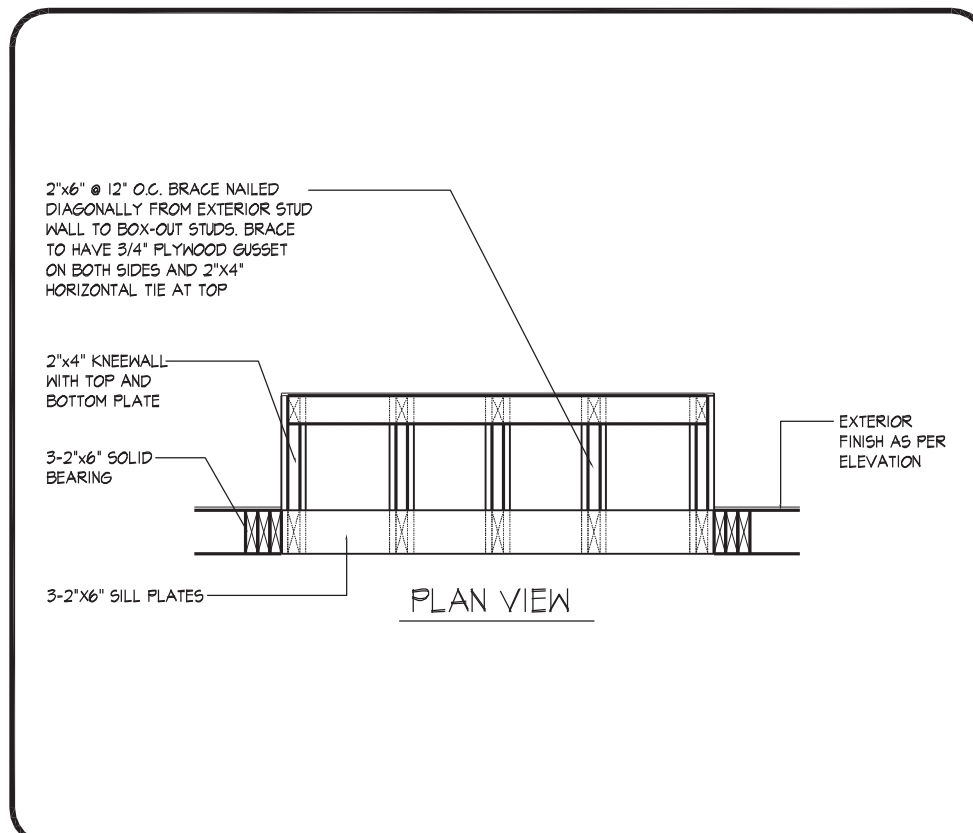


1.C1 TYP. PROJECTED WINDOW W/ BRICK WALL
1/2" = 1'-0"



6.C1 TYP. BOX-OUT PROJECTED WINDOW PLAN VIEW
1/2" = 1'-0"

AREA CALCULATIONS

	EL. 'A'	EL. 'A'	EL. 'A'	EL. 'A'	EL. 'B'	EL. 'B'	EL. 'C'	EL. 'C'
GROUND FLOOR AREA	1984 sq. ft.	2131 sq. ft.	2078 sq. ft.	2224 sq. ft.	1977 sq. ft.	2124 sq. ft.	2007 sq. ft.	2153 sq. ft.
SECOND FLOOR AREA	2207 sq. ft.	2207 sq. ft.	2301 sq. ft.	2301 sq. ft.	2208 sq. ft.	2208 sq. ft.	2262 sq. ft.	2262 sq. ft.
SUBTOTAL	4191 sq. ft.	4338 sq. ft.	4379 sq. ft.	4525 sq. ft.	4185 sq. ft.	4332 sq. ft.	4269 sq. ft.	4415 sq. ft.
DEDUCT ALL OPEN AREAS	85 sq. ft.	85 sq. ft.	85 sq. ft.	85 sq. ft.	85 sq. ft.	85 sq. ft.	85 sq. ft.	85 sq. ft.
TOTAL NET AREA	4106 sq. ft.	4253 sq. ft.	4294 sq. ft.	4440 sq. ft.	4100 sq. ft.	4247 sq. ft.	4184 sq. ft.	4330 sq. ft.
FINISHED BASEMENT AREA	169 sq. ft.	173 sq. ft.	169 sq. ft.	173 sq. ft.	169 sq. ft.	169 sq. ft.	169 sq. ft.	169 sq. ft.
COVERED W/OUT PORCH	2549 sq. ft.	2549 sq. ft.	2644 sq. ft.	2644 sq. ft.	2542 sq. ft.	2542 sq. ft.	2572 sq. ft.	2572 sq. ft.
COVERED W/ PORCH	2598 sq. ft.	2598 sq. ft.	2693 sq. ft.	2693 sq. ft.	2601 sq. ft.	2601 sq. ft.	2635 sq. ft.	2635 sq. ft.
WINDOW / WALL AREA CALCULATIONS								
GROSS WALL AREA	4759.49 sq. ft.	4759.49 sq. ft.	5014.60 sq. ft.	4750.63 sq. ft.	4750.63 sq. ft.	4953.80 sq. ft.	4953.80 sq. ft.	4953.80 sq. ft.
GROSS WINDOW AREA	524.77 sq. ft.	536.11 sq. ft.	612.50 sq. ft.	539.80 sq. ft.	551.14 sq. ft.	554.51 sq. ft.	545.16 sq. ft.	545.16 sq. ft.
TOTAL WINDOW %	11.03 %	11.26 %	12.21 %	11.36 %	11.60 %	11.19 %	11.01 %	11.01 %
GROSS WALL AREA	4806.82 sq. ft.	4806.82 sq. ft.	5061.93 sq. ft.	4797.96 sq. ft.	4797.96 sq. ft.	5001.14 sq. ft.	5001.14 sq. ft.	5001.14 sq. ft.
GROSS WINDOW AREA	529.77 sq. ft.	541.11 sq. ft.	617.50 sq. ft.	544.80 sq. ft.	556.14 sq. ft.	559.51 sq. ft.	550.18 sq. ft.	550.18 sq. ft.
TOTAL WINDOW %	11.02 %	11.26 %	12.20 %	11.35 %	11.59 %	11.19 %	11.00 %	11.00 %
GROSS WALL AREA	4939.95 sq. ft.	4939.95 sq. ft.	5195.06 sq. ft.	4931.08 sq. ft.	4931.08 sq. ft.	5134.26 sq. ft.	5134.26 sq. ft.	5134.26 sq. ft.
GROSS WINDOW AREA	551.44 sq. ft.	562.77 sq. ft.	639.17 sq. ft.	566.47 sq. ft.	577.80 sq. ft.	581.18 sq. ft.	571.85 sq. ft.	571.85 sq. ft.
TOTAL WINDOW %	11.16 %	11.39 %	12.30 %	11.49 %	11.72 %	11.32 %	11.14 %	11.14 %
GROSS WALL AREA	5380.74 sq. ft.	5380.74 sq. ft.	5635.85 sq. ft.	5371.88 sq. ft.	5371.88 sq. ft.	5575.05 sq. ft.	5575.05 sq. ft.	5575.05 sq. ft.
GROSS WINDOW AREA	627.61 sq. ft.	638.94 sq. ft.	715.33 sq. ft.	642.64 sq. ft.	653.97 sq. ft.	657.35 sq. ft.	648.01 sq. ft.	648.01 sq. ft.
TOTAL WINDOW %	11.66 %	11.87 %	12.69 %	11.96 %	12.17 %	11.79 %	11.62 %	11.62 %



100 COMMERCE VALLEY DR. W.
THORNHILL, ONTARIO CANADA L3T 0A1
TEL: 1-905-882-4111 FAX: 1-905-882-0050 WWW.WSPGROUP.CA

FOR STRUCTURAL ONLY, EXCLUDING
ENGINEERED ROOF TRUSS, FLOOR
JOIST, AND FLOOR LVL BEAM DESIGN.



FRONT ELEVATION 'A'



FRONT ELEVATION 'B'



FRONT ELEVATION 'C'

UNIT 5004 - 'THE BEAUMONT'

SB-12 ENERGY EFFICIENCY DESIGN MATRIX

PRESCRIPTIVE COMPLIANCE	SB-12 (SECTION 3.1.1) TABLE 3.1.1.2.A	
PACKAGE A1	SPACE HEATING FUEL	
	<input type="checkbox"/> GAS	<input type="checkbox"/> OIL
	<input type="checkbox"/> ELECTRIC	<input type="checkbox"/> PROPANE
	<input type="checkbox"/> EARTH	<input type="checkbox"/> SOLID FUEL

BUILDING COMPONENT	REQUIRED	PROPOSED
INSULATION RSI (R) VALUE		
CEILING W/ ATTIC SPACE	10.56 (R60)	10.56 (R60)
CEILING W/O ATTIC SPACE	5.46 (R31)	5.46 (R31)
EXPOSED FLOOR	5.46 (R31)	5.46 (R31)
WALLS ABOVE GRADE	3.87 (R22)	3.87 (R22)
BASEMENT WALLS	3.52 ci (R20 ci) *	3.52 ci (R20 ci) *
BELOW GRADE SLAB ENTIRE SURFACE > 600mm BELOW GRADE	-	-
EDGE OF BELOW GRADE SLAB ≤ 600mm BELOW GRADE	1.76 (R10)	1.76 (R10)
HEATED SLAB OR SLAB ≤ 600mm BELOW GRADE	1.76 (R10)	1.76 (R10)
WINDOWS & DOORS		
WINDOWS/SLIDING GLASS DOORS (MAX U-VALUE)	1.6	1.6
SKYLIGHTS (MAX. U-VALUE)	2.8	2.8
APPLIANCE EFFICIENCY		
SPACE HEATING EQUIP. (AFUE%)	96%	96%
HRV EFFICIENCY (%)	75%	75%
DHW HEATER (EF)	0.8	0.8

AREA CALCULATIONS

- 1 - TITLE PAGE
- 2 - BASEMENT PLAN, EL. 'A'
- 3 - GROUND FLOOR PLAN, EL. 'A'
- 4 - SECOND FLOOR PLAN, EL. 'A'
- 5 - OPT. 5 BED. SECOND FLOOR PLAN, EL. 'A'
- 6 - BASEMENT PLAN, EL. 'A' CORNER
- 7 - GROUND FLOOR PLAN, EL. 'A' CORNER
- 8 - SECOND FLOOR PLAN, EL. 'A' CORNER
- 9 - PART. BASEMENT, GROUND & SECOND FLOOR PLAN, EL. 'B'
- 10 - PART. BASEMENT, GROUND & SECOND FLOOR PLAN, EL. 'C'
- 11 - PART. FLOOR PLANS - OPT ELEVATOR CONDITION
- 12 - PART. FLOOR PLANS, OPT. LOGGIA CONDITION
- 13 - PART. FLOOR PLANS ELEV. 'A' CORNER, OPT. LOGGIA CONDITION
- 14 - FRONT & REAR ELEVATION 'A' (REAR EL. 'B&C' SIMILAR)
- 15 - LEFT SIDE ELEVATION 'A'
- 16 - RIGHT SIDE ELEVATION 'A'
- 17 - FRONT ELEVATION 'A' CORNER
- 18 - LEFT SIDE ELEVATION 'A' CORNER
- 19 - RIGHT SIDE ELEVATION 'A' CORNER
- 20 - REAR ELEVATION 'A' CORNER
- 21 - FRONT ELEVATION 'B'
- 22 - LEFT SIDE ELEVATION 'B'
- 23 - RIGHT SIDE ELEVATION 'B'
- 24 - FRONT ELEVATION 'C'
- 25 - LEFT SIDE ELEVATION 'C'
- 26 - RIGHT SIDE ELEVATION 'C'
- 27 - UPGRADED REAR ELEVATION 'C'
- 28 - ELEVATIONS LOGGIA CONDITION
- 29 - CROSS SECTIONS
- 30 - CONSTRUCTION NOTES
- W1 - WALK OUT DECK CONDITION
- W1A - WALK OUT DECK CONDITION
- W2 - LOOK OUT DECK CONDITION
- W2A - LOOK OUT DECK CONDITION
- W3 - WALK OUT BASEMENT CONDITION
- W3A - WALK OUT BASEMENT CONDITION

8. -	-	-
7. -	-	-
6. -	-	-
5. -	-	-
4. -	-	-
3. -	-	-
2. -	-	-
1. ISSUED FOR PH2 PERMIT	2022.03.25	AW
	REVISIONS	DATE (YYYYMMDD) BY

GOLDPARK HOMES - 221081 **UNIT 5004 - THE BEAUMONT**
PINE VALLEY PH2, VAUGHAN, ON **REV.2022.03.25**

Drawn By: MC, Checked By: SB, Scale: 3/16"=1'-0", File Number: 221081WS5004, Page Number: 1 of 30

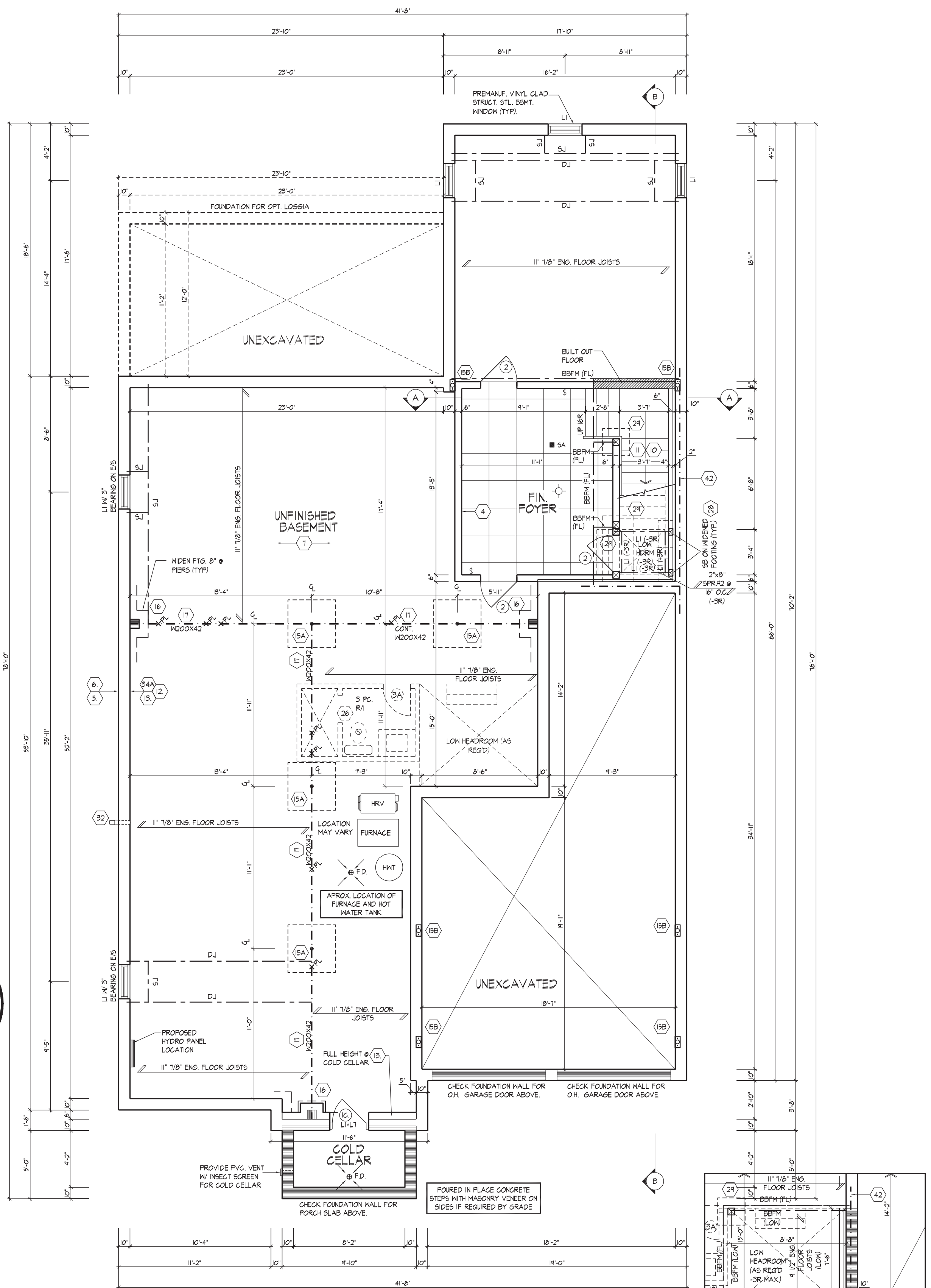
8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

HUNT DESIGN ASSOCIATES INC.
www.hunt-design.ca

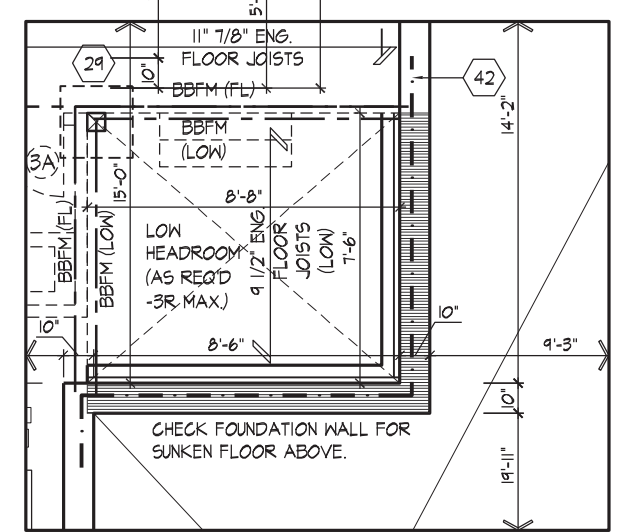
THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

Qualification Information: Allan Whiting, 23177, HUNT DESIGN ASSOCIATES INC., 19695

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BASEMENT PLAN EL. 'A'



PART. BASEMENT PLAN EL. 'A'
SUNKEN MUDROOM CONDITION
(EL. 'B' & 'C' SIMILAR)



- SPACE ALL FLOOR JOISTS @ 12' O.C. UNDER ALL CERAMIC TILE AREAS.
- PROVIDE SOLID WOOD BLOCKING @ 24" O.C. FOR FIRST JOIST SPAN WHEN PARALLEL W/ EXTERIOR WALL
- REFER TO FLOOR JOIST MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, BLOCKING & STRAPPING REQUIREMENTS
- INSTALLATION DETAILS AND HANGER SIZES, & SUBFLOOR THICKNESS



THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THE DESIGN AND ALL CALCULATIONS AND MEETS THE REQUIREMENTS SET FORTH IN THE SUBDIVISION AGREEMENT AND ALL APPLICABLE REGULATIONS AND BY-LAWS OF THE CITY OF VAUGHAN, ONTARIO.

ALLEN WILKING
ARCHITECTURAL ASSOCIATES INC.
18695
23177

HUNT DESIGN ASSOCIATES INC.
18695
23177

DESIGN ASSOCIATES INC.
VAUGHAN, ONTARIO
8866 Woodbine Ave. Markham, ON L3R 0J7
T: 905.727.2133 F: 905.727.2326

221081WS5004

2 of 30

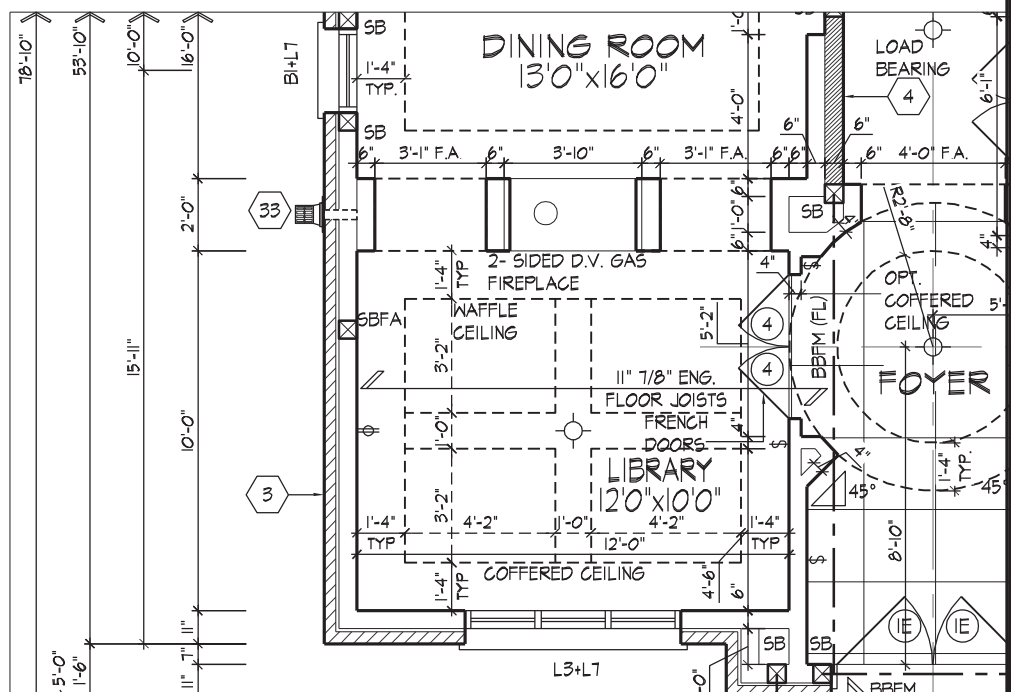
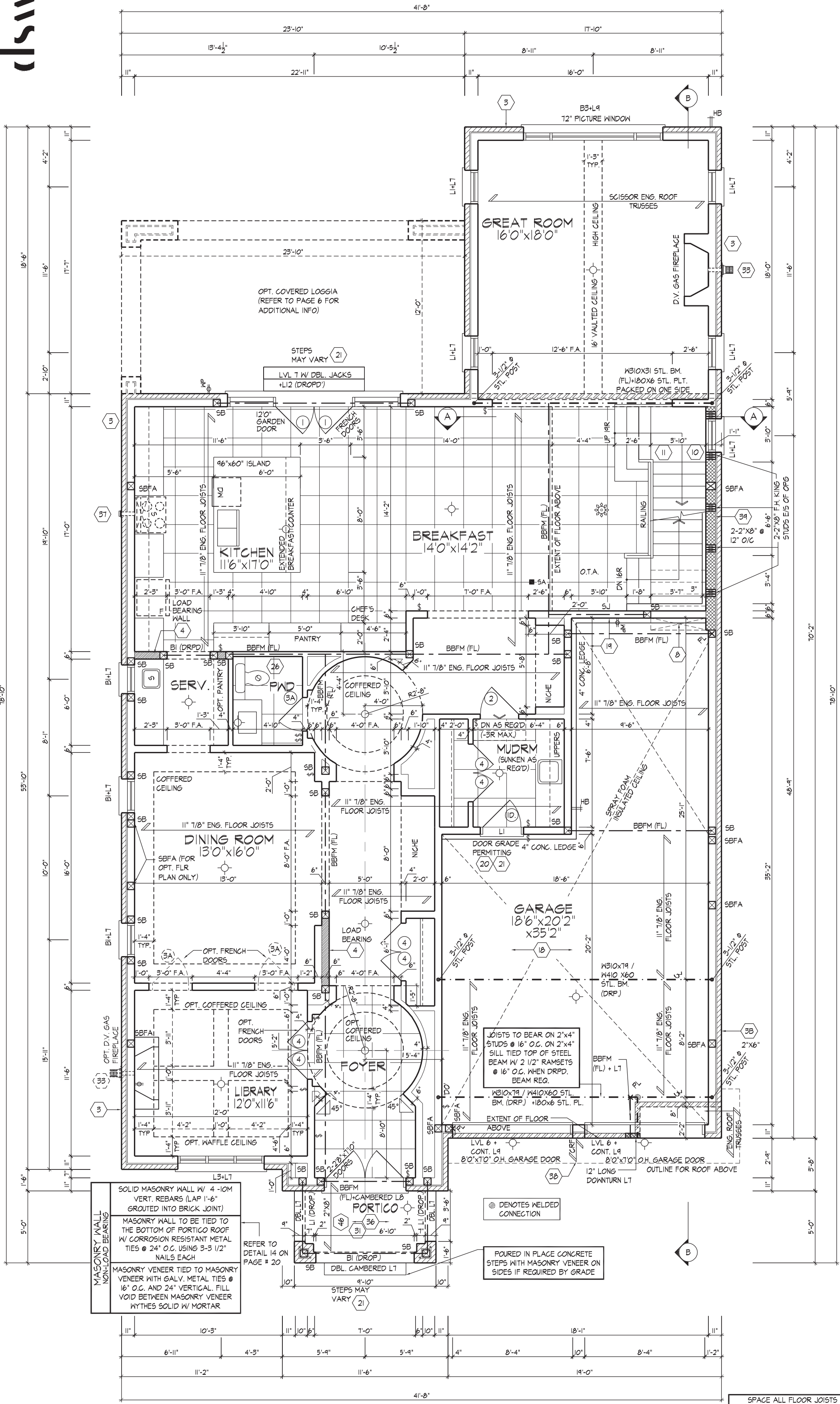
BASEMENT PLAN, EL. 'A'
UNIT 5004 - THE BEAUMONT
REV. 2022.03.25

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

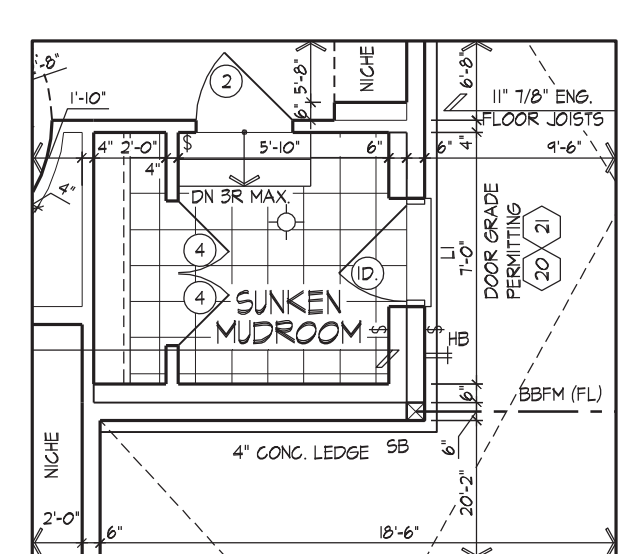
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.



100 CHARLES ST. UNIT 11
HORNBYVILLE ONTARIO CANADA L7L 1A1
TEL: 905.882.4211 FAX: 905.882.0559 WWW.WSPGROUP.CA



PART. OPT. LIBRARY GROUND FLOOR PLAN EL. 'A', 'B' & 'C'



PART. GROUND FLOOR PLAN EL. 'A' SUNKEN MUDROOM CONDITION (EL. 'B&C' SIMILAR)

SOLID MASONRY WALL W/ 4'-0" VERT. REBARS (LAP 1'-6" GROUTED INTO BRICK JOINT)
MASONRY WALL TO BE TIED TO THE BOTTOM OF PORTICO ROOF W/ CORROSION RESISTANT METAL TIES @ 24" O.C. USING 3-3/8" NAILS EACH
MASONRY VENEER TIED TO MASONRY VENEER WITH GALV. METAL TIES @ 16" O.C. AND 24" VERTICAL. FILL VOID BETWEEN MASONRY VENEER WITH SOLID W/ MORTAR

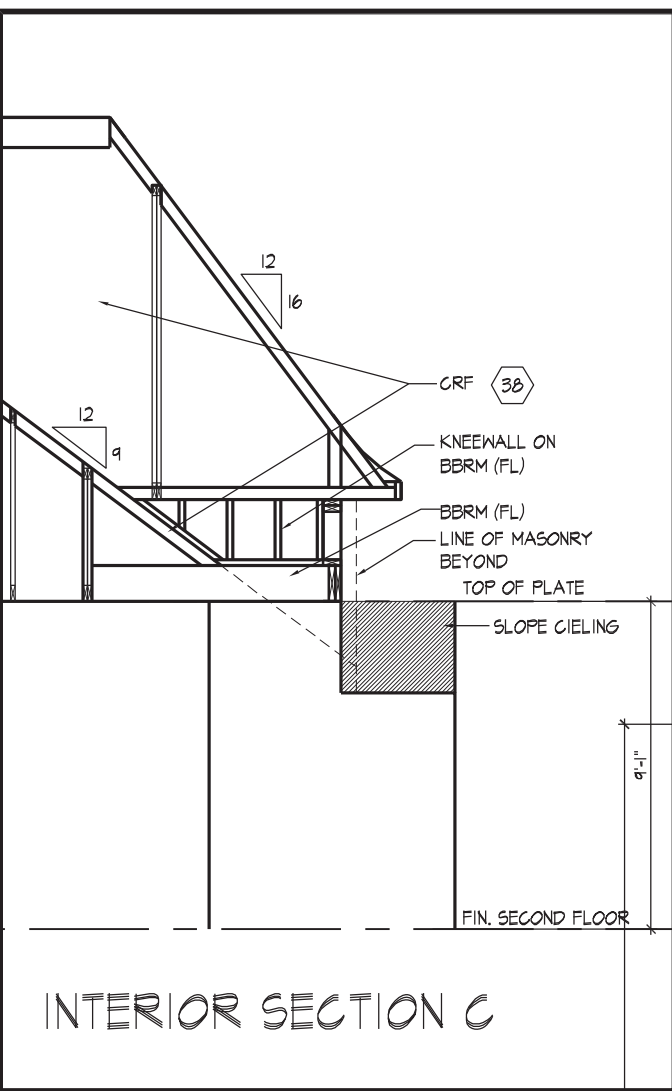
POURED IN PLACE CONCRETE STEPS WITH MASONRY VENEER ON SIDES IF REQUIRED BY GRADE

- SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.
- PROVIDE SOLID WOOD BLOCKING @ 24" O.C. FOR FIRST JOIST SPAN WHEN PARALLEL W/ EXTERIOR WALL
- REFER TO FLOOR JOIST MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, BLOCKING & STRAPPING REQUIREMENTS, INSTALLATION DETAILS AND HANGER SIZES, & SUBFLOOR THICKNESS

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY: [Signature]
DATE: MAY 22, 2022
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.



INTERIOR SECTION C

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THE DESIGN AND ALL CALCULATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE SUBDIVISION AGREEMENT. THE CONTROL ARCHITECT IS NOT RESPONSIBLE IN ANY WAY FOR EXAMINING OR APPROVING SITE (LOT) PLANS OR WORKING DRAWINGS WITH RESPECT TO ANY ZONING OR BUILDING CODE OR PERMIT MATTER OR THAT ANY HOUSE CAN BE PROPERLY BUILT OR LOCATED ON ITS LOT.

FOR STRUCTURAL ONLY, EXCLUDING ENGINEERED ROOF TRUSS, JOIST, AND FLOOR LVL BEAM DESIGN.

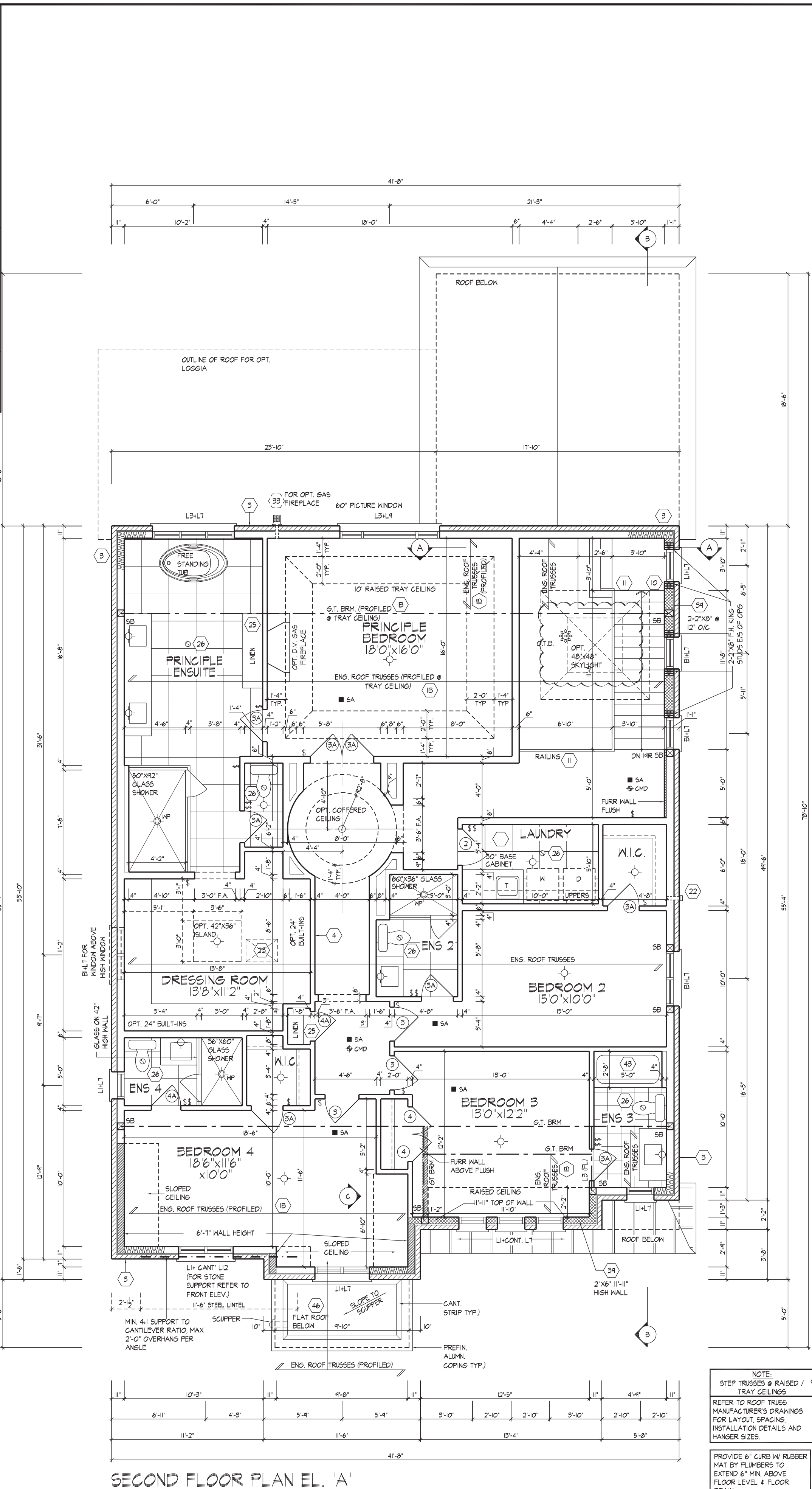
HUNT DESIGN ASSOCIATES INC.
 19995
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HUNT DESIGN ASSOCIATES INC.
 8866 Woodbine Ave. Unit 107
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 T: 905.727.5133 F: 905.737.7286

GOLDPARK HOMES - 221081
PINE VALLEY PH2 VAUGHAN, ON
UNIT 5004 - THE BEAUMONT
 REV: 2022.03.25

SECOND FLOOR PLAN, EL. 'A'

221081WS5004
 4 of 30

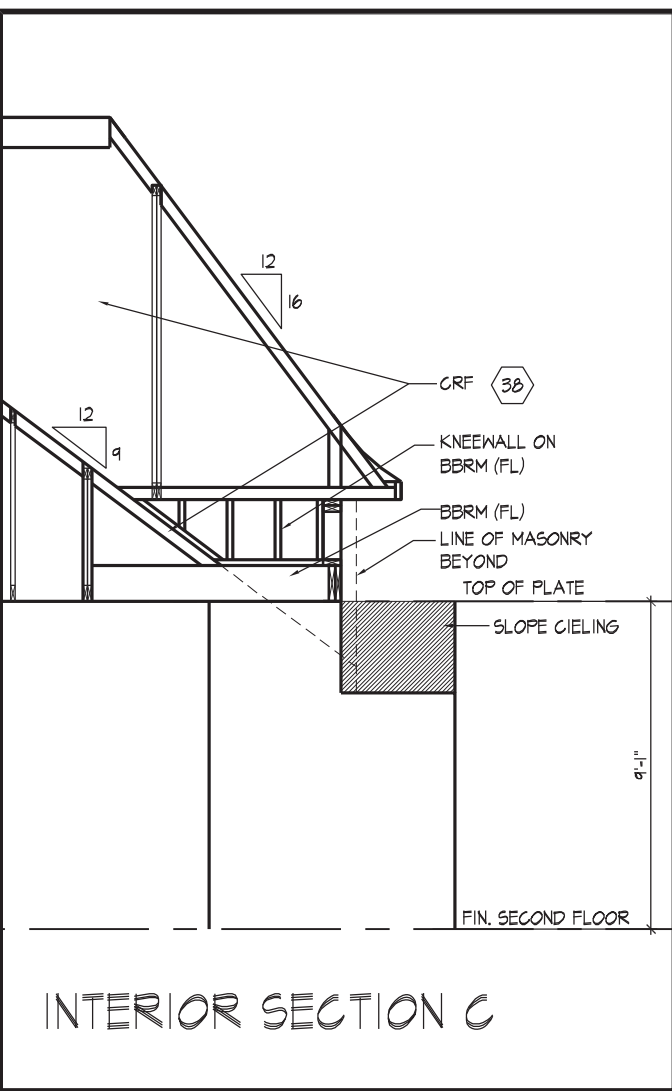


SECOND FLOOR PLAN EL. 'A'

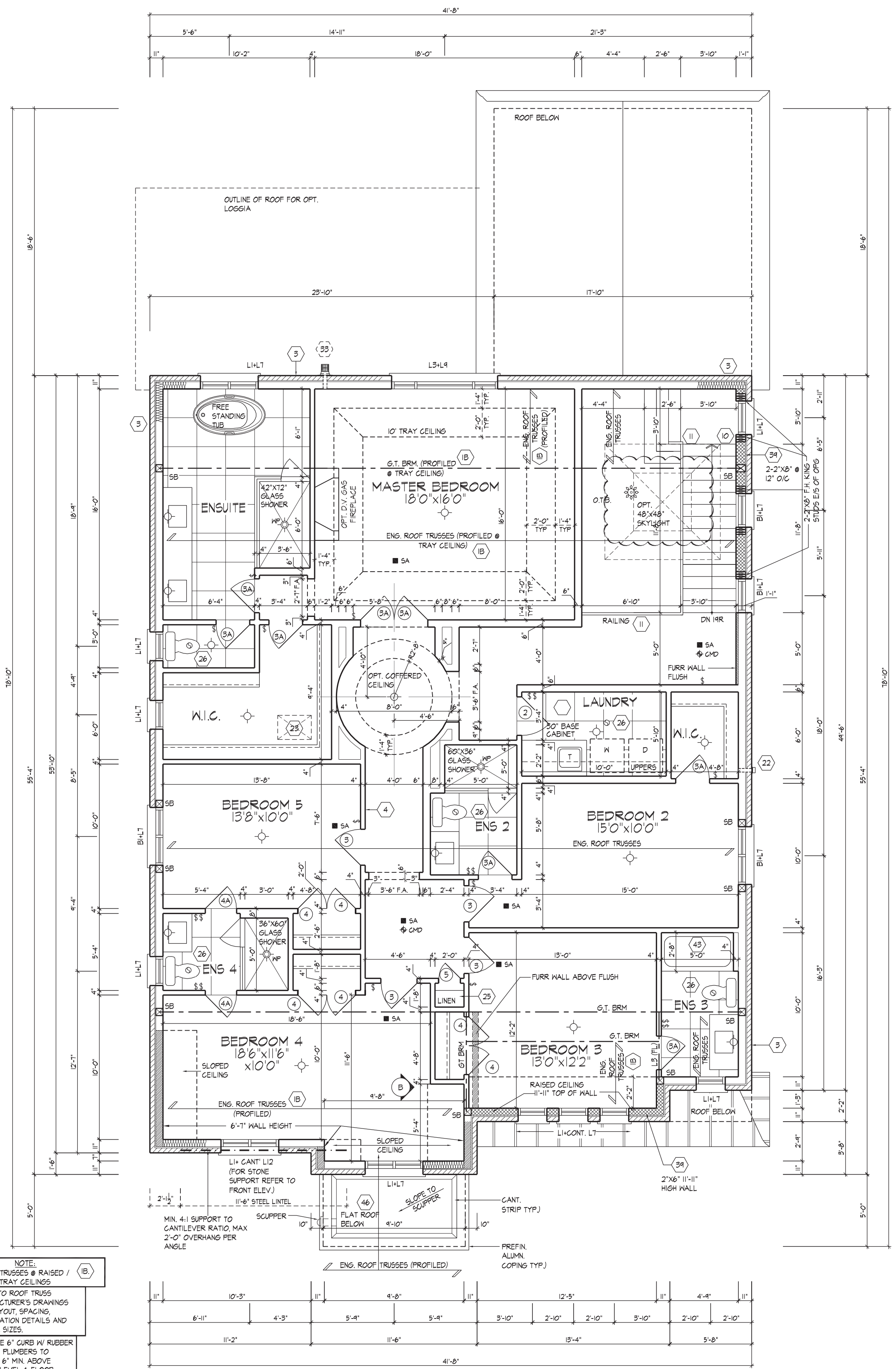
NOTE:
 STEP TRUSSES @ RAISED / TRAY CEILING (IB)
 REFER TO ROOF TRUSS MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, INSTALLATION DETAILS AND HANGER SIZES.
 PROVIDE 6" CURB W/ RUBBER MAT BY PLUMBERS TO EXTEND 6" MIN. ABOVE FLOOR LEVEL & FLOOR DRAIN



JOHN G. WILLIAMS LTD., ARCHITECT
 ARCHITECTURAL CONTROL REVIEW AND APPROVAL
 APPROVED BY: [Signature]
 DATE: MAY 27, 2022
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INTERIOR SECTION C



OPT. 5 BED. SECOND FLOOR PLAN EL. 'A'

THE PROFESSIONAL ENGINEER HAS REVIEWED AND TAKES RESPONSIBILITY FOR THE DESIGN AND CALCULATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE SUBDIVISION AGREEMENT AND THE REQUIREMENTS SET OUT IN THE SUBDIVISION AGREEMENT. THE CONTROL ARCHITECT IS NOT RESPONSIBLE IN ANY WAY FOR EXAMINING OR APPROVING SITE (LITING) PLANS OR WORKING DRAWINGS WITH RESPECT TO ANY ZONING OR BUILDING CODE OR PERMIT MATTER OR THAT ANY HOUSE CAN BE PROPERLY BUILT OR LOCATED ON ITS LOT. THIS IS TO CERTIFY THAT THESE PLANS COMPLY WITH THE APPLICABLE ARCHITECTURAL DESIGN GUIDELINES APPROVED BY THE CITY OF VAUGHAN.

DESIGN ASSOCIATES INC. 23177 19995
 HUNT DESIGN ASSOCIATES INC. 19995
 VVAUGHAN, ONTARIO L4V 1C3
 8866 Woodbine Ave. Unit 5004
 Tel: 1-800-822-7111, 1-800-822-0000
 Fax: 905-737-7326

FOR STRUCTURAL ONLY. EXCLUDING ENGINEERED ROOF TRUSS, JOIST, AND FLOOR LVL BEAM DESIGN.

PROFESSIONAL ENGINEER
 A. KONG
 1001184942
 May 20, 2022

PROFESSIONAL ENGINEER
 WSP

100 COMMERCE VALLEY W. UNIT 101
 TEL: 1-800-822-7111, 1-800-822-0000
 FAX: 905-737-7326

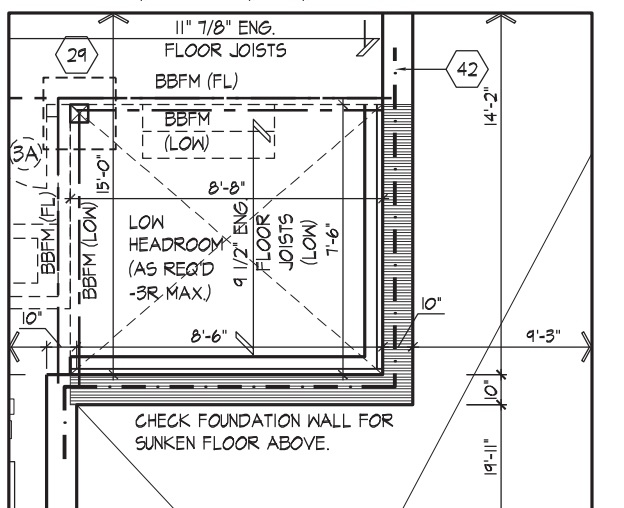
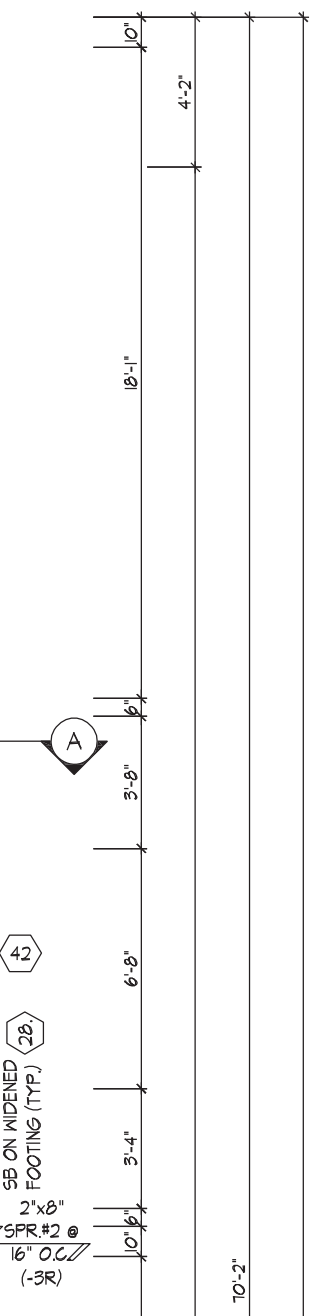
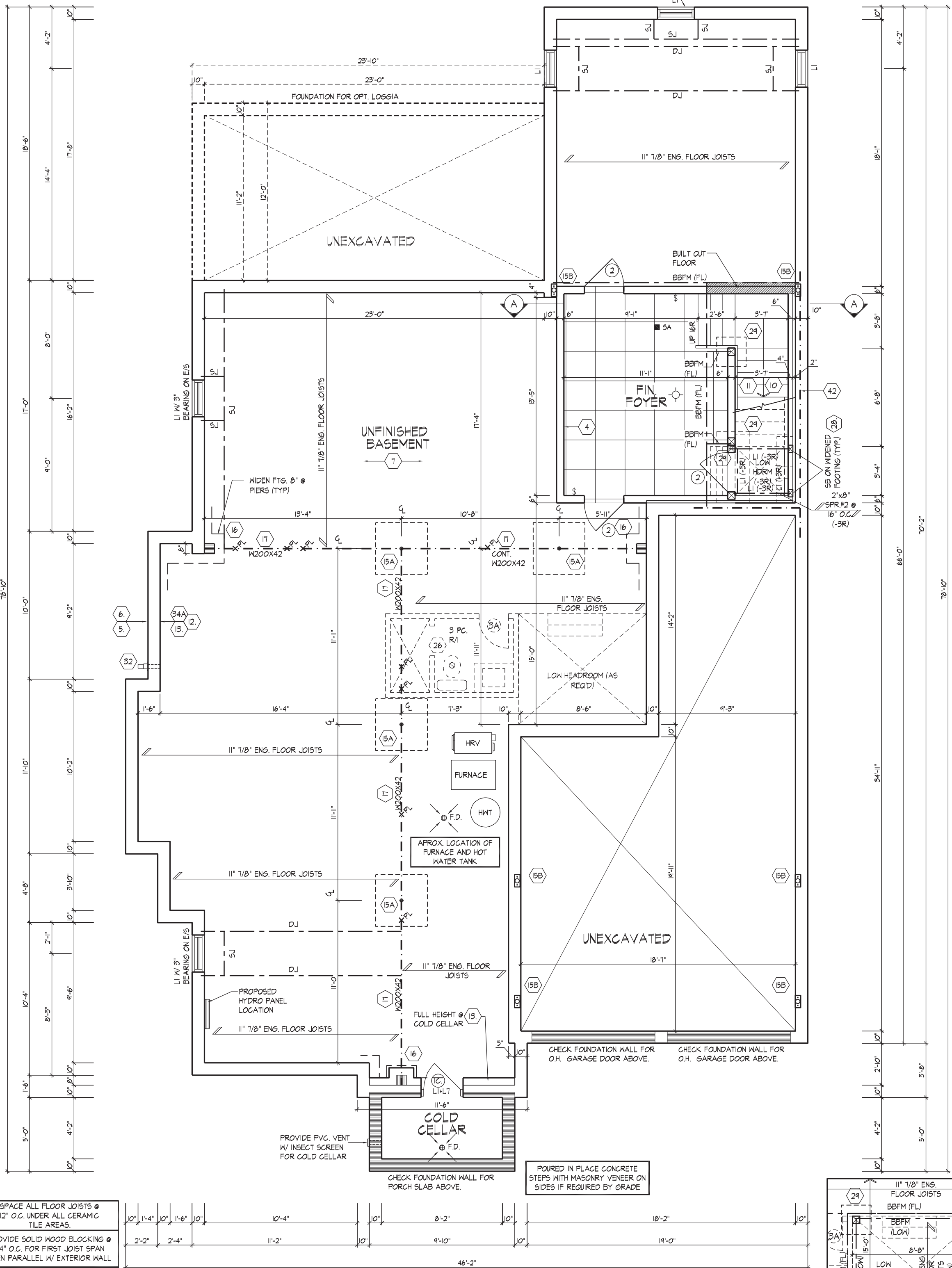
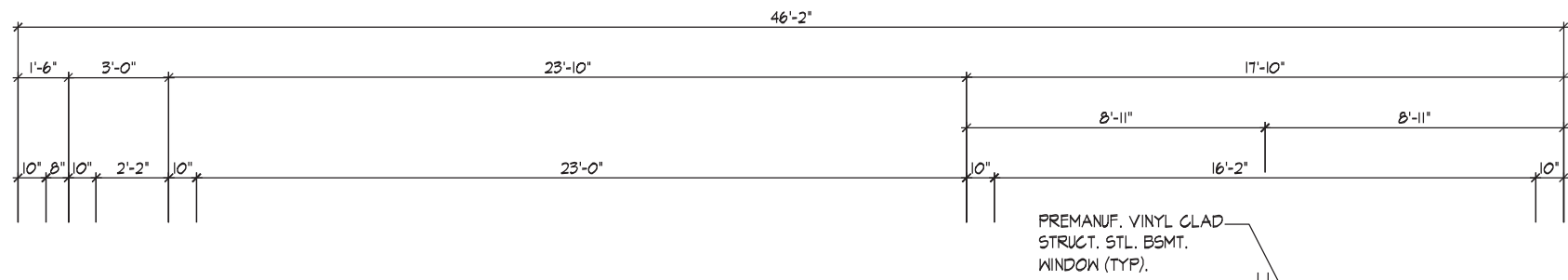
Opt. 5 Bed. Second Floor Plan El. 'A'
 GOLDPARK HOMES - 221081
 PINE VALLEY PH2, VAUGHAN, ON
 UNIT 5004 - THE BEAUMONT
 REV: 2022.03.25

221081WS5004
 5 of 30



NOTE:
 STEP TRUSSES @ RAISED / TRAY CEILINGS.
 REFER TO ROOF TRUSS MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, INSTALLATION DETAILS AND HANGER SIZES.
 PROVIDE 6" CURB W/ RUBBER MAT BY FLUMBERS TO EXTEND 6" MIN. ABOVE FLOOR LEVEL & FLOOR DRAIN

JOHN G. WILLIAMS LTD., ARCHITECT
 ARCHITECTURAL CONTROL REVIEW
 AND APPROVAL
 APPROVED BY: [Signature]
 DATE: MAY 22, 2022
 This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.



SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.
PROVIDE SOLID WOOD BLOCKING @ 24" O.C. FOR FIRST JOIST SPAN WHEN PARALLEL W/ EXTERIOR WALL
REFER TO FLOOR JOIST MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, BLOCKING & STRAPPING REQUIREMENTS, INSTALLATION DETAILS AND HANGER SIZES, & SUBFLOOR THICKNESS

BASEMENT PLAN EL. 'A' - CORNER



nspj
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 ENGINEERED ROOF TRUSS, FLOOR
 JOIST, AND FLOOR LVL BEAM DESIGN.

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 8866 Woodbine Ave., Markham, ON L3R 0J7
 TEL: 905.752.8133
 WWW.HUNTDESIGN.COM

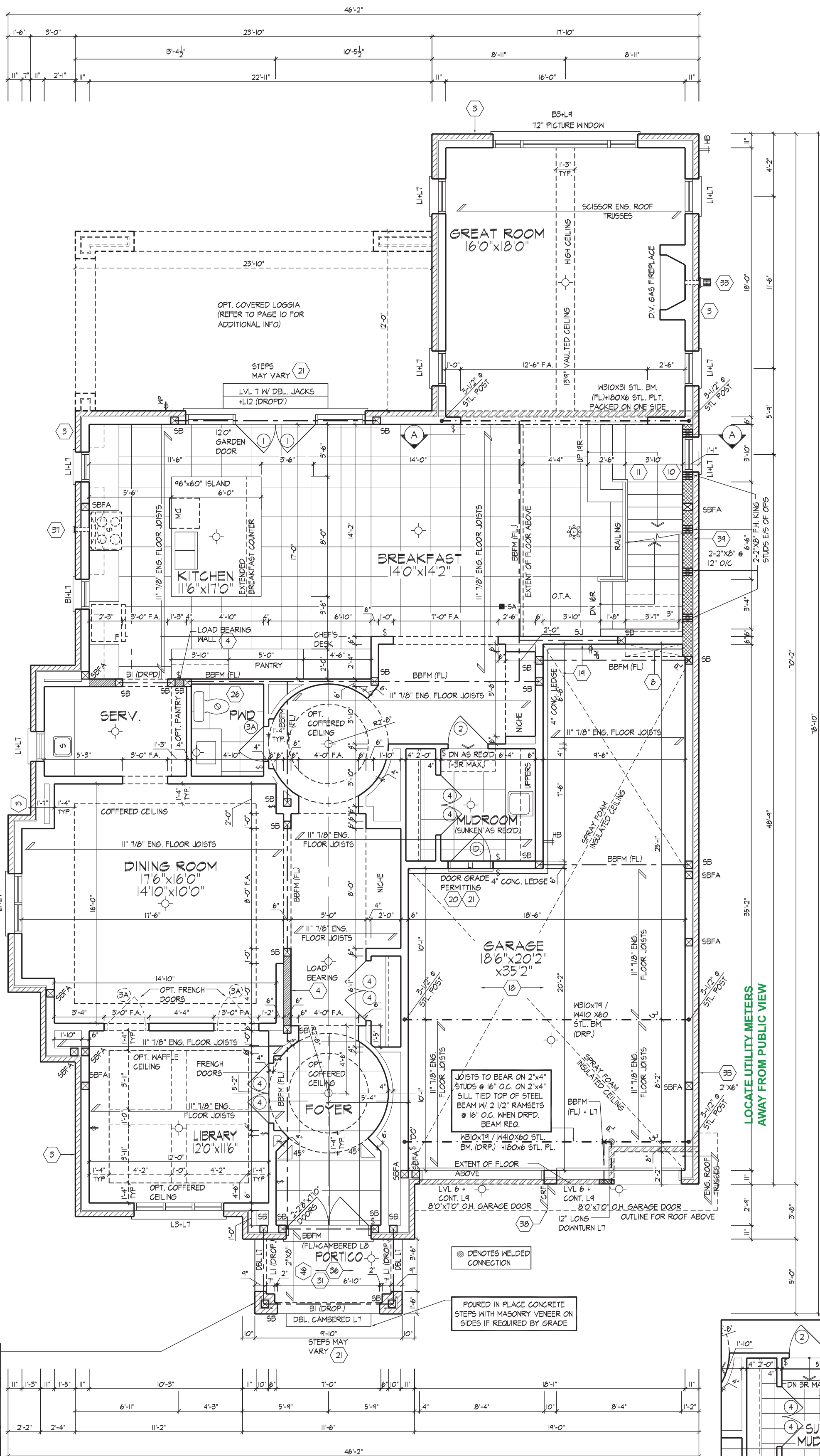
GOLDPARK HOMES - 221081
UNIT 5004 - THE BEAUMONT
 REV. 2022.03.25

BASEMENT PLAN, EL. 'A' CORNER

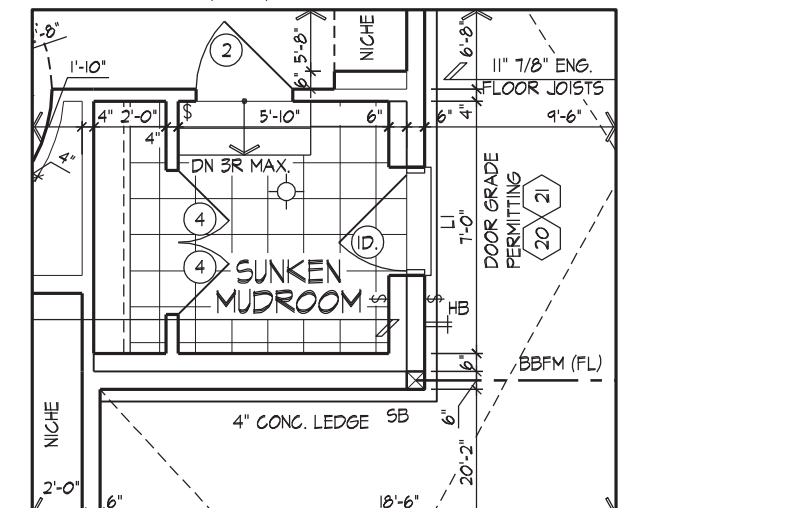
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 DATE: MAY 22, 2022

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot. This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.





GROUND FLOOR PLAN EL. 'A' - CORNER



PART. GROUND FLOOR PLAN EL. 'A' SUNKEN MUDROOM CONDITION

- SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.
- PROVIDE SOLID WOOD BLOCKING @ 24" O.C. FOR FIRST JOIST SPAN WHEN PARALLEL W/ EXTERIOR WALL.
- REFER TO FLOOR JOIST MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, BLOCKING & STRAPPING REQUIREMENTS. INSTALLATION DETAILS AND HANGER SIZES & SUBFLOOR THICKNESS.

REFER TO DETAIL 14 ON PAGE # 12

SOLID MASONRY WALL W/ 4-10M VERT. REBARS (LAP 1'-6" GROUDED INTO BRICK JOINT)

MASONRY WALL TO BE TIED TO THE BOTTOM OF PORTICO ROOF W/ CORROSION RESISTANT METAL TIES @ 24" O.C. USING 3-3/16" NAILS EACH

MASONRY VENEER TIED TO MASONRY VENEER WITH GALV. METAL TIES @ 16" O.C. AND 24" VERTICAL. FILL VOID BETWEEN MASONRY VENEER W/ TIES SOLID W/ MORTAR

JOHN G. WILLIAMS LTD., ARCHITECT
 ARCHITECTURAL CONTROL REVIEW AND APPROVAL

APPROVED BY: _____
 DATE: MAY 27, 2022

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

LICENSED PROFESSIONAL ENGINEER
A. KONG
 100194942
 May 20, 2022

nsj

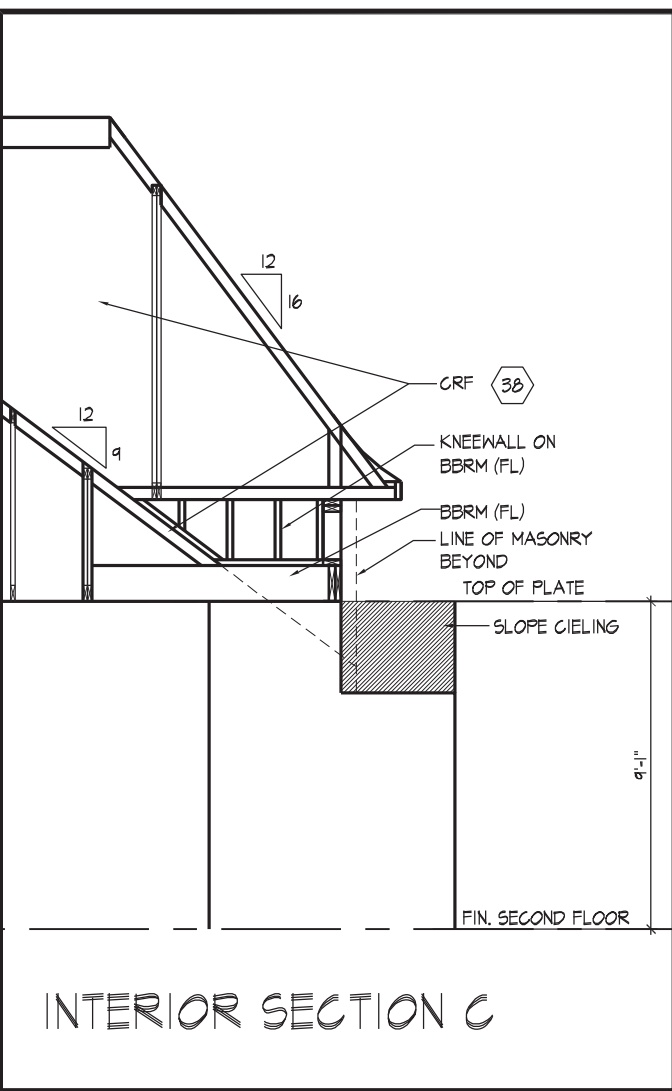
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HUNT DESIGN ASSOCIATES INC.
 18995

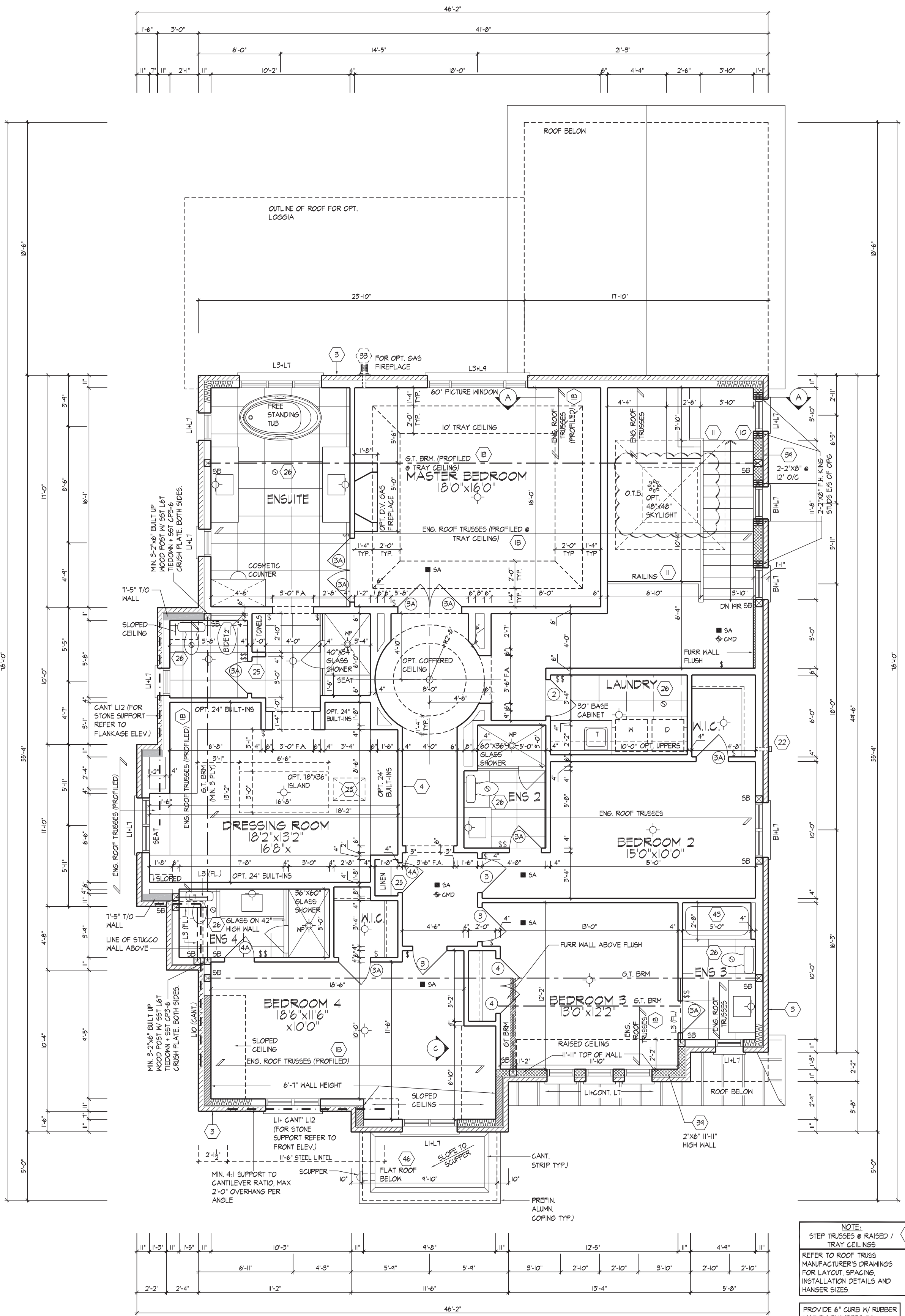
GOLDPARK HOMES - 221081
PINE VALLEY PH2, VAUGHAN, ON
UNIT 5004 - THE BEAUMONT
 REV. 2022.03.25

221081WS0504

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INTERIOR SECTION C



SECOND FLOOR PLAN EL. 'A' - CORNER

NOTE:
STEP TRUSSES @ RAISED / TRAY CEILINGS (IB)
REFER TO ROOF TRUSS MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, INSTALLATION DETAILS AND HANGER SIZES
PROVIDE 6" CURB W/ RUBBER MAT BY PLUMBERS TO EXTEND 6" MIN. ABOVE FLOOR LEVEL 4 FLOOR DRAIN

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THE DESIGN AND CONSTRUCTION OF THE WORK SHOWN ON THESE PLANS. THE UNDERSIGNED IS NOT RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF ANY WORK NOT SHOWN ON THESE PLANS. THE UNDERSIGNED IS NOT RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF ANY WORK NOT SHOWN ON THESE PLANS. THE UNDERSIGNED IS NOT RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF ANY WORK NOT SHOWN ON THESE PLANS.

ALAN WILKING
REGISTERED PROFESSIONAL ENGINEER
HUNT DESIGN ASSOCIATES INC.
19995
20177
19995
20177

DESIGN ASSOCIATES INC.
8866 Woodbine Ave., Markham, ON L3R 0J7
T: 905.737.9131 F: 905.737.7286
WWW.HUNTDESIGN.COM

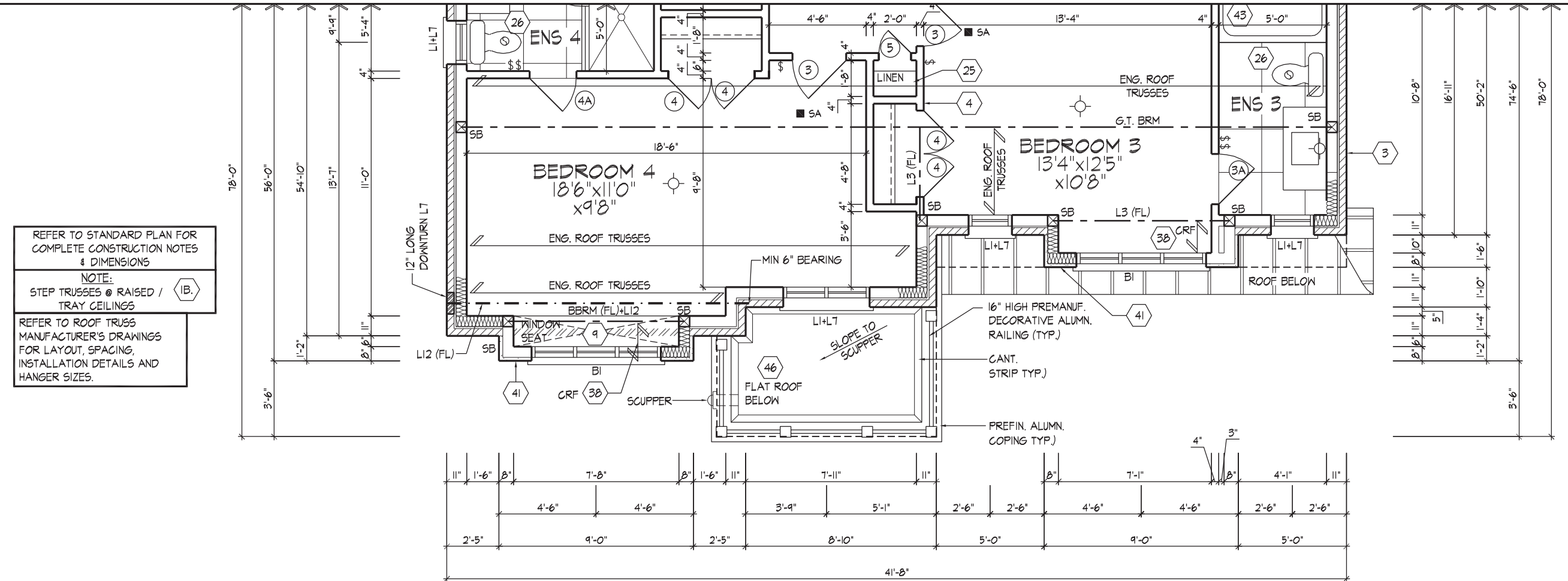
FOR STRUCTURAL ONLY, EXCLUDING ENGINEERED ROOF TRUSS, FLOOR JOIST, AND FLOOR LVL BEAM DESIGN.

GOLDPARK HOMES - 221081
PINE VALLEY PH2, VAUGHAN, ON
UNIT 5004 - THE BEAUMONT
REV. 2022.03.25

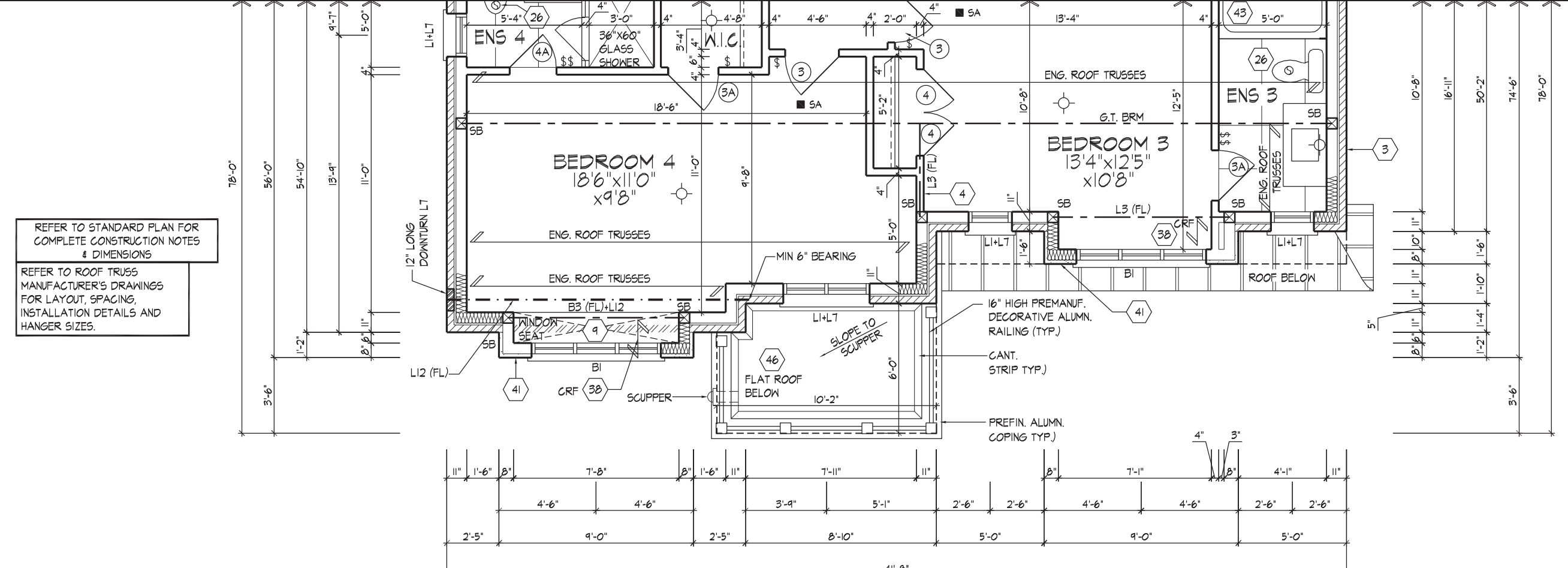
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8 of 30



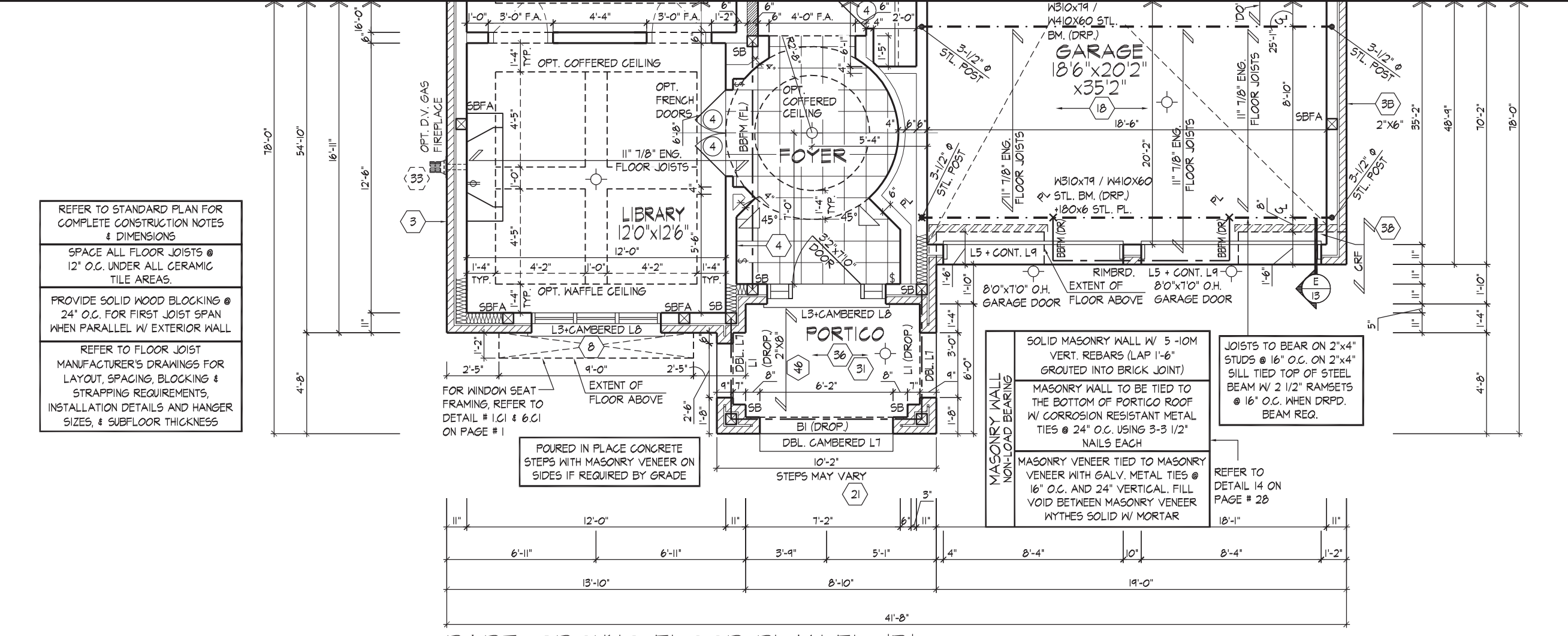
JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY: [Signature]
DATE: MAY 22, 2022
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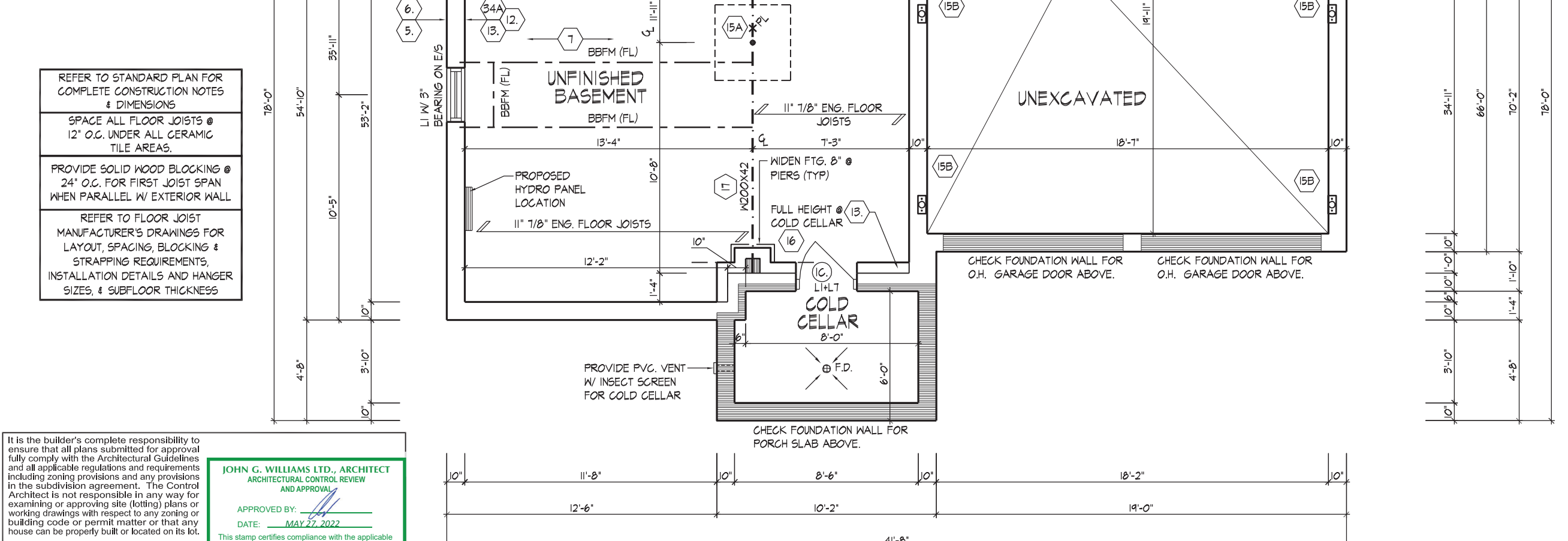
PART. OPT. 5 BED. SECOND FLOOR PLAN EL. 'B'



PART. SECOND FLOOR PLAN EL. 'B'



PART. GROUND FLOOR PLAN EL. 'B'



PART. BASEMENT PLAN EL. 'B'

REFER TO STANDARD PLAN FOR COMPLETE CONSTRUCTION NOTES & DIMENSIONS

NOTE:
STEP TRUSSES @ RAISED / TRAY CEILINGS

REFER TO ROOF TRUSS MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, INSTALLATION DETAILS AND HANGER SIZES.

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REFER TO STANDARD PLAN FOR COMPLETE CONSTRUCTION NOTES & DIMENSIONS

SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

PROVIDE SOLID WOOD BLOCKING @ 24" O.C. FOR FIRST JOIST SPAN WHEN PARALLEL W/ EXTERIOR WALL

REFER TO FLOOR JOIST MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, BLOCKING & STRAPPING REQUIREMENTS, INSTALLATION DETAILS AND HANGER SIZES, & SUBFLOOR THICKNESS

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ARCHITECTURAL CONTROL REVIEW AND APPROVAL

APPROVED BY: [Signature]
DATE: MAY 27, 2022

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PROFESSIONAL ENGINEER
A. KONG
100784942
May 20, 2022
PROVINCE OF ONTARIO

wsp
100 COMMERCIAL VALLEY DR. UNIT 101
WILLOWDALE, ONTARIO M2H 3C4
TEL: 1-905-882-0277 FAX: 1-905-823-0288 WWW.WSPGROUP.COM

THE PROFESSIONAL ENGINEER'S RESPONSIBILITY FOR THE DESIGN AND CALCULATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE PROVISIONS OF THE PROFESSIONAL ENGINEERS ACT AND REGULATIONS THEREUNDER.

ALVIN WILKING
REGISTERED PROFESSIONAL ENGINEER
HUNT DESIGN ASSOCIATES INC.
18695
23177

DESIGN ASSOCIATES INC.
VAUGHAN, ONTARIO M4V 1S3, CANADA
8866 Woodbine Ave., Markham, ON L3R 0J7 T: 905.757.1313 F: 905.757.7326
WWW.HUNTDESIGN.COM

HUNT DESIGN ASSOCIATES INC.
221081WS5004

CREATED BY: SB 3/16/1-0-0
CHECKED BY: MC
DATE: 221081WS5004

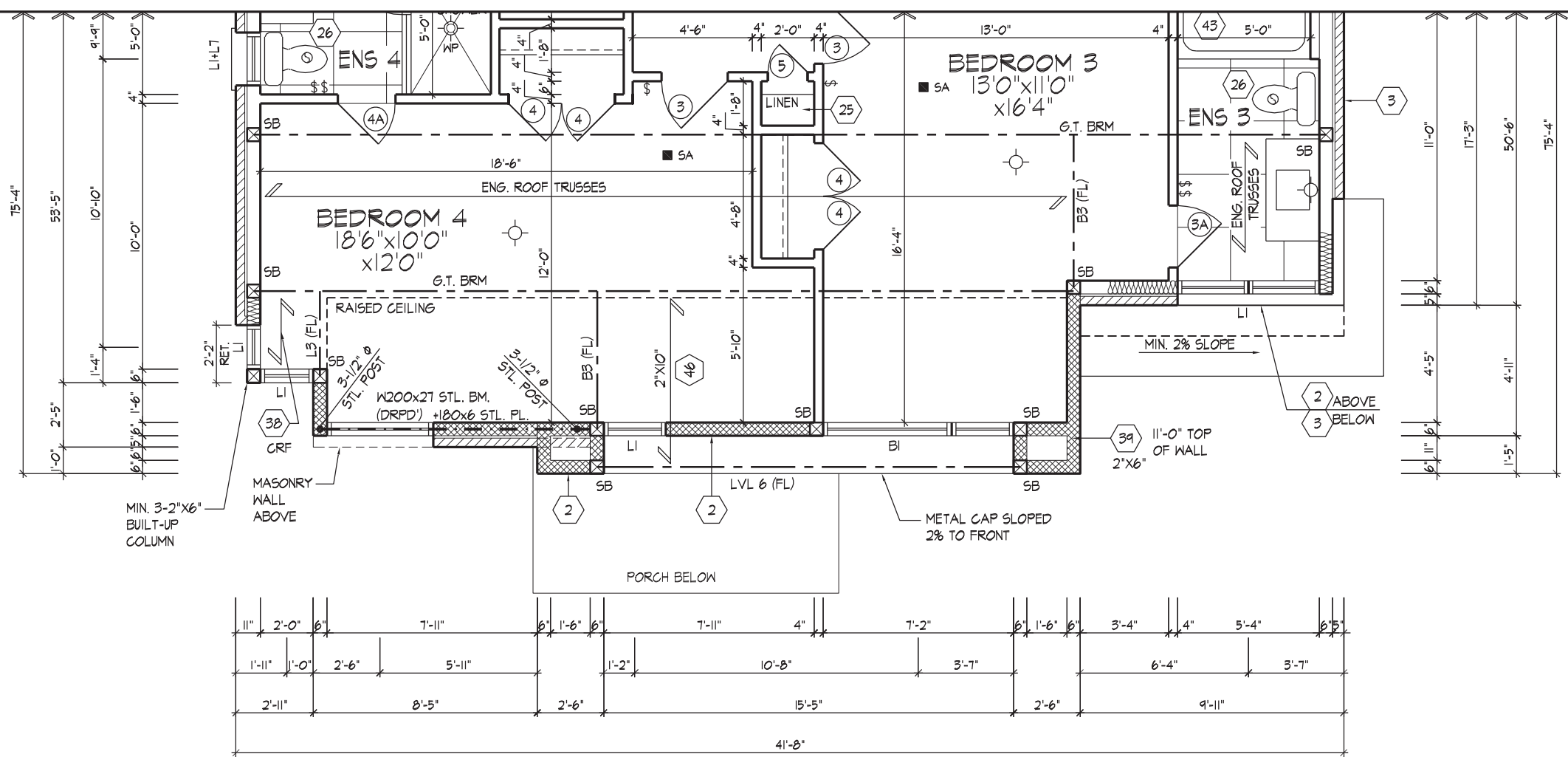
GOLDPARK HOMES - 221081
PINE VALLEY PH2, VAUGHAN, ON
UNIT 5004 - THE BEAUMONT
REV: 2022.03.25

9 of 30

REFER TO STANDARD PLAN FOR COMPLETE CONSTRUCTION NOTES & DIMENSIONS

NOTE:
STEP TRUSSES @ RAISED / TRAY CEILINGS

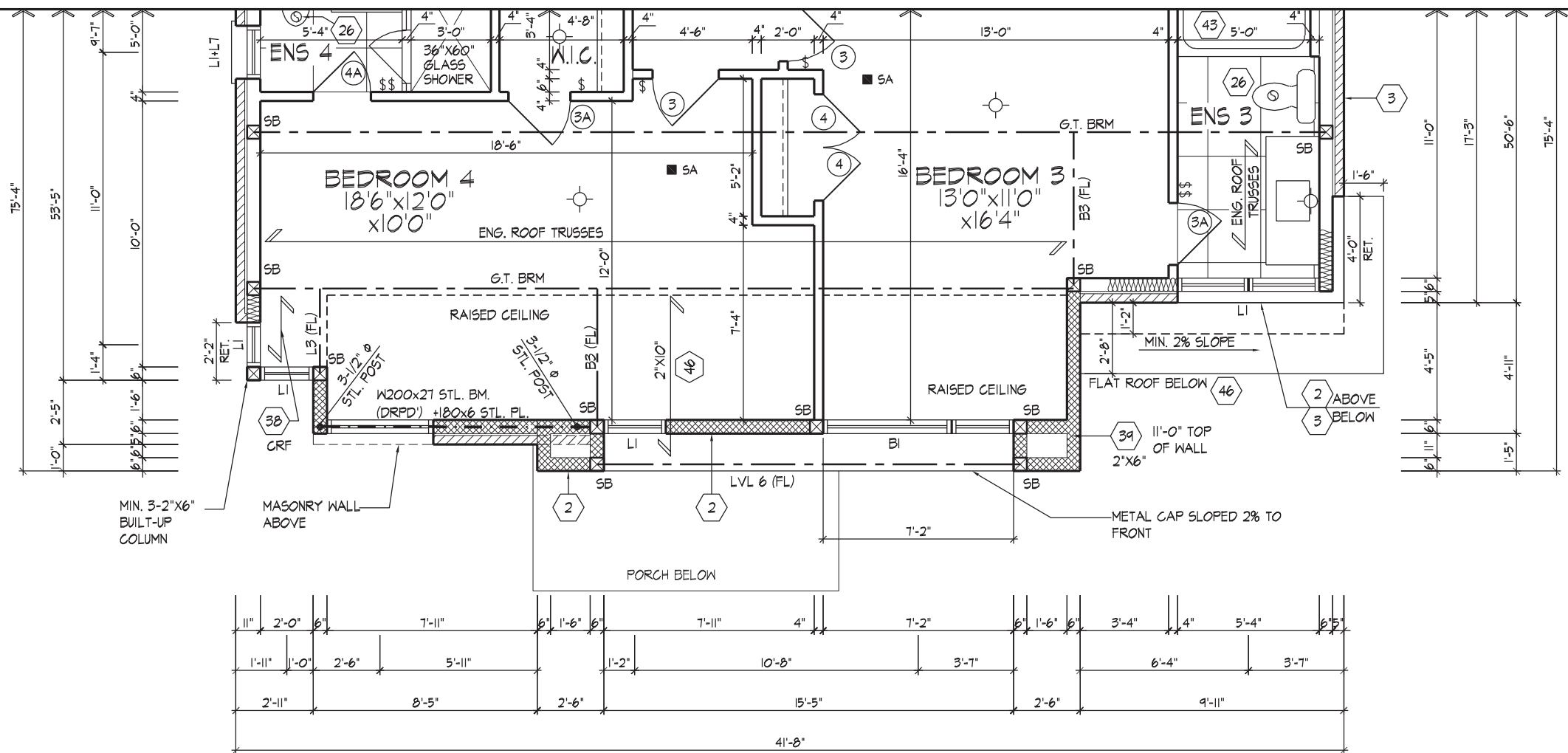
REFER TO ROOF TRUSS MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, INSTALLATION DETAILS AND HANGER SIZES.



PART. OPT. 5 BED. SECOND FLOOR PLAN EL. 'C'

REFER TO STANDARD PLAN FOR COMPLETE CONSTRUCTION NOTES & DIMENSIONS

REFER TO ROOF TRUSS MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, INSTALLATION DETAILS AND HANGER SIZES.



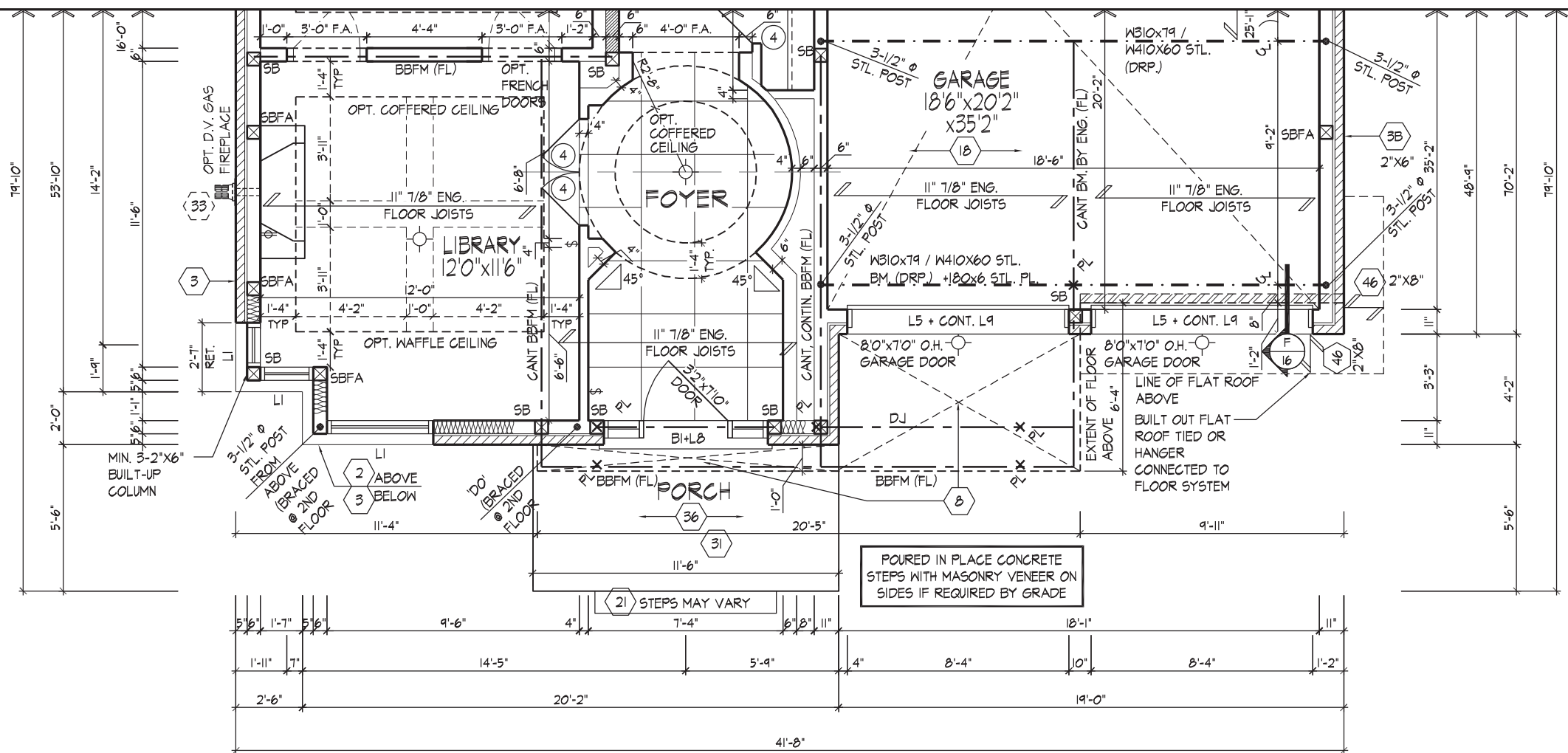
PART. SECOND FLOOR PLAN EL. 'C'

REFER TO STANDARD PLAN FOR COMPLETE CONSTRUCTION NOTES & DIMENSIONS

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REFER TO FLOOR JOIST MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, BLOCKING & STRAPPING REQUIREMENTS, INSTALLATION DETAILS AND HANGER SIZES, & SUBFLOOR THICKNESS



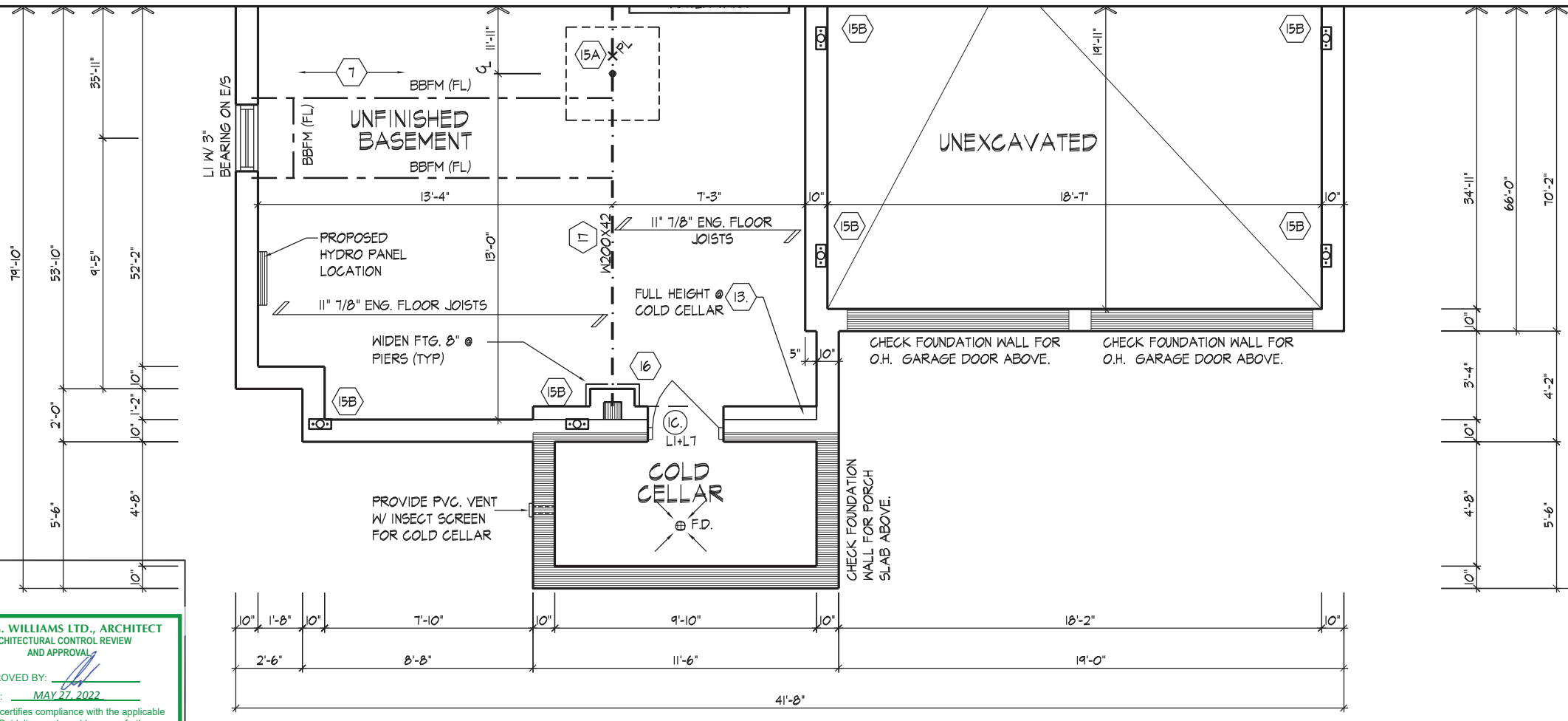
PART. GROUND FLOOR PLAN EL. 'C'

REFER TO STANDARD PLAN FOR COMPLETE CONSTRUCTION NOTES & DIMENSIONS

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REFER TO FLOOR JOIST MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, BLOCKING & STRAPPING REQUIREMENTS, INSTALLATION DETAILS AND HANGER SIZES, & SUBFLOOR THICKNESS



PART. BASEMENT PLAN EL. 'C'



FOR STRUCTURAL ONLY, EXCLUDING ENGINEERED ROOF TRUSS, FLOOR JOIST, AND FLOOR LVL BEAM DESIGN.

APPROVED BY:
DATE: MAY 27, 2022
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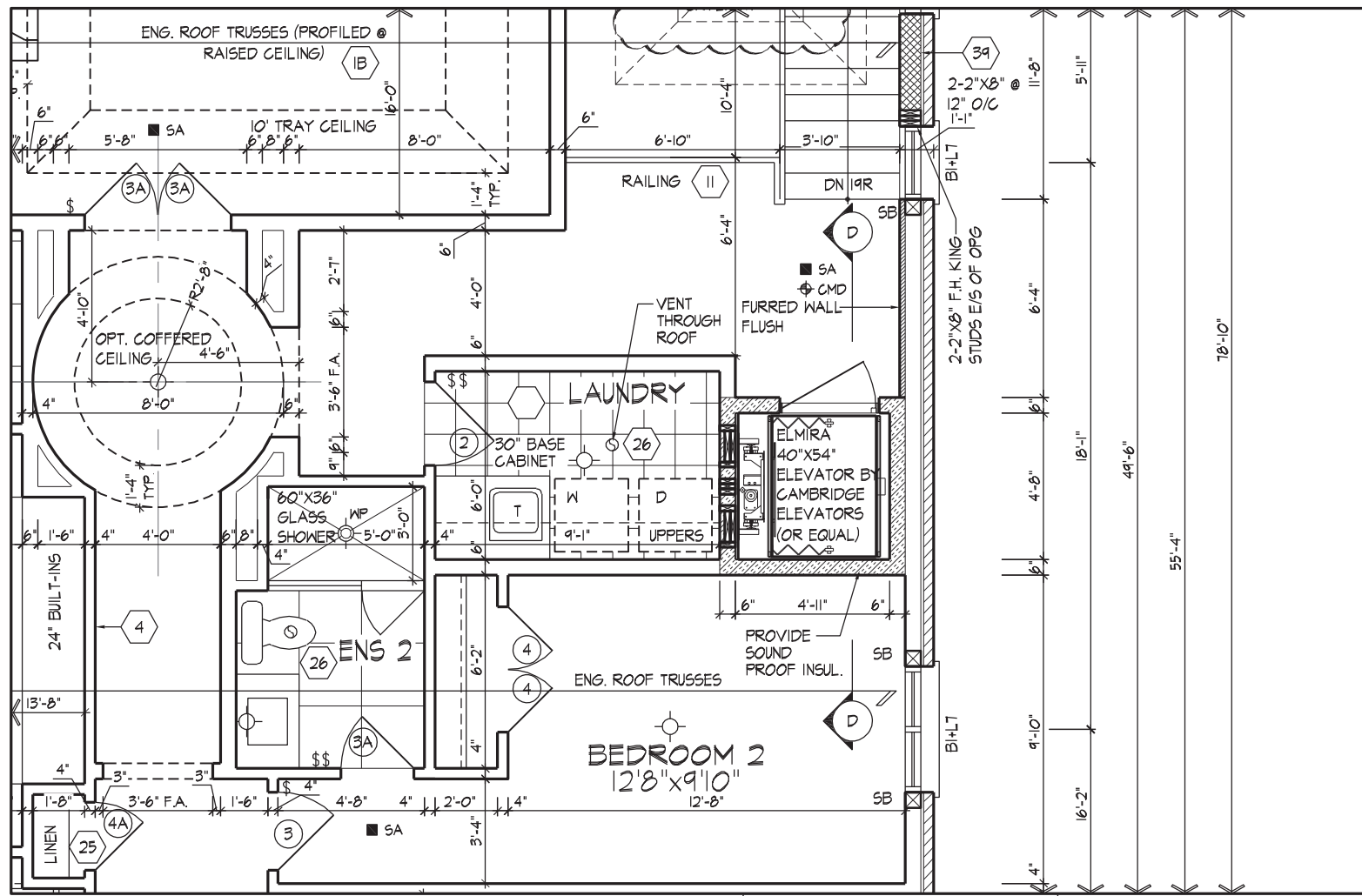
THE PROFESSIONAL ENGINEER HAS REVIEWED AND TAKES RESPONSIBILITY FOR THE DESIGN AND CALCULATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ARCHITECTURAL DESIGN GUIDELINES FOR CONSTRUCTION OF A RESIDENTIAL DEVELOPMENT.

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211081WS5004

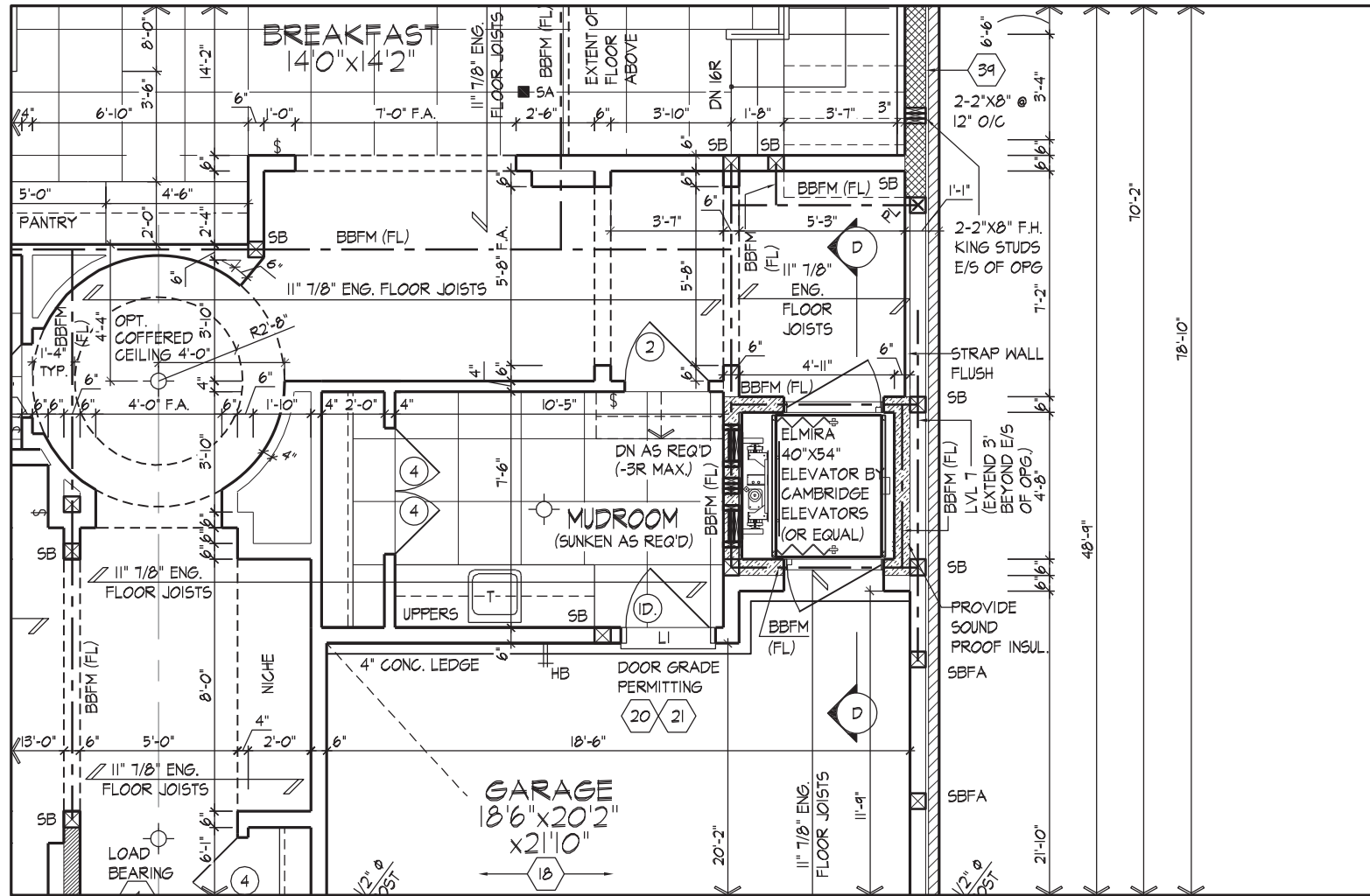
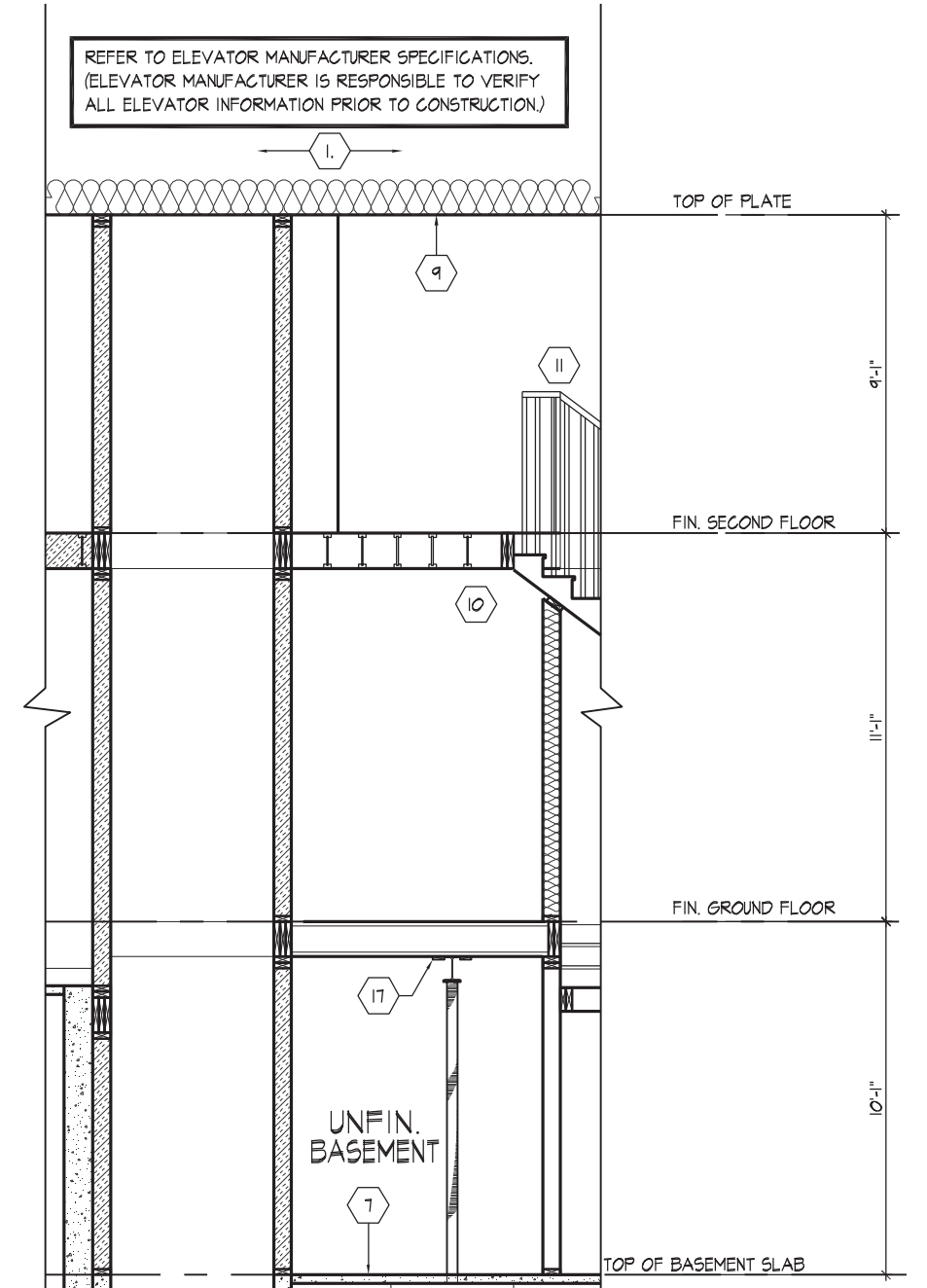
HUNT DESIGN ASSOCIATES INC.
VAUGHAN, ONTARIO L4V 1V4

DESIGN ASSOCIATES INC.
VAUGHAN, ONTARIO L4V 1V4

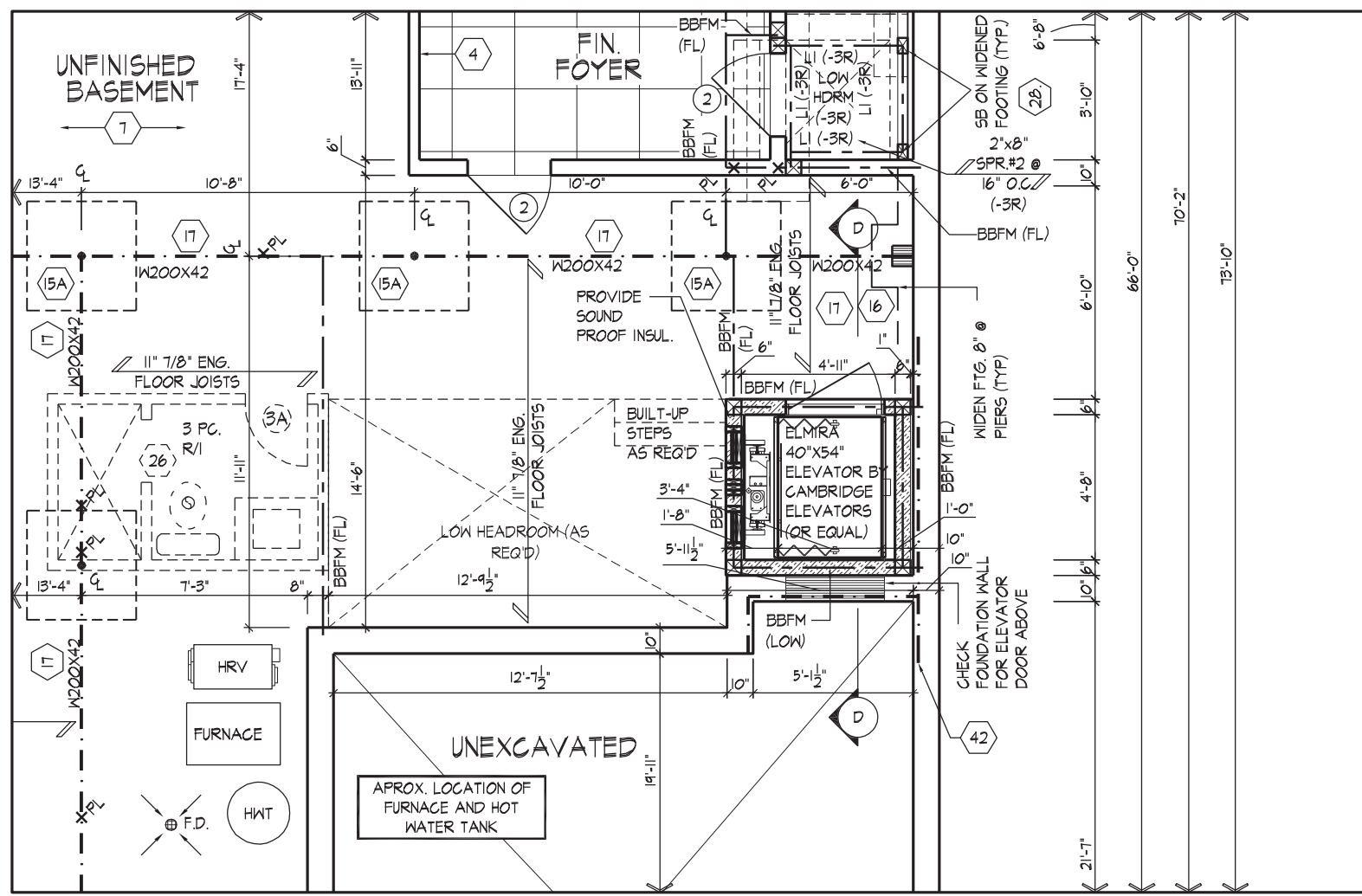
221081WS5004
10 of 30



PART. SECOND FLOOR PLAN EL. 'A' (OPT. ELEVATOR)
(ELEV. 'A' CORNER, 'B' & 'C' SIMILAR)



PART. GROUND FLOOR PLAN EL. 'A' (OPT. ELEVATOR)
(ELEV. 'A' CORNER, 'B' & 'C' SIMILAR)



PART. BASEMENT PLAN EL. 'A' (OPT. ELEVATOR)
(ELEV. 'A' CORNER, 'B' & 'C' SIMILAR)

REFER TO STANDARD PLAN FOR COMPLETE CONSTRUCTION NOTES & DIMENSIONS

REFER TO ROOF TRUSS MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, INSTALLATION DETAILS AND HANGER SIZES.

REFER TO STANDARD PLAN FOR COMPLETE CONSTRUCTION NOTES & DIMENSIONS

SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

PROVIDE SOLID WOOD BLOCKING @ 24" O.C. FOR FIRST JOIST SPAN WHEN PARALLEL W/ EXTERIOR WALL.

REFER TO FLOOR JOIST MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, BLOCKING & STRAPPING REQUIREMENTS, INSTALLATION DETAILS AND HANGER SIZES, & SUBFLOOR THICKNESS

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: [Signature]
DATE: MAY 27, 2022

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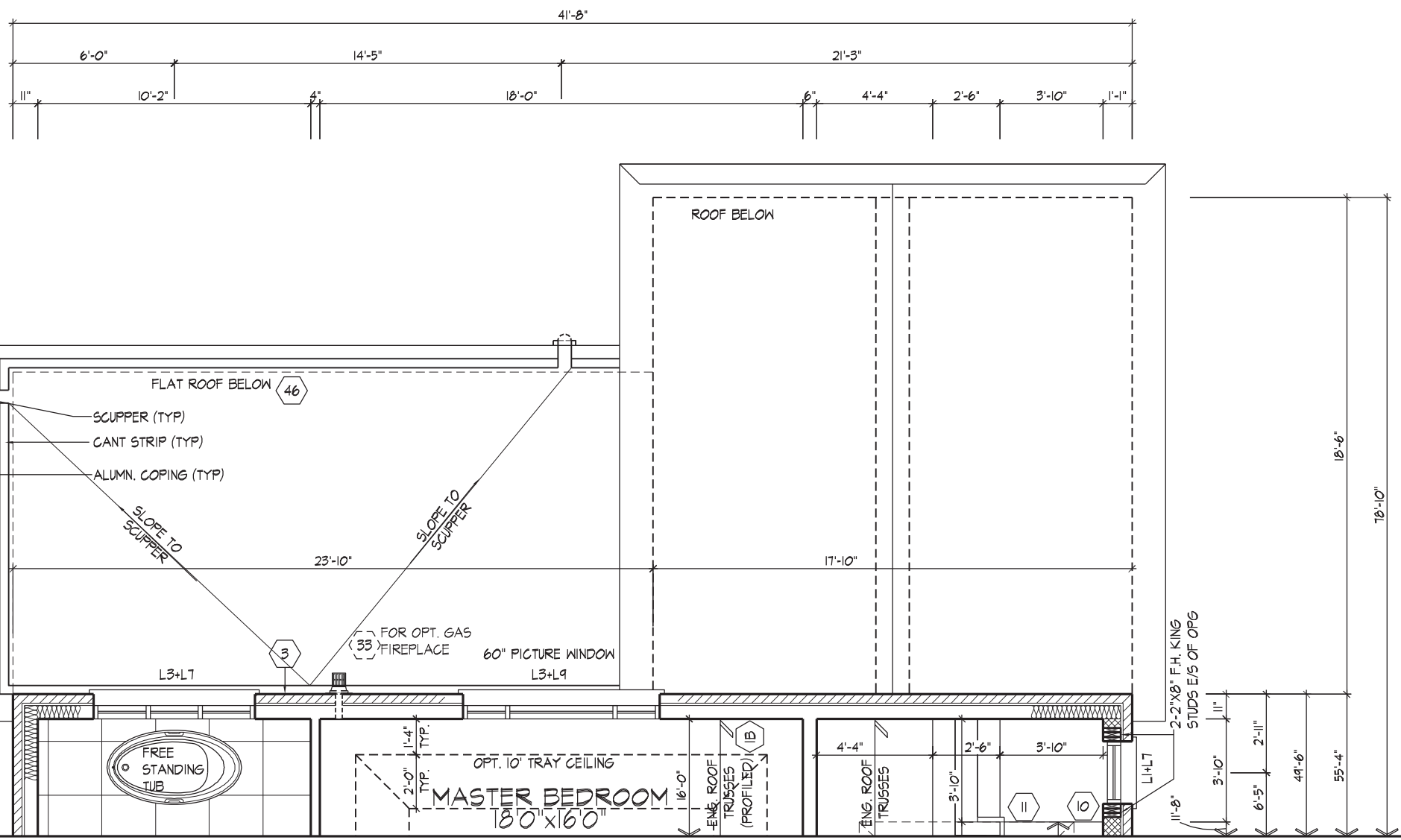
FOR STRUCTURAL ONLY, EXCLUDING ENGINEERED ROOF TRUSS, FLOOR JOIST, AND FLOOR LVL BEAM DESIGN.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THE DESIGN AND CALCULATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ARCHITECTURAL DESIGN GUIDELINES SET OUT IN THE SUBDIVISION AGREEMENT.

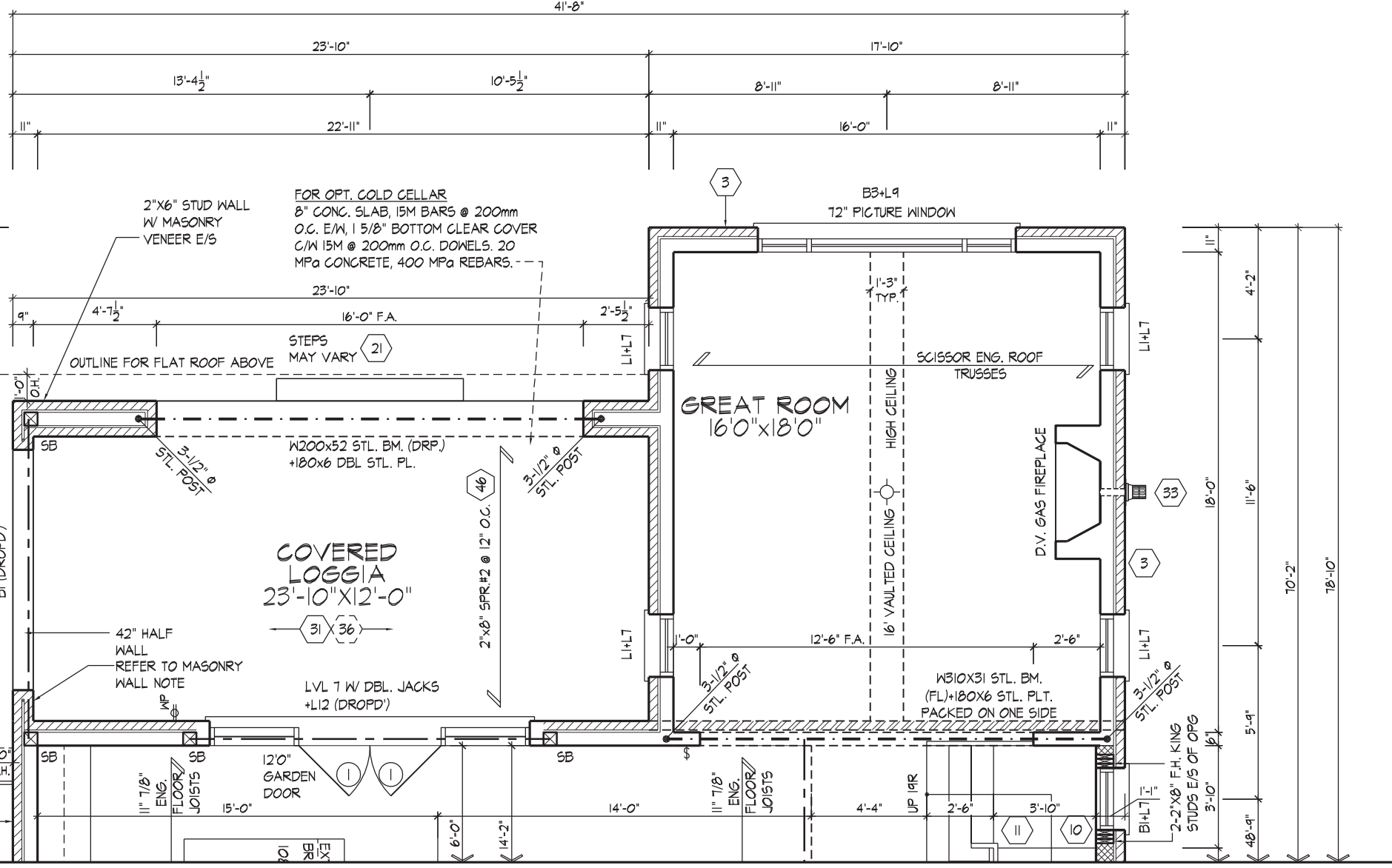
John Williams
REGISTERED PROFESSIONAL ENGINEER
HUNT DESIGN ASSOCIATES INC.
19995

HUNT DESIGN ASSOCIATES INC.
DESIGN ASSOCIATES INC.
8866 Woodbine Ave., Markham, ON L3R 0J7
T: 905.737.1333 F: 905.737.7326

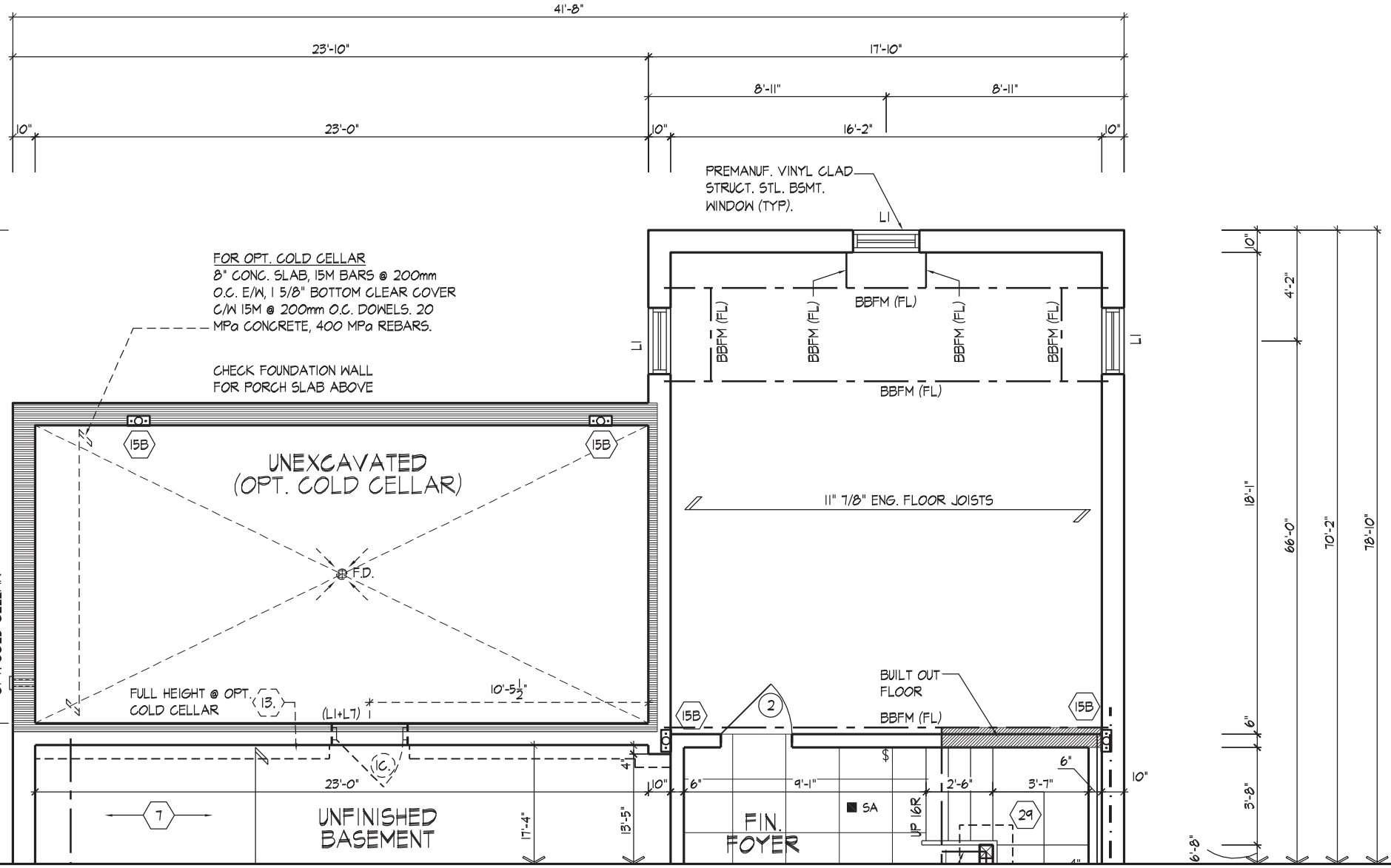
GOLDPARK HOMES - 2211081
PINE VALLEY PH2, VAUGHAN, ON
UNIT 5004 - THE BEAUMONT
REV. 2022.03.25



PART. SECOND FLOOR PLAN EL. 'A' - OPT. LOGGIA CONDITION
(EL. 'B&C' SIMILAR)



PART. GROUND FLOOR PLAN EL. 'A' - OPT. LOGGIA CONDITION
(EL. 'B&C' SIMILAR)



PART. BASEMENT PLAN EL. 'A' - OPT. LOGGIA CONDITION
(EL. 'B&C' SIMILAR)

REFER TO STANDARD PLAN FOR COMPLETE CONSTRUCTION NOTES & DIMENSIONS

REFER TO ROOF TRUSS MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, INSTALLATION DETAILS AND HANGER SIZES.

REFER TO STANDARD PLAN FOR COMPLETE CONSTRUCTION NOTES & DIMENSIONS

MASONRY WALL
NON-LOAD BEARING

- SOLID MASONRY WALL W/ 2-10M VERT. REBARS (LAP 1'-6" GROUDED INTO BRICK JOINT)
- MASONRY WALL TO BE TIED TO THE BOTTOM OF PORTICO ROOF W/ CORROSION RESISTANT METAL TIES @ 24" O.C. USING 3-3 1/2" NAILS EACH
- MASONRY VENEER TIED TO MASONRY VENEER WITH GALV. METAL TIES @ 16" O.C. AND 24" VERTICAL FILL VOID BETWEEN MASONRY VENEER W/ THES SOLID W/ MORTAR

SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

PROVIDE SOLID WOOD BLOCKING @ 24" O.C. FOR FIRST JOIST SPAN WHEN PARALLEL W/ EXTERIOR WALL

REFER TO FLOOR JOIST MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, BLOCKING & STRAPPING REQUIREMENTS, INSTALLATION DETAILS AND HANGER SIZES, & SUBFLOOR THICKNESS



REFER TO STANDARD PLAN FOR COMPLETE CONSTRUCTION NOTES & DIMENSIONS

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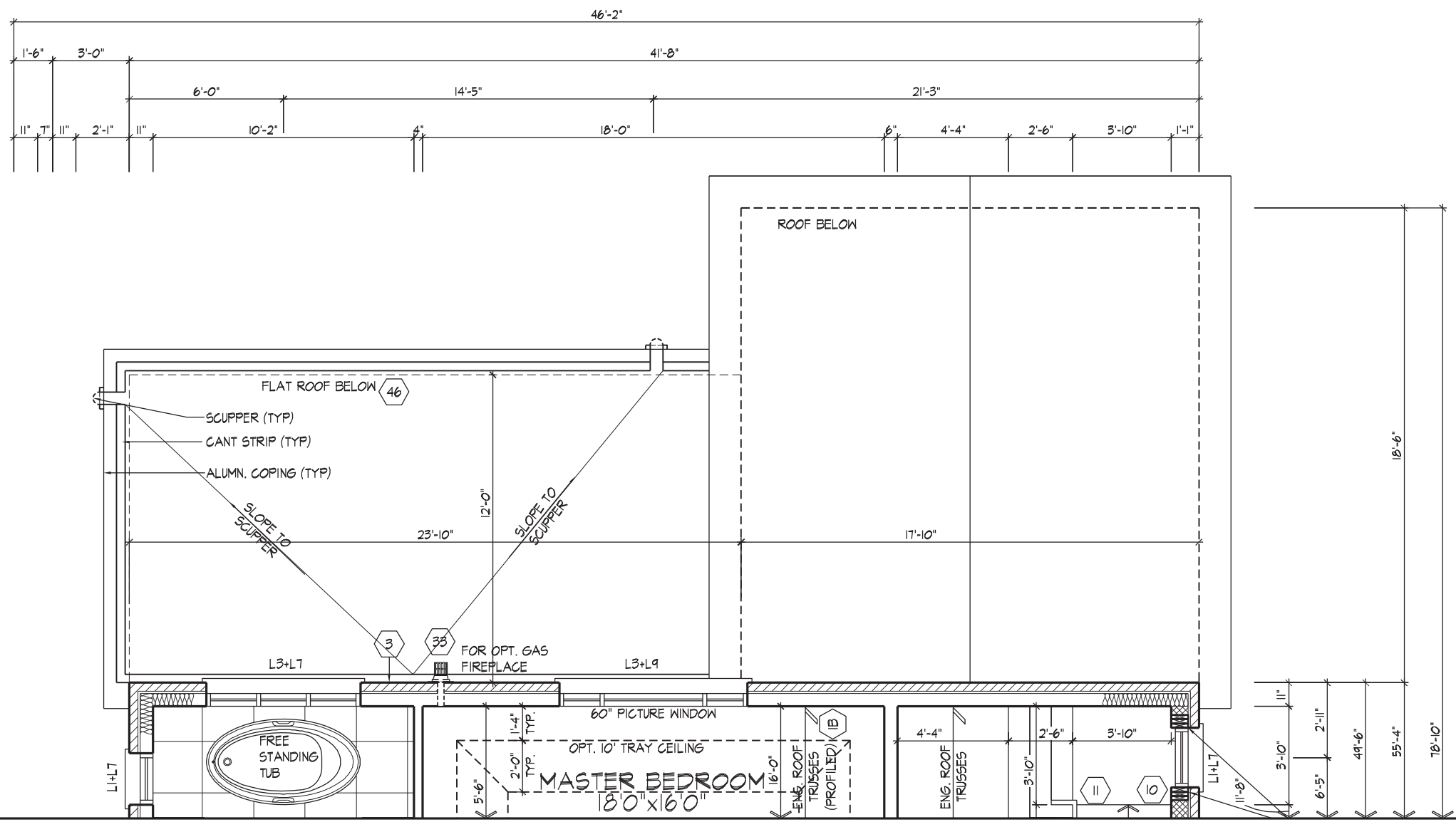
JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL

APPROVED BY: [Signature]
DATE: MAY 22, 2022

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HUNT HOMES
GOLDPARK HOMES - 221081
PINE VALLEY PH2, VAUGHAN, ON
UNIT 5004 - THE BEAUMONT
REV. 2022.05.25

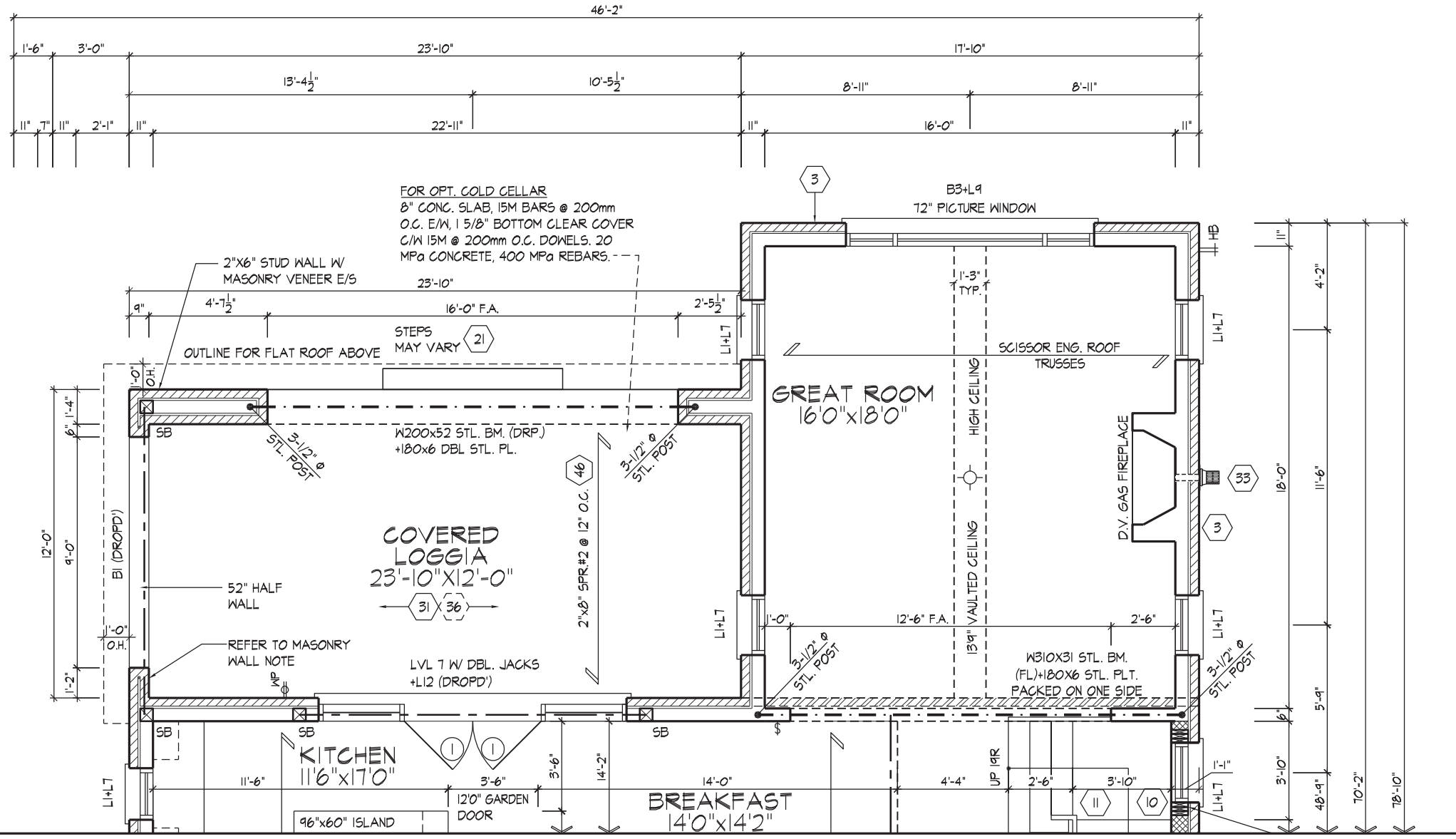
221081WS5004
12 of 30



PART. SECOND FLOOR PLAN EL. 'A' CORNER - OPT. LOGGIA CONDITION

REFER TO STANDARD PLAN FOR COMPLETE CONSTRUCTION NOTES & DIMENSIONS

REFER TO ROOF TRUSS MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, INSTALLATION DETAILS AND HANGER SIZES.



PART. GROUND FLOOR PLAN EL. 'A' CORNER - OPT. LOGGIA CONDITION

REFER TO STANDARD PLAN FOR COMPLETE CONSTRUCTION NOTES & DIMENSIONS

MASONRY WALL NON-LOAD BEARING

SOLID MASONRY WALL W/ 2-10M VERT. REBARS (LAP 1'-6" GROUDED INTO BRICK JOINT)

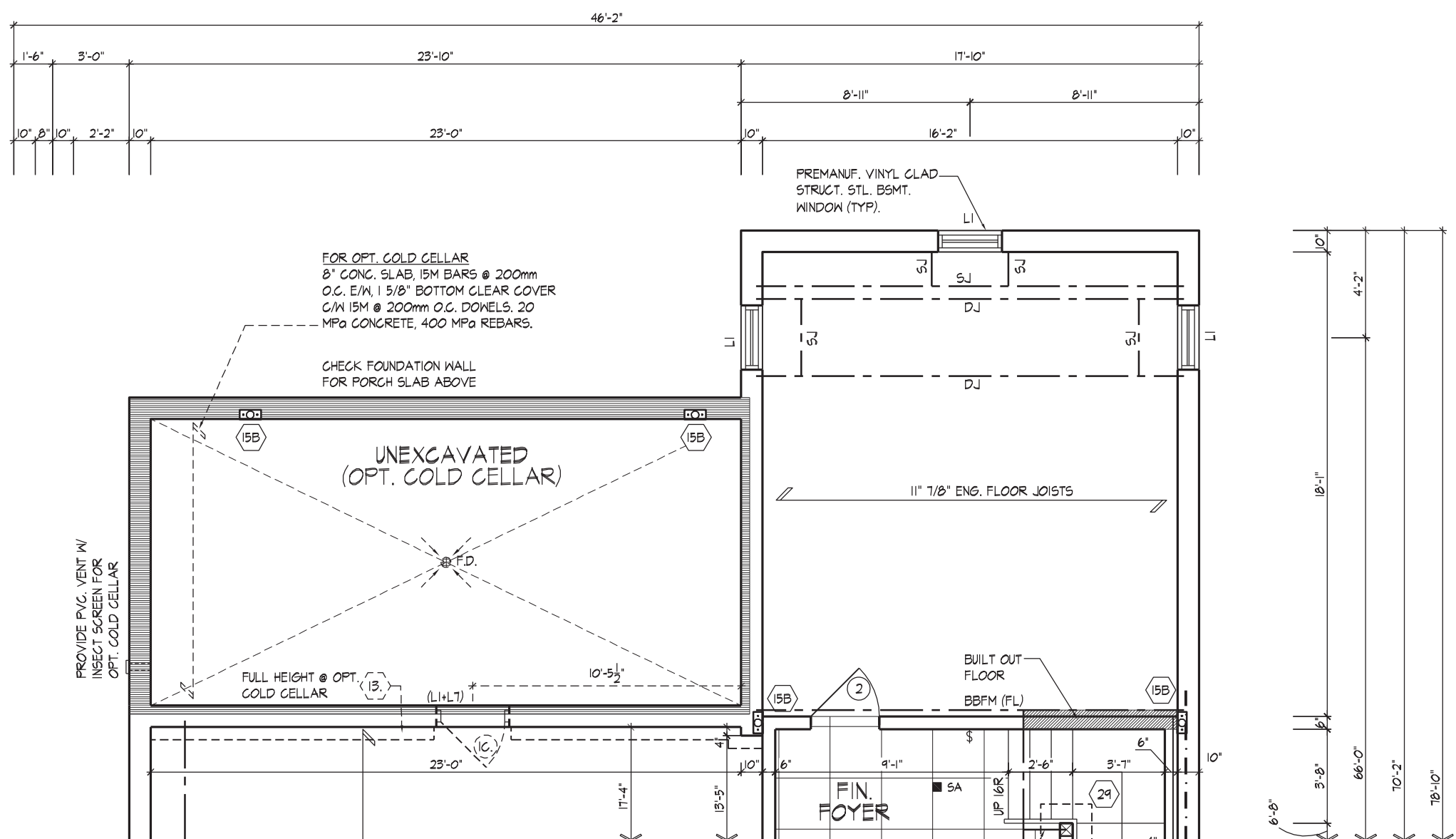
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REFER TO FLOOR JOIST MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, BLOCKING & STRAPPING REQUIREMENTS, INSTALLATION DETAILS AND HANGER SIZES, & SUBFLOOR THICKNESS



PART. BASEMENT PLAN EL. 'A' CORNER - OPT. LOGGIA CONDITION

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LICENSED PROFESSIONAL ENGINEER
A. KONG
 May 20, 2022
 100184942

PROVINCE OF ONTARIO

wsp

FOR STRUCTURAL ONLY, EXCLUDING ENGINEERED ROOF TRUSS, FLOOR JOIST, AND FLOOR LVL BEAM DESIGN.

HUNT DESIGN ASSOCIATES INC.
 23177
 19995

HUNT DESIGN ASSOCIATES INC.
 8866 Woodbine Ave., Markham, ON L3R 0J7
 T: 905.737.5131 F: 905.737.7286

GOLDPARK HOMES - 221081
UNIT 5004 - THE BEAUMONT
 REV. 2022.05.25

221081WS5004

13 of 30

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JOHN G. WILLIAMS LTD., ARCHITECT
 ARCHITECTURAL CONTROL REVIEW AND APPROVAL

APPROVED BY: [Signature]
 DATE: MAY 27, 2022

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.



REAR ELEVATION 'A' (EL. 'B&C' SIMILAR)

FRONT ELEVATION 'A'

WINDOW SUMMARY			WINDOW SUMMARY			WINDOW SUMMARY			WINDOW SUMMARY			WINDOW SUMMARY			WINDOW SUMMARY		
PER O.B.C. TABLE 9.10.15.4			PER O.B.C. TABLE 9.10.15.4			PER O.B.C. TABLE 9.10.15.4			PER O.B.C. TABLE 9.10.15.4			PER O.B.C. TABLE 9.10.15.4			PER O.B.C. TABLE 9.10.15.4		
REAR ELEV. A			REAR ELEV. A - OPT. 5 BDRM.			REAR ELEV. B			REAR ELEV. B - OPT. 5 BDRM.			REAR ELEV. C			REAR ELEV. C - OPT. 5 BDRM.		
QUAN.	WIDTH	DEPTH	QUAN.	WIDTH	DEPTH	QUAN.	WIDTH	DEPTH	QUAN.	WIDTH	DEPTH	QUAN.	WIDTH	DEPTH	QUAN.	WIDTH	DEPTH
1	24"	56"	1	24"	56"	1	24"	56"	1	24"	56"	1	24"	56"	1	24"	56"
1	60"	56"	1	60"	56"	1	60"	56"	1	60"	56"	1	60"	56"	1	60"	56"
2	24"	68"	2	24"	68"	2	24"	68"	2	24"	68"	2	24"	68"	2	24"	68"
1	72"	68"	1	72"	68"	1	72"	68"	1	72"	68"	1	72"	68"	1	72"	68"
0	0"	0"	0	0"	0"	0	0"	0"	0	0"	0"	0	0"	0"	0	0"	0"
1	30"	18"	1	30"	18"	1	30"	18"	1	30"	18"	1	30"	18"	1	30"	18"
0	0"	0"	0	0"	0"	0	0"	0"	0	0"	0"	0	0"	0"	0	0"	0"
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1	DOOR/TRAN	110.50	1	DOOR/TRAN	110.50	1	DOOR/TRAN	110.50	1	DOOR/TRAN	110.50	1	DOOR/TRAN	110.50	1	DOOR/TRAN	110.50
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0	ARCH	0.00	0	ARCH	0.00	0	ARCH	0.00	0	ARCH	0.00	0	ARCH	0.00	0	ARCH	0.00
SPATIAL CALCULATION			SPATIAL CALCULATION			SPATIAL CALCULATION			SPATIAL CALCULATION			SPATIAL CALCULATION			SPATIAL CALCULATION		
EXPOSING BUILDING	916.67	S.F.	EXPOSING BUILDING	916.67	S.F.	EXPOSING BUILDING	916.67	S.F.	EXPOSING BUILDING	916.67	S.F.	EXPOSING BUILDING	916.67	S.F.	EXPOSING BUILDING	916.67	S.F.
FACE AREA	85.16	S.M.	FACE AREA	85.16	S.M.	FACE AREA	85.16	S.M.	FACE AREA	85.16	S.M.	FACE AREA	85.16	S.M.	FACE AREA	85.16	S.M.
PORTION WALL AREA	916.67	S.F.	PORTION WALL AREA	916.67	S.F.	PORTION WALL AREA	916.67	S.F.	PORTION WALL AREA	916.67	S.F.	PORTION WALL AREA	916.67	S.F.	PORTION WALL AREA	916.67	S.F.
LIMITING DISTANCE	7.5 m		LIMITING DISTANCE	7.5 m		LIMITING DISTANCE	7.5 m		LIMITING DISTANCE	7.5 m		LIMITING DISTANCE	7.5 m		LIMITING DISTANCE	7.5 m	
MAX. % OPENINGS	50 %		MAX. % OPENINGS	50 %		MAX. % OPENINGS	50 %		MAX. % OPENINGS	50 %		MAX. % OPENINGS	50 %		MAX. % OPENINGS	50 %	
OPENINGS ALLOWED	458.34	S.F.	OPENINGS ALLOWED	458.34	S.F.	OPENINGS ALLOWED	458.34	S.F.	OPENINGS ALLOWED	458.34	S.F.	OPENINGS ALLOWED	458.34	S.F.	OPENINGS ALLOWED	458.34	S.F.
OPENINGS PROVIDED	219.89	S.F.	OPENINGS PROVIDED	219.89	S.F.	OPENINGS PROVIDED	219.89	S.F.	OPENINGS PROVIDED	219.89	S.F.	OPENINGS PROVIDED	219.89	S.F.	OPENINGS PROVIDED	219.89	S.F.
ADDITIONAL NOTES			ADDITIONAL NOTES			ADDITIONAL NOTES			ADDITIONAL NOTES			ADDITIONAL NOTES			ADDITIONAL NOTES		
GLAZED AREA CALCULATED W/ FRAME SIZE			GLAZED AREA CALCULATED W/ FRAME SIZE			GLAZED AREA CALCULATED W/ FRAME SIZE			GLAZED AREA CALCULATED W/ FRAME SIZE			GLAZED AREA CALCULATED W/ FRAME SIZE			GLAZED AREA CALCULATED W/ FRAME SIZE		
MINUS 2" AROUND ENTIRE PERIMETER			MINUS 2" AROUND ENTIRE PERIMETER			MINUS 2" AROUND ENTIRE PERIMETER			MINUS 2" AROUND ENTIRE PERIMETER			MINUS 2" AROUND ENTIRE PERIMETER			MINUS 2" AROUND ENTIRE PERIMETER		

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APPROVED BY: *[Signature]*
 DATE: MAY 27, 2022
 This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUAIFICATION INFORMATION
 Signature: *[Signature]* 23177
 REGISTRATION INFORMATION: BCIN
 HUNT DESIGN ASSOCIATES INC. 19695

HUNT DESIGN ASSOCIATES INC.
 www.huntdesign.ca

FRONT & REAR ELEVATION 'A' (REAR EL. 'B&C' SIMILAR)
 GOLDPARK HOMES - 221081 UNIT 5004 - THE BEAUMONT
 PINE VALLEY PH2, VAUGHAN, ON REV.2022.03.25

Drawn By: *[Signature]* Scale: 3/16"=1'-0"
 Checked By: *[Signature]* File Number: 221081WS5004
 MC SB 8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326 14 of 30

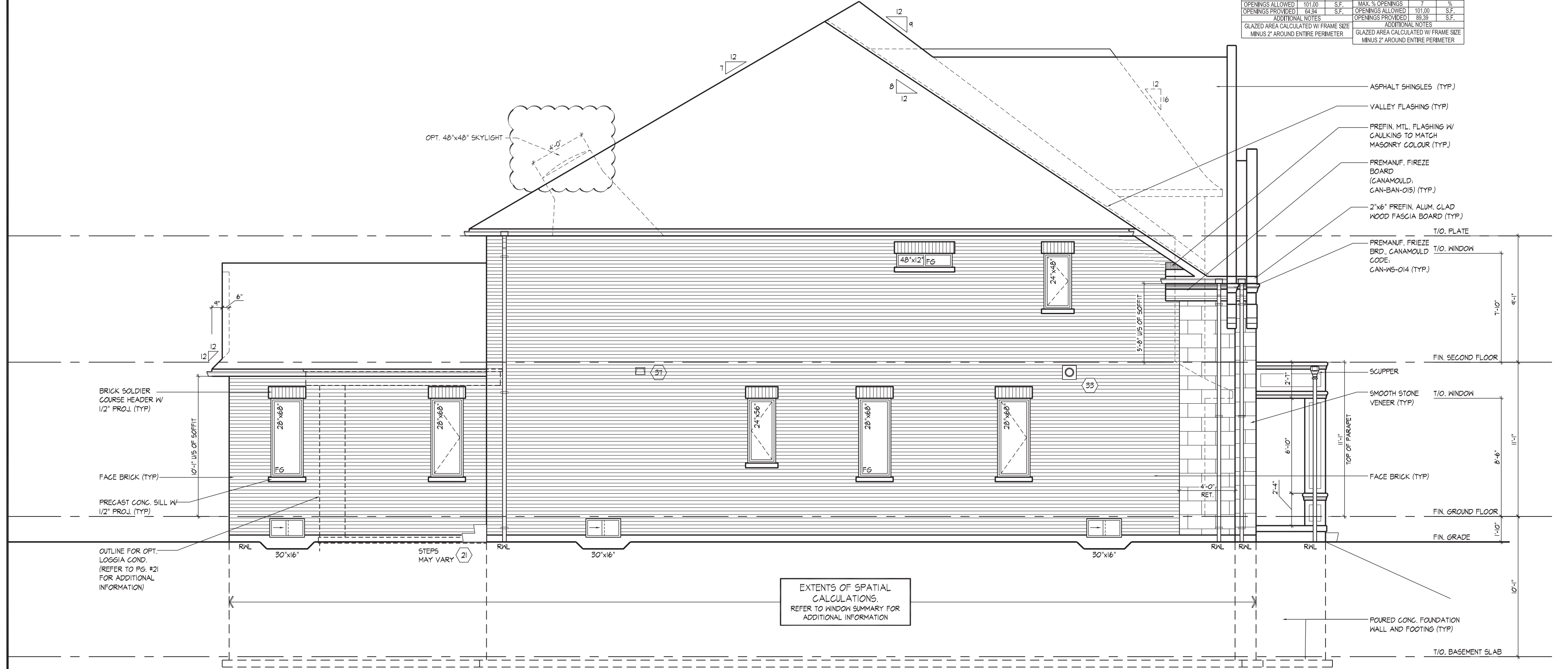
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V:\PROJECTS\2021\221081\GOLDPARK HOMES\UNITS\5004\BEAUMONT.DWG

WINDOW SUMMARY				WINDOW SUMMARY			
PER O.B.C. TABLE 8.10.15.4				PER O.B.C. TABLE 8.10.15.4			
LEFT SIDE ELEVATION A				LEFT SIDE ELEVATION A - OPT. 5			
QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)
3	30"	16"	6.50	3	24"	48"	18.33
1	24"	48"	6.11	1	48"	52"	14.67
4	28"	68"	42.67	4	28"	68"	42.67
1	48"	12"	2.44	3	30"	16"	6.50
0	0"	0"	0.00	1	24"	56"	7.22
0	0"	0"	0.00	0	0"	0"	0.00
0	0"	0"	0.00	0	0"	0"	0.00
0	0"	0"	0.00	0	0"	0"	0.00
0	0"	0"	0.00	0	0"	0"	0.00
0	0"	0"	0.00	0	0"	0"	0.00
0	0"	0"	0.00	0	0"	0"	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00

SPATIAL CALCULATION				SPATIAL CALCULATION			
PER O.B.C. TABLE 8.10.15.4				PER O.B.C. TABLE 8.10.15.4			
LEFT SIDE ELEVATION A				LEFT SIDE ELEVATION A - OPT. 5			
EXPOSING BUILDING FACE AREA	1442.92	S.F.	134.05	EXPOSING BUILDING FACE AREA	1442.92	S.F.	134.05
PORTION WALL AREA	134.05	S.M.	134.05	PORTION WALL AREA	134.05	S.M.	134.05
LIMITING DISTANCE	1.2 m		1.2 m	LIMITING DISTANCE	1.2 m		1.2 m
MAX. % OPENINGS	7	%	7	MAX. % OPENINGS	7	%	7
OPENINGS ALLOWED	101.00	S.F.	101.00	OPENINGS ALLOWED	101.00	S.F.	101.00
OPENINGS PROVIDED	64.94	S.F.	64.94	OPENINGS PROVIDED	64.94	S.F.	64.94

REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFO.
ROOF OVERHANGS TO BE 15" FOR BELL CURVE ROOFS UNLESS NOTED OTHERWISE



LEFT SIDE ELEVATION 'A'

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY: [Signature]
DATE: MAY 27, 2022
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

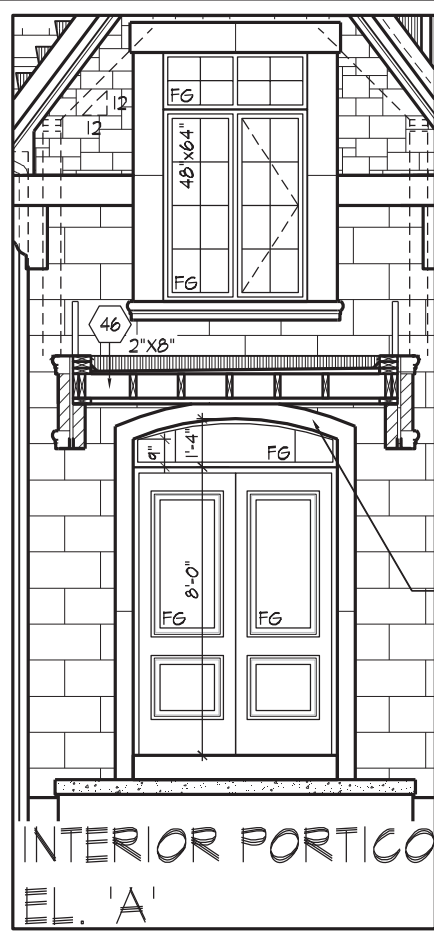
THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER. QUALIFICATION INFORMATION: **Alan Whiting** 23177

HUNT DESIGN ASSOCIATES INC. 19695 8966 Woodbine Ave., Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326 www.huntdesign.ca

GOLDPARK HOMES - 221081
PINE VALLEY PH2, VAUGHAN, ON

LEFT SIDE ELEVATION 'A'
UNIT 5004 - THE BEAUMONT
REV.2022.03.25

Scale: 3/16" = 1'-0"
File Number: 221081WS5004
Page Number: 15 of 30



6" PRECAST CONC. ARCH ON PRECAST CONC. SURROUND W/ 1/2" PROJ. (TYP.)

PROFILED PRECAST CONC. ACCENT (TYP.)

8"x28" PRECAST CONC. IMPOST W/ 1/2" PROJ. (TYP.)

PREMANUF. COPPER COLOURED DECORATIVE FLU (TYP.)

2"x6" PREFIN. ALUM. CLAD WOOD FASCIA BOARD (TYP.)

4"x12" STUCCO TRIM ON STUCCO PANEL W/ 6" RAISED TRIM ON CANAMOULD CAN-WS-014 (TYP.)

PREMANUF. FRIEZE BRD., CANAMOULD CODE: CAN-WS-014 (TYP.)

PROVIDE CANT. L12 EVERY 12" TO SUPPORT STONE OVER SLOPED CEILING

PREFIN. ALUM. GUTTER, RNL, FASCIA BOARD & VENTED SOFFIT (TYP.)

10" CONT. PRECAST CONC. BAND W/ 1/2" PROJ. (TYP.)

10" PRECAST CONC. BAND ON 12"x21" PRECAST CONC. ACCENT (TYP.)

10" PRECAST CONC. HEADER ON PRECAST CONC. SURROUND W/ 1/2" PROJ. (TYP.)

PRECAST CONC. PANEL (TYP.)

PROFILED PRECAST CONC. SILL ON 10" PRECAST CONC. BAND W/ 1/2" PROJ. (TYP.)

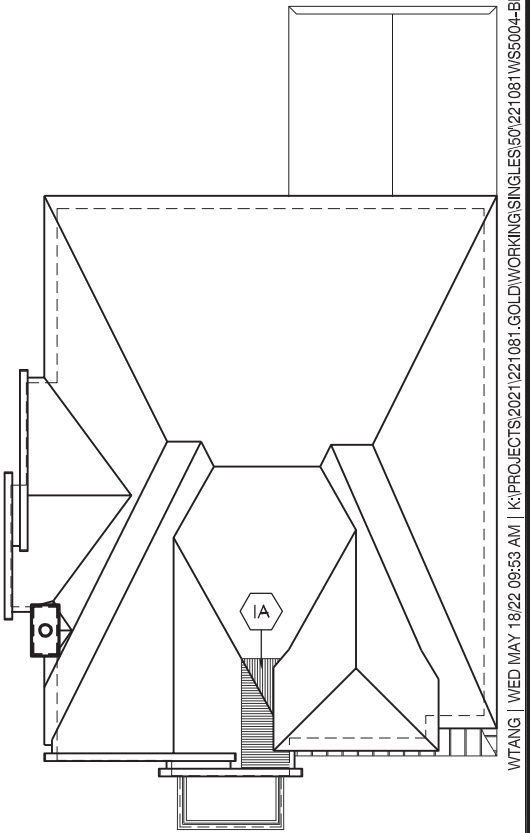
POURED CONC. PORCH SLAB AND DOOR SILL (TYP.)

POURED CONC. FOUNDATION WALL AND FOOTING (TYP.)

ROOF OVERHANGS TO BE 15" FOR BELL CURVE ROOFS UNLESS NOTED OTHERWISE



ROOF PLAN
ELEV. 'A' CORNER
N.T.S.



FRONT ELEVATION 'A' - CORNER

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY: [Signature]
DATE: MAY 27, 2022
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

WINDOW SUMMARY				WINDOW SUMMARY			
PER O.B.C. TABLE 8.10.15.4				PER O.B.C. TABLE 8.10.15.4			
LEFT SIDE ELEVATION 'A' - PORTION 2				LEFT SIDE ELEVATION 'A' - PORTION 1			
QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)
2	28"	68"	21.33	5	24"	60"	38.89
1	30"	16"	2.17	1	24"	52"	6.67
0	0"	0"	0.00	1	48"	52"	14.67
0	0"	0"	0.00	1	48"	64"	18.33
0	0"	0"	0.00	2	30"	16"	4.33
0	0"	0"	0.00	0	0"	0"	0.00
0	0"	0"	0.00	0	0"	0"	0.00
0	0"	0"	0.00	0	0"	0"	0.00
0	0"	0"	0.00	0	0"	0"	0.00
0	0"	0"	0.00	0	0"	0"	0.00
0	0"	0"	0.00	0	0"	0"	0.00
0	0"	0"	0.00	0	0"	0"	0.00
0	0"	0"	0.00	0	0"	0"	0.00
0	0"	0"	0.00	0	0"	0"	0.00
0	0"	0"	0.00	0	0"	0"	0.00
0	0"	0"	0.00	0	0"	0"	0.00
0	0"	0"	0.00	0	0"	0"	0.00
0	0"	0"	0.00	0	0"	0"	0.00

SPATIAL CALCULATION				SPATIAL CALCULATION			
EXPOSING BUILDING FACE AREA				EXPOSING BUILDING FACE AREA			
1479.32	S.F.	1479.32	S.F.	1479.32	S.F.	1479.32	S.F.
137.43	S.M.	137.43	S.M.	137.43	S.M.	137.43	S.M.
276.21	S.F.	276.21	S.F.	276.21	S.F.	276.21	S.F.
29.66	S.M.	29.66	S.M.	29.66	S.M.	29.66	S.M.
PORTION WALL AREA		PORTION WALL AREA		PORTION WALL AREA		PORTION WALL AREA	
10.14	M	10.14	M	10.14	M	10.14	M
18.75	%	18.75	%	18.75	%	18.75	%
110.46	S.F.	110.46	S.F.	110.46	S.F.	110.46	S.F.
23.50	S.F.	23.50	S.F.	23.50	S.F.	23.50	S.F.

REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFO.
 ROOF OVERHANGS TO BE 'B'
 FOR BELL CURVE ROOFS UNLESS NOTED OTHERWISE



LEFT SIDE ELEVATION 'A' - CORNER

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JOHN G. WILLIAMS LTD., ARCHITECT
 ARCHITECTURAL CONTROL REVIEW
 AND APPROVAL
 APPROVED BY: *[Signature]*
 DATE: MAY 27, 2022
 This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

NAME: Allan Whiting
 SIGNATURE: *[Signature]*
 REGISTRATION INFORMATION: BCIN 19695

Scale: 3/16" = 1'-0"

DATE: 23177
 MC SB
 8966 Woodbine Ave., Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

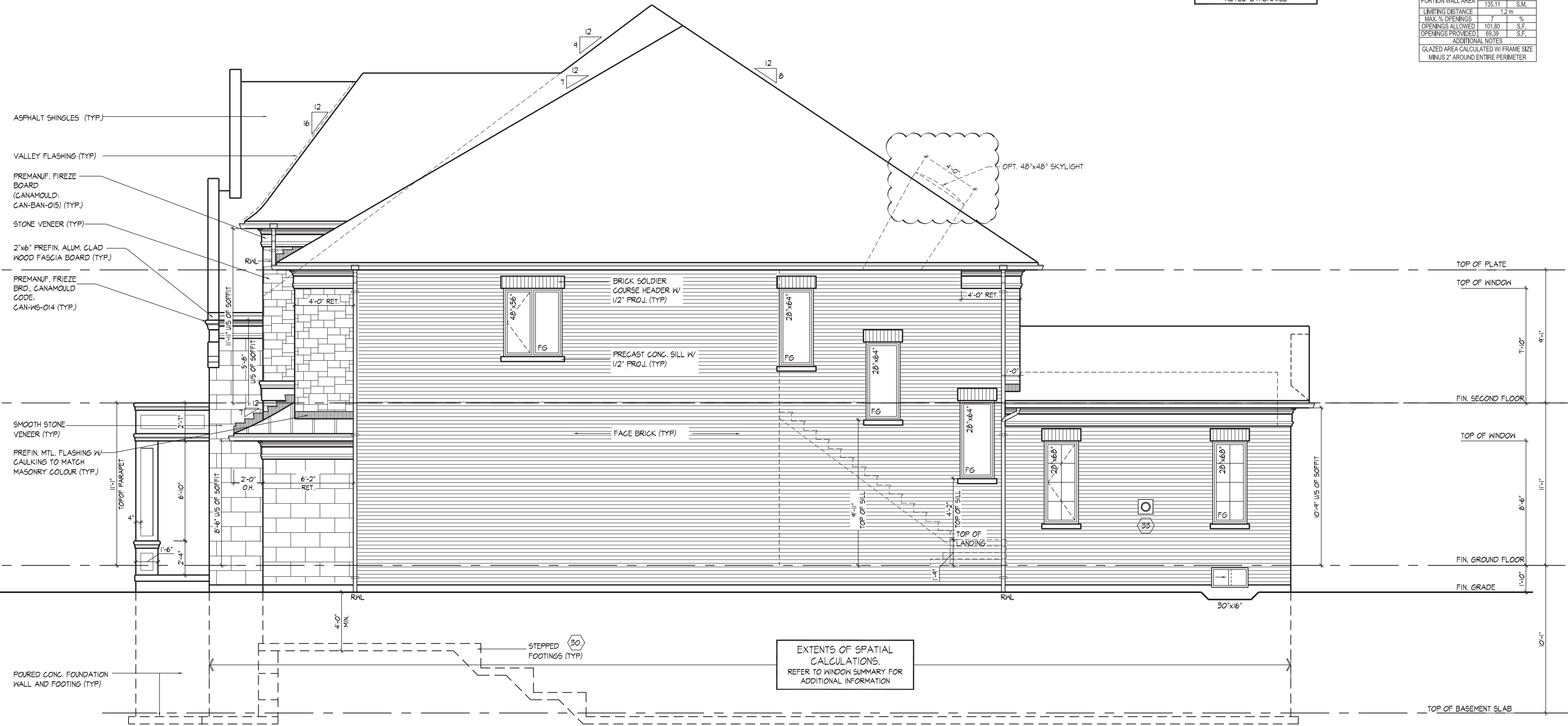
File Number: 221081WS5004
 Page Number: 18 of 30

GOLDPARK HOMES - 221081
PINE VALLEY PH2, VAUGHAN, ON
LEFT SIDE ELEVATION 'A' CORNER
UNIT 5004 - THE BEAUMONT
REV.2022.03.25

HUNT
 DESIGN ASSOCIATES INC.
 www.huntedesign.ca

WINDOW SUMMARY				
PER O.B.C. TABLE 9.10.15.4				
RIGHT SIDE ELEVATION A				
QTY	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	
1	48"	56"		15.89
3	28"	64"		30.00
1	30"	18"		2.17
2	28"	68"		21.33
0	0"	0"		0.00
0	0"	0"		0.00
0	0"	0"		0.00
0	0"	0"		0.00
0	0"	0"		0.00
0	0"	0"		0.00
0	0"	0"		0.00
0	ARCH			0.00
0	ARCH			0.00
0	ARCH			0.00
0	ARCH			0.00
SPATIAL CALCULATION				
EXPOSING BUILDING	1454.32	S.F.		
FACE AREA	135.11	S.M.		
PORTION WALL AREA	1454.32	S.F.		
	135.11	S.M.		
LIMITING DISTANCE	12 m			
MAX. % OPENINGS	5%			
OPENINGS ALLOWED	101.80	S.F.		
OPENINGS PROVIDED	69.39	S.F.		
ADDITIONAL NOTES				
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER				

REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFO.
ROOF OVERHANGS TO BE 15" FOR BELL CURVE ROOFS UNLESS NOTED OTHERWISE



RIGHT SIDE ELEVATION 'A' - CORNER

EXTENTS OF SPATIAL CALCULATIONS. REFER TO WINDOW SUMMARY FOR ADDITIONAL INFORMATION

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL

APPROVED BY: [Signature]
DATE: MAY 27, 2022

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

HUNT DESIGN ASSOCIATES INC.
8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.926

GOLDPARK HOMES - 221081
PINE VALLEY PH2, VAUGHAN, ON

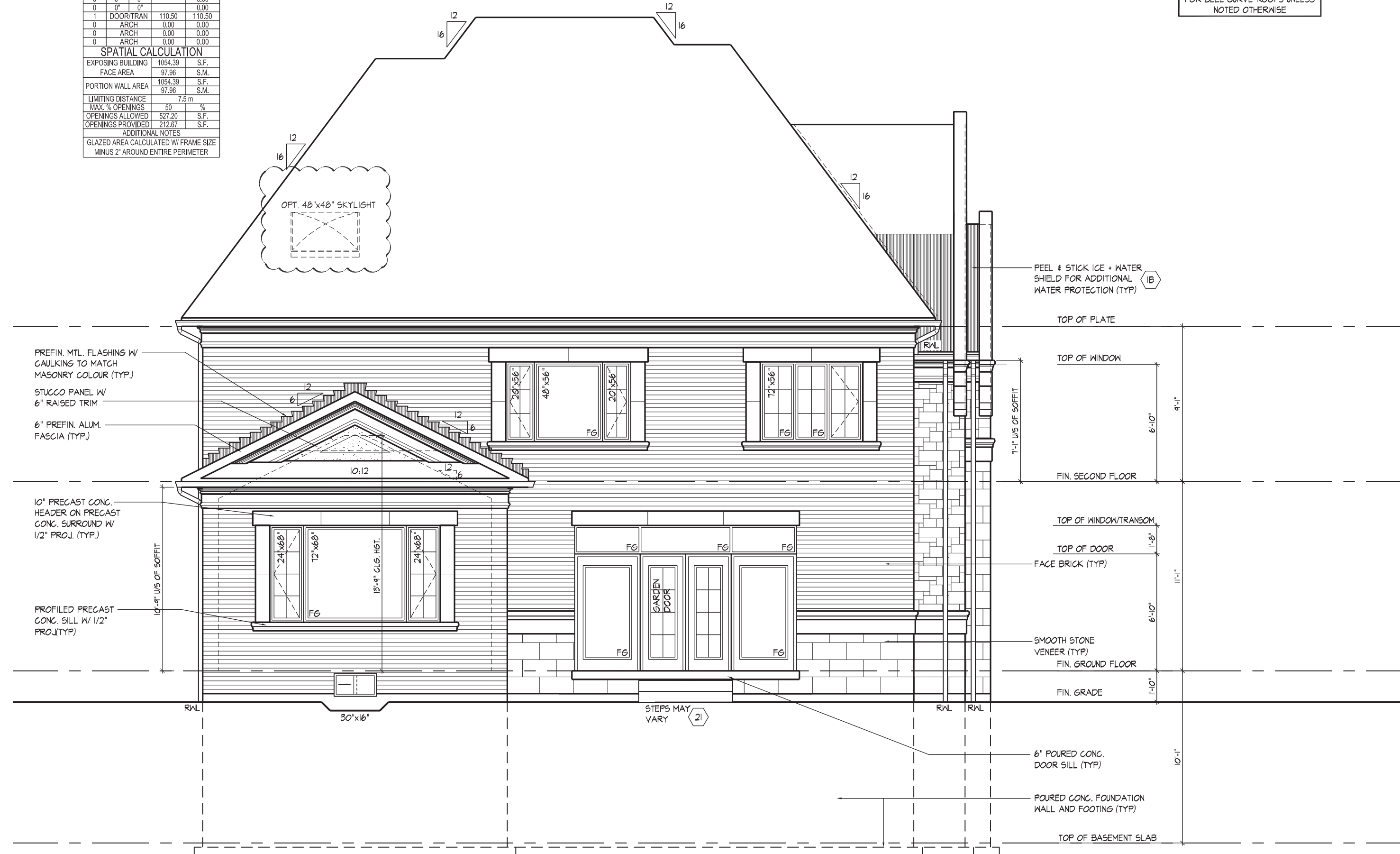
RIGHT SIDE ELEVATION 'A' CORNER
UNIT 5004 - THE BEAUMONT
REV.2022.03.25

Drawn By: MC
Checked By: SB
Scale: 3/16"=1'-0"
File Number: 221081WS5004
Page Number: 19 of 30

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.
QUALIFICATION INFORMATION:
Name: Allan Whiting
Signature: [Signature]
BCIN: 23177
HUNT DESIGN ASSOCIATES INC. 19695

W/TANG | WED MAY 18 22:05:53 AM | K:\PROJECTS\2021\221081 GOLDWORKING\SINGLES\50221081WS5004-BEAUMONT.DWG

WINDOW SUMMARY			
PER O.B.C. TABLE 9.10.15.4			
REAR ELEV. A CORNER			
QUAN.	WIDTH	DEPTH	WINDOW DOOR FRAME SIZE (S.F.)
2	20"	56"	11.56
1	48"	56"	15.89
1	72"	56"	24.56
2	24"	68"	17.78
1	72"	68"	30.22
1	30"	16"	2.17
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
1	DOOR/TRAN		110.50
0	ARCH		0.00
0	ARCH		0.00
0	ARCH		0.00
SPATIAL CALCULATION			
EXPOSING BUILDING	1054.39	S.F.	
FACE AREA	97.96	S.M.	
PORTION WALL AREA	1054.39	S.F.	
	97.96	S.M.	
LIMITING DISTANCE		7.5 m	
MAX. % OPENINGS	80	%	
OPENINGS ALLOWED	827.20	S.F.	
OPENINGS PROVIDED	212.87	S.F.	
ADDITIONAL NOTES			
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER			



REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFO.
 ROOF OVERHANGS TO BE 15" FOR BELL CURVE ROOFS UNLESS NOTED OTHERWISE

REAR ELEVATION 'A' - CORNER

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JOHN G. WILLIAMS LTD., ARCHITECT
 ARCHITECTURAL CONTROL REVIEW AND APPROVAL
 APPROVED BY: [Signature]
 DATE: MAY 27, 2022
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THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.
 QUALIFICATION INFORMATION:
 Allan Whiting [Signature] 23177
 HUNT DESIGN ASSOCIATES INC. 19695

HUNT DESIGN ASSOCIATES INC.
 8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326
 www.huntdesign.ca

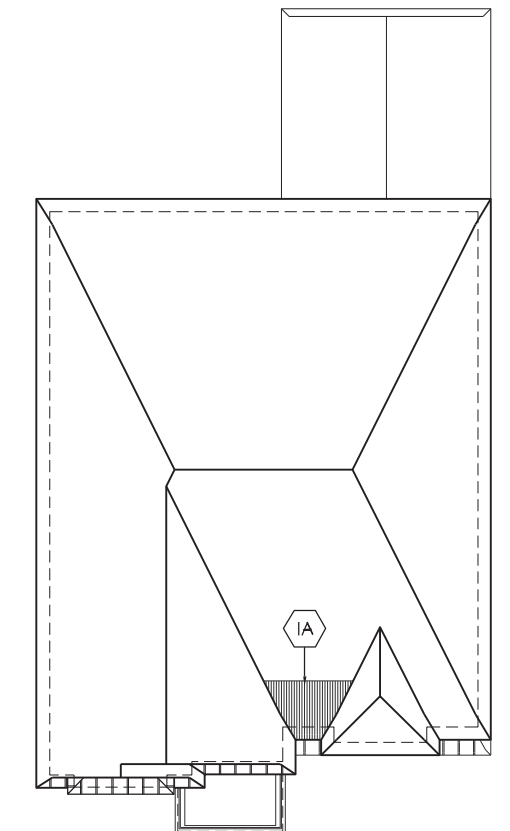
GOLDPARK HOMES - 221081
 PINE VALLEY PH2, VAUGHAN, ON

REAR ELEVATION 'A' CORNER
 UNIT 5004 - THE BEAUMONT
 REV.2022.03.25

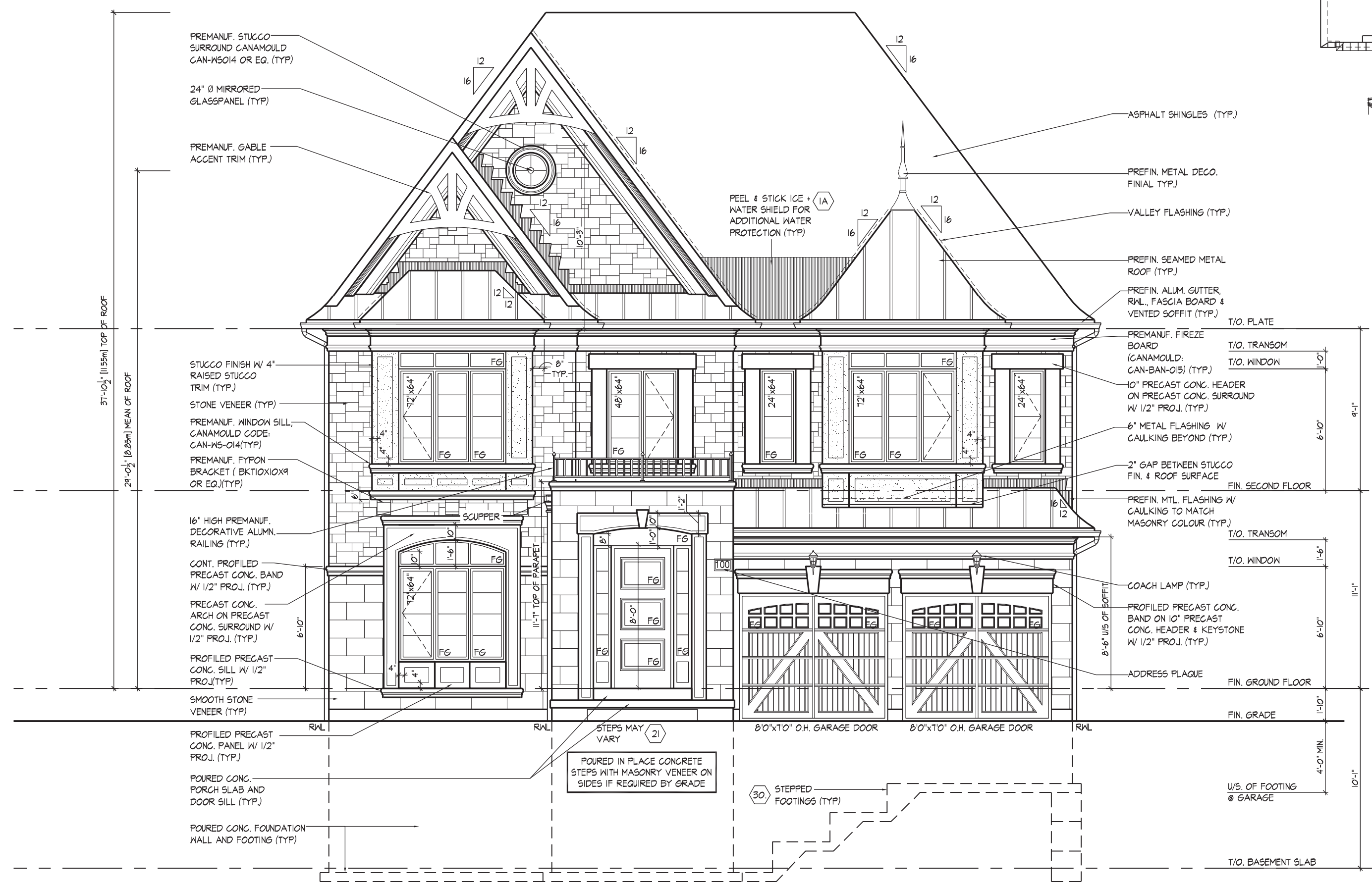
Drawn By: MC Scale: 3/16"=1'-0" File Number: 221081WS5004 Page Number: 20 of 30
 Checked By: SB

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ROOF OVERHANGS TO BE 15" FOR BELL CURVE ROOFS UNLESS NOTED OTHERWISE



ROOF PLAN
ELEV. 'B'
N.T.S.



FRONT ELEVATION 'B'



INTERIOR PORTICO
EL. 'B'

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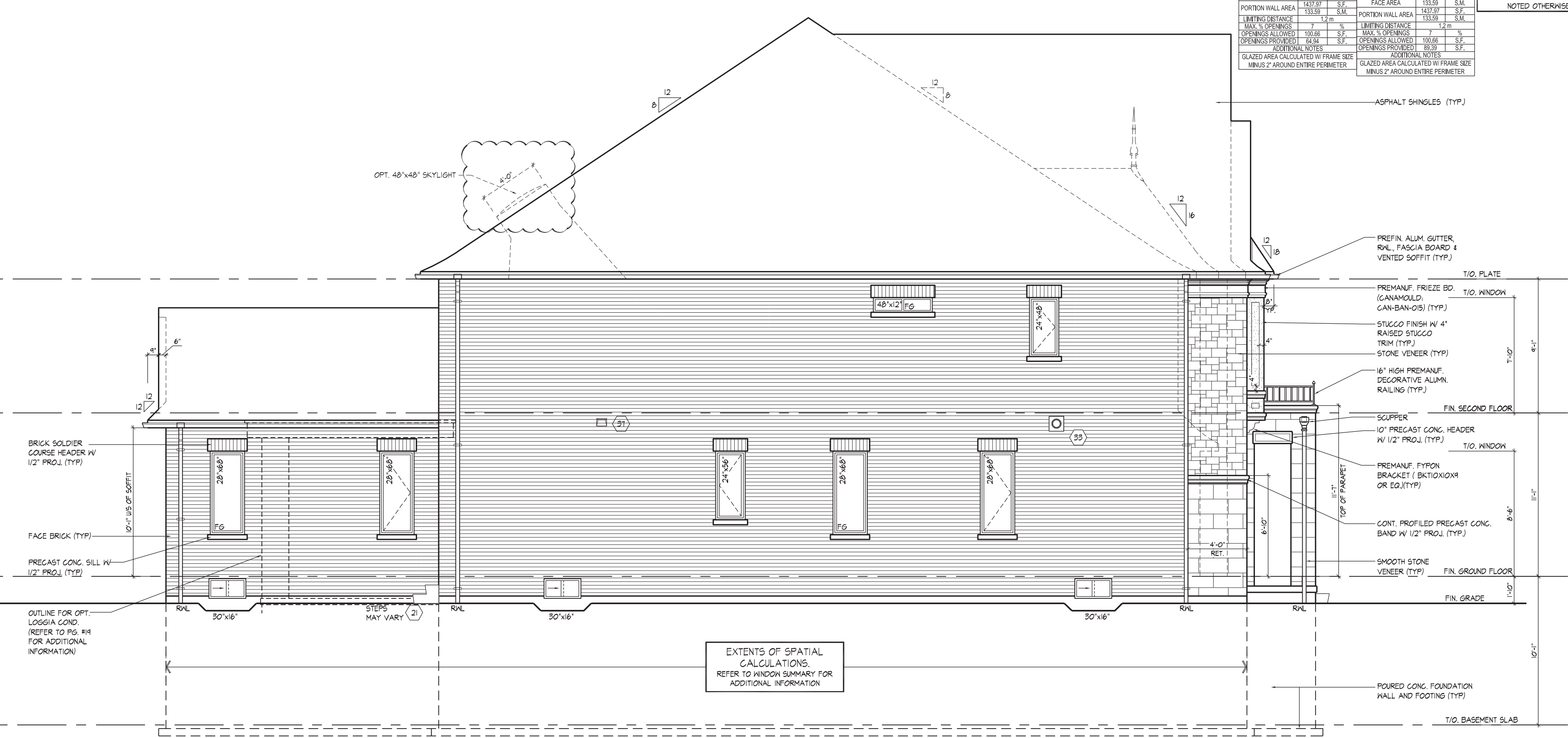
JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL

APPROVED BY: *[Signature]*
DATE: May 22, 2022

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

WINDOW SUMMARY PER O.B.C. TABLE 9.10.15.4				WINDOW SUMMARY PER O.B.C. TABLE 9.10.15.4			
LEFT SIDE ELEVATION B				LEFT SIDE ELEVATION B - OPT. 5			
COUNT	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	COUNT	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)
1	24"	48"	6.11	3	24"	48"	18.33
1	24"	56"	7.22	1	48"	56"	14.87
4	28"	68"	42.67	4	28"	68"	42.67
1	48"	12"	2.44	3	30"	16"	6.50
0	0"	0"	0.00	1	24"	56"	7.22
0	0"	0"	0.00	0	0"	0"	0.00
0	0"	0"	0.00	0	0"	0"	0.00
0	0"	0"	0.00	0	0"	0"	0.00
0	0"	0"	0.00	0	0"	0"	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
SPATIAL CALCULATION				SPATIAL CALCULATION			
EXPOSING BUILDING	1437.97	S.F.		EXPOSING BUILDING	1437.97	S.F.	
FACE AREA	133.59	S.M.		FACE AREA	133.59	S.M.	
PORTION WALL AREA	1437.97	S.F.		PORTION WALL AREA	1437.97	S.F.	
LIMITING DISTANCE	1.2 m			LIMITING DISTANCE	1.2 m		
MAX. % OPENINGS	7 %			MAX. % OPENINGS	7 %		
OPENINGS ALLOWED	100.66	S.F.		OPENINGS ALLOWED	100.66	S.F.	
OPENINGS PROVIDED	64.94	S.F.		OPENINGS PROVIDED	89.39	S.F.	
ADDITIONAL NOTES				ADDITIONAL NOTES			
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER				GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER			

REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFO.
 ROOF OVERHANGS TO BE 15" FOR BELL CURVE ROOFS UNLESS NOTED OTHERWISE



LEFT SIDE ELEVATION 'B'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot. This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT
 ARCHITECTURAL CONTROL REVIEW AND APPROVAL
 APPROVED BY: *[Signature]*
 DATE: MAY 27 2022
 This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.
 QUALIFICATION INFORMATION
 Allan Whiting *[Signature]* 23177
 HUNT DESIGN ASSOCIATES INC. 19695

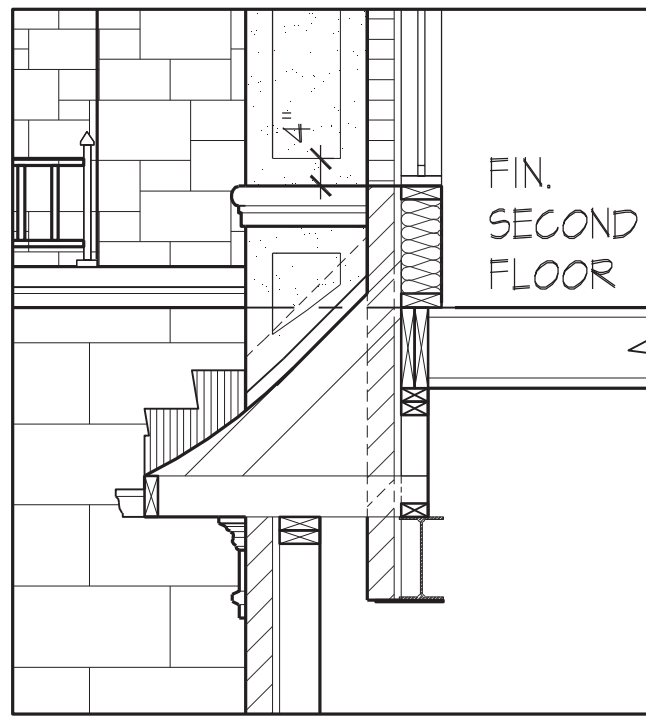
Drawn By *[Signature]* Scale 3/16"=1'-0"
 Checked By *[Signature]*
 HUNT DESIGN ASSOCIATES INC. 8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

HUNT DESIGN ASSOCIATES INC.

**GOLDPARK HOMES - 221081
 PINE VALLEY PH2, VAUGHAN, ON**

**LEFT SIDE ELEVATION 'B'
 UNIT 5004 - THE BEAUMONT
 REV.2022.03.25**

File Number 221081WS5004
 Page Number 22 of 30



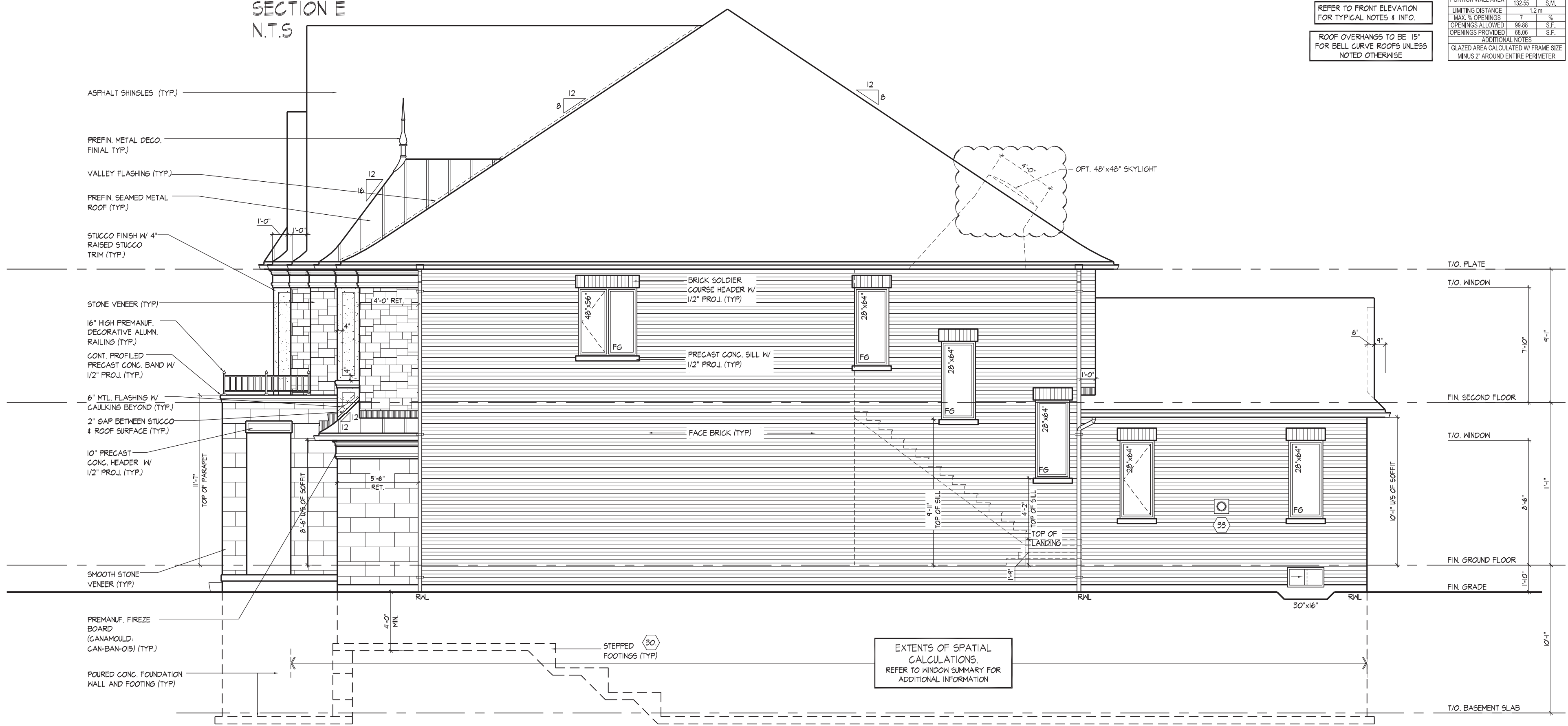
100 COMMERCE VALLEY DR. W.
THORNHILL, ONTARIO CANADA L3T 0A1
TEL: 1-905-882-4211 FAX: 1-905-822-0559 WWW.WSPGROUP.CA

FOR STRUCTURAL ONLY. EXCLUDING
ENGINEERED ROOF TRUSS, FLOOR
JOIST, AND FLOOR LVL BEAM DESIGN.

WINDOW SUMMARY			
PER O.B.C. TABLE 9.10.15.4			
RIGHT SIDE ELEVATION B			
QTY	WIDTH	HEIGHT	WINDOW / DOOR FRAME SIZE (S.F.)
1	48"	56"	15.89
5	28"	64"	50.00
1	30"	16"	2.17
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00
SPATIAL CALCULATION			
EXPOSING BUILDING	1426.79	S.F.	
FACE AREA	132.55	S.M.	
PORTION WALL AREA	1426.79	S.F.	
	132.55	S.M.	
LIMITING DISTANCE	1.2	m	
MAX. % OPENINGS	7	%	
OPENINGS ALLOWED	99.88	S.F.	
OPENINGS PROVIDED	88.06	S.F.	
ADDITIONAL NOTES			
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER			

REFER TO FRONT ELEVATION
FOR TYPICAL NOTES & INFO.

ROOF OVERHANGS TO BE 15"
FOR BELL CURVE ROOFS UNLESS
NOTED OTHERWISE



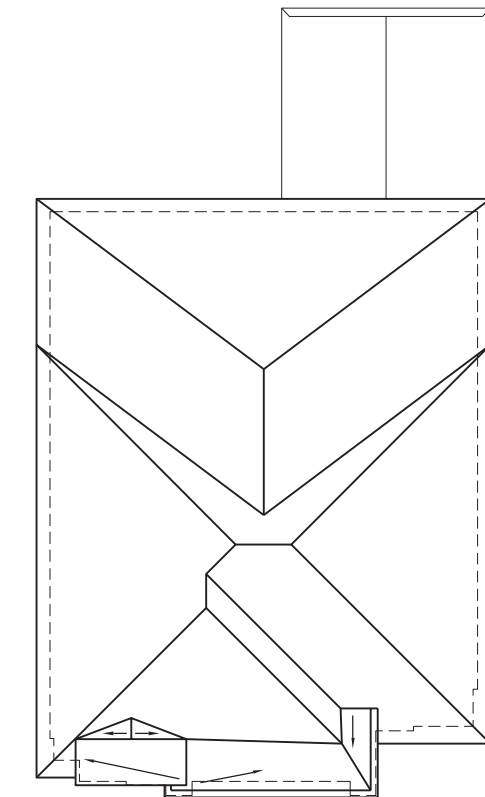
RIGHT SIDE ELEVATION 'B'

EXTENTS OF SPATIAL
CALCULATIONS.
REFER TO WINDOW SUMMARY FOR
ADDITIONAL INFORMATION

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot. This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: MAY 27, 2022
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

ROOF OVERHANGS TO BE 15"
FOR BELL CURVE ROOFS UNLESS
NOTED OTHERWISE



ROOF PLAN
ELEV. 'C'
N.T.S.



FRONT ELEVATION 'C'

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

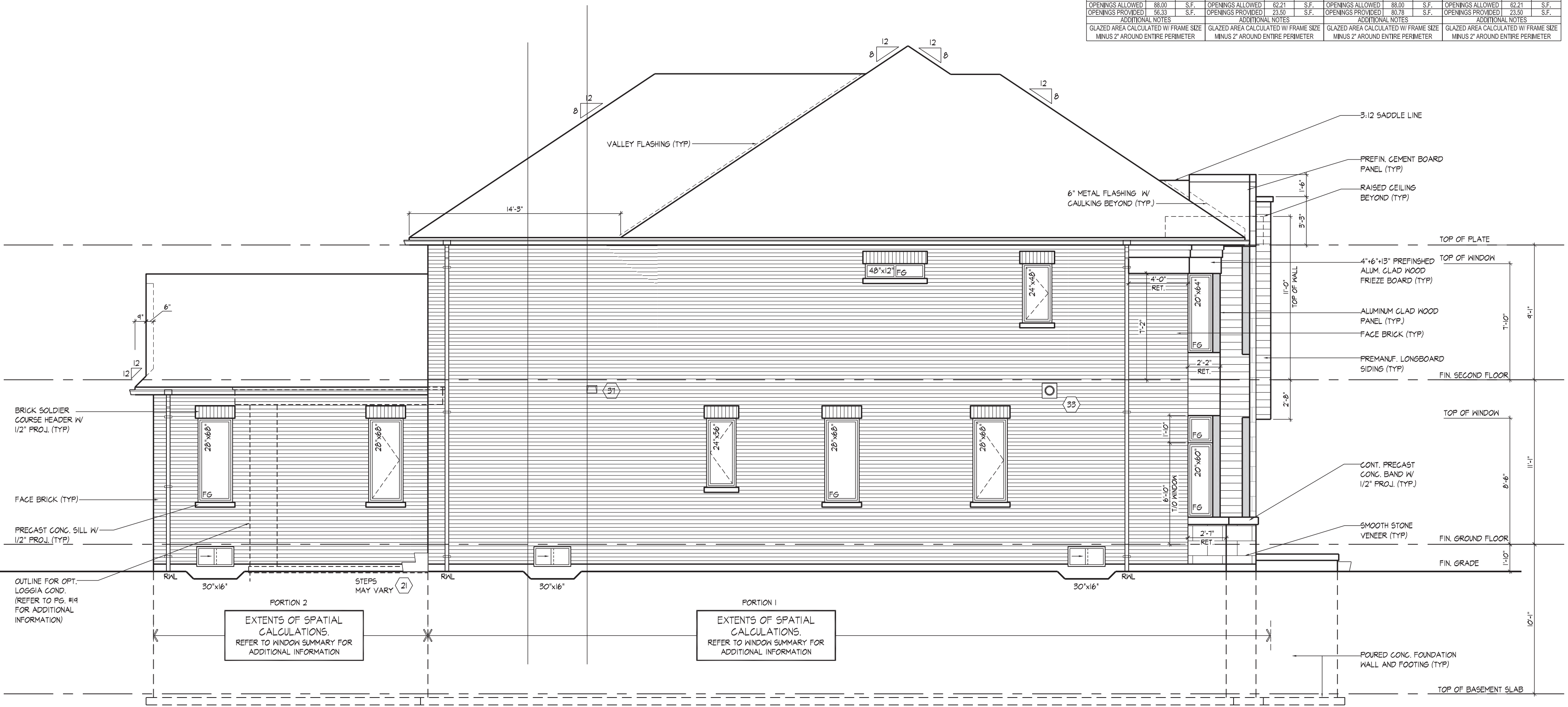
APPROVED BY: *[Signature]*
DATE: MAY 17, 2022

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

<p>THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.</p> <p>QUALIFICATION INFORMATION: Name: Allan Whiting Signature: <i>[Signature]</i> Registration Information: 19695</p>		<p>HUNT DESIGN ASSOCIATES INC. 8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326 www.huntdesign.ca</p>		<p>GOLDPARK HOMES - 221081 PINE VALLEY PH2, VAUGHAN, ON</p> <p>Drawn By: MC Checked By: SB Scale: 3/16"=1'-0"</p>		<p>FRONT ELEVATION 'C' UNIT 5004 - THE BEAUMONT REV.2022.03.25</p> <p>File Number: 221081WS5004 Page Number: 24 of 30</p>	
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ROOF OVERHANGS TO BE 15'
FOR BELL CURVE ROOFS UNLESS
NOTED OTHERWISE
REFER TO FRONT ELEVATION
FOR TYPICAL NOTES & INFO.

WINDOW SUMMARY				WINDOW SUMMARY				WINDOW SUMMARY				WINDOW SUMMARY			
PER O.B.C. TABLE 9.10.15.4				PER O.B.C. TABLE 9.10.15.4				PER O.B.C. TABLE 9.10.15.4				PER O.B.C. TABLE 9.10.15.4			
LEFT SIDE ELEVATION C - PORTION 1				LEFT SIDE ELEVATION C - PORTION 2				LEFT SIDE ELEVATION C - OPT. 5 BEDRM. - PORTION 1				LEFT SIDE ELEVATION C - OPT. 5 BEDRM. - PORTION 2			
QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)
2	30"	16"	4.33	2	28"	66"	21.33	2	30"	16"	4.33	2	28"	66"	21.33
1	24"	56"	7.22	1	30"	16"	2.17	1	24"	56"	7.22	1	30"	16"	2.17
2	28"	66"	21.33	0	0"	0"	0.00	2	28"	66"	21.33	0	0"	0"	0.00
1	20"	64"	6.67	0	0"	0"	0.00	1	20"	64"	6.67	0	0"	0"	0.00
1	20"	60"	6.22	0	0"	0"	0.00	1	20"	60"	6.22	0	0"	0"	0.00
1	20"	22"	2.00	0	0"	0"	0.00	1	20"	22"	2.00	0	0"	0"	0.00
1	24"	48"	6.11	0	0"	0"	0.00	3	24"	48"	18.33	0	0"	0"	0.00
1	48"	12"	2.44	0	0"	0"	0.00	1	48"	52"	14.67	0	0"	0"	0.00
0	0"	0"	0.00	0	0"	0"	0.00	0	0"	0"	0.00	0	0"	0"	0.00
0	0"	0"	0.00	0	0"	0"	0.00	0	0"	0"	0.00	0	0"	0"	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00	0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00	0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00	0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00	0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
SPATIAL CALCULATION				SPATIAL CALCULATION				SPATIAL CALCULATION				SPATIAL CALCULATION			
EXPOSING BUILDING	1479.30	S.F.		EXPOSING BUILDING	1479.30	S.F.		EXPOSING BUILDING	1479.30	S.F.		EXPOSING BUILDING	1479.30	S.F.	
FACE AREA	137.43	S.M.		FACE AREA	137.43	S.M.		FACE AREA	137.43	S.M.		FACE AREA	137.43	S.M.	
PORTION WALL AREA	1297.13	S.F.		PORTION WALL AREA	222.17	S.F.		PORTION WALL AREA	1297.13	S.F.		PORTION WALL AREA	222.17	S.F.	
LIMITING DISTANCE	1.2 m			LIMITING DISTANCE	8.4 m			LIMITING DISTANCE	1.2 m			LIMITING DISTANCE	8.4 m		
MAX. % OPENINGS	7	%		MAX. % OPENINGS	28	%		MAX. % OPENINGS	7	%		MAX. % OPENINGS	28	%	
OPENINGS ALLOWED	88.00	S.F.		OPENINGS ALLOWED	62.21	S.F.		OPENINGS ALLOWED	88.00	S.F.		OPENINGS ALLOWED	62.21	S.F.	
OPENINGS PROVIDED	56.33	S.F.		OPENINGS PROVIDED	23.50	S.F.		OPENINGS PROVIDED	80.78	S.F.		OPENINGS PROVIDED	23.50	S.F.	
ADDITIONAL NOTES				ADDITIONAL NOTES				ADDITIONAL NOTES				ADDITIONAL NOTES			
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER				GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER				GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER				GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER			



LEFT SIDE ELEVATION 'C'

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL

APPROVED BY: *[Signature]*
DATE: MAY 27, 2022

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION:
Name: Allan Whiting
Signature: *[Signature]*
BCIN: 23177

Checked By: MC
Scale: 3/16"=1'-0"

File Number: 221081WS5004
Page Number: 25 of 30

HUNT DESIGN ASSOCIATES INC.
www.huntdesign.ca

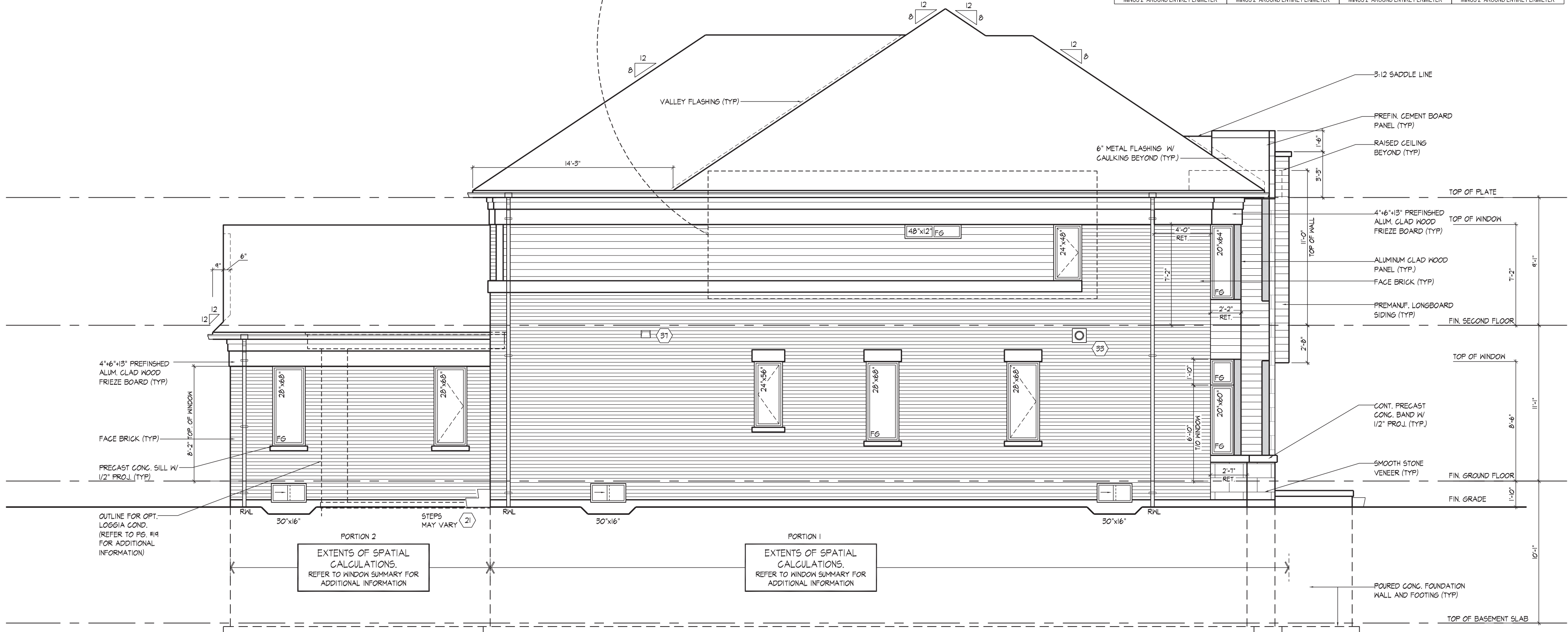
GOLDPARK HOMES - 221081
PINE VALLEY PH2, VAUGHAN, ON
REV.2022.03.25

8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

ROOF OVERHANGS TO BE 15"
FOR BELL CURVE ROOFS UNLESS
NOTED OTHERWISE
REFER TO FRONT ELEVATION
FOR TYPICAL NOTES & INFO.

PART. LEFT SIDE ELEVATION 'C' FOR OPT. 5 BEDROOM

WINDOW SUMMARY				WINDOW SUMMARY				WINDOW SUMMARY				WINDOW SUMMARY			
PER O.B.C. TABLE 9.10.15.4				PER O.B.C. TABLE 9.10.15.4				PER O.B.C. TABLE 9.10.15.4				PER O.B.C. TABLE 9.10.15.4			
LEFT SIDE ELEVATION C - PORTION 1				LEFT SIDE ELEVATION C - PORTION 2				BEDRM. - PORTION 1				BEDRM. - PORTION 2			
QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)
1	24"	48"	4.33	2	28"	68"	21.33	1	20"	64"	6.67	1	24"	48"	4.33
1	24"	68"	7.22	1	30"	88"	21.77	1	20"	64"	6.67	1	24"	48"	4.33
2	28"	68"	21.33	0	0"	0"	0.00	2	28"	68"	21.33	0	0"	0"	0.00
1	20"	64"	6.67	0	0"	0"	0.00	1	20"	64"	6.67	0	0"	0"	0.00
1	20"	68"	6.22	0	0"	0"	0.00	1	20"	68"	6.22	0	0"	0"	0.00
1	20"	22"	2.00	0	0"	0"	0.00	1	20"	22"	2.00	0	0"	0"	0.00
1	24"	48"	6.11	0	0"	0"	0.00	3	24"	48"	18.33	0	0"	0"	0.00
1	48"	12"	2.44	0	0"	0"	0.00	1	48"	52"	14.87	0	0"	0"	0.00
0	0"	0"	0.00	0	0"	0"	0.00	0	0"	0"	0.00	0	0"	0"	0.00
0	0"	0"	0.00	0	0"	0"	0.00	0	0"	0"	0.00	0	0"	0"	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00	0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00	0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00	0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00	0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00	0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
SPATIAL CALCULATION				SPATIAL CALCULATION				SPATIAL CALCULATION				SPATIAL CALCULATION			
EXPOSING BUILDING 1479.30 S.F.				EXPOSING BUILDING 1479.30 S.F.				EXPOSING BUILDING 1479.30 S.F.				EXPOSING BUILDING 1479.30 S.F.			
FACE AREA 137.43 S.M.				FACE AREA 137.43 S.M.				FACE AREA 137.43 S.M.				FACE AREA 137.43 S.M.			
PORTION WALL AREA 1257.13 S.F.				PORTION WALL AREA 222.17 S.F.				PORTION WALL AREA 116.79 S.F.				PORTION WALL AREA 222.17 S.F.			
LIMITING DISTANCE 1.2 m				LIMITING DISTANCE 8.4 m				LIMITING DISTANCE 1.2 m				LIMITING DISTANCE 8.4 m			
MAX. % OPENINGS 7 %				MAX. % OPENINGS 28 %				MAX. % OPENINGS 7 %				MAX. % OPENINGS 28 %			
OPENINGS ALLOWED 88.00 S.F.				OPENINGS ALLOWED 62.21 S.F.				OPENINGS ALLOWED 88.00 S.F.				OPENINGS ALLOWED 62.21 S.F.			
OPENINGS PROVIDED 65.33 S.F.				OPENINGS PROVIDED 23.50 S.F.				OPENINGS PROVIDED 80.78 S.F.				OPENINGS PROVIDED 23.50 S.F.			
ADDITIONAL NOTES				ADDITIONAL NOTES				ADDITIONAL NOTES				ADDITIONAL NOTES			
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER				GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER				GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER				GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER			



LEFT SIDE UPGRADE ELEVATION 'C'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot. This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: [Signature]
DATE: MAY 22, 2022

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

V:\PROJECTS\2021\221081\GOLDPARK HOMES\SINGLE\5004\221081WS5004-BEAMONT.DWG

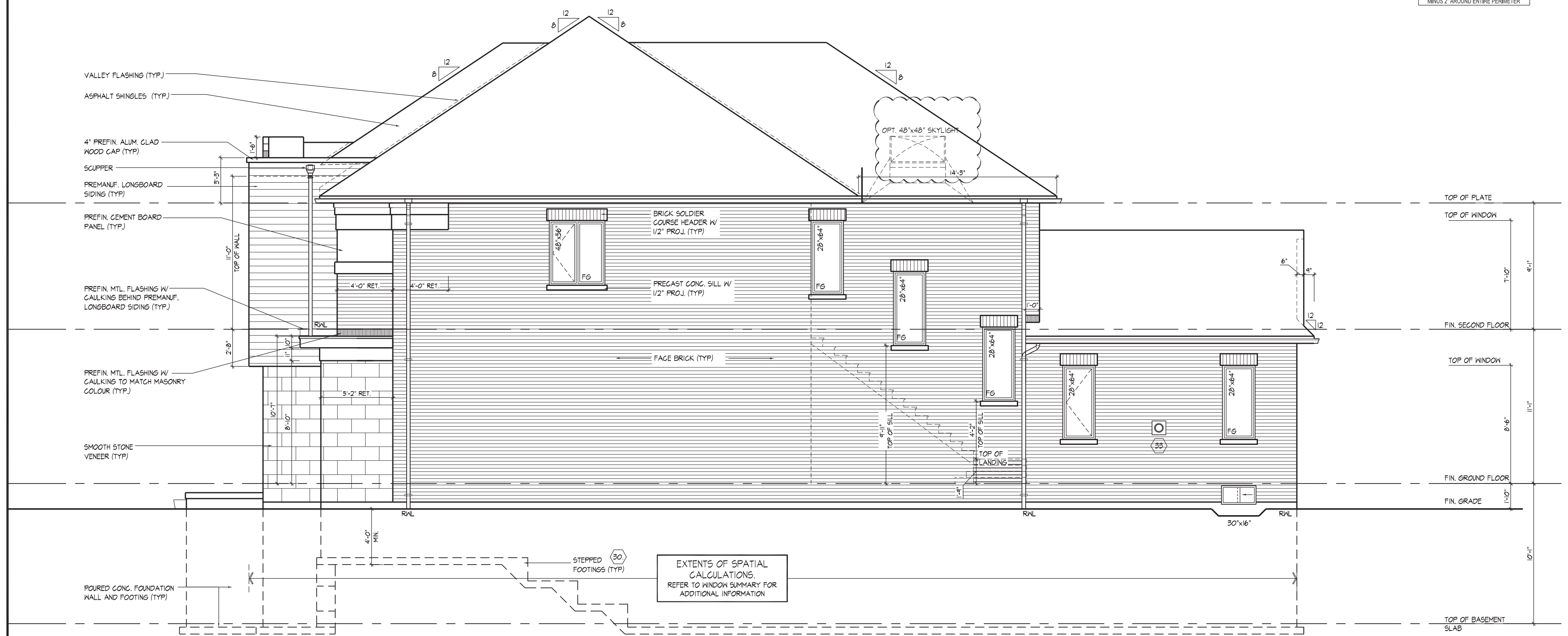
WINDOW SUMMARY
PER O.B.C. TABLE 9.10.15.4

COUNT	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)
1	48"	56"	15.89
5	28"	64"	50.00
1	30"	16"	2.17
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00

SPATIAL CALCULATION

EXPOSING BUILDING	1482.03	S.F.
FACE AREA	137.89	S.M.
PORTION WALL AREA	1482.03	S.F.
PORTION WALL AREA	137.89	S.M.
LIMITING DISTANCE	1.2 m	
MAX. % OPENINGS		
OPENINGS ALLOWED	103.74	S.F.
OPENINGS PROVIDED	68.06	S.F.
ADDITIONAL NOTES		
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER		

REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFO.
ROOF OVERHANGS TO BE 15" FOR BELL CURVE ROOFS UNLESS NOTED OTHERWISE



RIGHT SIDE ELEVATION 'C'

EXTENTS OF SPATIAL CALCULATIONS. REFER TO WINDOW SUMMARY FOR ADDITIONAL INFORMATION

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot. This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL

APPROVED BY: _____
DATE: MAY 22, 2022
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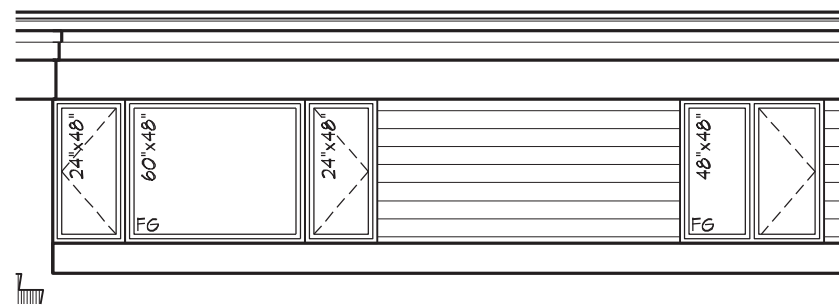
HUNT DESIGN ASSOCIATES INC.
8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326
www.huntedesign.ca

GOLDPARK HOMES - 221081
PINE VALLEY PH2, VAUGHAN, ON

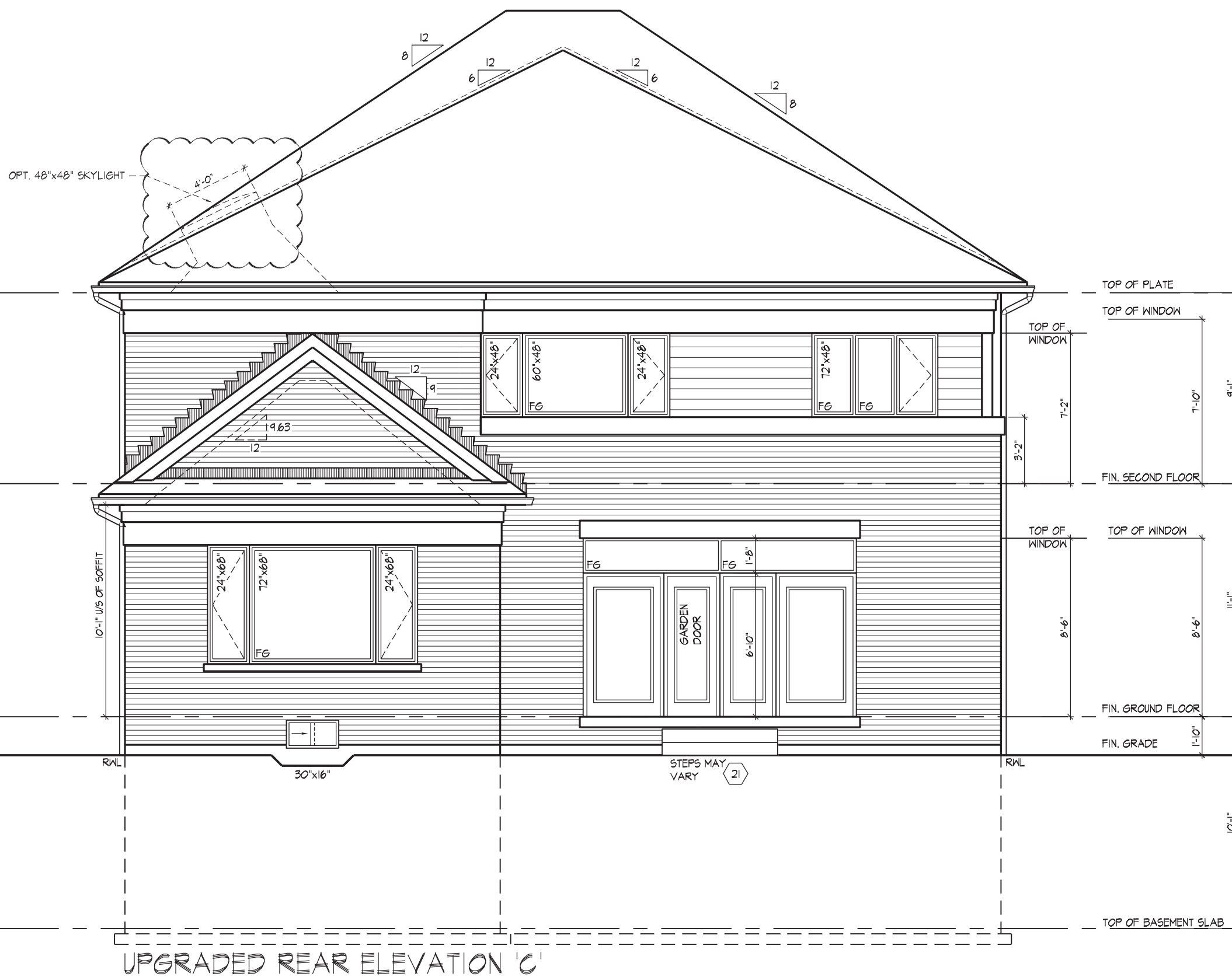
RIGHT SIDE ELEVATION 'C'
UNIT 5004 - THE BEAUMONT
REV. 2022.03.25

Drawn By: MC
Checked By: SB
Scale: 3/16"=1'-0"
File Number: 221081WS5004
Page Number: 26 of 30

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.
QUALIFICATION INFORMATION:
Name: Allan Whiting
SIGNATURE: _____
BCIN: 23177
HUNT DESIGN ASSOCIATES INC. 19695



REFER TO FRONT ELEVATION
FOR TYPICAL NOTES & INFO.
ROOF OVERHANGS TO BE 15"
FOR BELL CURVE ROOFS UNLESS
NOTED OTHERWISE



UPGRADED REAR ELEVATION 'C'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot. This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: MAY 27, 2022
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.
 QUALIFICATION INFORMATION:
 Alan Whiting [Signature] 23177
 HUNT DESIGN ASSOCIATES INC. 19695

HUNT DESIGN ASSOCIATES INC.
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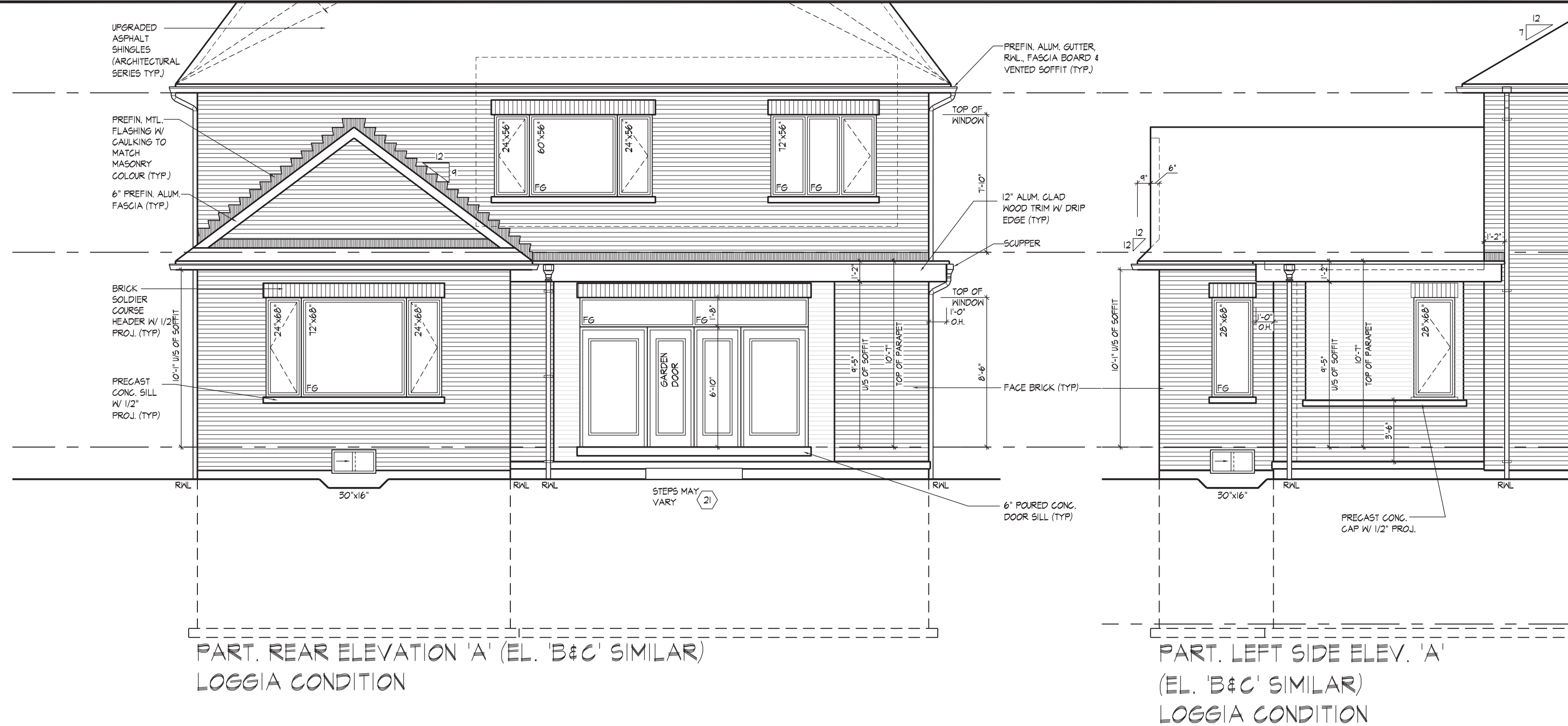
GOLDPARK HOMES - 221081
PINE VALLEY PH2, VAUGHAN, ON

Drawn By: MC
Checked By: SB
Scale: 3/16"=1'-0"
8966 Woodbine Ave, Markham, ON L3R 0J7
T 905.737.5133 F 905.737.7326

UPGRADED REAR ELEVATION 'C'
UNIT 5004 - THE BEAUMONT
REV.2022.03.25

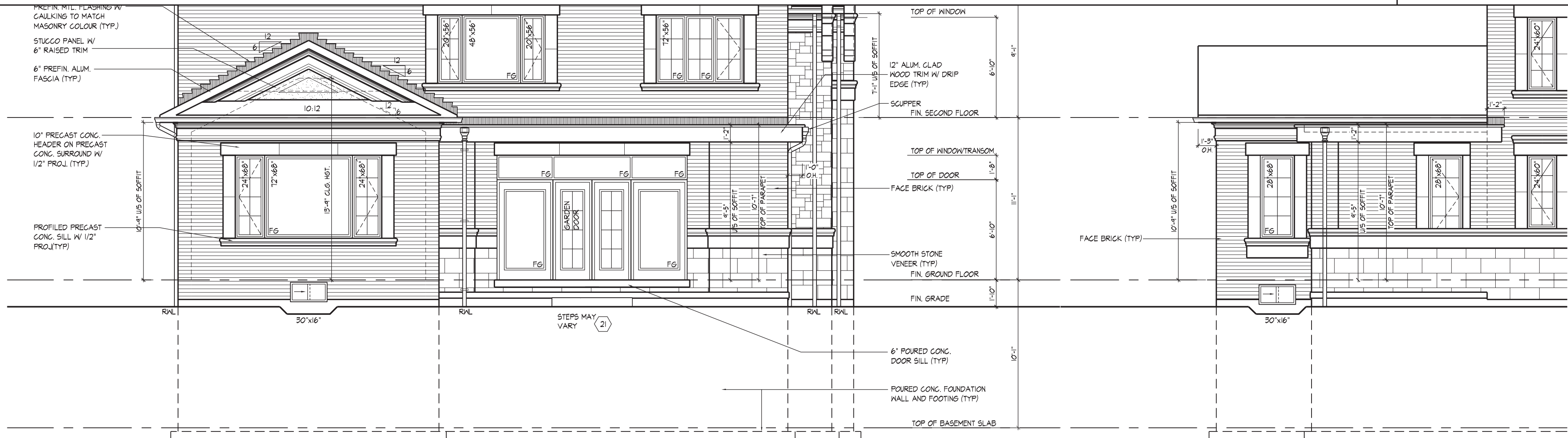
File Number: 221081WS5004
Page Number: 27 of 30

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PART. REAR ELEVATION 'A' (EL. 'B&C' SIMILAR)
LOGGIA CONDITION

PART. LEFT SIDE ELEV. 'A'
(EL. 'B&C' SIMILAR)
LOGGIA CONDITION



REAR ELEVATION 'A' - CORNER
OPT. LOGGIA CONDITION

LEFT SIDE ELEVATION 'A' - CORNER
OPT. LOGGIA CONDITION

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: MAY 22, 2022
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QUALIFICATION INFORMATION:
Allan Whiting [Signature] 23177
MCB
REGISTRATION INFORMATION:
HUNT DESIGN ASSOCIATES INC. 19695

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DESIGN ASSOCIATES INC.
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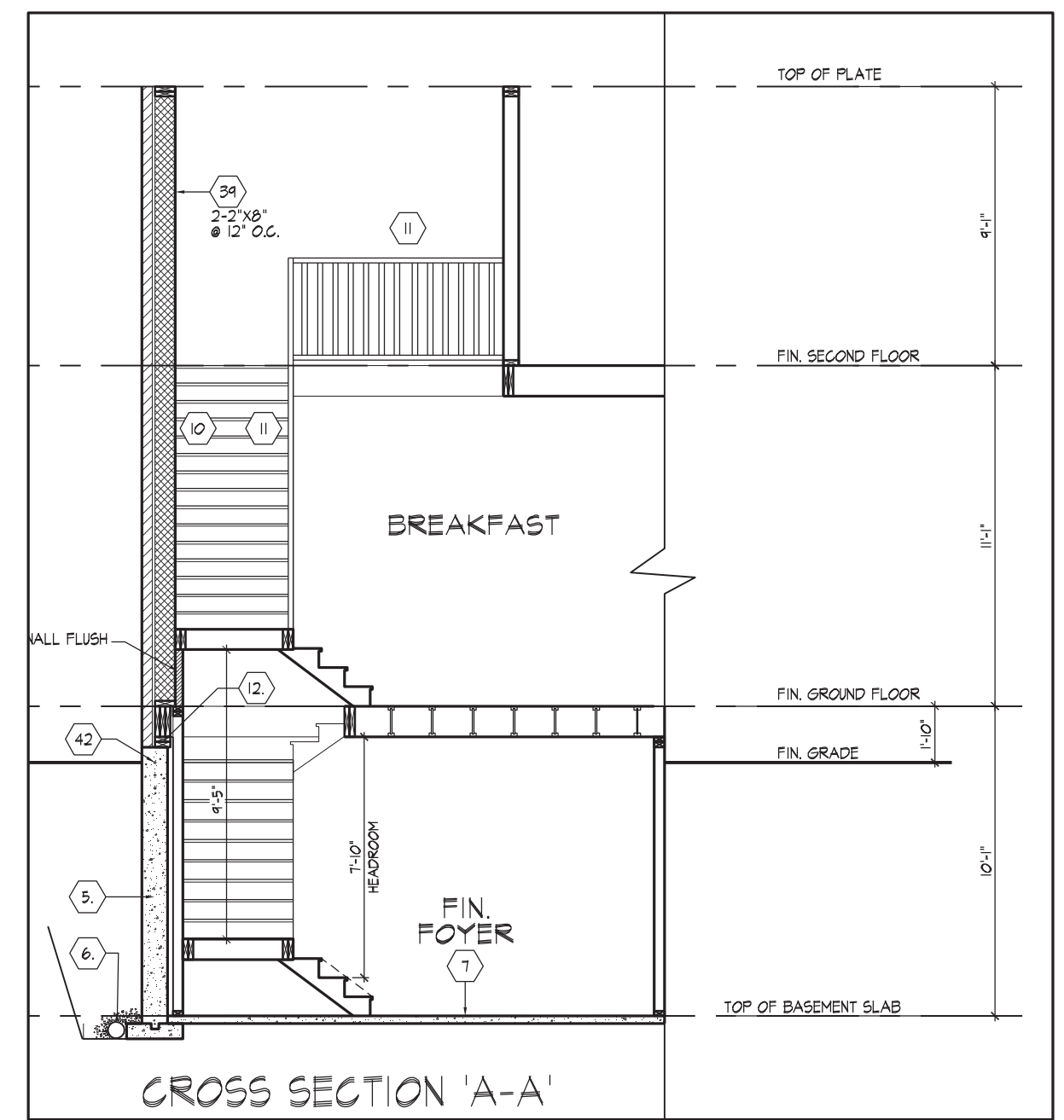
GOLDPARK HOMES - 221081
PINE VALLEY PH2, VAUGHAN, ON

Scale: 3/16"=1'-0"
8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

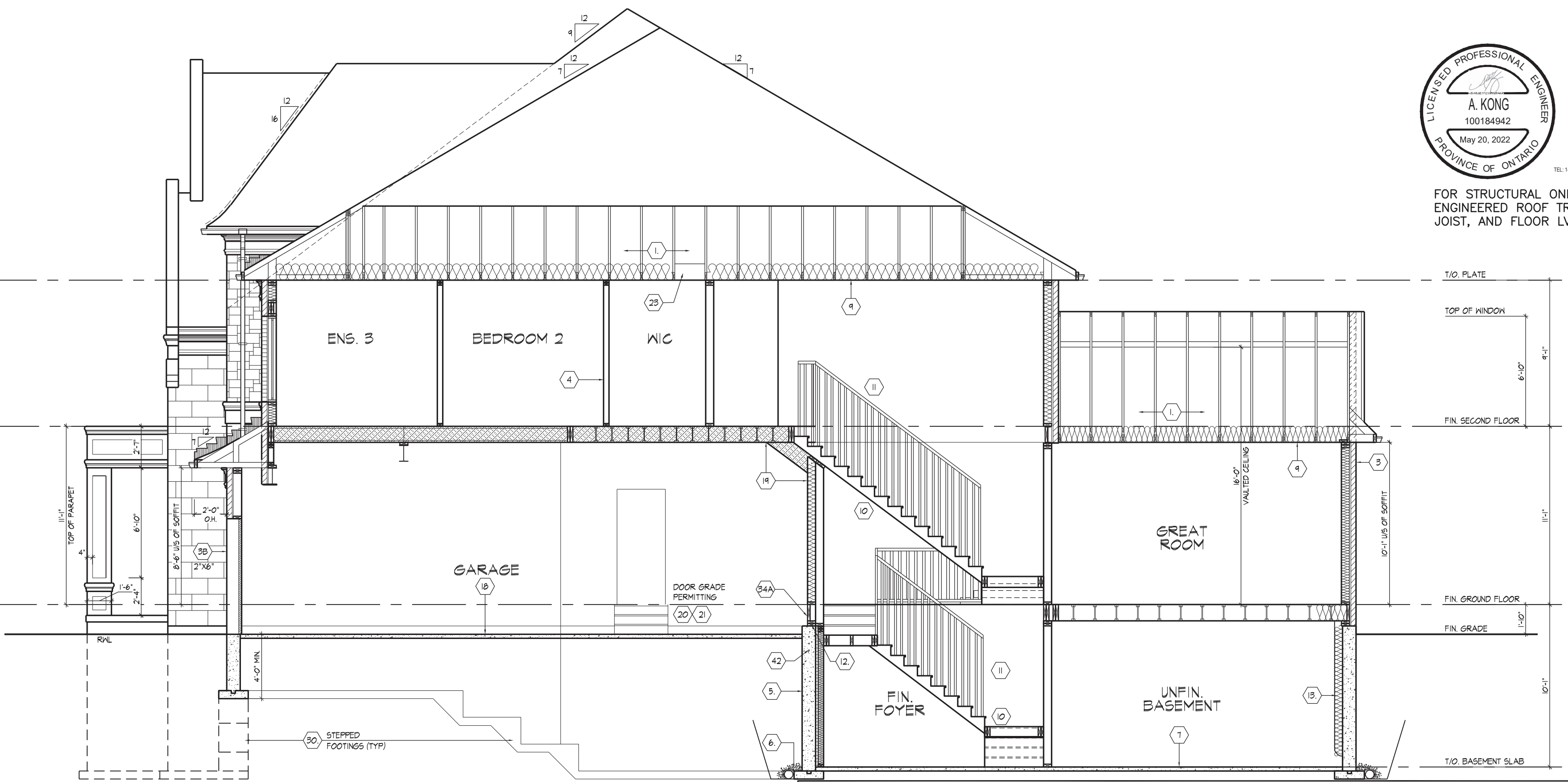
ELEVATIONS LOGGIA CONDITION
UNIT 5004 - THE BEAUMONT
REV.2022.03.25

File Number: 221081WS5004
Page Number: 28 of 30

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CROSS SECTION 'A-A'



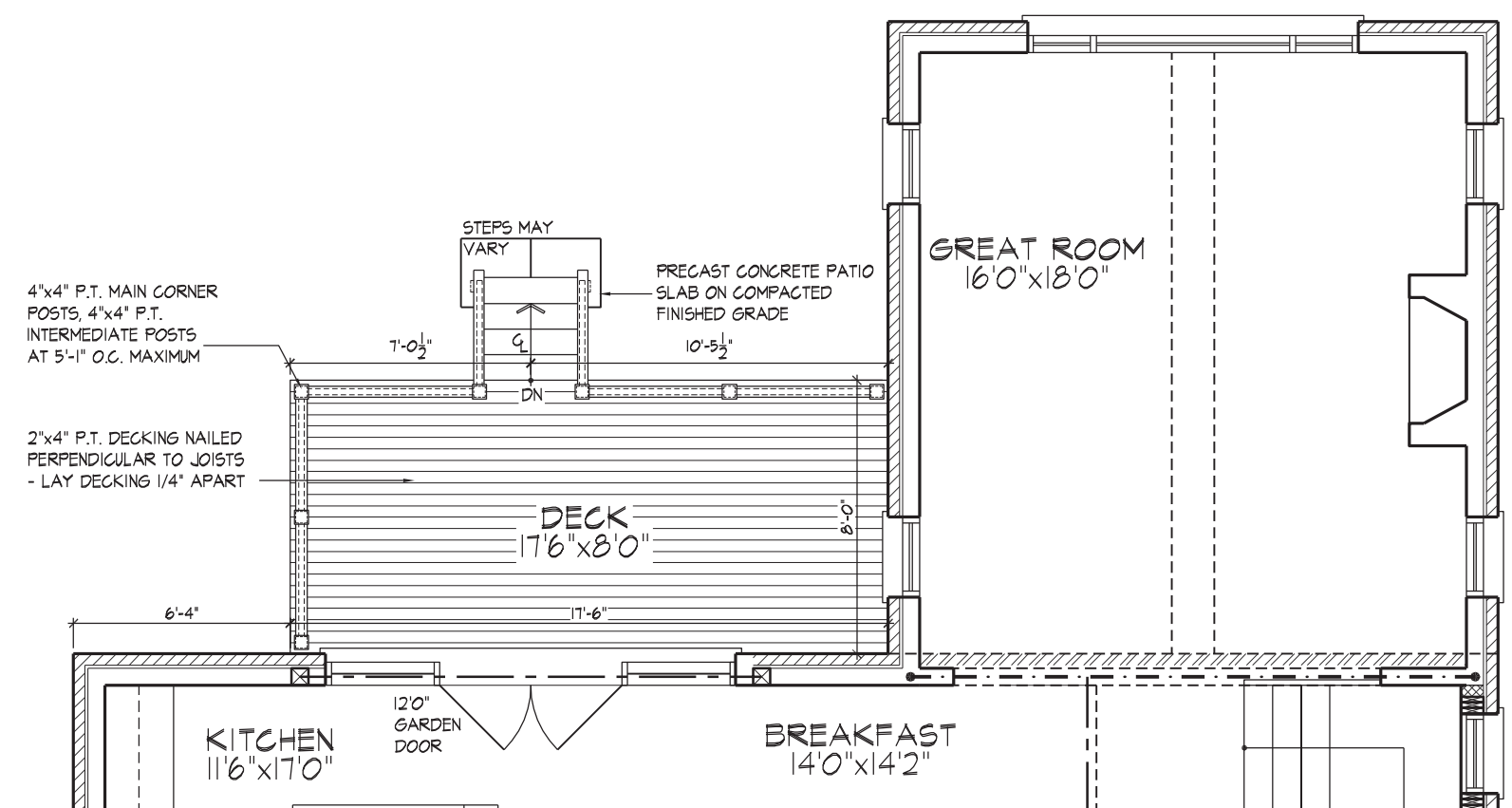
CROSS SECTION 'B-B'



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<p>THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.</p> <p>QUALIFICATION INFORMATION Allan Whiting  23177 HUNT DESIGN ASSOCIATES INC. 19695</p>		<p>HUNT DESIGN ASSOCIATES INC. 8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326 www.hunt-design.ca</p>	<p>GOLDPARK HOMES - 221081 PINE VALLEY PH2, VAUGHAN, ON</p>	<p>UNIT 5004 - THE BEAUMONT REV.2022.03.25</p>	<p>Scale: 3/16"=1'-0" File Number: 221081WS5004 Page Number: 29 of 30</p>
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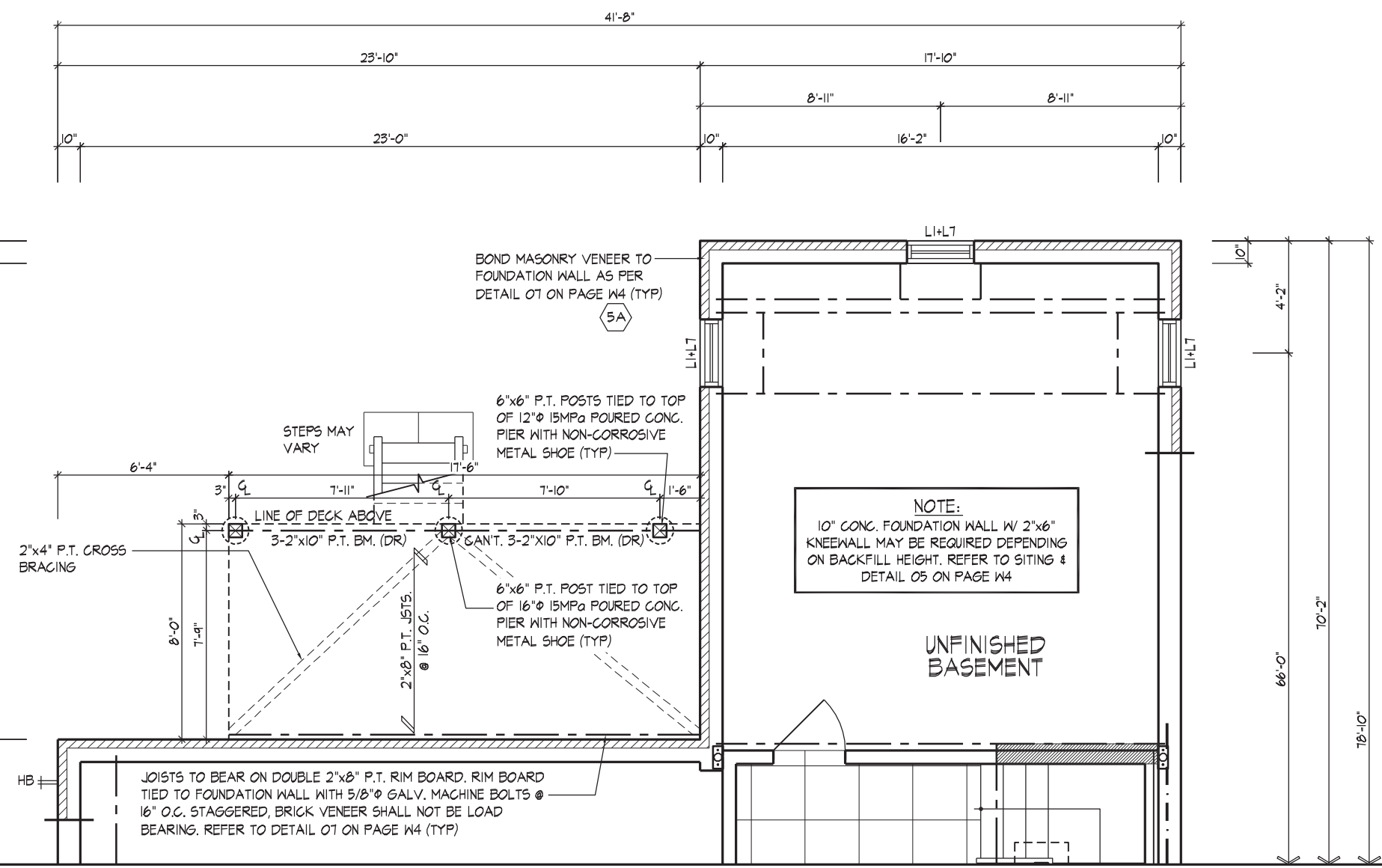
PART. GROUND FLOOR PLAN ELEV. 'A', 'B' & 'C' - W.O.D. COND.

NOTE:
REFER TO STANDARD FLOOR
PLANS FOR COMPLETE DIMENSIONS
& STRUCTURAL INFORMATION



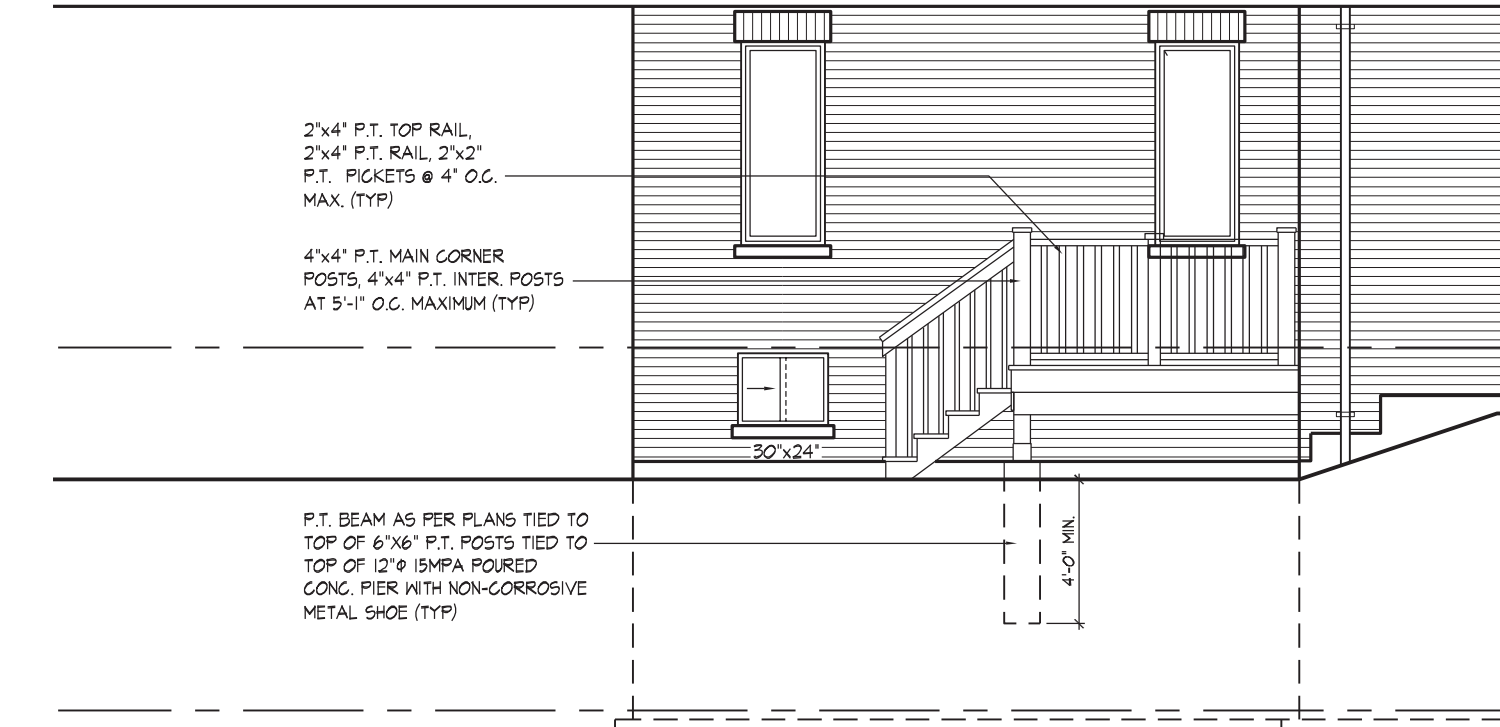
PART. REAR ELEVATION 'A', 'B' & 'C' - W.O.D. CONDITION

REFER TO FRONT ELEVATION & STANDARD
REAR FOR TYPICAL NOTES & INFO.



PART. BASEMENT PLAN ELEV. 'A', 'B' & 'C' - W.O.D. COND.

NOTE:
REFER TO STANDARD FLOOR
PLANS FOR COMPLETE DIMENSIONS
& STRUCTURAL INFORMATION



PART. LEFT SIDE ELEV. 'A', 'B' & 'C' - W.O.D. CONDITION

REFER TO FRONT ELEVATION & STANDARD
REAR FOR TYPICAL NOTES & INFO.

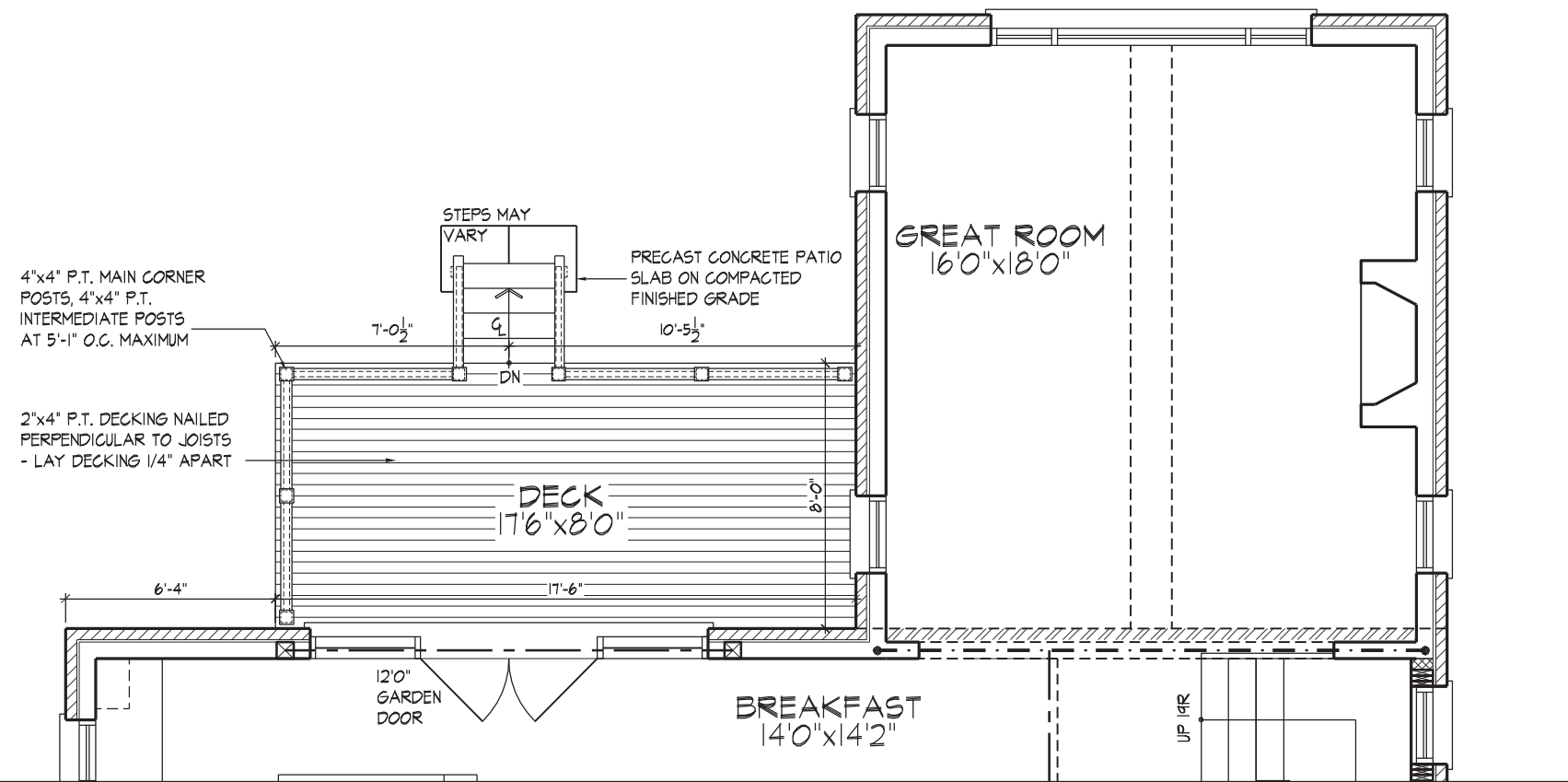
WINDOW SUMMARY				WINDOW SUMMARY			
PER O.B.C. TABLE 9.10.15.4				PER O.B.C. TABLE 9.10.15.4			
REAR ELEV. A				REAR ELEV. A - OPT. 5 BDRM.			
QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)
2	24"	56"	14.44	2	24"	56"	14.44
1	60"	56"	20.22	1	60"	56"	20.22
1	72"	56"	24.56	1	48"	56"	15.69
2	24"	68"	17.78	2	24"	68"	17.78
1	72"	68"	30.22	1	72"	68"	30.22
1	30"	24"	3.61	1	30"	24"	3.61
0	0"	0"	0.00	0	0"	0"	0.00
0	0"	0"	0.00	0	0"	0"	0.00
0	0"	0"	0.00	0	0"	0"	0.00
0	0"	0"	0.00	0	0"	0"	0.00
1	DOOR/TRAN	110.50	110.50	1	DOOR/TRAN	110.50	110.50
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
SPATIAL CALCULATION				SPATIAL CALCULATION			
EXPOSING BUILDING	92.26	S.F.	EXPOSING BUILDING	92.26	S.F.	EXPOSING BUILDING	92.26
FACE AREA	92.26	S.M.	FACE AREA	92.26	S.M.	FACE AREA	92.26
PORTION WALL AREA	92.26	S.F.	PORTION WALL AREA	92.26	S.F.	PORTION WALL AREA	92.26
LIMITING DISTANCE	7.5 m	%	LIMITING DISTANCE	7.5 m	%	LIMITING DISTANCE	7.5 m
MAX. % OPENINGS	50	%	MAX. % OPENINGS	50	%	MAX. % OPENINGS	50
OPENINGS ALLOWED	496.53	S.F.	OPENINGS ALLOWED	496.53	S.F.	OPENINGS ALLOWED	496.53
OPENINGS PROVIDED	221.33	S.F.	OPENINGS PROVIDED	212.67	S.F.	OPENINGS PROVIDED	212.67
ADDITIONAL NOTES				ADDITIONAL NOTES			
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER				GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER			
WINDOW SUMMARY				WINDOW SUMMARY			
PER O.B.C. TABLE 9.10.15.4				PER O.B.C. TABLE 9.10.15.4			
LEFT SIDE ELEVATION A				LEFT SIDE ELEVATION A - OPT. 5 BDRM.			
QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)
2	30"	16"	4.33	3	24"	48"	18.33
1	24"	48"	6.11	1	48"	52"	14.83
1	24"	56"	7.22	1	48"	52"	14.83
4	28"	68"	42.67	4	28"	68"	42.67
1	48"	12"	2.44	2	30"	16"	4.33
1	30"	24"	3.61	1	24"	56"	7.22
0	0"	0"	0.00	1	30"	24"	3.61
0	0"	0"	0.00	0	0"	0"	0.00
0	0"	0"	0.00	0	0"	0"	0.00
0	0"	0"	0.00	0	0"	0"	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
SPATIAL CALCULATION				SPATIAL CALCULATION			
EXPOSING BUILDING	1481.88	S.F.	EXPOSING BUILDING	1481.88	S.F.	EXPOSING BUILDING	1481.88
FACE AREA	137.67	S.M.	FACE AREA	137.67	S.M.	FACE AREA	137.67
PORTION WALL AREA	137.67	S.F.	PORTION WALL AREA	1481.88	S.F.	PORTION WALL AREA	137.67
LIMITING DISTANCE	7.5 m	%	LIMITING DISTANCE	7.5 m	%	LIMITING DISTANCE	7.5 m
MAX. % OPENINGS	1.2	%	MAX. % OPENINGS	7	%	MAX. % OPENINGS	7
OPENINGS ALLOWED	103.73	S.F.	OPENINGS ALLOWED	103.73	S.F.	OPENINGS ALLOWED	103.73
OPENINGS PROVIDED	66.39	S.F.	OPENINGS PROVIDED	90.83	S.F.	OPENINGS PROVIDED	90.83
ADDITIONAL NOTES				ADDITIONAL NOTES			
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER				GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER			



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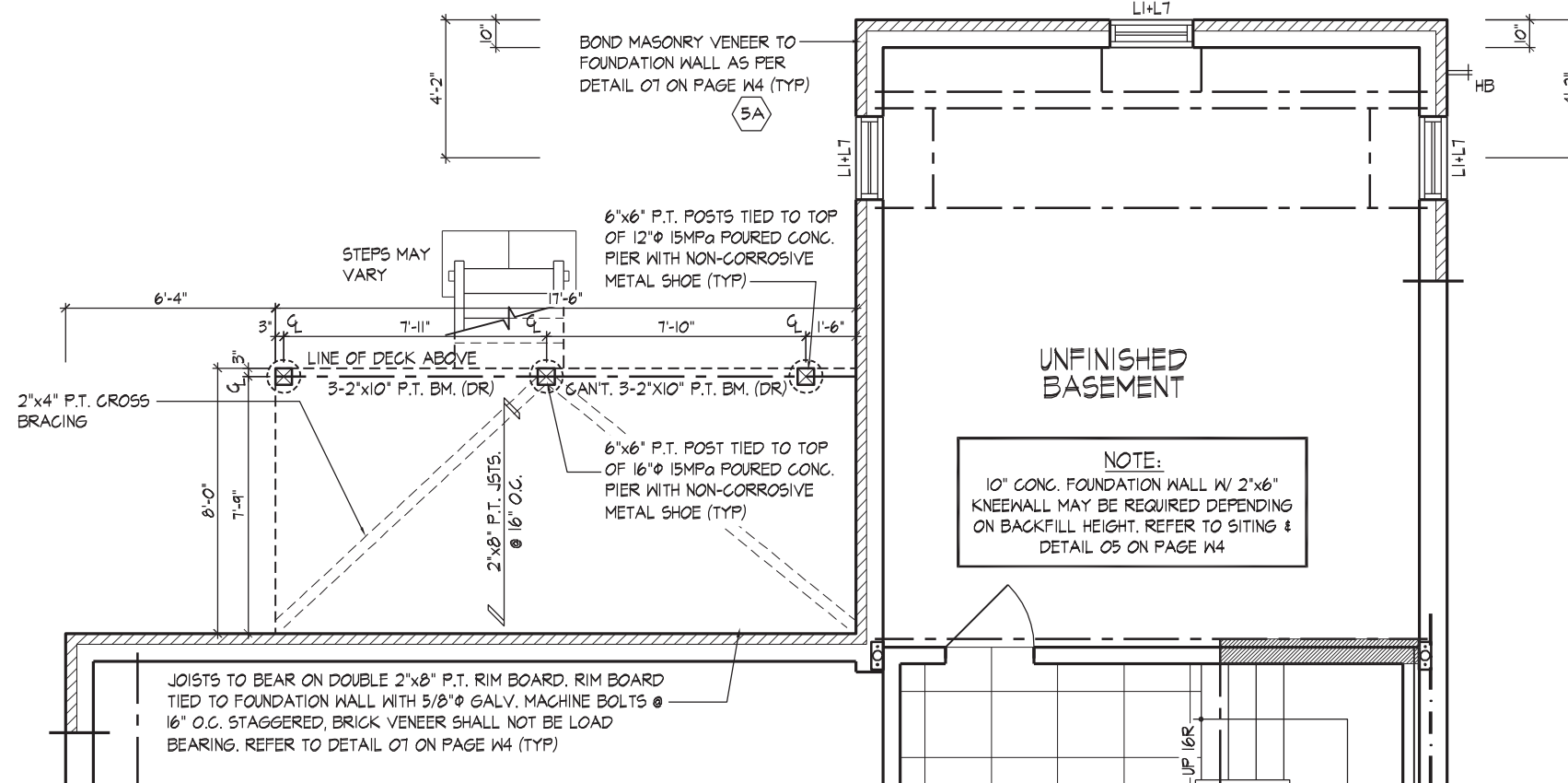
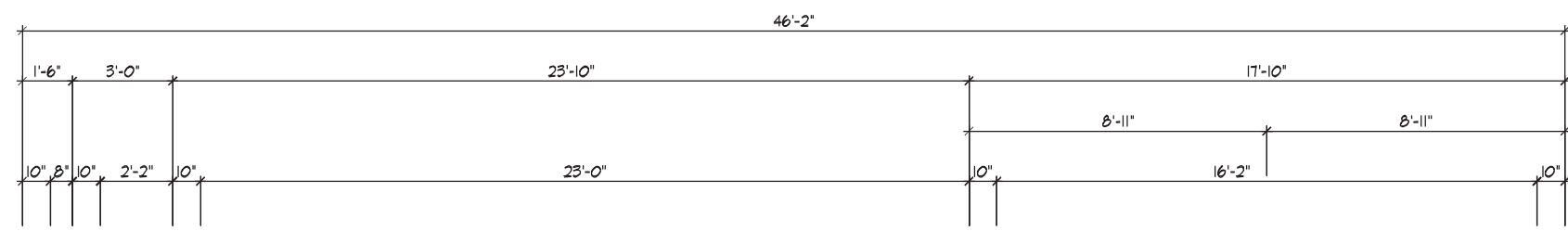
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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: MAY 22, 2022
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PART. GROUND FLOOR PLAN ELEV. 'A' CORNER - W.O.D. COND.

NOTE:
REFER TO STANDARD FLOOR PLANS FOR COMPLETE DIMENSIONS & STRUCTURAL INFORMATION



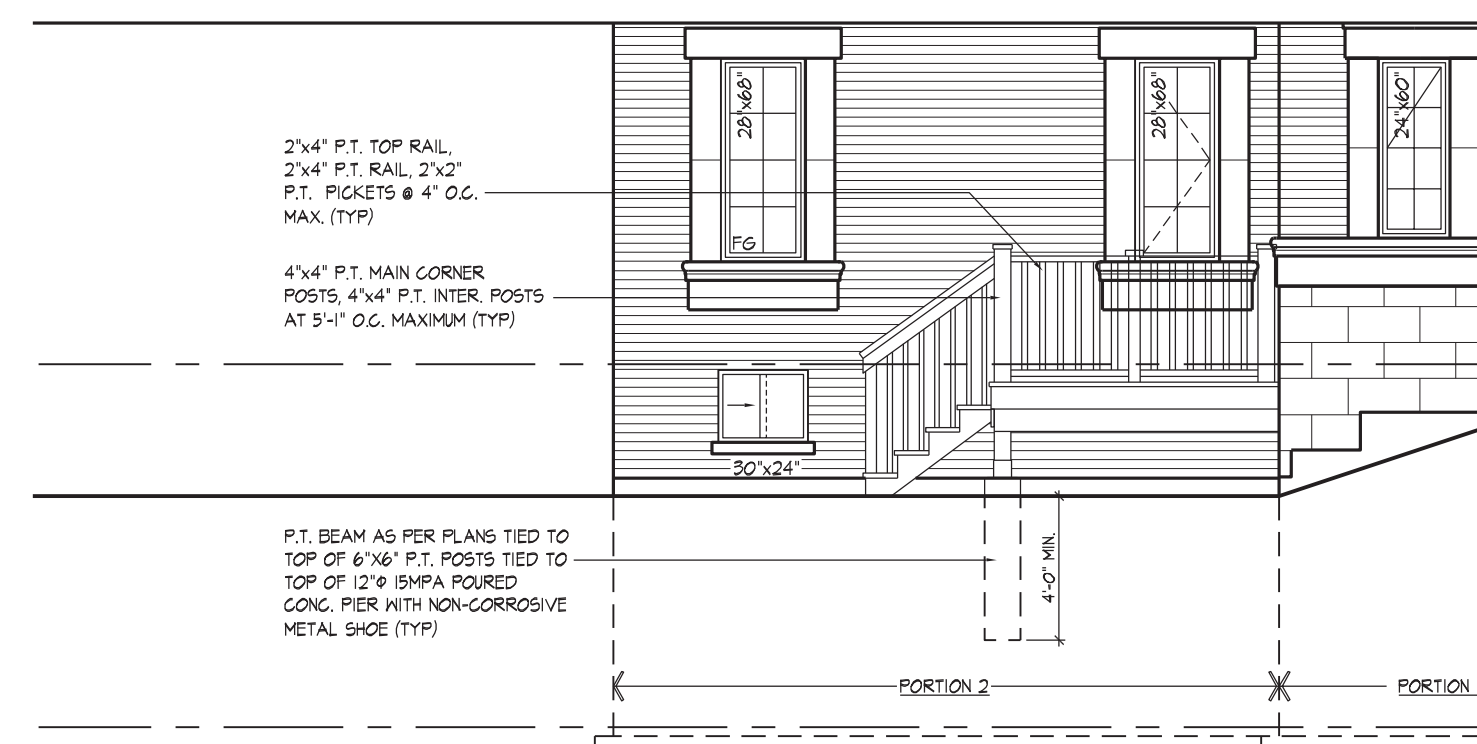
PART. BASEMENT PLAN ELEV. 'A' CORNER - W.O.D. COND.

NOTE:
REFER TO STANDARD FLOOR PLANS FOR COMPLETE DIMENSIONS & STRUCTURAL INFORMATION



PART. REAR ELEVATION 'A' CORNER - W.O.D. CONDITION

REFER TO FRONT ELEVATION & STANDARD REAR FOR TYPICAL NOTES & INFO.



PART. LEFT SIDE ELEV. 'A' CORNER - W.O.D. CONDITION

REFER TO FRONT ELEVATION & STANDARD REAR FOR TYPICAL NOTES & INFO.

WINDOW SUMMARY
PER O.B.C. TABLE 9.10.15.4
REAR ELEV. A CORNER

QUAN	WIDTH	DEPTH	WINDOW DOOR FRAME SIZE (S.F.)
2	20"	56"	11.56
1	48"	56"	15.89
1	72"	56"	24.56
2	24"	68"	17.76
1	72"	68"	30.22
1	30"	24"	3.61
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	ARCH	110.50	110.50
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00

SPATIAL CALCULATION

EXPOSING BUILDING	1130.79	S.F.
FACE AREA	105.05	S.M.
PORTION WALL AREA	1130.79	S.F.
	105.05	S.M.
LIMITING DISTANCE		7.5 m
MAX. % OPENINGS	50	%
OPENINGS ALLOWED	565.39	S.F.
OPENINGS PROVIDED	214.11	S.F.

ADDITIONAL NOTES
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER

WINDOW SUMMARY
PER O.B.C. TABLE 9.10.15.4
LEFT SIDE ELEVATION A - PORTION 2

QUAN	WIDTH	DEPTH	WINDOW DOOR FRAME SIZE (S.F.)
2	28"	88"	21.33
1	30"	24"	3.61
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00

SPATIAL CALCULATION

EXPOSING BUILDING	1523.20	S.F.
FACE AREA	141.51	S.M.
PORTION WALL AREA	315.17	S.F.
	29.29	S.M.
LIMITING DISTANCE		10.14 m
MAX. % OPENINGS	40	%
OPENINGS ALLOWED	129.07	S.F.
OPENINGS PROVIDED	24.94	S.F.

ADDITIONAL NOTES
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER

WINDOW SUMMARY
PER O.B.C. TABLE 9.10.15.4
LEFT SIDE ELEVATION A - PORTION 1

QUAN	WIDTH	DEPTH	WINDOW DOOR FRAME SIZE (S.F.)
2	28"	88"	21.33
1	24"	52"	6.87
1	48"	52"	14.67
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00

SPATIAL CALCULATION

EXPOSING BUILDING	1523.20	S.F.
FACE AREA	141.51	S.M.
PORTION WALL AREA	1225.67	S.F.
	113.97	S.M.
LIMITING DISTANCE		7 1.5 m
MAX. % OPENINGS	7	%
OPENINGS ALLOWED	85.80	S.F.
OPENINGS PROVIDED	82.89	S.F.

ADDITIONAL NOTES
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER



100 COMMERCE VALLEY DR. W.
THORNHILL, ONTARIO CANADA L3T 0A1
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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: _____
DATE: MAY 27, 2022

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HUNT DESIGN ASSOCIATES INC.
23177
BCN
19695

GOLDPARK HOMES - 221081
PINE VALLEY PH2, VAUGHAN, ON

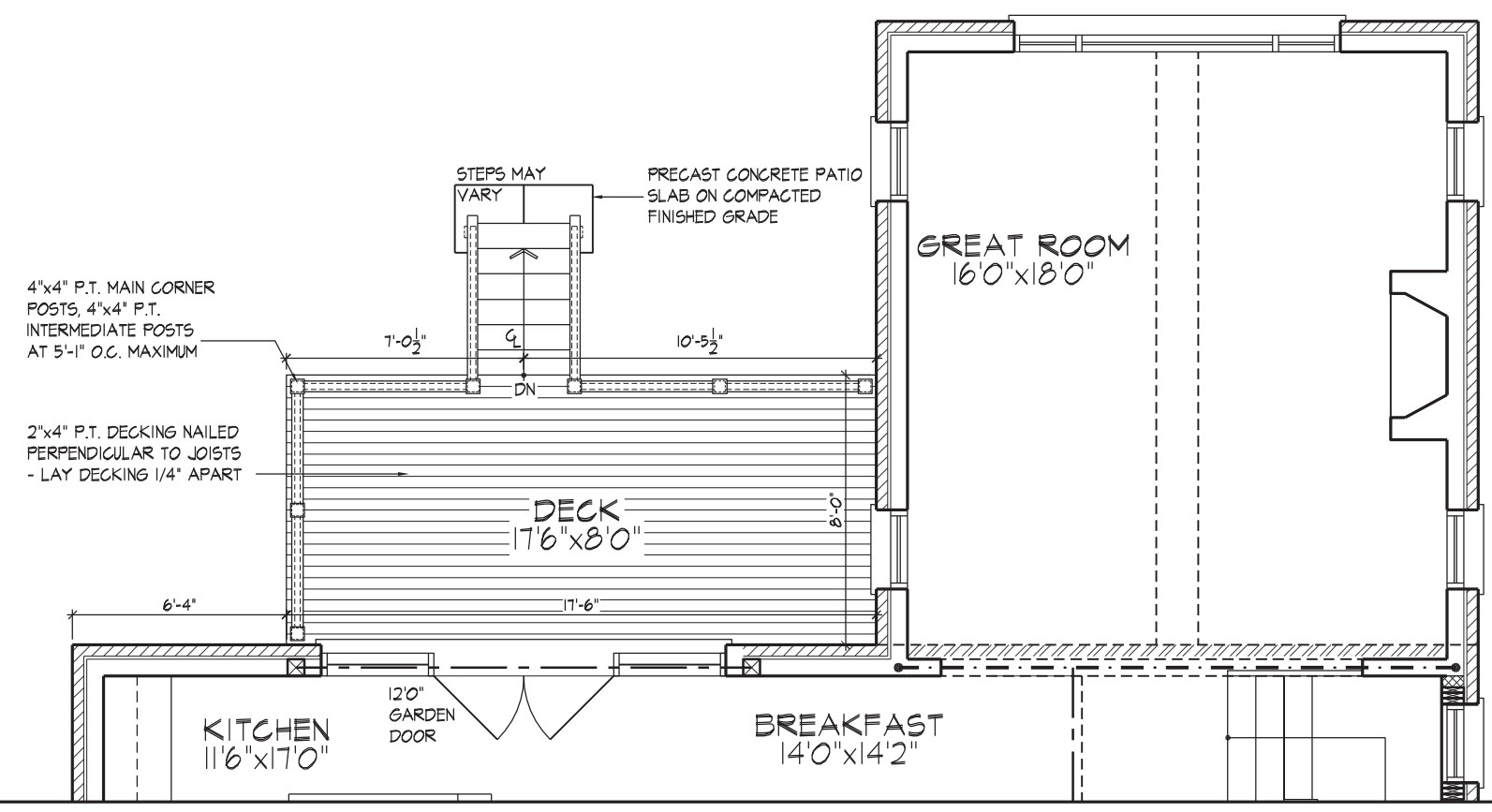
WALK OUT DECK CONDITION
UNIT 5004 - THE BEAUMONT
REV.2022.03.25

Scale: 3/16"=1'-0"

File Number: 221081WS5004
Page Number: W1A of W5

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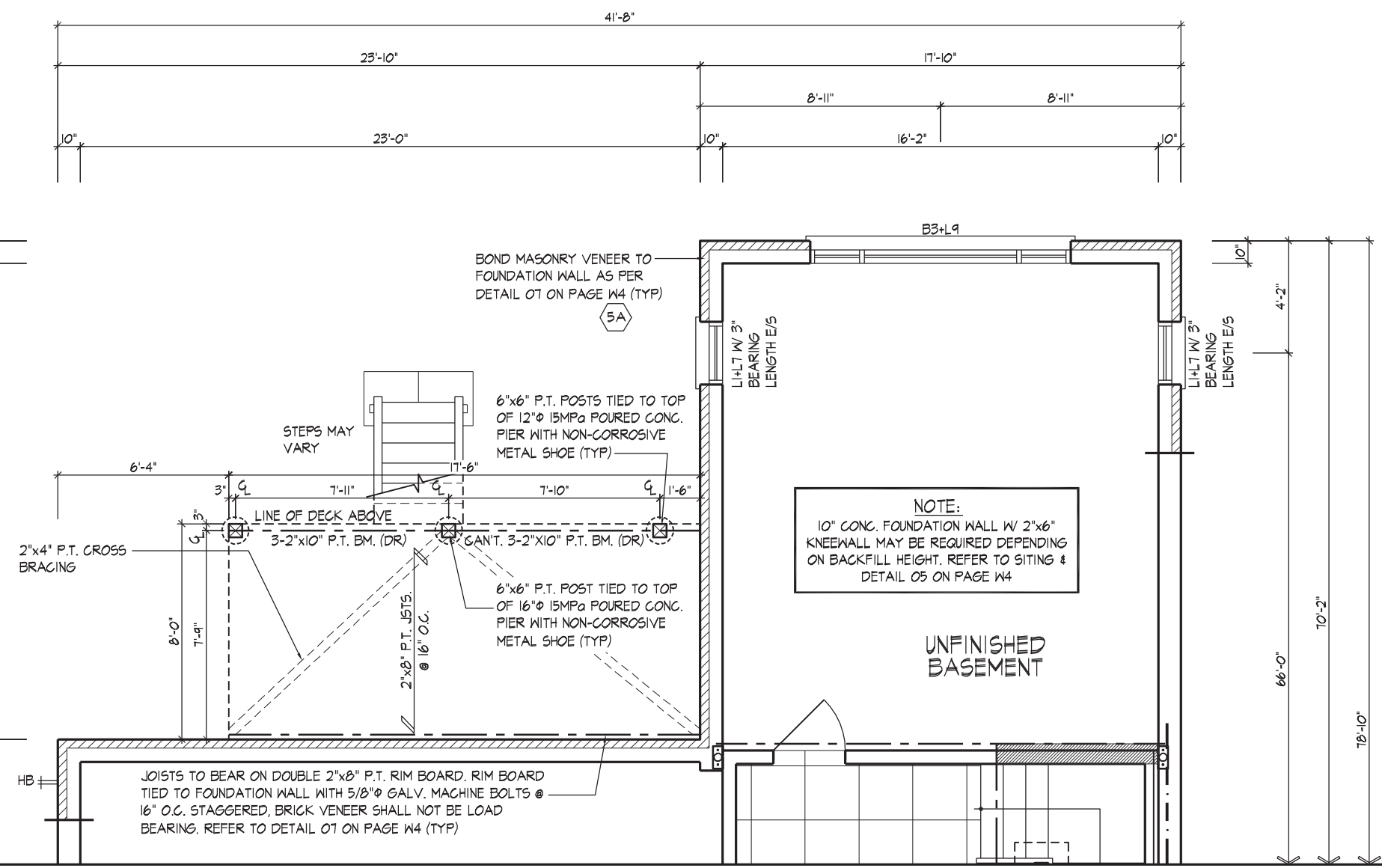
PART. GROUND FLOOR PLAN ELEV. 'A', 'B' & 'C' - L.O.D. COND.

NOTE:
REFER TO STANDARD FLOOR
PLANS FOR COMPLETE DIMENSIONS
& STRUCTURAL INFORMATION



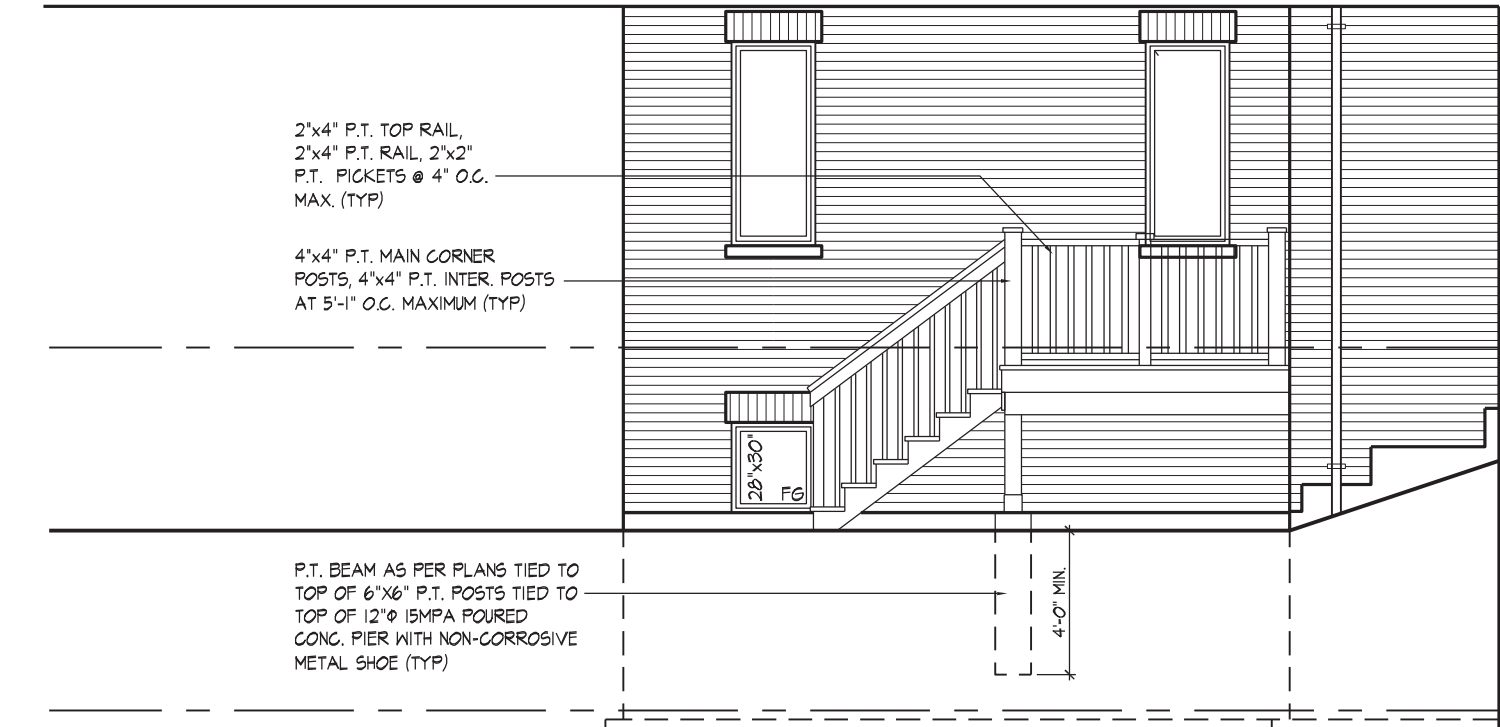
PART. REAR ELEVATION 'A', 'B' & 'C' - L.O.D. CONDITION

REFER TO FRONT ELEVATION & STANDARD
REAR FOR TYPICAL NOTES & INFO.



PART. BASEMENT PLAN ELEV. 'A', 'B' & 'C' - L.O.D. COND.

NOTE:
REFER TO STANDARD FLOOR
PLANS FOR COMPLETE DIMENSIONS
& STRUCTURAL INFORMATION



PART. LEFT SIDE ELEV. 'A', 'B' & 'C' - L.O.D. CONDITION

REFER TO FRONT ELEVATION & STANDARD
REAR FOR TYPICAL NOTES & INFO.

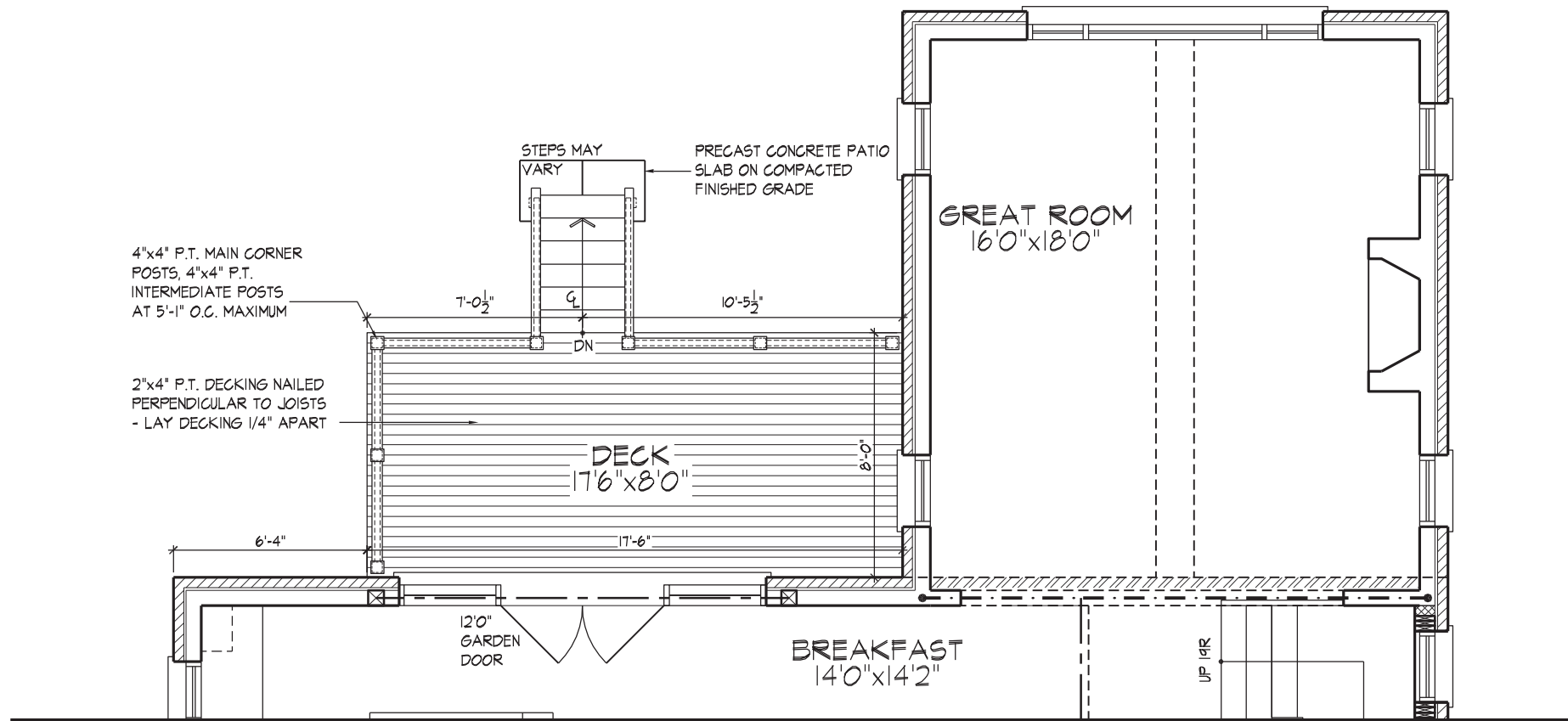
WINDOW SUMMARY				WINDOW SUMMARY			
PER O.B.C. TABLE 9.10.15.4				PER O.B.C. TABLE 9.10.15.4			
REAR ELEV. A				REAR ELEV. A - OPT. 5 BDRM.			
QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)
2	24"	56"	14.44	2	24"	56"	14.44
1	60"	56"	20.22	1	60"	56"	20.22
1	72"	56"	24.56	1	48"	56"	15.69
2	24"	68"	17.78	2	24"	68"	17.78
1	72"	68"	30.22	1	72"	68"	30.22
1	72"	30"	7.22	2	24"	30"	7.22
1	72"	30"	12.28	2	72"	30"	12.28
0	0"	0"	0.00	0	0"	0"	0.00
0	0"	0"	0.00	0	0"	0"	0.00
1	DOOR/TRAN	110.50	110.50	1	DOOR/TRAN	110.50	110.50
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
SPATIAL CALCULATION				SPATIAL CALCULATION			
EXPOSING BUILDING	1128.48	S.F.	EXPOSING BUILDING	1128.48	S.F.	EXPOSING BUILDING	1128.48
FACE AREA	104.84	S.M.	FACE AREA	104.84	S.M.	FACE AREA	104.84
PORTION WALL AREA	104.84	S.M.	PORTION WALL AREA	104.84	S.M.	PORTION WALL AREA	104.84
LIMITING DISTANCE	7.5 m	%	LIMITING DISTANCE	7.5 m	%	LIMITING DISTANCE	7.5 m
MAX. % OPENINGS	50	%	MAX. % OPENINGS	50	%	MAX. % OPENINGS	50
OPENINGS ALLOWED	564.24	S.F.	OPENINGS ALLOWED	564.24	S.F.	OPENINGS ALLOWED	564.24
OPENINGS PROVIDED	237.22	S.F.	OPENINGS PROVIDED	228.56	S.F.	OPENINGS PROVIDED	228.56
ADDITIONAL NOTES				ADDITIONAL NOTES			
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER				GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER			
WINDOW SUMMARY				WINDOW SUMMARY			
PER O.B.C. TABLE 9.10.15.4				PER O.B.C. TABLE 9.10.15.4			
LEFT SIDE ELEVATION A				LEFT SIDE ELEVATION A - OPT. 5 BDRM.			
QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)
2	30"	16"	4.33	3	24"	48"	18.33
1	24"	48"	6.11	3	24"	48"	18.33
1	24"	56"	7.22	1	48"	52"	14.87
4	28"	68"	42.67	4	28"	68"	42.67
1	48"	12"	2.44	2	30"	16"	4.33
1	28"	30"	4.33	1	24"	56"	7.22
0	0"	0"	0.00	1	28"	30"	4.33
0	0"	0"	0.00	0	0"	0"	0.00
0	0"	0"	0.00	0	0"	0"	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
SPATIAL CALCULATION				SPATIAL CALCULATION			
EXPOSING BUILDING	1516.30	S.F.	EXPOSING BUILDING	1516.30	S.F.	EXPOSING BUILDING	1516.30
FACE AREA	140.87	S.M.	FACE AREA	140.87	S.M.	FACE AREA	140.87
PORTION WALL AREA	140.87	S.M.	PORTION WALL AREA	1516.30	S.F.	PORTION WALL AREA	140.87
LIMITING DISTANCE	7.5 m	%	LIMITING DISTANCE	7.5 m	%	LIMITING DISTANCE	7.5 m
MAX. % OPENINGS	7	%	MAX. % OPENINGS	7	%	MAX. % OPENINGS	7
OPENINGS ALLOWED	106.14	S.F.	OPENINGS ALLOWED	106.14	S.F.	OPENINGS ALLOWED	106.14
OPENINGS PROVIDED	67.11	S.F.	OPENINGS PROVIDED	91.56	S.F.	OPENINGS PROVIDED	91.56
ADDITIONAL NOTES				ADDITIONAL NOTES			
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER				GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER			



FOR STRUCTURAL ONLY. EXCLUDING
ENGINEERED ROOF TRUSS, FLOOR
JOIST, AND FLOOR LVL BEAM DESIGN.

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: MAY 27, 2022
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.



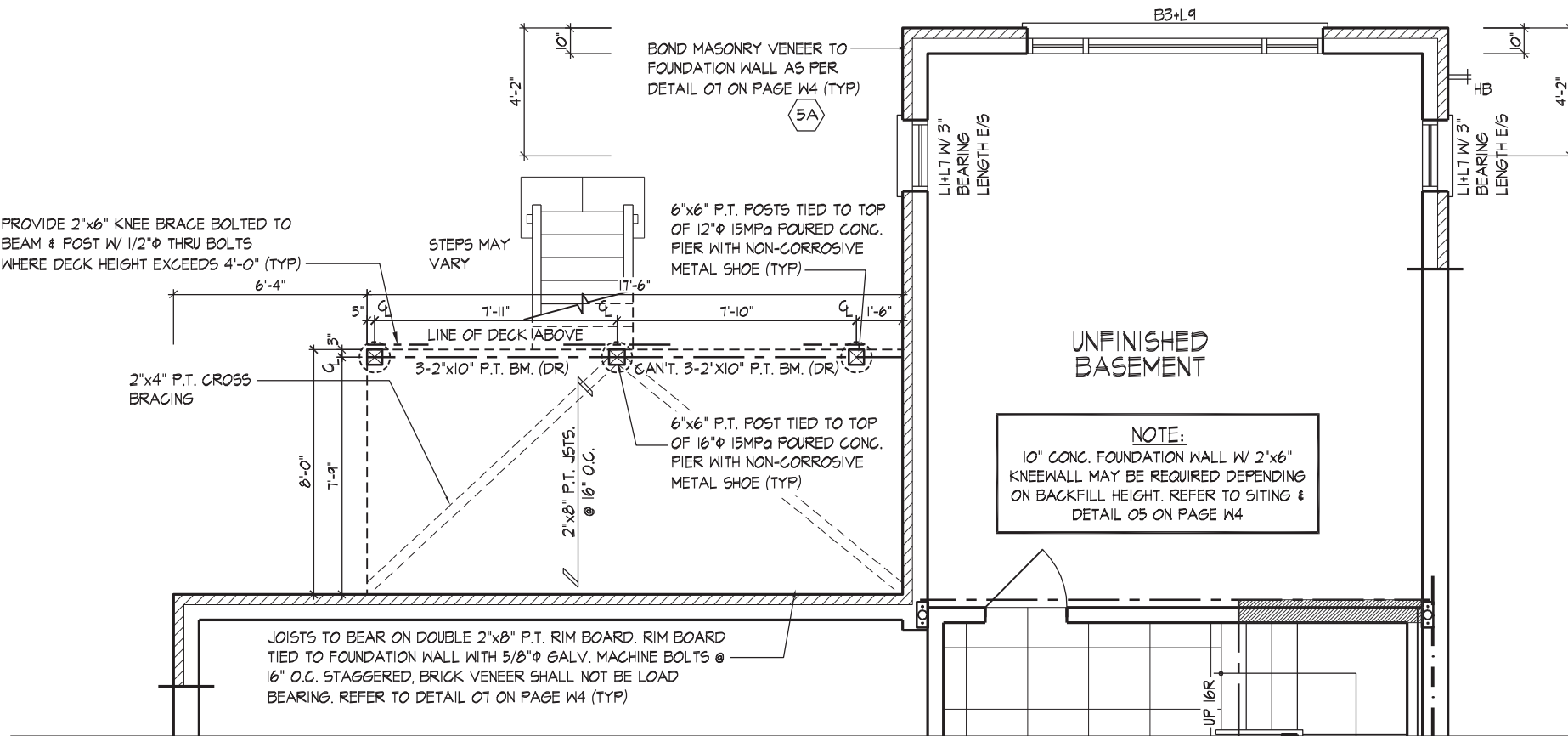
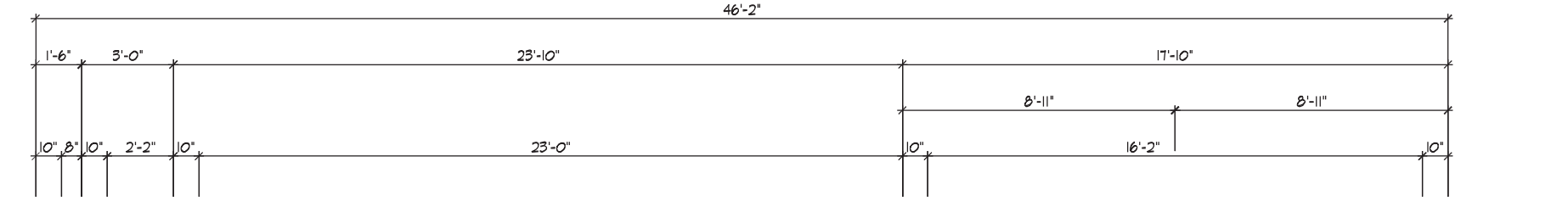
PART. GROUND FLOOR PLAN ELEV. 'A' CORNER - L.O.D. COND.

NOTE:
REFER TO STANDARD FLOOR PLANS FOR COMPLETE DIMENSIONS & STRUCTURAL INFORMATION



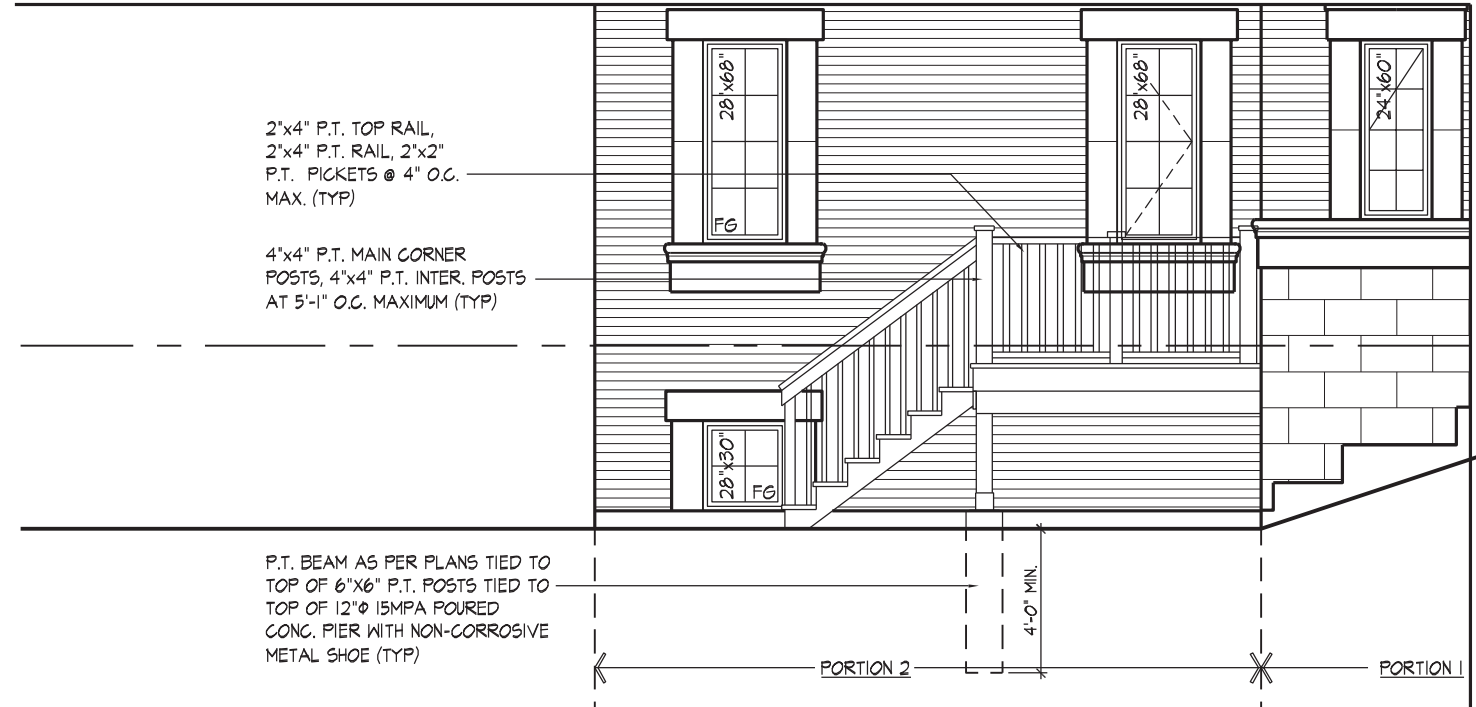
PART. REAR ELEVATION 'A' CORNER - L.O.D. CONDITION

REFER TO FRONT ELEVATION & STANDARD REAR FOR TYPICAL NOTES & INFO.



PART. BASEMENT PLAN ELEV. 'A' CORNER - L.O.D. COND.

NOTE:
REFER TO STANDARD FLOOR PLANS FOR COMPLETE DIMENSIONS & STRUCTURAL INFORMATION



PART. LEFT SIDE ELEV. 'A' CORNER - L.O.D. CONDITION

REFER TO FRONT ELEVATION & STANDARD REAR FOR TYPICAL NOTES & INFO.

WINDOW SUMMARY				WINDOW SUMMARY			
PER O.B.C. TABLE 9.10.15.4				PER O.B.C. TABLE 9.10.15.4			
REAR ELEV. A CORNER				LEFT SIDE ELEVATION A - PORTION 2			
QUAN	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	QUAN	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)
2	20"	56"	11.56	2	28"	68"	21.33
1	48"	56"	15.89	1	28"	30"	4.33
1	72"	56"	24.56	0	0"	0"	0.00
2	24"	68"	17.78	0	0"	0"	0.00
1	72"	68"	30.22	0	0"	0"	0.00
2	24"	30"	7.22	0	0"	0"	0.00
1	72"	30"	12.58	0	0"	0"	0.00
0	0"	0"	0.00	0	0"	0"	0.00
0	0"	0"	0.00	0	0"	0"	0.00
1	DOOR/TRAN	110.50	110.50	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
SPATIAL CALCULATION				SPATIAL CALCULATION			
EXPOSING BUILDING	1189.81	S.F.		EXPOSING BUILDING	1552.06	S.F.	
FACE AREA	1189.81	S.M.		FACE AREA	144.19	S.M.	
PORTION WALL AREA	1189.81	S.F.		PORTION WALL AREA	335.95	S.F.	
LIMITING DISTANCE	7.5 m			LIMITING DISTANCE	10.14 m		
MAX. % OPENINGS	59	%		MAX. % OPENINGS	49	%	
OPENINGS ALLOWED	594.91	S.F.		OPENINGS ALLOWED	134.38	S.F.	
OPENINGS PROVIDED	230.00	S.F.		OPENINGS PROVIDED	25.67	S.F.	
ADDITIONAL NOTES				ADDITIONAL NOTES			
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER				GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER			

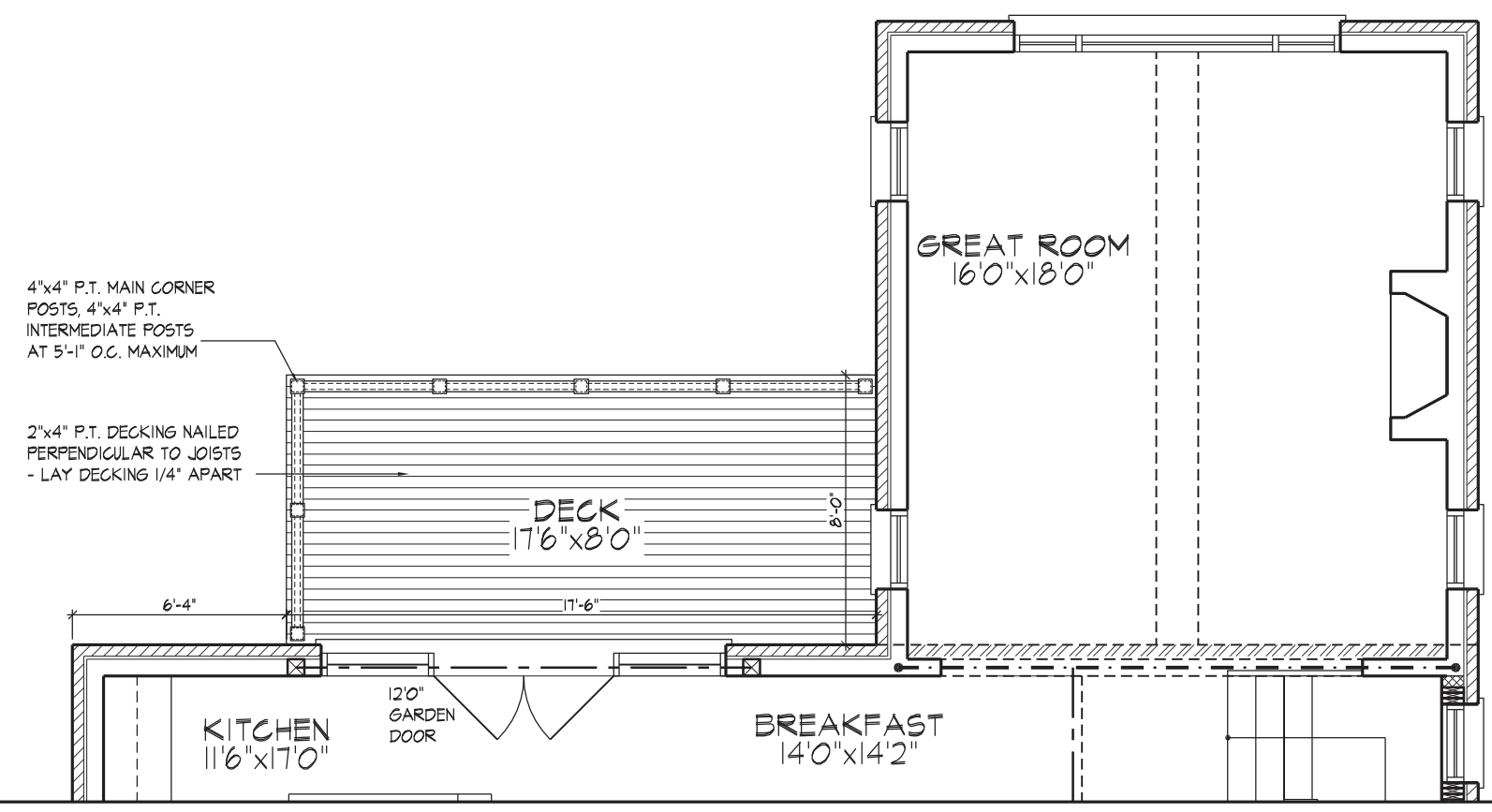


FOR STRUCTURAL ONLY. EXCLUDING ENGINEERED ROOF TRUSS, FLOOR JOIST, AND FLOOR LVL BEAM DESIGN.

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APPROVED BY: *[Signature]*
DATE: MAY 27, 2022

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.



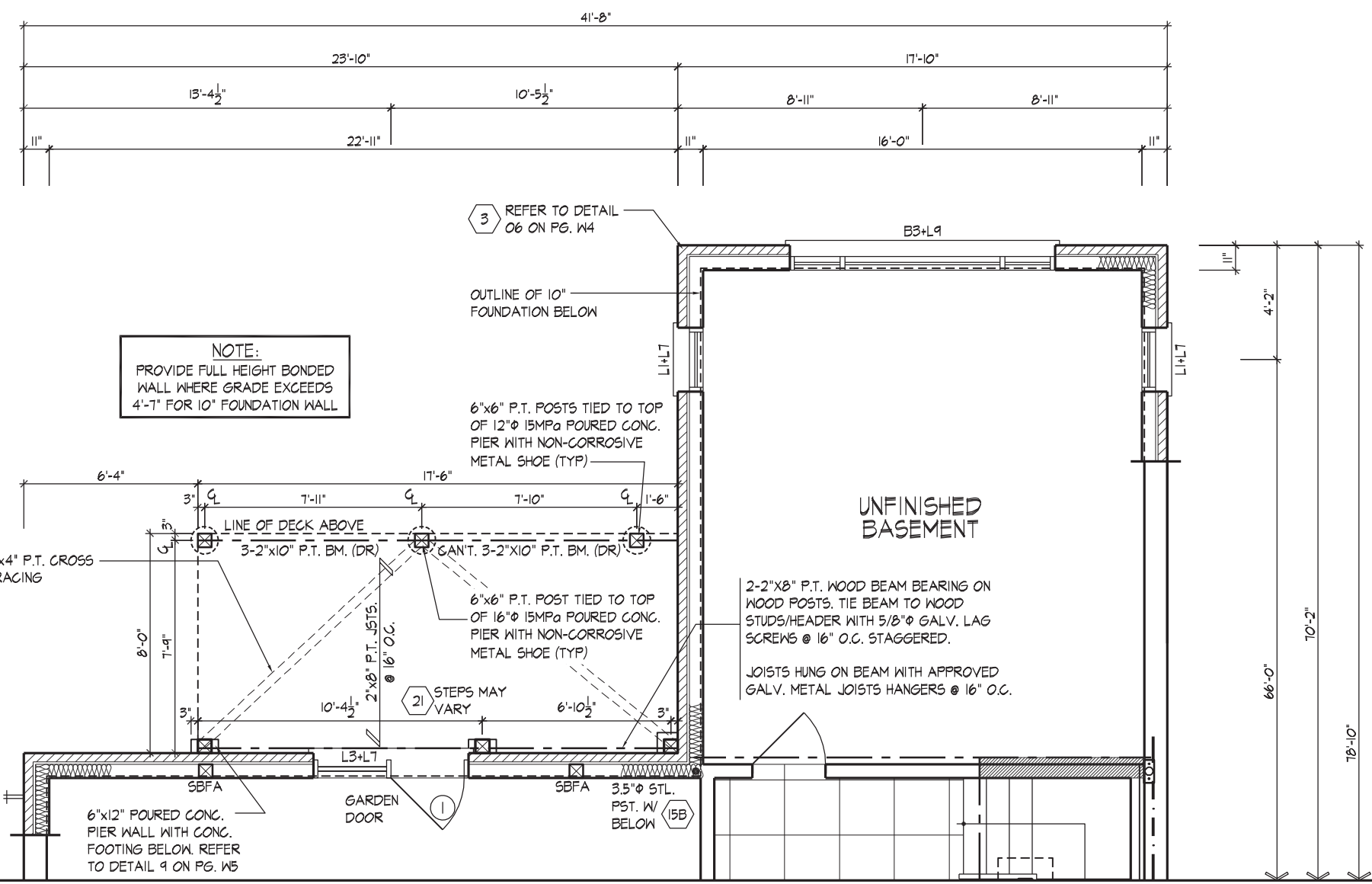
PART. GROUND FLOOR PLAN ELEV. 'A', 'B' & 'C' - W.O.B. COND.

NOTE:
REFER TO STANDARD FLOOR PLANS FOR COMPLETE DIMENSIONS & STRUCTURAL INFORMATION



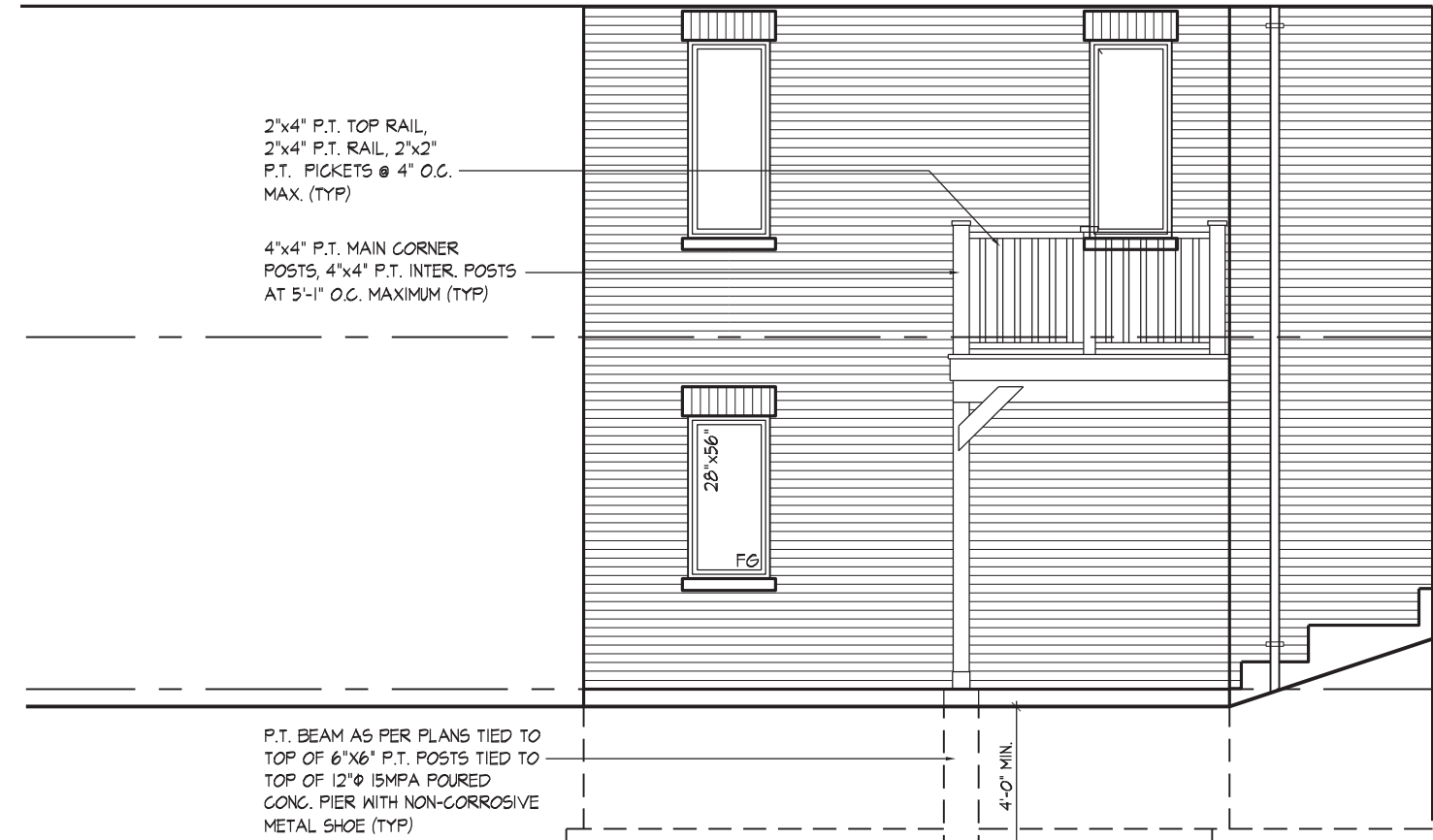
PART. REAR ELEVATION 'A', 'B' & 'C' - W.O.B. CONDITION

REFER TO FRONT ELEVATION & STANDARD REAR FOR TYPICAL NOTES & INFO.



PART. BASEMENT PLAN ELEV. 'A', 'B' & 'C' - W.O.B. COND.

NOTE:
REFER TO STANDARD FLOOR PLANS FOR COMPLETE DIMENSIONS & STRUCTURAL INFORMATION



PART. LEFT SIDE ELEV. 'A', 'B' & 'C' - W.O.B. CONDITION

REFER TO FRONT ELEVATION & STANDARD REAR FOR TYPICAL NOTES & INFO.

WINDOW SUMMARY				WINDOW SUMMARY			
PER O.B.C. TABLE 9.10.15.4				PER O.B.C. TABLE 9.10.15.4			
REAR ELEV. A				REAR ELEV. A - OPT. 5 BDRM.			
QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)
2	24"	56"	14.44	2	24"	56"	14.44
1	80"	56"	20.22	1	80"	56"	20.22
1	72"	56"	24.56	1	48"	56"	15.69
2	24"	88"	17.78	2	24"	88"	17.78
1	72"	88"	30.22	1	72"	88"	30.22
2	24"	56"	14.44	2	24"	56"	14.44
1	72"	56"	24.56	1	72"	56"	24.56
0	0"	0"	0.00	0	0"	0"	0.00
0	0"	0"	0.00	0	0"	0"	0.00
1	DOOR/TRAN	110.50	110.50	1	DOOR/TRAN	110.50	110.50
1	DOOR/TRAN	27.67	27.67	1	DOOR/TRAN	27.67	27.67
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
SPATIAL CALCULATION				SPATIAL CALCULATION			
EXPOSING BUILDING	1281.59	S.F.	EXPOSING BUILDING	1281.59	S.F.	EXPOSING BUILDING	1281.59
FACE AREA	119.06	S.M.	FACE AREA	119.06	S.M.	FACE AREA	119.06
PORTION WALL AREA	1281.59	S.F.	PORTION WALL AREA	1281.59	S.F.	PORTION WALL AREA	1281.59
LIMITING DISTANCE	7.5 m	%	LIMITING DISTANCE	7.5 m	%	LIMITING DISTANCE	7.5 m
MAX. % OPENINGS	50	%	MAX. % OPENINGS	50	%	MAX. % OPENINGS	50
OPENINGS ALLOWED	640.80	S.F.	OPENINGS ALLOWED	640.80	S.F.	OPENINGS ALLOWED	640.80
OPENINGS PROVIDED	284.39	S.F.	OPENINGS PROVIDED	275.73	S.F.	OPENINGS PROVIDED	275.73
WINDOW SUMMARY				WINDOW SUMMARY			
PER O.B.C. TABLE 9.10.15.4				PER O.B.C. TABLE 9.10.15.4			
LEFT SIDE ELEVATION A				LEFT SIDE ELEVATION A - OPT. 5			
QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)
2	30"	16"	4.33	3	24"	48"	18.43
1	24"	48"	6.11	1	48"	52"	14.87
1	24"	56"	7.22	1	48"	52"	14.87
4	28"	88"	42.67	4	28"	88"	42.67
1	48"	12"	2.44	2	30"	16"	4.33
1	24"	56"	8.87	1	24"	56"	7.22
0	0"	0"	0.00	1	28"	56"	8.67
0	0"	0"	0.00	0	0"	0"	0.00
0	0"	0"	0.00	0	0"	0"	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
SPATIAL CALCULATION				SPATIAL CALCULATION			
EXPOSING BUILDING	1650.01	S.F.	EXPOSING BUILDING	1650.01	S.F.	EXPOSING BUILDING	1650.01
FACE AREA	153.29	S.M.	FACE AREA	153.29	S.M.	FACE AREA	153.29
PORTION WALL AREA	1650.01	S.F.	PORTION WALL AREA	1650.01	S.F.	PORTION WALL AREA	1650.01
LIMITING DISTANCE	7.5 m	%	LIMITING DISTANCE	7.5 m	%	LIMITING DISTANCE	7.5 m
MAX. % OPENINGS	7	%	MAX. % OPENINGS	7	%	MAX. % OPENINGS	7
OPENINGS ALLOWED	115.50	S.F.	OPENINGS ALLOWED	115.50	S.F.	OPENINGS ALLOWED	115.50
OPENINGS PROVIDED	71.44	S.F.	OPENINGS PROVIDED	65.88	S.F.	OPENINGS PROVIDED	65.88
WINDOW SUMMARY				WINDOW SUMMARY			
PER O.B.C. TABLE 9.10.15.4				PER O.B.C. TABLE 9.10.15.4			
LEFT SIDE ELEVATION A				LEFT SIDE ELEVATION A - OPT. 5			
QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)
2	30"	16"	4.33	3	24"	48"	18.43
1	24"	48"	6.11	1	48"	52"	14.87
1	24"	56"	7.22	1	48"	52"	14.87
4	28"	88"	42.67	4	28"	88"	42.67
1	48"	12"	2.44	2	30"	16"	4.33
1	24"	56"	8.87	1	24"	56"	7.22
0	0"	0"	0.00	1	28"	56"	8.67
0	0"	0"	0.00	0	0"	0"	0.00
0	0"	0"	0.00	0	0"	0"	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
SPATIAL CALCULATION				SPATIAL CALCULATION			
EXPOSING BUILDING	1650.01	S.F.	EXPOSING BUILDING	1650.01	S.F.	EXPOSING BUILDING	1650.01
FACE AREA	153.29	S.M.	FACE AREA	153.29	S.M.	FACE AREA	153.29
PORTION WALL AREA	1650.01	S.F.	PORTION WALL AREA	1650.01	S.F.	PORTION WALL AREA	1650.01
LIMITING DISTANCE	7.5 m	%	LIMITING DISTANCE	7.5 m	%	LIMITING DISTANCE	7.5 m
MAX. % OPENINGS	7	%	MAX. % OPENINGS	7	%	MAX. % OPENINGS	7
OPENINGS ALLOWED	115.50	S.F.	OPENINGS ALLOWED	115.50	S.F.	OPENINGS ALLOWED	115.50
OPENINGS PROVIDED	71.44	S.F.	OPENINGS PROVIDED	65.88	S.F.	OPENINGS PROVIDED	65.88



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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY: [Signature]
DATE: MAY 27, 2022
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THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

Alman Whiting
SIGNATURE: [Signature] 23177
REGISTRATION INFORMATION: BCIN
HUNT DESIGN ASSOCIATES INC. 19695

Scale: 3/16"=1'-0"
8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

HUNT DESIGN ASSOCIATES INC.
www.huntdesign.ca

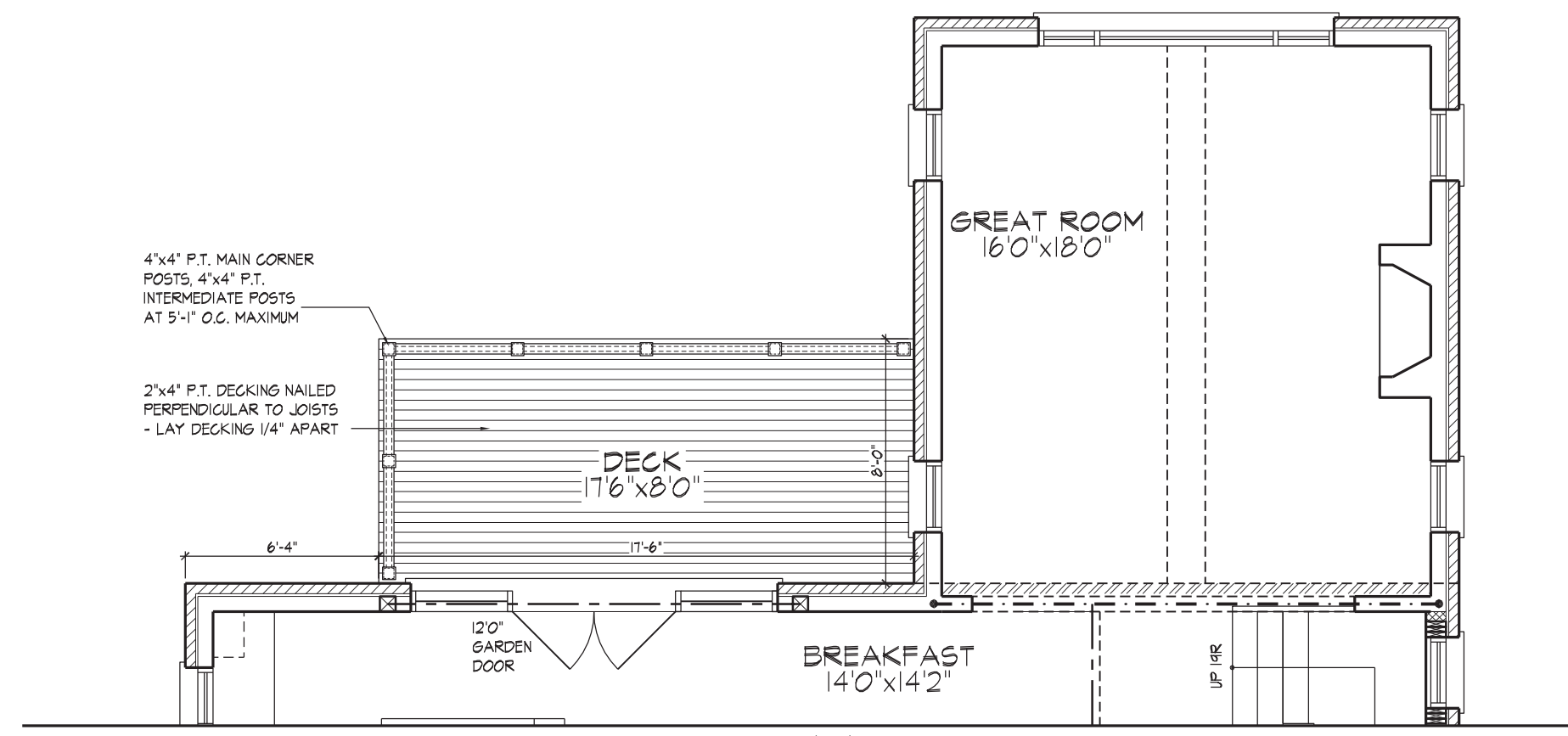
GOLDPARK HOMES - 221081
PINE VALLEY PH2, VAUGHAN, ON
221081WS5004
REV.2022.03.25

WALK OUT BASEMENT CONDITION
UNIT 5004 - THE BEAUMONT
REV.2022.03.25

File Number: 221081WS5004
Page Number: W3 of W5

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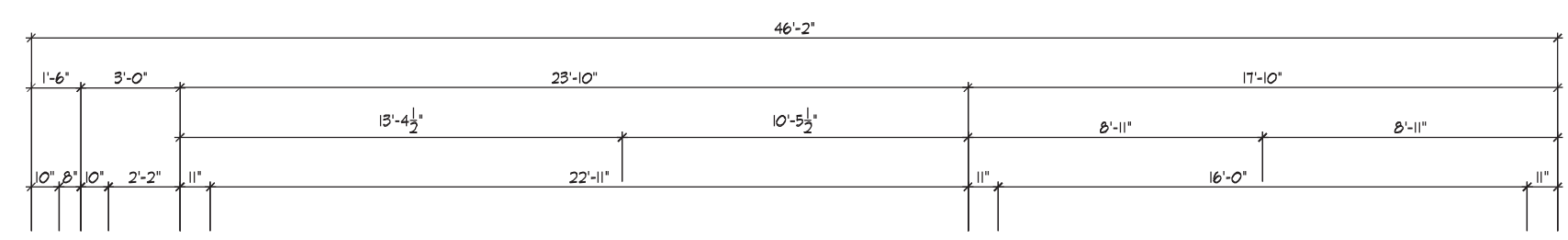
W/FANG | WED MAY 18 22 05:53 AM | K:\PROJECTS\2021\221081\GOLDWORKING\SINGLES\50\221081WS5004-BEAUMONT.DWG



4"x4" P.T. MAIN CORNER POSTS, 4"x4" P.T. INTERMEDIATE POSTS AT 5'-1" O.C. MAXIMUM

2"x4" P.T. DECKING NAILED PERPENDICULAR TO JOISTS - LAY DECKING 1/4" APART

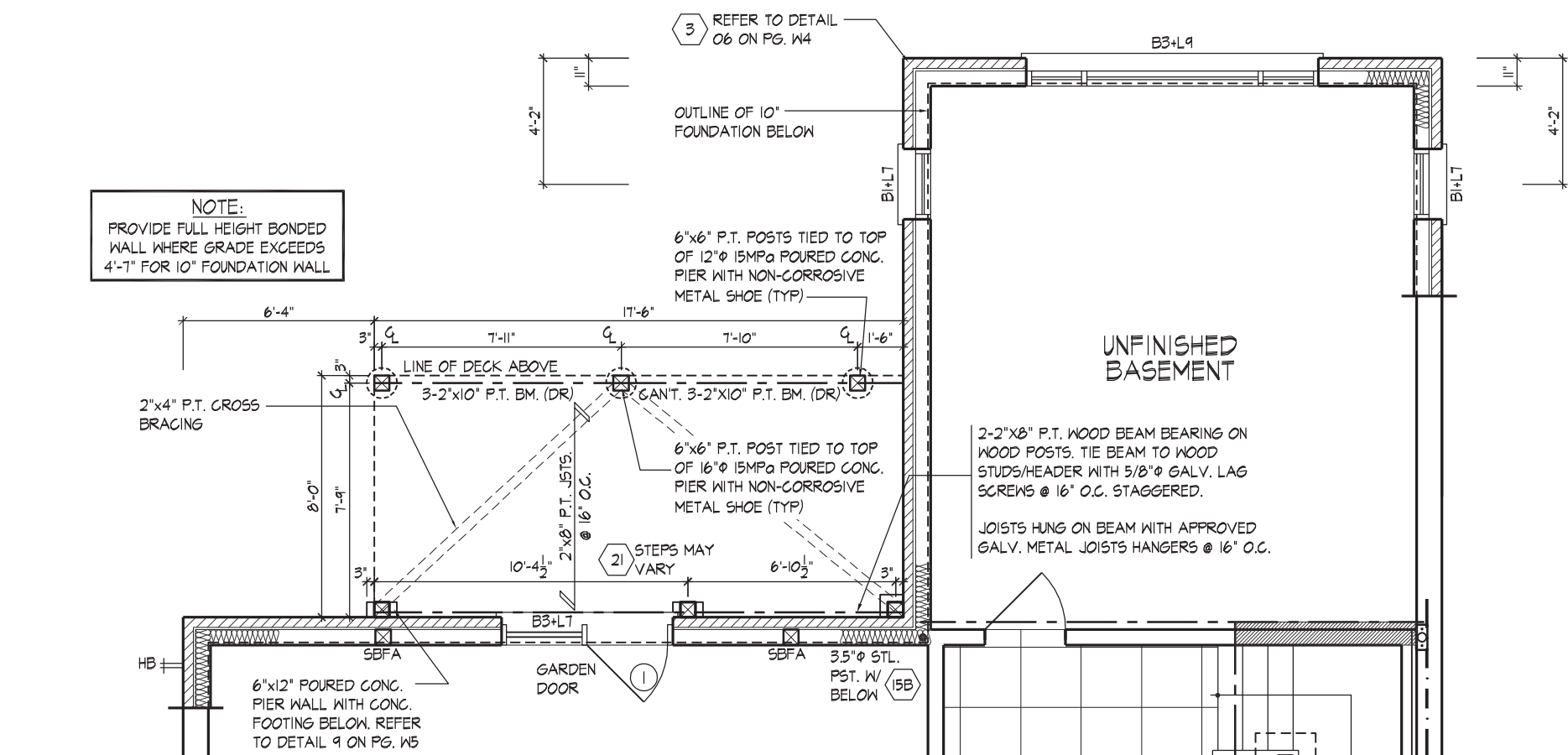
NOTE: REFER TO STANDARD FLOOR PLANS FOR COMPLETE DIMENSIONS & STRUCTURAL INFORMATION



WINDOW SIZES FOR W.O.B. CONDITIONS: - N.O.B. = MATCH WIDTH OF WINDOW ABOVE AND WINDOWS TO BE 56" DEEP. TOP OF WINDOW TO BE @ 7'-10" A.F.F.

PART. REAR ELEVATION 'A' CORNER - W.O.B. CONDITION

REFER TO FRONT ELEVATION & STANDARD REAR FOR TYPICAL NOTES & INFO.



NOTE: PROVIDE FULL HEIGHT BONDED WALL WHERE GRADE EXCEEDS 4'-7" FOR 10" FOUNDATION WALL

REFER TO DETAIL 06 ON PG. W4

OUTLINE OF 10" FOUNDATION BELOW

6"x6" P.T. POSTS TIED TO TOP OF 12" 15MPA POURED CONC. PIER WITH NON-CORROSIVE METAL SHOE (TYP)

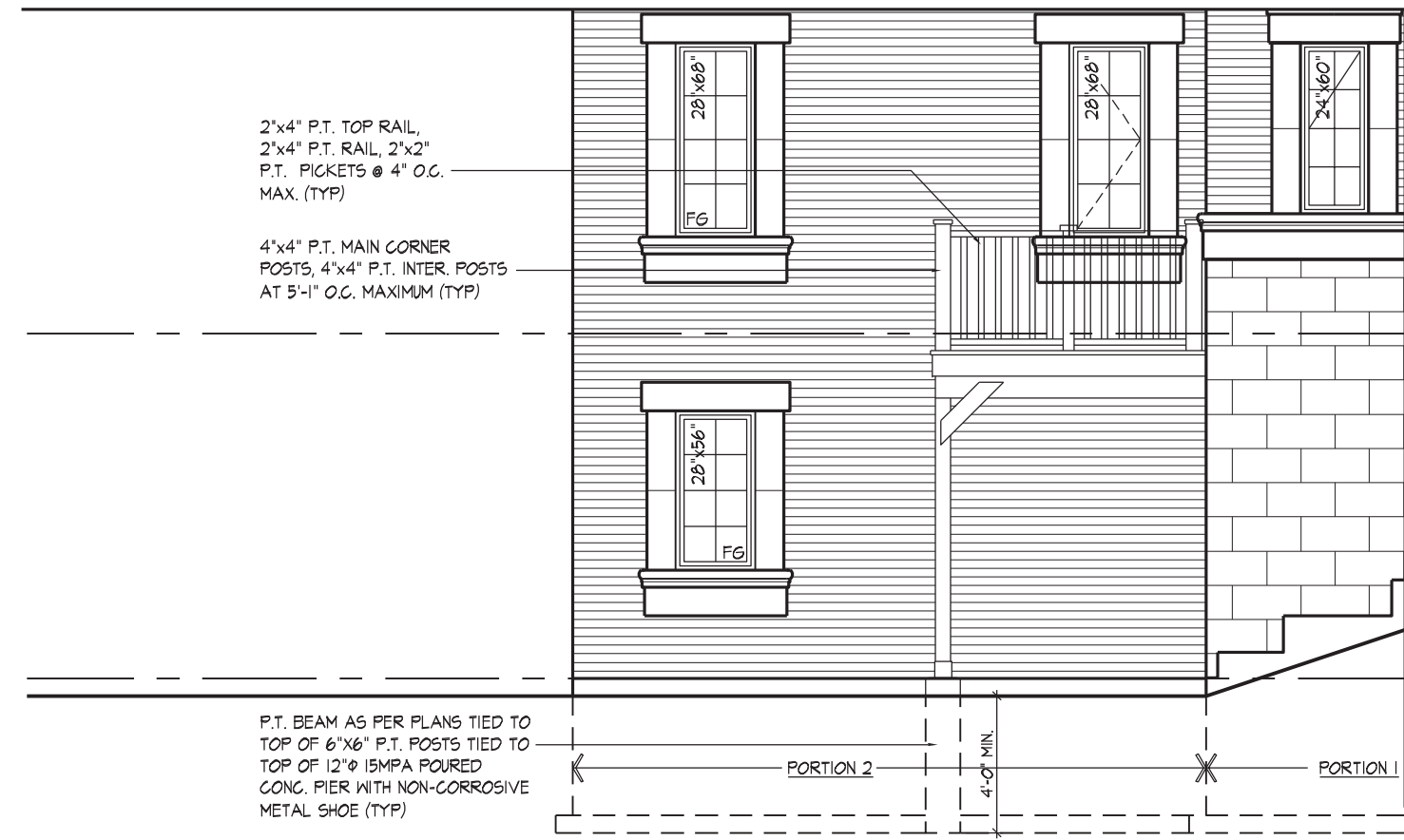
6"x6" P.T. POST TIED TO TOP OF 16" 15MPA POURED CONC. PIER WITH NON-CORROSIVE METAL SHOE (TYP)

2-2"x8" P.T. WOOD BEAM BEARING ON WOOD POSTS. TIE BEAM TO WOOD STUDS/HEADER WITH 5/8" GALV. LAG SCREWS @ 16" O.C. STAGGERED.

JOISTS HUNG ON BEAM WITH APPROVED GALV. METAL JOISTS HANGERS @ 16" O.C.

PART. BASEMENT PLAN ELEV. 'A' CORNER - W.O.B. COND.

NOTE: REFER TO STANDARD FLOOR PLANS FOR COMPLETE DIMENSIONS & STRUCTURAL INFORMATION



2"x4" P.T. TOP RAIL, 2"x4" P.T. RAIL, 2"x2" P.T. PICKETS @ 4" O.C. MAX. (TYP)

4"x4" P.T. MAIN CORNER POSTS, 4"x4" P.T. INTER. POSTS AT 5'-1" O.C. MAXIMUM (TYP)

P.T. BEAM AS PER PLANS TIED TO TOP OF 6"x6" P.T. POSTS TIED TO TOP OF 12" 15MPA POURED CONC. PIER WITH NON-CORROSIVE METAL SHOE (TYP)

PART. LEFT SIDE ELEV. 'A' CORNER - W.O.B. CONDITION

REFER TO FRONT ELEVATION & STANDARD REAR FOR TYPICAL NOTES & INFO.

WINDOW SUMMARY
PER O.B.C. TABLE 3.10.15.4
REAR ELEV. A CORNER

QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)
2	20"	56"	11.56
1	48"	56"	15.89
1	72"	56"	24.56
2	24"	68"	11.78
1	72"	68"	30.22
2	24"	56"	14.44
1	72"	56"	24.56
0	0"	0"	0.00
0	0"	0"	0.00
1	DOOR/TRAN	110.50	110.50
1	DOOR/TRAN	27.67	27.67
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00

SPATIAL CALCULATION
EXPOSING BUILDING FACE AREA 1418.97 S.F.
PORTION WALL AREA 1418.97 S.F.
LIMITING DISTANCE 7.5 m
MAX. % OPENINGS 50 %
OPENINGS ALLOWED 709.49 S.F.
OPENINGS PROVIDED 277.17 S.F.

WINDOW SUMMARY
PER O.B.C. TABLE 3.10.15.4
LEFT SIDE ELEVATION A - PORTION 2

QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)
2	28"	68"	21.33
1	28"	56"	8.67
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00

SPATIAL CALCULATION
EXPOSING BUILDING FACE AREA 162.99 S.F.
PORTION WALL AREA 40.66 S.F.
LIMITING DISTANCE 10.14 m
MAX. % OPENINGS 40 %
OPENINGS ALLOWED 175.08 S.F.
OPENINGS PROVIDED 30.00 S.F.

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY: [Signature]
DATE: MAY 22, 2022
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.



100 COMMERCE VALLEY DR. W. THORNHILL, ONTARIO M3C 1L7
TEL: 1-905-882-4211 FAX: 1-905-822-0555 WWW.WSPGROUP.CA

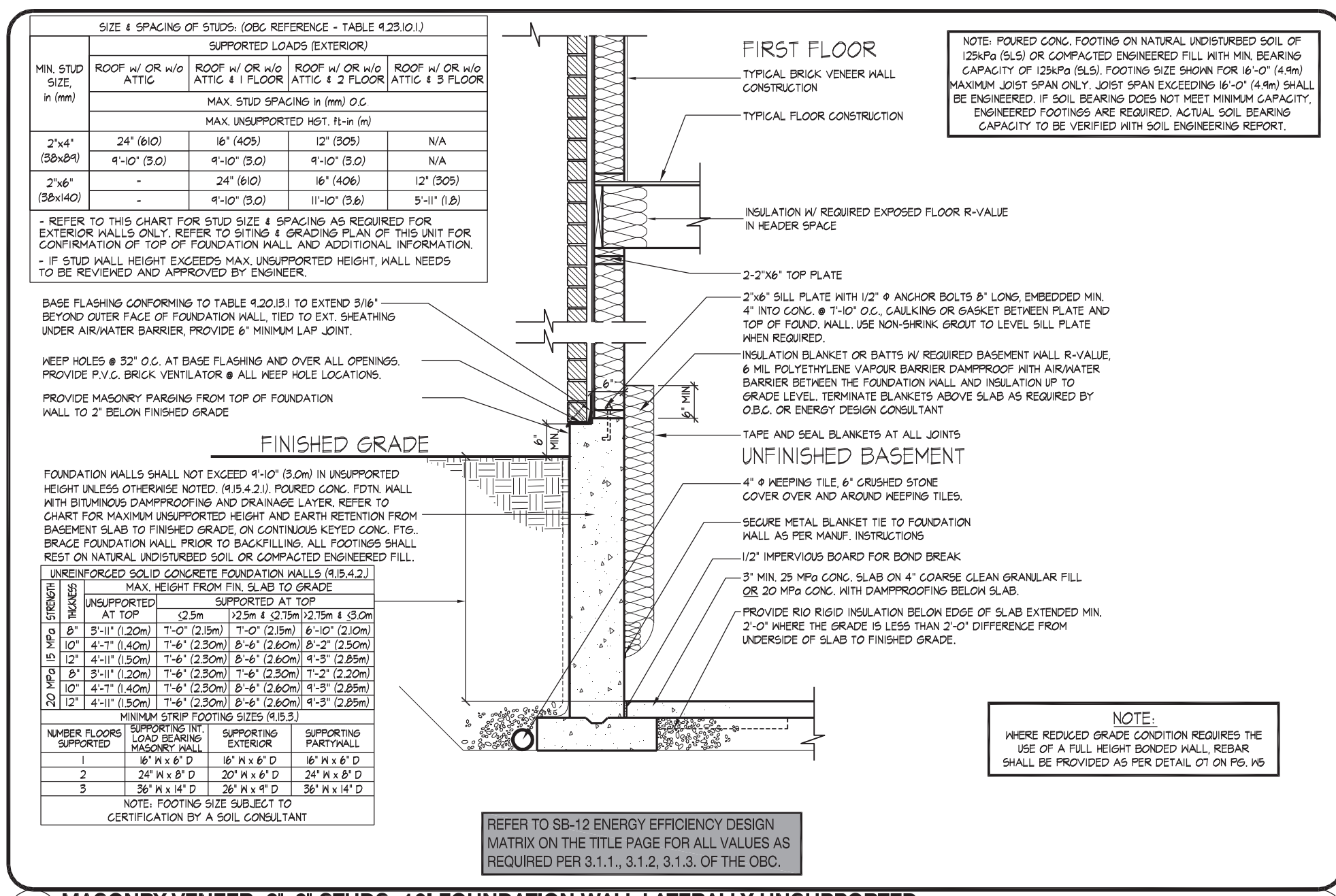
FOR STRUCTURAL ONLY. EXCLUDING ENGINEERED ROOF TRUSS, FLOOR JOIST, AND FLOOR LVL BEAM DESIGN.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.
QUALIFICATION INFORMATION:
Allan Whiting Signature 23177
REGISTRATION INFORMATION: BCIN
HUNT DESIGN ASSOCIATES INC. 19695
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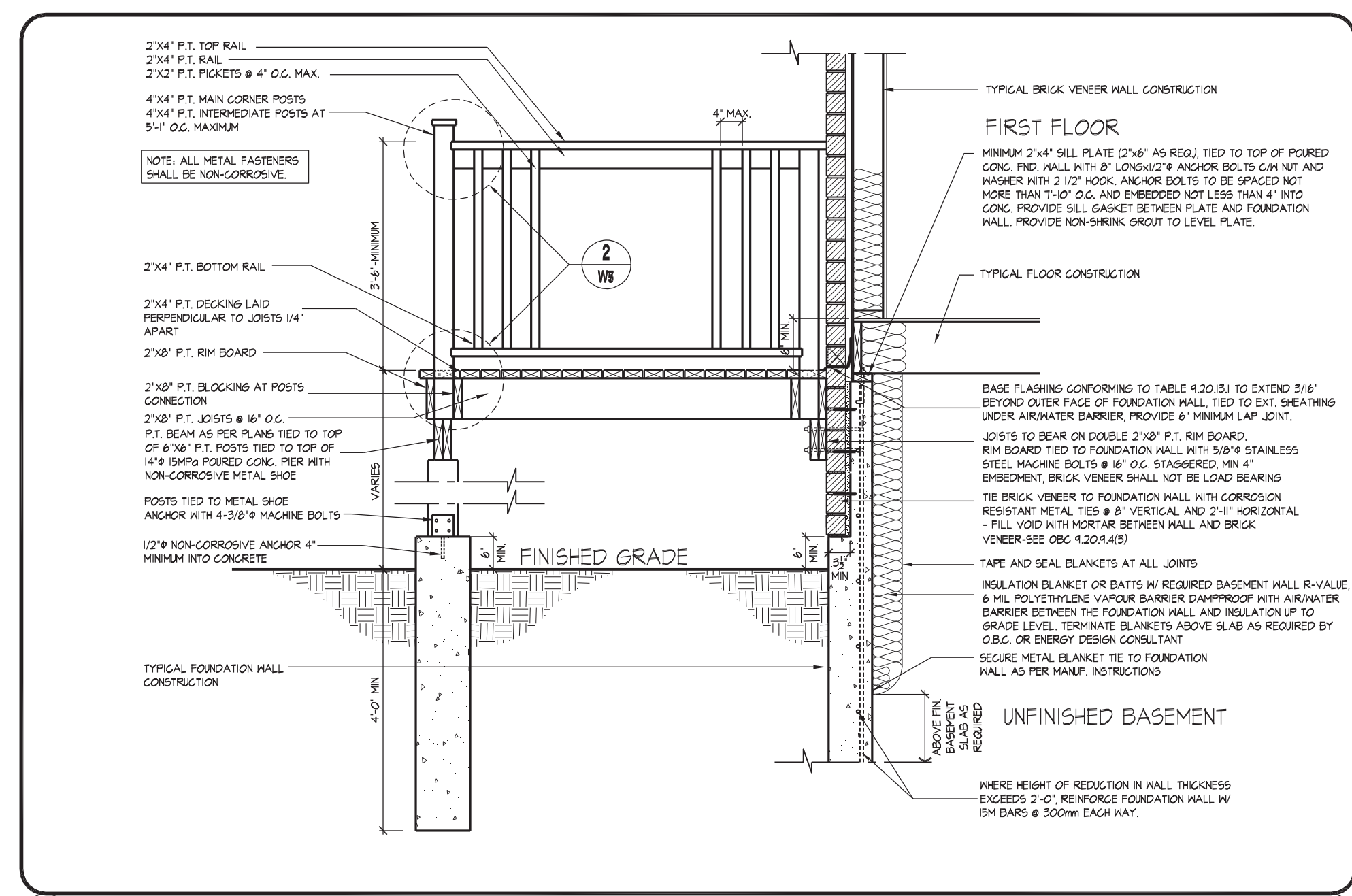


GOLDPARK HOMES - 221081
PINE VALLEY PH2, VAUGHAN, ON
Drawn By: SB Scale: 3/16"=1'-0"
Checked By: [Signature] File Number: 221081WS5004
8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326
Page Number: W3A of W5

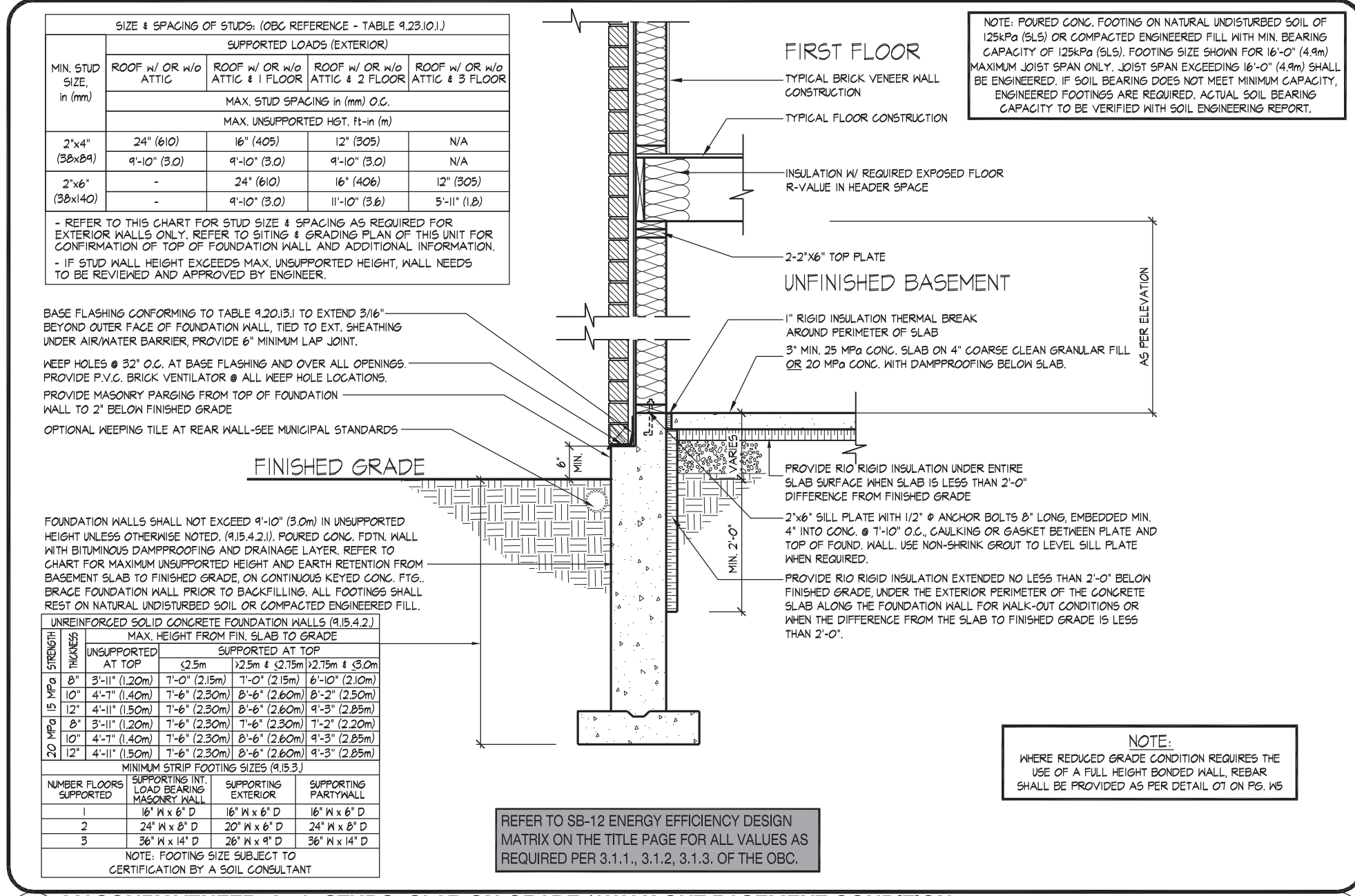
WALK OUT BASEMENT CONDITION
UNIT 5004 - THE BEAUMONT
REV.2022.03.25



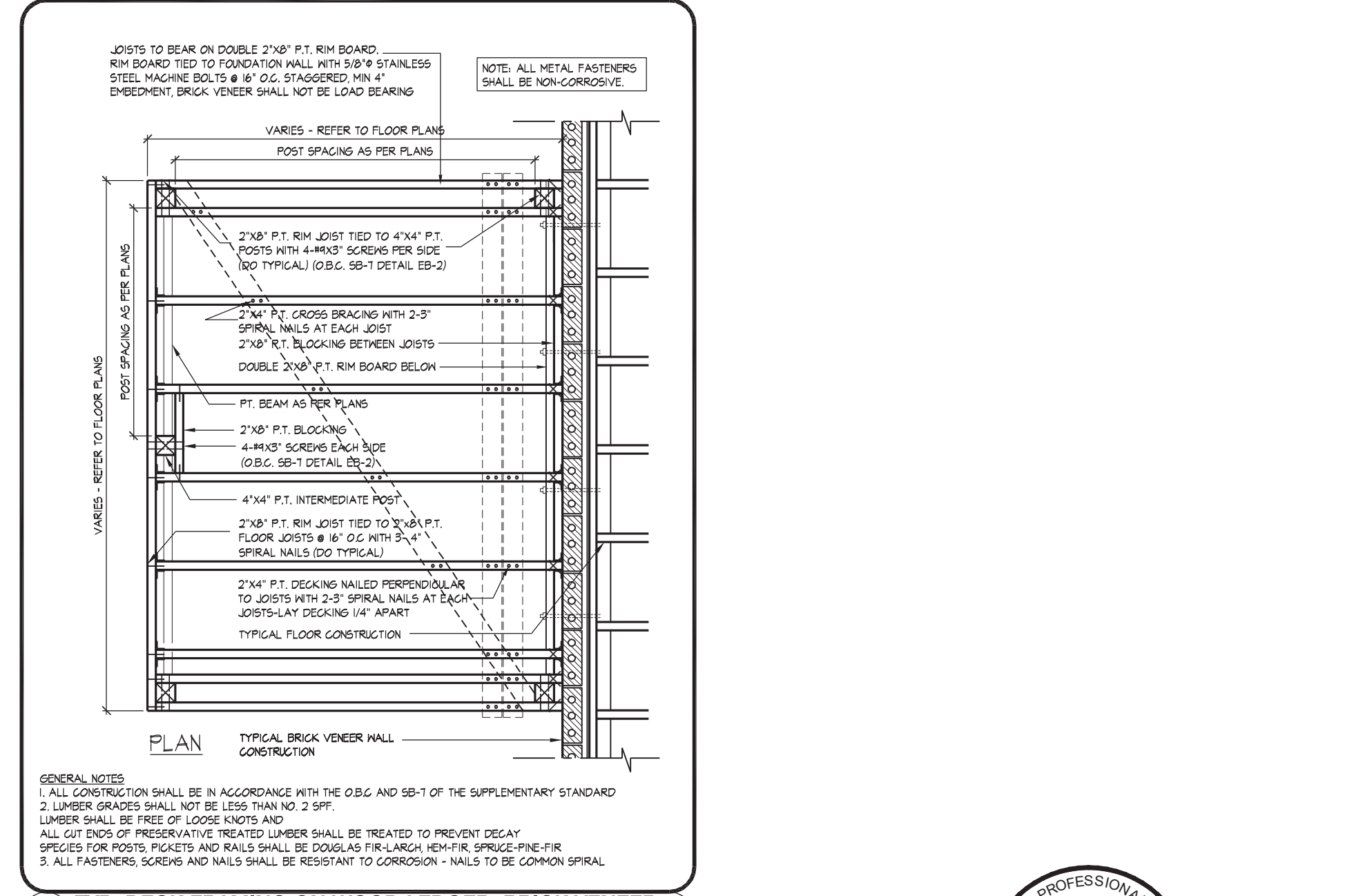
05 MASONRY VENEER, 2"x6" STUDS, 10' FOUNDATION WALL LATERALLY UNSUPPORTED
1/2" = 1'-0"



07 MASONRY VENEER, TYPICAL WALK/LOOK OUT WOOD DECK, SOLID MASONRY
1/2" = 1'-0"



06 MASONRY VENEER, 2"x6" STUDS, SLAB ON GRADE / WALK OUT BASEMENT CONDITION
1/2" = 1'-0"



08 TYP. DECK FRAMING ON WOOD LEDGER, BRICK VENEER
1/2" = 1'-0"



FOR STRUCTURAL ONLY. EXCLUDING ENGINEERED ROOF TRUSS, FLOOR JOIST, AND FLOOR LVL BEAM DESIGN.

DECK DETAILS 1
GOLDPARK HOMES - 221081 UNIT 5004 - THE BEAUMONT
PINE VALLEY PH2, VAUGHAN, ON REV.2022.03.25

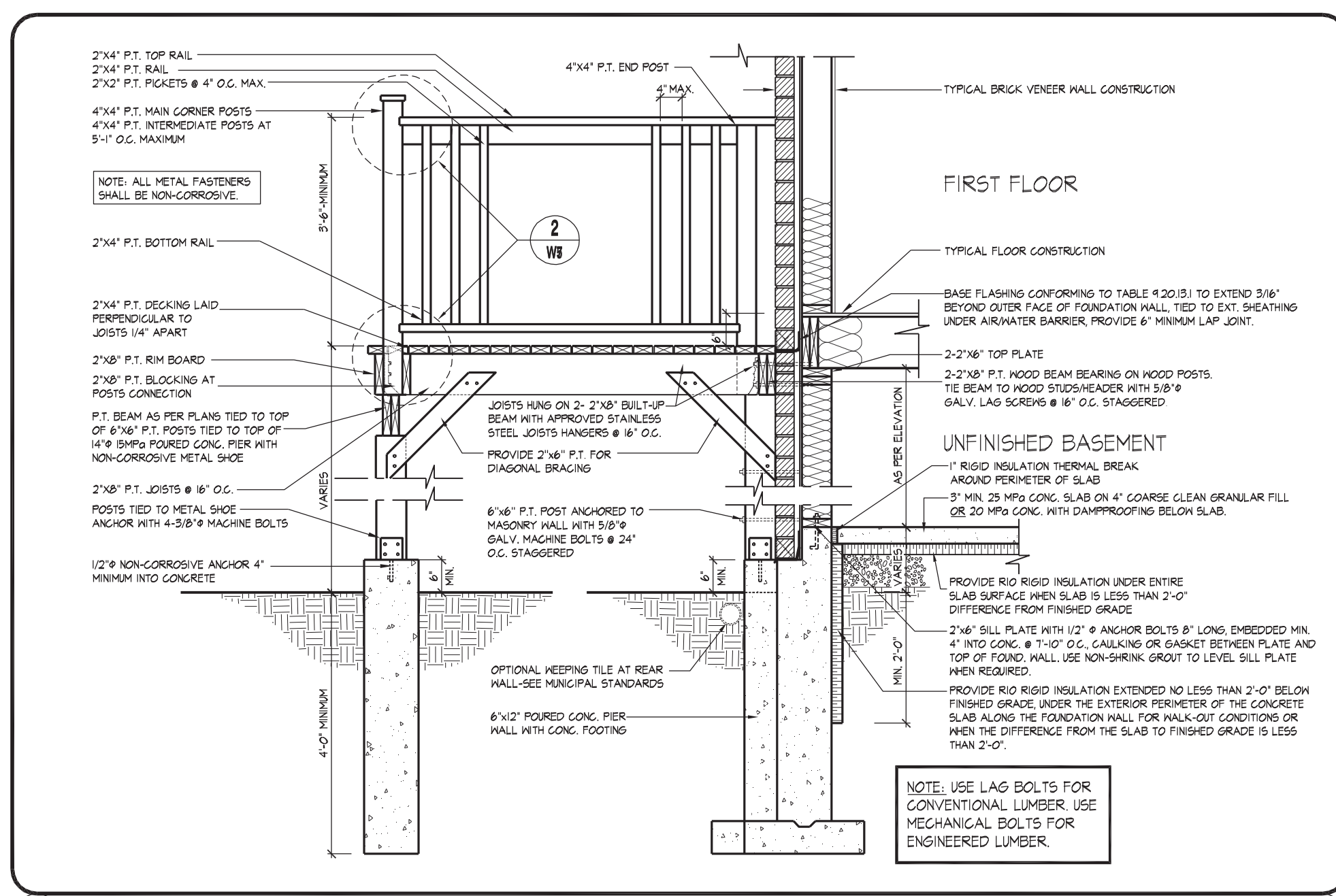
THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

DESIGNER: Allan Whiting, HUNT DESIGN ASSOCIATES INC., 19695
SCALE: 3/16" = 1'-0"
DATE: 2022.03.25

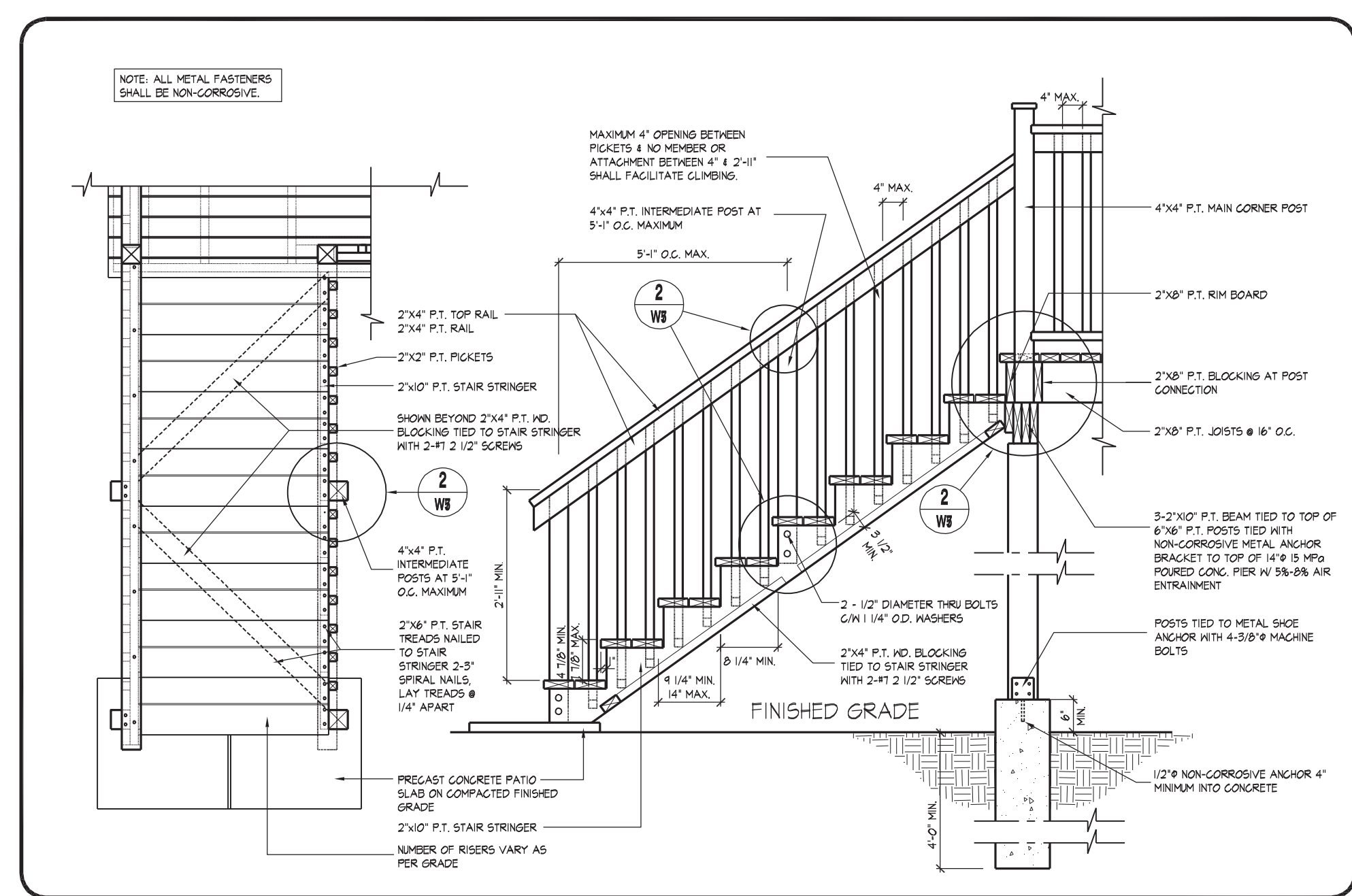
HUNT DESIGN ASSOCIATES INC. 19695
8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

www.huntdesign.ca

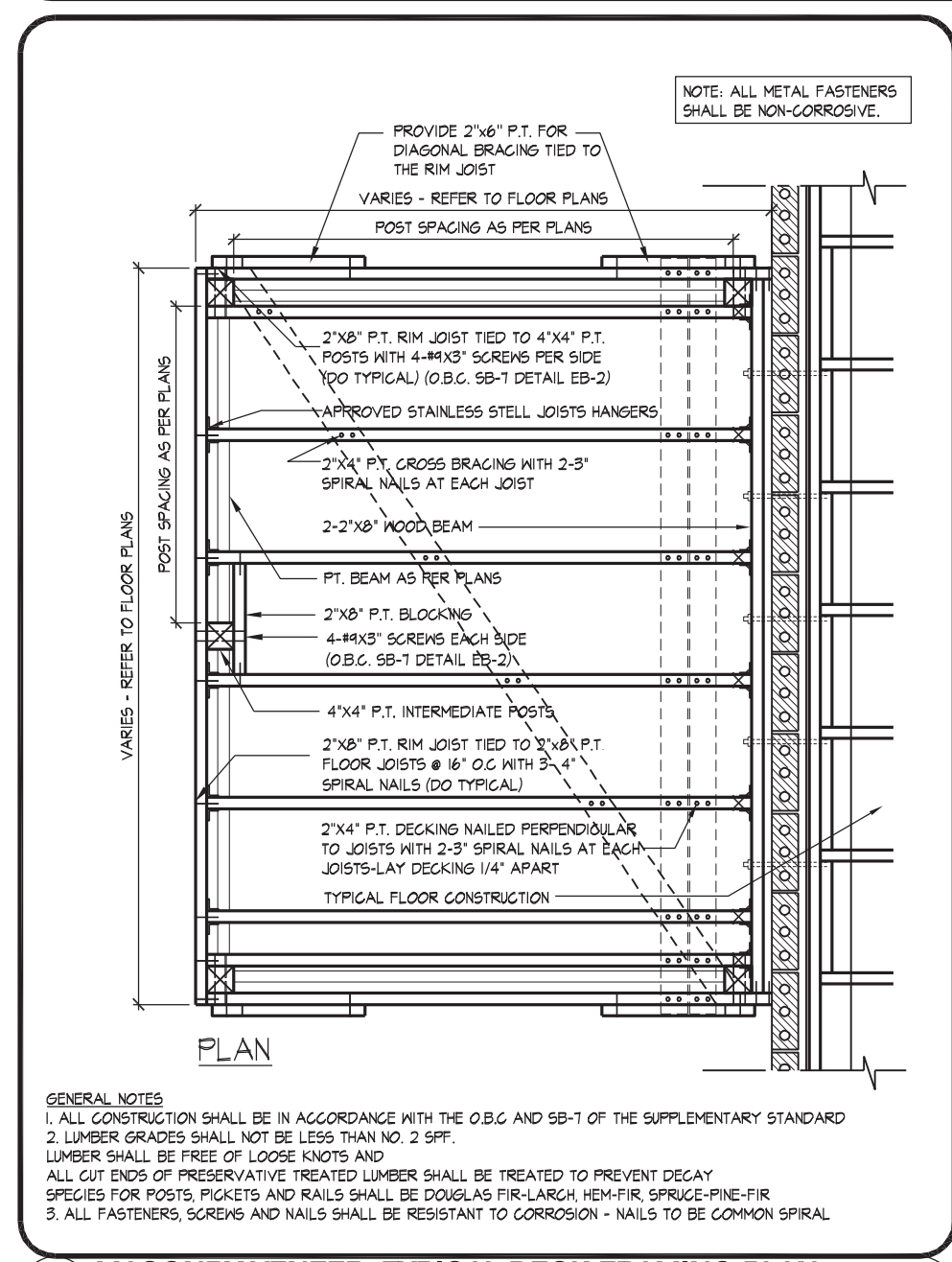
100 COMMERCE VALLEY DR. W. THORNHILL, ONTARIO CANADA L3T 0A1 TEL: 1-905-882-4211 FAX: 1-905-882-0399 WWW.WSPGROUP.CA



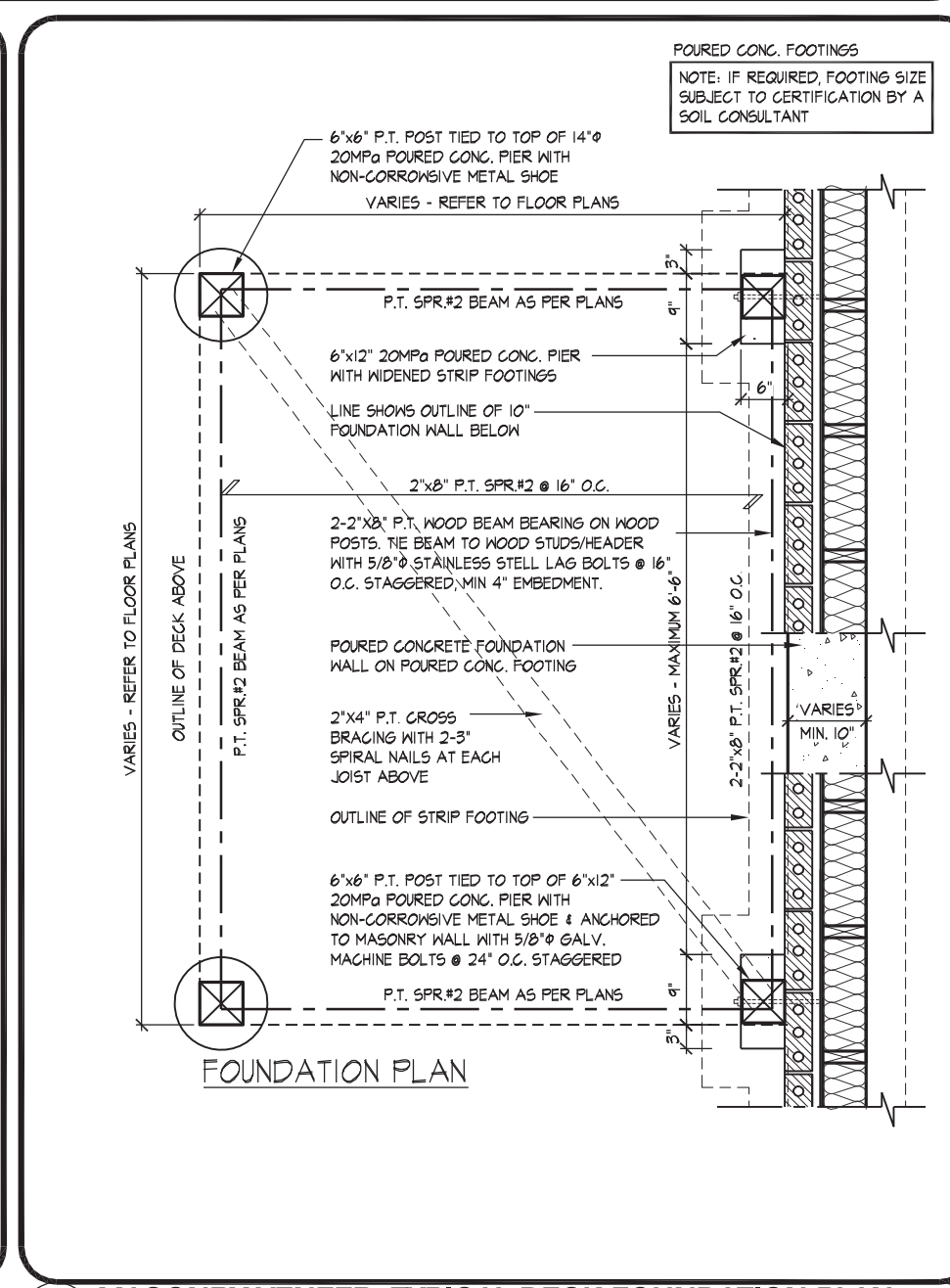
09 MASONRY VENEER, TYPICAL WOOD DECK FOR WALK OUT BASEMENT
1/2" = 1'-0"



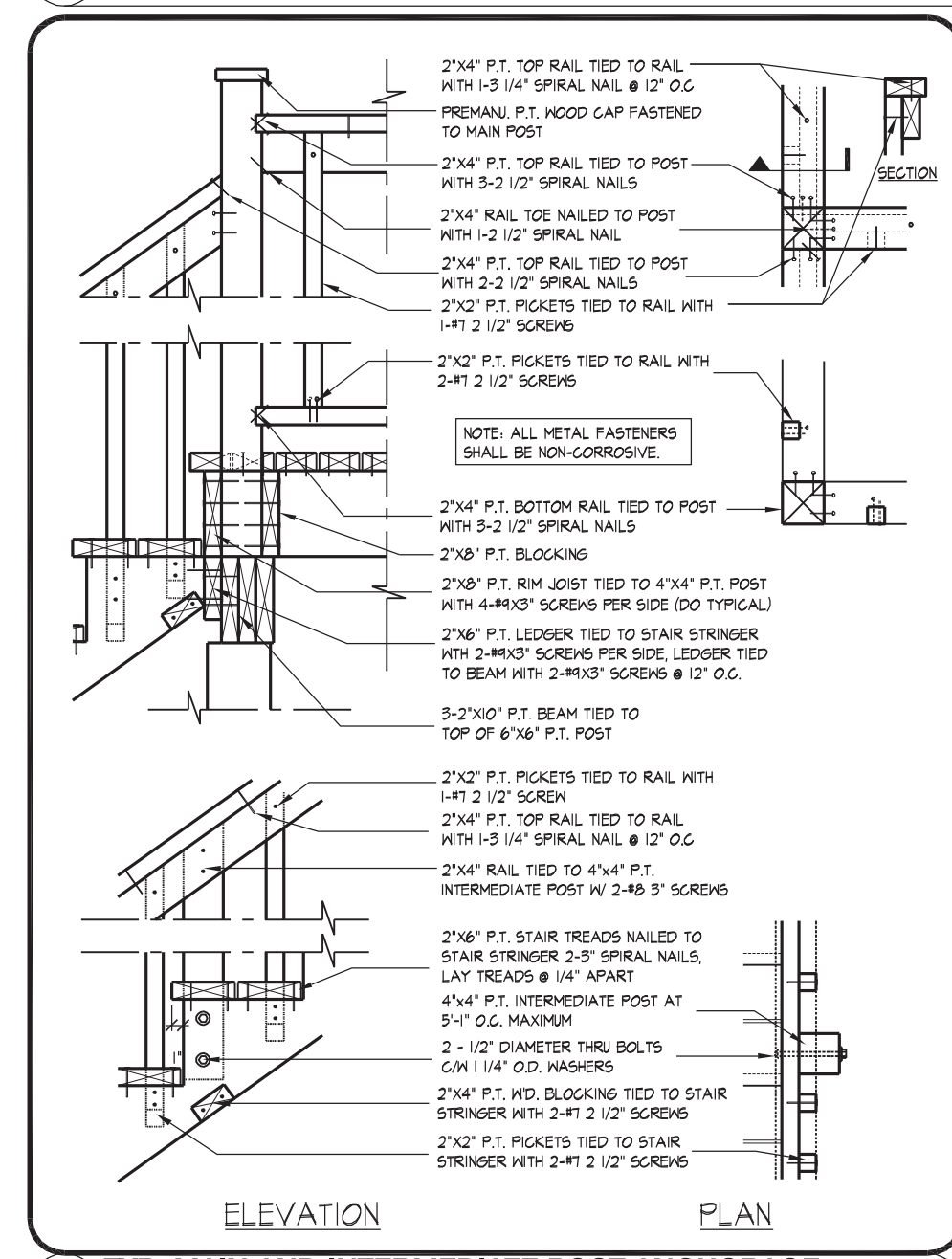
01 TYPICAL WOOD DECK STAIR
1/2" = 1'-0"



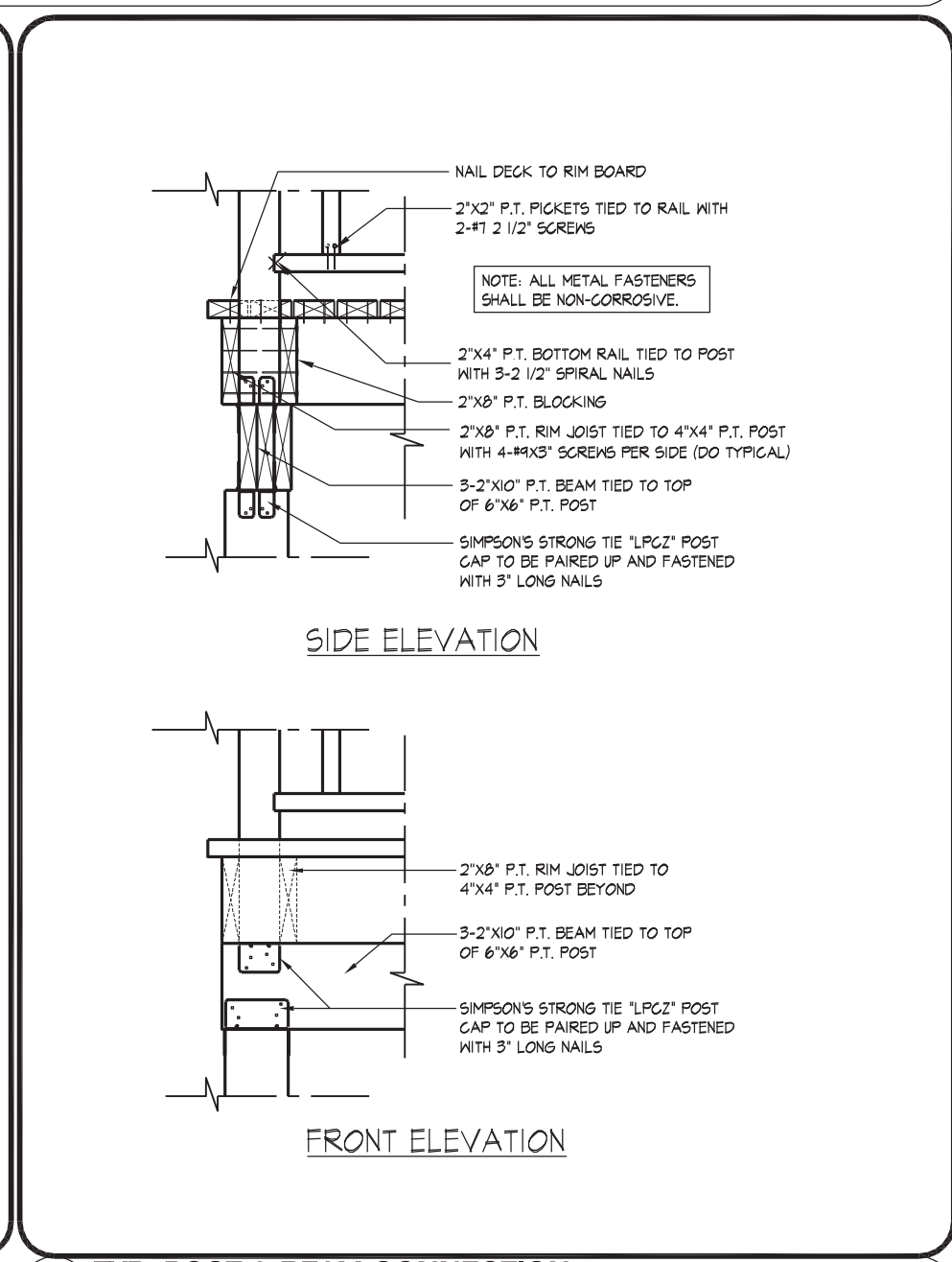
10 MASONRY VENEER, TYPICAL DECK FRAMING PLAN
1/2" = 1'-0"



11 MASONRY VENEER, TYPICAL DECK FOUNDATION PLAN
1/2" = 1'-0"



02 TYP. MAIN AND INTERMEDIATE POST ANCHORAGE
3/4" = 1'-0"



03 TYP. POST & BEAM CONNECTION
3/4" = 1'-0"



FOR STRUCTURAL ONLY. EXCLUDING ENGINEERED ROOF TRUSS, FLOOR JOIST, AND FLOOR LVL BEAM DESIGN.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

DESIGNER INFORMATION: HUNT DESIGN ASSOCIATES INC. 19695

DATE: 3/16/2022

PROJECT: GOLDPARK HOMES - 221081 UNIT 5004 - THE BEAUMONT

FILE NUMBER: 221081WS5004

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REVISION: REV. 2022.03.25