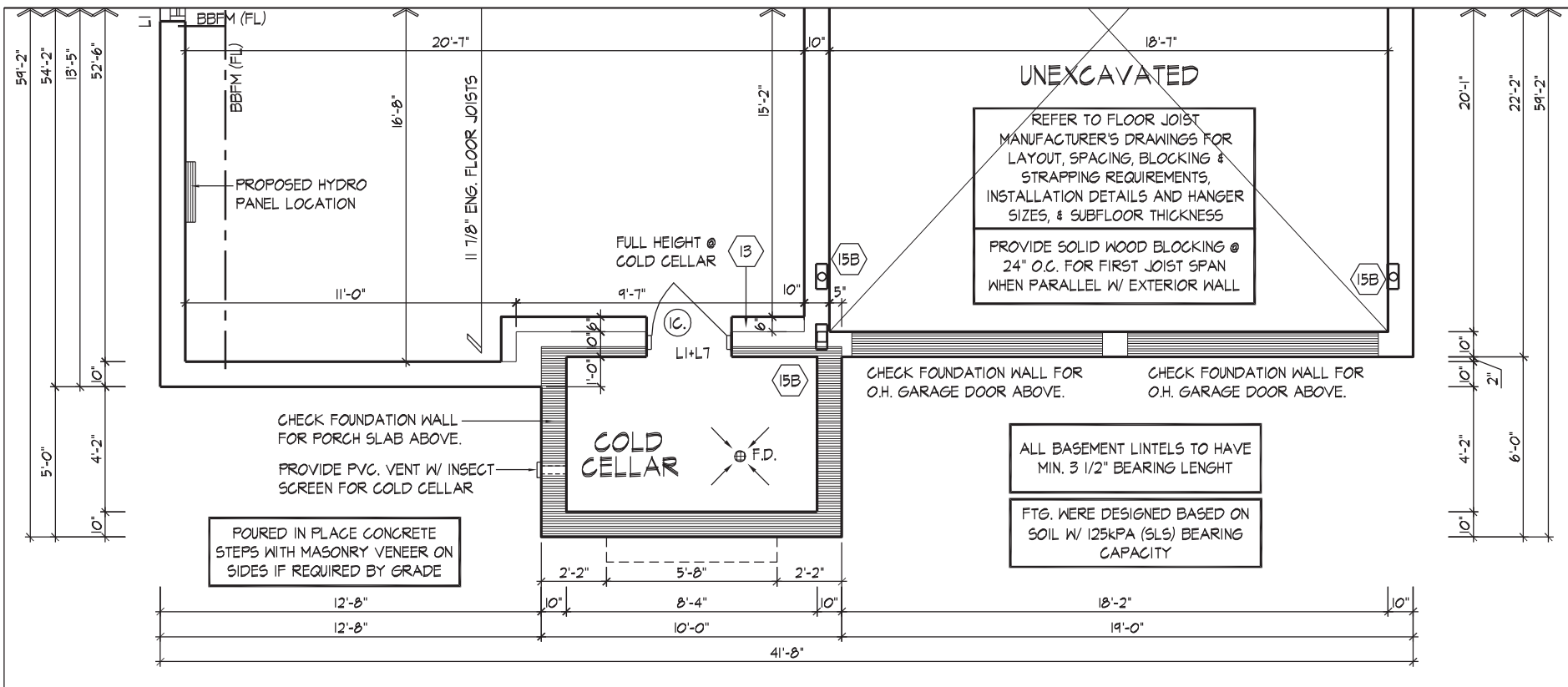
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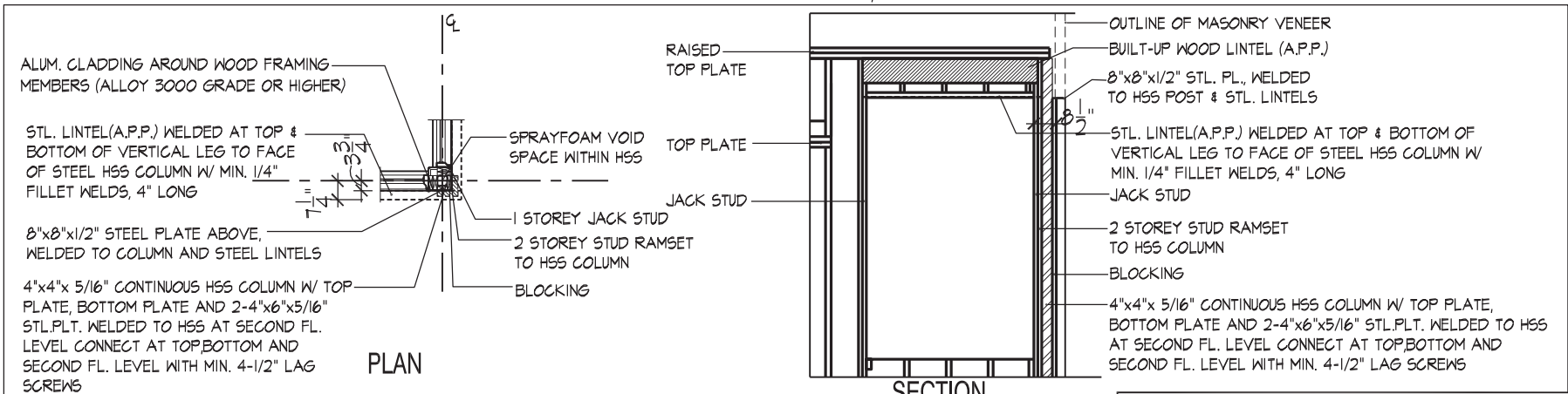




PART. GROUND FLOOR PLAN, ELEV. 'C'



PART. BASEMENT PLAN, ELEV. 'C'



CORNER WINDOW POST & LINTEL DETAIL

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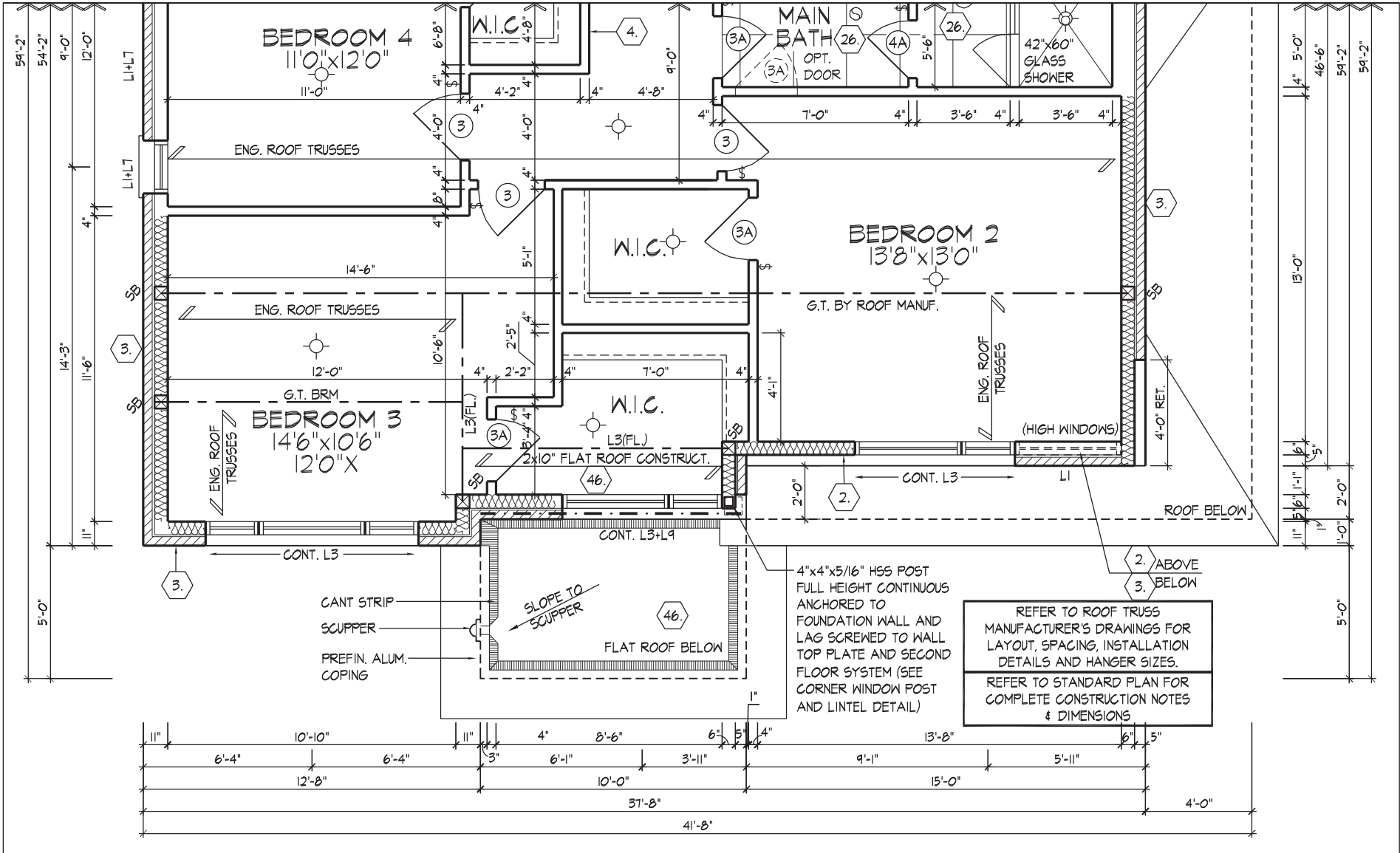
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QUALIFICATION INFORMATION  
Alvan Whiting  
NAME  
REGISTRATION INFORMATION  
HUNT DESIGN ASSOCIATES INC.  
19695

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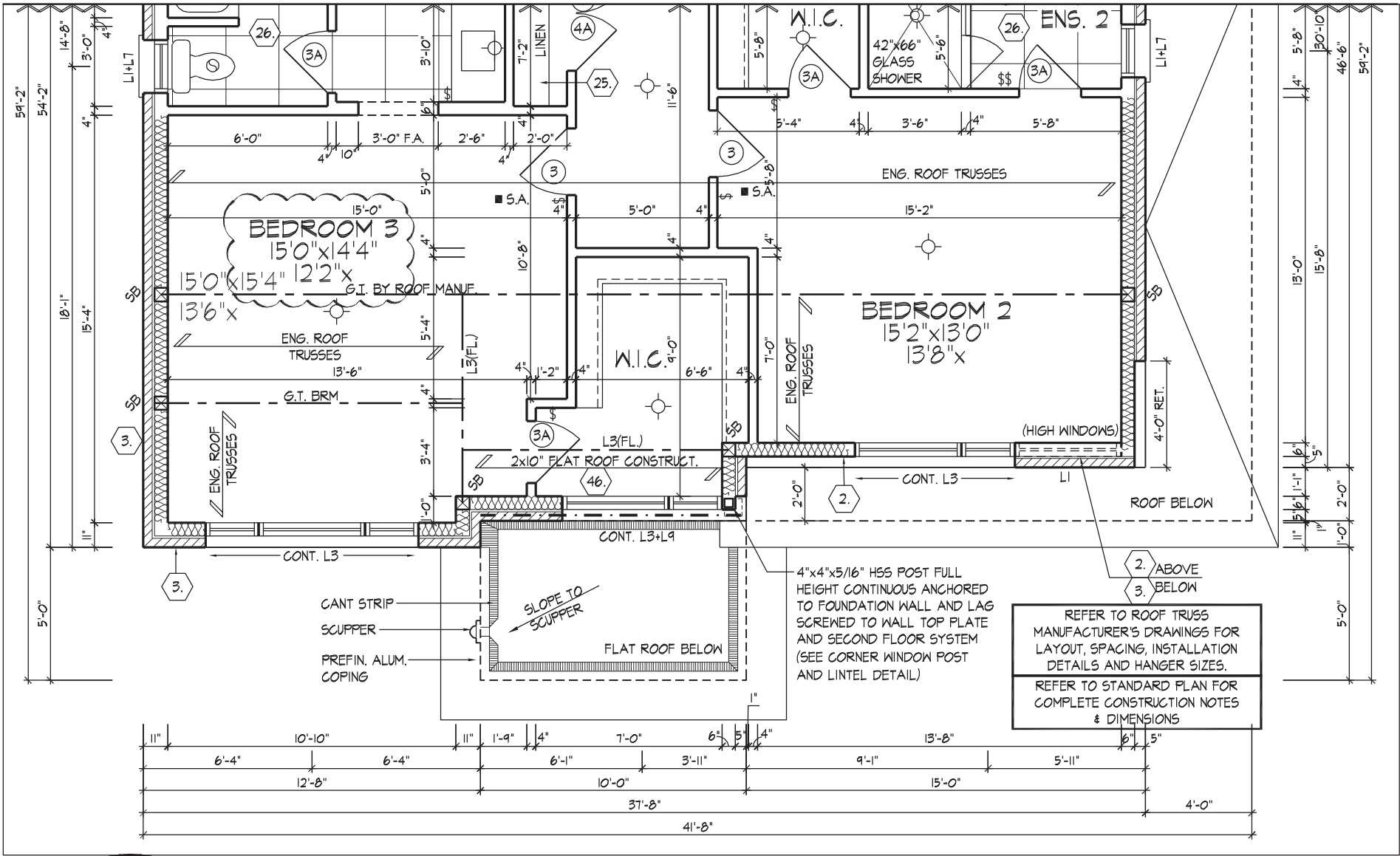
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PART. OPT. SECOND FLOOR PLAN, ELEV. 'C'



SECOND FLOOR PLAN ELEV. 'C'



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PARTIAL SECOND FLOOR PLANS, ELEV. 'C'

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UNIT 5008- THE BIRCHWOOD  
REV.2022.05.16

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REGISTRATION INFORMATION  
HUNT DESIGN ASSOCIATES INC.

[Signature]

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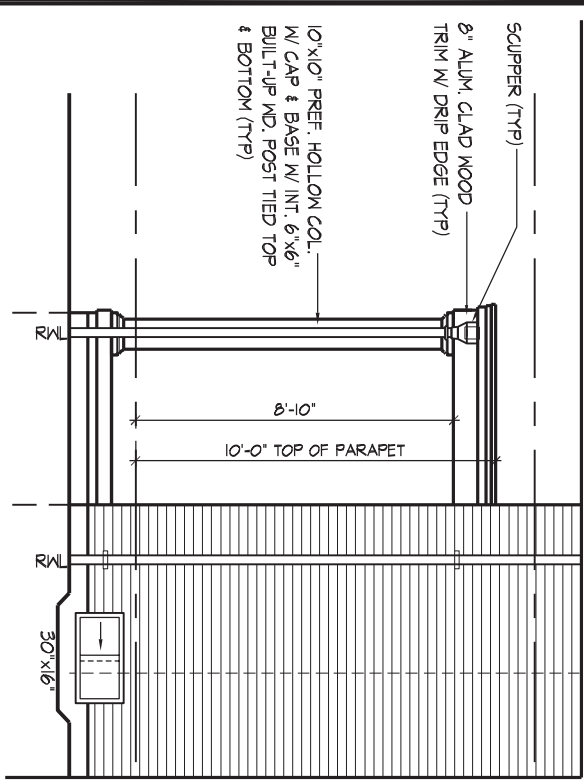
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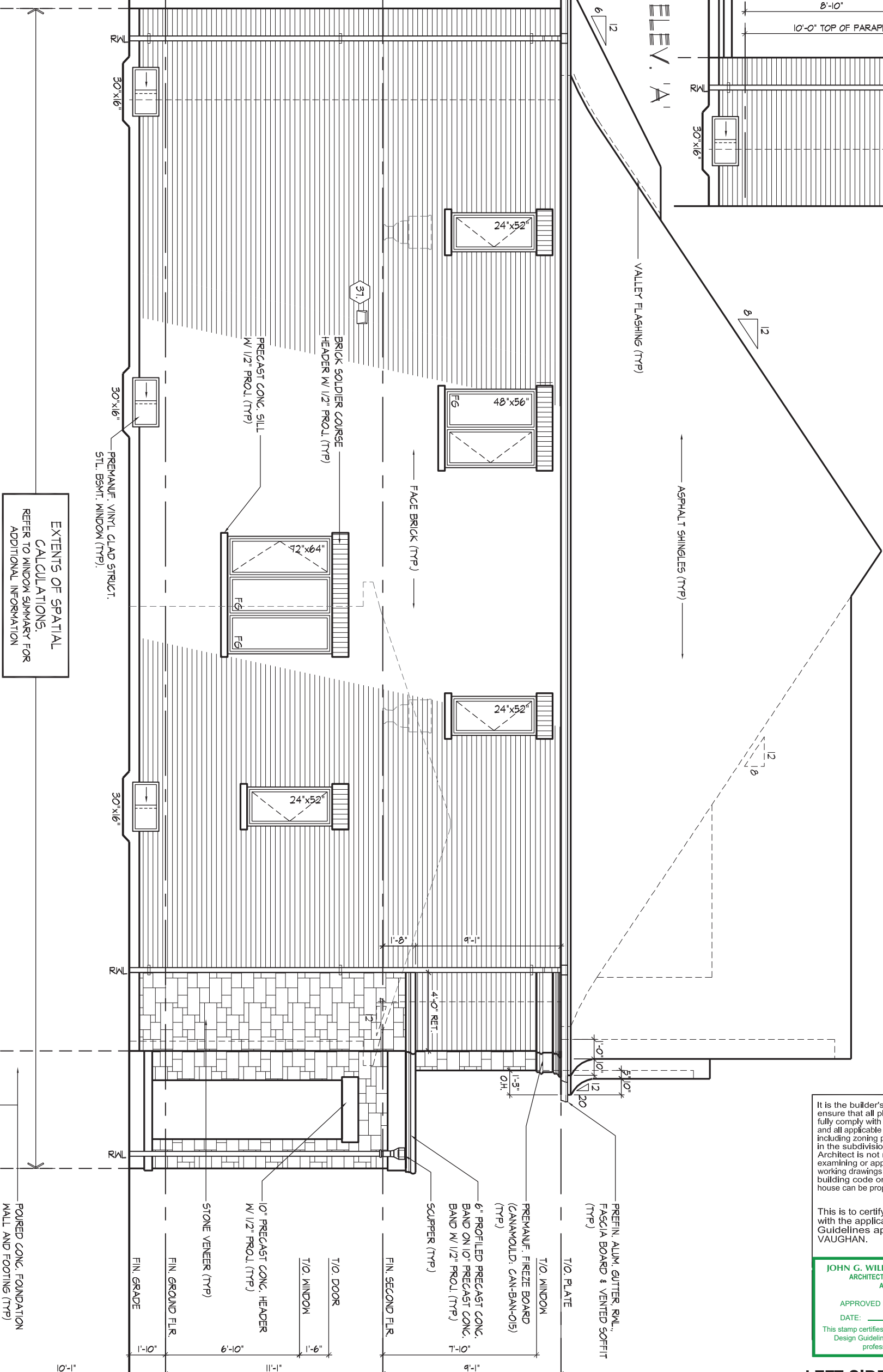






PART. LEFT SIDE ELEV. 'A'  
W/ OPT. LOGGIA

WINDOW SUMMARY			
PER O.B.C. TABLE 9.10.15.4			
LEFT SIDE ELEV. 'A'			
QUAN.	WID.	HT.	WINDOW / DOOR FRAME SIZE (S.F.)
3	24"	52"	20.00
1	48"	56"	15.89
1	72"	84"	28.33
3	30"	16"	6.50
0	0"	0"	0.00
0	ARCH	0.00	0.00
SPATIAL CALCULATION			
EXPOSING BUILDING	1191.67	S.F.	
FACE AREA	448.24	S.M.	
PORTION WALL AREA	1191.67	S.F.	
PORTION WALL AREA	110.71	S.M.	
PORTION WALL AREA	1.20	m	
LIMITING DISTANCE	7.00	%	
MAX. % OPENINGS	83.42	S.F.	
OPENINGS ALLOWED	70.72	S.F.	
OPENINGS PROVIDED	70.72	S.F.	
ADDITIONAL NOTES			
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER			



ROOF OVERHANGS ARE TO BE 15" UNLESS NOTED OTHERWISE

REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFO.

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LEFT SIDE ELEVATION 'A'

UNIT 5008- THE BIRCHWOOD  
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PINE VALLEY PH. 2, VAUGHAN, ON.

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QUALIFICATION INFORMATION

Allan Whiting

NAME

REGISTRATION INFORMATION

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HUNT DESIGN ASSOCIATES INC.

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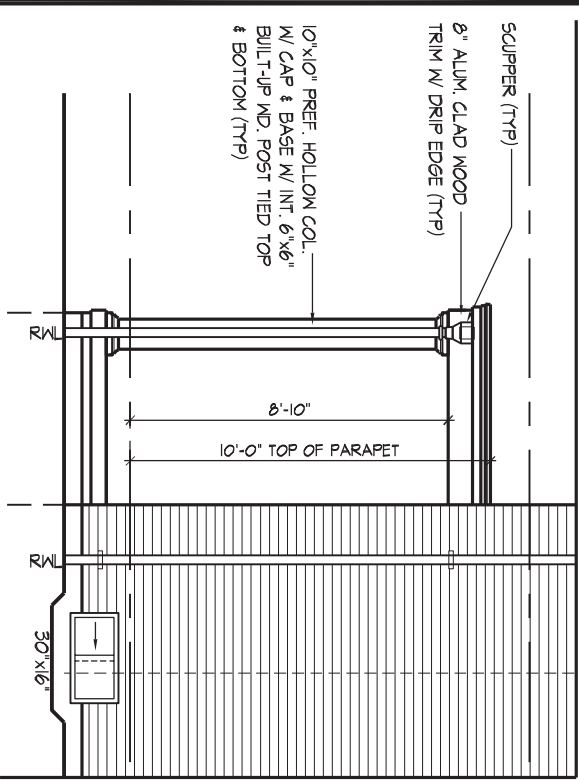
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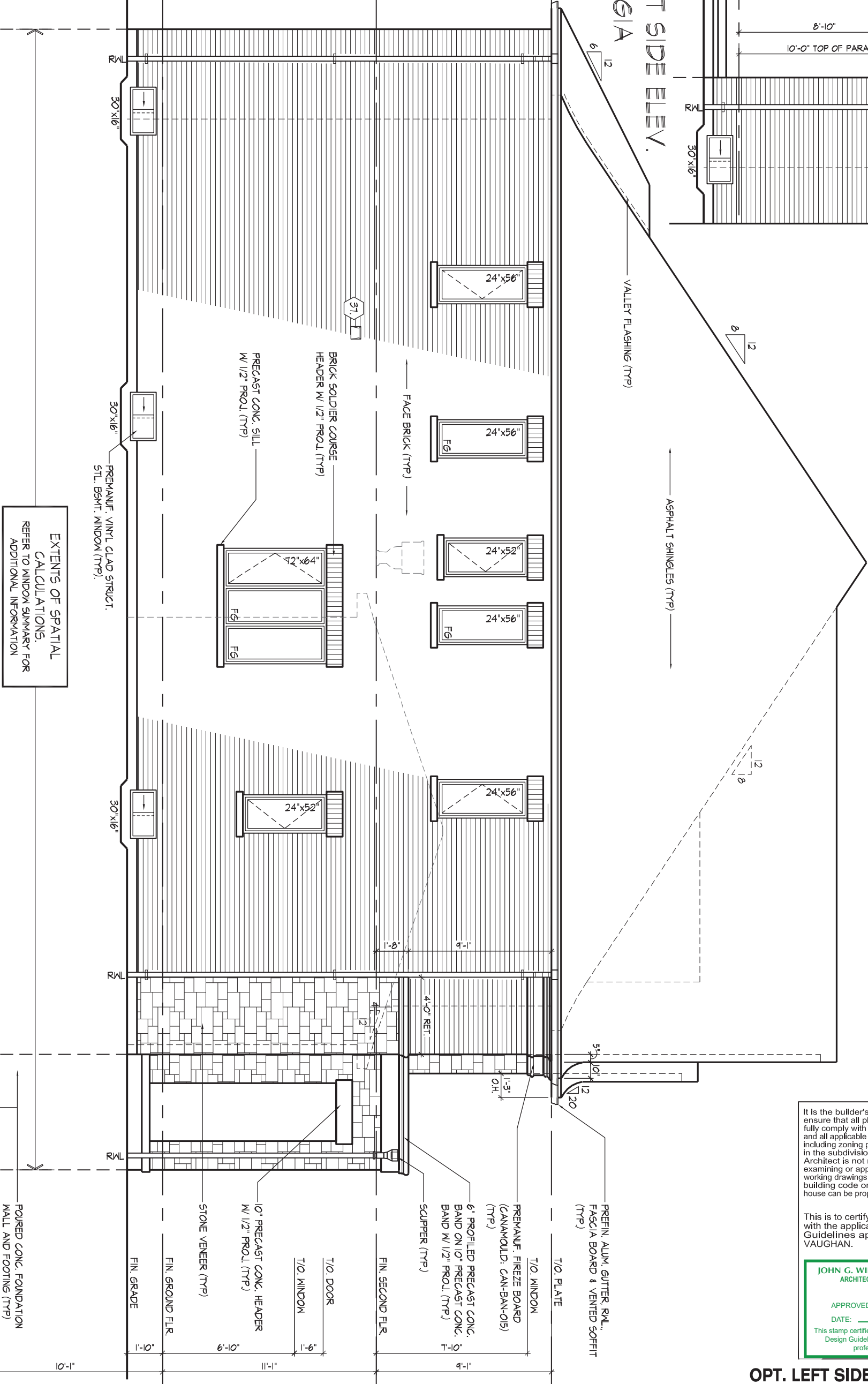
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PART. OPT. LEFT SIDE ELEV.  
'A' W/ OPT. LOGGIA

WINDOW SUMMARY			
PER O.B.C. TABLE 9.10.15.4			
QUAN.	H. DIM.	W. DIM.	WINDOW / DOOR FRAME SIZE (S.F.)
2	24"	56"	13.33
4	24"	56"	28.89
1	72"	64"	28.33
3	30"	16"	6.50
0	ARCH	0.00	0.00
SPATIAL CALCULATION			
EXPOSING BUILDING	119.67	S.F.	
FACE AREA	110.71	S.M.	
PORTION WALL AREA	119.67	S.F.	
PORTION WALL AREA	110.71	S.M.	
LIMITING DISTANCE	1.20 m		
MAX. % OPENINGS	7.00	%	
OPENINGS ALLOWED	83.42	S.F.	
OPENINGS PROVIDED	77.06	S.F.	
ADDITIONAL NOTES			
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER			



ROOF OVERHANGS ARE TO BE 15" UNLESS NOTED OTHERWISE  
REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFO.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

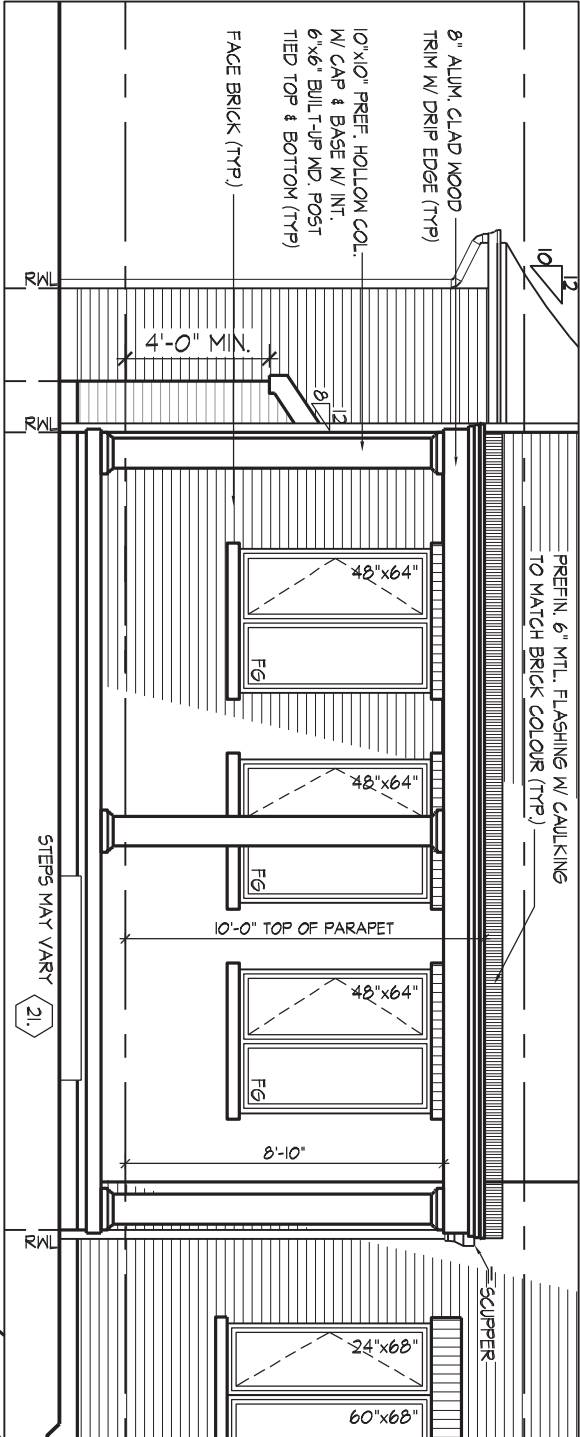
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

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ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL  
APPROVED BY:   
DATE: MAY 27, 2022  
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OPT. LEFT SIDE ELEVATION 'A'

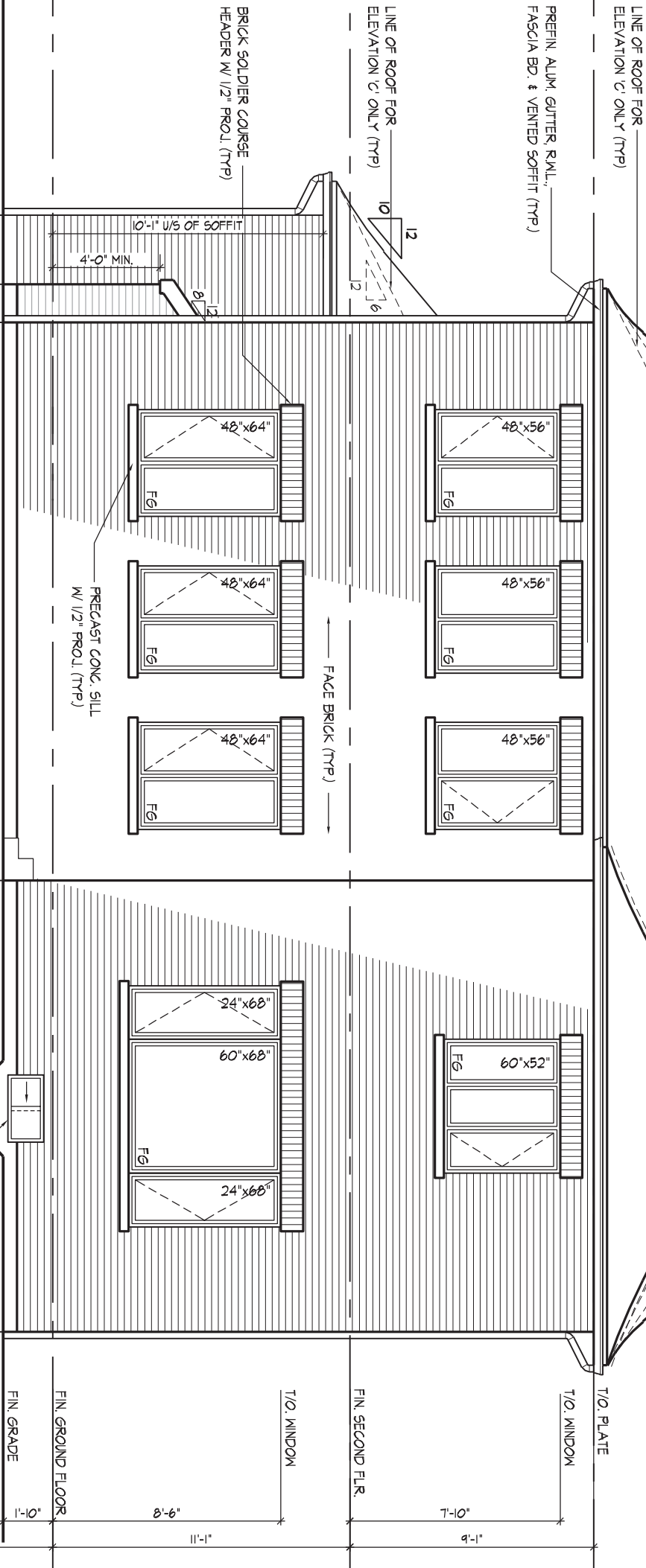






PART. REAR ELEVATION 'A' W/ OPT. LOGGIA  
( 'B' & 'C' SIMILAR )

WINDOW SUMMARY			
PER O.B.C. TABLE 9.10.15.4			
REAR ELEVATION 'A'			
QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)
3	48"	56"	47.67
3	48"	64"	55.00
1	60"	52"	18.87
2	24"	68"	11.78
1	60"	68"	24.89
1	30"	16"	2.17
0	DOOR		0.00
SPATIAL CALCULATION			
EXPOSING BUILDING			
FACE AREA			
PORTION WALL AREA			
LIMITING DISTANCE			
MAX. % OPENINGS			
OPENINGS ALLOWED			
OPENINGS PROVIDED			
ADDITIONAL NOTES			
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER			



REAR ELEVATION 'A', 'B' & 'C'

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JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY:

DATE: MAY 27, 2022

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REAR ELEVATION 'A', 'B' & 'C'

UNIT 5008- THE BIRCHWOOD

REV.2022.05.16

GOLDPARK HOMES - 221081

PINE VALLEY PH. 2, VAUGHAN, ON.

Drawn By JK

Checked By AW

Scale 3/16"=1'-0"

File Number 221081WS5008.dwg

Page Number 14 of 25

8966 Woodbine Ave., Suite 200, Markham, ON L3R 0J7

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QUALIFICATION INFORMATION

NAME: Allan Whiting

REGISTRATION INFORMATION

HUNT DESIGN ASSOCIATES INC.

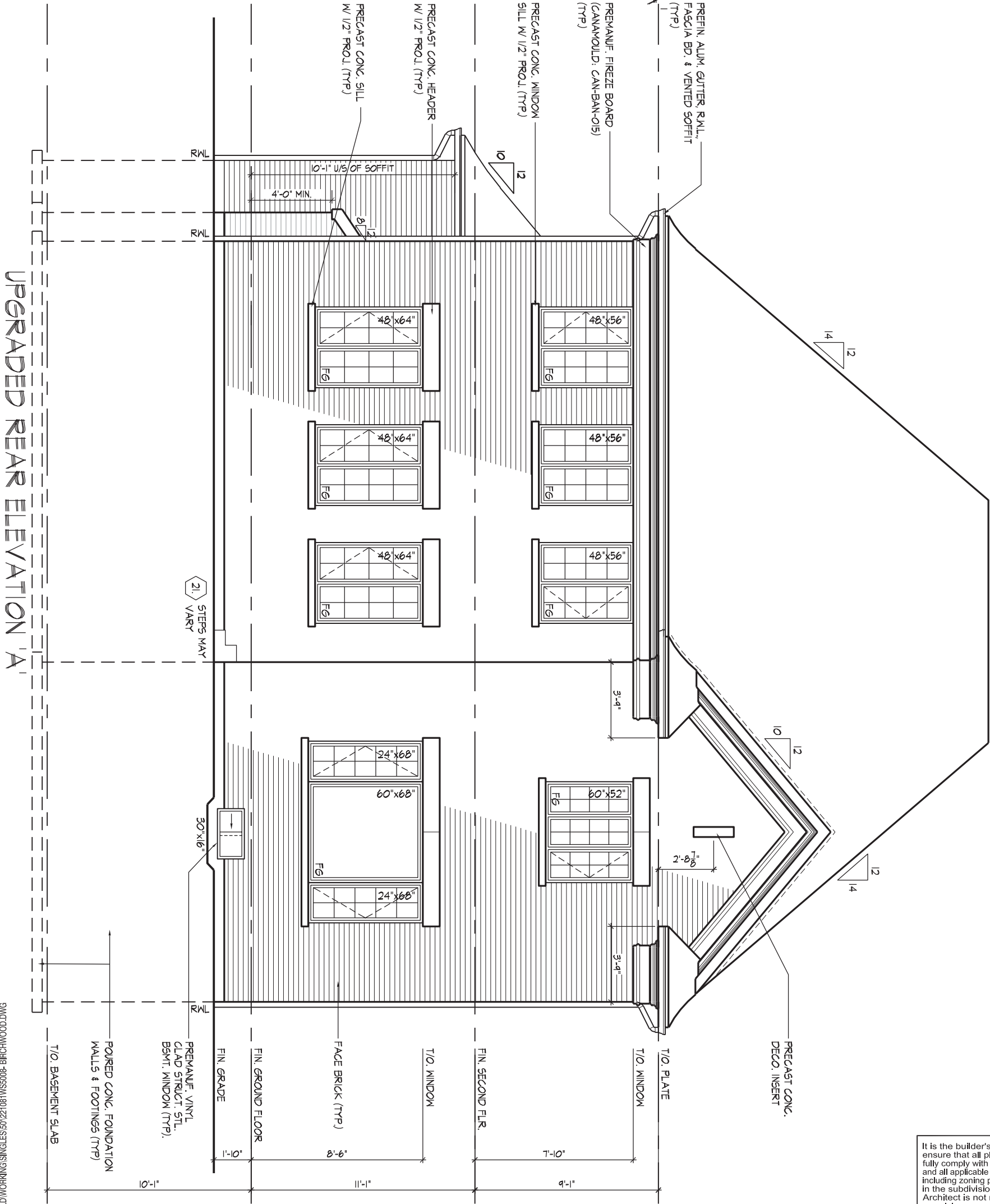
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ROOF PLAN,  
REAR UPG. EL. 'A'



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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AND APPROVAL

APPROVED BY:

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UPGRADED REAR ELEVATION 'A'

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION

ALLan Whiting

SIGNATURE

23177

BCIN

REGISTRATION INFORMATION

HUNT DESIGN ASSOCIATES INC.

19695

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DESIGN ASSOCIATES INC.

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GOLDPARK HOMES - 221081  
PINE VALLEY PH. 2, VAUGHAN, ON.

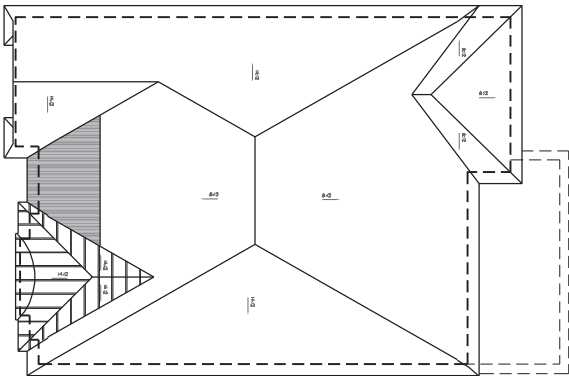
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Checked By AW  
Scale 3/16"=1'-0"

File Number  
221081WS5008.dwg

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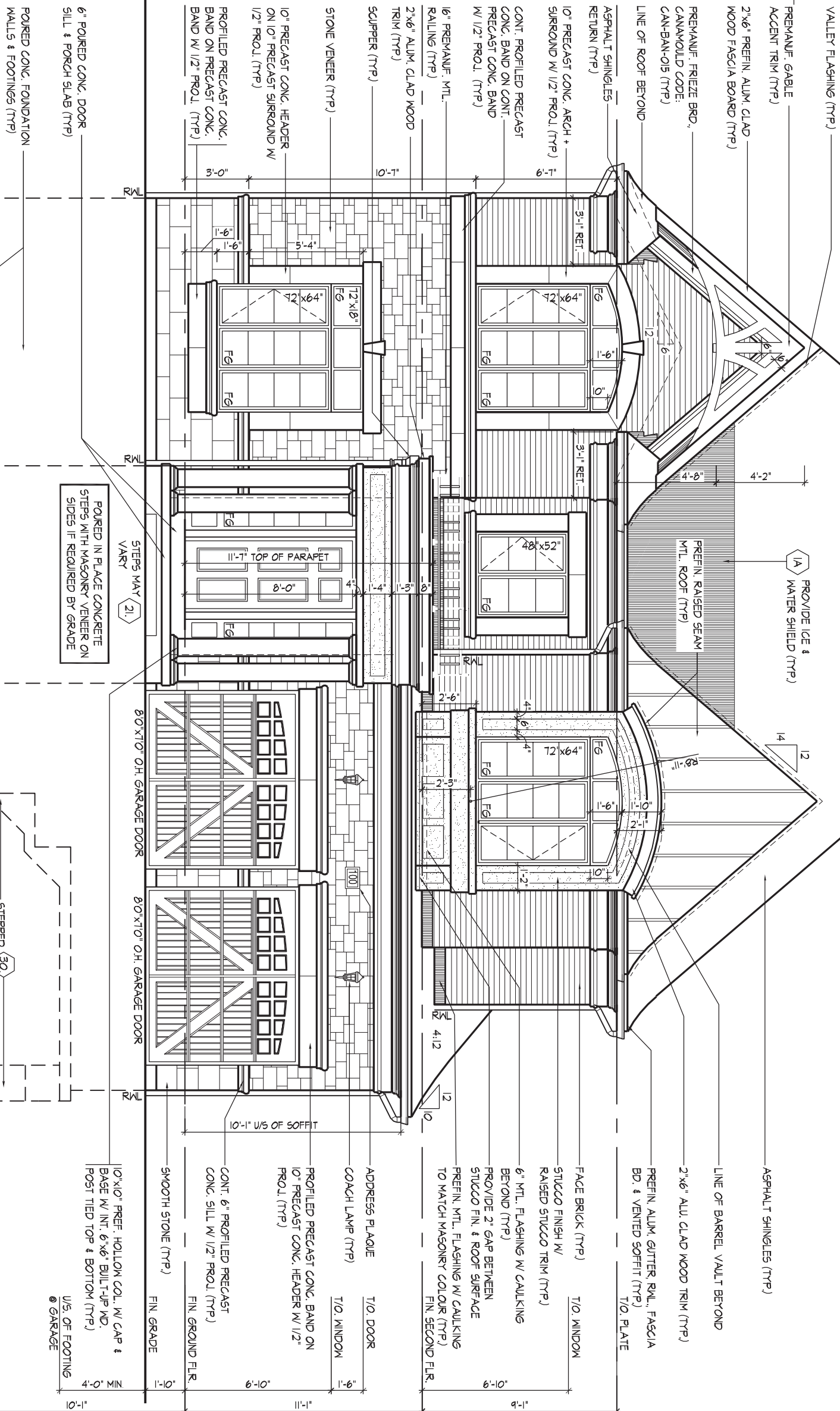


ROOT PLAN, EL. N.T.S.

WINDOW SUMMARY				
PER O.B.C. TABLE 9.10.15.4				
FRONT ELEVATION B				
QUAN.	TH. ID	TH. D	WINDOW / DOOR FRAME SIZE (S.F.)	
3	12"	64"	85.00	
1	48"	52"	14.67	
1	72"	18"	6.61	
0	0"	0"	0.00	
0	0"	0"	0.00	
0	0"	0"	0.00	
0	0"	0"	0.00	
0	0"	0"	0.00	
0	0"	0"	0.00	
2	ARCH	7.69	15.38	
2	SIDE DOOR	4.00	8.00	
0	ARCH	0.00	0.00	
0	ARCH	0.00	0.00	
SPATIAL CALCULATION				
EXPOSING BUILDING FACE AREA		698.71	S.F.	
PORTION WALL AREA		83.49	S.M.	
LIMITING DISTANCE		698.71	S.F.	
MAX. % OPENINGS ALLOWED		14.00	%	
OPENINGS PROVIDED		100.00	S.F.	
ADDITIONAL NOTES		129.66	S.F.	
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER				

38'-6" TOP OF ROOF

30'-3" MEAN OF ROOF



ROOF OVERHANGS ARE TO  
BE 15" UNLESS NOTED  
OTHERWISE

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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AND APPROVAL

APPROVED BY: \_\_\_\_\_  
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## FRONT ELEVATION 'B'

REV.2022.05.16

**GOLDPARK HOMES - 221081**  
PINE VALLEY PH. 2, VAUGHAN, ON.

Prepared By	Checked By	Seals
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Prepared By: \_\_\_\_\_ Checked By: \_\_\_\_\_

### Scale

File Number

Page Number

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### QUALIFICATION INFORMATION

Alan Whiting

NAME  
REGISTRATION INFORMATION

HUNT DESIGN ASSOCIATES INC

23177

BCIN

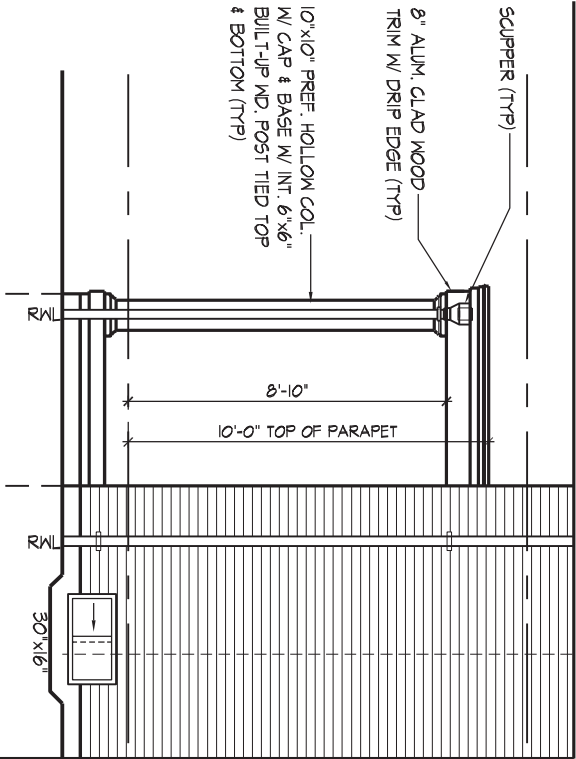
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PART. LEFT SIDE ELEV. 'B'  
W/ OPT. LOGGIA

VALLEY FLASHING (TYP)

ASPHALT SHINGLES (TYP)

ROOF OVERHANGS ARE TO BE 15" UNLESS NOTED OTHERWISE  
REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFO.

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JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY: [Signature]  
DATE: MAY 27, 2022

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

LEFT SIDE ELEVATION 'B'

GOLDPARK HOMES - 221081  
PINE VALLEY PH. 2, VAUGHAN, ON.

HUNT DESIGN ASSOCIATES INC.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION  
Allan Whiting  
23177 BCIN  
HUNT DESIGN ASSOCIATES INC. 19695

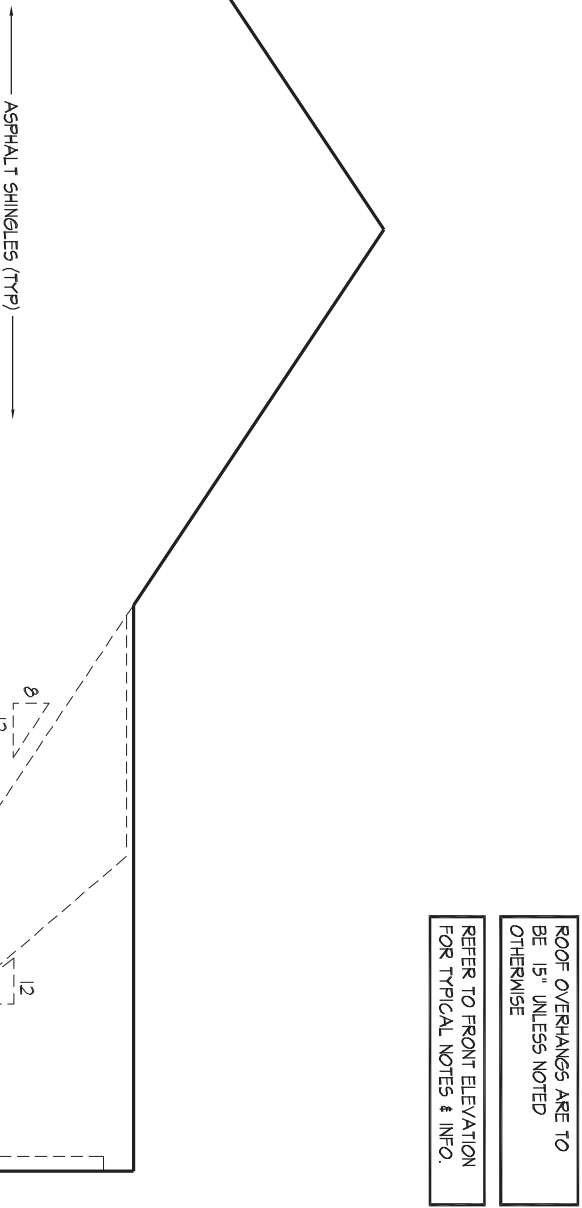
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File Number 221081WS5008.dwg  
Page Number 16 of 25

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WINDOW SUMMARY			
PER O.B.C. TABLE 9.10.15.4			
LEFT SIDE ELEV. 'B'			
QUAN.	WIDTH	HEIGHT	WINDOW / DOOR FRAME SIZE (S.F.)
3	24"	52"	20.00
1	48"	56"	15.89
1	72"	64"	28.33
3	30"	16"	6.50
0	0"	0"	0.00
0	ARCH	0.00	0.00
SPATIAL CALCULATION			
EXPOSING BUILDING		1180.67	S.F.
FACE AREA		109.69	S.M.
PORTION WALL AREA		1180.67	S.F.
LIMITING DISTANCE		1.20 m	S.M.
MAX. % OPENINGS		7.00	%
OPENINGS ALLOWED		82.56	S.F.
OPENINGS PROVIDED		70.72	S.F.
ADDITIONAL NOTES			
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER			

EXTENTS OF SPATIAL CALCULATIONS, REFER TO WINDOW SUMMARY FOR ADDITIONAL INFORMATION

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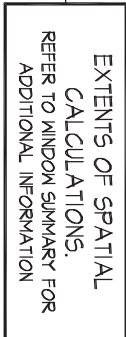
REFER TO FRONT ELEVATION  
FOR TYPICAL NOTES & INFO.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

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**UNIT 5008- THE BIRCHWOOD**  
REV.2022.05.16

SPATIAL CALCULATION		
EXPOSING BUILDING	1180.67	S.F.
FACE AREA	109.69	S.M.



WTANG WED MAY 18/22 10:20 AM K:\PROJECTS\2021\221081.GOLD\WORKING\SINGLES\50\221081WS5008-BIRCHWOOD.DWG

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Drawn By	Checked By	Scale
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JK AW 3/16"=1'-0"

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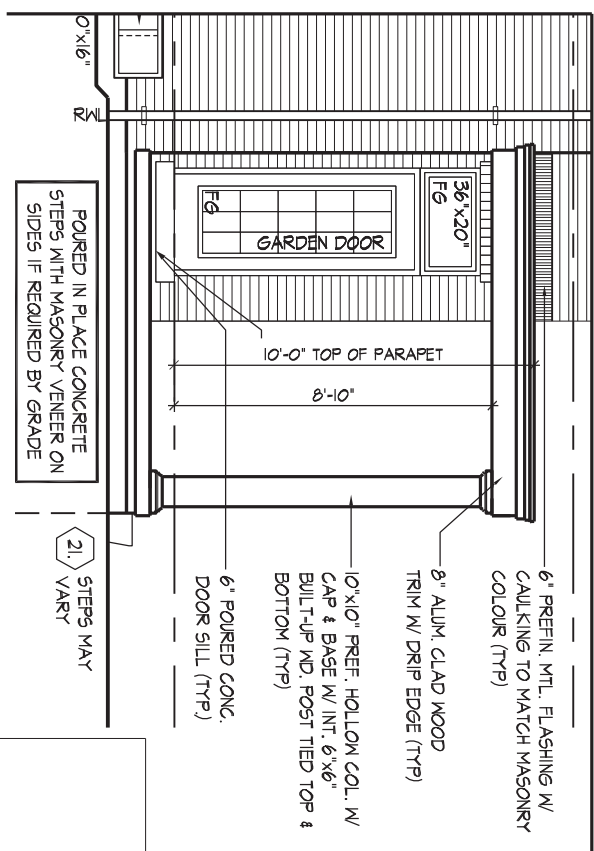
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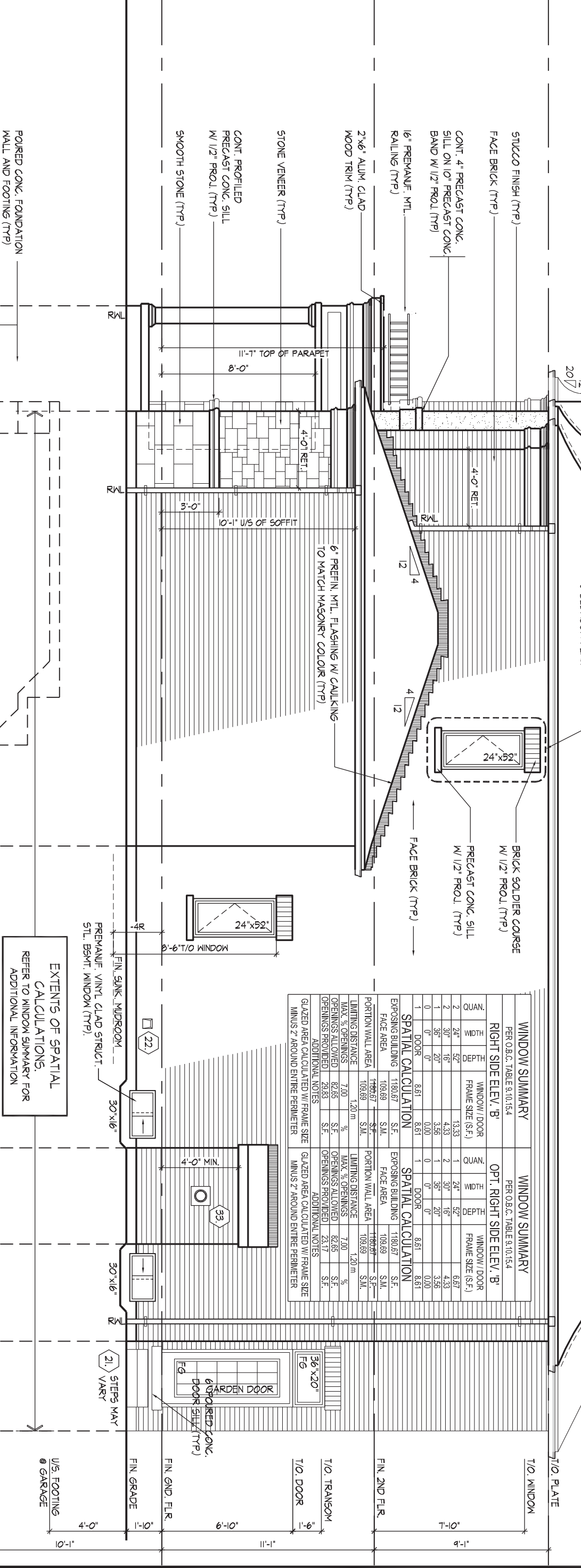
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PART. RIGHT SIDE ELEV. 'B'  
W/ OPT. LOGGIA



WINDOW SUMMARY				WINDOW SUMMARY			
PER O.B.C. TABLE 9.10.15.4				PER O.B.C. TABLE 9.10.15.4			
RIGHT SIDE ELEV. 'B'				OPT. RIGHT SIDE ELEV. 'B'			
QUAN.	W.DTH	DEPT.	WINDOW / DOOR FRAME SIZE (S.F.)	QUAN.	W.DTH	DEPT.	WINDOW / DOOR FRAME SIZE (S.F.)
2	24"	62"	13.33	1	24"	62"	6.67
2	30"	16"	4.33	2	30"	16"	4.33
1	36"	20"	3.56	1	36"	20"	3.56
0	0"	0"	0.00	0	0"	0"	0.00
1	DOOR	8.61	8.61	1	DOOR	8.61	8.61
SPATIAL CALCULATION				SPATIAL CALCULATION			
EXPOSING BUILDING				EXPOSING BUILDING			
FACE AREA				FACE AREA			
1180.67	S.F.	1180.67	S.F.	1180.67	S.F.	1180.67	S.F.
109.69	S.M.	109.69	S.M.	109.69	S.M.	109.69	S.M.
PORTION WALL AREA				PORTION WALL AREA			
1180.67	S.F.	1180.67	S.F.	1180.67	S.F.	1180.67	S.F.
109.69	S.M.	109.69	S.M.	109.69	S.M.	109.69	S.M.
LIMITING DISTANCE				LIMITING DISTANCE			
7.00	%	7.00	%	7.00	%	7.00	%
MAX. % OPENINGS				MAX. % OPENINGS			
62.85	S.F.	62.85	S.F.	62.85	S.F.	62.85	S.F.
OPENINGS ALLOWED				OPENINGS ALLOWED			
23.17	S.F.	23.17	S.F.	23.17	S.F.	23.17	S.F.
OPENINGS PROVIDED				OPENINGS PROVIDED			
23.17	S.F.	23.17	S.F.	23.17	S.F.	23.17	S.F.
ADDITIONAL NOTES				ADDITIONAL NOTES			
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER				GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER			

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JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY: [Signature]  
DATE: MAY 27, 2022

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RIGHT SIDE ELEVATION 'B'

GOLDPARK HOMES - 221081  
PINE VALLEY PH. 2, VAUGHAN, ON.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION

Allan Whiting

NAME

REGISTRATION INFORMATION

HUNT DESIGN ASSOCIATES INC.

23177

BCIN

19695

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Drawn By: AW  
Checked By: AW  
Scale: 3/16"=1'-0"

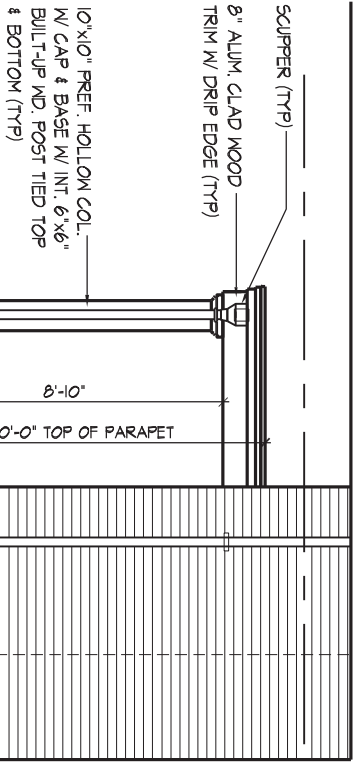
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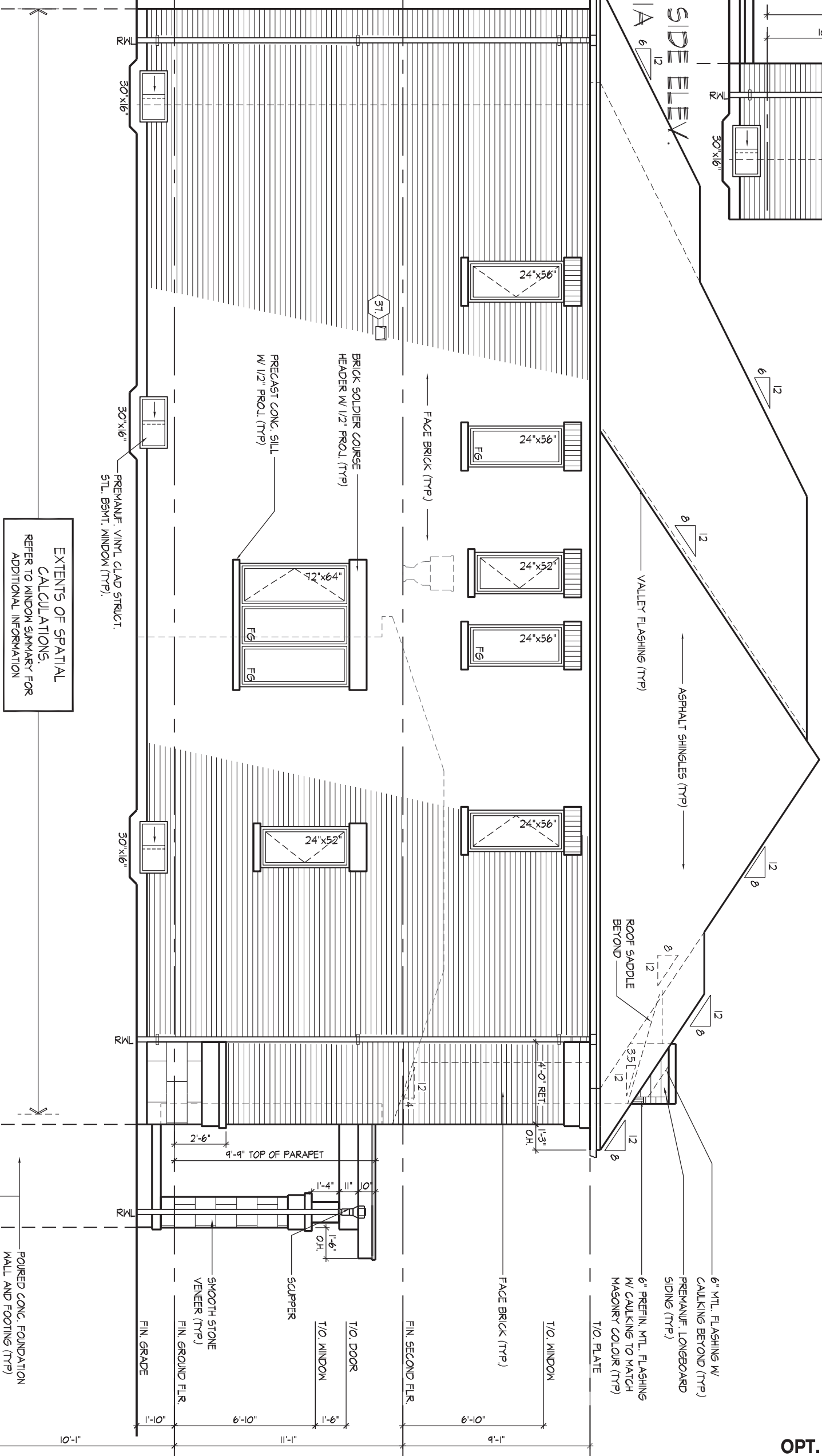






PART. OPT. LEFT SIDE ELEV. 'C' W/ OPT. LOGGIA

WINDOW SUMMARY			
PER O.B.C. TABLE 9.10.15.4			
OPT. LEFT SIDE ELEV. 'C'			
QUAN.	WIDTH	DEPTH	WINDOW/DOOR FRAME SIZE (S.F.)
4	24"	52"	26.67
2	48"	56"	31.78
1	72"	64"	28.33
3	30"	16"	6.50
0	0"	0"	0.00
0	0"	0"	0.00
SPATIAL CALCULATION			
Exposing Building	1199.67	S.F.	
FACE AREA	110.71	S.M.	
PORTION WALL AREA	1191.67	S.F.	
	110.71	S.M.	
LIMITING DISTANCE	1.20	m	
MAX. % OPENINGS	7.00	%	
OPENINGS ALLOWED	83.42	S.F.	
OPENINGS PROVIDED	83.28	S.F.	
ADDITIONAL NOTES			
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER			



ROOF OVERHANGS ARE TO BE 15" UNLESS NOTED OTHERWISE

REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFO.

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JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY:   
DATE: MAY 27, 2022

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

OPT. LEFT SIDE ELEVATION 'C'

UNIT 5008- THE BIRCHWOOD  
REV.2022.05.16

GOLDPARK HOMES - 221081  
PINE VALLEY PH. 2, VAUGHAN, ON.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION  
Allan Whiting  
NAME  
REGISTRATION INFORMATION  
HUNT DESIGN ASSOCIATES INC.

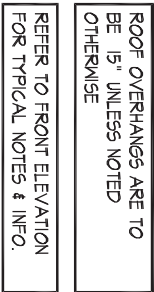
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Checked By AW  
Scale 3/16"=1'-0"  
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**JOHN G. WILLIAMS LTD., ARCHITECT**  
**ARCHITECTURAL CONTROL REVIEW**  
**AND APPROVAL**

APPROVED BY: [Signature]  
DATE: MAY 27, 2022

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

**RIGHT SIDE ELEVATION 'C'**  
**UNIT 5008- THE BIRCHWOOD**  
REV.2022.05.16

**GOLDPARK HOMES - 221081**  
PINE VALLEY PH. 2, VAUGHAN, ON.

Drawn By	Checked By	Scale	
JK	AW	3/16"=1'-0"	221
8966 Woodbine Ave., Suite 200, Markham, ON L3R 0J7			

File Number		Page Number	
221081WS5008.dwg		22	of 25
OJ7	T 905.737.5133	F 905.737.7326	

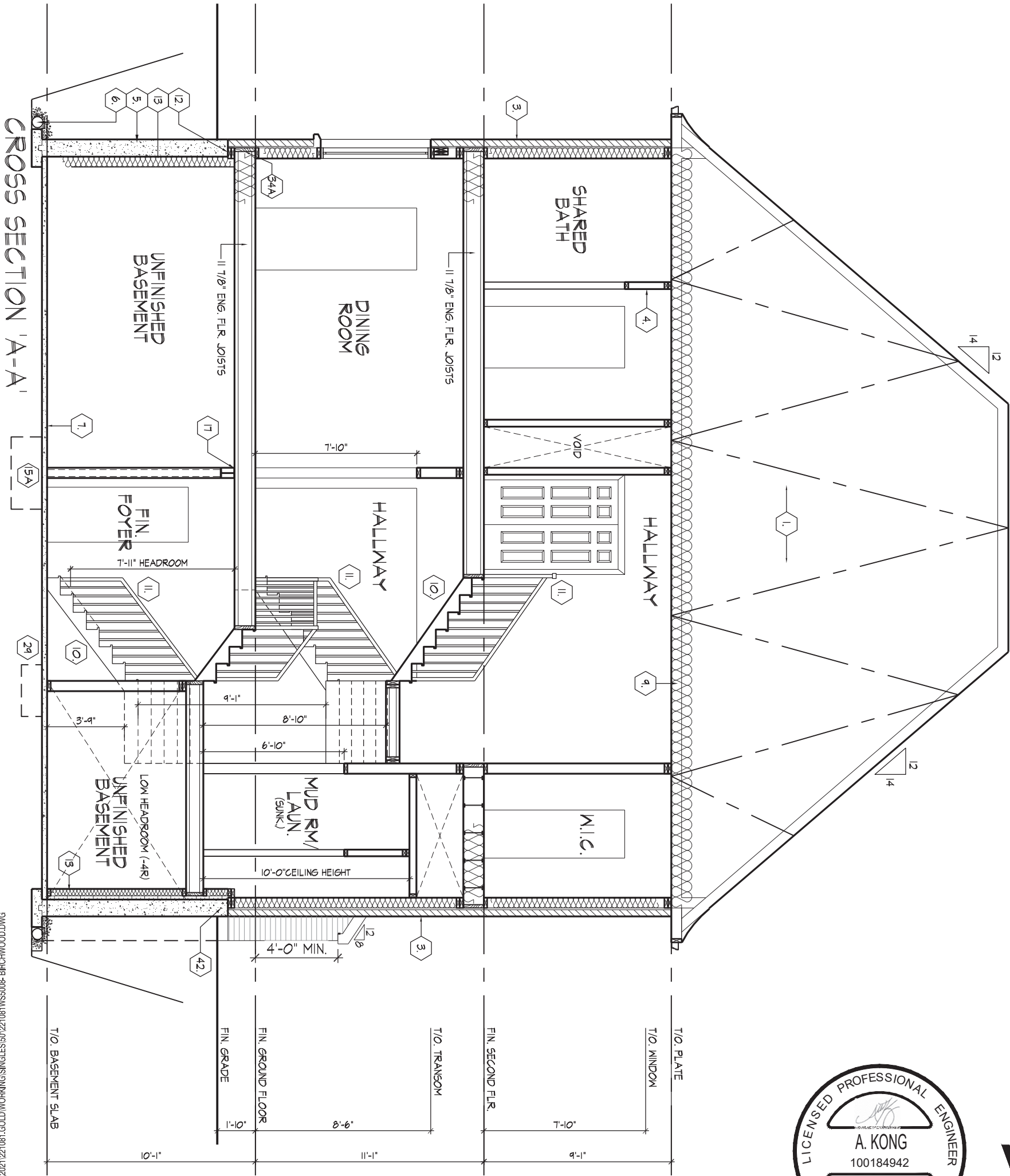
THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS  
THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING  
CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION		
Alan Whiting		2317
NAME	SIGNATURE	BC
REGISTRATION INFORMATION		
HUNT DESIGN ASSOCIATES INC.		1968

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ROOF OVERHANGS ARE TO  
BE 15" UNLESS NOTED  
OTHERWISE



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cont. SECTION 1.0. CONSTRUCTION NOTES

39

TWO STOREY VOLUME SPACES

(9.23.10.1., 9.23.11., 9.23.16.)

WALL ASSEMBLY		WIND LOADS			
EXTERIOR	STUDS	<= 0.5 kPa (q50)		> 0.5 kPa (q50)	
		SPACING	MAX HEIGHT	SPACING	MAX HEIGHT
BRICK	2-2"x6" (2-38x140) SPR. #2	12" (305) O.C.	18'-4" (5588)	8" (200) O.C.	18'-4" (5588)
SIDING		16" (406) O.C.	18'-4" (5588)	12" (305) O.C.	18'-4" (5588)
BRICK	2-2"x8" (2-38x184) SPR. #2	12" (305) O.C.	21'-0" (6400)	12" (305) O.C.	21'-0" (6400)
SIDING		16" (406) O.C.	21'-0" (6400)	16" (406) O.C.	21'-0" (6400)
** STUD SIZE & SPACING TO BE VERIFIED BY STRUCTURAL ENGINEER **					

STUDS ARE TO BE CONTINUOUS, C/W 3/8" (9.5) THICK EXTERIOR PLYWOOD SHEATHING. PROVIDE SOLID WOOD BLOCKING BETWEEN WOOD STUDS @ 4'-0" (1220) O.C. VERTICALLY.

- FOR HORIZ. DISTANCES LESS THAN 9'-6" (2896) PROVIDE 2"x6" (38x140) STUDS @ 16" (406) O.C. WITH CONTIN. 2-2"x6" (2-38x140) TOP PLATE + 1-2"x6" (1-38x140) BOTTOM PLATE & MIN. OF 3-2"x8" (3-38x184) CONT. HEADER AT GROUND FLOOR CEILING LEVEL TOE-NAILED & GLUED AT TOP, BOTTOM PLATES & HEADERS.

40

1 HR. PARTY WALL (CONC. BLOCK)

((SB-3] WALL TYPE 'B6e' & 'B1b')

1/2" (12.7) GYPSUM SHEATHING ON EACH SIDE ON 2"x2" (38x38) VERTICAL WD. STRAPPING @ 24" (610) O.C. ON 8" (200) CONC. BLOCK FILL STRAPPING CAVITY EACH SIDE WITH AT LEAST 90% OF ABSORPTIVE MATERIAL PROCESSED FROM ROCK, SLAG OR GLASS. TAPE, FILL & SAND ALL GYPSUM JOINTS. EXPOSED BLOCK MUST BE SEALED W/ 2 COATS OF PAINT OR FURRED WITH 2"x2" (38x38) WD. STRAPPING & 1/2" (12.7) GYPSUM SHEATHING.

40

1 HR. PARTY WALL (DOUBLE STUD)

((SB-3] WALL TYPE 'W13c')

5/8" (15.9) TYPE 'X' GYPSUM SHEATHING ON EXTERIOR SIDE OF 2 ROWS OF 2"x4" (38x89) STUDS @ 16" (406) O.C., MIN. 1" (25) APART ON SEPARATE 2"x4" (38x89) SILL PLATES. (2"x6" (38x140) AS REQUIRED) FILL ONE SIDE OF STUD CAVITY WITH AT LEAST 90% OF ABSORPTIVE MATERIAL PROCESSED FROM ROCK, SLAG OR GLASS. TAPE FILL AND SAND ALL GYPSUM JOINTS.

40A

2 HR. FIREWALL

((SB-3] WALL TYPE 'B6e' & 'B1b')

1/2" (12.7) GYPSUM SHEATHING ON EACH SIDE ON 2"x2" (38x38) VERTICAL WOOD STRAPPING @ 24" (610) O.C ON 8" (200) CONC. BLOCK 75% SOLID. FILL STRAPPING CAVITY EACH SIDE WITH AT LEAST 90% OF ABSORPTIVE MATERIAL PROCESSED FROM ROCK, SLAG OR GLASS. TAPE, FILL & SAND ALL GYPSUM JOINTS. AT UNFINISHED AREAS, EXTERIOR FACE OF CONC. BLOCK TO BE SEALED WITH 2 COATS OF PAINT. GYPSUM SHEATHING TO BE ATTACHED TO CONC. BLOCK. (REFER TO DETAILS)

41

STUCCO WALL CONSTRUCTION (2"x6")

STUCCO FINISH CONFORMING TO O.B.C. SECTION 9.28, AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1 1/2" (38) E.I.F.S. (MINIMUM) ON APPROVED DRAINAGE MAT ON 1/2" (12.7) DENSGLASS GOLD GYPSUM BOARD ON STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1., INSULATION, APPROVED 6 MIL. POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (REFER TO 35 NOTE AS REQUIRED)

41A

STUCCO WALL CONSTRUCTION (2"x6") W/ CONTIN. INSUL.

STUCCO FINISH CONFORMING TO O.B.C. SECTION 9.28, AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1 1/2" (38) E.I.F.S. (MINIMUM) ON APPROVED DRAINAGE MAT ON APPROVED AIR/WATER BARRIER AS PER O.B.C. 9.27.3. ON EXTERIOR TYPE RIGID INSULATION (JOINTS UNTAPED) MECHANICALLY FASTENED AS PER MANUFACTURERS SPECIFICATIONS, ON 7/16" EXTERIOR TYPE SHEATHING ON STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1., INSULATION, APPROVED 6 MIL. POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (REFER TO 35 NOTE AS REQUIRED)

41B

STUCCO WALL @ GARAGE CONST.

STUCCO FINISH CONFORMING TO O.B.C. SECTION 9.28, AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1 1/2" (38) E.F.I.S (MINIMUM) ON APPROVED DRAINAGE MAT ON 1/2" (12.7) DENSGLASS GOLD GYPSUM BRD. ON STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1., 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (REFER TO 35 NOTE AS REQ.)

\*\*\* FOR DWELLINGS USING CONTIN. INSULATION CONSTRUCTION, PROVIDE APPROVED DRAINAGE MAT ON 7/16" (11) EXTERIOR TYPE SHEATHING OVER FURRING (AS REQ.) AND STUDS IN LIEU OF 1 1/2" (38) E.F.I.S (MINIMUM) ON APPROVED DRAINAGE MAT ON 1/2"(12.7) DENSGLASS GOLD GYPSUM BRD.

42

UNSUPPORTED FOUNDATION WALLS

(9.15.4.2.)

REINFORCING AT STAIRS AND SUNKEN FLOOR AREAS

2-20M BARS IN TOP PORTION OF WALL (UP TO 8'-0" OPENING)

3-20M BARS IN TOP PORTION OF WALL (8'-0" TO 10'-0" OPENING)

4-20M BARS IN TOP PORTION OF WALL (10'-0" TO 15'-0" OPENING)

- BARS STACKED VERTICALLY AT INTERIOR FACE OF WALL @ 6" O.C.

REINFORCING AT BASEMENT WINDOWS

2-15M HORIZ. REINFORCING ON THE INSIDE AND OUTSIDE FACE OF THE FOUNDATION WALL BELOW THE WIN. SILL. EXTEND BARS 24" (610) BEYOND THE OPENING. 2-15M VERTICAL REINFORCING ON THE INSIDE AND OUTSIDE FACE OF THE FOUNDATION WALL ON EACH SIDE OF THE WINDOW OPENING.

- BARS TO HAVE MIN. 1" (25) CONC. COVER

- BARS TO EXTEND 2'-0" (610) BEYOND BOTH SIDES OF OPENING

43

STUD WALL REINFORCEMENT

PROVIDE STUD WALL REINFORCEMENT IN MAIN BATHROOM CONFORMING TO O.B.C. (9.5.2.3.(1)) (REFER TO DETAILS)

44

WINDOW WELLS

WHERE A WINDOW OPENS INTO A WINDOW WELL, A CLEARANCE OF NOT LESS THAN 21 5/8" (550) SHALL BE PROVIDED IN FRONT OF THE WINDOW. EVERY WINDOW WELL SHALL BE DRAINED TO THE FOOTING LEVEL OR OTHER SUITABLE LOCATION WITH A 4" (100) WEEPING TILE C/W A FILTER CLOTH WRAP AND FILLED WITH CRUSHED STONE. (9.9.10.1.(5), 9.14.6.3.)

45

SLOPED CEILING CONSTRUCTION

((SB-12] 3.1.1.8., 9.23.4.2.)

2"x12" (38x286) ROOF JOISTS @ 16" (406) O.C. MAX. (UNLESS OTHERWISE NOTED) W/ 2"x2" (38x38) PURLINS @ 16" (406) O.C. PERPENDICULAR TO ROOF JOIST (PURLINS NOT REQ. W/ SPRAY FOAM), W/ INSULATION BETWEEN JOIST, 6 mil POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH OR APPROVED EQ. INSULATION VALUE DIRECTLY ABOVE THE INNER SURFACE OF EXTERIOR WALLS SHALL NOT BE LESS THAN R20 (3.52 RSI).

46

FLAT ROOF/BALCONY CONSTRUCTION

WATERPROOFING MEMBRANE (9.26.11, 9.26.15, 9.26.16) FULLY ADHERED TO 5/8" (15.9) T&G EXTERIOR GRADE PLYWOOD SHEATHING ON 2"x2" (38x38) PURLINS ANGLED TOWARDS SCUPPER @ 2% MINIMUM LAID PERPENDICULAR TO 2"x8" (38x184) FLOOR JOISTS @ 16" (406) O.C. (UNLESS OTHERWISE NOTED). BUILT UP CURB TO BE 4" (100) MIN. ABOVE FINISHED BALCONY FLOOR. CONTINUOUS 'L' TRIM DRIP EDGE TO BE PROVIDED ON OUTSIDE FACE OF CURB. SCUPPER DRAIN TO BE LOCATED 24" (610) MIN. AWAY FROM HOUSE. PREFINISHED ALUMINUM OR PANEL FOR UNDERSIDE OF SOFFIT (9.23.2.3). REMOVE CURB WHERE REQ.

**BALCONY CONDITION**

SEE FLAT ROOF/BALCONY CONSTRUCTION NOTE. INCLUDE 2"x4" (38x89) PT. DECKING W/ 1/4" (6.4) GAPS LAID FLAT PARALLEL TO JOISTS ON 2"x4" (38x89) PT. SLEEPERS @ 12" (305) O.C. LAID FLAT PERPENDICULAR TO JOISTS

**BALCONY OVER HEATED SPACE CONDITION**

SEE FLAT ROOF/BALCONY CONSTRUCTION NOTE FOR ASSEMBLY. REFER TO PLANS FOR FLOOR JOIST SIZE & REFER TO HEX NOTE 9 FOR INSULATION AND INTERIOR FINISH

47

BARREL VAULT CONSTRUCTION

CANTILEVERED 2"x4" (38x89) SPACERS LAID FLAT ON 2"x10" (38x235) SPR. #2 ROOF JOIST NAILED TO BUILT-UP 3-3/4" (19) PLYWOOD HEADER PROFILED FOR BARREL. SPRAY FOAM INSULATION BETWEEN JOISTS W/ GYPSUM BOARD. INTERIOR FIN. (REFER TO DETAILS)

REFER TO SB-12 ENERGY EFFICIENCY DESIGN MATRIX ON THE TITLE PAGE FOR ALL VALUES AS REQUIRED PER 3.1.1., 3.1.2., 3.1.3. OF THE OBC.

SECTION 1.1. WALL STUDS

- REFER TO THIS CHART FOR STUD SIZE & SPACING AS REQUIRED FOR EXTERIOR WALLS ONLY. REFER TO SITING & GRADING PLAN OF THIS UNIT FOR CONFIRMATION OF TOP OF FOUNDATION WALL AND ADDITIONAL INFORMATION.

- IF STUD WALL HEIGHT EXCEEDS MAX. UNSUPPORTED HEIGHT, WALL NEEDS TO BE REVIEWED AND APPROVED BY ENGINEER.

SIZE & SPACING OF STUDS: (OBC REFERENCE - TABLE 9.23.10.1.)					
MIN. STUD SIZE, in (mm)	SUPPORTED LOADS (EXTERIOR)				
	ROOF w/ OR w/o ATTIC	ROOF w/ OR w/o ATTIC & 1 FLOOR	ROOF w/ OR w/o ATTIC & 2 FLOOR	ROOF w/ OR w/o ATTIC & 3 FLOOR	
	MAX. STUD SPACING, in (mm) O.C.				
	MAX. UNSUPPORTED HGT., ft-in (m)				
2"x4" (38x89)	24" (610)	16" (405)	12" (305)	N/A	
	9'-10" (3.0)	9'-10" (3.0)	9'-10" (3.0)	N/A	
2"x6" (38x140)	-	24" (610)	16" (406)	12" (305)	
	-	9'-10" (3.0)	11'-10" (3.6)	5'-11" (1.8)	

SECTION 2.0. GENERAL NOTES

- 2.1. WINDOWS**
- 1) EXCEPT WHERE A DOOR ON THE SAME FLOOR LEVEL AS THE BEDROOM PROVIDES DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL CONTAINING A BEDROOM IS TO HAVE AT LEAST ONE OUTSIDE WINDOW W/ MIN. 0.35m2 UNOBSTRUCTED OPEN PORTION W/ NO DIMENSION LESS THAN 1'-3" (380), CAPABLE OF MAINTAINING THE OPENING WITHOUT THE NEED FOR ADDITIONAL SUPPORT, CONFORMING TO 9.9.10.
- 2) WINDOW GUARDS: A GUARD OR A WINDOW WITH A MAXIMUM RESTRICTED OPENING WIDTH OF 4" (100) IS REQUIRED WHERE THE TOP OF THE WINDOW SILL IS LOCATED LESS THAN 1'-7" (480) ABOVE FIN. FLOOR AND THE DISTANCE FROM THE FINISHED FLOOR TO THE ADJACENT GRADE IS GREATER THAN 5'-11" (1800). (9.8.8.1.)
- 3) WINDOWS IN EXIT STAIRWAYS THAT EXTEND TO LESS THAN 2'-11" (900) [3'-6" (1070) FOR ALL OTHER BUILDINGS] SHALL BE PROTECTED BY GUARDS IN ACCORDANCE WITH NOTE #2 (ABOVE), OR THE WINDOW SHALL BE NON-OPERABLE AND DESIGNED TO WITHSTAND THE SPECIFIED LOADS FOR BALCONY GUARDS AS PROVIDED IN 4.1.5.15 OR 9.8.8.2
- 4) REFER TO TITLE PAGE FOR MAX. U-VALUE REQUIREMENTS

- 2.2. CEILING HEIGHTS**
- THE CEILING HEIGHTS OF ROOMS AND SPACES SHALL CONFORM TO TABLE 9.5.3.1.

ROOM OR SPACE	MINIMUM HEIGHTS
LIVING ROOM, DINING ROOM AND KITCHEN	7'-7" OVER 75% OF REQUIRED FLOOR AREA WITH A CLEAR HEIGHT OF 6'-11" AT ANY POINT
BEDROOM	7'-7" OVER 50% OF REQUIRED FLOOR AREA OR 6'-11" OVER ALL OF THE REQUIRED FLOOR AREA.
BASEMENT	6'-11" OVER AT LEAST 75% OF THE BASEMENT AREA EXCEPT THAT UNDER BEAMS AND DUCTS THE CLEARANCE IS PERMITTED TO BE REDUCED TO 6'-5".
BATHROOM, LAUNDRY AREA ABOVE GRADE	6'-11" IN ANY AREA WHERE A PERSON WOULD NORMALLY BE STANDING
FINISHED ROOM NOT MENTIONED ABOVE	6'-11"
MEZZANINES	6'-11" ABOVE & BELOW FLOOR ASSEMBLY (9.5.3.2.)
STORAGE GARAGE	6'-7" (9.5.3.3.)

- 2.3. MECHANICAL / PLUMBING**
- 1) MECHANICAL VENTILATION IS REQUIRED TO PROVIDE 0.7 AIR CHANGE PER HOUR IF NOT AIR CONDITIONED 1 PER HOUR IF AIR CONDITIONED AVERAGED OVER 24 HOURS, WHEN A VENTILATION FAN (PRINCIPAL EXHAUST) IS REQUIRED, CONFORM TO OBC 9.32.3.4. WHEN A HRV IS REQUIRED, CONFORM TO 9.32.3.11. REFER TO MECHANICAL DRAWINGS.
- 2) REFER TO HOT WATER TANK MANUFACTURER SPECS. CONFORM TO OBC 9.31.6.
- 3) REFER TO TITLE PAGE FOR SPACE HEATING EQUIPMENT, HRV AND DOMESTIC HOT WATER HEATER MINIMUM EFFICIENCIES.
- 4) DRAIN WATER HEAT RECOVERY UNIT(S) WILL BE INSTALLED CONFORMING TO THE REQUIREMENTS OF SB12 - 3.1.1.12. OF THE O.B.C.
- 2.4. LUMBER**
- 1) ALL LUMBER SHALL BE SPRUCE No.2 GRADE OR BETTER, UNLESS NOTED OTHERWISE.
- 2) STUDS SHALL BE STUD GRADE SPRUCE, UNLESS NOTED OTHERWISE.
- 3) LUMBER EXPOSED TO THE EXTERIOR TO BE SPRUCE No. 2 GRADE PRESSURE TREATED OR CEDAR, UNLESS NOTED OTHERWISE.
- 4) ALL LAMINATED VENEER LUMBER (LVL) BEAMS, GIRDER TRUSSES, AND METAL HANGER CONNECTIONS SUPPORTING ROOF FRAMING TO BE DESIGNED & CERTIFIED BY FLOOR AND ROOF TRUSS MANUFACTURER.
- 5) JOIST HANGERS: PROVIDE APPROVED METAL HANGERS FOR ALL JOISTS AND BUILT-UP WOOD MEMBERS INTERSECTING WITH FLUSH BUILT-UP WOOD MEMBERS.
- 6) WOOD FRAMING NOT TREATED WITH A WOOD PRESERVATIVE. IN CONTACT WITH CONCRETE, SHALL BE SEPARATED FROM THE CONC. BY AT LEAST 2 mil POLYETHYLENE FILM. No.50 (45lbs) ROLL ROOFING OR OTHER DAMPPROOFING MATERIAL, EXCEPT WHERE THE WOOD MEMBER IS AT LEAST 6" (152) ABOVE THE GROUND.

- 2.5. STEEL** (9.23.4.3.)
- 1) STRUCTURAL STEEL SHALL CONFORM TO CAN/CSA-G40-21 GRADE 350W. HOLLOW STRUCT. SECTIONS SHALL CONFORM TO CAN/CSA-G40-21 GRADE 350W CLASS "H".
- 2) REINFORCING STEEL SHALL CONFORM TO CSA-G30-18M GRADE 400R.

- 2.6. FLAT ARCHES**
- 1) FOR 8'-0" (2440) CEILINGS, FLAT ARCHES SHALL BE 6'-10" (2080) A.F.F.
- 2) FOR 9'-0" (2740) CEILINGS, FLAT ARCHES SHALL BE 7'-10" (2400) A.F.F.
- 3) FOR 10'-0" (3040) CEILINGS, FLAT ARCHES SHALL BE 8'-6" (2600) A.F.F.

- 2.7. ROOF OVERHANGS**
- 1) ALL ROOF OVERHANGS SHALL BE 1'-0" (305). UNLESS NOTED OTHERWISE.

- 2.8. FLASHING** (9.20.13., 9.26.4. & 9.27.3.)
- 1) FLASHING MATERIALS & INSTALLATION SHALL CONFORM TO O.B.C.
- 2.9. GRADING**
- 1) THE BUILDING SHALL BE LOCATED OR THE BUILDING SITE GRADED SO THE WATER WILL NOT ACCUMULATE AT OR NEAR THE BUILDING AND WILL NOT ADVERSELY AFFECT ADJACENT PROPERTIES. CONFORM TO 9.14.6.

- 2.10. ULC SPECIFIED ASSEMBLIES**
- ALL REQUIRED INDIVIDUAL COMPONENTS THAT FORM PART OF ANY 'ULC LISTED ASSEMBLY'. SPECIFIED WITHIN THESE DRAWINGS, CANNOT BE ALTERED OR SUBSTITUTED FOR ANY OTHER MATERIAL/PRODUCT OR SPECIFIED MANUFACTURER THAT IS IDENTIFIED IN THAT 'SPECIFIED ULC LISTING'. THERE SHALL BE NO DEVIATIONS UNDER ANY CIRCUMSTANCES IN ANY 'ULC LISTED ASSEMBLY' IDENTIFIED IN THESE DRAWINGS.

SECTION 3.0. LEGEND

3.1. WOOD LINTELS AND BUILT-UP WOOD (DIVISION B PART 9. TABLE A8 TO A10 AND A12, A15 & A16) FORMING PART OF SENTENCE 9.23.4.2.(3), 9.23.4.2.(4), 9.23.12.3.(1),(3), 9.23.13.8.(2), 9.37.3.1.(1)					
2"x8" SPRUCE #2		2"x10" SPRUCE #2		2"x12" SPRUCE #2	
L1	2/2"x8" (2/38x184)	L3	2/2"x10" (2/38x235)	L5	2/2"x12" (2/38x286)
B1	3/2"x8" (3/38x184)	B3	3/2"x10" (3/38x235)	B5	3/2"x12" (3/38x286)
B2	4/2"x8" (4/38x184)	B4	4/2"x10" (4/38x235)	B6	4/2"x12" (4/38x286)
B7	5/2"x8" (5/38x184)	B8	5/2"x10" (5/38x235)	B9	5/2"x12" (5/38x286)
ENGINEERED LUMBER SCHEDULE - GRADE 2.0E (UNLESS NOTE OTHERWISE)					
1 3/4" x 9 1/2" LVL		1 3/4" x 11 7/8" LVL		1 3/4" x 14" LVL	
LVL2	1-1 3/4"x9 1/2"	LVL3	1-1 3/4"x11 7/8"	LVL10	1-1 3/4"x14"
LVL4	2-1 3/4"x9 1/2"	LVL6	2-1 3/4"x11 7/8"	LVL11	2-1 3/4"x14"
LVL5	3-1 3/4"x9 1/2"	LVL7	3-1 3/4"x11 7/8"	LVL12	3-1 3/4"x14"
LVL8	4-1 3/4"x9 1/2"	LVL9	4-1 3/4"x11 7/8"	LVL13	4-1 3/4"x14"
3.2. STEEL LINTELS SUPPORTING MASONRY VENEER (DIVISION B PART 9. TABLE 9.20.5.2.B.) FORMING PART OF SENTENCE 9.20.5.2.(2) & 9.20.5.2.(3)					
CODE	SIZE	BRICK		STONE	
L7	3 1/2" x 3 1/2" x 1/4" (89 x 89 x 6.4)	8'-1" (2.47m)		7'-6" (2.30m)	
L8	4" x 3 1/2" x 1/4" (102 x 89 x 6.4)	8'-9" (2.66m)		8'-1" (2.48m)	
L9	4 7/8" x 3 1/2" x 5/16" (127 x 89 x 7.9)	10'-10" (3.31m)		10'-1" (3.03m)	
L10	4 7/8" x 3 1/2" x 3/8" (127 x 89 x 11)	11'-5" (3.48m)		10'-7" (3.24m)	
L11	5 7/8" x 3 1/2" x 3/8" (152 x 89 x 11)	12'-6" (3.82m)		11'-7" (3.54m)	
L12	7 1/8" x 4" x 3/8" (178 x 102 x 11)	14'-1" (4.30m)		13'-1" (3.99m)	

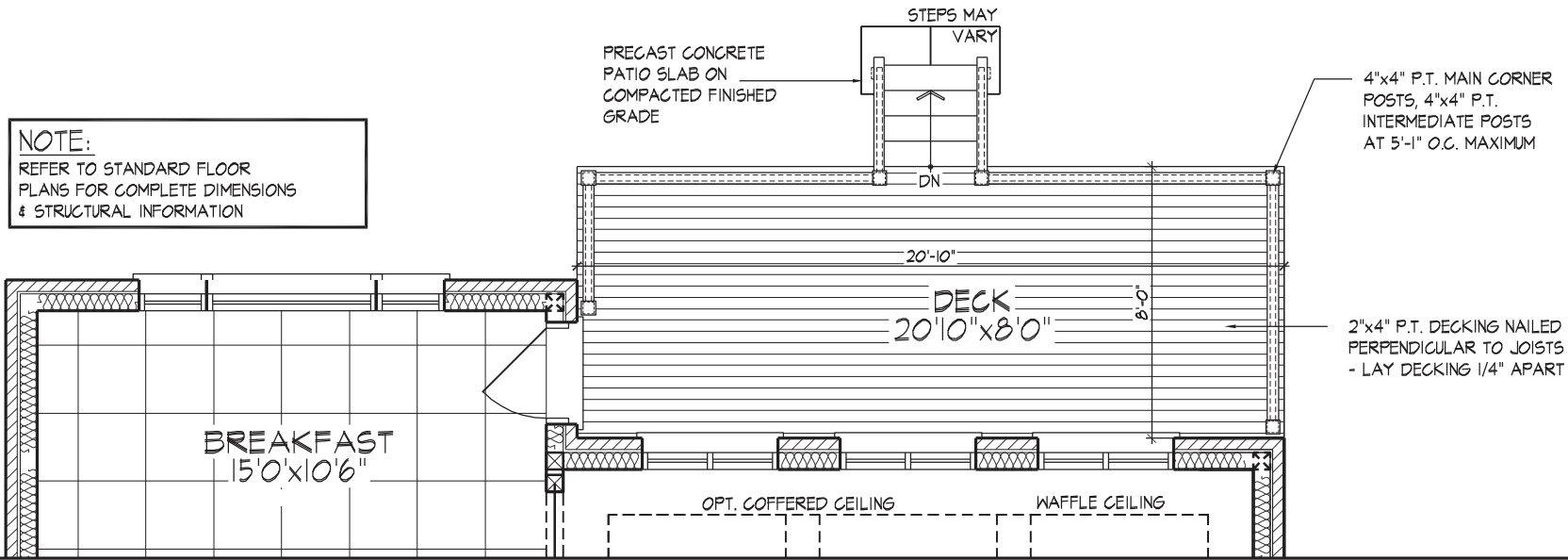
3.3. DOOR SCHEDULE					
CONFORMING TO SECTIONS 9.5.11, 9.6., 9.7.2.1, 9.7.5.2, & 9.10.13.10					
1	EXTERIOR	2'-8" x 6'-8" x 1-3/4" (815 x 2030 x 45)	INSULATED MIN. R4 (RSI 0.7)		
1A	EXTERIOR	2'-10" x 6'-8" x 1-3/4" (865 x 2030 x 45)	INSULATED MIN. R4 (RSI 0.7)		
1B	EXTERIOR	3'-0" x 6'-8" x 1-3/4" (915 x 2030 x 45)	INSULATED MIN. R4 (RSI 0.7)		
1C	EXTERIOR	2'-6" x 6'-8" x 1-3/4" (760 x 2030 x 45)	INSULATED MIN. R4 (RSI 0.7)		
1D	EXTERIOR	2'-8" x 6'-8" x 1-3/4" (815 x 2030 x 45)	INS. MIN. R4 (RSI 0.7) (SEE HEX NOTE 20)		
1E	EXTERIOR	3'-0" x 8'-0" x 1-3/4" (915 x 2440 x 45)	INSULATED MIN. R4 (RSI 0.7)		
1F	EXTERIOR	2'-8" x 8'-0" x 1-3/4" (815 x 2440 x 45)	INSULATED MIN. R4 (RSI 0.7)		
2A	EXTERIOR	2'-8" x 6'-8" x 1-3/4" (815 x 2030 x 45)	20 MIN. F.R.R. DOOR/FRAME WITH APP. SELF CLOSING DEVICE.		
2	INTERIOR	2'-8" x 6'-8" x 1-3/8" (815 x 2030 x 35)	PROVIDE 8'-0" HIGH INTERIOR DOORS FOR ALL 10' CEILING CONDITIONS		
3	INTERIOR	2'-6" x 6'-8" x 1-3/8" (760 x 2030 x 35)			
3A	INTERIOR	2'-4" x 6'-8" x 1-3/8" (710 x 2030 x 35)			
4	INTERIOR	2'-0" x 6'-8" x 1-3/8" (610 x 2030 x 35)			
4A	INTERIOR	2'-2" x 6'-8" x 1-3/8" (660 x 2030 x 35)			
5	INTERIOR	1'-6" x 6'-8" x 1-3/8" (460 x 2030 x 35)			

3.4. ACRONYMS			
AFF	ABOVE FINISHED FLOOR	JST	JOIST
BBFM	BEAM BY FLOOR MANUFACTURER	LIN	LINEN CLOSET
BG	FIXED GLASS W/ BLACK BACKING	LVL	LAMINATED VENEER LUMBER
BM	BEAM	OTB/A	OPEN TO BELOW/ABOVE
BBRM	BEAM BY ROOF MANUFACTURER	PL	POINT LOAD
CRF	CONVENTIONAL ROOF FRAMING	PLT	PLATE
C/W	COMPLETE WITH	PT	PRESSURE TREATED
DJ/TJ	DOUBLE JOIST/ TRIPLE JOIST	PTD	PAINTED
DO	DO OVER	PWD	POWDER ROOM
DRP	DROPPED	RWL	RAIN WATER LEADER
ENG	ENGINEERED	SB	SOLID BEARING WOOD POST
EST	ESTIMATED	SBFA	SB FROM ABOVE
FA	FLAT ARCH	SJ	SINGLE JOIST
FD	FLOOR DRAIN	SPR	SPRUCE
FG	FIXED GLASS	STL	STEEL
FL	FLUSH	T/O	TOP OF
FLR	FLOOR	TYP	TYPICAL
GT	GIRDER TRUSS	U/S	UNDERSIDE
HB	HOSE BIB	WD	WOOD
HRV	HEAT RETURN VENTILATION UNIT	WIC	WALK IN CLOSET
HWT	HOT WATER TANK	WP	WEATHER PROOF

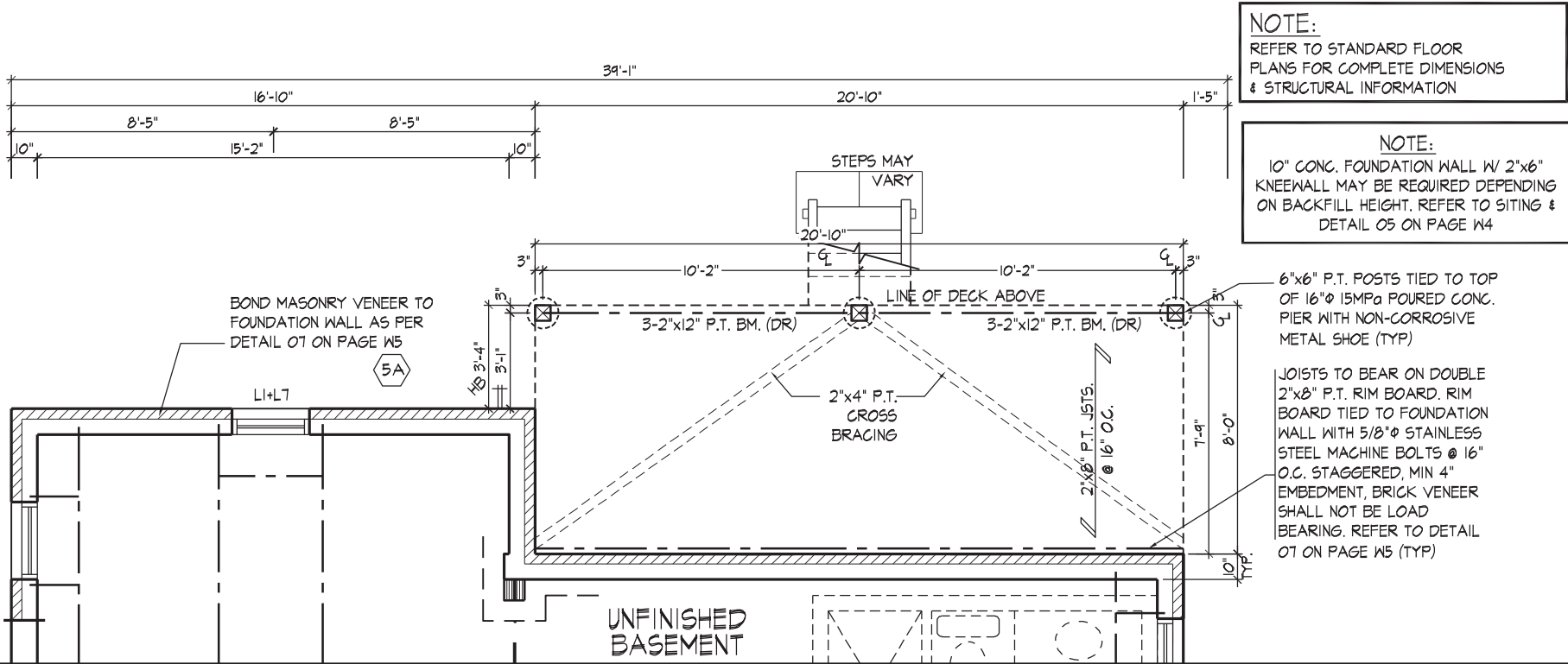
3.5. SYMBOLS			
ALL ELECTRICAL FACILITIES SHALL BE INSTALLED IN ACCORDANCE WITH SECTION 9.34.			
	CLASS 'B' VENT		EXHAUST VENT
	DUPLEX OUTLET (12" HIGH)		DUPLEX OUTLET (HEIGHT AS NOTED A.F.F.)
	HEAVY DUTY OUTLET		SWITCH (2/3/4 WAY)
	POT LIGHT		LIGHT FIXTURE (CEILING MOUNTED)
	LIGHT FIXTURE (PULL CHAIN)		LIGHT FIXTURE (WALL MOUNTED)
	CABLE T.V. JACK		TELEPHONE JACK
	CENTRAL VACUUM OUTLET		CHANDELIER (CEILING MOUNTED)

- SA **SMOKE ALARM** (9.10.19.)
- PROVIDE ONE PER FLOOR, NEAR





PART. GROUND FLOOR PLAN ELEV. 'A', 'B' & 'C' - W.O.D. COND.



PART. BASEMENT PLAN ELEV. 'A', 'B' & 'C' - W.O.D. COND.



WINDOW SUMMARY			
PER O.B.C. TABLE 9.10.15.4			
REAR ELEVATION A,B & C-WOD			
QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)
3	48"	56"	47.67
3	48"	64"	55.00
1	60"	52"	18.67
2	24"	68"	17.78
1	60"	68"	24.89
1	30"	24"	3.61
0	DOOR		0.00 0.00
SPATIAL CALCULATION			
EXPOSING BUILDING FACE AREA		945.48	S.F.
		87.84	S.M.
PORTION WALL AREA		945.48	S.F.
		87.84	S.M.
LIMITING DISTANCE		7.50 m	
MAX. % OPENINGS		50.00	%
OPENINGS ALLOWED		472.74	S.F.
OPENINGS PROVIDED		167.61	S.F.
ADDITIONAL NOTES			
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER			

PART. REAR ELEVATION 'A', 'B' & 'C' - W.O.D. CONDITION

REFER TO FRONT ELEVATION & STANDARD  
REAR FOR TYPICAL NOTES & INFO.

WINDOW SIZES FOR W.O.D. CONDITIONS:  
WINDOWS TO BE LOCATED WITHIN JOIST  
SPACE. IF GRADE PERMITS, TOP OF  
WINDOW TO BE 7'-10" A.F.F.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY:

DATE: MAY 27, 2022

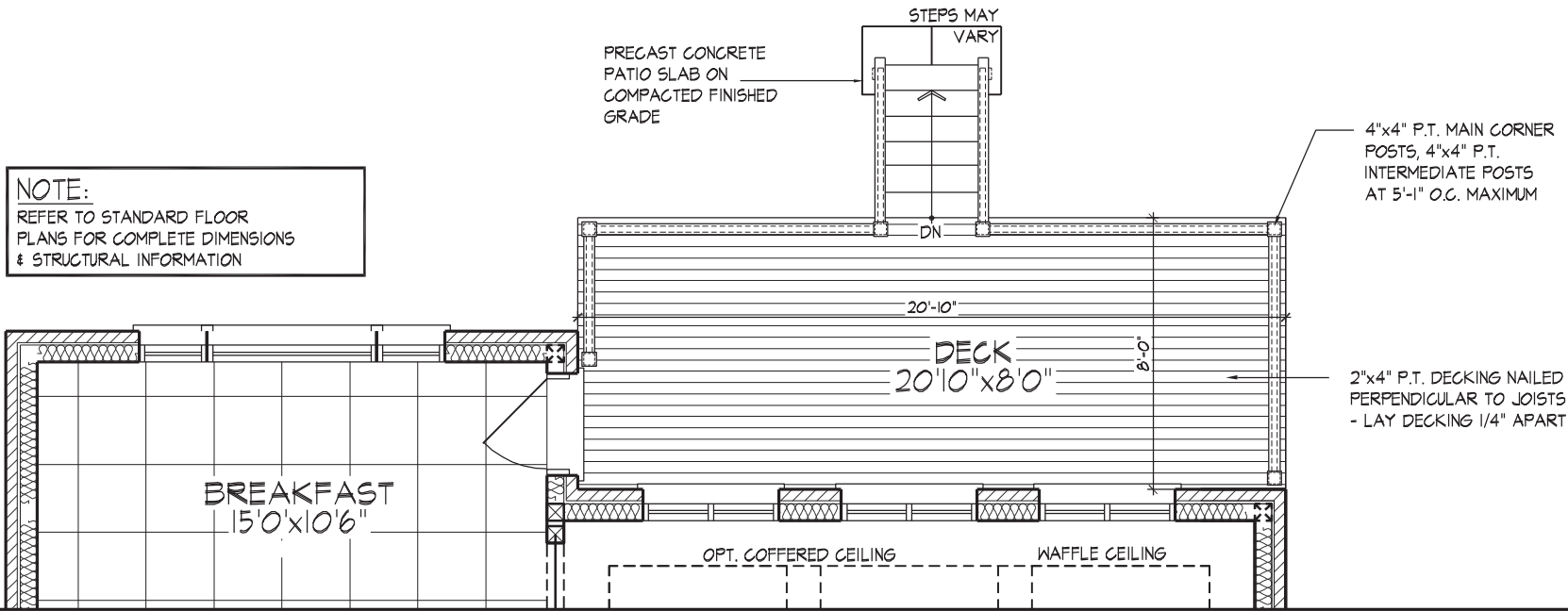
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.



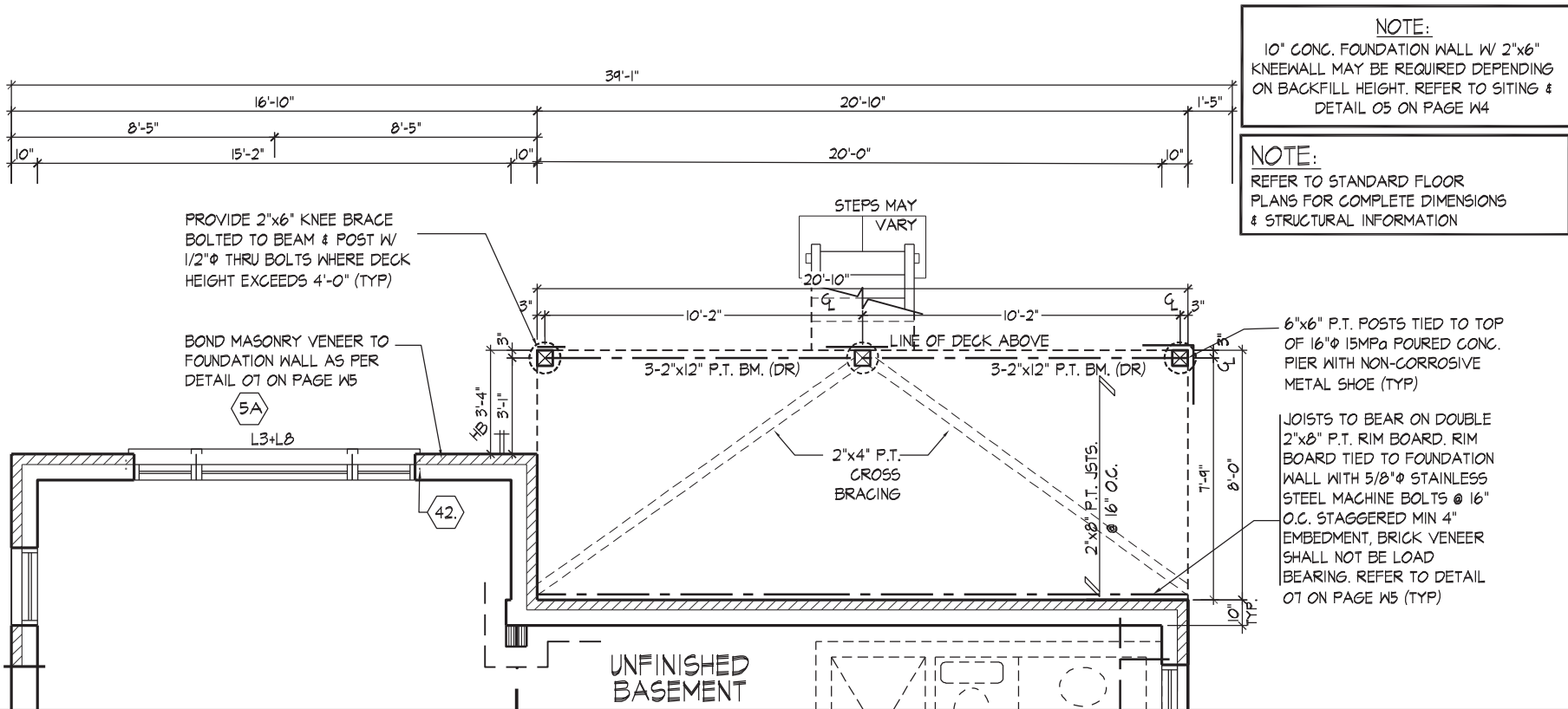
GOLDPARK HOMES - 221081  
PINE VALLEY PH. 2, VAUGHAN, ON.

UNIT 5008- THE BIRCHWOOD  
REV.2022.05.16

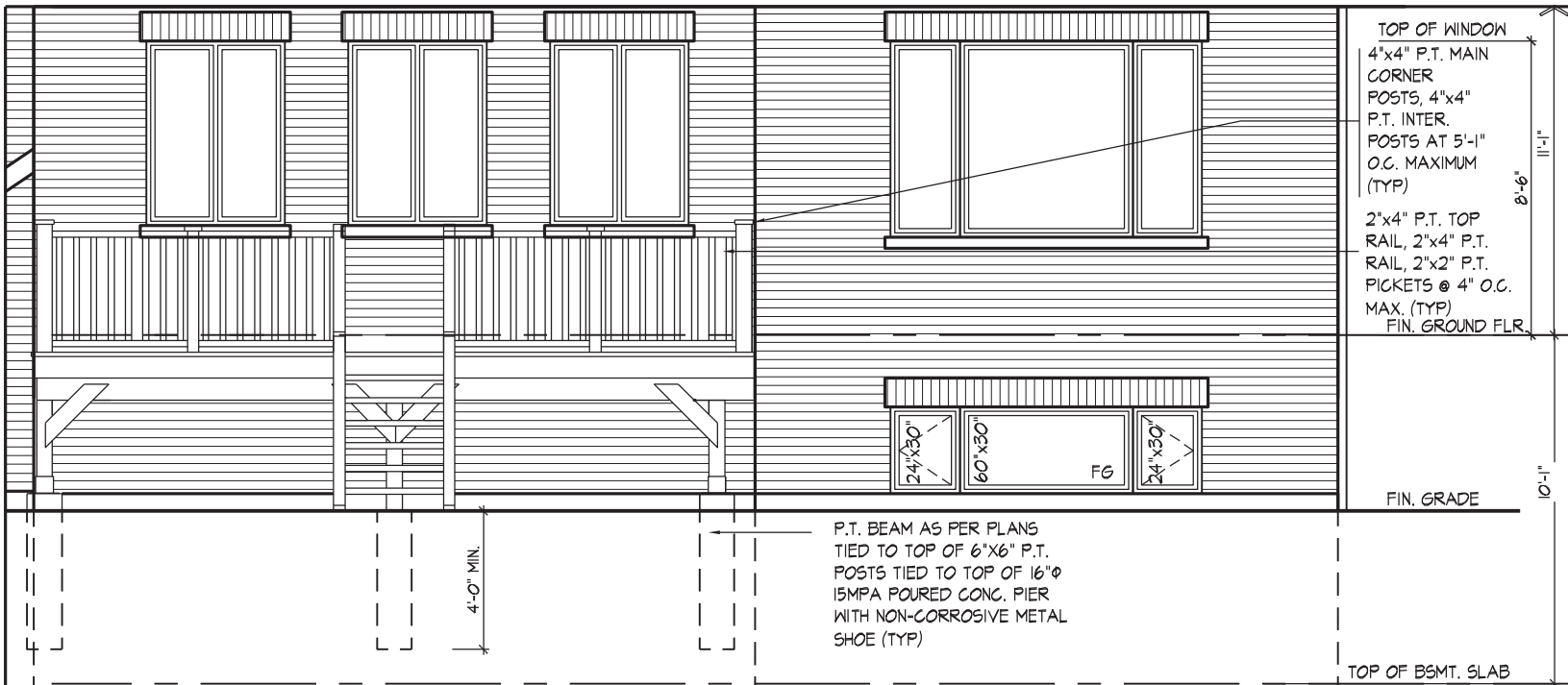
WALK OUT DECK CONDITION



PART. GROUND FLOOR PLAN ELEV. 'A', 'B' & 'C' - L.O.D. COND.



PART. BASEMENT PLAN ELEV. 'A', 'B' & 'C' - L.O.D. COND.



WINDOW SUMMARY				
PER O.B.C. TABLE 9.10.15.4				
REAR ELEVATION A,B & C- LOD				
QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	
3	48"	56"	47.67	
3	48"	64"	55.00	
1	60"	52"	18.67	
2	24"	68"	17.78	
1	60"	68"	24.89	
2	24"	30"	7.22	
1	60"	30"	10.11	
0	0"	0"	0.00	
0	0"	0"	0.00	
0	0"	0"	0.00	
0	ARCH		0.00	0.00
0	ARCH		0.00	0.00
0	ARCH		0.00	0.00
0	ARCH		0.00	0.00
SPATIAL CALCULATION				
EXPOSING BUILDING FACE AREA		998.84	S.F.	
PORTION WALL AREA		92.80	S.M.	
LIMITING DISTANCE		7.50 m		
MAX. % OPENINGS		50.50	%	
OPENINGS ALLOWED		504.41	S.F.	
OPENINGS PROVIDED		181.33	S.F.	
ADDITIONAL NOTES				
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER				

PART. REAR ELEVATION 'A', 'B' & 'C' - L.O.D. CONDITION


WINDOW SIZES FOR L.O.D. CONDITIONS:  
MATCH WIDTH OF WINDOW ABOVE AND WINDOWS TO BE 30" DEEP. WINDOWS TO BE LOCATED WITHIN JOIST SPACE. IF GRADE PERMITS, TOP OF WINDOW TO BE 8'-0" A.F.F.

REFER TO FRONT ELEVATION & STANDARD REAR FOR TYPICAL NOTES & INFO.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY:   
DATE: MAY 27, 2022

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.



GOLDPARK HOMES - 221081  
PINE VALLEY PH. 2, VAUGHAN, ON.

UNIT 5008- THE BIRCHWOOD  
REV.2022.05.16

Drawn By NEA Checked By AW Scale 3/16"=1'-0" File Number 221081WS5008.dwg Page Number W2 of W7  
8966 Woodbine Ave., Suite 200, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

FOR STRUCTURAL ONLY, EXCLUDING  
ENGINEERED ROOF TRUSS, FLOOR  
JOIST, AND FLOOR LVL BEAM DESIGN.

**NOTE:**  
REFER TO STANDARD FLOOR  
PLANS FOR COMPLETE DIMENSIONS  
& STRUCTURAL INFORMATION

4"x4" P.T. MAIN CORNER  
POSTS, 4"x4" P.T.  
INTERMEDIATE POSTS  
AT 5'-1" O.C. MAXIMUM

2"x4" P.T. DECKING NAILED  
PERPENDICULAR TO JOISTS  
- LAY DECKING 1/4" APART

20'-10"

8'-0"

**DECK**  
20'10" x 8'0"

**BREAKFAST**  
15'0" x 10'6"

OPT. COFFERED CEILING

WAFFLE CEILING

WINDOW SUMMARY				
PER O.B.C. TABLE 9.10.15.4				
REAR ELEVATION A,B & C- WOB				
QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	
3	48"	56"		47.67
3	48"	64"		55.00
1	60"	52"		18.67
2	24"	68"		17.78
1	60"	68"		24.89
2	24"	56"		14.44
1	60"	56"		20.22
3	48"	56"		47.67
0	0"	0"		0.00
0	0"	0"		0.00
0	ARCH		0.00	0.00
0	ARCH		0.00	0.00
0	ARCH		0.00	0.00
0	ARCH		0.00	0.00
SPATIAL CALCULATION				
EXPOSING BUILDING		1205.18	S.F.	
FACE AREA		111.96	S.M.	
PORTION WALL AREA		1205.18	S.F.	
		111.96	S.M.	
LIMITING DISTANCE		7.50 m		
MAX. % OPENINGS		50.50	%	
OPENINGS ALLOWED		608.62	S.F.	
OPENINGS PROVIDED		246.33	S.F.	
ADDITIONAL NOTES				
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER				

Architectural drawing of the UNFINISHED BASEMENT, showing structural details and dimensions. The drawing includes a plan view of the basement walls and floor, with various structural elements and annotations.

**Dimensions:**

- Overall width: 16'-10"
- Overall depth: 20'-10"
- Top wall segments: 8'-5", 8'-5", 3'-11", 5'-10", 5'-10", 5'-3", 1'-5"
- Bottom wall segments: 15'-0", 10'-2", 10'-2"
- Vertical dimensions: 3'-4", 3'-1", 2'-4", 1'-11", 7'-9", 8'-0"

**Structural Details and Annotations:**

- PROVIDE 2"x6" KNEE BRACE BOLTED TO BEAM & POST W/ 1/2"Ø THRU BOLTS (TYP)**
- REFER TO DETAIL 06 ON PG. W4**
- L3+L8**
- OUTLINE OF 10" FOUNDATION BELOW**
- GARDEN DOOR**
- 3.5"Ø STL. PST. W/ BELOW**
- 15B**
- 6"x12" POURED CONC. PIER WALL WITH CONC. FOOTING BELOW REFER TO DETAIL 9 ON PG. W6**
- 3-2"x12" P.T. BM. (DR)**
- 2"x4" P.T. CROSS BRACING**
- 2-2"x8" P.T. BM. (DR)**
- 2"x8" P.T. JSTIS. @ 16" O.C.**
- LINE OF DECK ABOVE**
- UNFINISHED BASEMENT**
- FOYER**
- LOW HEADROOM (-4R)**
- RELOCATE 3 PC. R/I FOR WOB CONDITION ONLY**
- 3 PC. R/I**
- (3A)**

**NOTE:**  
REFER TO DETAIL 05 ON PAGE W4 OF  
STD DETAILS FOR MAXIMUM ALLOWABLE  
GRADE HEIGHT IF KNEEWALL IS  
REQUIRED AT TRANSITION

**NOTE:**  
REFER TO STANDARD FLOOR  
PLANS FOR COMPLETE DIMENSIONS  
& STRUCTURAL INFORMATION

Architectural elevation drawing of the exterior of a building. The drawing shows a porch area on the left with a door and a window. The door is labeled "GARDEN DOOR" and "POURED CONC. DOOR SILL & PRECAST CONC. STEP (STEPS MAY VARY)". The window is labeled "36"x12" FG". The porch has a railing. The main wall features three windows, each labeled "48"x56" FG". The windows are set in a wall with horizontal siding. The drawing includes dimensions for the door, window, and porch. The door is 6'-0" high and 3'-0" wide. The window is 4'-0" high and 3'-0" wide. The porch is 4'-0" wide. The drawing also includes material specifications for the door, window, and porch.

POURED CONC. DOOR SILL & PRECAST CONC. STEP (STEPS MAY VARY)

36"x12" FG

6'-0" T.O. DOOR

4'-0" MIN.

48"x56" FG

48"x56" FG

48"x56" FG

24"x56" FG

60"x56" FG

24"x56" FG

FIN. GRADE

P.T. BEAM AS PER PLANS TIED TO TOP OF 6"x6" P.T. POSTS TIED TO TOP OF 16"Ø ISMPA POURED CONC. PIER WITH NON-CORROSIVE METAL SHOE (TYP)

TOP OF WINDOW

4"x4" P.T. MAIN CORNER POSTS, 4"x4" P.T. INTER. POSTS AT 5'-1" O.C. MAXIMUM (TYP)

2"x4" P.T. TOP RAIL, 2"x4" P.T. RAIL, 2"x2" P.T. PICKETS @ 4" O.C. MAX. (TYP)

FIN. GROUND FLR

TOP OF BSMT. SLAB

11'-1"

8'-6"

1'-10"

10'-1"

21.

121221081.GOLDWORKING SINGLE50'221081W5008-BIRCHWOOD.DWG

PART. REAR ELEVATION 'A', 'B' & 'C'  
W.O.B. CONDITION

WINDOW SIZES FOR W.O.B. CONDITIONS:  
- W.O.B. = MATCH WIDTH OF WINDOW  
ABOVE AND WINDOWS TO BE 56" DEEP.  
TOP OF WINDOW TO BE @ 7' 10" A.S.F.



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Authority is responsible in a way of examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

**JOHN G. WILLIAMS LTD., ARCHITECT**  
**ARCHITECTURAL CONTROL REVIEW**  
**AND APPROVAL**

APPROVED BY: 

DATE: MAY 27, 2022

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

## WALK OUT BASEMENT CONDITION

**GOLDPARK HOMES - 221081**  
PINE VALLEY PH. 2, VAUGHAN, ON.

**UNIT 5008- THE BIRCHWOOD**  
REV.2022.05.16

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION  
Allan Whiting 231

NAME SIGNATURE BC

REGISTRATION INFORMATION

HUNT DESIGN ASSOCIATES INC. 1968

**HUNT DESIGN ASSOCIATES INC.**  
TEL: 1-905-881-1111 • FAX: 1-905-881-1111 • [www.huntdesign.ca](http://www.huntdesign.ca)

Drawn By	Checked By	Scale	File Number	Page Number
NEA	AW	3/16"=1'-0"	221081WS5008.dwg	W3 of W7
8966 Woodbine Ave., Suite 200, Markham, ON L3R 0J7			T 905.737.5133	F 905.737.7326

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**FOR STRUCTURAL ONLY, EXCLUDING  
ENGINEERED ROOF TRUSS, FLOOR  
JOIST, AND FLOOR LVL BEAM DESIGN.**



SIZE & SPACING OF STUDS: (OBC REFERENCE - TABLE 9.23.10.1)				
MIN. STUD SIZE, in (mm)	SUPPORTED LOADS (EXTERIOR)			
	ROOF w/ OR w/o ATTIC	ROOF w/ OR w/o ATTIC & 1 FLOOR	ROOF w/ OR w/o ATTIC & 2 FLOOR	ROOF w/ OR w/o ATTIC & 3 FLOOR
	MAX. STUD SPACING in (mm) O.C.			
	MAX. UNSUPPORTED HGT. ft-in (m)			
2"x4" (38x89)	24" (610)	16" (405)	12" (305)	N/A
	9'-10" (3.0)	9'-10" (3.0)	9'-10" (3.0)	N/A
2"x6" (38x140)	-	24" (610)	16" (406)	12" (305)
	-	9'-10" (3.0)	11'-10" (3.6)	5'-11" (1.8)

- REFER TO THIS CHART FOR STUD SIZE & SPACING AS REQUIRED FOR EXTERIOR WALLS ONLY. REFER TO SITING & GRADING PLAN OF THIS UNIT FOR CONFIRMATION OF TOP OF FOUNDATION WALL AND ADDITIONAL INFORMATION.  
- IF STUD WALL HEIGHT EXCEEDS MAX. UNSUPPORTED HEIGHT, WALL NEEDS TO BE REVIEWED AND APPROVED BY ENGINEER.

BASE FLASHING CONFORMING TO TABLE 9.20.13.1 TO EXTEND 3/16" BEYOND OUTER FACE OF FOUNDATION WALL, TIED TO EXT. SHEATHING UNDER AIR/WATER BARRIER, PROVIDE 6" MINIMUM LAP JOINT.

WEEP HOLES @ 32" O.C. AT BASE FLASHING AND OVER ALL OPENINGS. PROVIDE P.V.C. BRICK VENTILATOR @ ALL WEEP HOLE LOCATIONS.

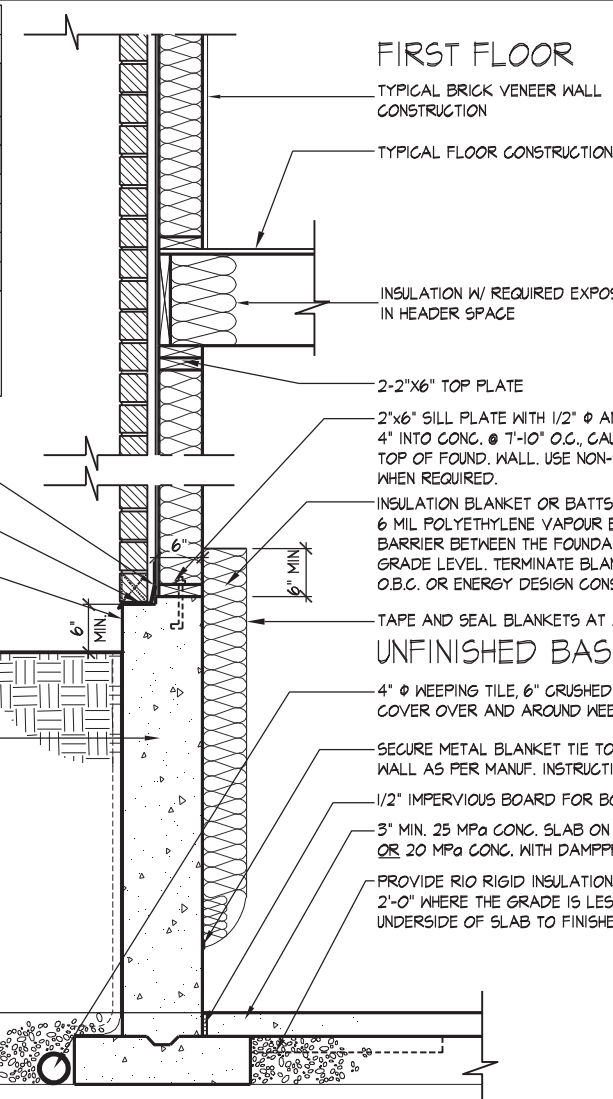
PROVIDE MASONRY PARGING FROM TOP OF FOUNDATION WALL TO 2" BELOW FINISHED GRADE

FOUNDATION WALLS SHALL NOT EXCEED 9'-10" (3.0m) IN UNSUPPORTED HEIGHT UNLESS OTHERWISE NOTED. (9.15.4.2.1). POURED CONC. FDTN. WALL WITH BITUMINOUS DAMPPROOFING AND DRAINAGE LAYER. REFER TO CHART FOR MAXIMUM UNSUPPORTED HEIGHT AND EARTH RETENTION FROM BASEMENT SLAB TO FINISHED GRADE, ON CONTINUOUS KEYED CONC. FTG., BRACE FOUNDATION WALL PRIOR TO BACKFILLING. ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OR COMPACTED ENGINEERED FILL.

UNREINFORCED SOLID CONCRETE FOUNDATION WALLS (9.15.4.2.)				
STRENGTH THICKNESS	MAX. HEIGHT FROM FIN. SLAB TO GRADE			
	UNSUPPORTED AT TOP	SUPPORTED AT TOP		
8" 15 MPa	8" 3'-11" (1.20m)	7'-0" (2.15m)	7'-0" (2.15m)	6'-10" (2.10m)
	10" 4'-1" (1.40m)	7'-6" (2.30m)	8'-6" (2.60m)	8'-2" (2.50m)
	12" 4'-11" (1.50m)	7'-6" (2.30m)	8'-6" (2.60m)	9'-3" (2.85m)
10" 20 MPa	8" 3'-11" (1.20m)	7'-6" (2.30m)	7'-6" (2.30m)	7'-2" (2.20m)
	10" 4'-1" (1.40m)	7'-6" (2.30m)	8'-6" (2.60m)	9'-3" (2.85m)
	12" 4'-11" (1.50m)	7'-6" (2.30m)	8'-6" (2.60m)	9'-3" (2.85m)

MINIMUM STRIP FOOTING SIZES (9.15.3.)			
NUMBER FLOORS SUPPORTED	SUPPORTING INT. LOAD BEARING MASONRY WALL	SUPPORTING EXTERIOR	SUPPORTING PARTY WALL
1	16" W x 6" D	16" W x 6" D	16" W x 6" D
2	24" W x 8" D	20" W x 6" D	24" W x 8" D
3	36" W x 14" D	26" W x 9" D	36" W x 14" D

NOTE: FOOTING SIZE SUBJECT TO CERTIFICATION BY A SOIL CONSULTANT



NOTE: POURED CONC. FOOTING ON NATURAL UNDISTURBED SOIL OF 125kPa (SL5) OR COMPACTED ENGINEERED FILL WITH MIN. BEARING CAPACITY OF 125kPa (SL5). FOOTING SIZE SHOWN FOR 16'-0" (4.9m) MAXIMUM JOIST SPAN ONLY. JOIST SPAN EXCEEDING 16'-0" (4.9m) SHALL BE ENGINEERED. IF SOIL BEARING DOES NOT MEET MINIMUM CAPACITY, ENGINEERED FOOTINGS ARE REQUIRED. ACTUAL SOIL BEARING CAPACITY TO BE VERIFIED WITH SOIL ENGINEERING REPORT.

NOTE: WHERE REDUCED GRADE CONDITION REQUIRES THE USE OF A FULL HEIGHT BONDED WALL, REBAR SHALL BE PROVIDED AS PER DETAIL 07 ON PG. W5

REFER TO SB-12 ENERGY EFFICIENCY DESIGN MATRIX ON THE TITLE PAGE FOR ALL VALUES AS REQUIRED PER 3.1.1., 3.1.2, 3.1.3. OF THE OBC.

05

## MASONRY VENEER, 2"x6" STUDS, 10" FOUNDATION WALL Laterally UNSUPPORTED

1/2" = 1'-0"

SIZE & SPACING OF STUDS: (OBC REFERENCE - TABLE 9.23.10.1)				
MIN. STUD SIZE, in (mm)	SUPPORTED LOADS (EXTERIOR)			
	ROOF w/ OR w/o ATTIC	ROOF w/ OR w/o ATTIC & 1 FLOOR	ROOF w/ OR w/o ATTIC & 2 FLOOR	ROOF w/ OR w/o ATTIC & 3 FLOOR
	MAX. STUD SPACING in (mm) O.C.			
	MAX. UNSUPPORTED HGT. ft-in (m)			
2"x4" (38x89)	24" (610)	16" (405)	12" (305)	N/A
	9'-10" (3.0)	9'-10" (3.0)	9'-10" (3.0)	N/A
2"x6" (38x140)	-	24" (610)	16" (406)	12" (305)
	-	9'-10" (3.0)	11'-10" (3.6)	5'-11" (1.8)

- REFER TO THIS CHART FOR STUD SIZE & SPACING AS REQUIRED FOR EXTERIOR WALLS ONLY. REFER TO SITING & GRADING PLAN OF THIS UNIT FOR CONFIRMATION OF TOP OF FOUNDATION WALL AND ADDITIONAL INFORMATION.  
- IF STUD WALL HEIGHT EXCEEDS MAX. UNSUPPORTED HEIGHT, WALL NEEDS TO BE REVIEWED AND APPROVED BY ENGINEER.

BASE FLASHING CONFORMING TO TABLE 9.20.13.1 TO EXTEND 3/16" BEYOND OUTER FACE OF FOUNDATION WALL, TIED TO EXT. SHEATHING UNDER AIR/WATER BARRIER, PROVIDE 6" MINIMUM LAP JOINT.

WEEP HOLES @ 32" O.C. AT BASE FLASHING AND OVER ALL OPENINGS. PROVIDE P.V.C. BRICK VENTILATOR @ ALL WEEP HOLE LOCATIONS.

PROVIDE MASONRY PARGING FROM TOP OF FOUNDATION WALL TO 2" BELOW FINISHED GRADE

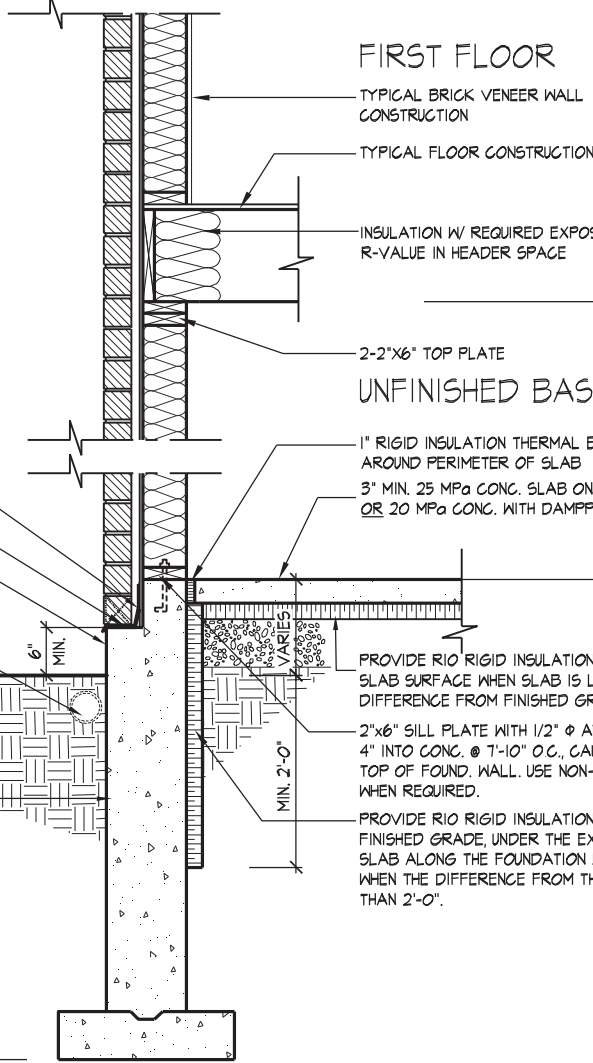
OPTIONAL WEEPING TILE AT REAR WALL-SEE MUNICIPAL STANDARDS

FOUNDATION WALLS SHALL NOT EXCEED 9'-10" (3.0m) IN UNSUPPORTED HEIGHT UNLESS OTHERWISE NOTED. (9.15.4.2.1). POURED CONC. FDTN. WALL WITH BITUMINOUS DAMPPROOFING AND DRAINAGE LAYER. REFER TO CHART FOR MAXIMUM UNSUPPORTED HEIGHT AND EARTH RETENTION FROM BASEMENT SLAB TO FINISHED GRADE, ON CONTINUOUS KEYED CONC. FTG., BRACE FOUNDATION WALL PRIOR TO BACKFILLING. ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OR COMPACTED ENGINEERED FILL.

UNREINFORCED SOLID CONCRETE FOUNDATION WALLS (9.15.4.2.)				
STRENGTH THICKNESS	MAX. HEIGHT FROM FIN. SLAB TO GRADE			
	UNSUPPORTED AT TOP	SUPPORTED AT TOP		
8" 15 MPa	8" 3'-11" (1.20m)	7'-0" (2.15m)	7'-0" (2.15m)	6'-10" (2.10m)
	10" 4'-1" (1.40m)	7'-6" (2.30m)	8'-6" (2.60m)	8'-2" (2.50m)
	12" 4'-11" (1.50m)	7'-6" (2.30m)	8'-6" (2.60m)	9'-3" (2.85m)
10" 20 MPa	8" 3'-11" (1.20m)	7'-6" (2.30m)	7'-6" (2.30m)	7'-2" (2.20m)
	10" 4'-1" (1.40m)	7'-6" (2.30m)	8'-6" (2.60m)	9'-3" (2.85m)
	12" 4'-11" (1.50m)	7'-6" (2.30m)	8'-6" (2.60m)	9'-3" (2.85m)

MINIMUM STRIP FOOTING SIZES (9.15.3.)			
NUMBER FLOORS SUPPORTED	SUPPORTING INT. LOAD BEARING MASONRY WALL	SUPPORTING EXTERIOR	SUPPORTING PARTY WALL
1	16" W x 6" D	16" W x 6" D	16" W x 6" D
2	24" W x 8" D	20" W x 6" D	24" W x 8" D
3	36" W x 14" D	26" W x 9" D	36" W x 14" D

NOTE: FOOTING SIZE SUBJECT TO CERTIFICATION BY A SOIL CONSULTANT



NOTE: POURED CONC. FOOTING ON NATURAL UNDISTURBED SOIL OF 125kPa (SL5) OR COMPACTED ENGINEERED FILL WITH MIN. BEARING CAPACITY OF 125kPa (SL5). FOOTING SIZE SHOWN FOR 16'-0" (4.9m) MAXIMUM JOIST SPAN ONLY. JOIST SPAN EXCEEDING 16'-0" (4.9m) SHALL BE ENGINEERED. IF SOIL BEARING DOES NOT MEET MINIMUM CAPACITY, ENGINEERED FOOTINGS ARE REQUIRED. ACTUAL SOIL BEARING CAPACITY TO BE VERIFIED WITH SOIL ENGINEERING REPORT.

NOTE: WHERE REDUCED GRADE CONDITION REQUIRES THE USE OF A FULL HEIGHT BONDED WALL, REBAR SHALL BE PROVIDED AS PER DETAIL 07 ON PG. W5

REFER TO SB-12 ENERGY EFFICIENCY DESIGN MATRIX ON THE TITLE PAGE FOR ALL VALUES AS REQUIRED PER 3.1.1., 3.1.2, 3.1.3. OF THE OBC.

06

## MASONRY VENEER, 2"x6" STUDS, SLAB ON GRADE / WALK OUT BASEMENT CONDITION

1/2" = 1'-0"



GOLDPARK HOMES - 221081  
PINE VALLEY PH. 2, VAUGHAN, ON.

UNIT 5008- THE BIRCHWOOD  
REV.2022.05.16

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND MEETS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.  
QUALIFICATION INFORMATION  
Alan Whiting  
NAME  
REGISTRATION INFORMATION  
HUNT DESIGN ASSOCIATES INC.  
23177  
BCIN  
201184042  
May 20, 2022  
PROVINCE OF ONTARIO

Drawn By HDAL Checked By HDAL Scale 3/16"=1'-0" File Number 221081WS5008.dwg Page Number W4 of W7  
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FOR STRUCTURAL ONLY, EXCLUDING  
ENGINEERED ROOF TRUSS, FLOOR  
JOIST, AND FLOOR LVL BEAM DESIGN.

2"x4" P.T. TOP RAIL  
2"x4" P.T. RAIL  
2"x2" P.T. PICKETS @ 4" O.C. MAX.  
4"x4" P.T. MAIN CORNER POSTS  
4"x4" P.T. INTERMEDIATE POSTS AT  
5'-1" O.C. MAXIMUM

NOTE: ALL METAL FASTENERS  
SHALL BE NON-CORROSIVE.

2"x4" P.T. BOTTOM RAIL

2"x4" P.T. DECKING LAID  
PERPENDICULAR TO JOISTS 1/4"  
APART

2"x8" P.T. RIM BOARD

2"x8" P.T. BLOCKING AT POSTS  
CONNECTION

2"x8" P.T. JOISTS @ 16" O.C.  
P.T. BEAM AS PER PLANS TIED TO TOP  
OF 6"x6" P.T. POSTS TIED TO TOP OF  
14"Ø 15MPa POURED CONC. PIER WITH  
NON-CORROSIVE METAL SHOE

POSTS TIED TO METAL SHOE  
ANCHOR WITH 4-3/8"Ø MACHINE BOLTS

1/2"Ø NON-CORROSIVE ANCHOR 4"  
MINIMUM INTO CONCRETE

TYPICAL FOUNDATION WALL  
CONSTRUCTION

TYPICAL BRICK VENEER WALL CONSTRUCTION

## FIRST FLOOR

MINIMUM 2"x4" SILL PLATE (2"x6" AS REQ.), TIED TO TOP OF POURED  
CONC. FND. WALL WITH 8" LONGx1/2"Ø ANCHOR BOLTS C/W NUT AND  
WASHER WITH 2 1/2" HOOK. ANCHOR BOLTS TO BE SPACED NOT  
MORE THAN 7'-10" O.C. AND EMBEDDED NOT LESS THAN 4" INTO  
CONC. PROVIDE SILL GASKET BETWEEN PLATE AND FOUNDATION  
WALL. PROVIDE NON-SHRINK GROUT TO LEVEL PLATE.

TYPICAL FLOOR CONSTRUCTION

BASE FLASHING CONFORMING TO TABLE 9.20.13.1 TO EXTEND 3/16"  
BEYOND OUTER FACE OF FOUNDATION WALL, TIED TO EXT. SHEATHING  
UNDER AIR/WATER BARRIER, PROVIDE 6" MINIMUM LAP JOINT.

JOISTS TO BEAR ON DOUBLE 2"x8" P.T. RIM BOARD.  
RIM BOARD TIED TO FOUNDATION WALL WITH 5/8"Ø STAINLESS  
STEEL MACHINE BOLTS @ 16" O.C. STAGGERED, MIN 4"  
EMBEDMENT, BRICK VENEER SHALL NOT BE LOAD BEARING

TIE BRICK VENEER TO FOUNDATION WALL WITH CORROSION  
RESISTANT METAL TIES @ 8" VERTICAL AND 2'-11" HORIZONTAL  
- FILL VOID WITH MORTAR BETWEEN WALL AND BRICK  
VENEER-SEE OBC 9.20.9.4(3)

TAPE AND SEAL BLANKETS AT ALL JOINTS

INSULATION BLANKET OR BATTS W/ REQUIRED BASEMENT WALL R-VALUE,  
6 MIL POLYETHYLENE VAPOUR BARRIER DAMPPROOF WITH AIR/WATER  
BARRIER BETWEEN THE FOUNDATION WALL AND INSULATION UP TO  
GRADE LEVEL. TERMINATE BLANKETS ABOVE SLAB AS REQUIRED BY  
O.B.C. OR ENERGY DESIGN CONSULTANT

SECURE METAL BLANKET TIE TO FOUNDATION  
WALL AS PER MANUF. INSTRUCTIONS

## UNFINISHED BASEMENT

WHERE HEIGHT OF REDUCTION IN WALL THICKNESS  
EXCEEDS 2'-0", REINFORCE FOUNDATION WALL W/  
15M BARS @ 300mm EACH WAY.

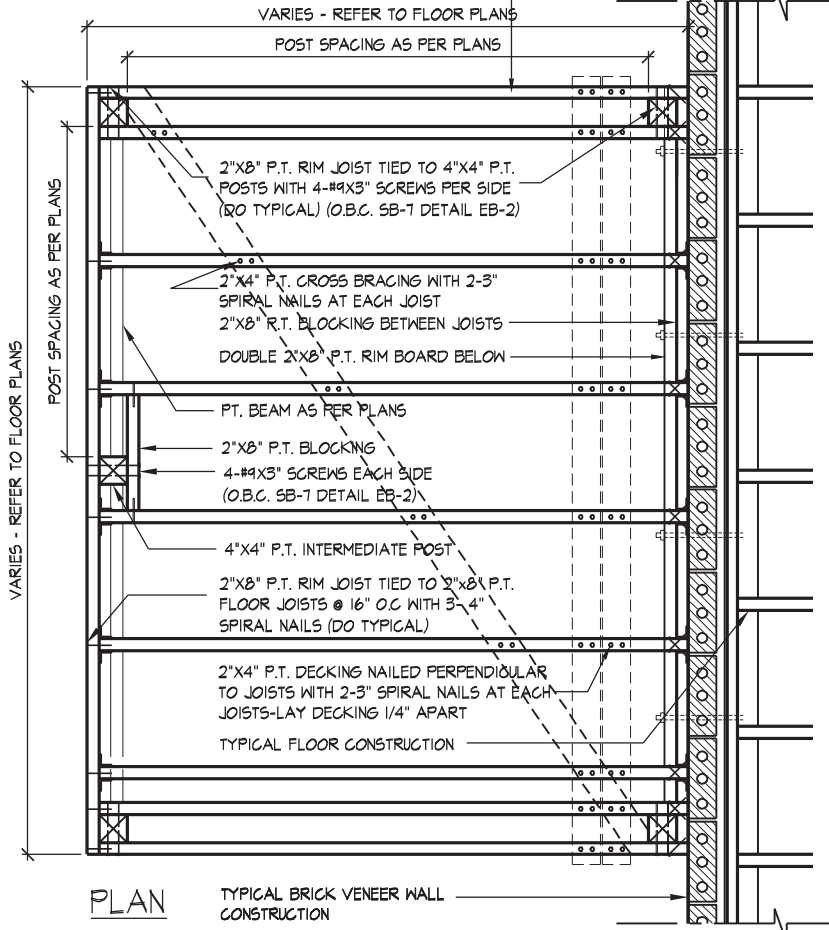
07

## MASONRY VENEER, TYPICAL WALK/LOOK OUT WOOD DECK, SOLID MASONRY

1/2" = 1'-0"

JOISTS TO BEAR ON DOUBLE 2"x8" P.T. RIM BOARD.  
RIM BOARD TIED TO FOUNDATION WALL WITH 5/8"Ø STAINLESS  
STEEL MACHINE BOLTS @ 16" O.C. STAGGERED, MIN 4"  
EMBEDMENT, BRICK VENEER SHALL NOT BE LOAD BEARING

NOTE: ALL METAL FASTENERS  
SHALL BE NON-CORROSIVE.



### GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE O.B.C. AND SB-7 OF THE SUPPLEMENTARY STANDARD
2. LUMBER GRADES SHALL NOT BE LESS THAN NO. 2 SPF. LUMBER SHALL BE FREE OF LOOSE KNOTS AND ALL CUT ENDS OF PRESERVATIVE TREATED LUMBER SHALL BE TREATED TO PREVENT DECAY SPECIES FOR POSTS, PICKETS AND RAILS SHALL BE DOUGLAS FIR-LARCH, HEM-FIR, SPRUCE-PINE-FIR
3. ALL FASTENERS, SCREWS AND NAILS SHALL BE RESISTANT TO CORROSION - NAILS TO BE COMMON SPIRAL

08

## TYP. DECK FRAMING ON WOOD LEDGER, BRICK VENEER

1/2" = 1'-0"



GOLDPARK HOMES - 221081  
PINE VALLEY PH. 2, VAUGHAN, ON.

UNIT 5008- THE BIRCHWOOD  
REV.2022.05.16

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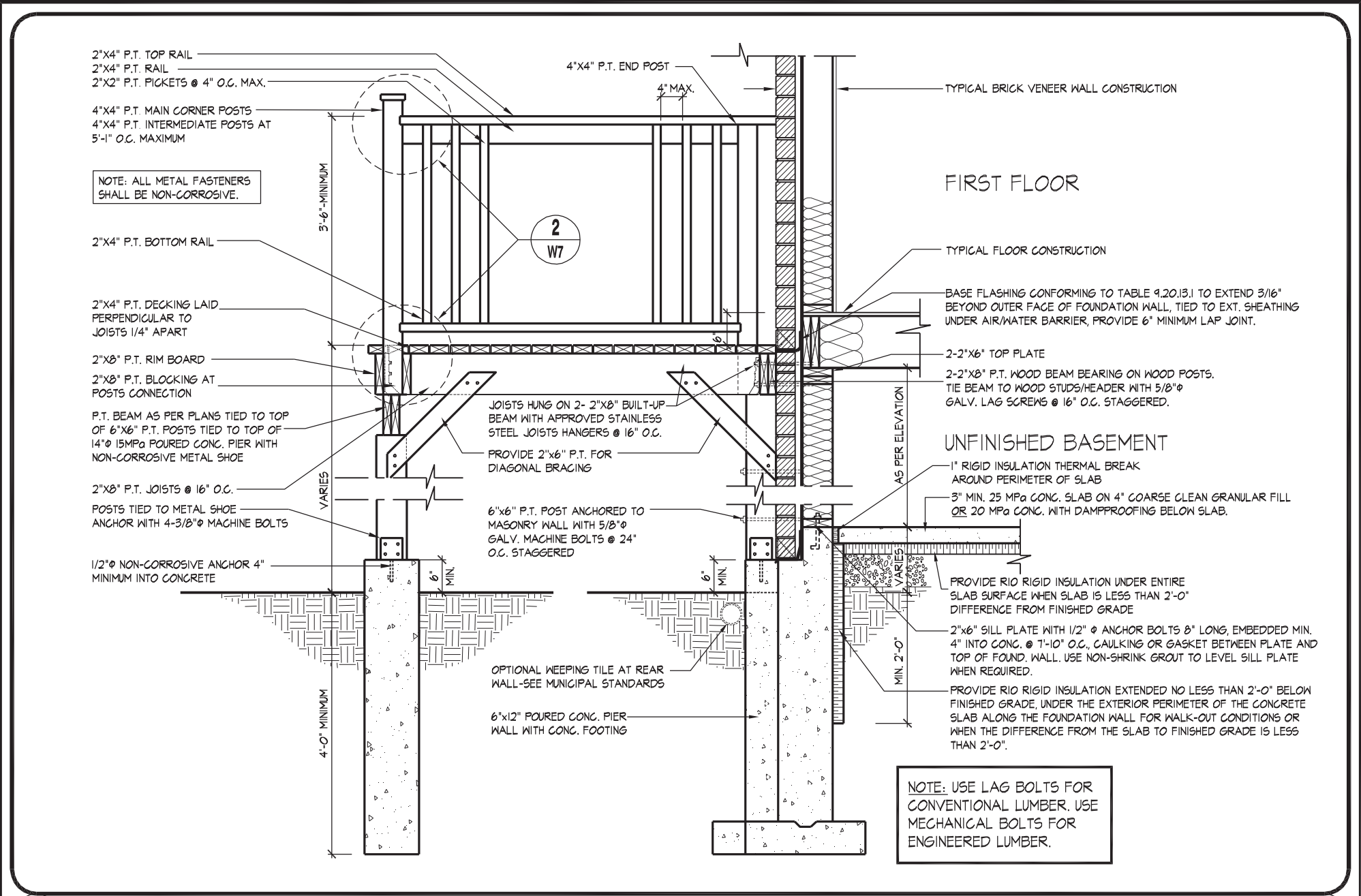
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JOIST, AND FLOOR LVL BEAM DESIGN.

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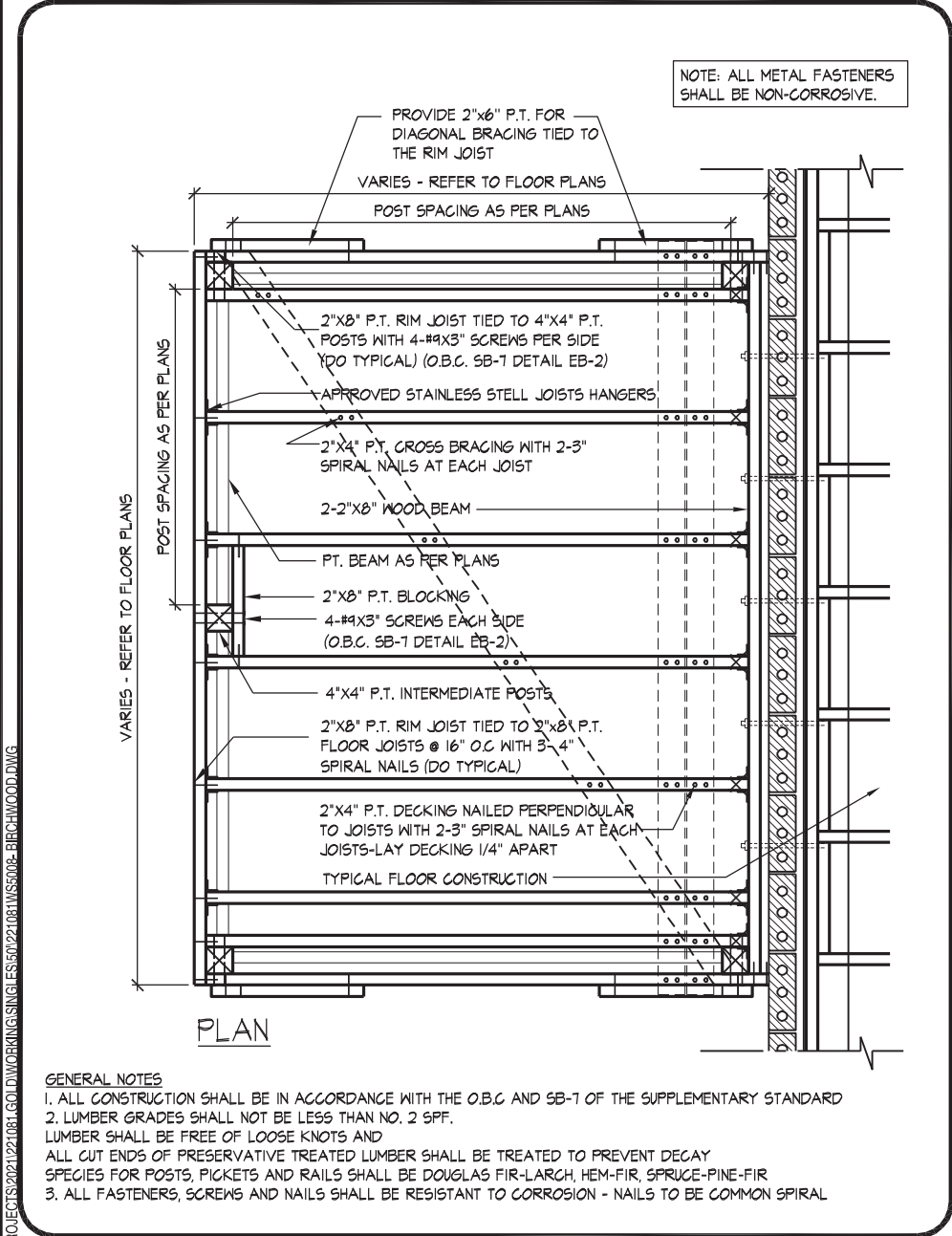
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QUALIFICATION INFORMATION  
Alan Whiting  
NAME: Alan Whiting, REGISTRATION INFORMATION: 23177, BCIN: 20995, HUNT DESIGN ASSOCIATES INC.

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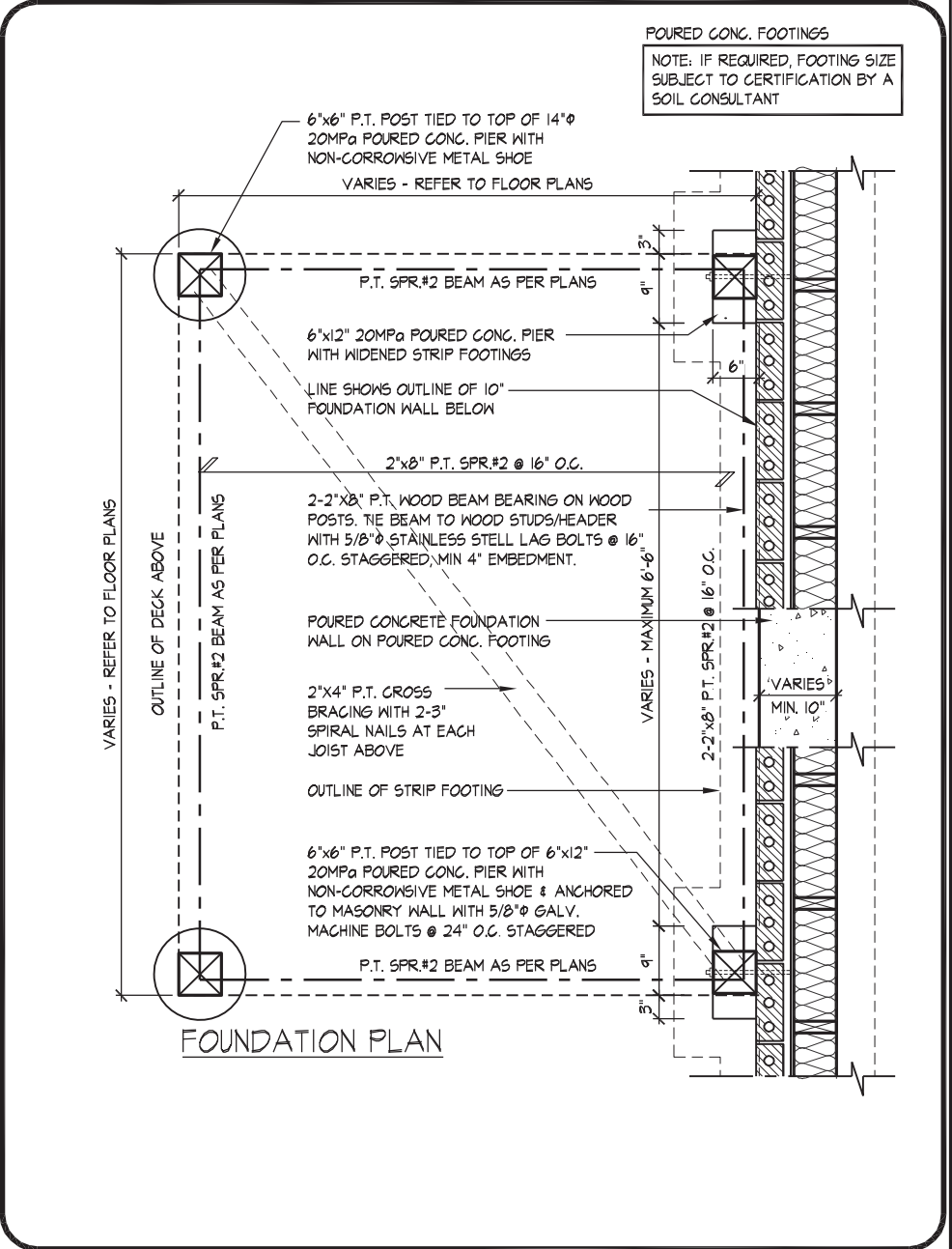




09 MASONRY VENEER, TYPICAL WOOD DECK FOR WALK OUT BASEMENT  
1/2" = 1'-0"



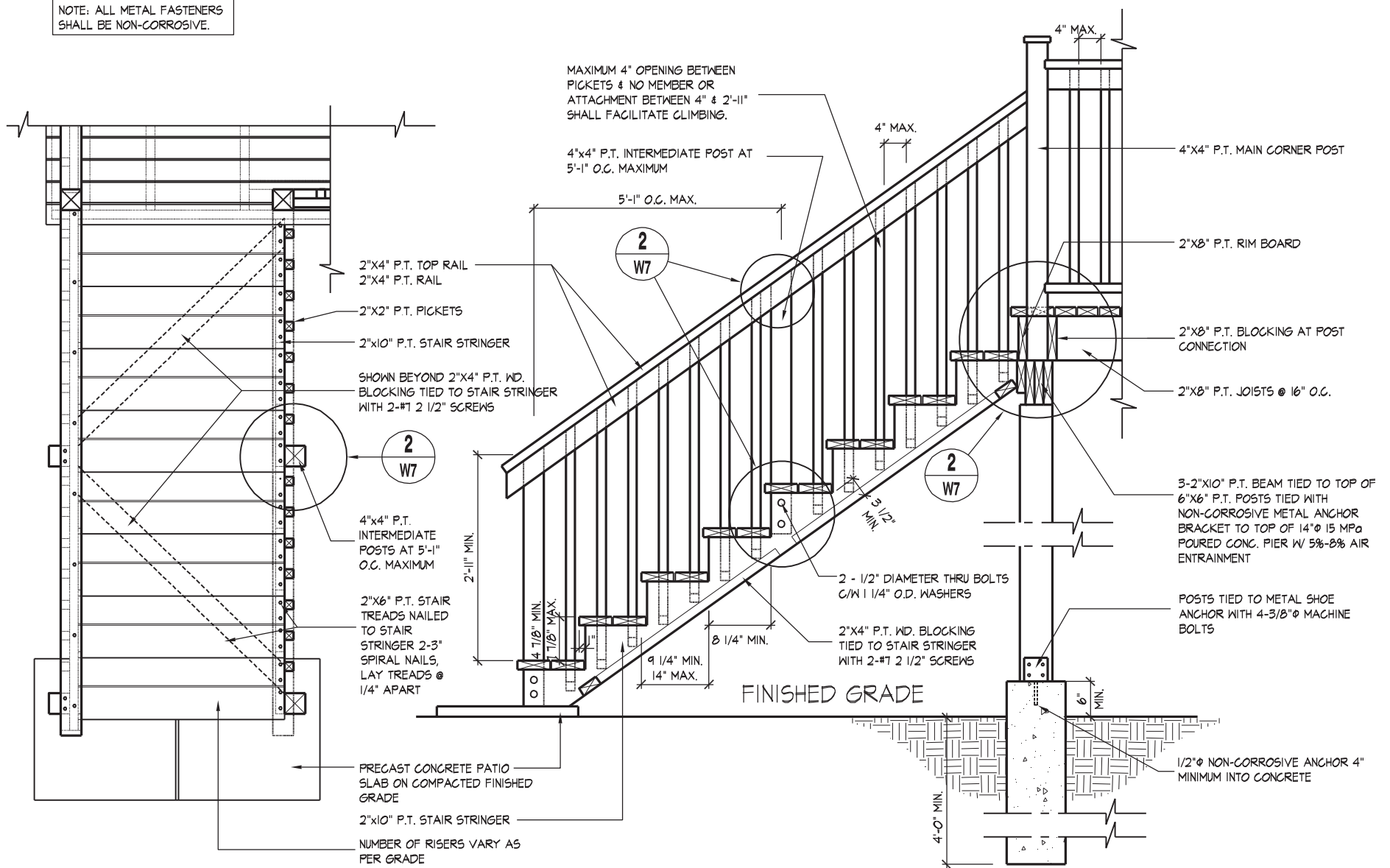
10 MASONRY VENEER, TYPICAL DECK FRAMING PLAN  
1/2" = 1'-0"



11 MASONRY VENEER, TYPICAL DECK FOUNDATION PLAN  
1/2" = 1'-0"



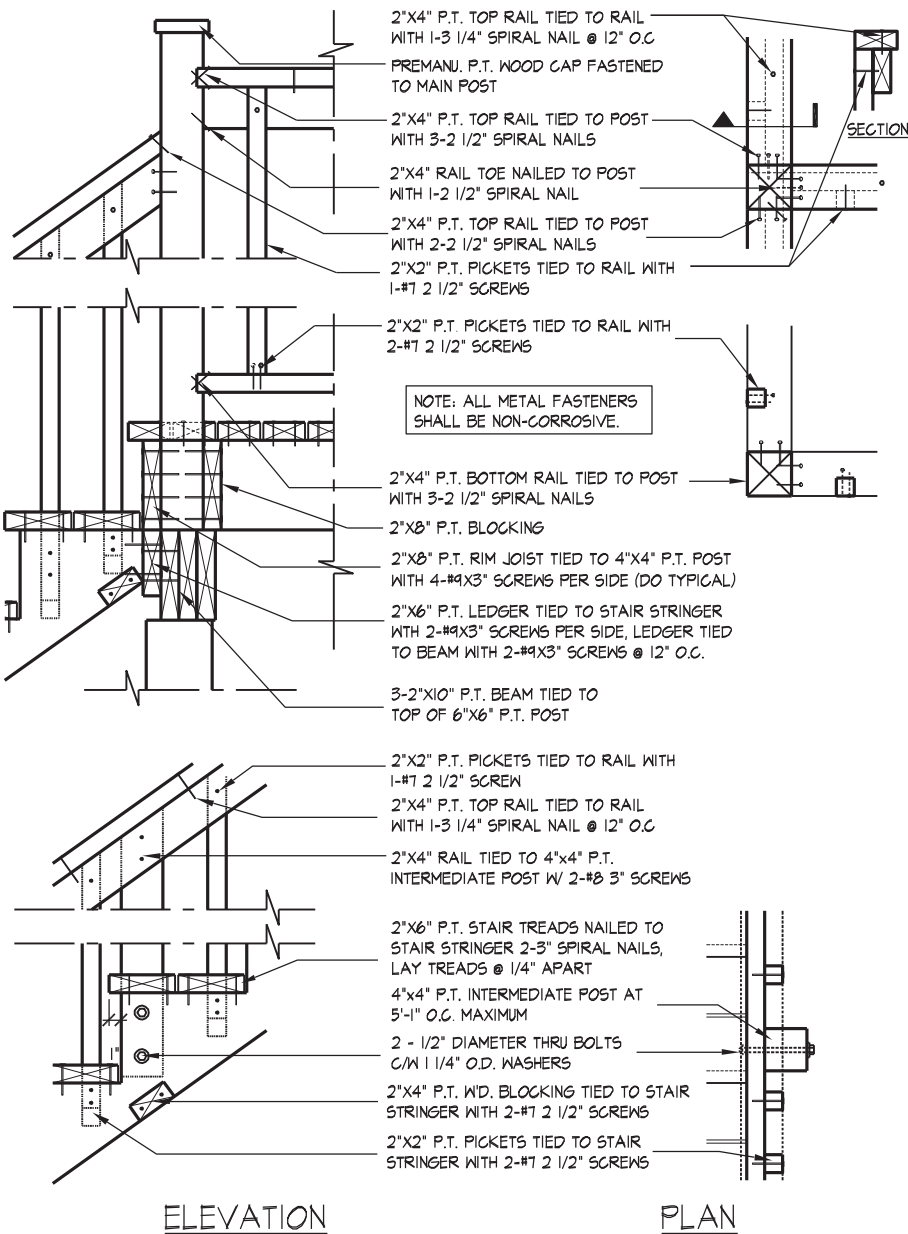
NOTE: ALL METAL FASTENERS SHALL BE NON-CORROSIVE.



01

## TYPICAL WOOD DECK STAIR

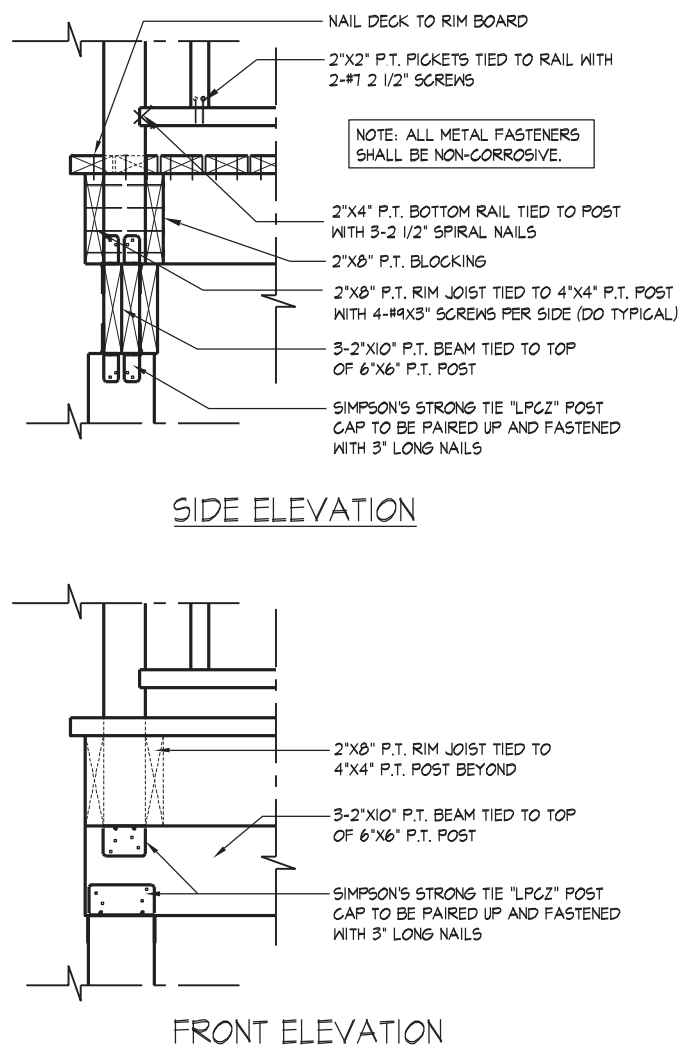
1/2" = 1'-0"



02

## TYP. MAIN AND INTERMEDIATE POST ANCHORAGE

3/4" = 1'-0"



03

## TYP. POST & BEAM CONNECTION

3/4" = 1'-0"



GOLDPARK HOMES - 221081  
PINE VALLEY PH. 2, VAUGHAN, ON.

UNIT 5008- THE BIRCHWOOD  
REV.2022.05.16

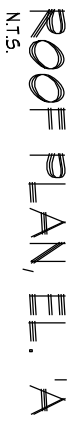
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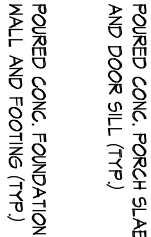
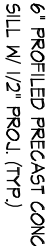
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QUALIFICATION INFORMATION  
Allan Whiting  
NAME  
REGISTRATION INFORMATION  
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23177  
BCIN  
19695

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38'-4" TOP OF ROOF  
30'-2" MEAN OF ROOF



# FRONT ELEVATION 'A'

ROOF OVERHANGS ARE TO  
BE 15" UNLESS NOTED  
OTHERWISE

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements, including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

## FRONT ELEVATION 'A'

**UNIT 5008- THE BIRCHWOOD**  
REV.2022.05.16

**GOLDPARK HOMES - 221081**  
PINE VALLEY PH. 2, VAUGHAN, ON.

Drawn By	Checked By	Scale	
JK	AW	3/16"=1'-0"	221
8966 Woodbine Ave., Suite 200, Markham, ON L3R 0J7			

**HUNT**   
DESIGN ASSOCIATES INC.

[www.huntdesign.ca](http://www.huntdesign.ca)

NAME  
REGISTRATION INFORMATION  
HUNT DESIGN ASSOCIATES INC

HUNT DESIGN ASSOCIATES INC. 19695

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