



	EL. 'A'		EL. 'A'		EL. 'B'		EL. 'B'		EL. 'B' CORN.		EL. 'B' CORN.		EL. 'C'		EL. 'C'	
	STD. PLAN & OPT.	OPT. ELEVATOR	STD. PLAN & OPT.	OPT. ELEVATOR	STD. PLAN & OPT.	OPT. ELEVATOR	STD. PLAN	OPT. ELEVATOR	STD. PLAN	OPT. ELEVATOR	STD. PLAN & OPT.	OPT. ELEVATOR	STD. PLAN & OPT.	OPT. ELEVATOR	STD. PLAN & OPT.	OPT. ELEVATOR
	5 BED	5 BED	5 BED	5 BED	5 BED	5 BED					5 BED		5 BED		5 BED	
GROUND FLOOR AREA	2033 sq. ft.	2066 sq. ft.	2020 sq. ft.	2053 sq. ft.	2069 sq. ft.	2102 sq. ft.					2080 sq. ft.		2053 sq. ft.		2053 sq. ft.	
	(188.87 sq. m.)	(191.94 sq. m.)	(187.66 sq. m.)	(190.73 sq. m.)	(192.22 sq. m.)	(195.28 sq. m.)					(187.66 sq. m.)		(190.73 sq. m.)		(190.73 sq. m.)	
SECOND FLOOR AREA	2351 sq. ft.	2351 sq. ft.	2360 sq. ft.	2360 sq. ft.	2409 sq. ft.	2409 sq. ft.					2445 sq. ft.		2445 sq. ft.		2445 sq. ft.	
	(218.42 sq. m.)	(218.42 sq. m.)	(219.25 sq. m.)	(219.25 sq. m.)	(223.80 sq. m.)	(223.80 sq. m.)					(227.15 sq. m.)		(227.15 sq. m.)		(227.15 sq. m.)	
SUBTOTAL	4384 sq. ft.	4417 sq. ft.	4380 sq. ft.	4413 sq. ft.	4478 sq. ft.	4511 sq. ft.					4465 sq. ft.		4498 sq. ft.		4498 sq. ft.	
	(407.29 sq. m.)	(410.35 sq. m.)	(406.92 sq. m.)	(409.98 sq. m.)	(416.02 sq. m.)	(419.09 sq. m.)					(414.81 sq. m.)		(417.88 sq. m.)		(417.88 sq. m.)	
DEDUCT ALL OPEN AREAS	8 sq. ft.	8 sq. ft.	8 sq. ft.	8 sq. ft.	5 sq. ft.	5 sq. ft.					8 sq. ft.		8 sq. ft.		8 sq. ft.	
	(0.74 sq. m.)	(0.74 sq. m.)	(0.74 sq. m.)	(0.74 sq. m.)	(0.46 sq. m.)	(0.46 sq. m.)					(0.74 sq. m.)		(0.74 sq. m.)		(0.74 sq. m.)	
TOTAL NET AREA	4376 sq. ft.	4409 sq. ft.	4372 sq. ft.	4405 sq. ft.	4473 sq. ft.	4506 sq. ft.					4457 sq. ft.		4490 sq. ft.		4490 sq. ft.	
	(406.54 sq. m.)	(409.61 sq. m.)	(406.17 sq. m.)	(409.24 sq. m.)	(415.56 sq. m.)	(418.62 sq. m.)					(414.07 sq. m.)		(417.13 sq. m.)		(417.13 sq. m.)	
FINISHED BASEMENT AREA	94 sq. ft.	94 sq. ft.	94 sq. ft.	94 sq. ft.	94 sq. ft.	94 sq. ft.					94 sq. ft.		94 sq. ft.		94 sq. ft.	
	(8.73 sq. m.)	(8.73 sq. m.)	(8.73 sq. m.)	(8.73 sq. m.)	(8.73 sq. m.)	(8.73 sq. m.)					(8.73 sq. m.)		(8.73 sq. m.)		(8.73 sq. m.)	
COVERAGE	2657 sq. ft.		2643 sq. ft.		2692 sq. ft.						2643 sq. ft.		2643 sq. ft.		2643 sq. ft.	
W/OUT PORCH	(246.84 sq. m.)		(245.54 sq. m.)		(250.09 sq. m.)						(245.54 sq. m.)		(245.54 sq. m.)		(245.54 sq. m.)	
COVERAGE	2714 sq. ft.		2701 sq. ft.		2750 sq. ft.						2702 sq. ft.		2702 sq. ft.		2702 sq. ft.	
W/PORCH	(252.14 sq. m.)		(250.93 sq. m.)		(255.48 sq. m.)						(251.02 sq. m.)		(251.02 sq. m.)		(251.02 sq. m.)	
COVERAGE	3083 sq. ft.		3070 sq. ft.		3119 sq. ft.						3070 sq. ft.		3070 sq. ft.		3070 sq. ft.	
W/OPT. LOGGIA	(286.42 sq. m.)		(285.21 sq. m.)		(289.76 sq. m.)						(285.21 sq. m.)		(285.21 sq. m.)		(285.21 sq. m.)	

<u>WINDOW / WALL AREA CALCULATIONS</u>	EL. 'A'	EL. 'A'	EL. 'B'	EL. 'B'	EL. 'B'	EL. 'C'	EL. 'C'
	STD. PLAN	OPT. 5 BED.	STD. PLAN	OPT. 5 BED.	CORNER	STD. PLAN	OPT. 5 BED.
GROSS WALL AREA	5144.47 sq. ft. (477.94 sq. m.)	5144.47 sq. ft. (477.94 sq. m.)	5193.23 sq. ft. (482.47 sq. m.)	5193.23 sq. ft. (482.47 sq. m.)	5408.75 sq. ft. (502.49 sq. m.)	5129.41 sq. ft. (476.54 sq. m.)	5129.41 sq. ft. (476.54 sq. m.)
GROSS WINDOW AREA (INCL. GLASS DOORS & SKYLIGHTS)	530.44 sq. ft. (49.28 sq. m.)	542.44 sq. ft. (50.39 sq. m.)	606.53 sq. ft. (56.35 sq. m.)	618.53 sq. ft. (57.46 sq. m.)	737.25 sq. ft. (68.49 sq. m.)	612.78 sq. ft. (56.93 sq. m.)	624.78 sq. ft. (58.04 sq. m.)
TOTAL WINDOW %	10.31 %	10.54 %	11.68 %	11.91 %	13.63 %	11.95 %	12.18 %
	EL. 'A' - WOD STD. PLAN 5193.36 sq. ft. (482.48 sq. m.)	EL. 'A' - WOD OPT. 5 BED. 5193.36 sq. ft. (482.48 sq. m.)	EL. 'B' - WOD STD. PLAN 5240.12 sq. ft. (486.82 sq. m.)	EL. 'B' - WOD OPT. 5 BED. 5240.12 sq. ft. (486.82 sq. m.)	EL. 'B' - WOD CORNER 5455.63 sq. ft. (506.84 sq. m.)	EL. 'C' - WOD STD. PLAN 5176.30 sq. ft. (480.89 sq. m.)	EL. 'C' - WOD OPT. 5 BED. 5176.30 sq. ft. (480.89 sq. m.)
GROSS WALL AREA	532.10 sq. ft. (49.43 sq. m.)	544.10 sq. ft. (50.55 sq. m.)	608.20 sq. ft. (56.50 sq. m.)	620.20 sq. ft. (57.62 sq. m.)	738.92 sq. ft. (68.65 sq. m.)	614.45 sq. ft. (57.08 sq. m.)	626.45 sq. ft. (58.20 sq. m.)
TOTAL WINDOW %	10.25 %	10.48 %	11.61 %	11.84 %	13.54 %	11.87 %	12.10 %
	EL. 'A' - LOD STD. PLAN 5323.24 sq. ft. (494.55 sq. m.)	EL. 'A' - LOD OPT. 5 BED. 5323.24 sq. ft. (494.55 sq. m.)	EL. 'B' - LOD STD. PLAN 5372.00 sq. ft. (499.08 sq. m.)	EL. 'B' - LOD OPT. 5 BED. 5372.00 sq. ft. (499.08 sq. m.)	EL. 'B' - LOD CORNER 5587.51 sq. ft. (519.10 sq. m.)	EL. 'C' - LOD STD. PLAN 5308.17 sq. ft. (493.15 sq. m.)	EL. 'C' - LOD OPT. 5 BED. 5308.17 sq. ft. (493.15 sq. m.)
GROSS WINDOW AREA (INCL. GLASS DOORS & SKYLIGHTS)	549.60 sq. ft. (51.06 sq. m.)	561.60 sq. ft. (52.17 sq. m.)	625.70 sq. ft. (58.13 sq. m.)	637.70 sq. ft. (59.24 sq. m.)	756.40 sq. ft. (70.27 sq. m.)	631.95 sq. ft. (58.71 sq. m.)	643.95 sq. ft. (59.82 sq. m.)
TOTAL WINDOW %	10.32 %	10.55 %	11.65 %	11.87 %	13.54 %	11.91 %	12.13 %
	EL. 'A' - WOB STD. PLAN 5759.89 sq. ft. (535.11 sq. m.)	EL. 'A' - WOB OPT. 5 BED. 5759.89 sq. ft. (535.11 sq. m.)	EL. 'B' - WOB STD. PLAN 5808.65 sq. ft. (538.64 sq. m.)	EL. 'B' - WOB OPT. 5 BED. 5808.65 sq. ft. (538.64 sq. m.)	EL. 'B' - WOB CORNER 6024.16 sq. ft. (559.66 sq. m.)	EL. 'C' - WOB STD. PLAN 5744.82 sq. ft. (533.71 sq. m.)	EL. 'C' - WOB OPT. 5 BED. 5744.82 sq. ft. (533.71 sq. m.)
GROSS WALL AREA	699.88 sq. ft. (65.02 sq. m.)	711.88 sq. ft. (66.14 sq. m.)	775.98 sq. ft. (72.09 sq. m.)	787.98 sq. ft. (73.21 sq. m.)	906.70 sq. ft. (84.24 sq. m.)	782.22 sq. ft. (72.67 sq. m.)	794.22 sq. ft. (73.79 sq. m.)
TOTAL WINDOW %	12.15 %	12.36 %	13.36 %	13.57 %	15.05 %	13.62 %	13.82 %

PRESCRIPTIVE COMPLIANCE		SB-12 (SECTION 3.1.1) TABLE 3.1.1.2.A.2	
PACKAGE A1		SPACE HEATING FUEL	
		<input type="checkbox"/> GAS	<input type="checkbox"/> OIL
		<input type="checkbox"/> ELECTRIC	<input type="checkbox"/> PROPANE
		<input type="checkbox"/> EARTH	<input type="checkbox"/> SOLID FUEL

BUILDING COMPONENT	REQUIRED	PROPOSED
INSULATION RSI (R) VALUE		
CEILING W/ ATTIC SPACE	10.56 (R60)	10.56 (R60)
CEILING W/O ATTIC SPACE	5.46 (R31)	5.46 (R31)
EXPOSED FLOOR	5.46 (R31)	5.46 (R31)
WALLS ABOVE GRADE	3.87 (R22)	3.87 (R22)
BASEMENT WALLS	3.52 ci (R20 ci) *	3.52 ci (R20 ci) *
* PROPOSED VALUES MAY BE SUBSTITUTED W/ 2.11+1.76ci (R12+R10ci)		
BELOW GRADE SLAB ENTIRE SURFACE > 600mm BELOW GRADE	-	-
EDGE OF BELOW GRADE SLAB ≤ 600mm BELOW GRADE	1.76 (R10)	1.76 (R10)
HEATED SLAB OR SLAB ≤ 600mm BELOW GRADE	1.76 (R10)	1.76 (R10)
WINDOWS & DOORS		
WINDOWS/SLIDING GLASS DOORS (MAX U-VALUE)	1.6	1.6
SKYLIGHTS (MAX. U-VALUE)	2.8	2.8
APPLIANCE EFFICIENCY		
SPACE HEATING EQUIP. (AFUE%)	96%	96%
HRV EFFICIENCY (%)	75%	75%
DHW HEATER (EF)	0.8	0.8



- 1 - TITLE PAGE
- 2 - BASEMENT PLAN, EL.'A'
- 3 - GROUND FLOOR PLAN, EL.'A'
- 4 - SECOND FLOOR PLAN, EL.'A'
- 5 - PART. OPT. 5 BEDROOM SECOND FLOOR PLAN, EL.'A' (EL. 'B' & 'C' SIMILAR)
- 6 - PART. STD. PLANS, ELEVATION 'B'
- 7 - BASEMENT PLAN, EL.'B' - CORNER
- 8 - GROUND FLOOR PLAN, EL.'B' - CORNER
- 9 - SECOND FLOOR PLAN, EL.'B' - CORNER
- 10 - PART. BSMT., GRND. & SECOND FLOOR PLAN 'A' W/ OPT. ELEVATOR (EL. 'B' & 'C' SIMILAR)
- 11 - PART. OPT. SERVICE STAIR & ELEVATOR, EL. 'A'
- 12 - PART. OPT. 5 BEDROOM SECOND FLOOR PLAN, EL.'A' - W/ ELEVATOR (EL. 'B' & 'C' SIMILAR)
- 13 - PART. STD. PLANS, ELEVATION 'C'
- 14 - FRONT ELEVATION 'A' & REAR ELEVATION 'A' & 'B'
- 16 - LEFT SIDE ELEVATION 'A'
- 17 - RIGHT SIDE ELEVATION 'A'
- 18 - FRONT ELEVATION 'B'
- 19 - LEFT SIDE ELEVATION 'B'
- 20 - RIGHT SIDE ELEVATION 'B'
- 21 - UPGRADED REAR ELEVATION 'B'
- 22 - FRONT ELEVATION 'B' - CORNER
- 23 - UPGRADE LEFT SIDE ELEVATION 'B' - CORNER
- 24 - RIGHT SIDE ELEVATION 'B' - CORNER
- 25 - UPGRADED REAR ELEVATION 'B' - CORNER
- 26 - FRONT & REAR ELEVATION 'C'
- 27 - LEFT SIDE ELEVATION 'C'
- 28 - RIGHT SIDE ELEVATION 'C'
- 28 - CROSS SECTION 'A-A' & PART. LEFT & REAR ELEV. 'A' FOR OPT. LOGGIA (EL. 'B' & 'C' SIMILAR)
- 29 - CONSTRUCTION NOTES
- W1 - WALK OUT DECK CONDITION
- W2 - LOOK OUT DECK CONDITION
- W3 - WALK OUT BASEMENT CONDITION
- W4 - WALK OUT DECK CONDITION
- W5 - LOOK OUT DECK CONDITION
- W6 - WALK OUT BASEMENT CONDITION
- W7 - DECK DETAILS 1
- W8 - DECK DETAILS 2

7. -	-	-
6. -	-	-
5. -	-	-
4. -	-	-
3. -	-	-
2. -	-	-
1. ISSUED FOR PH2 PERMIT	2022.03.25	AW
REVISIONS	DATE (YYYYMMDD)	BY

FOR STRUCTURAL ONLY, EXCLUDING
ENGINEERED ROOF TRUSS, FLOOR
JOIST, AND FLOOR LVL BEAM DESIGN.



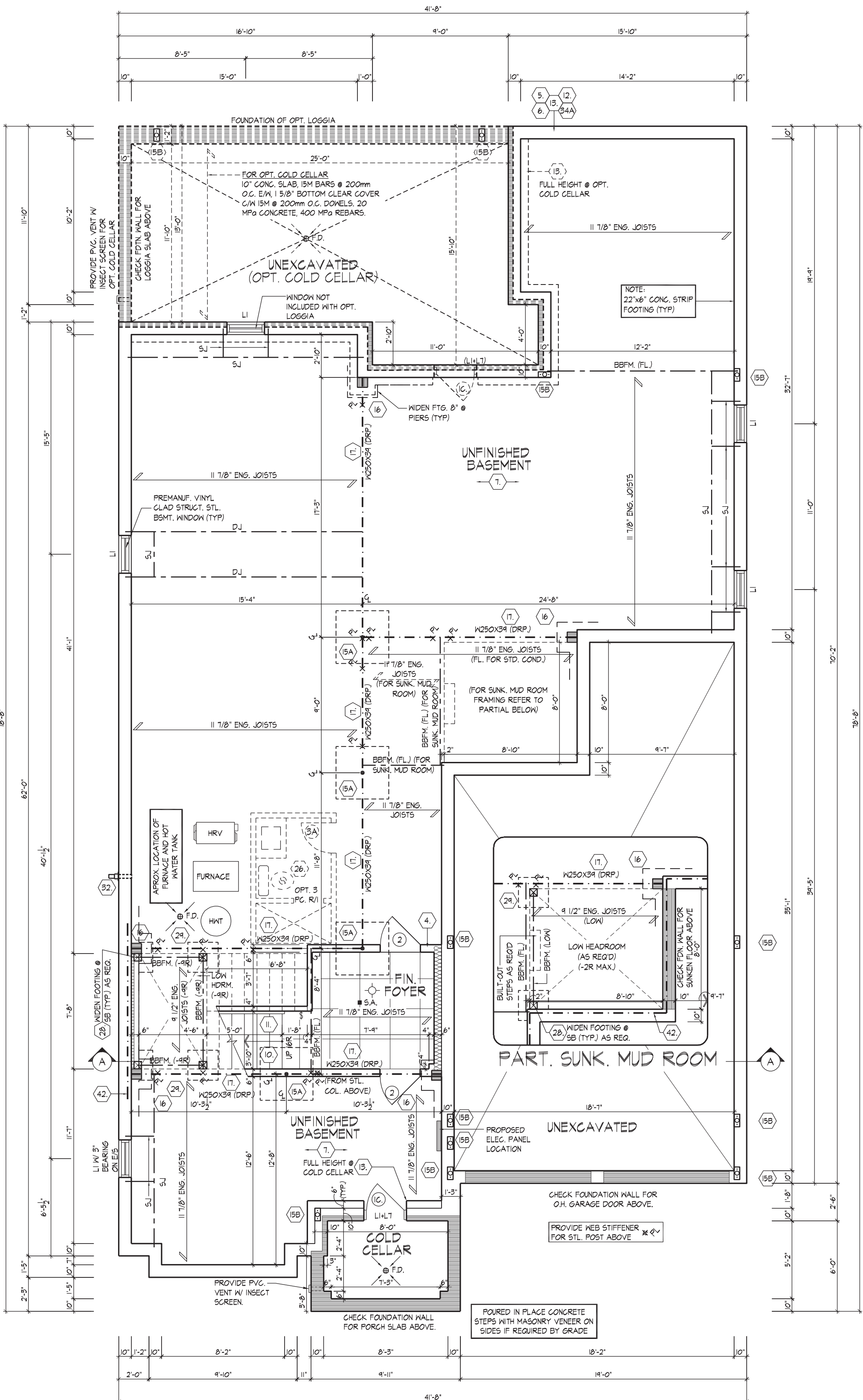
PROVIDE SOLID WOOD
BLOCKING @ 24" O.C. FOR
FIRST JOIST SPAN WHEN
PARALLEL W/ EXTERIOR WALL.
REFER TO FLOOR JOIST
MANUFACTURER'S DRAWINGS
FOR LAYOUT, SPACING,
BLOCKING & STRAPPING
REQUIREMENTS, INSTALLATION
DETAILS AND HANGER SIZES. &
SPRACE ALL FLOOR JOISTS @
12" O.C. UNDER ALL CERAMIC
TILE AREAS.

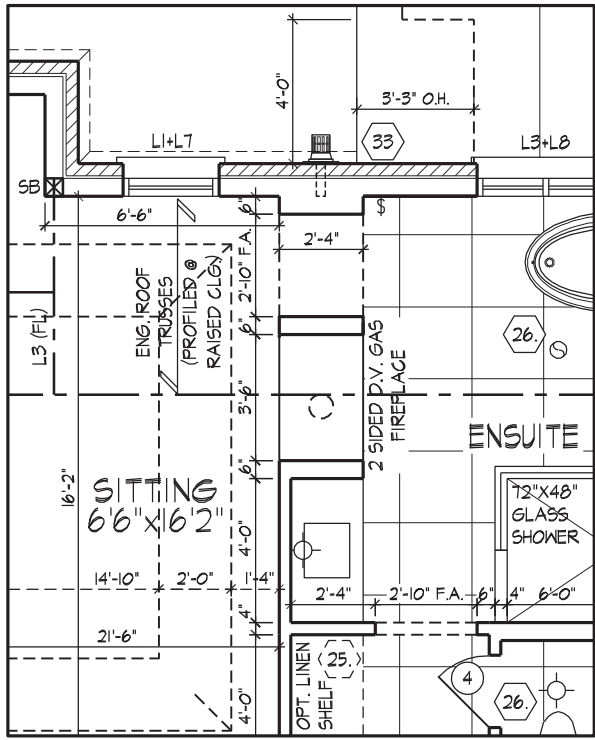
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

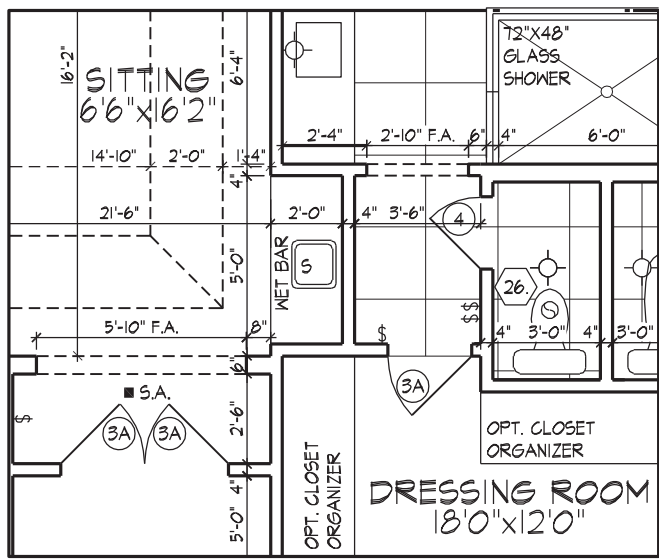
JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: MAY 27, 2022
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

BASEMENT PLAN, EL.'A'





PART. SECOND FLOOR PLAN EL. 'A'
OPT. SITTING AREA FIREPLACE
ELEV. 'B' & 'C' SIMILAR
(STANDARD SECOND FLOOR PLAN ONLY)



PART. SECOND FLOOR PLAN EL. 'A'
OPT. SITTING AREA NET BAR
ELEV. 'B' & 'C' SIMILAR
(STANDARD SECOND FLOOR PLAN ONLY)

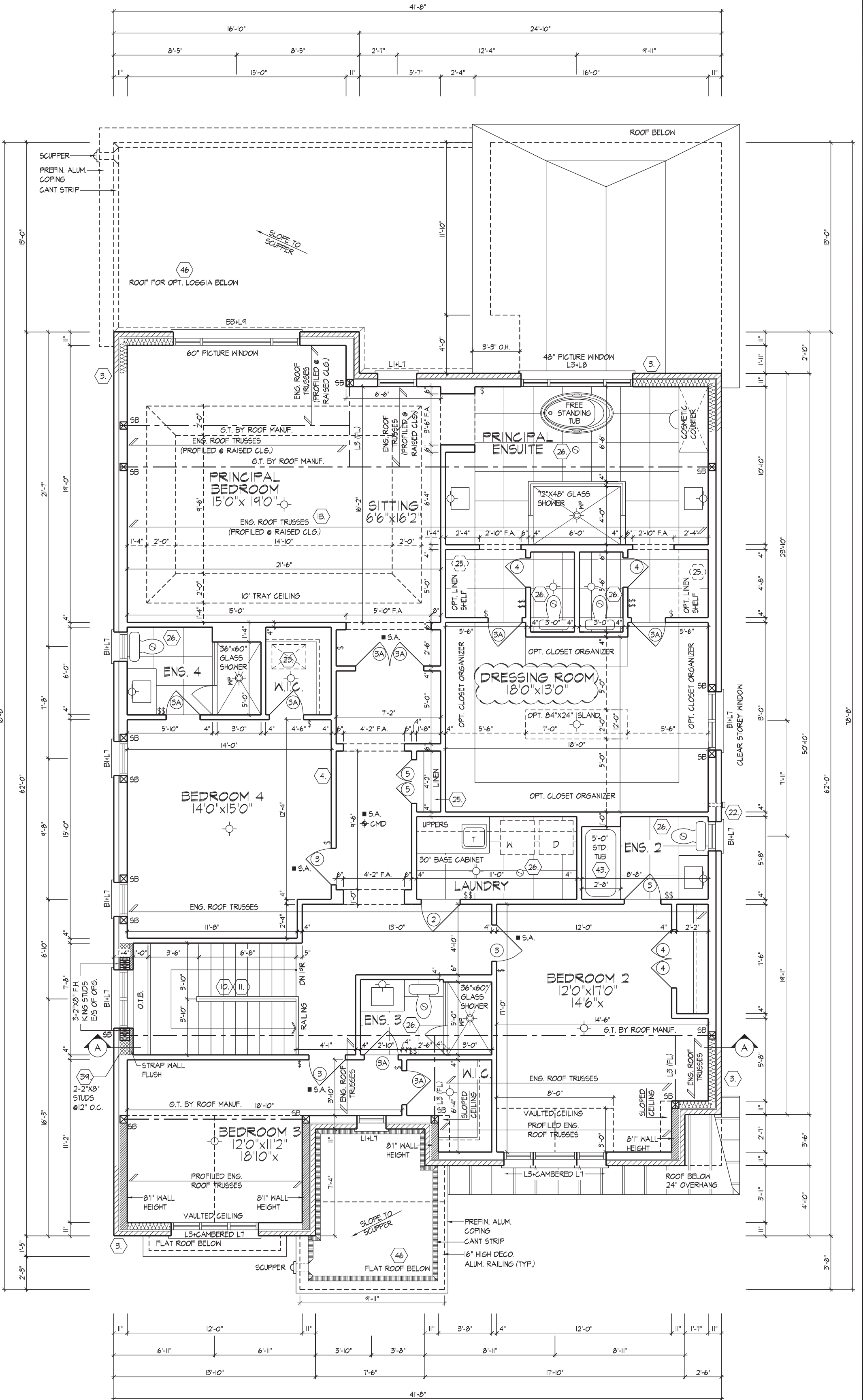


WSP

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ENGINEERED ROOF TRUSS, FLOOR
JOIST, AND FLOOR LVL BEAM DESIGN.

REFER TO ROOF TRUSS
MANUFACTURER'S DRAWINGS
FOR LAYOUT, SPACING,
INSTALLATION DETAILS AND
HANGER SIZES.
PROVIDE 6 CUBS &
RUBBER WAT.
WAT TO EXTD 6' MIN.
ABOVE FLOOR LEVEL.

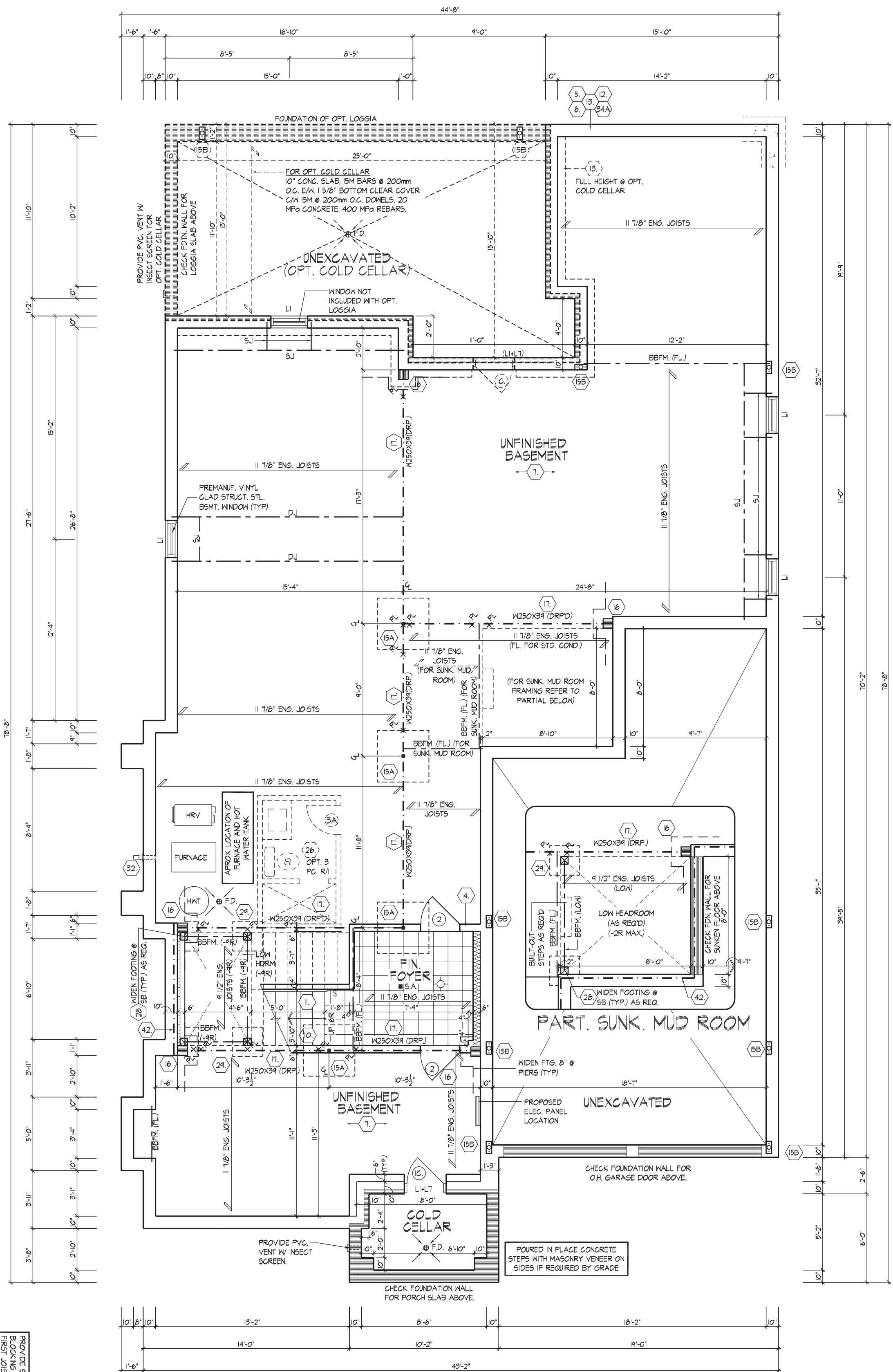
SECOND FLOOR PLAN, E.L. 'A'



SECOND FLOOR PLAN ELEVATION 'A'

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BASEMENT PLAN, EL.'B' - CORNER

PROVIDE SOLID WOOD BLOCKING @ 24" O.C. FOR FIRST JOIST SPAN WHEN PARALLEL W/ EXTERIOR WALL.

REFER TO FLOOR JOIST MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, BLOCKING & STRAPPING REQUIREMENTS, INSTALLATION DETAILS AND HANGER SIZES, & SUBFLOOR THICKNESS.

SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

FOR STRUCTURAL ONLY. EXCLUDING
ENGINEERED ROOF TRUSS, FLOOR
JOIST, AND FLOOR LVL BEAM DESIGN.



TEL: 1-905-882-4211 FAX: 1-905-822-0055 WWW.WSPGROUP.CA



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: 
DATE: MAY 27, 2022


This stamp certifies compliance with the applicable
Design Guidelines only and bears no further
professional responsibility.

WTANG | WED MAY 18/22 10:03 AM | K:\PROJECTS\2021\221081.GOLD\WORKING\SINGLES\50\221081WS5005-KNIGHTSWOOD.DWG



The builder's complete responsibility to ensure that all plans submitted for approval comply with the Architectural Guidelines applicable regulations and requirements concerning zoning provisions and subdivision agreement. The Control is not responsible in any way for printing or approving site (lotting) plans or drawings with respect to any zoning or code or permit matter or that any plan can be properly built or located on its lot.

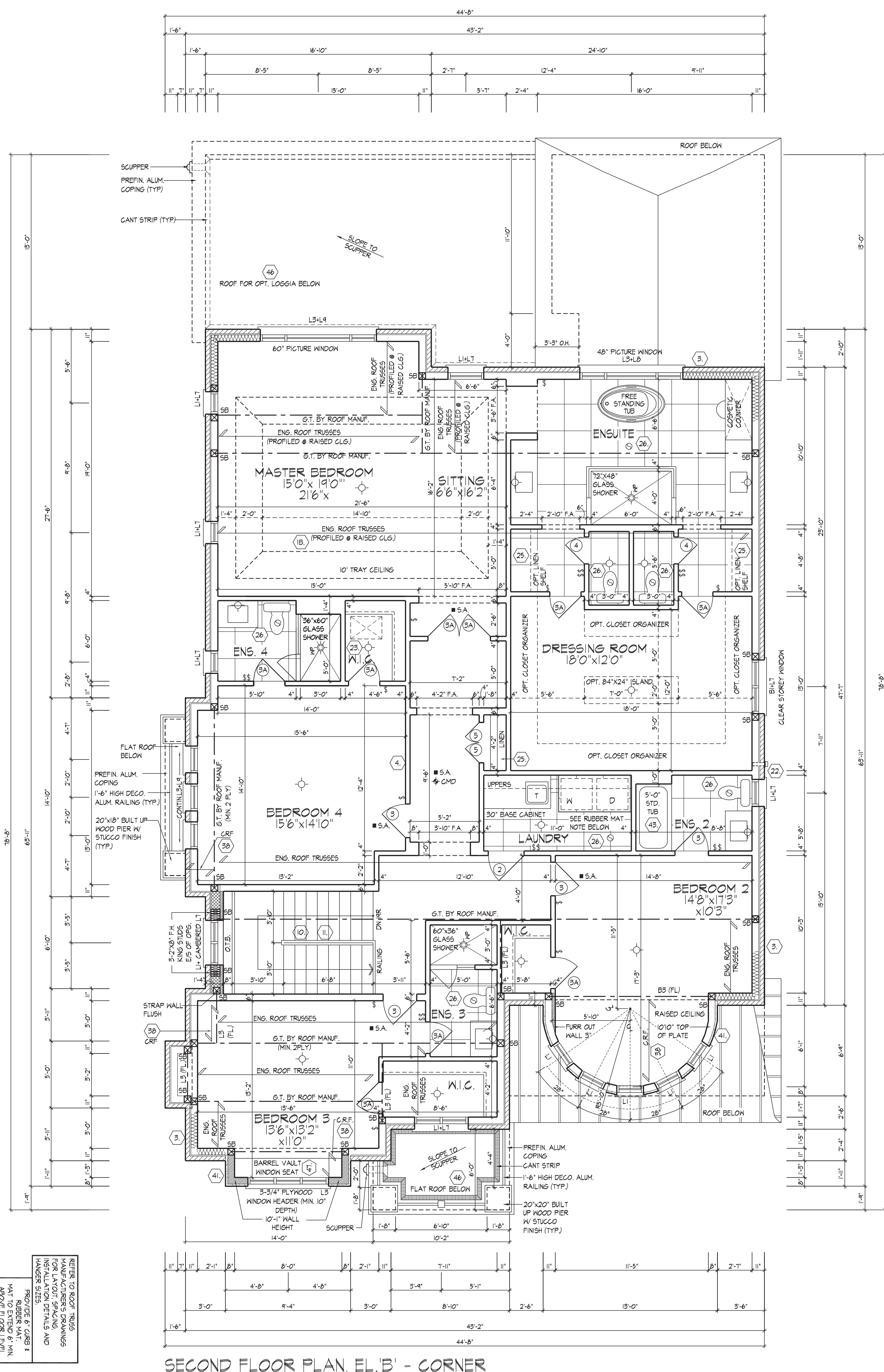
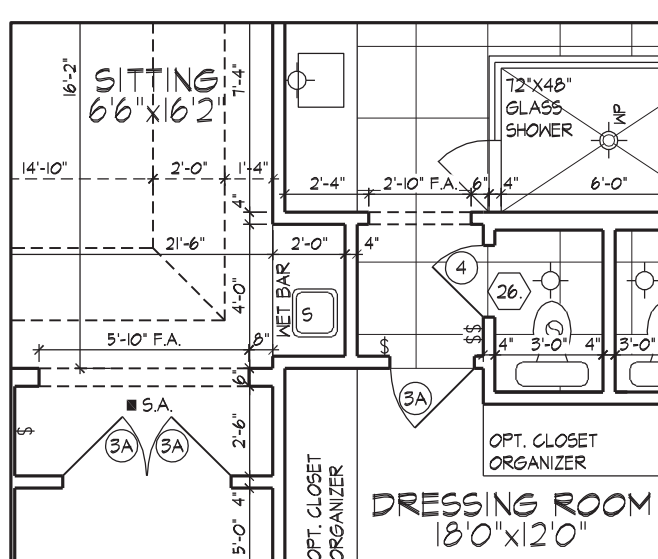
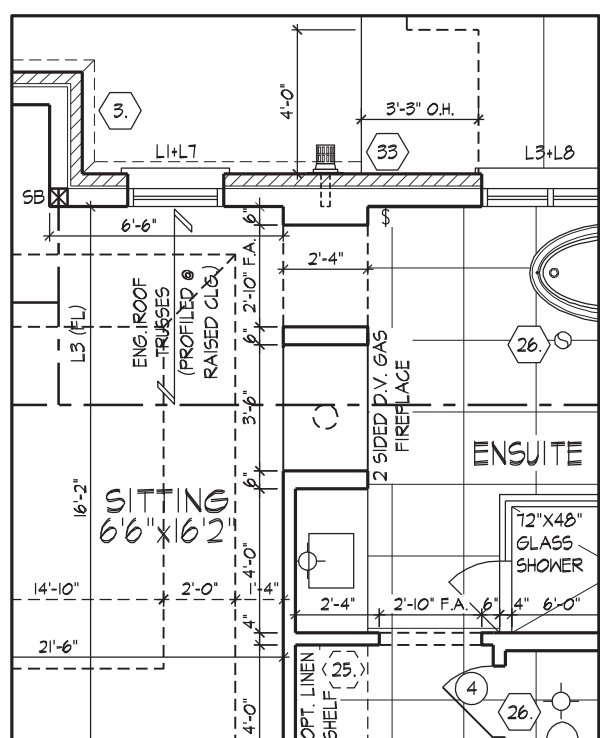
We do hereby certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of SHANN.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY:
DATE: MAY 27, 2022

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

DATE: MAY 27, 2022
stamp certifies compliance with the applicable
design Guidelines only and bears no further
professional responsibility.

WTANG | WED MAY 18/22 10:03 AM | K:\PROJECTS\2021\221081.GOLD\WORKING\SINGLES\50\221081\WS5005-KNIGHTS\WOOD.DWG



REFER TO ROOF TRUSS
MANUFACTURER'S DRAWINGS
FOR LAYOUT, SPACING,
INSTALLATION DETAILS AND
HANGER SIZES.

PROVIDE 6" CURB &
RUBBER MAT.
MAT TO EXTEND 6" MIN.
ABOVE FLOOR LEVEL.

FOR STRUCTURAL ONLY. EXCLUDING
ENGINEERED ROOF TRUSS, FLOOR
JOIST, AND FLOOR LVL BEAM DESIGN



TEL: 1-905-882-4211 FAX: 1-905-822-0365 | WWW.WSPGROUP.CA

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION

Allen Whitting 2317

NAME SIGNATURE BC

REGISTRATION INFORMATION

HUNT DESIGN ASSOCIATES INC.

HUNT **PH**
DESIGN ASSOCIATES INC.

GOLDPARK HOMES - 221081

PINE VALLEY PH2, VAUGHAN, ON

Drawn By	Checked By	Scale
MIN	SB	3/16"=1'-0"

221081WS5005

9 of 29

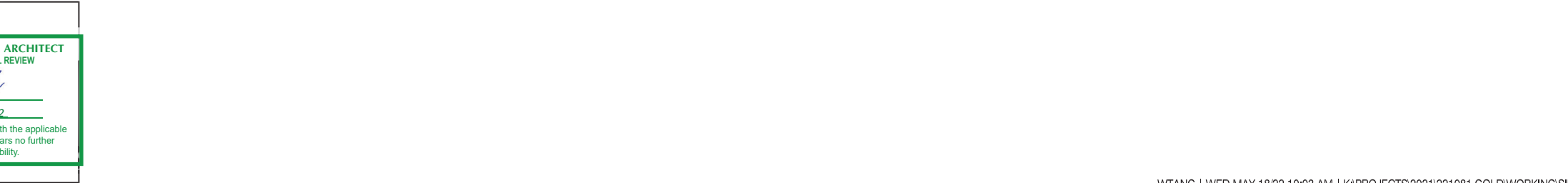
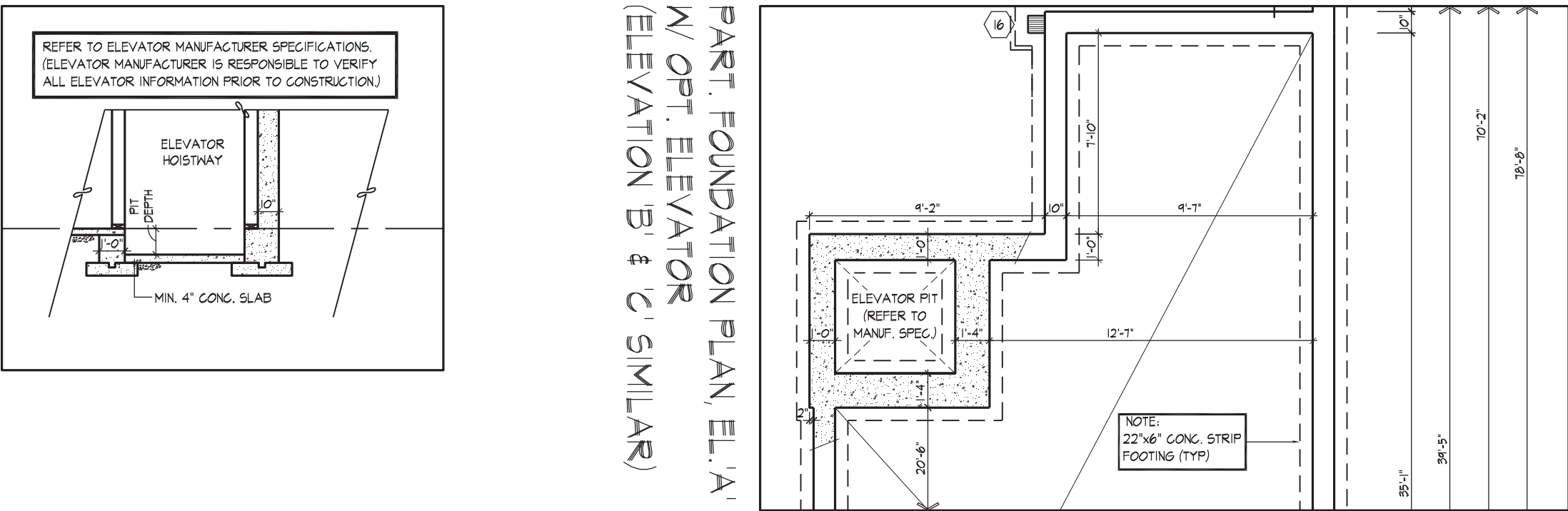
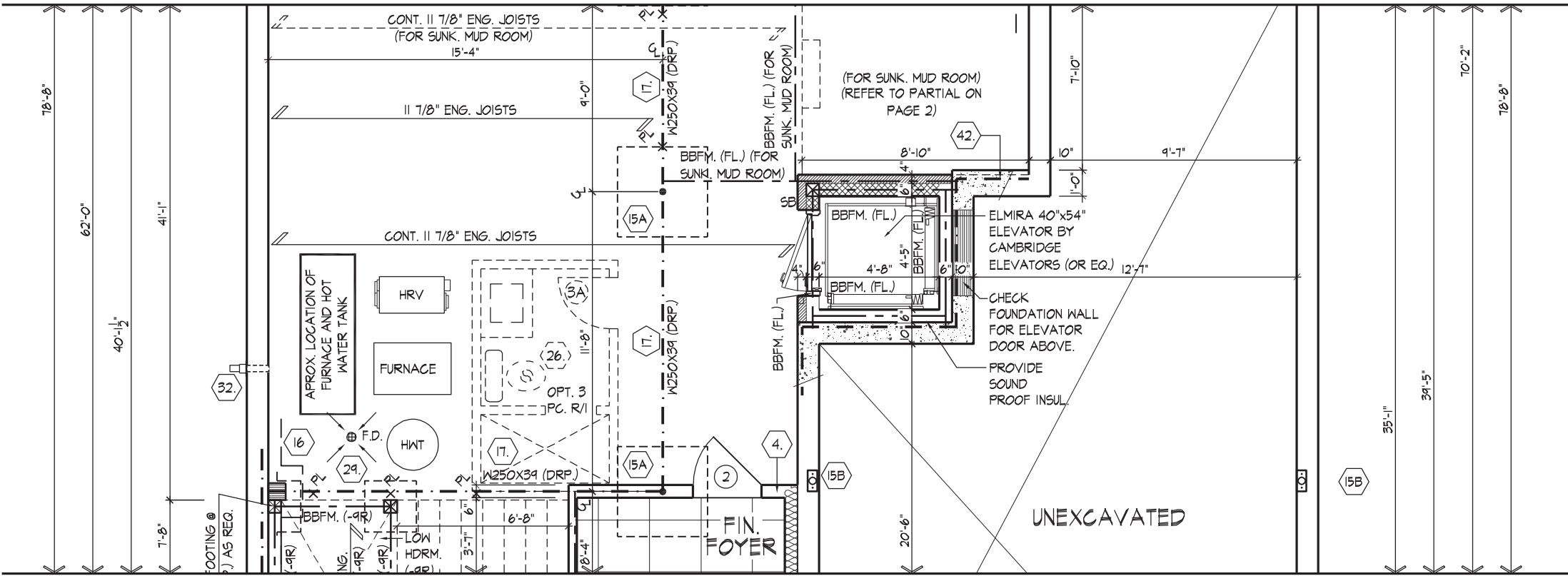
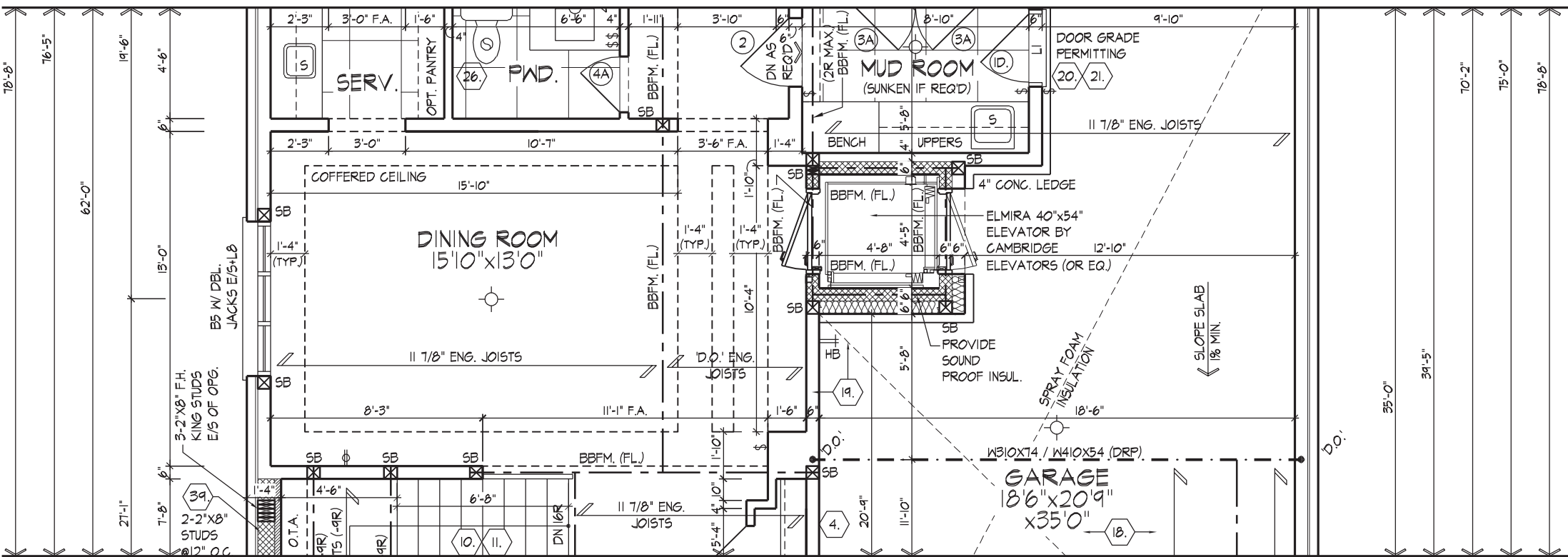
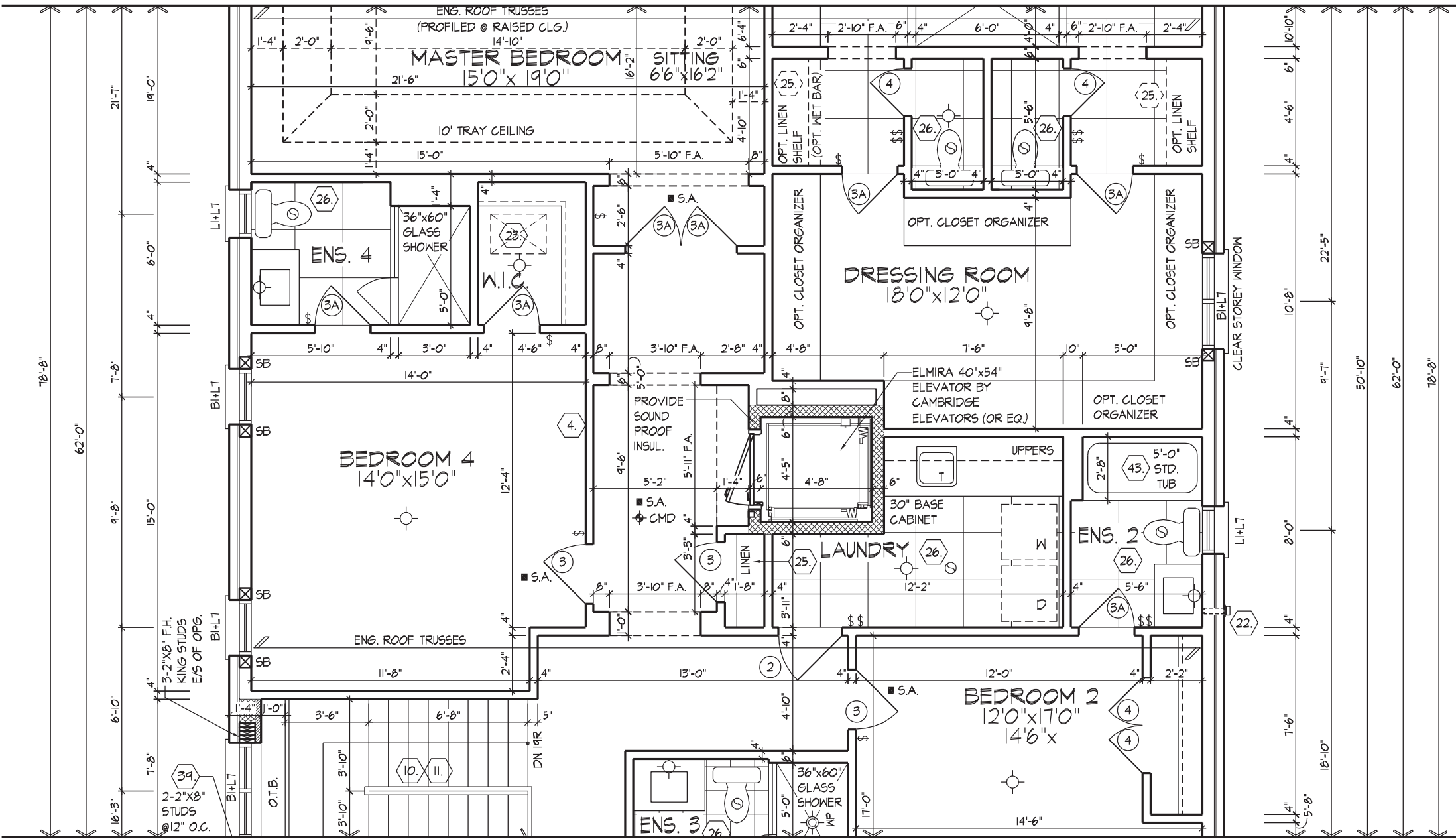
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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: [Signature]
DATE: MAY 27, 2022

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Design Guidelines only and bears no further
professional responsibility.



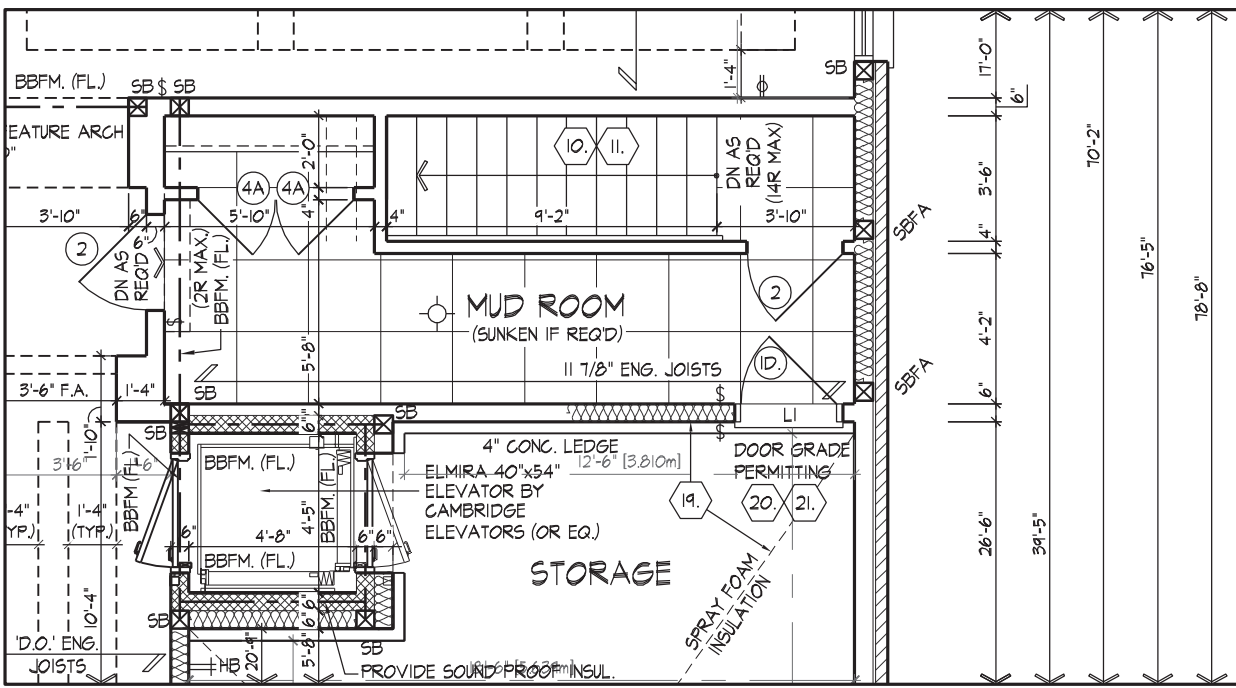
REFER TO STANDARD PLAN FOR COMPLETE CONSTRUCTION NOTES & DIMENSIONS
REFER TO ROOF TRUSS MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, BLOCKING & STRAPPING REQUIREMENTS, INSTALLATION DETAILS AND HANGER SIZES
PROVIDE 4" CURB & RUBBER MAT, MAT TO EXTEND 6" MIN. ABOVE FLOOR LEVEL

REFER TO STANDARD PLAN FOR COMPLETE CONSTRUCTION NOTES & DIMENSIONS
REFER TO ROOF TRUSS MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, BLOCKING & STRAPPING REQUIREMENTS, INSTALLATION DETAILS AND HANGER SIZES
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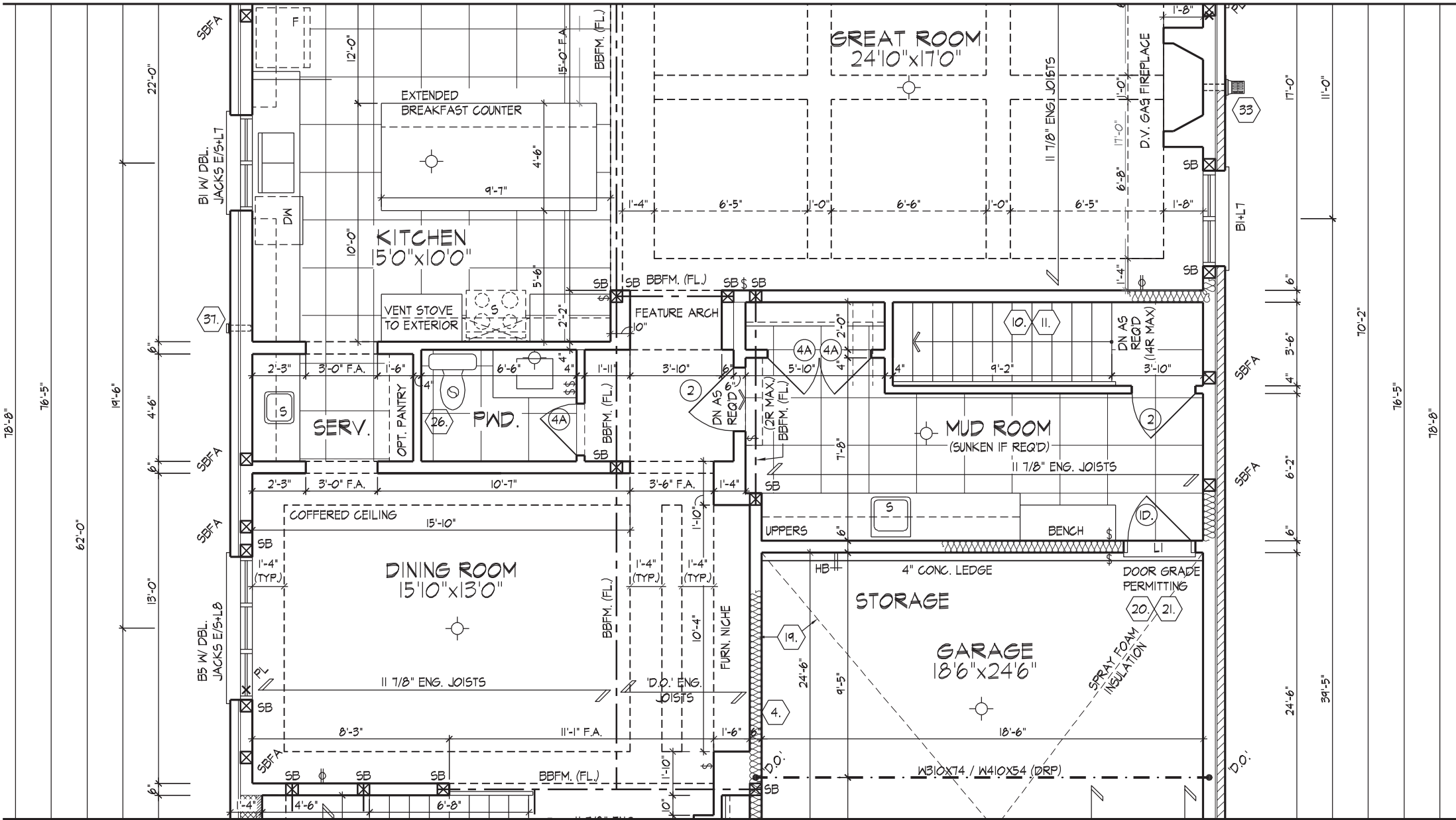
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REFER TO ROOF TRUSS MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, BLOCKING & STRAPPING REQUIREMENTS, INSTALLATION DETAILS AND HANGER SIZES
PROVIDE 4" CURB & RUBBER MAT, MAT TO EXTEND 6" MIN. ABOVE FLOOR LEVEL

REFER TO STANDARD PLAN FOR COMPLETE CONSTRUCTION NOTES & DIMENSIONS
REFER TO ROOF TRUSS MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, BLOCKING & STRAPPING REQUIREMENTS, INSTALLATION DETAILS AND HANGER SIZES
PROVIDE 4" CURB & RUBBER MAT, MAT TO EXTEND 6" MIN. ABOVE FLOOR LEVEL



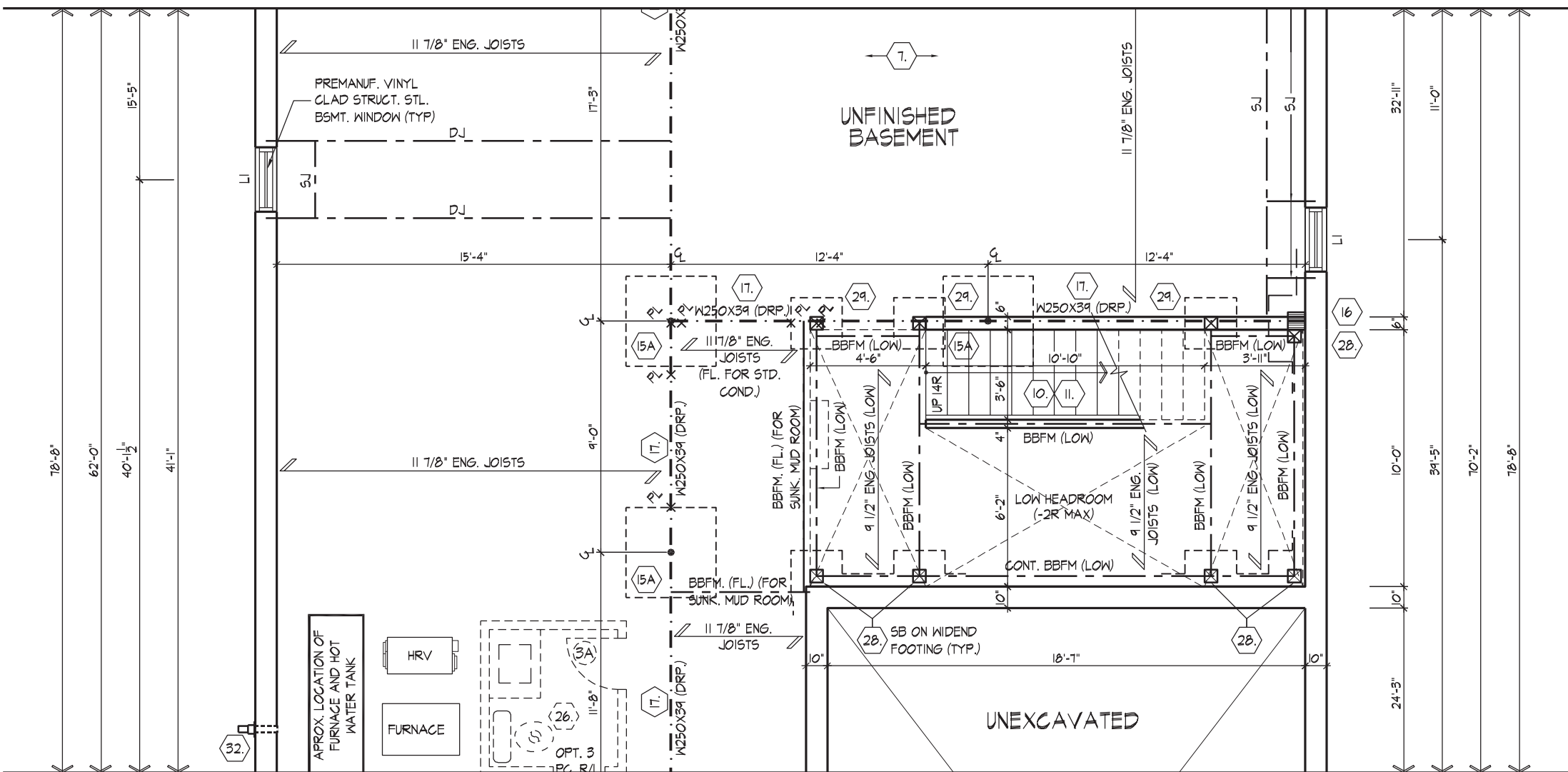
PART. OPT. GROUND FLOOR PLAN W/
SERVICE STAIR & ELEVATOR, EL. 'A'
(EL. 'B' & 'C' SIMILAR)

REFER TO STANDARD PLAN FOR
COMPLETE CONSTRUCTION NOTES
& DIMENSIONS
REFER TO ROOF TRUSS
MANUFACTURER'S DRAWINGS
FOR LAYOUT SPACING,
BLOCKING & STRAPPING
INSTALLATION DETAILS AND
HANGER SIZES
PROVIDE 6" CARB &
RUBBER MAT,
MAT TO EXTEND 6" MIN
ABOVE FLOOR LEVEL



PART. OPT. GROUND FLOOR PLAN
W/ SERVICE STAIR EL. 'A' (EL. 'B' & 'C' SIMILAR)

REFER TO STANDARD PLAN FOR
COMPLETE CONSTRUCTION NOTES
& DIMENSIONS
PROVIDE SOLID WOOD
BLOCKING @ 24" O.C. FOR
FIRST JOIST SPAN WHEN
PARALLEL W/ EXTERIOR WALL
REFER TO FLOOR JOIST
MANUFACTURER'S DRAWINGS
FOR LAYOUT SPACING,
BLOCKING & STRAPPING
INSTALLATION DETAILS AND
HANGER SIZES &
SUBFLOOR THICKNESS



PART. OPT. BASEMENT PLAN W/
SERVICE STAIR EL. 'A' (EL. 'B' & 'C' SIMILAR)

SPACE ALL FLOOR JOISTS @
12" O.C. UNDER ALL CERAMIC
TILE AREAS
REFER TO STANDARD PLAN FOR
COMPLETE CONSTRUCTION NOTES
& DIMENSIONS
PROVIDE SOLID WOOD
BLOCKING @ 24" O.C. FOR
FIRST JOIST SPAN WHEN
PARALLEL W/ EXTERIOR WALL
REFER TO FLOOR JOIST
MANUFACTURER'S DRAWINGS
FOR LAYOUT SPACING,
BLOCKING & STRAPPING
INSTALLATION DETAILS AND
HANGER SIZES &
SUBFLOOR THICKNESS



FOR STRUCTURAL ONLY, EXCLUDING
ENGINEERED ROOF TRUSS, FLOOR
JOIST, AND FLOOR LVL BEAM DESIGN.

PART. OPT. SERVICE STAIR & ELEVATOR EL. 'A'
GOLDPARK HOMES - 221081 UNIT 5005 - THE KNIGHTSWOOD
PINE VALLEY PH2, VAUGHAN, ON
REV/2022.03.25

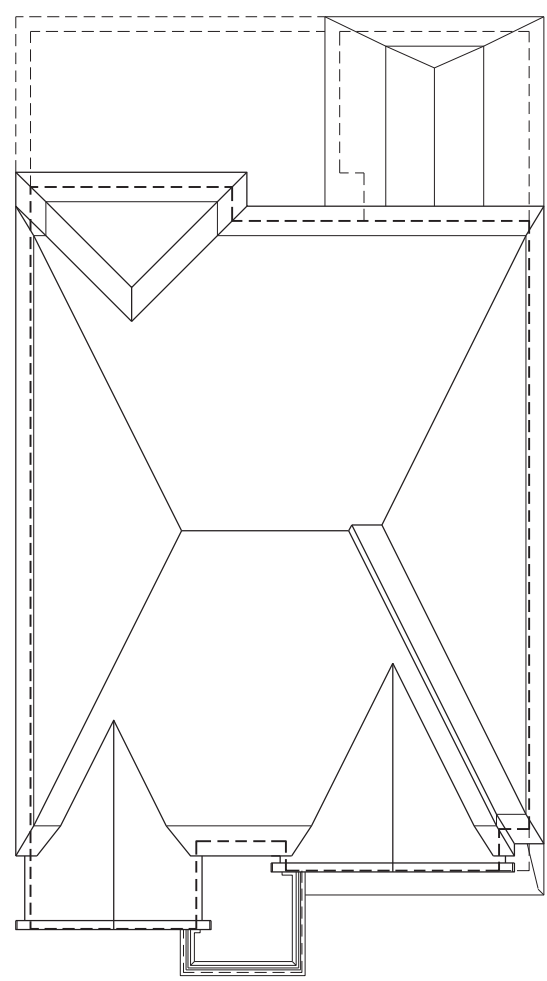


HUNT DESIGN ASSOCIATES INC.
8866 Woodbine Ave, Markham, ON L3R 0J7
T 905.737.9133 F 905.737.7326

221081WS5005
11 of 29

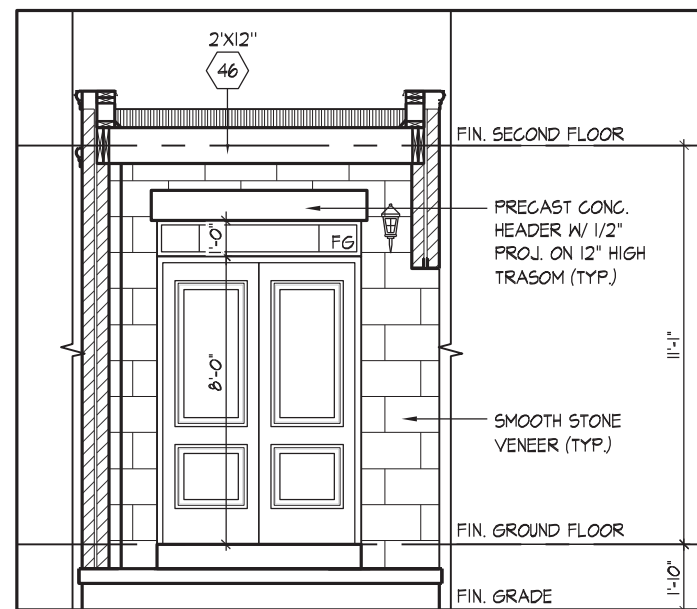
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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: MAY 27, 2022
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

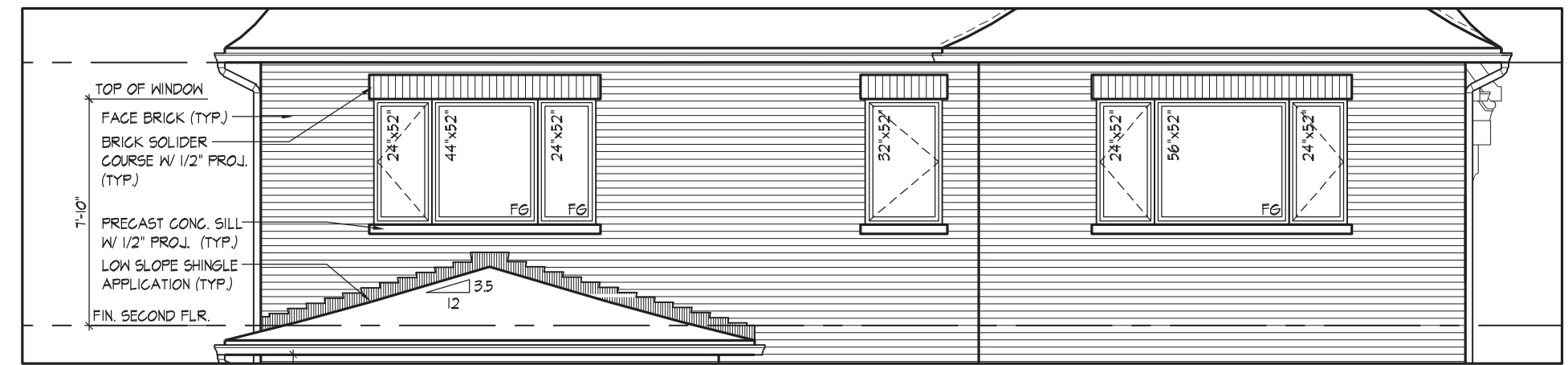


ROOF PLAN
ELEV. 'A'
N.T.S.

WINDOW SUMMARY			
PER O.B.C. TABLE 9.10.15.4			
FRONT ELEVATION A			
QTY	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)
5	24"	64"	41.67
2	36"	64"	28.67
1	72"	64"	28.33
1	24"	18"	3.89
1	36"	18"	3.11
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
1	ARCH	23.22	23.22
1	DOOR	5.67	5.67
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00
SPATIAL CALCULATION			
EXPOSING BUILDING	938.11	S.F.	
FACE AREA	87.15	S.M.	
PORTION WALL AREA	938.11	S.F.	
PORTION WALL AREA	87.15	S.M.	
LIMITING DISTANCE	14.00 m		
MAX. % OPENINGS	100.00	%	
OPENINGS ALLOWED	938.11	S.F.	
OPENINGS PROVIDED	132.56	S.F.	
ADDITIONAL NOTES			
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER			



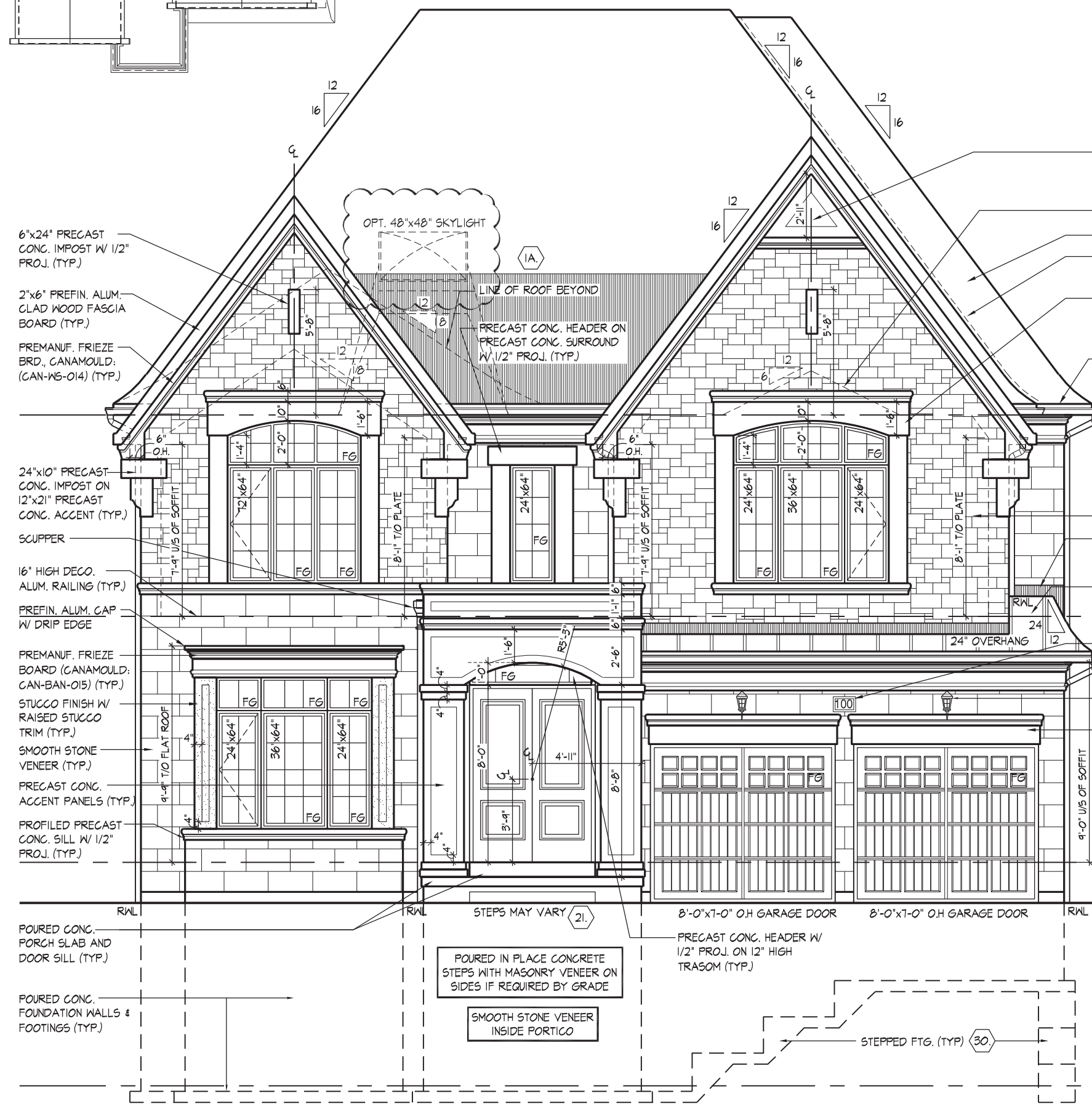
INTERIOR PORTICO ELEV.



PART. REAR ELEVATION 'A' - OPT. 5 BEDROOM &
OPT. 5 BEDROOM W/ ELEVATOR PLANS
(EL. 'B' SIMILAR)

WINDOW SUMMARY			
PER O.B.C. TABLE 9.10.15.4			
REAR ELEVATION A - ALL PLANS			
QTY	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)
4	24"	52"	26.67
1	44"	52"	13.33
1	32"	52"	9.33
1	56"	52"	17.33
2	24"	72"	18.69
1	60"	72"	26.44
1	30"	16"	2.17
0	0"	0"	0.00
2	DOOR/TRANS	62.67	125.34
0	ARCH	0.00	0.00
SPATIAL CALCULATION			
EXPOSING BUILDING	916.67	S.F.	
FACE AREA	85.16	S.M.	
PORTION WALL AREA	916.67	S.F.	
PORTION WALL AREA	85.16	S.M.	
LIMITING DISTANCE	7.50 m		
MAX. % OPENINGS	50	%	
OPENINGS ALLOWED	458.34	S.F.	
OPENINGS PROVIDED	239.51	S.F.	
ADDITIONAL NOTES			
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER			

WINDOW SUMMARY			
PER O.B.C. TABLE 9.10.15.4			
REAR ELEVATION B - ALL PLANS			
QTY	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)
4	24"	52"	26.67
1	44"	52"	13.33
1	32"	52"	9.33
1	56"	52"	17.33
2	24"	72"	18.69
1	60"	72"	26.44
1	30"	16"	2.17
0	0"	0"	0.00
2	DOOR/TRANS	62.67	125.34
0	ARCH	0.00	0.00
SPATIAL CALCULATION			
EXPOSING BUILDING	916.67	S.F.	
FACE AREA	85.16	S.M.	
PORTION WALL AREA	916.67	S.F.	
PORTION WALL AREA	85.16	S.M.	
LIMITING DISTANCE	7.50 m		
MAX. % OPENINGS	50	%	
OPENINGS ALLOWED	458.34	S.F.	
OPENINGS PROVIDED	239.51	S.F.	
ADDITIONAL NOTES			
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER			



FRONT ELEVATION 'A'

PRECAST CONG. ACCENT ON
PROFILED PRECAST CONG.
SILL W/ 1/2" PROJ. (TYP.)

OUTLINE OF VAULTED
CEILING BEYOND (TYP.)

ASPHALT SHINGLES (TYP.)

VALLEY FLASHING (TYP.)

PROFILED PRECAST CONG. BAND ON
PRECAST CONG. HEADER ON PRECAST
CONG. SURROUND W/ 1/2" PROJ. (TYP.)

PREFIN. ALUM. GLAD RAIL,
GUTTER, FASCIA BOARD &
VENTED SOFFIT (TYP.)

STONE VENEER (TYP.)

6" PREFIN. MTL. FLASHING W/
CAULKING TO MATCH
MASONRY COLOUR (TYP.)

PREFIN. SEAMED
METAL ROOF (TYP.)

ADDRESS PLAQUE

COACH LAMP (TYP.)

PROFILED PRECAST CONG.
BAND ON PRECAST CONG.
HEADER W/ 1/2" PROJ. (TYP.)

POURED CONG. PORCH SLAB AND
DOOR SILL (TYP.)

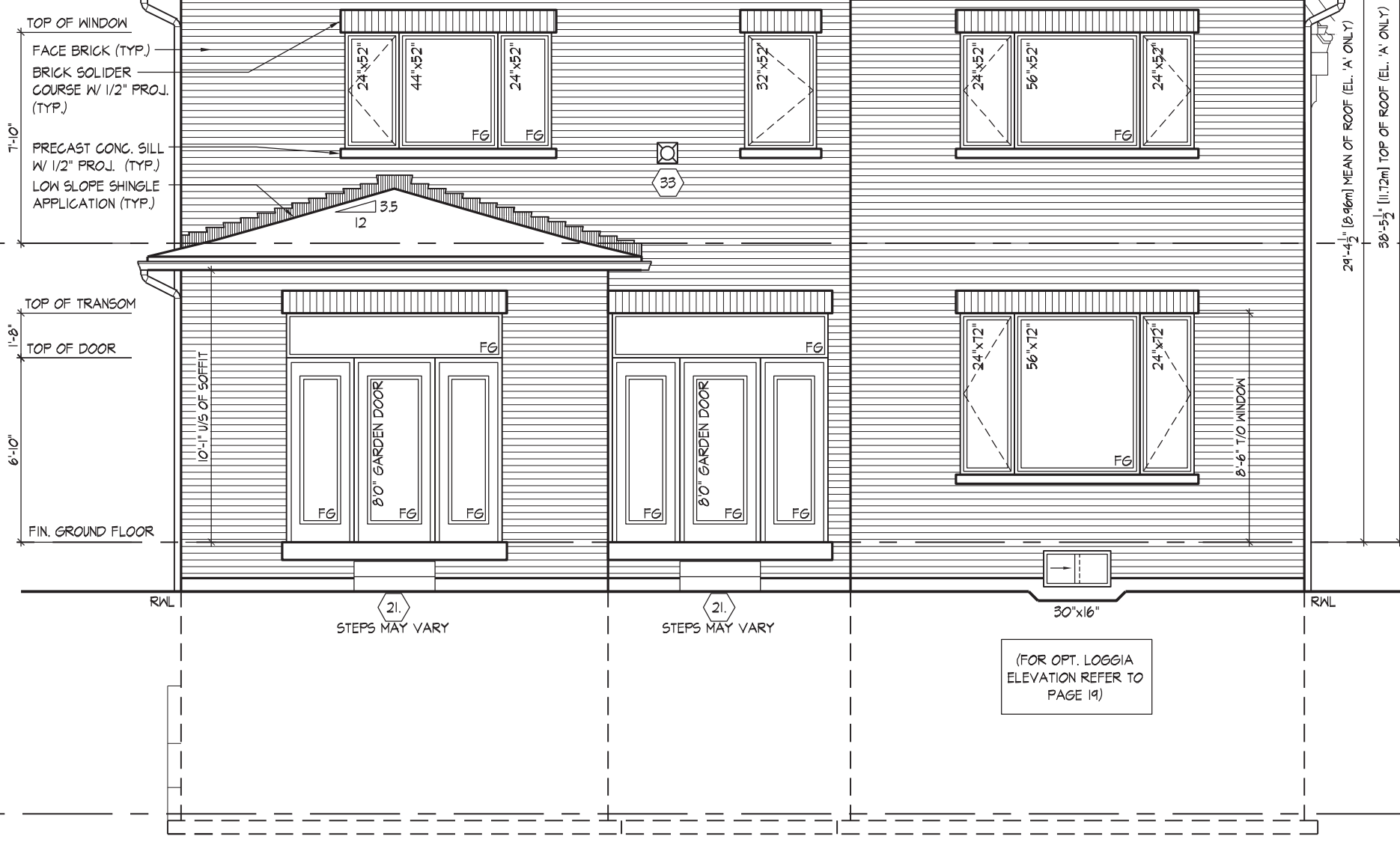
POURED CONG. FOUNDATION WALLS &
FOOTINGS (TYP.)

STEPS MAY VARY (21)

POURED IN PLACE CONCRETE
STEPS WITH MASONRY VENEER ON
SIDES IF REQUIRED BY GRADE

SMOOTH STONE VENEER
INSIDE PORTICO

STEPPED FTG. (TYP.) (30)



REAR ELEVATION 'A' & 'B'

(FOR OPT. LOGGIA
ELEVATION REFER TO
PAGE 19)

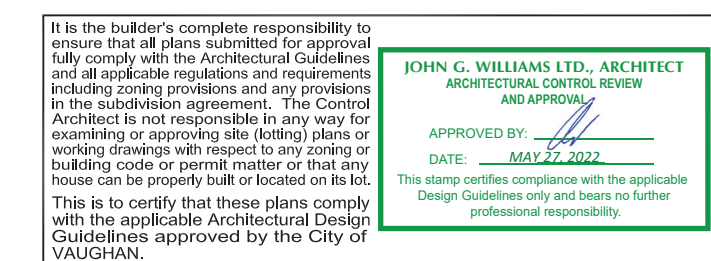
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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: _____
DATE: MAY 27, 2022
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.
QUALIFICATION INFORMATION
NAME: Allan Whiting
REGISTRATION INFORMATION
HUNT DESIGN ASSOCIATES INC.
19695

HUNT DESIGN ASSOCIATES INC.
8966 Woodbine Ave, Markham, ON L3R 0J7
T 905.737.5133 F 905.737.7326

FRONT ELEVATION 'A' & REAR ELEVATION 'A' & 'B'
GOLDPARK HOMES - 221081 UNIT 5005 - THE KNIGHTSWOOD
PINE VALLEY PH2, VAUGHAN, ON
REV.2022.03.25
Drawn By: MN
Checked By: SB
Scale: 3/16"=1'-0"
File Number: 221081WS005
Page Number: 14 of 29

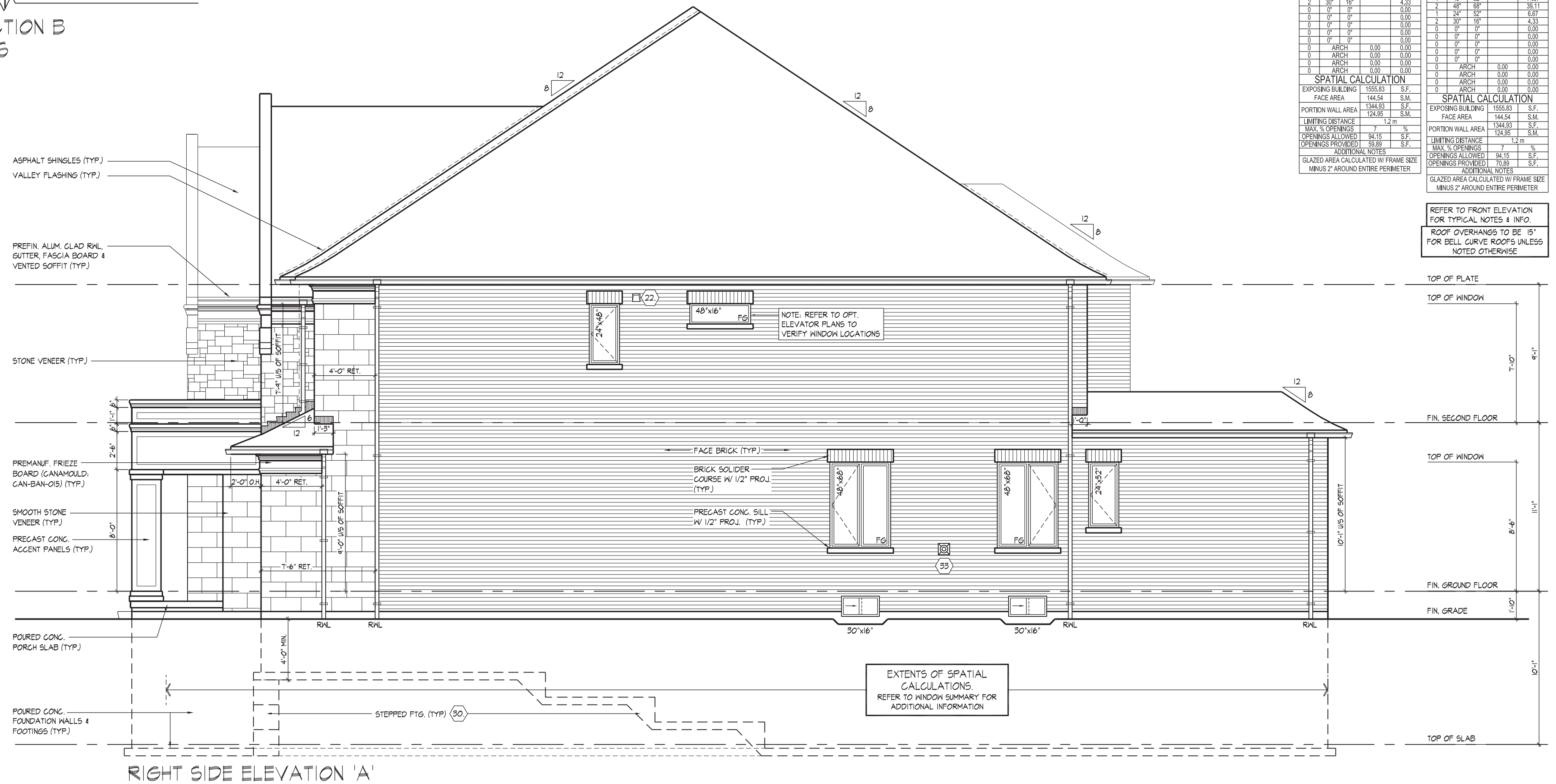




WINDOW SUMMARY				WINDOW SUMMARY			
PER O.B.C. TABLE 9.10.15.4				PER O.B.C. TABLE 9.10.15.4			
RIGHT SIDE ELEVATION A - STD.				OPT. RIGHT SIDE EL. "A" FOR 5 OR 6 BED W/ OP. LATER COND.			
QUAN.	UNIT	DEPTH	WINDOW / DOOR FRAME SIZE (F.S.)	QUAN.	UNIT	DEPTH	WINDOW / DOOR FRAME SIZE (F.S.)
1	24"	48"	6.11	1	24"	48"	6.11
1	48"	16"	0.67	1	48"	52"	38.11
2	24"	68"	38.11	2	24"	52"	38.11
2	30"	16"	0.67	2	30"	16"	0.67
2	0"	0"	0.00	2	0"	0"	0.00
2	0"	0"	0.00	2	0"	0"	0.00
2	0"	0"	0.00	2	0"	0"	0.00
2	0"	0"	0.00	2	0"	0"	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
SPATIAL CALCULATION				SPATIAL CALCULATION			
EXPOSING BUILDING FACE AREA 144.54 S.F.				EXPOSING BUILDING FACE AREA 155.83 S.F.			
PORTION WALL AREA 134.93 S.F.				PORTION WALL AREA 124.95 S.F.			
LIMITING DISTANCE 7' 12"				LIMITING DISTANCE 7' 12"			
MAX. % OPENINGS 94.15 S.F.				MAX. % OPENINGS 70.65 S.F.			
OPENINGS PROVIDED 59.89 S.F.				OPENINGS PROVIDED 84.19 S.F.			
ADDITIONAL NOTES				ADDITIONAL NOTES			
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER				GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER			

REFER TO FRONT ELEVATION
FOR TYPICAL NOTES & INFO.

ROOF OVERHANGS TO BE 15"
FOR BELL CURVE ROOFS UNLESS
NOTED OTHERWISE



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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: [Signature]
DATE: MAY 27, 2022
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

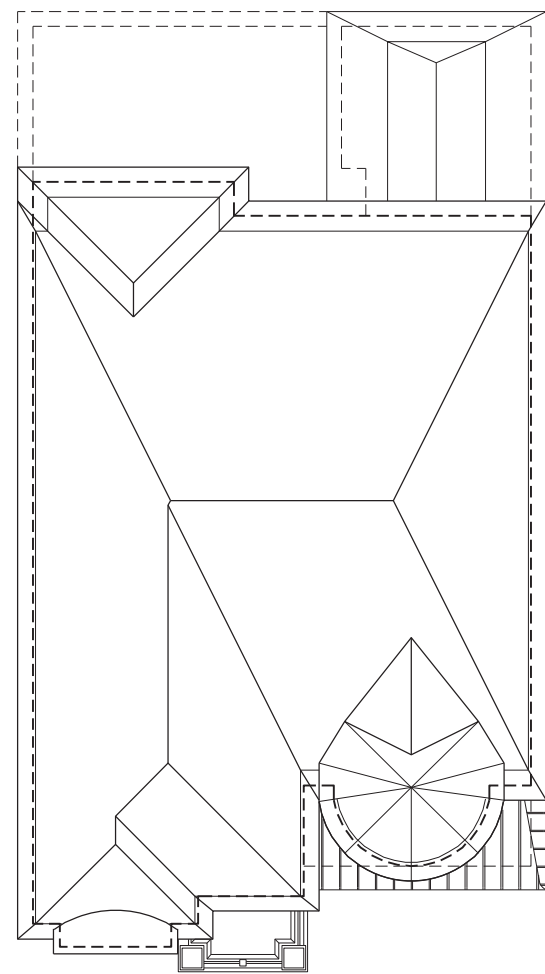
QUALIFICATION INFORMATION	
Allan Whiting	23
NAME	SIGNATURE
REGISTRATION INFORMATION	
HUNT DESIGN ASSOCIATES INC.	19

HUNT 
DESIGN ASSOCIATES INC.
www.huntdesign.ca

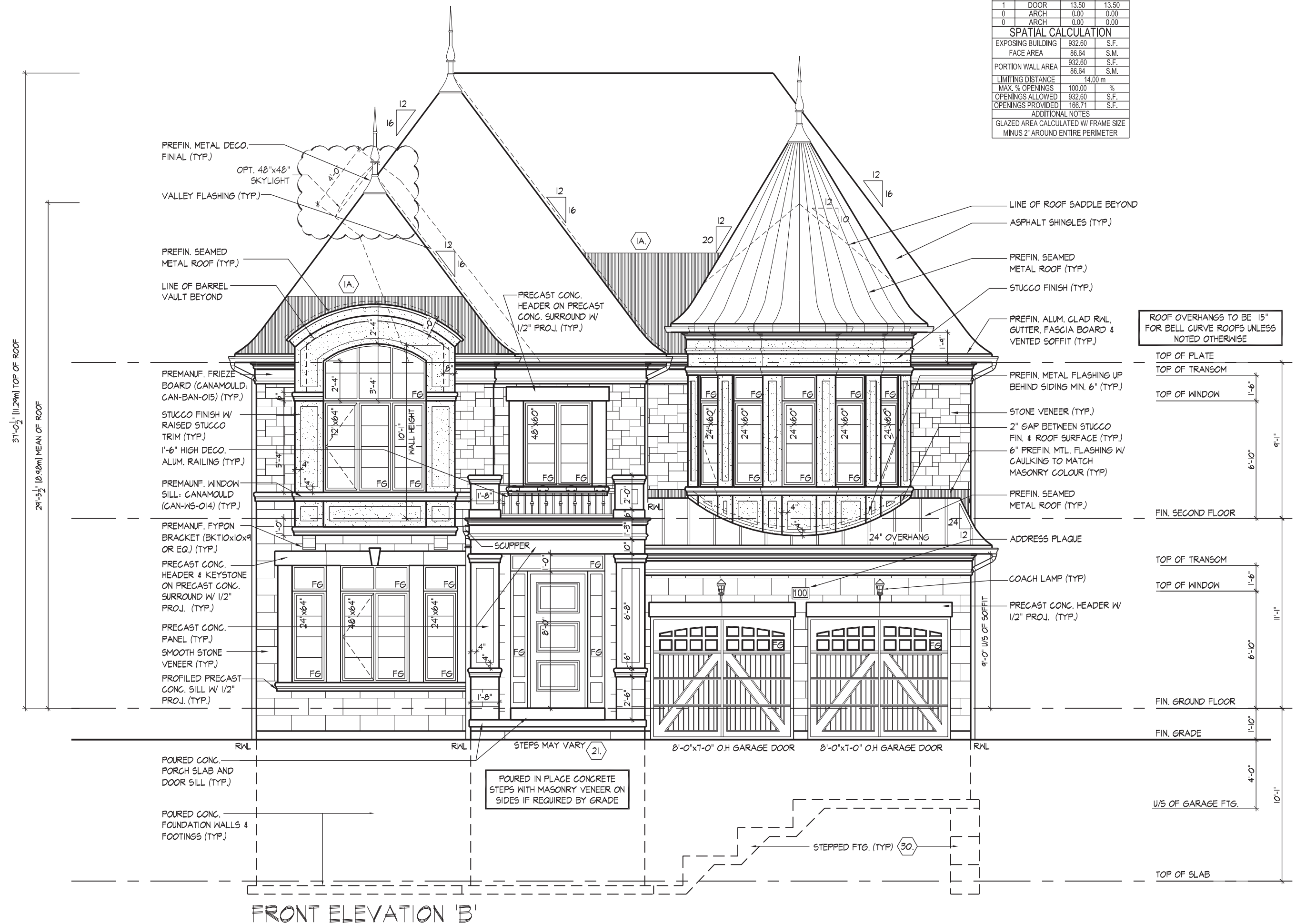
GOLDPARK HOMES - 221081
PINE VALLEY PH2, VAUGHAN, ON

RIGHT SIDE ELEVATION 'A'
UNIT 5005 - THE KNIGHTSWOOD
 REV.2022.03.25

Drawn By	Checked By	Scale	File Number	Page Number
MN	SB	3/16"=1'-0"	221081WS5005	17 of 29
8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326				



ROOF PLAN
ELEV. 'B'
N.T.S.



WINDOW SUMMARY				
PER O.B.C. TABLE 9.10.15.4				
FRONT ELEVATION B				
QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	
5	24"	60"	38.89	
1	48"	60"	17.11	
1	72"	64"	28.33	
7	24"	18"	1.81	
1	48"	64"	18.33	
1	48"	18"	4.28	
2	24"	64"	16.67	
0	0"	0"	0.00	
0	0"	0"	0.00	
1	ARCH	15.99	15.99	
1	DOOR	13.50	13.50	
0	ARCH	0.00	0.00	
0	ARCH	0.00	0.00	
SPATIAL CALCULATION				
EXPOSING BUILDING	832.60	S.F.		
FACE AREA	86.64	S.M.		
PORTION WALL AREA	86.64	S.M.		
LIMITING DISTANCE	14.00	m		
MAX. % OPENINGS	100.00	%		
OPENINGS ALLOWED	832.60	S.F.		
OPENINGS PROVIDED	166.71	S.F.		
ADDITIONAL NOTES				
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER				

ROOF OVERHANGS TO BE 15"
FOR BELL CURVE ROOFS UNLESS
NOTED OTHERWISE

TOP OF PLATE
TOP OF TRANSOM
TOP OF WINDOW
FIN. SECOND FLOOR
TOP OF TRANSOM
TOP OF WINDOW
FIN. GROUND FLOOR
FIN. GRADE
U/S OF GARAGE FTG.
TOP OF SLAB

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
DATE: MAY 27, 2022
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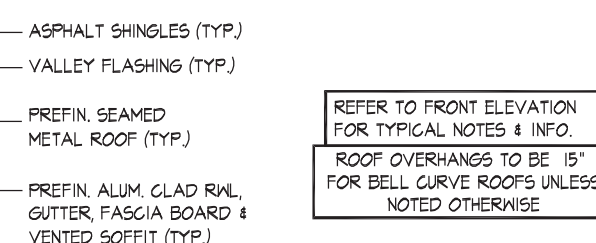


Diagram illustrating the vertical dimensions and material layers of a building section, showing the relationship between the ground level, foundation, and upper floors.

Vertical Dimensions (Left Side):

- 9'-1"
- 7'-10"
- 11'-1"
- 8'-6"
- 1'-0"
- 10'-1"

Material Layers and Levels (Right Side):

- PREMANUF. FRIEZE BOARD (CANAMOULD; CAN-BAN-OIS) (TYP.)
- STONE VENEER (TYP.)
- STUCCO FINISH W/ RAISED STUCCO TRIM (TYP.)
- FIN. SECOND FLOOR
- TOP OF WINDOW
- SMOOTH STONE VENEER (TYP.)
- PRECAST CONC. ACCENT PANELS (TYP.)
- FIN. GROUND FLOOR
- FIN. GRADE
- POURED CONC. PORCH SLAB (TYP.)
- POURED CONC. FOUNDATION WALLS & FOOTINGS (TYP.)
- TOP OF SLAB

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations. The Architectural Guidelines include zoning provisions and any provisions of the local government's subdivision and/or development agreement that may apply. Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to zoning or building code or permit matter or that any other codes may properly apply to the project. This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT
 ARCHITECTURAL CONTROL REVIEW
 AND APPROVAL

APPROVED BY: _____

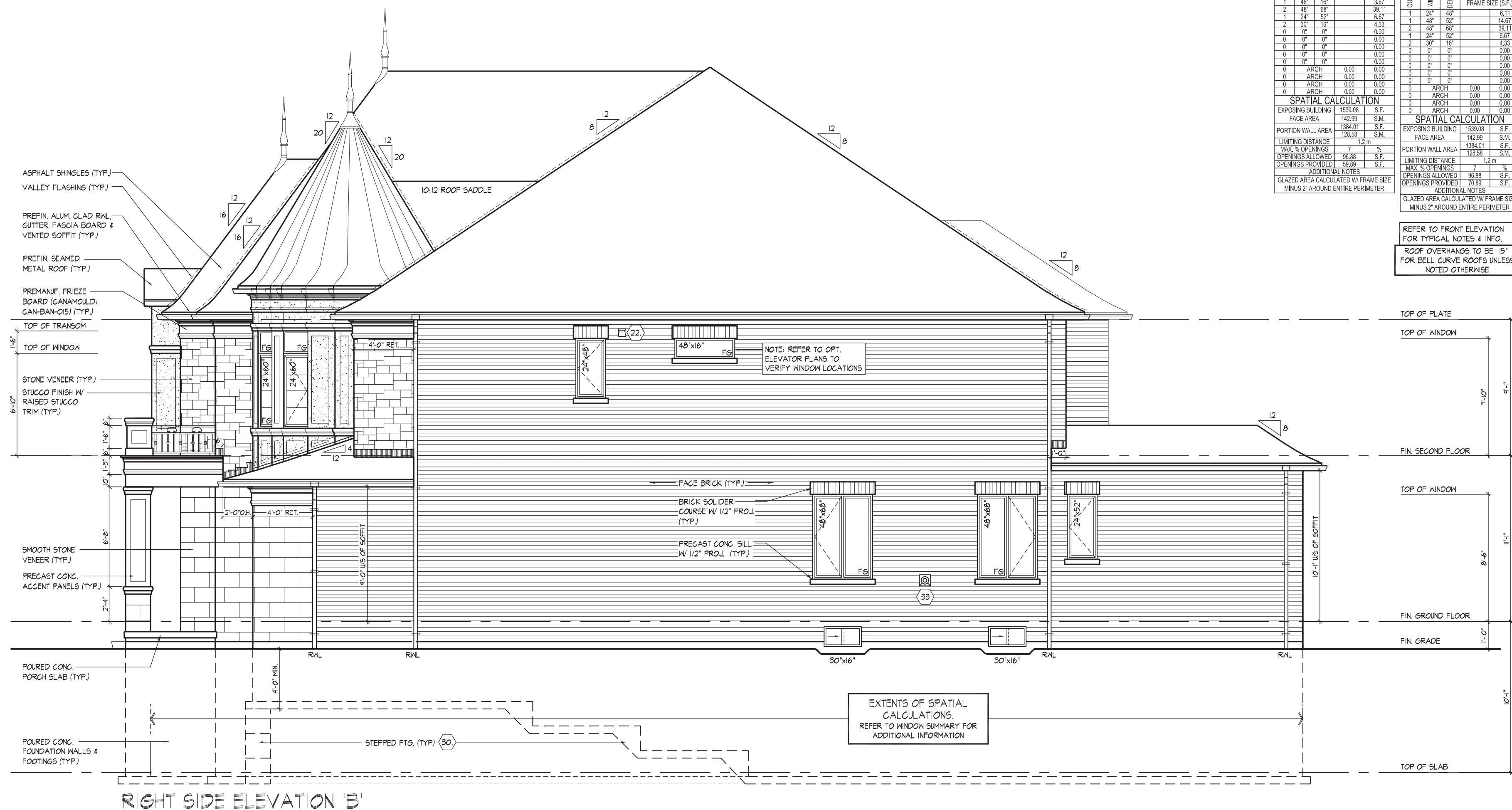
DATE: 10/27/2017

This stamp certifies compliance with the applicable
 Design Guidelines only and bears no further
 professional responsibility.



REFER TO FRONT ELEVATION
FOR TYPICAL NOTES & INFO.

ROOF OVERHANGS TO BE 18"
FOR BELL CURVE ROOFS UNLESS
NOTED OTHERWISE



RIGHT SIDE ELEVATION 'B'

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: 
DATE: MAY 27, 2022

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION

Allan Whiting 23

NAME SIGNATURE

REGISTRATION INFORMATION

HUNT DESIGN ASSOCIATES INC. 19

HUNT 
DESIGN ASSOCIATES INC.
www.huntdesign.ca

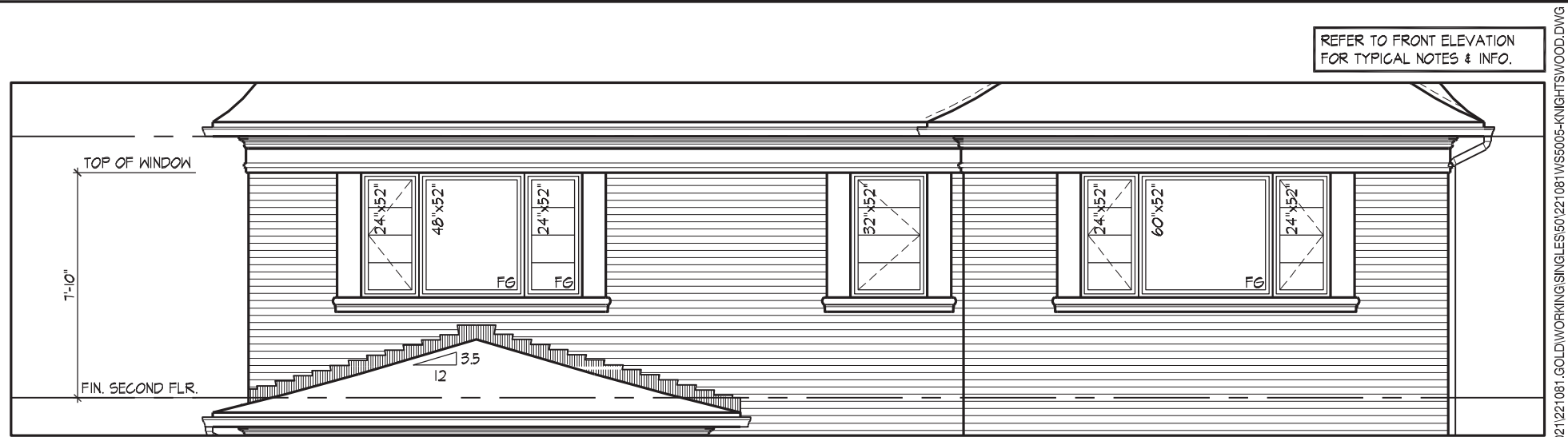
GOLDPARK HOMES - 221081
PINE VALLEY PH2, VAUGHAN, ON

Drawn By	Checked By	Scale
MN	SB	3/16"=1'-0"

8966 Woodbine Ave., Markham, ON L3R 0J7 T 905.737.5111

RIGHT SIDE ELEVATION 'B'
UNIT 5005 - THE KNIGHTSWOOD
REV.2022.03.25

File Number 221081WS5005 Page Number 20 of 29



PART. REAR ELEVATION 'B' - OPT. 5 BEDROOM &
OPT. 5 BEDROOM W/ ELEVATOR PLANS



UPGRADED REAR ELEVATION 'B'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot. This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
DATE: MAY 27, 2022
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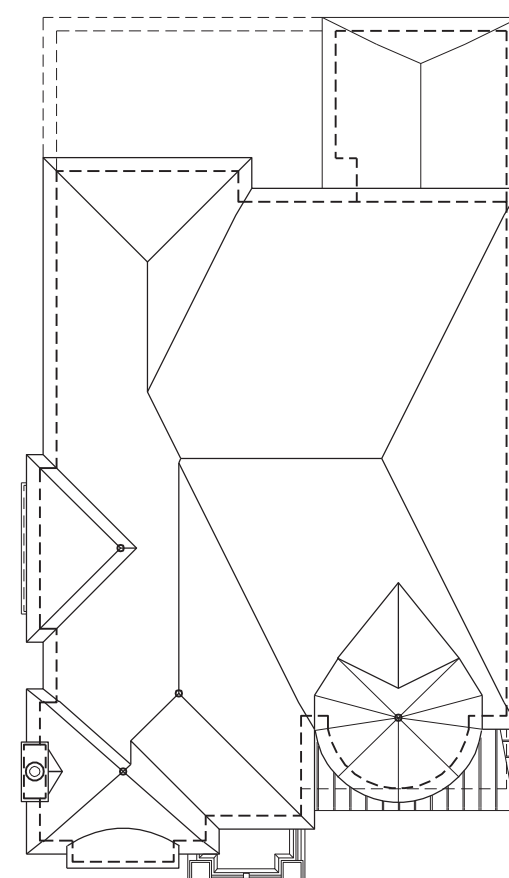
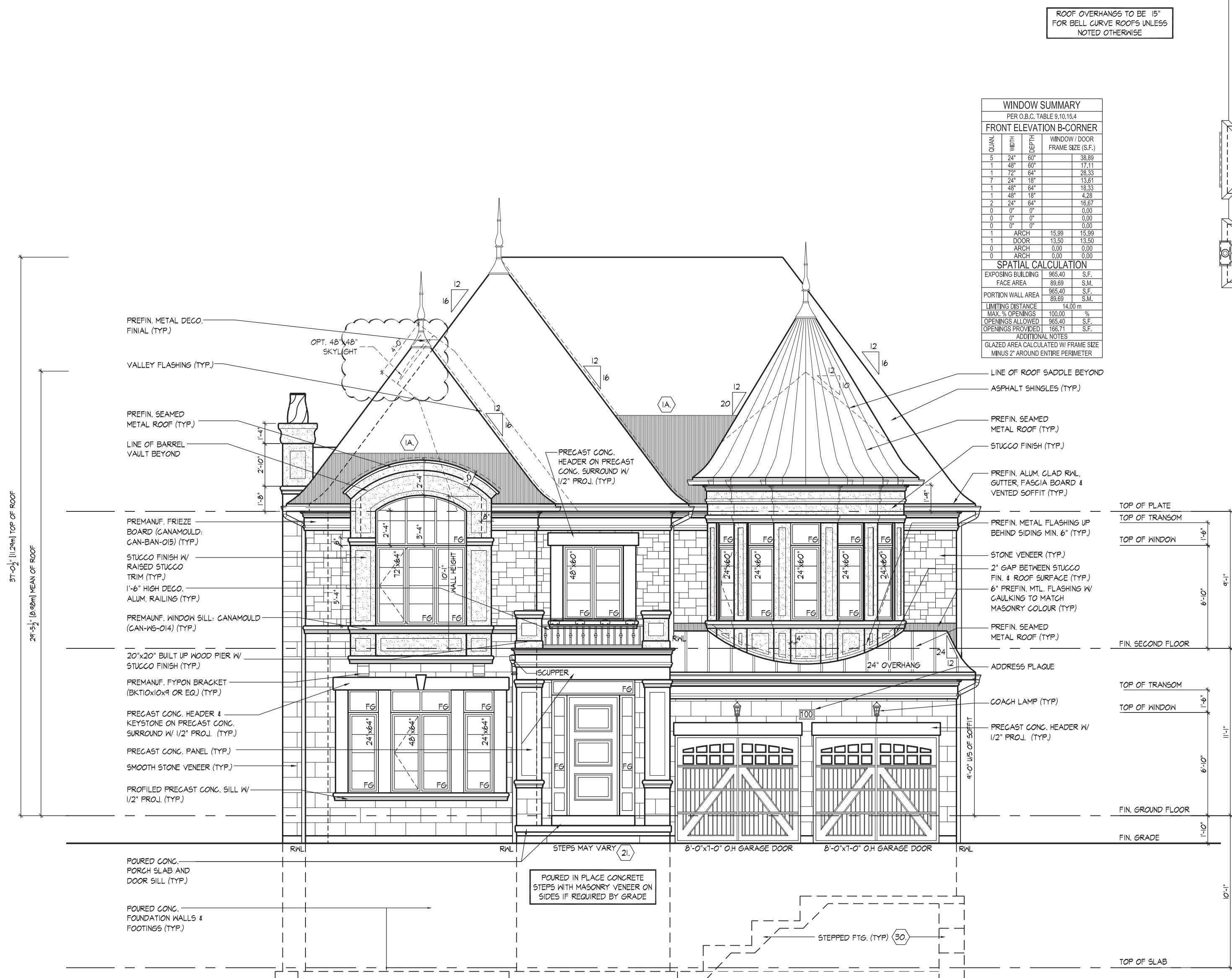
THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.
QUALIFICATION INFORMATION:
NAME: Allan Whiting
REGISTRATION INFORMATION: BCIN 23177
HUNT DESIGN ASSOCIATES INC. 19695

HUNT DESIGN ASSOCIATES INC.
DESIGN ASSOCIATES INC.
www.hunt-design.ca

GOLDPARK HOMES - 221081
PINE VALLEY PH2, VAUGHAN, ON
Drawn By: MN
Checked By: SB
Scale: 3/16"=1'-0"
8966 Woodbine Ave, Markham, ON L3R 0J7
T 905.737.5133 F 905.737.7326

UPGRADED REAR ELEVATION 'B'
UNIT 5005 - THE KNIGHTSWOOD
REV.2022.03.25

File Number: 221081WS005
Page Number: 21 of 29



ROOF PLAN
ELEV. 'B'
CORNER
N.T.S.

FRONT ELEVATION 'B' - CORNER

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all zoning regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Contractor/Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

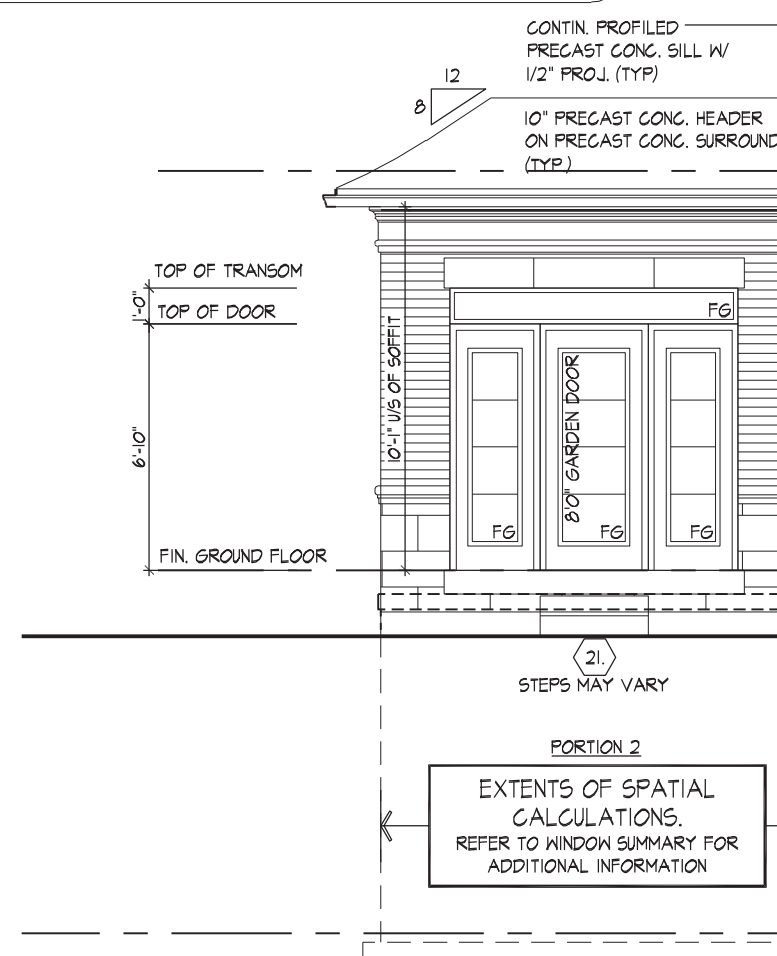
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: 

DATE: MAY 27, 2022

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Design Guidelines only and bears no further
professional responsibility.



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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: 
DATE: MAY 27, 2022

This stamp certifies compliance with the applicable
Design Guidelines only and bears no further
professional responsibility.



WINDOW SUMMARY				
PER O.B.C. TABLE 9.10.15.4				
RIGHT SIDE ELEVATION B - STD.				
QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	
1	24"	48"		6.11
1	48"	16"		3.67
2	48"	68"		38.11
1	24"	52"		6.67
2	30"	16"		4.33
0	0"	0"		0.00
0	0"	0"		0.00
0	0"	0"		0.00
0	0"	0"		0.00
0	ARCH	0.00		0.00
0	ARCH	0.00		0.00
0	ARCH	0.00		0.00
0	ARCH	0.00		0.00
SPATIAL CALCULATION				
EXPOSING BUILDING FACE AREA	1540.16	S.F.		
PORTION WALL AREA	143.09	S.M.		
PORTION WALL AREA	1540.16	S.F.		
PORTION WALL AREA	143.09	S.M.		
LIMITING DISTANCE	7	1.2 m		
MAX. % OPENINGS	7	%		
OPENINGS ALLOWED	107.81	S.F.		
OPENINGS PROVIDED	50.89	S.F.		
ADDITIONAL NOTES				
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER				

REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFO.
ROOF OVERHANGS TO BE "15" FOR BELL CURVE ROOFS UNLESS NOTED OTHERWISE

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY:
DATE: MAY 22, 2022
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THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.
QUALIFICATION INFORMATION:
NAME: Allan Whiting
REGISTRATION INFORMATION: BCIN 23177
HUNT DESIGN ASSOCIATES INC. 19695

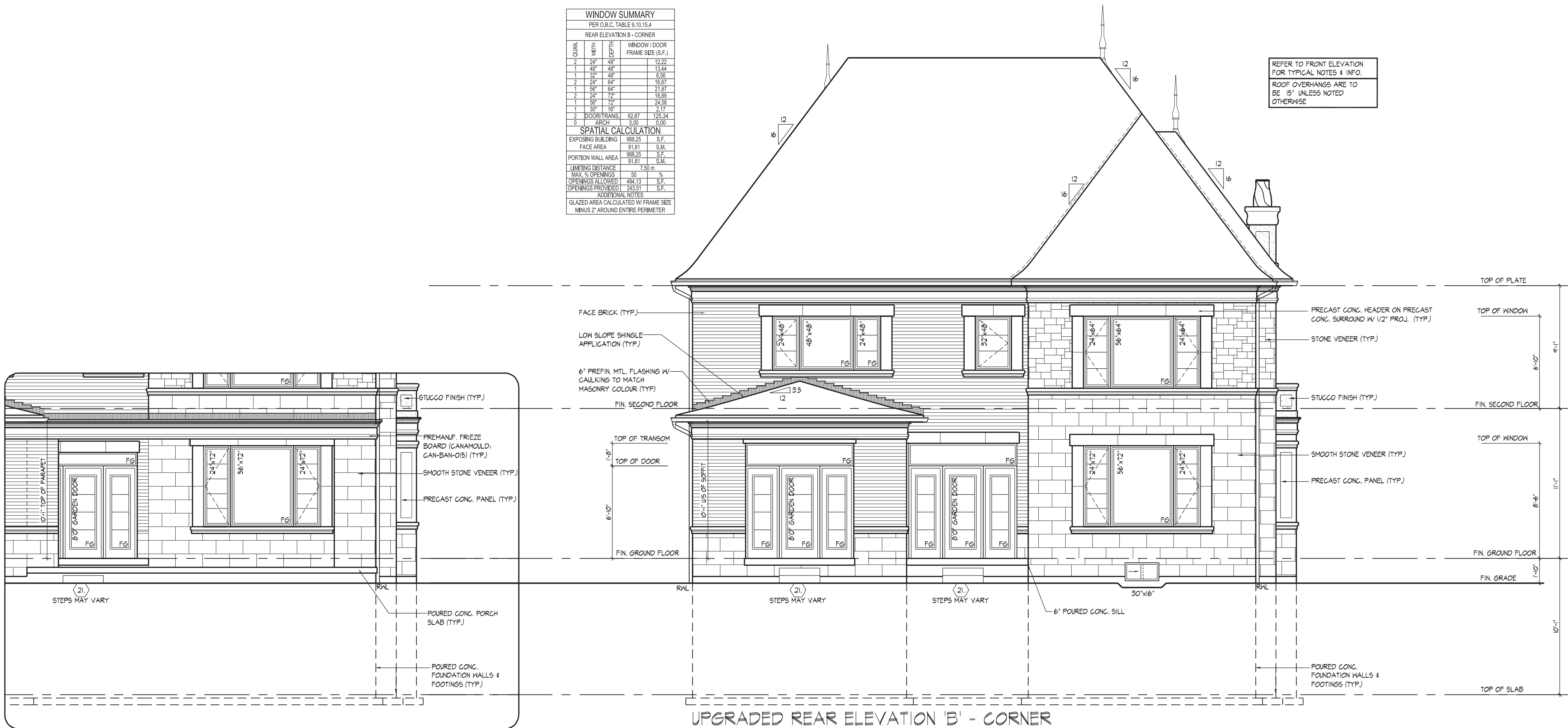
HUNT DESIGN ASSOCIATES INC.
www.hunt-design.ca

RIGHT SIDE ELEVATION 'B' - CORNER
GOLDPARK HOMES - 221081
PINE VALLEY PH2, VAUGHAN, ON
UNIT 5005 - THE KNIGHTSWOOD
REV.2022.03.25
Drawn By: MN
Checked By: SB
Scale: 3/16"=1'-0"
File Number: 221081WS5005
Page Number: 24 of 29
8966 Woodbine Ave, Markham, ON L3R 0J7
T 905.737.5133 F 905.737.7326

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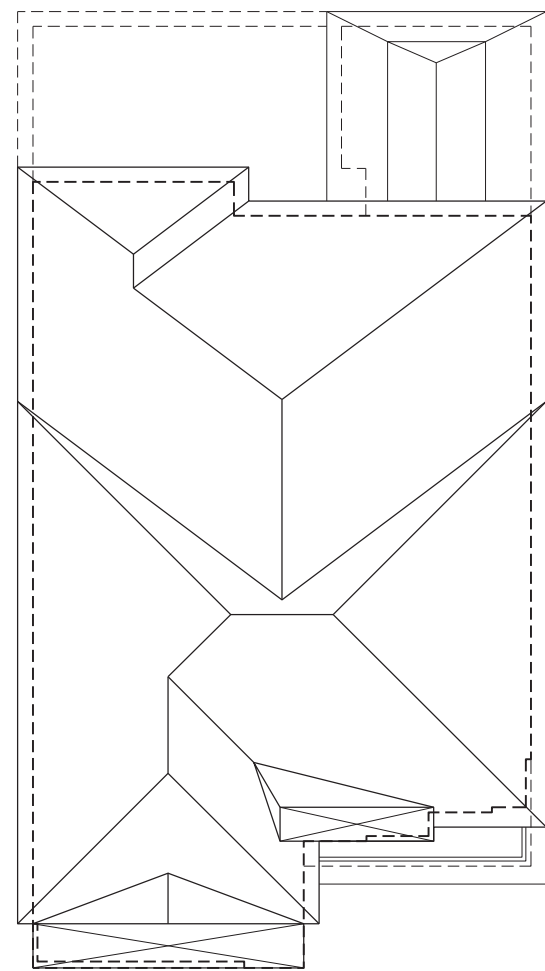
WINDOW SUMMARY			
PER O.B.C. TABLE 9.10.15.4			
REAR ELEVATION B - CORNER			
QTY	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)
2	24"	48"	12.22
1	48"	48"	13.44
1	32"	48"	8.56
2	24"	64"	16.67
1	56"	64"	21.87
2	24"	72"	18.09
1	56"	72"	24.56
1	30"	16"	2.17
2	DOOR/TRANS.		62.67
0	ARCH		0.00
SPATIAL CALCULATION			
EXPOSING BUILDING	988.25	S.F.	
FACE AREA	91.81	S.M.	
PORTION WALL AREA	988.25	S.F.	
	91.81	S.M.	
LIMITING DISTANCE	50	%	7.50 m
MAX. % OPENINGS	494.13	S.F.	
OPENINGS ALLOWED	243.51	S.F.	
OPENINGS PROVIDED			
ADDITIONAL NOTES			
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER			

REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFO.
ROOF OVERHANGS ARE TO BE 15" UNLESS NOTED OTHERWISE



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ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: MAY 22, 2022
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ROOF PLAN
ELEV. 'C'
N.T.S.

ASPHALT SHINGLES (TYP.)
VALLEY FLASHING (TYP.)
OPT. 48"x48" SKYLIGHT

LINE OF ROOF
SADDLE BEYOND
LINE OF RAISED
CEILING

ALUMINUM
GLAD WOOD
PANEL (TYP.)
PREMANUF. LONG
BOARD SIDING (TYP.)

ALUMINUM
PANELS (TYP.)

PRECAST CONC.
HEADER ON PRECAST
CONC. SURROUND W/
1/2" PROJ. (TYP.)

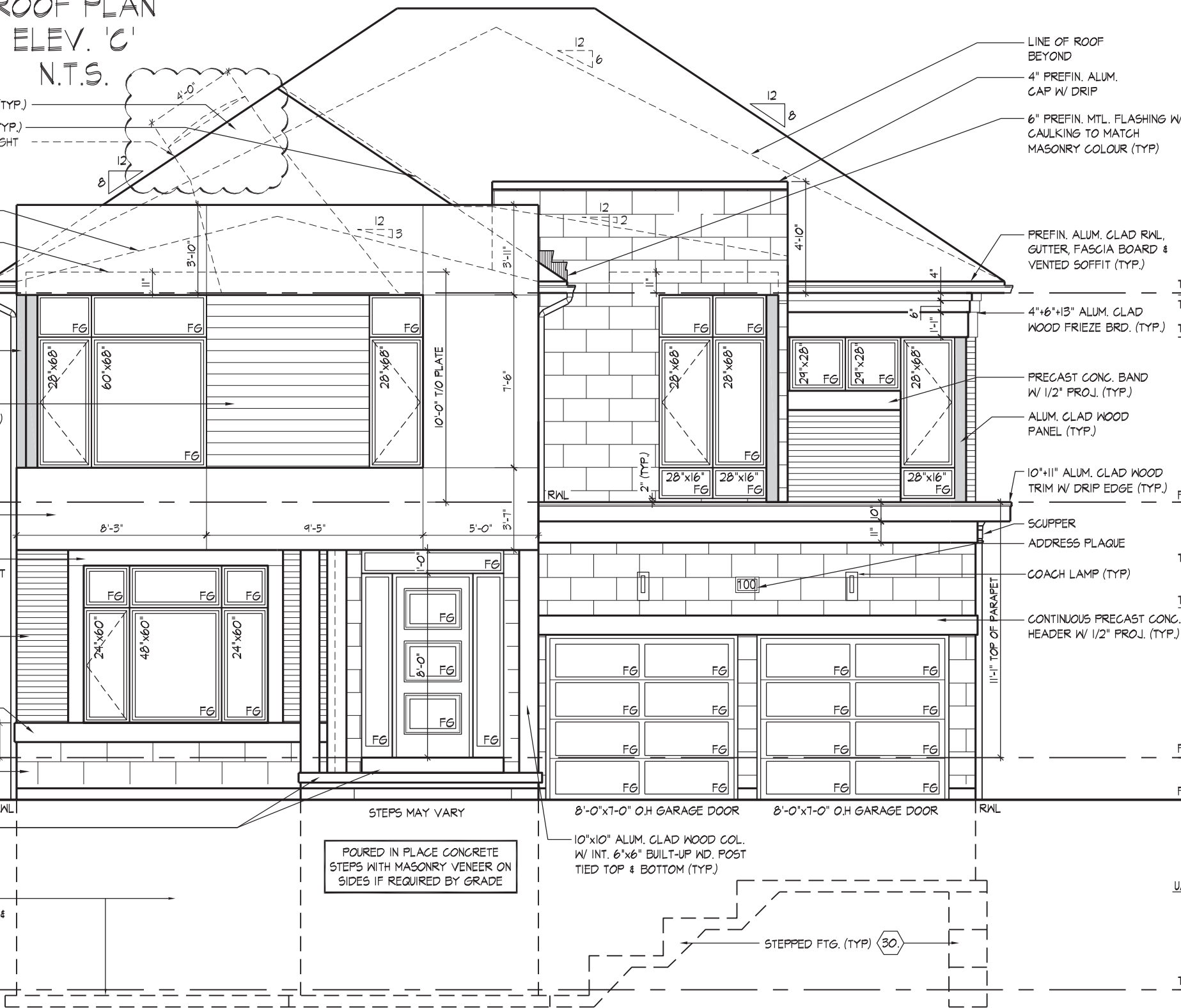
FACE BRICK (TYP.)

10" PRECAST
CONC. BAND W/
1/2" PROJ. (TYP.)

SMOOTH STONE
VENEER (TYP.)

POURED CONC.
PORCH SLAB AND
DOOR SILL (TYP.)

POURED CONC.
FOUNDATION WALLS &
FOOTINGS (TYP.)



FRONT ELEVATION 'C'

LINE OF ROOF
BEYOND
4" PREFIN. ALUM.
CAP W/ DRIP
6" PREFIN. MTL. FLASHING W/
CAULKING TO MATCH
MASONRY COLOUR (TYP.)

PREFIN. ALUM. GLAD RNL.
GUTTER, FASCIA BOARD &
VENTED SOFFIT (TYP.)

4"x6"x13" ALUM. GLAD
WOOD FRIEZE BRD. (TYP.)

PRECAST CONC. BAND
W/ 1/2" PROJ. (TYP.)
ALUM. GLAD WOOD
PANEL (TYP.)

10"x11" ALUM. GLAD WOOD
TRIM W/ DRIP EDGE (TYP.)

SCUPPER
ADDRESS PLAQUE

COACH LAMP (TYP.)

CONTINUOUS PRECAST CONC.
HEADER W/ 1/2" PROJ. (TYP.)

11"x1" TOP OF PARAPET

FIN. SECOND FLOOR

TOP OF TRANSOM

TOP OF WINDOW

FIN. GROUND FLOOR

FIN. GRADE

U/S OF GARAGE FTG.

TOP OF SLAB

WINDOW SUMMARY				WINDOW SUMMARY			
PER O.B.C. TABLE 9.10.15.4				PER O.B.C. TABLE 9.10.15.4			
FRONT ELEVATION C				REAR ELEVATION C - ALL PLANS			
QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)
2	24"	60"	15.56	4	24"	52"	26.67
1	48"	60"	17.11	1	48"	52"	14.67
1	60"	60"	24.69	1	32"	52"	9.33
5	28"	60"	53.33	1	60"	52"	18.67
2	28"	28"	8.33	2	24"	72"	18.89
3	28"	18"	6.00	1	60"	72"	26.67
4	28"	22"	12.00	1	30"	16"	2.17
2	24"	22"	5.00	0	0"	0"	0.00
1	48"	22"	5.50	2	DOORTRANS.		62.67
1	60"	22"	7.00	0	ARCH		0.00
1	DOOR		32.42				
0	DOOR		0.00				
0	ARCH		0.00				
0	ARCH		0.00				
SPATIAL CALCULATION				SPATIAL CALCULATION			
EXPOSING BUILDING	938.86	S.F.		EXPOSING BUILDING	938.97	S.F.	
FACE AREA	87.22	S.M.		FACE AREA	87.33	S.M.	
PORTION WALL AREA	87.22	S.M.		PORTION WALL AREA	87.33	S.M.	
LIMITING DISTANCE	14.00	m		LIMITING DISTANCE	7.50	m	
MAX. % OPENINGS	100.00	%		MAX. % OPENINGS	50	%	
OPENINGS ALLOWED	938.86	S.F.		OPENINGS ALLOWED	469.99	S.F.	
OPENINGS PROVIDED	187.14	S.F.		OPENINGS PROVIDED	242.17	S.F.	
ADDITIONAL NOTES				ADDITIONAL NOTES			
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER				GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER			

TOP OF PLATE

TOP OF TRANSOM

TOP OF WINDOW

FIN. SECOND FLOOR

TOP OF TRANSOM

TOP OF WINDOW

FIN. GROUND FLOOR

FIN. GRADE

U/S OF GARAGE FTG.

TOP OF SLAB

FIN. GROUND FLOOR

FIN. GRADE

U/S OF GARAGE FTG.

TOP OF SLAB

FIN. GROUND FLOOR

FIN. GRADE

U/S OF GARAGE FTG.

TOP OF SLAB

FIN. GROUND FLOOR

FIN. GRADE

U/S OF GARAGE FTG.

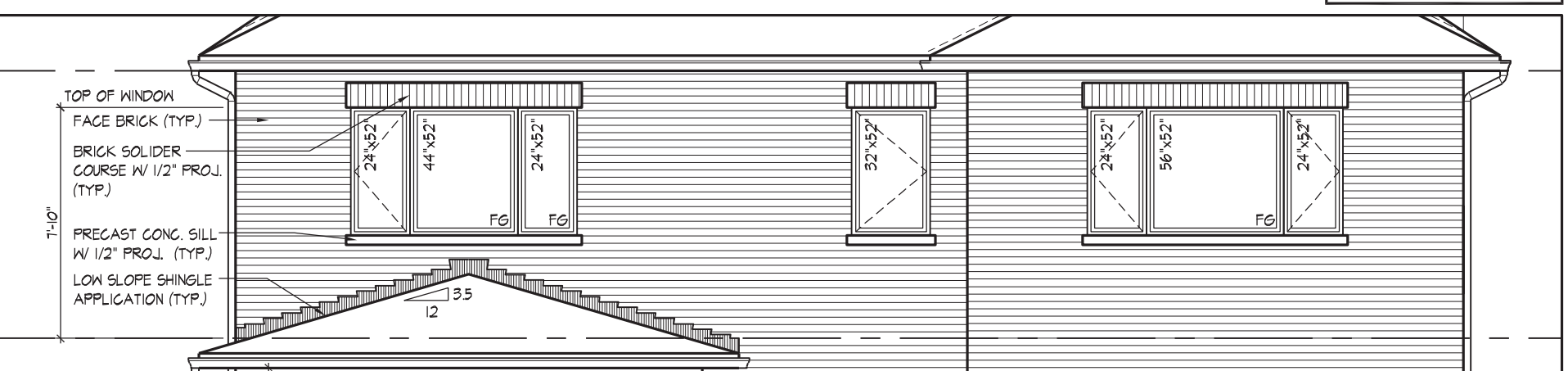
TOP OF SLAB

FIN. GROUND FLOOR

FIN. GRADE

U/S OF GARAGE FTG.

TOP OF SLAB



PART. REAR ELEVATION 'C' - OPT. 5 BEDROOM &
OPT. 5 BEDROOM W/ ELEVATOR PLANS

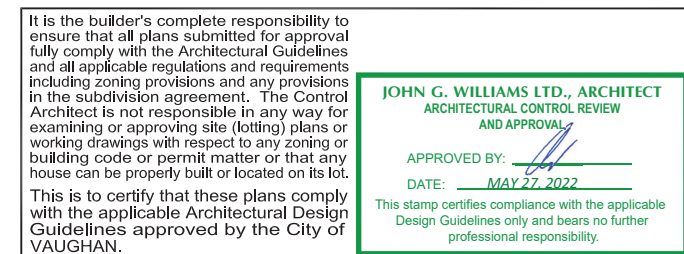
REFER TO FRONT ELEVATION
FOR TYPICAL NOTES & INFO.
ROOF OVERHANGS ARE TO
BE 15" UNLESS NOTED
OTHERWISE

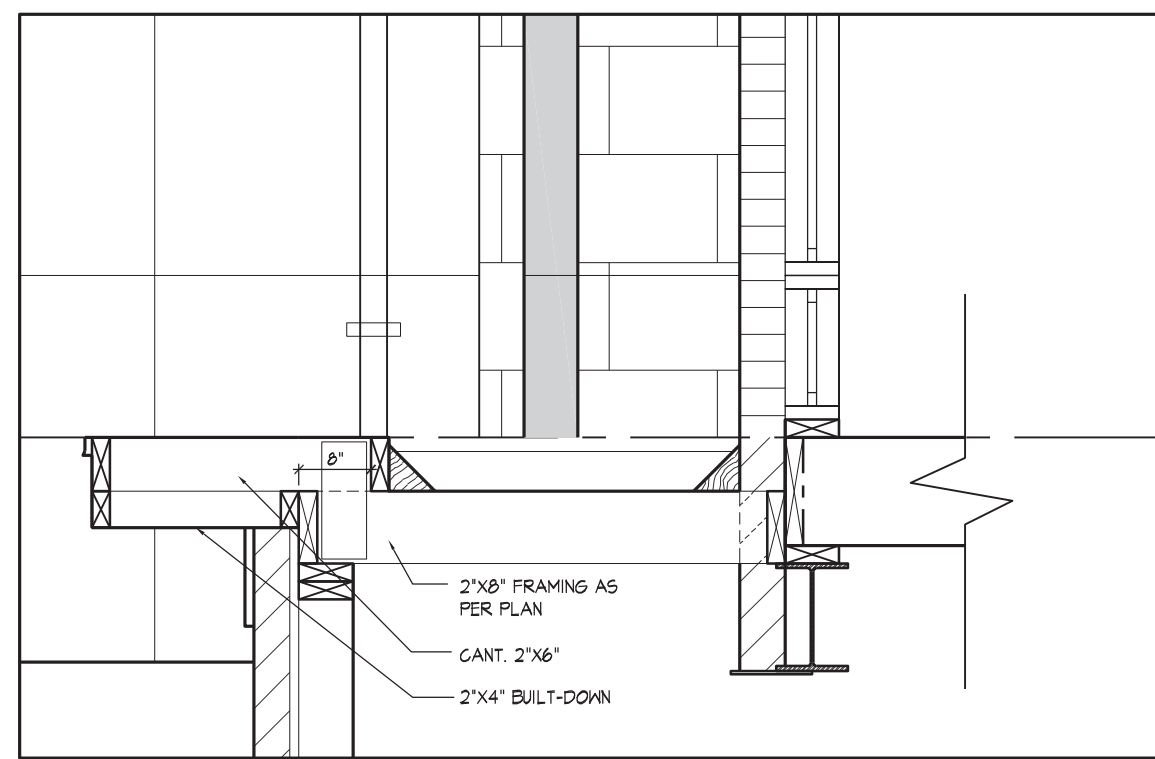


REAR ELEVATION 'C'

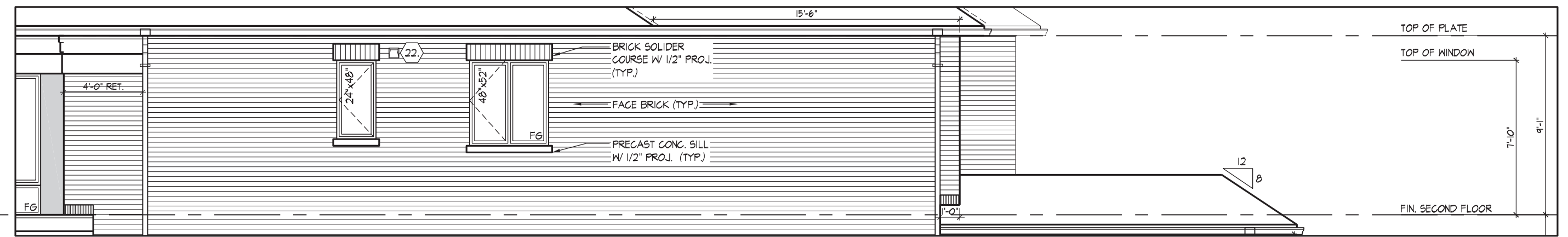
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ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: MAY 27, 2022
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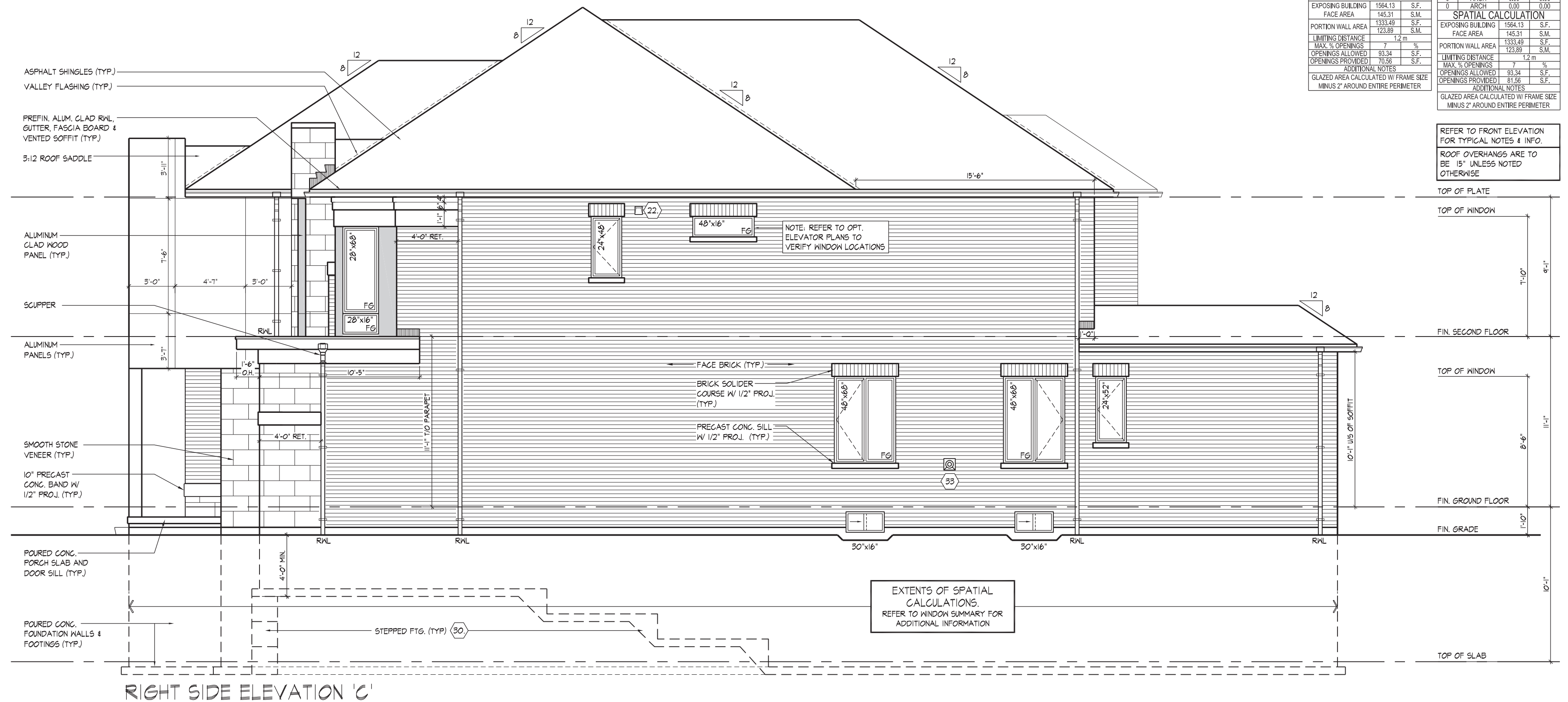


SECTION C
N.T.S



PART. RIGHT SIDE ELEVATION 'C' - OPT. 5 BEDROOM PLAN & OPT. 5 BEDROOM W/ ELEVATOR PLAN

WINDOW SUMMARY				WINDOW SUMMARY			
PER Q.B.C. TABLE 9.10.15.4				PER Q.B.C. TABLE 9.10.15.4			
RIGHT SIDE ELEVATION C - STD.				OPT. RIGHT SIDE EL. "C" FOR 5 BED, & 5 BED W/ OPT. FOR ELEVATOR COND.			
QUAN.	2ND DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)		QUAN.	2ND DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	
1	48" 16"	6.11		1	24"	48"	6.11
1	48" 16"	39.11		1	48" 52"	34.67	
2	48" 68"	2.7		2	24" 52"	16.11	
2	30" 16"	4.33		2	30" 16"	4.33	
1	28" 68"	10.67		1	28" 68"	10.67	
0	0" 0"	0.00		0	0" 0"	0.00	
0	0" 0"	0.00		0	0" 0"	0.00	
0	0" 0"	0.00		0	0" 0"	0.00	
0	ARCH	0.00		0	ARCH	0.00	
0	ARCH	0.00		0	ARCH	0.00	
0	ARCH	0.00		0	ARCH	0.00	
0	ARCH	0.00		0	ARCH	0.00	
SPATIAL CALCULATION				SPATIAL CALCULATION			
EXPOSING BUILDING FACE AREA		1564.13	S.F.	EXPOSING BUILDING FACE AREA		1564.13	S.F.
PORTION WALL AREA		1333.49	S.F.	PORTION WALL AREA		1333.49	S.F.
LIMITING DISTANCE		12.0	m	LIMITING DISTANCE		12.0	m
MAX. % OPENINGS		7	%	MAX. % OPENINGS		7	%
OPENINGS ALLOWED		93.34	S.F.	OPENINGS ALLOWED		93.34	S.F.
OPENINGS PROVIDED		70.56	S.F.	OPENINGS PROVIDED		81.56	S.F.
ADDITIONAL NOTES				ADDITIONAL NOTES			
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS Z' AROUND ENTIRE PERIMETER				GLAZED AREA CALCULATED W/ FRAME SIZE MINUS Z' AROUND ENTIRE PERIMETER			



RIGHT SIDE ELEVATION 'C'

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: 
DATE: MAY 27, 2022

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professional responsibility.

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QUALIFICATION INFORMATION

Allan Whiting 23

NAME SIGNATURE

REGISTRATION INFORMATION

HUNT DESIGN ASSOCIATES INC. 19

HUNT 
DESIGN ASSOCIATES INC.
www.huntdesign.ca

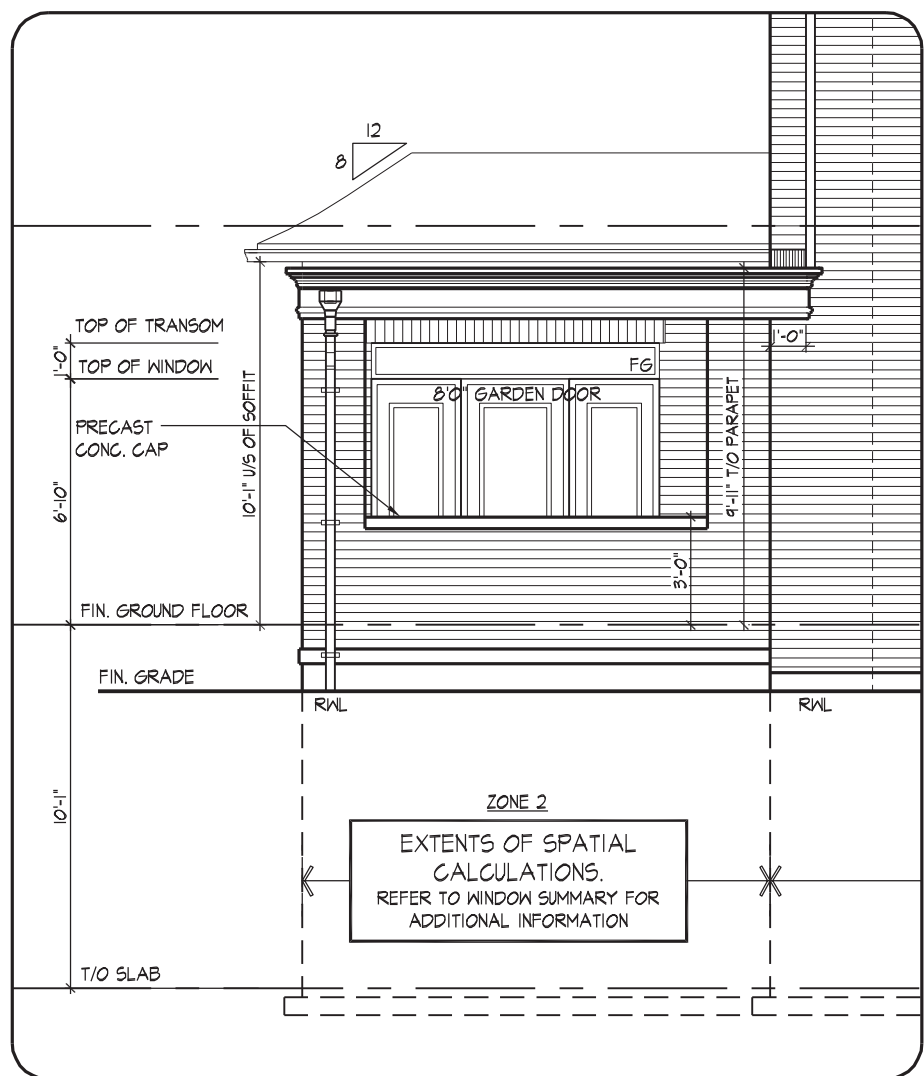
GOLDPARK HOMES - 221081
PINE VALLEY PH2, VAUGHAN, ON

Drawn By	Checked By	Scale
MN	SB	3/16"=1'-0"

8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133

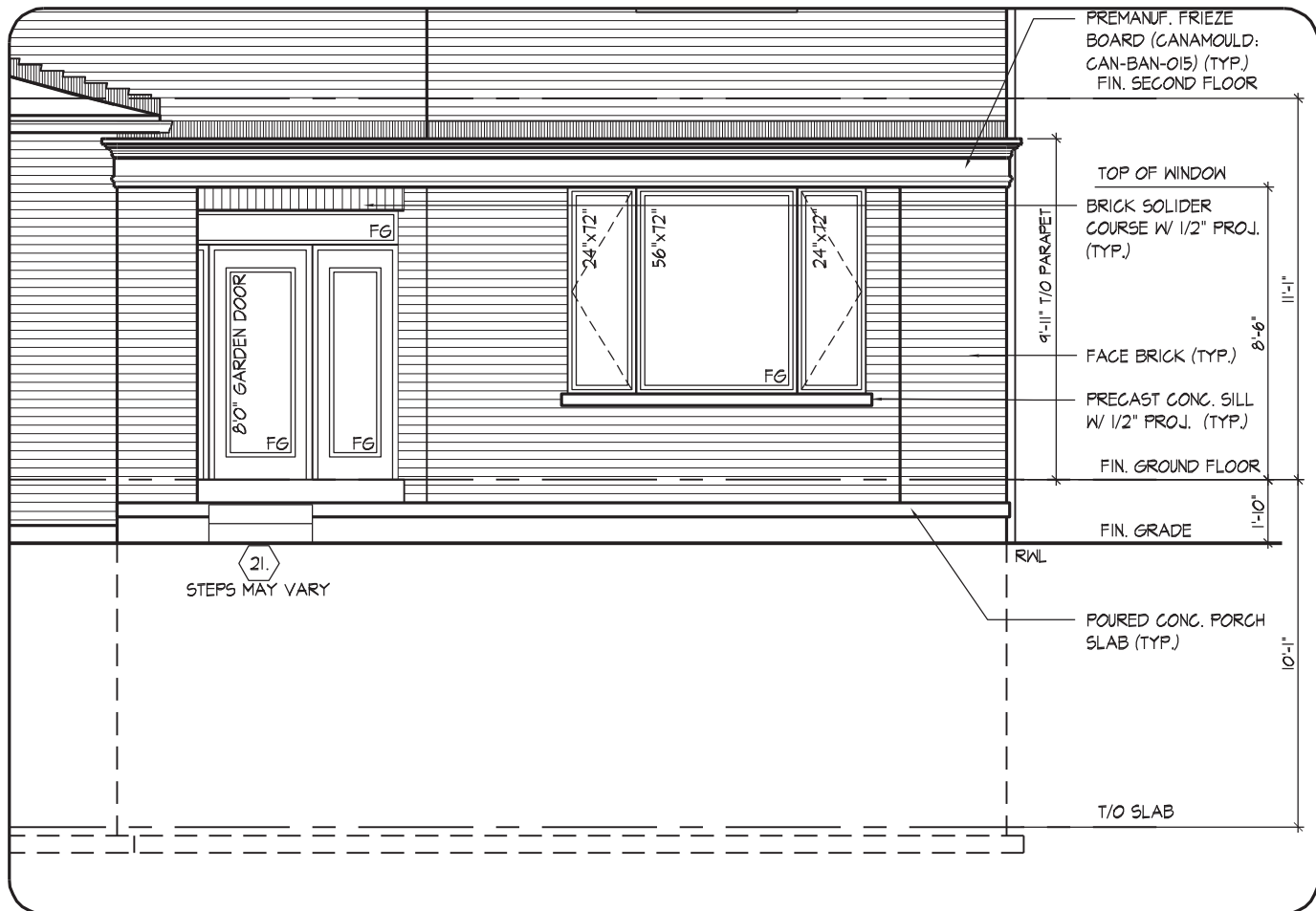
RIGHT SIDE ELEVATION 'C'
UNIT 5005 - THE KNIGHTSWOOD
REV.2022.03.25

Page Number
8 of 29



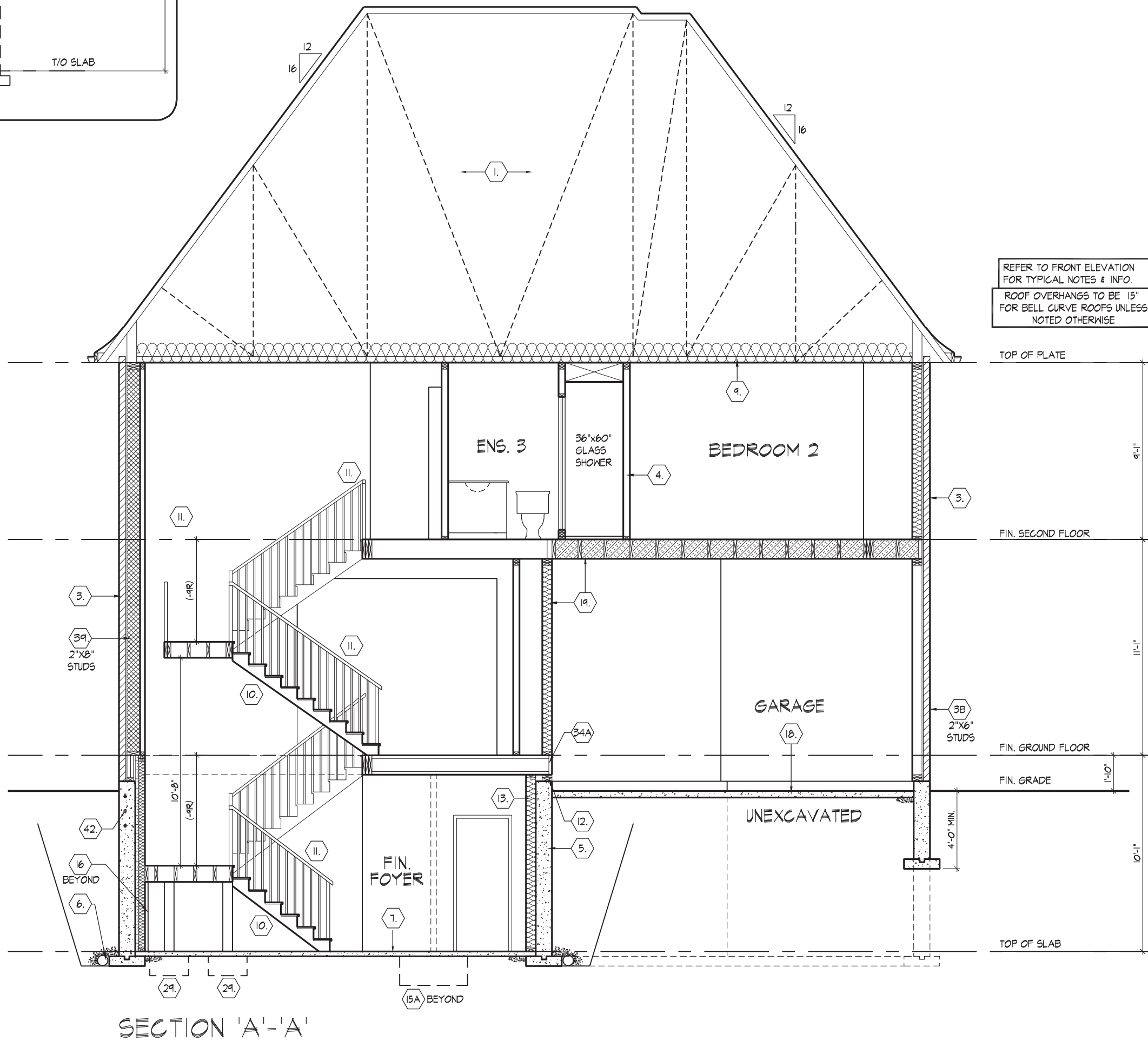
PART. LEFT SIDE ELEVATION 'A'
OPT. LOGGIA (ELEV. 'B' & 'C' SIMILAR)

REFER TO FRONT ELEVATION
FOR TYPICAL NOTES & INFO.
ROOF OVERHANGS TO BE 15"
FOR BELL CURVE ROOFS UNLESS
NOTED OTHERWISE



PART. REAR ELEVATION 'A'
OPT. LOGGIA (ELEV. 'B' & 'C' SIMILAR)

REFER TO FRONT ELEVATION
FOR TYPICAL NOTES & INFO.
ROOF OVERHANGS TO BE 15"
FOR BELL CURVE ROOFS UNLESS
NOTED OTHERWISE



SECTION 'A'-A'



wsp

100 COMMERCE VALLEY DR. W.
THORNHILL, ONTARIO CANADA L3T 0A1
TEL: 1-905-882-4211 FAX: 1-905-882-9553 WWW.WSPGROUP.CA

FOR STRUCTURAL ONLY. EXCLUDING
ENGINEERED ROOF TRUSS, FLOOR
JOIST, AND FLOOR LVL BEAM DESIGN.

CROSS SECTION 'A-A' & PART. LEFT & REAR ELEV. 'A' FOR OPT. LOGGIA (EL. 'B' & 'C' SIMILAR)
GOLDPARK HOMES - 221081 UNIT 5005 - THE KNIGHTSWOOD
PINE VALLEY PH2, VAUGHAN, ON REV.2022.03.25

Drawn By	Checked By	Scale	File Number	Page Number
MN	SB	3/16"=1'-0"	221081WS5005	28 of 29

8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

HUNT DESIGN ASSOCIATES INC. 19695

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION: Allan Whiting, BCIN, 23177

NAME: HUNT DESIGN ASSOCIATES INC. REGISTRATION NUMBER: 19695

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: MAY 27, 2022
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

NOTE:
REFER TO STANDARD FLOOR
PLANS FOR COMPLETE DIMENSIONS
& STRUCTURAL INFORMATION

NOTE:
REFER TO STANDARD FLOOR
PLANS FOR COMPLETE DIMENSIONS
& STRUCTURAL INFORMATION

WINDOW SUMMARY				WINDOW SUMMARY				
PER O.B.C. TABLE 9.0.1/5.4				PER O.B.C. TABLE 9.0.1/5.4				
REAR ELEVATION & A-B ALL PLANS				REAR ELEVATION & C-ALL PLANS				
QUAL.	DEPTH (S.F.)	WINDOW / DOOR FRAME SIZE (S.F.)	QUAL.	DEPTH (S.F.)	WINDOW / DOOR FRAME SIZE (S.F.)	QUAL.	DEPTH (S.F.)	WINDOW / DOOR FRAME SIZE (S.F.)
4	24" 52"	26.67	4	24" 52"	26.67			
1	44" 52"	13.33	1	48" 52"	14.67			
1	44" 52"	9.33	1	48" 52"	10.67			
1	56" 52"	16.67	1	60" 52"	18.67			
2	24" 72"	18.89	2	24" 72"	18.89			
1	40" 72"	12.22	1	40" 72"	12.22			
1	30" 24"	3.61	1	30" 24"	3.61			
2	DOOR / TRANS.	62.67	2	DOOR / TRANS.	62.67			
0	ARCH	0.00	0	ARCH	0.00			
SPATIAL CALCULATION				SPATIAL CALCULATION				
EXPOSING AREA: 990.56 S.F.				EXPOSING AREA: 1016.36 S.F.				
FACE AREA: 92.26 S.F.				FACE AREA: 94.42 S.F.				
PORTION WALL AREA: 993.06 S.F.				PORTION WALL AREA: 1016.36 S.F.				
LIMITING DISTANCE: 7.50 S.F.				LIMITING DISTANCE: 9.40 S.F.				
MAX % OPENINGS: 50 %				MAX % OPENINGS: 50 %				
OPENINGS ALLOWED: 243.95 S.F.				OPENINGS ALLOWED: 243.95 S.F.				
ADDITIONAL NOTES:				ADDITIONAL NOTES:				
GLAZED AREA CALCULATED IN FRAME SIZE				GLAZED AREA CALCULATED IN FRAME SIZE				
MINUS GLAZED IN FRAME SIZE				MINUS GLAZED IN FRAME SIZE				



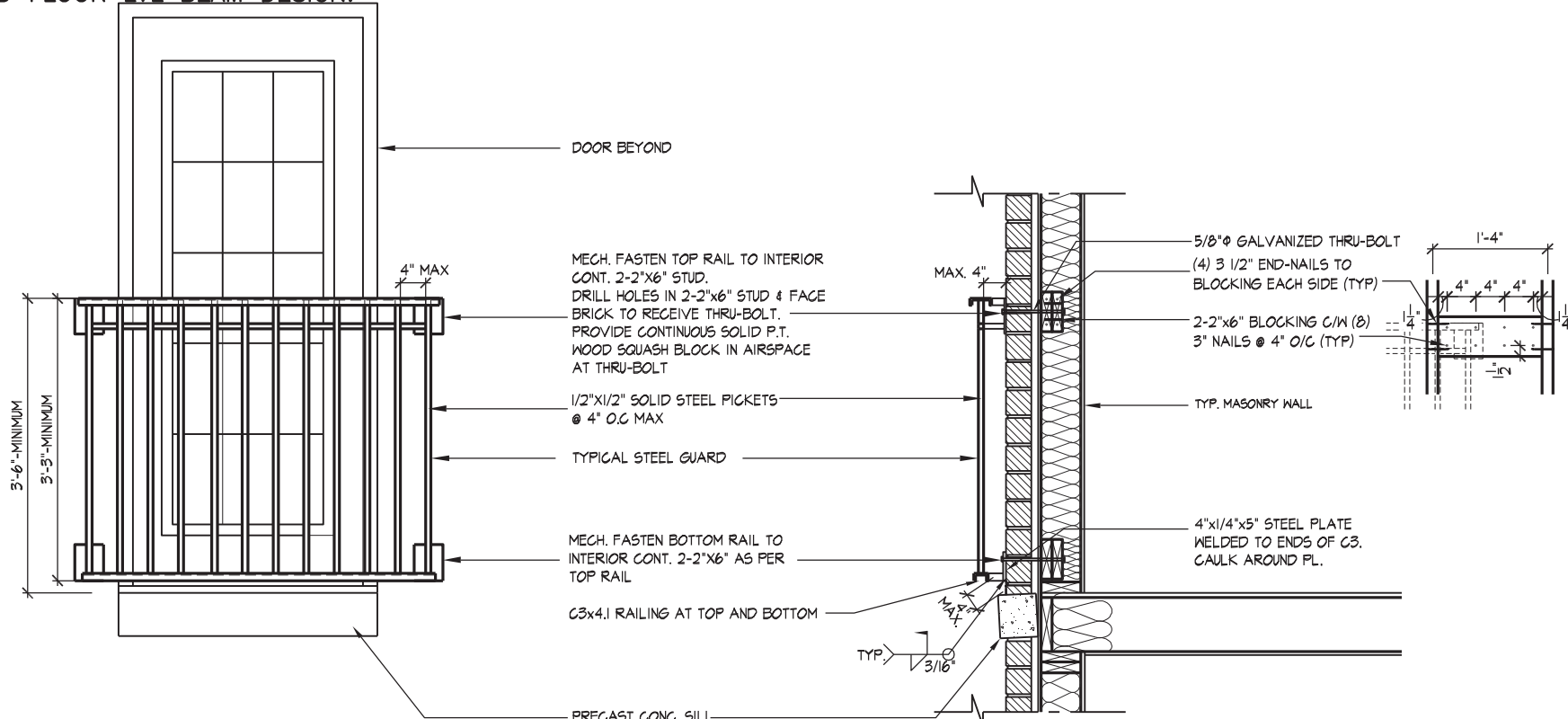
REFER TO FRONT ELEVATION & STANDARD
REAR FOR TYPICAL NOTES & INFO.



PART. LEFT SIDE ELEV. 'A', 'B', & 'C'
W.O.D. CONDITION



~~FOR STRUCTURAL ONLY. EXCLUDING
ENGINEERED ROOF TRUSS, FLOOR
JOIST, AND FLOOR LVL BEAM DESIGN~~



GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE TO THE O.B.C
2. ALL EXPOSED METAL SHALL BE PRIMED AND PAINTED TO PREVENT CORROSION
3. ALL HOLES THRU MASONRY AND WOOD SHALL BE MECH. DRILLED-PAK ALL EXPOSED HOLES WITH CAULKING AFTER ALL WELDING IS COMPLETE

1.C1 TYPICAL STEEL GUARD DETAIL AT SECOND FLOOR JULIET BALCONY
1/2" = 1'-0"

WINDOW SUMMARY			
PER O.B.C. TABLE 9-10.15.4			
LEFT SIDE ELEVATION - PORTION 1			
QUAN.	UNIT	WINDOW / DOOR FRAME SIZE	
2	28"	48"	6.11
2	28"	52"	16.00
2	48"	60"	34.22
1	72"	78"	30.22
2	30"	16"	4.33
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00
0	0"	0"	0.00
SPATIAL CALCULATION			
EXPOSING BUILDING		1584.59	S.F.
FACE AREA		147.21	S.F.
PORTION WALL AREA		1405.84	S.F.
		130.61	S.F.
LIMITING DISTANCE		12.2m	
MAX. % OPENINGS		%	
OPENINGS ALLOWED		98.41	S.F.
OPENINGS PROVIDED		90.89	S.F.
ADDITIONAL NOTES			
GLAZED AREA CALCULATED W/ FRAME SIZE			
MINUS 3" AIR GAP ENTIRE PERIMETER			

WINDOW SUMMARY			
PER O.B.C. TABLE 9.10.15.4.5			
LEFT SIDE ELEVATION A - PORTION 2			
QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)
1	18"	96"	8.94
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
2	DOOR GLZ.	8.25	16.50
1	ARCH	11.00	11.00
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00
SPATIAL CALCULATION			
EXPOSING BUILDING		1984.59	
FACE AREA		147.21 S.F.	
PORTION WALL AREA		178.75 S.F.	
LIMITING AREA		166.61 S.F.	
WALLING DISTANCE		9.0 m	
MAX. % OPENING		34 %	
OPENINGS ALLOWED		60.78 S.F.	
OPENINGS PROVIDED		36.44 S.F.	
ADDITIONAL NOTES			
GLAZED AREA CALCULATED W/ FRAME SIZE			
MIN 3" ZERO ENTIRE PERIMETER			

WINDOW SUMMARY			
PER OBS.C. TABLE 9.10.15.4			
LEFT SIDE ELEVATION B - PORTION 1			
QUAN.	TYPE	FINISH	WINDOW / DOOR FRAME SIZE (S.F.)
2	28"	0"	6.11
2	28"	52"	16.22
2	46"	60"	34.00
2	72"	68"	30.22
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00
SPATIAL CALCULATION			
EXPOSING BUILDING		1582.20	S.F.
FACE AREA		146.99	S.F.
PORTION WALL AREA		1381.47	S.F.
		123.34	S.F.
LIMITING DISTANCE			12 m
MAX. % OPENINGS		7	%
OPENING AREA		96.70	S.F.
OPENINGS PERCENTAGE		90.89	%
ADDITIONAL NOTES			
GLAZED AREA CALCULATED W/ FRAME SIZE			

WINDOW SUMMARY			
PER O.C. TABLE 9.10.1.5.4			
LEFT SIDE ELEVATION B - PORTION 2			
O	QUAN.	UNIT	WINDOW / DOOR FRAME SIZE (S.F.)
0	0'	0"	0.00
0	0'	0"	0.00
0	0'	0"	0.00
0	0'	0"	0.00
0	0'	0"	0.00
0	0'	0"	0.00
0	0'	0"	0.00
0	0'	0"	0.00
4	DOOR GLZ.	8.25	16.61
1	DOOR GLZ.	11.00	11.00
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00
SPATIAL CALCULATION			
EXPOSING BUILDING FACE AREA		1592.20	S.F.
		146.99	S.F.
PORTION WALL AREA		178.75	S.F.
		16.61	S.F.
LIMITING DISTANCE		9.0 m	
MAX. % OPENINGS		34	%
OPENING ALLOWED		69.78	S.F.
OPENINGS EXCLUDED		27.50	S.F.
ADDITIONAL NOTES			
GLAZED AREA CALCULATED W/ FRAME SIZE			
MINUS 0.00 W/ ENTIRE GEOMETRIES			

WINDOW SUMMARY			
PER O.C.B. TABLE C-10.1.5.4			
LEFT SIDE ELEVATION - PORTION 1			
QUAN.	TYPE	FIN.	WINDOW / DOOR FRAME SIZE (S.F.)
2	24"	48"	16.00
2	28"	52"	16.00
2	48"	60"	34.22
2	72"	68"	30.22
2	30"	18"	4.33
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00
SPATIAL CALCULATION			
EXPOSING BUILDING		1552.89	S.F.
FACE AREA		147.98	S.F.
PORTION WALL AREA		1368.93	S.F.
LIMITING DISTANCE		12.16	FT.
MAX. % OPENINGS			%
OPENING AREA		95.83	%
OPENING PERCENT		90.69	%
ADDITIONAL NOTES			
GLAZED AREA CALCULATED W/ FRAME SIZE			

WINDOW SUMMARY			
PER O.B.C., TABLE 9.10.15.4			
LEFT SIDE ELEVATION C - PORTION 2			
QUANTITY	UNIT	DESCRIPTION	WINDOW / DOOR FRAME SIZE (S.F.)
0	0'	0"	0.00
0	0'	0"	0.00
0	0'	0"	0.00
0	0'	0"	0.00
0	0'	0"	0.00
0	0'	0"	0.00
0	0'	0"	0.00
0	0'	0"	0.00
2	DOOR	DOOR GL-2	8.25 16.50
1	DOOR	DOOR GL-2	11.00 11.00
0	ARCH	0 ARCH	0.00
0	ARCH	0 ARCH	0.00
SPATIAL CALCULATION			
EXPOSING BUILDING	1592.69	S.F.	
FACE AREA	147.98	S.F.	
PORTION WALL AREA	16.61	S.F.	
LIMITING DISTANCE		8.0 m	
MAX. % OPENINGS	34	%	
OPENINGS ALLOWED	60.78	S.F.	
OPENINGS PROVIDED	27.50	S.F.	
ADDITIONAL NOTES			
GLAZED AREA CALCULATED W/ FRAME SIZE			

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.


JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: 

DATE: MAY 27, 2022

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Design Guidelines only and bears no further
professional responsibility.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION		
Allan Whiting		23
NAME	SIGNATURE	
REGISTRATION INFORMATION		
HUNT DESIGN ASSOCIATES INC.		19



GOLDPARK HOMES - 221081
PINE VALLEY PH2, VAUGHAN, ON

Drawn By	Checked By	Scale
OF	SB	3/16"=
8966 Woodbine Ave, Markham, ON L3R 0		

WALK OUT DECK CONDITION
UNIT 5005 - THE KNIGHTSWOOD
 REV.2022.03.25

File Number
221081WS5005
33 F 905.737.7326

Page Number
W1 of W8

NOTE:
REFER TO STANDARD FLOOR
PLANS FOR COMPLETE DIMENSIONS
& STRUCTURAL INFORMATION

NOTE:
REFER TO STANDARD FLOOR
PLANS FOR COMPLETE DIMENSIONS
& STRUCTURAL INFORMATION

WSP

100 COMMERCE VALLEY Dr. W.
THORNHILL ONTARIO CANADA L3T 0A4
416-882-4211 FAX: 1-905-822-0055 WWW.WSP.CA



REFER TO FRONT ELEVATION & STANDARD
REAR FOR TYPICAL NOTES & INFO.

P.T. BEAM AS PER PLANS TIED TO
- TOP OF 6"x6" P.T. POSTS TIED TO
TOP OF 12"Ø 15MPA POURED
CONC. PIER WITH NON-CORROSIVE
METAL SHOE (TYP)

Diagram of a beam with three segments: PORTION 1, PORTION 2, and PORTION 3. A unit load '1' is applied at the midpoint of PORTION 2. The beam is supported by a pin support at the left end and a roller support at the right end. The segments are separated by vertical dashed lines.

WINDOW SUMMARY			
PER O.B.C. TABLE 9.10.1.5.4			
LEFT SIDE ELEVATION C - PORTION 2			
QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
2	DOOR GLZ.	8.25	16.50
1	DOOR GLZ.	11.00	11.00
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00
SPATIAL CALCULATION			
EXPOSING BUILDING		1622.00	S.F.
FACE AREA		150.69	S.F.
PORTION WALL AREA		197.15	S.F.
		18.32	S.F.
LIMITING DISTANCE		30.0	
MAX. % OPENING		64.03	%
OPENINGS ALLOWED		37.03	S.F.
(OPENINGS PROVIDED)		27.50	S.F.
ADDITIONAL NOTES			
GLAZED AREA = CALCULATED MIN FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER			

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: 
DATE: MAY 27, 2022

This stamp certifies compliance with the applicable
Design Guidelines only and bears no further
professional responsibility.

1.C1 TYPICAL STEEL GUARD DETAIL AT SECOND FLOOR JULIET BALCONY

HUNT 
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LOOK OUT DECK CONDITION
UNIT 5005 - THE KNIGHTSWOOD
REV.2022.03.25

221081WS5005 W2 of W8

NOTE:
REFER TO STANDARD FLOOR
PLANS FOR COMPLETE DIMENSIONS
& STRUCTURAL INFORMATION

NOTE:
REFER TO STANDARD FLOOR
PLANS FOR COMPLETE DIMENSIONS
& STRUCTURAL INFORMATION

WINDOW SUMMARY
 PER O.B.C. TABLE 9.10.15.4
 REAR ELEVATION C - ALL PLANS

WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)
24"	52"	26.67
48"	52"	14.67
32"	52"	9.33
60"	52"	18.67
24"	72"	18.89
60"	72"	38.44
24"	60"	31.11
56"	60"	40.44
DOOR/TRANS.	62.67	125.34
DOOR/TRANS.	27.67	97.67

SPATIAL CALCULATION

LOSING BUILDING	1304.55	S.F.
FACE AREA	121.20	S.M.
ITION WALL AREA	1304.55	S.F.
	121.20	S.M.
TING DISTANCE	7.50 m	
X. % OPENINGS	50	%
NINGS ALLOWED	652.28	S.F.
NINGS PROVIDED	338.23	S.F.
ADDITIONAL NOTES		
ZED AREA CALCULATED W/ FRAME SIZE INUS 2" AROUND ENTIRE PERIMETER		

REFER TO FRONT ELEVATION & STANDARD
REAR FOR TYPICAL NOTES & INFO.

WINDOW SUMMARY					WINDOW SUMMARY				
PER O.B.C. TABLE 9.15.1.4					PER O.B.C. TABLE 9.15.1.4				
LEFT SIDE ELEVATION B - PORTION 1					LEFT SIDE ELEVATION B - PORTION 2				
Q.UAN.	W.DTH	HTY	WINDOW / DOOR FRAME SIZE (W x H)	ADJUSTED	Q.UAN.	W.DTH	HTY	WINDOW / DOOR FRAME SIZE (W x H)	ADJUSTED
2	24"	48"	6.11	0	0"	0"	0"	0.00	0.00
2	28"	52"	16.00	0	0"	0"	0"	0.00	0.00
2	48"	60"	34.22	0	0"	0"	0"	0.00	0.00
1	72"	58"	39.22	0	0"	0"	0"	0.00	0.00
2	30"	16"	4.33	0	0"	0"	0"	0.00	0.00
0	0"	0"	0.00	0	0"	0"	0"	0.00	0.00
0	0"	0"	0.00	0	0"	0"	0"	0.00	0.00
0	0"	0"	0.00	0	0"	0"	0"	0.00	0.00
0	0"	0"	0.00	0	0"	0"	0"	0.00	0.00
0	0"	0"	0.00	0	0"	0"	0"	0.00	0.00
0	ARCH	0.00	0.00	0	0"	0"	0"	0.00	0.00
0	ARCH	0.00	0.00	0	1	DOOR GLZ	8.25	16.50	11.00
0	ARCH	0.00	0.00	0	1	DOORTRAN	21.67	27.67	27.67
0	ARCH	0.00	0.00	0	0	0	0	0	0
SPATIAL CALCULATION					SPATIAL CALCULATION				
EXPOSING BUILDING 1782.34 S.F.					EXPOSING BUILDING 1782.34 S.F.				
FACE AREA 165.58 S.M.					FACE AREA 165.58 S.M.				
PORT WALL AREA 139.76 S.M.					PORT WALL AREA 208.59 S.M.				
LIMITING DISTANCE 12.0 m					LIMITING DISTANCE 9.0 m				
MAX % OPENINGS 34 %					MAX % OPENINGS 34 %				
OPENINGS PROVIDED 104.42 S.F.					OPENINGS PROVIDED 103.92 S.F.				
OPENINGS PROVIDED 80.99 S.F.					OPENINGS PROVIDED 55.17 S.F.				
ADDITIONAL NOTES					ADDITIONAL NOTES				
GLAZED AREA CALCULATED IN FRAME SIZE					GLAZED AREA CALCULATED IN FRAME SIZE				
MINUS GLAZED ENTIRE PERIMETER.					MINUS GLAZED ENTIRE PERIMETER.				

WINDOW SUMMARY

PER O.B.C. TABLE 9.10.15.4

LEFT SIDE ELEVATION C- PORTION 1

Q.UAN.	UNIT	HEIGHT	WIDTH	WINDOW / DOOR FRAME SIZE (S.F.)
2	"4"	"48"	0.00	6.11
2	"8"	"56"	0.00	16.00
2	"48"	"60"	0.00	34.22
1	"72"	"68"	0.00	39.22
2	"30"	"16"	0.00	4.33
0	"0"	0"	0"	0.00
0	"0"	0"	0"	0.00
0	"0"	0"	0"	0.00
0	"0"	0"	0"	0.00
0	ARCH	0.00	0.00	0.00
0	ARCH	0.00	0.00	0.00
0	ARCH	0.00	0.00	0.00
0	ARCH	0.00	0.00	0.00

SPATIAL CALCULATION

EXPOSING BUILDING FACE AREA	166.58 S.M.
PORTION WALL AREA	137.42 S.F.
LIMITING DISTANCE	1.2 m
MAX % OPENINGS	100.55 S.F.
OPENINGS ALLOWED	92.85 S.F.
OPENINGS PROVIDED	90.55 S.F.

ADDITIONAL NOTES

GLAZED AREA CALCULATED IN FRAME SIZE
MINUS 2' AROUND INTER PERIMETER

WINDOW SUMMARY

PER O.B.C. TABLE 9.10.15.4

LEFT SIDE ELEVATION C- PORTION 2

Q.UAN.	UNIT	HEIGHT	WIDTH	WINDOW / DOOR FRAME SIZE (S.F.)
0	"0"	0" 0"	0.00	0.00
0	"0"	0" 0"	0.00	0.00
0	"0"	0" 0"	0.00	0.00
0	"0"	0" 0"	0.00	0.00
0	"0"	0" 0"	0.00	0.00
0	"0"	0" 0"	0.00	0.00
0	"0"	0" 0"	0.00	0.00
0	"0"	0" 0"	0.00	0.00
0	"0"	0" 0"	0.00	0.00
2	DOOR GLZ.	8.25	15.00	11.00
1	DOOR GLZ.	11.00	11.00	11.00
0	DOORTRAN	27.67	27.67	27.67
0	DOORTRAN	27.67	27.67	27.67

SPATIAL CALCULATION

EXPOSING BUILDING FACE AREA	1793.03 S.F.
PORTION WALL AREA	268.59 S.F.
LIMITING DISTANCE	9.0 m
MAX % OPENINGS	94 S.F.
OPENINGS ALLOWED	81 S.F.
OPENINGS PROVIDED	55.17 S.F.

ADDITIONAL NOTES

GLAZED AREA CALCULATED IN FRAME SIZE
MINUS 2' AROUND INTER PERIMETER

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: 

DATE: MAY 27, 2022

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Design Guidelines only and bears no further
professional responsibility.

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE TO THE O.B.C
2. ALL EXPOSED METAL SHALL BE PRIMED AND PAINTED TO PREVENT CORROSION
3. ALL HOLES THRU MASONRY AND WOOD SHALL BE MECH. DRILLED-PACK ALL EXPOSED HOLES WITH CAULKING AFTER ALL WELDING IS COMPLETE

1.C1 TYPICAL STEEL GUARD DETAIL AT SECOND FLOOR JULIET BALCONY

QUALIFICATION INFORMATION
Allen W. Witting

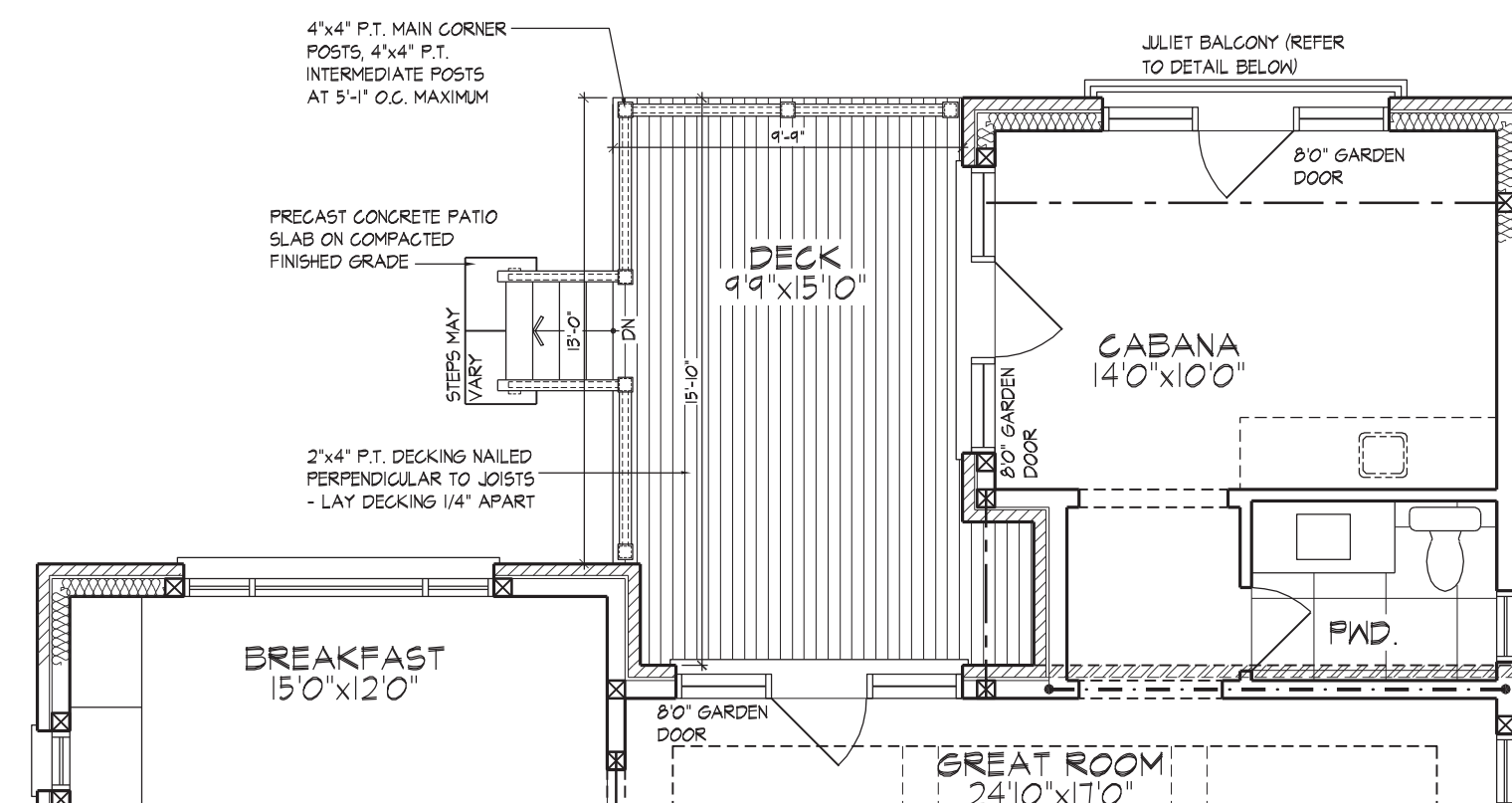
NAME _____ SIGNATURE _____
REGISTRATION INFORMATION
HUNT DESIGN ASSOCIATES INC. 19

WALK OUT BASEMENT CONDITION
GOLDPARK HOMES - 221081 **UNIT 5005 - THE KNIGHTSWOOD**
PINE VALLEY PH2, VAUGHAN, ON REV.2022.03.25

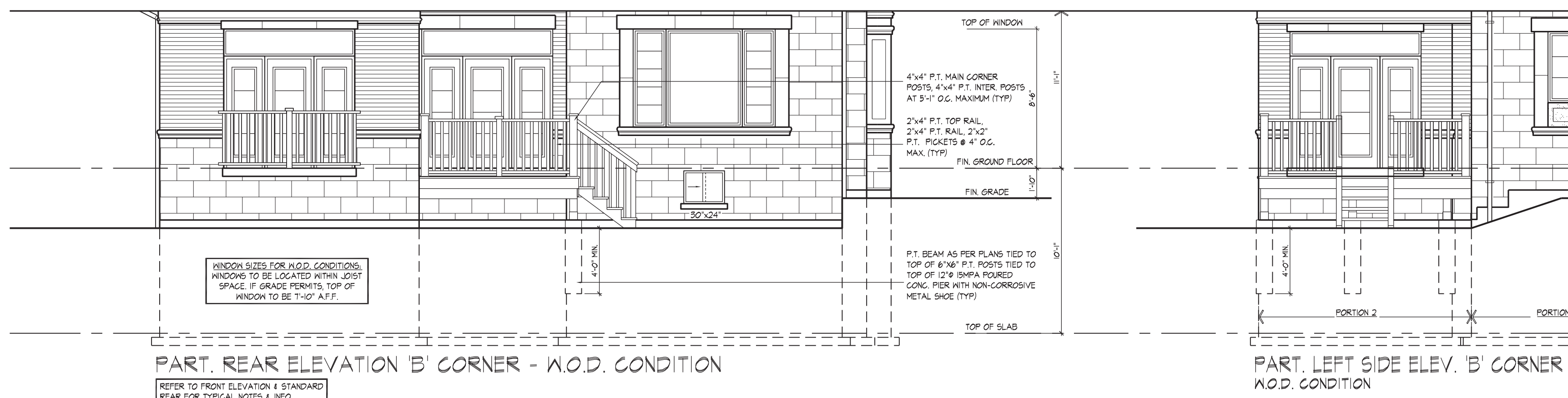
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Drawn By	Checked By	Scale	File Number	Page Number
OF	SB	3/16"=1'-0"	221081WS5005	W3 of W8
8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326				

NOTE:
REFER TO STANDARD FLOOR
PLANS FOR COMPLETE DIMENSIONS
& STRUCTURAL INFORMATION



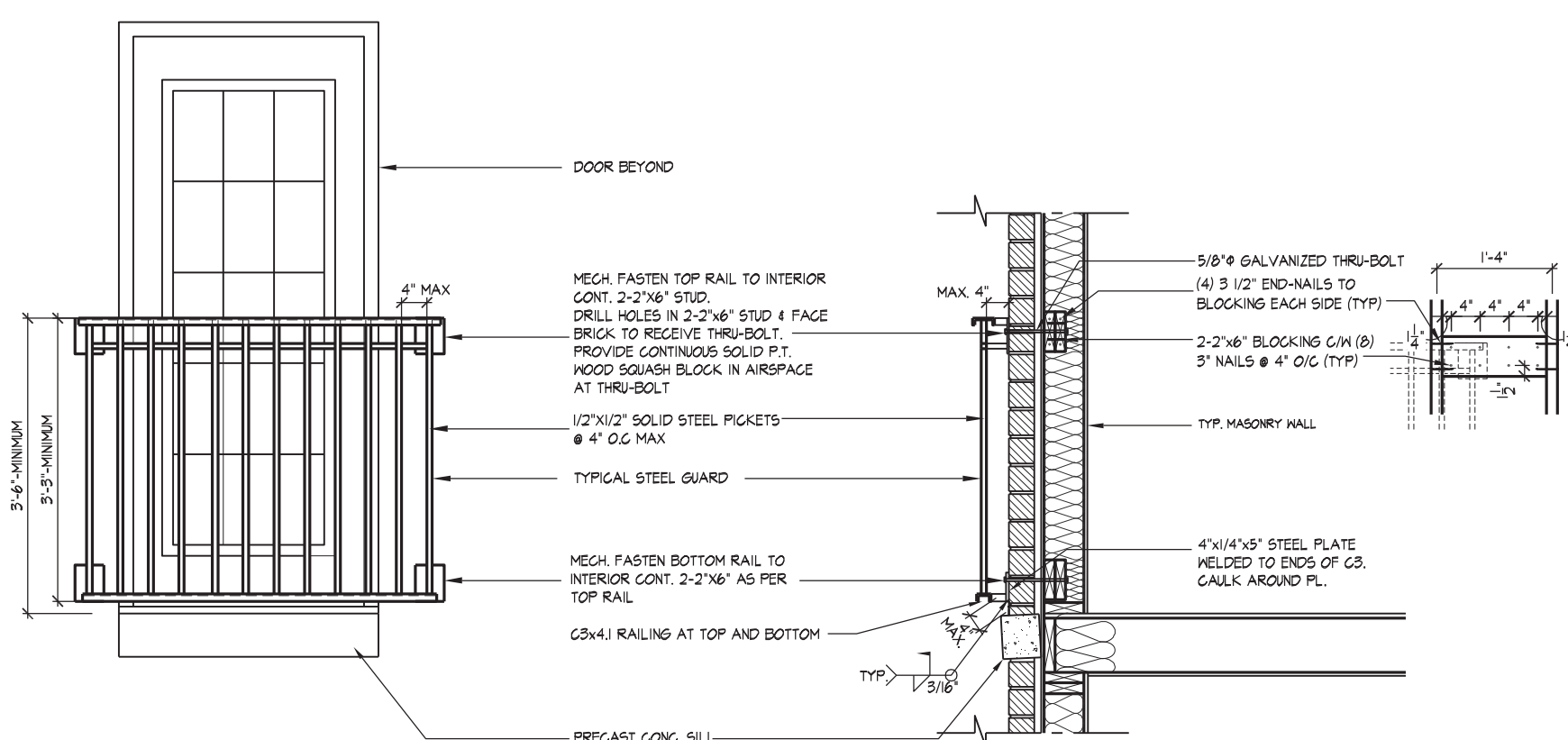
NOTE:
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& STRUCTURAL INFORMATION



PART. REAR ELEVATION 'B' CORNER - W.O.D. CONDITION

REFER TO FRONT ELEVATION & STANDARD
REAR FOR TYPICAL NOTES & INFO.

PART. LEFT SIDE ELEV. 'B' CORNER
W.O.D. CONDITION



GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE TO THE O.B.C.
2. ALL EXPOSED METAL SHALL BE PRIMED AND PAINTED TO PREVENT CORROSION
3. ALL HOLES THRU MASONRY AND WOOD SHALL BE MECH. DRILLED-PACK ALL EXPOSED HOLES WITH CAULKING AFTER ALL WELDING IS COMPLETE

1.C1 TYPICAL STEEL GUARD DETAIL AT SECOND FLOOR JULIET BALCONY

$$1/2' = 1' = 0$$

WINDOW SUMMARY				
PER O.B.C. TABLE 9.10.15.4				
REAR ELEVATION B - CORNER				
QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	
2	24" 48"		12.22	
4	48" 48"		13.44	
1	32" 48"		8.26	
2	24" 64"		16.67	
4	56" 64"		21.67	
2	24" 72"		18.67	
1	56" 72"		24.56	
1	30" 24"		3.61	
2	DOOR/TRANS.	62.67	124.34	
0	ARCH	0.00	0.00	
SPATIAL CALCULATION				
EXPOSING BUILDING FACE AREA			1064.64	S.F.
			98.91	S.F.
PORTION WALL AREA			1064.64	S.F.
			98.91	S.F.
LIMITING DISTANCE			7.50	m
MAX. % OPENINGS			55	%
OPENING ALLOWED			532.32	S.F.
OPENINGS PROVIDED			244.95	S.F.
ADDITIONAL NOTES				
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 3/8" CENTRE PERIMETER				

WINDOW SUMMARY					WINDOW SUMMARY				
PER O.B.C. TABLE 9.10.15.4					PER O.B.C. TABLE 9.10.15.4				
LEFT SIDE SECTION - PORTION 1					LEFT SIDE SECTION - PORTION 2				
Q. NO.	UNIT	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)		Q. NO.	UNIT	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	
3	2'	64"	20.00	0	0"	0"	0"	0.00	
3	2"	52"	16.00	0	0"	0"	0"	0.00	
3	24"	84"	25.00	0	0"	0"	0"	0.00	
3	24"	86"	26.00	0	0"	0"	0"	0.00	
3	24"	84"	25.00	0	0"	0"	0"	0.00	
1	30"	16"	2.17	0	0"	0"	0"	0.00	
0	0"	0"	0.00	0	0"	0"	0"	0.00	
0	0"	0"	0.00	0	0"	0"	0"	0.00	
0	0"	0"	0.00	0	0"	0"	0"	0.00	
0	0"	0"	0.00	0	0"	0"	0"	0.00	
1	ARCH	4.34	4.34	0	DOOR GLZ.	8.25	15.50		
0	ARCH	0.00	0.00	1	DOOR GLZ.	11.00	11.00		
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00		
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00		
SPATIAL CALCULATION					SPATIAL CALCULATION				
EXPOSING BUILDING		1568.92	S.F.		EXPOSING BUILDING		1568.92	S.F.	
FACE AREA		145.76	S.F.		FACE AREA		145.76	S.F.	
PORTION WALL AREA		1368.94	S.F.		PORTION WALL AREA		1378.75	S.F.	
		127.22	S.F.				16.61	S.F.	
LIMITING DISTANCE		2.0 m			LIMITING DISTANCE		10.19 m		
MAX. % OPENINGS		8	%		MAX. % OPENINGS		41	%	
OPENINGS PROVIDED		105.55	S.F.		OPENINGS PROVIDED		73.29	S.F.	
OPENINGS PROVIDED		109.17	S.F.		OPENINGS PROVIDED		27.50	S.F.	
ADDITIONAL NOTES					ADDITIONAL NOTES				
GLAZED AREA CALCULATED W/ FRAME SIZE					GLAZED AREA CALCULATED W/ FRAME SIZE				
MINUS 3" X 10" X 10" ENTRANCE PRIMER					MINUS 3" X 10" X 10" ENTRANCE PRIMER				



wsp

100 COMMERCE VALLEY Dr.
THORNHILL ONTARIO CANADA L3T 0A1
TEL: 1-905-882-4211/FAX: 1-905-822-0055/WWW.WSPGROUP.COM

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ENGINEERED ROOF TRUSS, FLOOR
JOIST, AND FLOOR LVL BEAM DESIGN.

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: 

DATE: MAY 27, 2022

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QUALIFICATION INFORMATION

NAME: Allan Whiting SIGNATURE:  23

NAME	SIGNATURE	DATE
REGISTRATION INFORMATION		

HUNT DESIGN ASSOCIATES INC. 19

HUNT 
DESIGN ASSOCIATES INC.
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GOLDPARK HOMES - 221081
PINE VALLEY PH2, VAUGHAN, ON

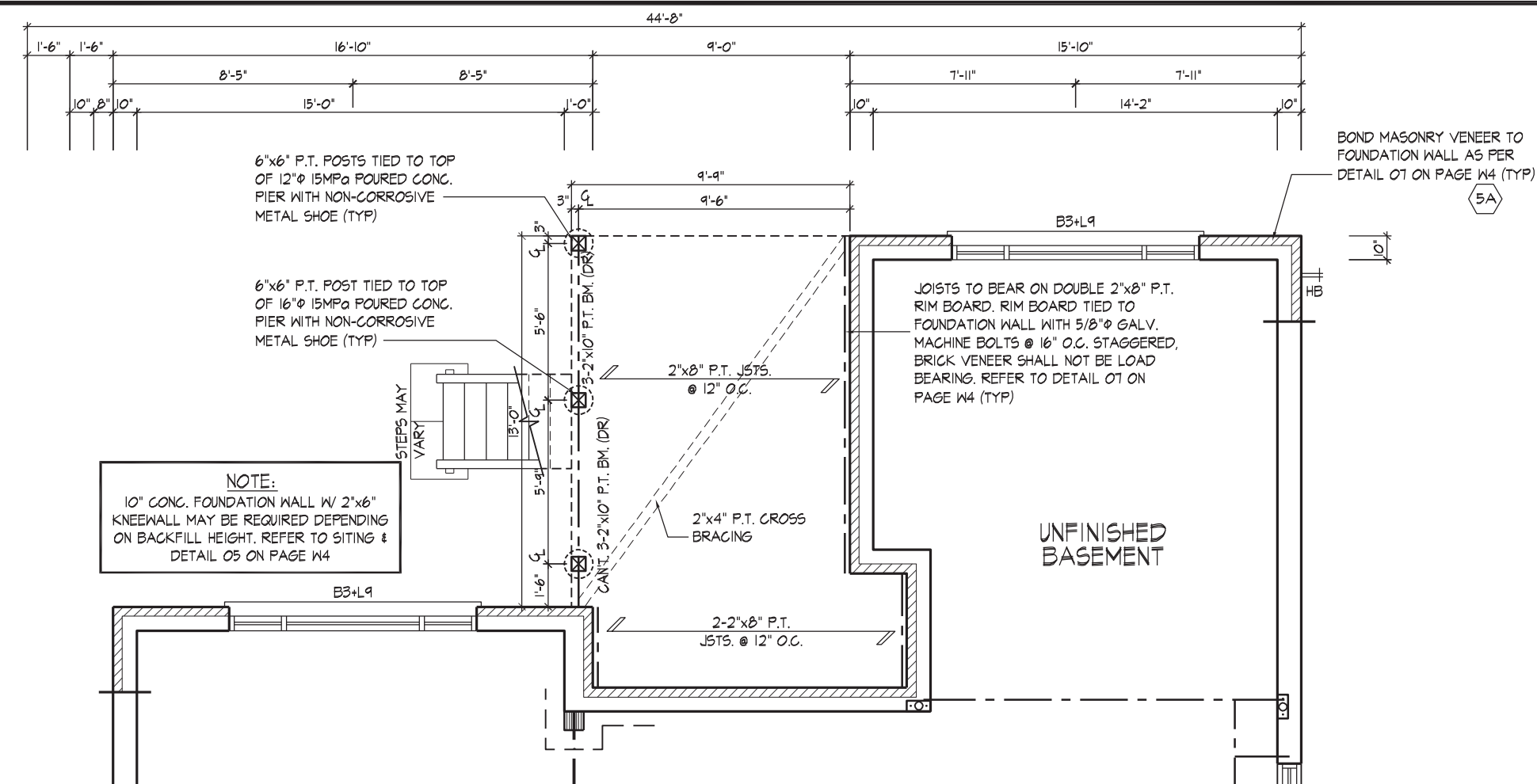
WALK OUT DECK CONDITION
UNIT 5005 - THE KNIGHTSWOOD
REV.2022.03.25

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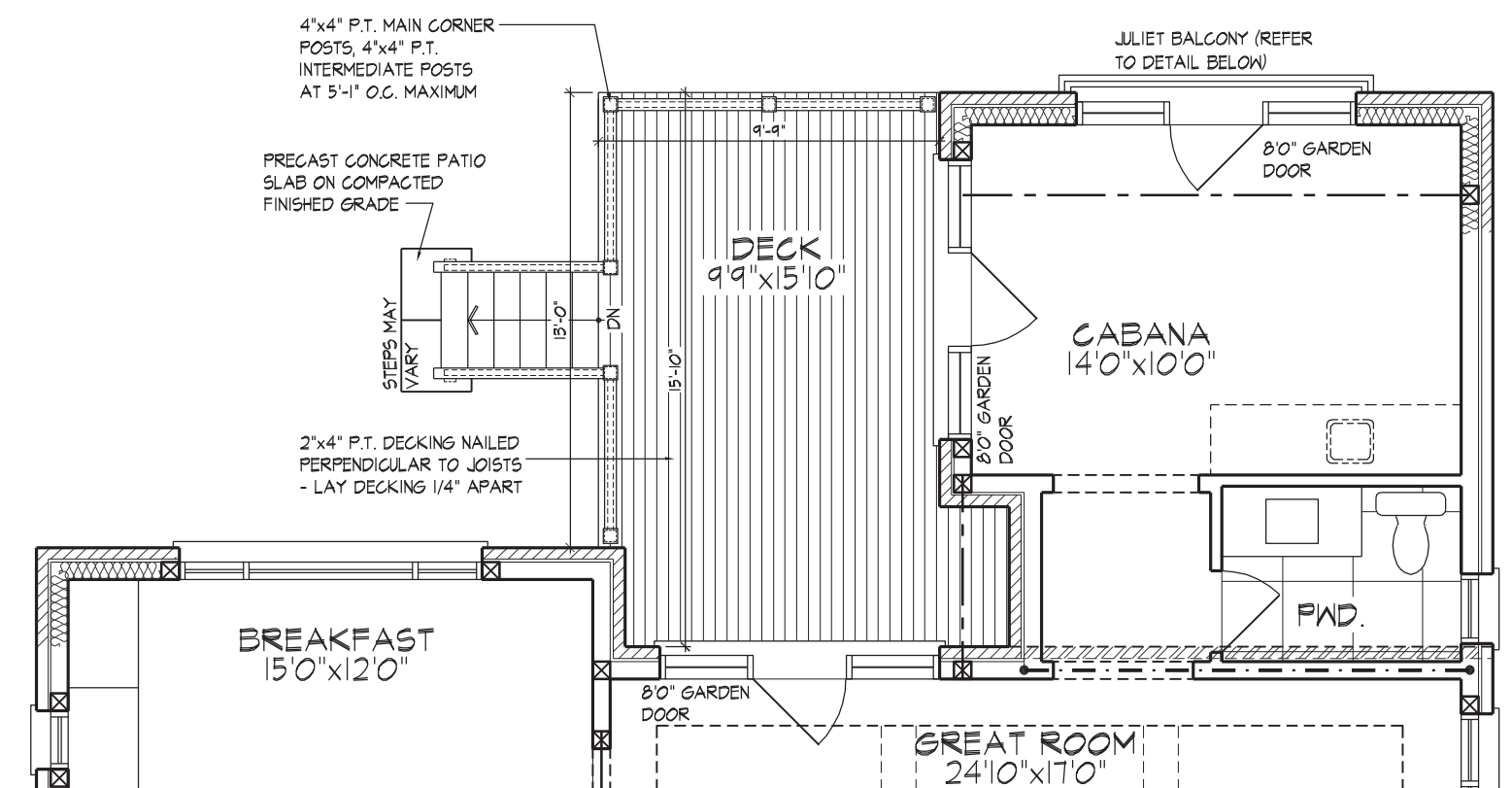
221081WS5005 W4 of W8

5133 F 905.737.7326



PART. BASEMENT PLAN ELEV. 'B' CORNER - L.O.D. COND.

NOTE:
REFER TO STANDARD FLOOR
PLANS FOR COMPLETE DIMENSIONS
& STRUCTURAL INFORMATION



PART. GROUND FLOOR PLAN ELEV. 'B' CORNER - L.O.D. COND.

NOTE:
REFER TO STANDARD FLOOR
PLANS FOR COMPLETE DIMENSIONS
& STRUCTURAL INFORMATION

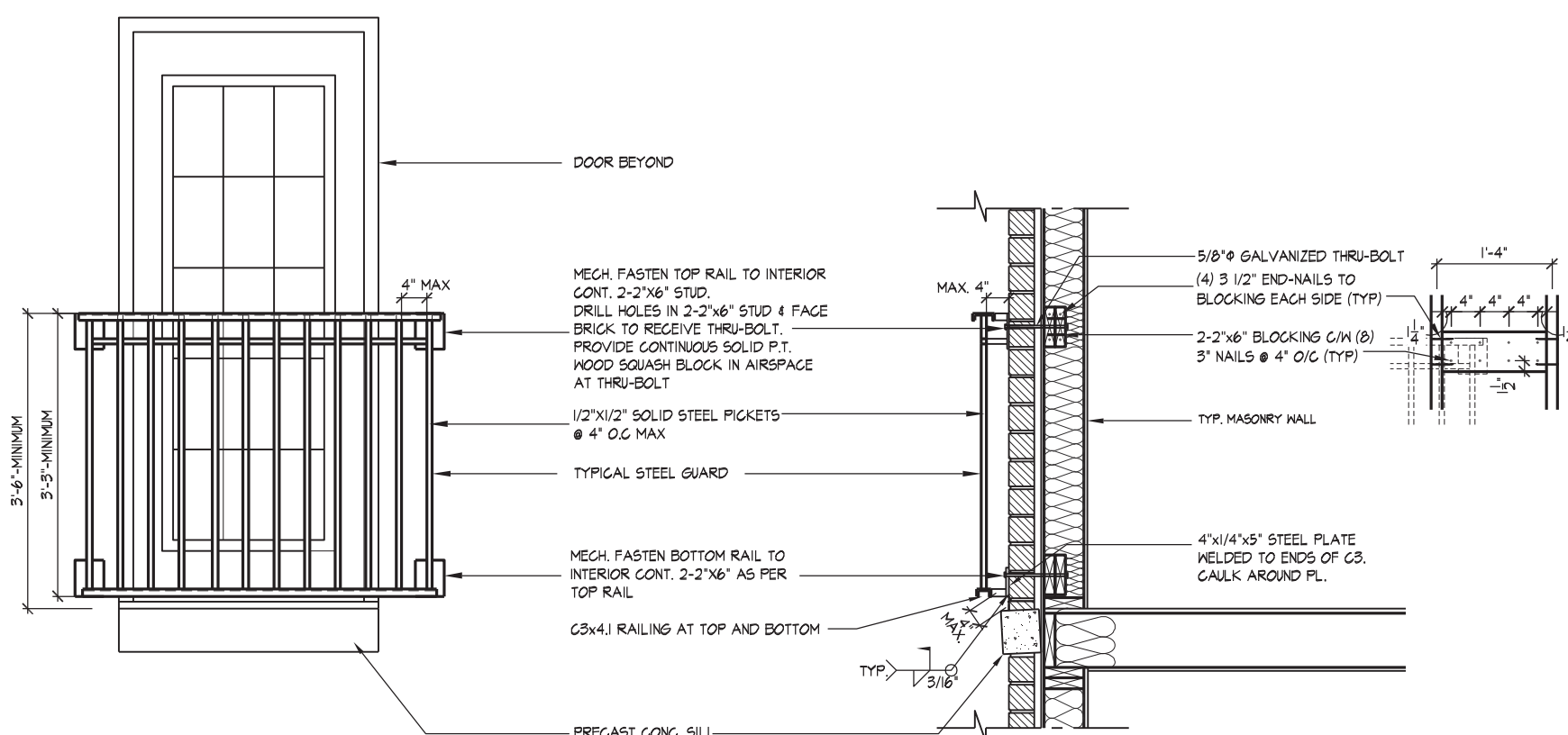


PART. REAR ELEVATION 'B' CORNER - L.O.D. CONDITION

REFER TO FRONT ELEVATION & STANDARD
REAR FOR TYPICAL NOTES & INFO.



PART. LEFT SIDE ELEV. 'B' CORNER
L.O.D. CONDITION



GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE TO THE O.B.C.
2. ALL EXPOSED METAL SHALL BE PRIMED AND PAINTED TO PREVENT CORROSION
3. ALL HOLES THRU MASONRY AND WOOD SHALL BE MECH. DRILLED-PACK ALL EXPOSED HOLES WITH CAULKING AFTER ALL WELDING IS COMPLETE

1.C1 TYPICAL STEEL GUARD DETAIL AT SECOND FLOOR JULIET BALCONY
1/2" = 1'-0"

WINDOW SUMMARY				
PER O.B.C. TABLE 9.10.15.4				
REAR ELEVATION B - CORNER				
QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	
2	24"	48"	12.22	
1	48"	48"	13.44	
1	32"	48"	8.96	
2	24"	64"	16.67	
1	56"	64"	21.67	
2	24"	72"	16.89	
1	56"	72"	24.56	
4	24"	30"	14.44	
2	56"	30"	16.78	
0	0"	0"	0.00	
0	0"	0"	0.00	
2	DOOR	82.67	125.34	
0	ARCH	0.00	0.00	
0	ARCH	0.00	0.00	
0	ARCH	0.00	0.00	
SPATIAL CALCULATION				
EXPOSING BUILDING	1123.67	S.F.		
FACE AREA	104.39	S.M.		
PORTION WALL AREA	1123.67	S.F.		
FACE AREA	104.39	S.M.		
LIMITING DISTANCE	50	7.5 m		
MAX. % OPENINGS	50	%		
OPENINGS ALLOWED	561.84	S.F.		
OPENINGS PROVIDED	274.56	S.F.		
ADDITIONAL NOTES				
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER				

WINDOW SUMMARY				
PER O.B.C. TABLE 9.10.15.4				
LEFT SIDE ELEVATION B - PORTION 1				
QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	
3	20"	64"	20.00	
3	20"	52"	16.00	
1	24"	64"	25.00	
3	24"	64"	28.67	
1	40"	64"	15.00	
1	30"	16"	2.17	
0	0"	0"	0.00	
0	0"	0"	0.00	
0	0"	0"	0.00	
0	0"	0"	0.00	
1	ARCH	4.34	4.34	
0	ARCH	0.00	0.00	
0	ARCH	0.00	0.00	
0	ARCH	0.00	0.00	
SPATIAL CALCULATION				
EXPOSING BUILDING	1598.03	S.F.		
FACE AREA	148.46	S.M.		
PORTION WALL AREA	1400.05	S.F.		
FACE AREA	130.07	S.M.		
LIMITING DISTANCE	8	2.0 m		
MAX. % OPENINGS	8	%		
OPENINGS ALLOWED	112.00	S.F.		
OPENINGS PROVIDED	109.17	S.F.		
ADDITIONAL NOTES				
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER				

WINDOW SUMMARY				
PER O.B.C. TABLE 9.10.15.4				
LEFT SIDE ELEVATION B - PORTION 2				
QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	
2	20"	64"	20.00	
2	20"	52"	16.00	
1	24"	64"	25.00	
3	24"	64"	28.67	
1	40"	64"	15.00	
1	30"	16"	2.17	
0	0"	0"	0.00	
0	0"	0"	0.00	
0	0"	0"	0.00	
0	0"	0"	0.00	
1	ARCH	4.34	4.34	
0	ARCH	0.00	0.00	
0	ARCH	0.00	0.00	
0	ARCH	0.00	0.00	
SPATIAL CALCULATION				
EXPOSING BUILDING	1598.03	S.F.		
FACE AREA	148.46	S.M.		
PORTION WALL AREA	1400.05	S.F.		
FACE AREA	130.07	S.M.		
LIMITING DISTANCE	8	2.0 m		
MAX. % OPENINGS	8	%		
OPENINGS ALLOWED	112.00	S.F.		
OPENINGS PROVIDED	109.17	S.F.		
ADDITIONAL NOTES				
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER				



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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY:
DATE: MAY 27, 2022
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QUALIFICATION INFORMATION
Allan Whiting
HUNT DESIGN ASSOCIATES INC.
23177
BCN
19695

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www.huntdesign.ca

GOLDPARK HOMES - 221081
PINE VALLEY PH2, VAUGHAN, ON
8966 Woodbine Ave, Markham, ON L3R 0J7
T 905.737.5133 F 905.737.7326

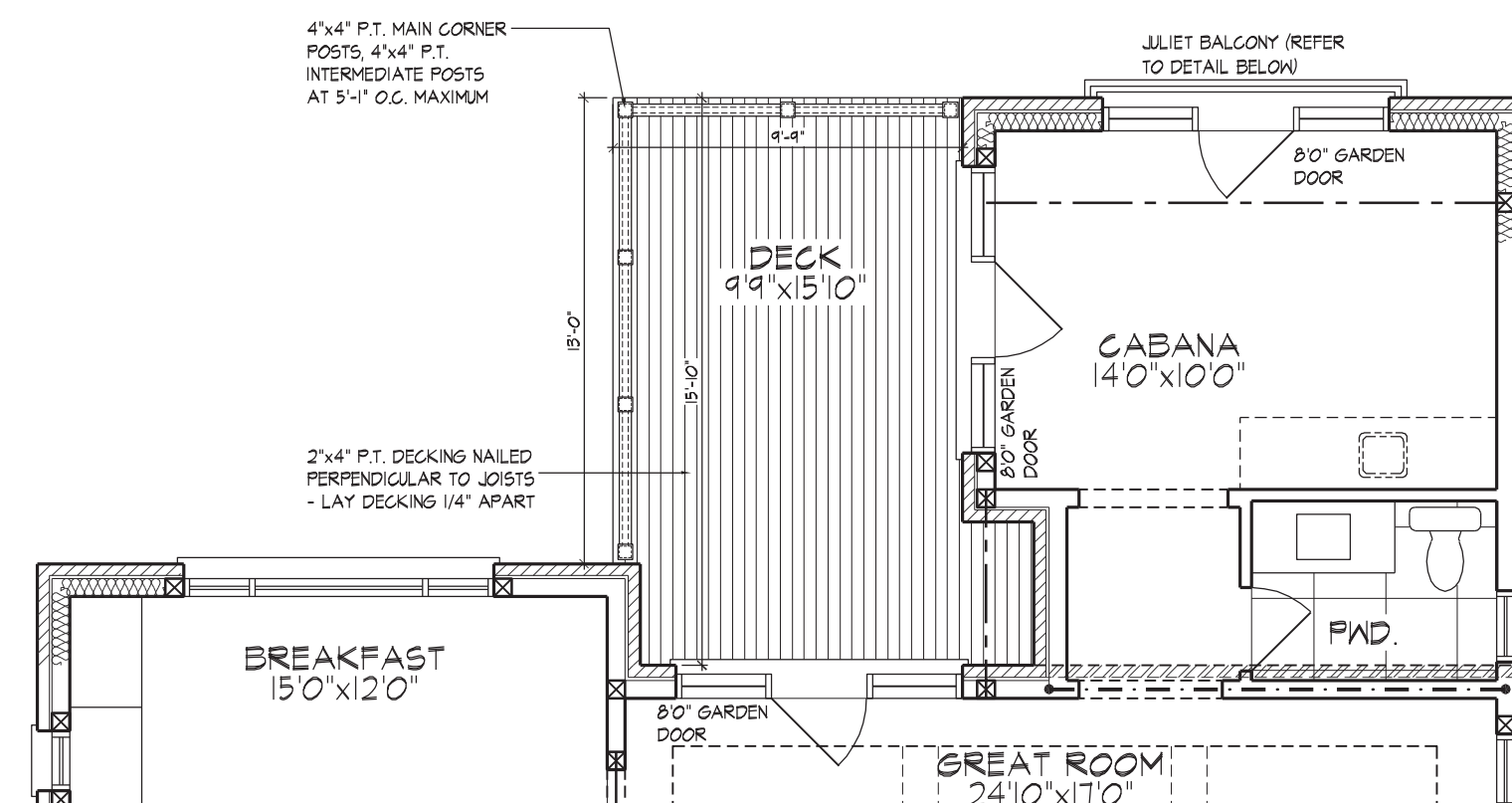
LOOK OUT DECK CONDITION
UNIT 5005 - THE KNIGHTSWOOD
REV.2022.03.25
221081WS5005
W5 of W8

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NOTE:
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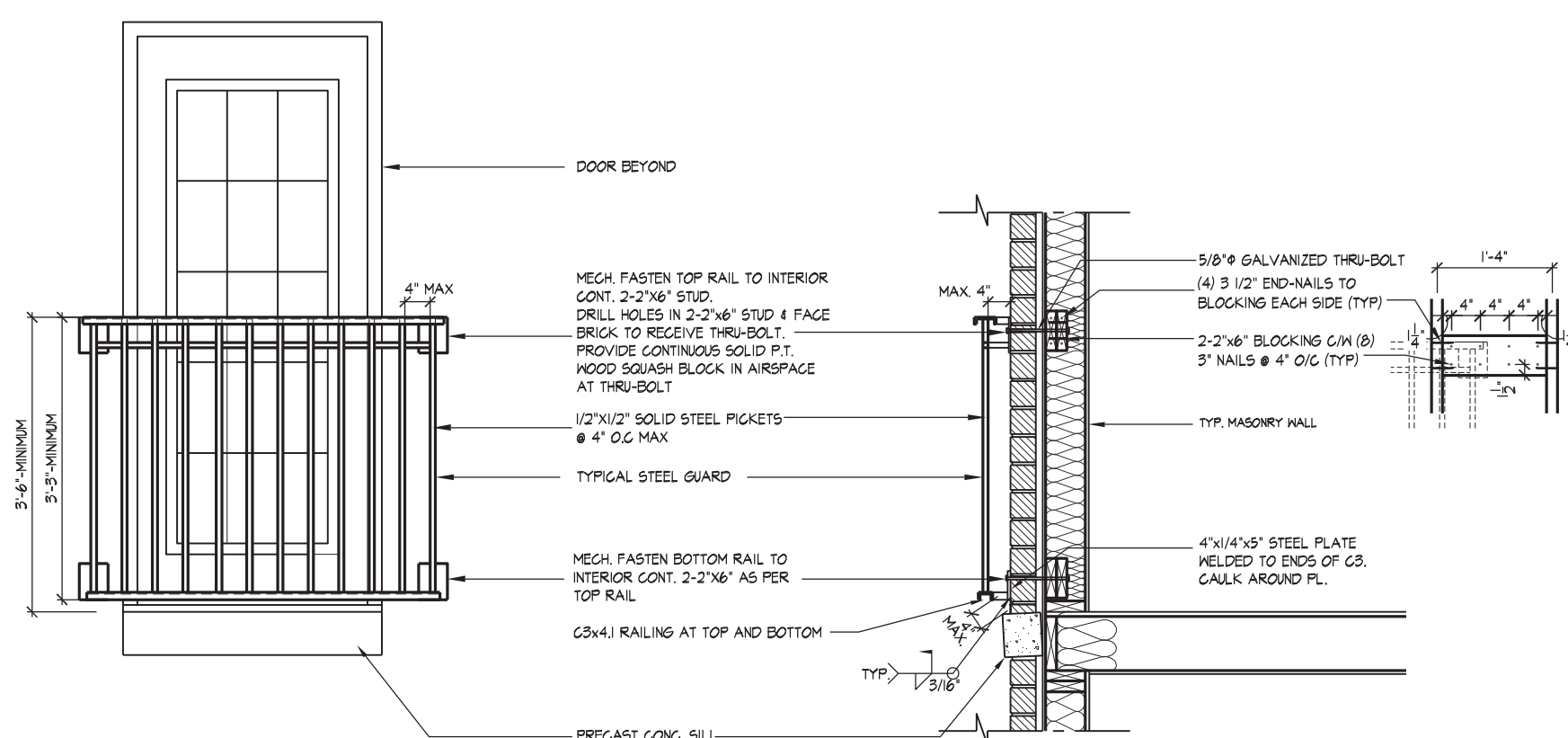
REFER TO FRONT ELEVATION & STANDARD
REAR FOR TYPICAL NOTES & INFO.



NOTE:
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& STRUCTURAL INFORMATION



PART. LEFT SIDE ELEV. 'B' CORNER
W.O.B. CONDITION



GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE TO THE O.B.C.
2. ALL EXPOSED METAL SHALL BE PRIMED AND PAINTED TO PREVENT CORROSION
3. ALL HOLES THRU MASONRY AND WOOD SHALL BE MECH. DRILLED-PACK ALL EXPOSED HOLES WITH CAULKING AFTER ALL WELDING IS COMPLETE

1.C1 TYPICAL STEEL GUARD DETAIL AT SECOND FLOOR JULIET BALCONY

WINDOW SUMMARY			
PER O.C.B. TABLE 9.5-NOTES			
REAR ELEVATION 9-CORNER			
2-CORNER	4-CORNER	6-CORNER	WINDOW / DOOR FRAME SIZE (S.F.)
2	24"	48"	15.86
4	48"	48"	15.86
1	36"	48"	8.54
2	24"	64"	16.67
4	48"	64"	21.77
2	24"	72"	18.89
4	48"	72"	24.36
4	60"	72"	30.56
2	56"	60"	44.54
0	0"	0"	0.00
0	0"	0"	0.00
1	DOOR	82.67	126.68
2	DOOR	21.87	21.87
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00
EXPOSING BUILDING FACE AREA		1352.63	S.F.
		125.68	S.F.
PORTION WALL AREA		1352.63	S.F.
		125.68	S.F.
LIMITING DISTANCE		7.5 m	
MAX. % OPENINGS		50 %	
OPENINGS PER AREA		676.42 / S.F.	
OPENINGS PROVIDED		340.57 / S.F.	
ADDITIONAL NOTES			
GLAZED AREA CALCULATED W/ FRAME SIZE			
GLAZED AREA CALCULATED W/ FRAME PERIMETER			

WINDOW SUMMARY						WINDOW SUMMARY					
PER O.B.C., TABLE 9.10.15.4						PER O.B.C., TABLE 9.10.15.4					
LEFT SIDE ELEVATION B - PORTION 1						LEFT SIDE ELEVATION B - PORTION 2					
QTY.	UNIT	WINDO TYPE	WINDO FRAM E SIZE	WINDO DOOR FRAME	S.F.	QTY.	UNIT	WINDO TYPE	WINDO FRAM E SIZE	WINDO DOOR FRAME	S.F.
3	20"	64"		20.00	0	0"	0"		0.00	0"	0.00
3	20"	32"		16.00	0	0"	0"		0.00	0"	0.00
3	24"	64"		25.00	0	0"	0"		0.00	0"	0.00
3	24"	88"		26.67	0	0"	0"		0.00	0"	0.00
1	30"	64"		15.00	0	0"	0"		0.00	0"	0.00
1	30"	16"		2.17	0	0"	0"		0.00	0"	0.00
0	0"	0"		0.00	0	0"	0"		0.00	0"	0.00
0	0"	0"		0.00	0	0"	0"		0.00	0"	0.00
0	0"	0"		0.00	0	0"	0"		0.00	0"	0.00
0	0"	0"		0.00	0	0"	0"		0.00	0"	0.00
0	0"	0"		0.00	0	0"	0"		0.00	0"	0.00
0	ARCH	4.34	4.34	2	DOOR GLS	8.25	16.50				
0	ARCH	0.00	0.00	2	DOOR GLS	11.00	22.00				
0	ARCH	0.00	0.00	1	DOOR/TRAN	27.67	27.67				
0	ARCH	0.00	0.00	1	DOOR	18.00	18.00				
SPATIAL CALCULATION						SPATIAL CALCULATION					
EXPOSING BUILDING FACE AREA 1792.08 S.F.						EXPOSING BUILDING FACE AREA 1792.08 S.F.					
PORTION WALL AREA 164.35 S.F.						PORTION WALL AREA 164.35 S.F.					
PORTION WALL AREA 1499.64 S.F.						PORTION WALL AREA 248.59 S.F.					
TOTAL WALL AREA 1864.03 S.F.						TOTAL WALL AREA 265.95 S.F.					
LIMITING DISTANCE 19.2 m						LIMITING DISTANCE 10.19 m					
MAX % OPENINGS 8 %						MAX % OPENINGS 41 %					
OPENINGS ALLOWED 119.97 S.F.						OPENINGS ALLOWED 110.12 S.F.					
OPENINGS PROD 168.17 S.F.						OPENINGS PROD 55.17 S.F.					
ADDITIONAL NOTES						ADDITIONAL NOTES					
GLAZED AREA CALCULATED W/ FRAME SIZE						GLAZED AREA CALCULATED W/ FRAME SIZE					



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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: 

DATE: MAY 27, 2022

This stamp certifies compliance with the applicable
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OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.
 QUALIFICATION INFORMATION
 Allan Whiting 23
 NAME SIGNATURE

NAME	SIGNATURE	BORN	DESIGN ASSOCIATES INC.	OF	SB	3/16* = 1-0*	221081WS5005	W6
REGISTRATION INFORMATION								
HUNT DESIGN ASSOCIATES INC.		19695	www.hunt-design.com	8966 Woodbine Ave., Markham,	ON L3R 0J7	T 905.737.5133 F 905.737.7326		

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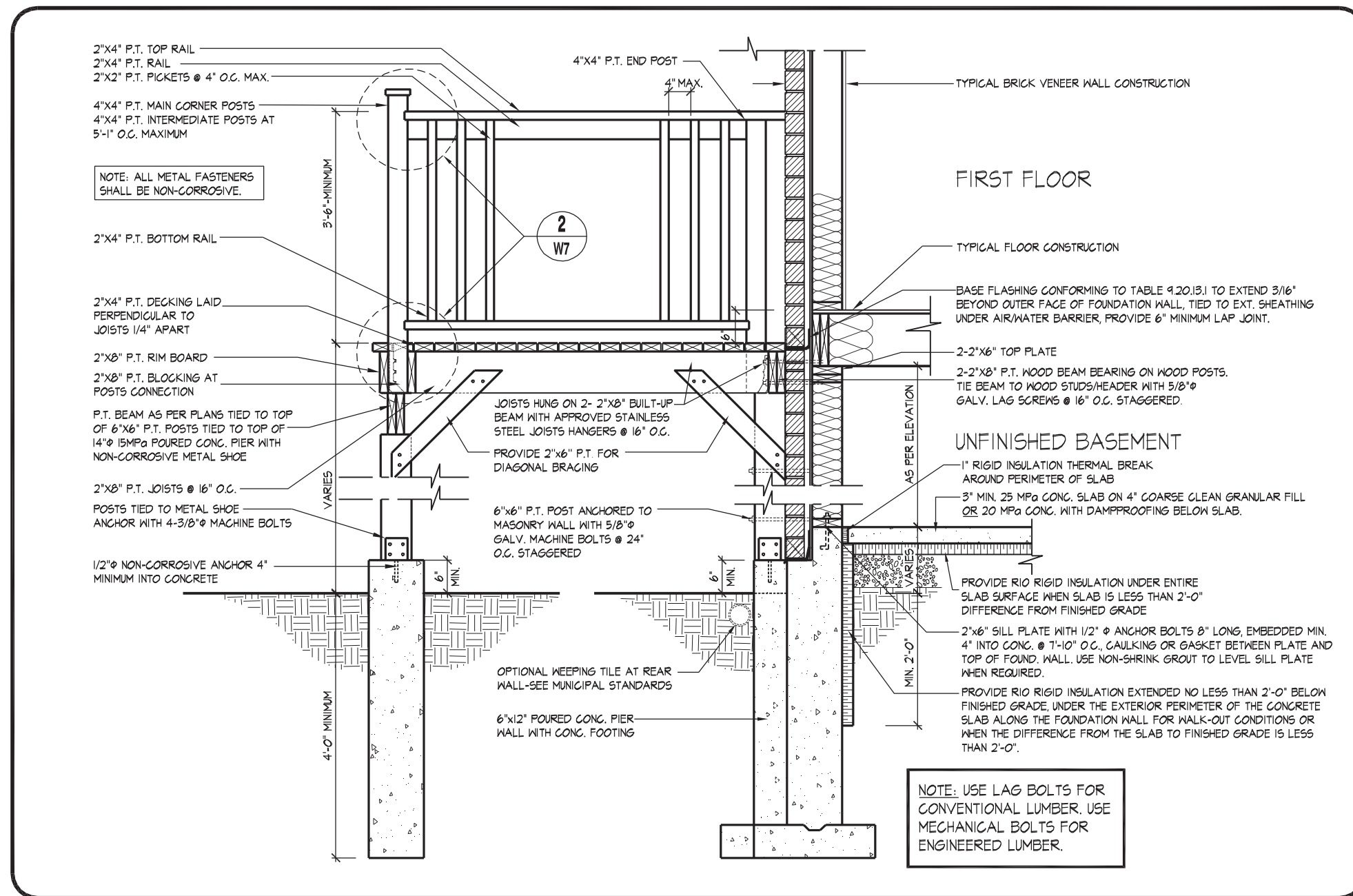
WALK OUT BASEMENT CONDITION

GOLDPARK HOMES - 221081 **UNIT 5005 - THE KNIGHTSWOOD**

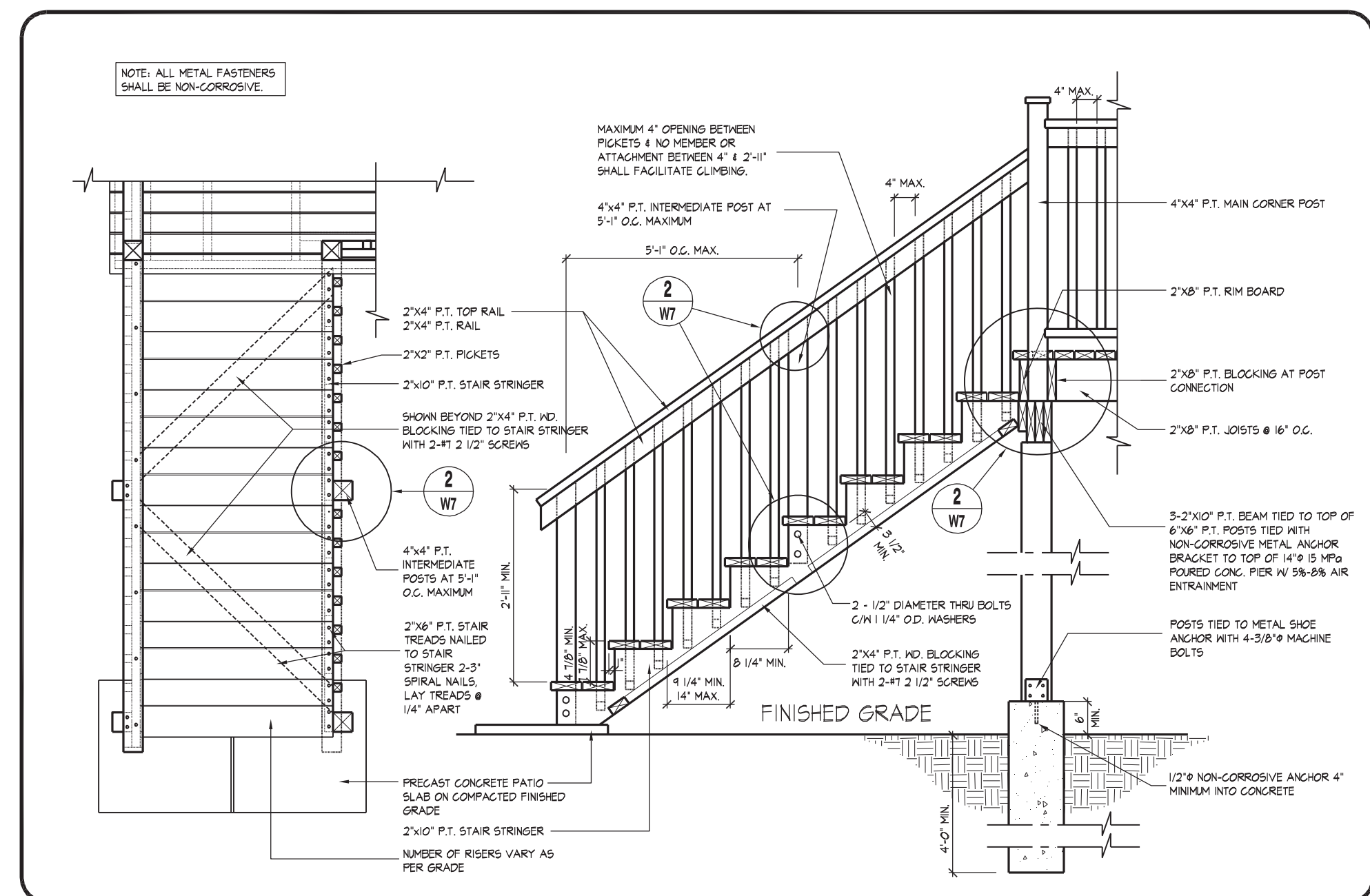
PINE VALLEY PH2, VAUGHAN, ON **REV.2022.03.25**

Drawn By	Checked By	Scale	File Number
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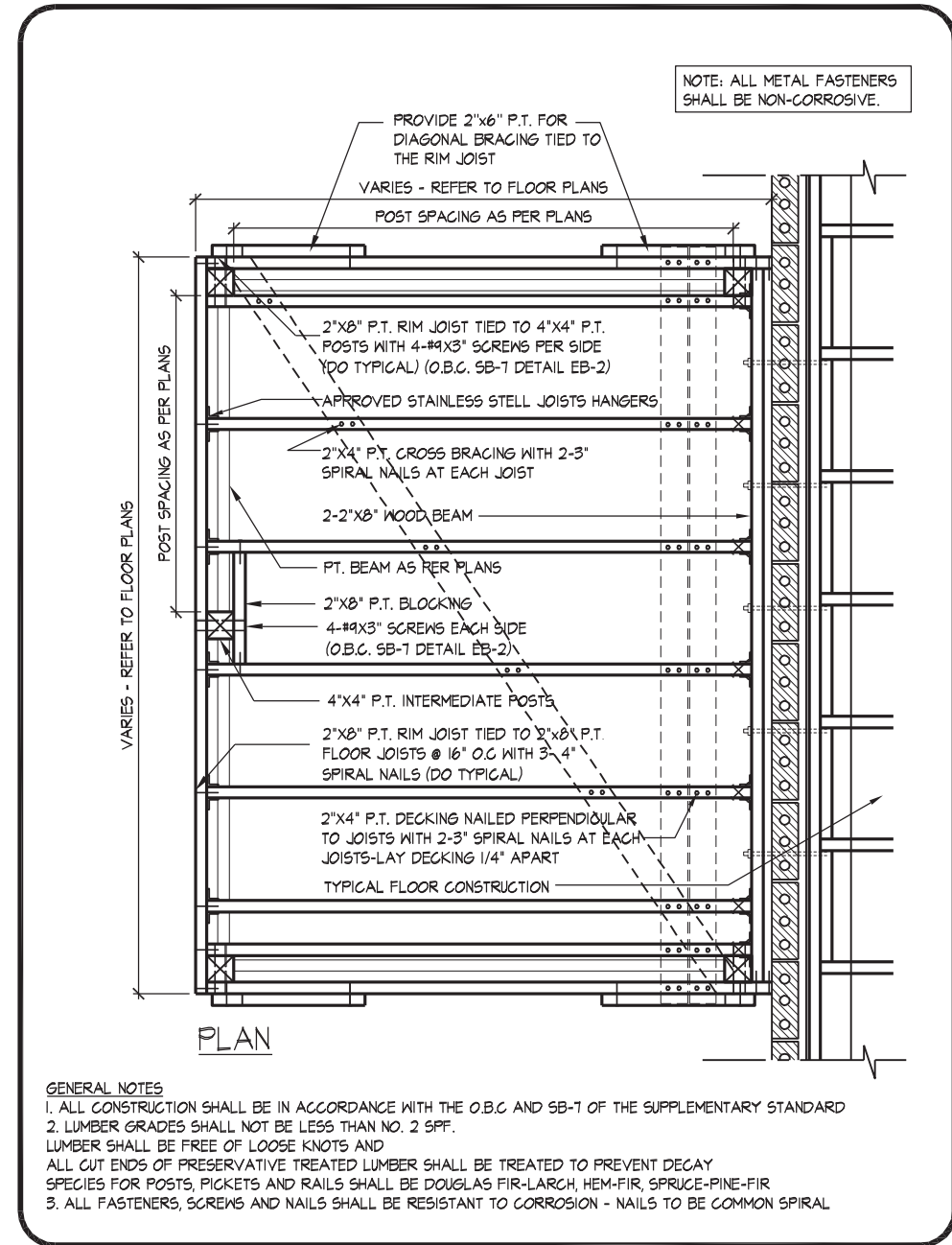
W6 of W8



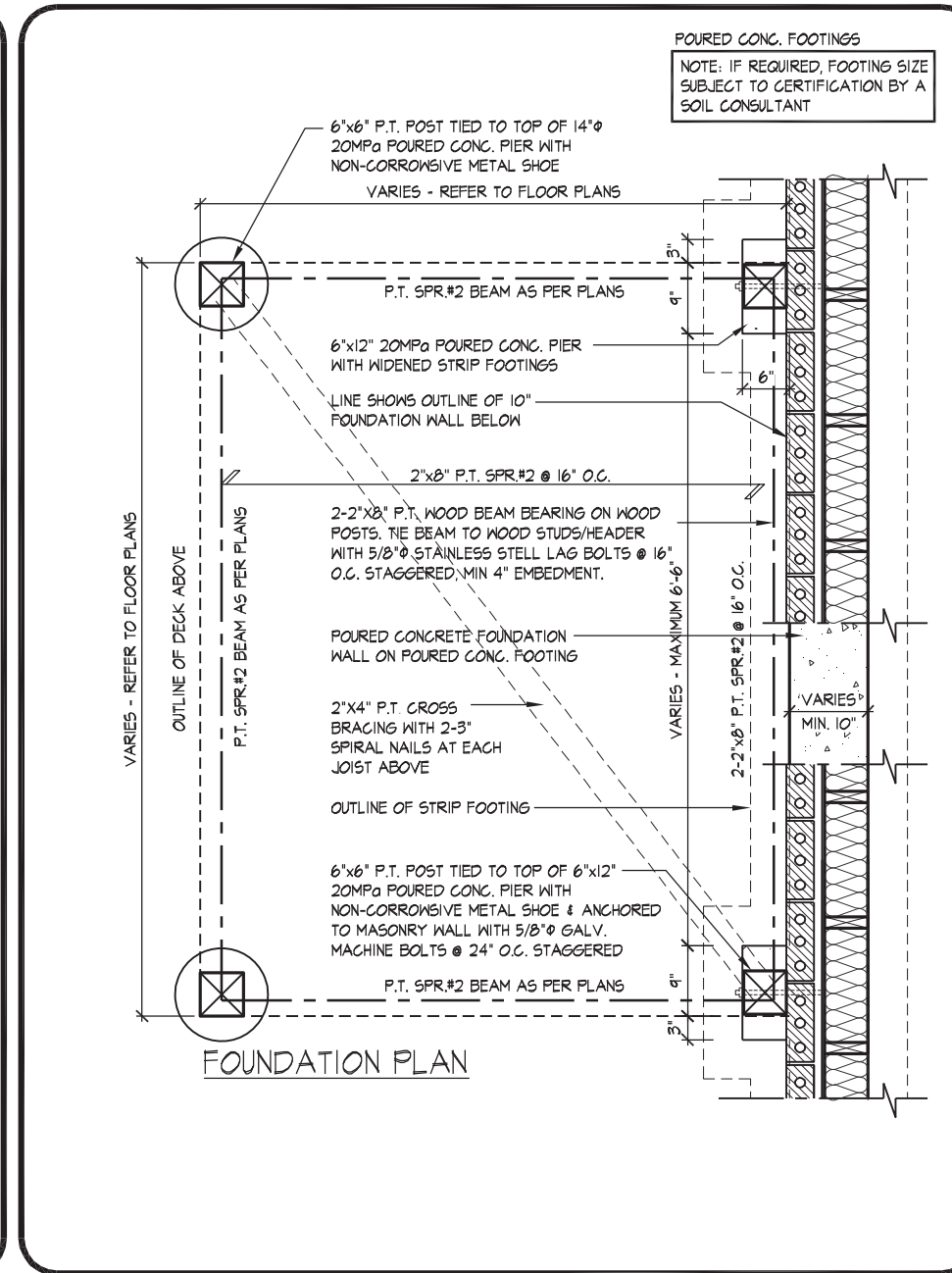
09 MASONRY VENEER, TYPICAL WOOD DECK FOR WALK OUT BASEMENT
1/2" = 1'-0"



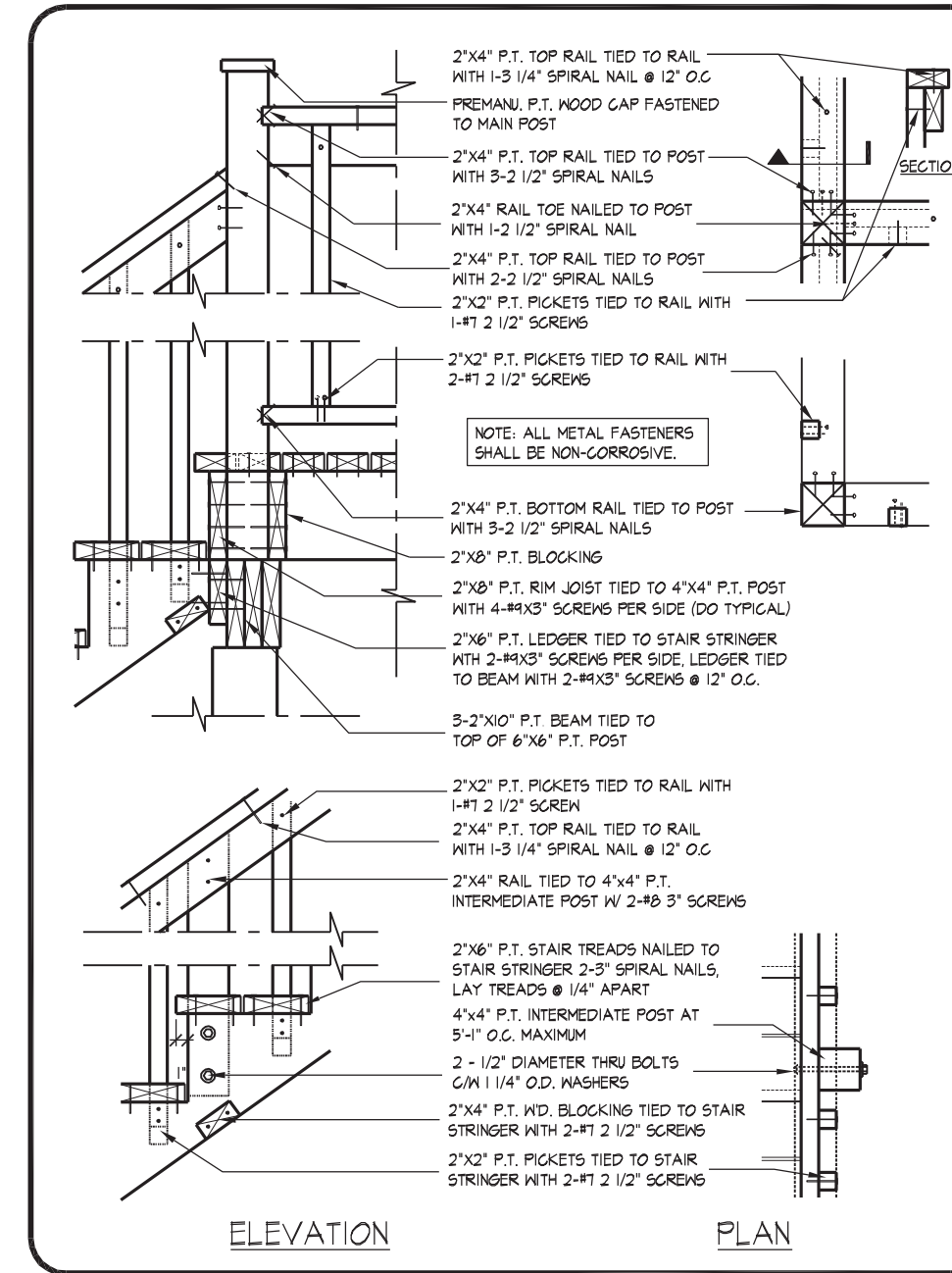
01 TYPICAL WOOD DECK STAIR
1/2" = 1'-0"



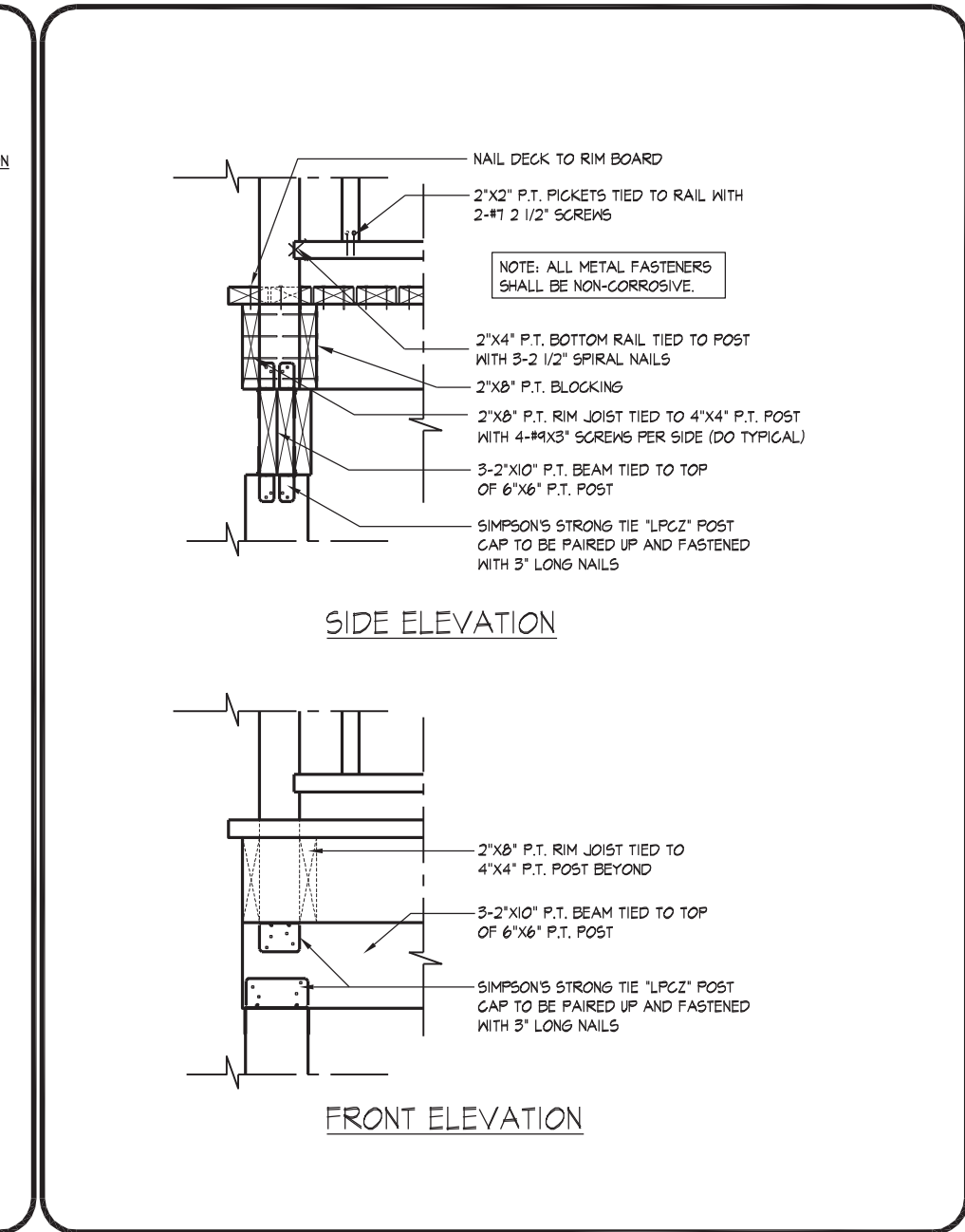
10 MASONRY VENEER, TYPICAL DECK FRAMING PLAN
1/2" = 1'-0"



11 MASONRY VENEER, TYPICAL DECK FOUNDATION PLAN
1/2" = 1'-0"



02 TYP. MAIN AND INTERMEDIATE POST ANCHORAGE
3/4\"/>



03 TYP. POST & BEAM CONNECTION
3/4\"/>



wsp

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DECK DETAILS 2
GOLDPARK HOMES - 221081
PINE VALLEY PH2, VAUGHAN, ON

Unit 5005 - THE KNIGHTSWOOD
REV.2022.03.25

Drawn By: HDAI
Checked By: HDAI
Scale: 3/16" = 1'-0"

File Number: 221081WS5005
Page Number: W8 of W8

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