

1/2" = 1'-0"

### AREA CALCULATIONS

EL. 'A' EL. 'A' EL. 'A' EL. 'B' EL. 'B' EL. 'C' EL. 'C' STDJOPT SEC FLR STDJOPT SEC FL (184.32 sq. m.) (197.98 sq. m.) (193.05 sq. m.) (206.62 sq. m.) (183.67 sq. m.) (197.33 sq. m.) (186.46 sq. m.) (200.02 sq. m.) SECOND FLOOR AREA 2207 sq. ft. 2207 sq. ft. 2301 sq. ft. 2301 sq. ft. 2208 sq. ft. 2208 sq. ft. 2262 sq. ft. 2262 sq. ft. (205.04 sq. m.) (205.04 sq. m.) (213.77 sq. m.) (213.77 sq. m.) (205.13 sq. m.) (205.13 sq. m.) (210.15 sq. m.) (210.15 sq. m.) 4191 sq. ft. 4338 sq. ft. 4379 sq. ft. 4525 sq. ft. 4185 sq. ft. 4332 sq. ft. 4269 sq. ft. 4415 sq. ft. (389.36 sq. m.) (403.01 sq. m.) (406.82 sq. m.) (420.39 sq. m.) (388.80 sq. m.) (402.46 sq. m.) (396.60 sq. m.) (410.17 sq. m.) DEDUCT ALL OPEN AREAS 85 sq. ft. (7.90 sq. m.) TOTAL NET AREA 4106 sq. ft. 4253 sq. ft. 4294 sq. ft. 4440 sq. ft. 4100 sq. ft. 4247 sq. ft. 4184 sq. ft. 4330 sq. ft. (381.46 sq. m.) (395.12 sq. m.) (398.93 sq. m.) (412.49 sq. m.) (380.90 sq. m.) (394.56 sq. m.) (388.71 sq. m.) (402.27 sq. m.) FINISHED BASEMENT AREA 169 sq. ft. 173 sq. ft. 169 sq. ft. (15.70 sq. m.) (16.07 sq. m.) (15.70 sq. m.) (16.07 sq. m.) (15.70 sq. m.) (15.70 sq. m.) (15.70 sq. m.) 2549 sq. ft. 2549 sq. ft. 2644 sq. ft. 2644 sq. ft. 2542 sq. ft. 2542 sq. ft. 2572 sq. ft. 2572 sq. ft. W/OUT PORCH (236.81 sq. m.) (236.81 sq. m.) (245.64 sq. m.) (245.64 sq. m.) (236.16 sq. m.) (236.16 sq. m.) (238.95 sq. m.) (238.95 sq. m.) COVERAGE W/ PORCH 2598 sq. ft. 2598 sq. ft. 2693 sq. ft. 2693 sq. ft. 2601 sq. ft. 2601 sq. ft. 2635 sq. ft. 2635 sq. ft. (241.36 sq. m.) (241.36 sq. m.) (250.19 sq. m.) (250.19 sq. m.) (241.64 sq. m.) (241.64 sq. m.) (244.80 sq. m.) (244.80 sq. m.) WINDOW / WAL CALCULATIONS EL. 'B' EL. 'C' EL. 'C' EL. 'A' EL. 'A' EL. 'A' STD. PLAN OPT, SEC FLR. PLAN STD. PLAN OPT, SEC FLR, PLAN STD. PLAN OPT, SEC FLR, PLAN CORNER 4759.49 sq. ft. 4759.49 sq. ft. 5014.60 sq. ft. 4750.63 sq. ft. 4750.63 sq. ft. 4953.80 sq. ft. 4953.80 sq. ft. (441.35 sq. m.) (441.35 sq. m.) (460.22 sq. m.) (460.22 sq. m.) (442.17 sq. m.) (442.17 sq. m.) (465.87 sq. m.) 524.77 sq. ft. 536.11 sq. ft. 612.50 sq. ft. 539.80 sq. ft. 551.14 sq. ft. 554.51 sq. ft. 545.18 sq. ft. (INCL. GLASS DOORS & SKYLIGHTS) (48.75 sq. m.) (49.81 sq. m.) (56.90 sq. m.) (50.15 sq. m.) (51.20 sq. m.) (51.52 sq. m.) (50.65 sq. m.) 11.36 % 11.60 % 11.19 % 11.01 % TOTAL WINDOW % 11.03 % 11.26 % 12.21 % EL. 'A' - WOD EL. 'A' - WOD EL. 'B' - WOD EL. 'B' - WOD EL. 'C' - WOD EL. 'C' - WOD 4806.82 sq. ft. 4806.82 sq. ft. 5061.93 sq. ft. 4797.96 sq. ft. 4797.96 sq. ft. 5001.14 sq. ft. 5001.14 sq. ft. GROSS WALL AREA (446.57 sq. m.) (446.57 sq. m.) (445.75 sq. m.) (445.75 sq. m.) (464.62 sq. m.) (464.62 sq. m.) GROSS WINDOW AREA 529.77 sq. ft. 541.11 sq. ft. (INCL. GLASS DOORS & SKYLIGHTS) (49.22 sq. m.) (50.27 sq. m.) 544.80 sq. ft. 556.14 sq. ft. 559.51 sq. ft. 550.18 sq. ft. (50.61 sq. m.) (51.67 sq. m.) (51.98 sq. m.) (51.11 sq. m.) (57.37 sq. m.) TOTAL WINDOW % 11.02 % 11.26 % 11.35 % 11.59 % 11.19 % 11.00 % 12.20 % EL. 'B' - LOD EL. 'B' - LOD EL. 'C' - LOD EL. 'C' - LOD EL. 'A' - LOD EL. 'A' - LOD EL. 'A' - LOD STD. PLAN OPT, SEC FLR. PLAN CORNER STD. PLAN OPT. SEC FLR. PLAN STD. PLAN OPT. SEC FLR. PLAN 4939.95 sq. ft. 4939.95 sq. ft. 4931.08 sq. ft. 4931.08 sq. ft. 5134.26 sq. ft. 5134.26 sq. ft. 5195.06 sq. ft. (458.94 sq. m.) (458.94 sq. m.) (482.64 sq. m.) (458.11 sq. m.) (458.11 sq. m.) (476.99 sq. m.) (476.99 sq. m.) GROSS WINDOW AREA 551.44 sq. ft. 562.77 sq. ft. 639.17 sq. ft. 566.47 sq. ft. 577.80 sq. ft. 581.18 sq. ft. 571.85 sq. ft. (INCL. GLASS DOORS & SKYLIGHTS) (51.23 sq. m.) (52.28 sq. m.) (52.63 sq. m.) (53.68 sq. m.) (53.99 sq. m.) (53.13 sq. m.) TOTAL WINDOW % 11.16 % 11.39 % 11.49 % 11.72 % 11.32 % 11.14 % 12.30 % EL. 'B' - WOB EL. 'B' - WOB EL. 'C' - WOB EL. 'C' - WOB EL 'A' - WOB EL 'A' - WOB EL. 'A' - WOB STD. PLAN OPT, SEC FLR. PLAN 5380.74 sq. ft. 5380.74 sq. ft. 5371.88 sq. ft. 5371.88 sq. ft. 5575.05 sq. ft. 5575.05 sq. ft. (499.89 sq. m.) (499.89 sq. m.) (499.06 sq. m.) (499.06 sq. m.) (517.94 sq. m.) (517.94 sq. m.) GROSS WINDOW AREA 627.61 sq. ft. 638.94 sq. ft. 642.64 sq. ft. 653.97 sq. ft. 657.35 sq. ft. 648.01 sq. ft. 715.33 sq. ft. (INCL. GLASS DOORS & SKYLIGHTS) (58.31 sq. m.) (59.36 sq. m.) (66.46 sq. m.) (59.70 sq. m.) (60.76 sq. m.) (61.07 sq. m.) (60.20 sq. m.) TOTAL WINDOW % 11.66 % 11.87 % 11.96 % 12.17 % 11.79 % 11.62 %



TYP. BOX-OUT PROJECTED WINDOW PLAN VIEW

100 COMMERCE VALLEY Dr. W.
THORNHILL ONTARIO CANADA L3T OA1
1-905-882-4211 [RAX 1-905-820-55] [WWW.WSPGROU

FOR STRUCTURAL ONLY. EXCLUDING ENGINEERED ROOF TRUSS, FLOOR JOIST, AND FLOOR LVL BEAM DESIGN.







FRONT ELEVATION 'A'

FRONT ELEVATION 'B'

FRONT ELEVATION 'C'

# UNIT 5004 - 'THE BEAUMONT'

# SB-12 ENERGY EFFICIENCY DESIGN MATRIX

PRESCRIPTIVE COMPLIANCE SB-12 (	SECTION 3.1.1)	TABLE 3 1 1 2 A
		ATING FUEL
PACKAGE A1	■ GAS	□ OIL
PAUNAGE AT	□ ELECTRIC	☐ PROPANE
	□ EARTH	□ SOLID FUEL
BUILDING COMPONENT	REQUIRED	PROPOSED
INSULATION RSI (R) VALUE		
CEILING W/ ATTIC SPACE	10.56 (R60)	10.56 (R60)
CEILING W/O ATTIC SPACE	5.46 (R31)	5.46 (R31)
EXPOSED FLOOR	5.46 (R31)	5.46 (R31)
WALLS ABOVE GRADE	3.87 (R22)	3.87 (R22)
BASEMENT WALLS	3.52 ci	3.52 ci
* PROPOSED VALUES MAY BE SUBSTITUTED W/ 2.11+1.76ci (R12+R10ci)	(R20 ci) ^	(R20 ci) ^
BELOW GRADE SLAB ENTIRE SURFACE > 600mm BELOW GRADE	-	-
EDGE OF BELOW GRADE SLAB $\leq$ 600mm BELOW GRADE	1.76 (R10)	1.76 (R10)
HEATED SLAB OR SLAB $\leq$ 600mm BELOW GRADE	1.76 (R10)	1.76 (R10)
WINDOWS & DOORS		
WINDOWS/SLIDING GLASS DOORS (MAX U-VALUE)	1.6	1.6
SKYLIGHTS (MAX. U-VALUE)	2.8	2.8
APPLIANCE EFFICIENCY		
SPACE HEATING EQUIP. (AFUE%)	96%	96%
HRV EFFICIENCY (%)	75%	75%
DHW HEATER (EF)	0.8	0.8

AREA CALCULATIONS

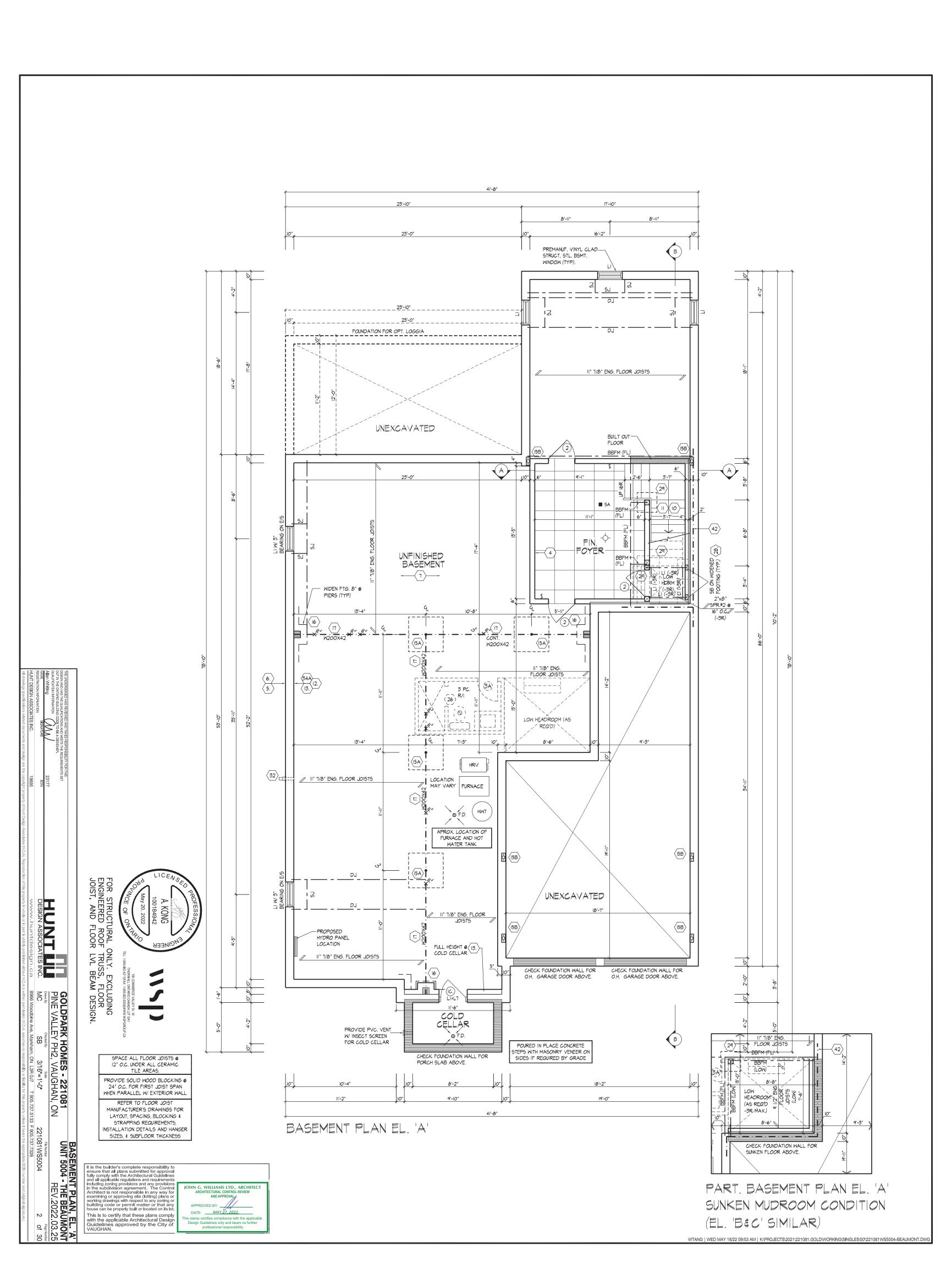
- 1 TITLE PAGE
- 2 BASEMENT PLAN, EL. 'A'
- 3 GROUND FLOOR PLAN, EL. 'A'
- 4 SECOND FLOOR PLAN, EL. 'A'
- 5 OPT. 5 BED. SECOND FLOOR PLAN, EL. 'A'
- 6 BASEMENT PLAN, EL. 'A' CORNER
- 7 GROUND FLOOR PLAN, EL. 'A' CORNER
- 8 SECOND FLOOR PLAN, EL. 'A' CORNER
- 9 PART. BASEMENT, GROUND & SECOND FLOOR PLAN, EL. 'B' 10 PART. BASEMENT, GROUND & SECOND FLOOR PLAN, EL. 'C'
- 11 PART. FLOOR PLANS OPT ELEVATOR CONDITION
- 12 PART. FLOOR PLANS, OPT. LOGGIA CONDITION
- 13 PART. FLOOR PLANS ELEV. 'A' CORNER, OPT. LOGGIA CONDITION
- 14 FRONT & REAR ELEVATION 'A' (REAR EL. 'B&C' SIMILAR)
- 15 LEFT SIDE ELEVATION 'A'
- 16 RIGHT SIDE ELEVATION 'A'
- 17 FRONT ELEVATION 'A' CORNER
- 18 LEFT SIDE ELEVATION 'A' CORNER 19 - RIGHT SIDE ELEVATION 'A' CORNER
- 20 REAR ELEVATION 'A' CORNER
- 21 FRONT ELEVATION 'B'
- 22 LEFT SIDE ELEVATION B
- 23 RIGHT SIDE ELEVATION 'B'
- 24 FRONT ELEVATION 'C'
- 25 LEFT SIDE ELEVATION 'C'
- 26 RIGHT SIDE ELEVATION 'C'
- 27 UPGRADED REAR ELEVATION 'C'
- 28 ELEVATIONS LOGGIA CONDITION 29 - CROSS SECTIONS
- 30 CONSTRUCTION NOTES
- W1 WALK OUT DECK CONDITION
- W1A WALK OUT DECK CONDITION
- W2 LOOK OUT DECK CONDITION
- W2A LOOK OUT DECK CONDITION
- W3 WALK OUT BASEMENT CONDITION
- W3A WALK OUT BASEMENT CONDITION

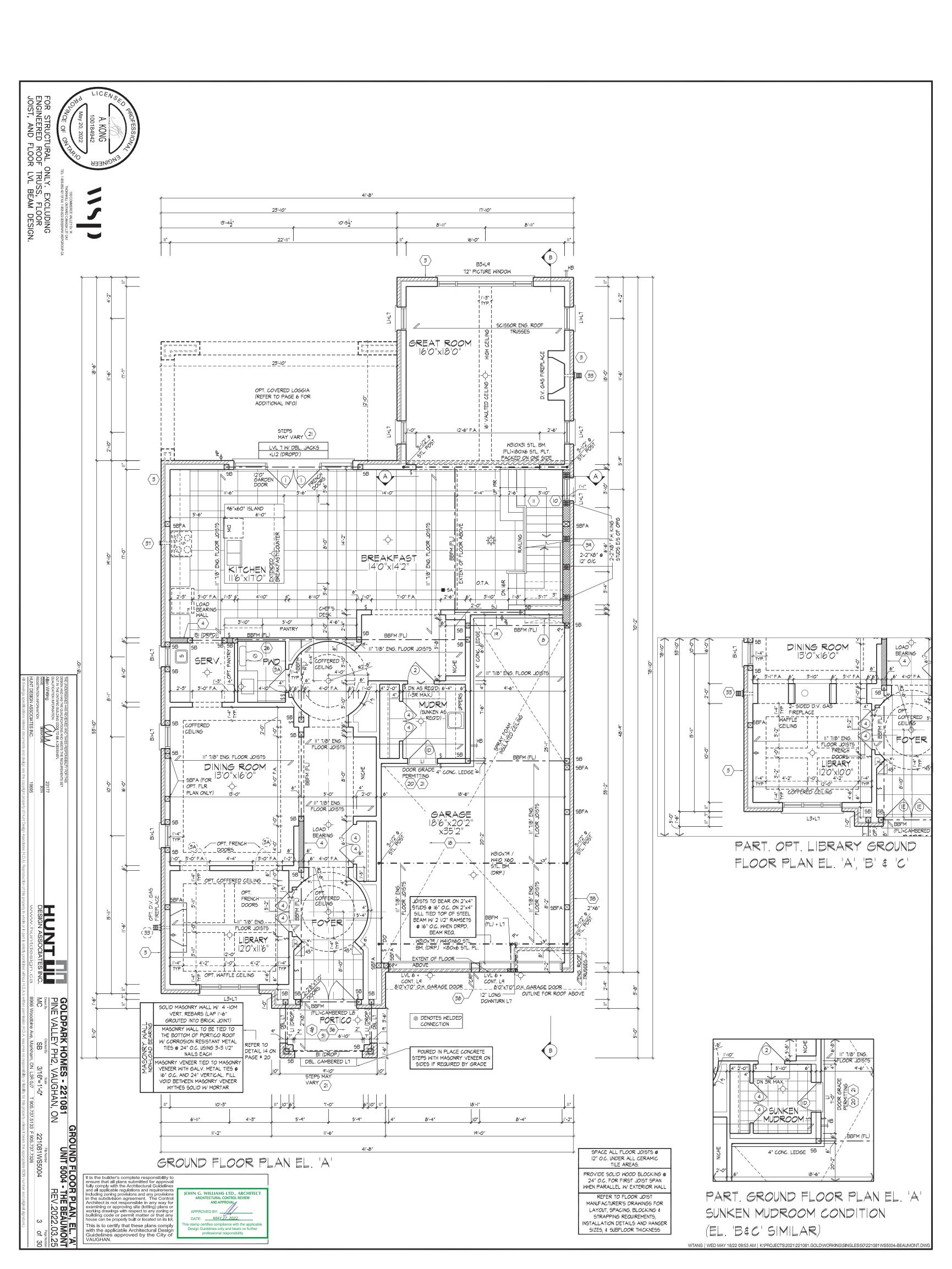


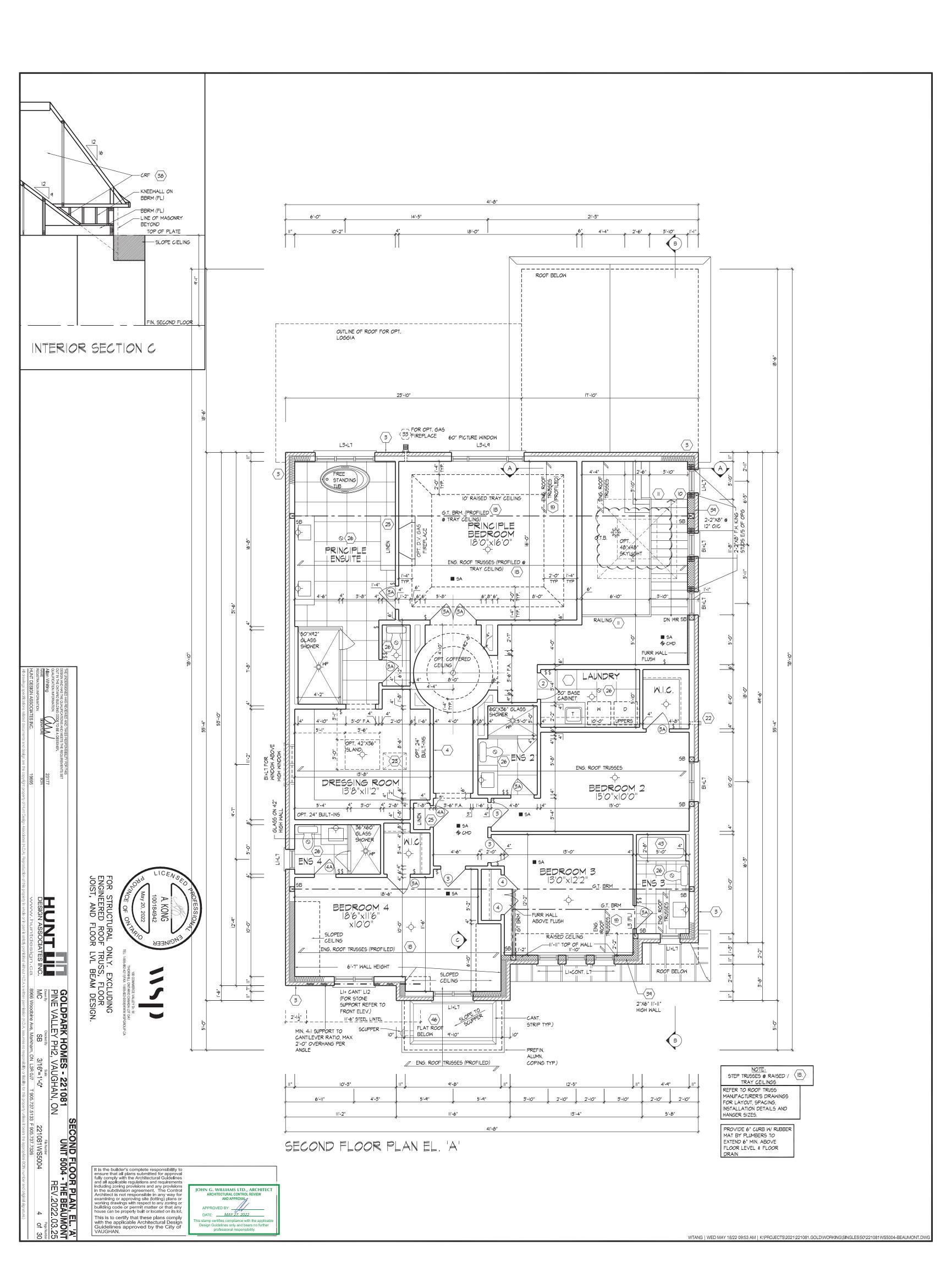


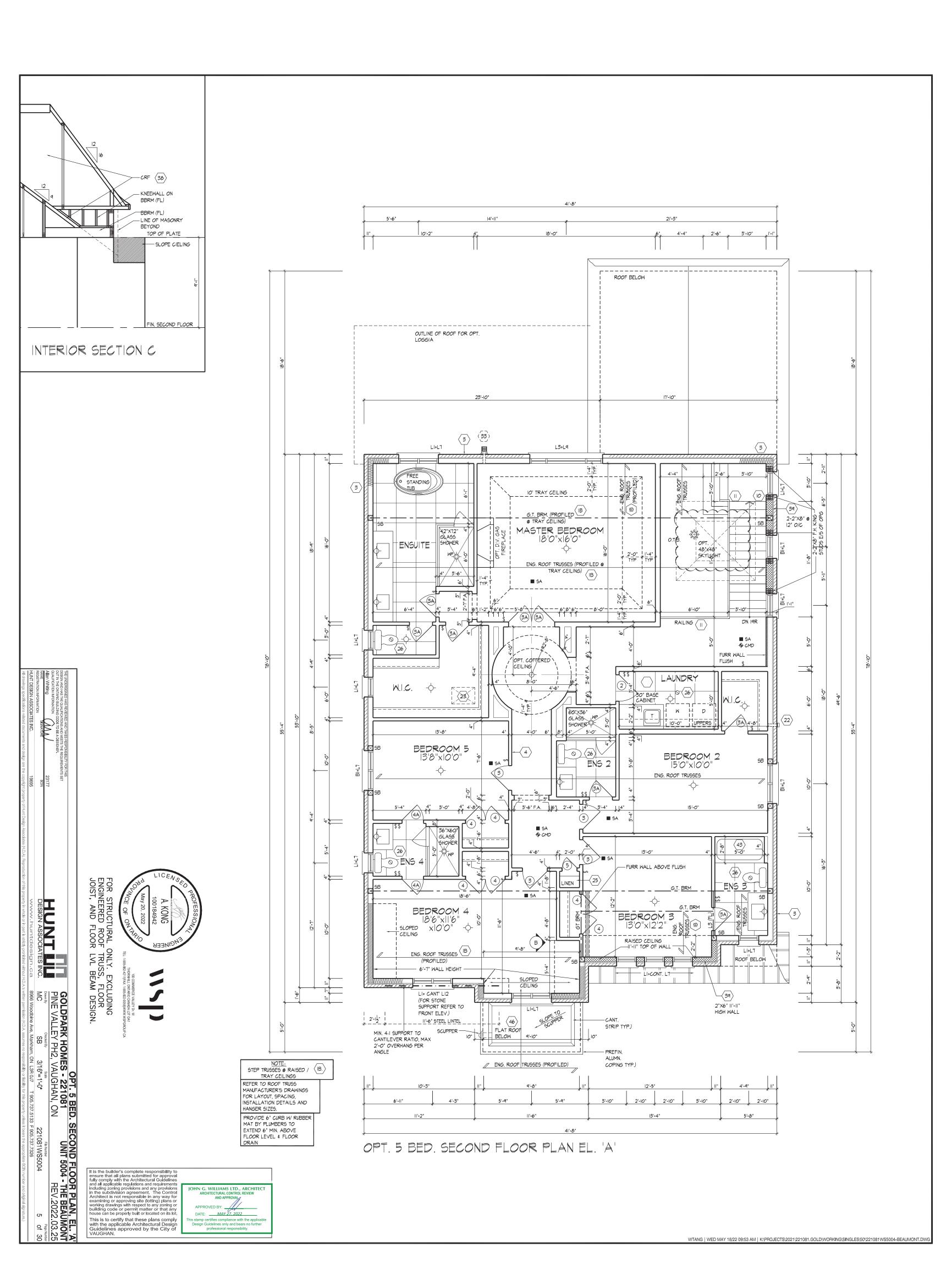
	8	-	-
	7	-	-
	6	-	-
	5	-	-
	4	-	-
	3	-	-
/	2	-	-
l	1. ISSUED FOR PH2 PERMIT	2022.03.25	AW
	REVISIONS	DATE (YYYY/MM/DD)	BY

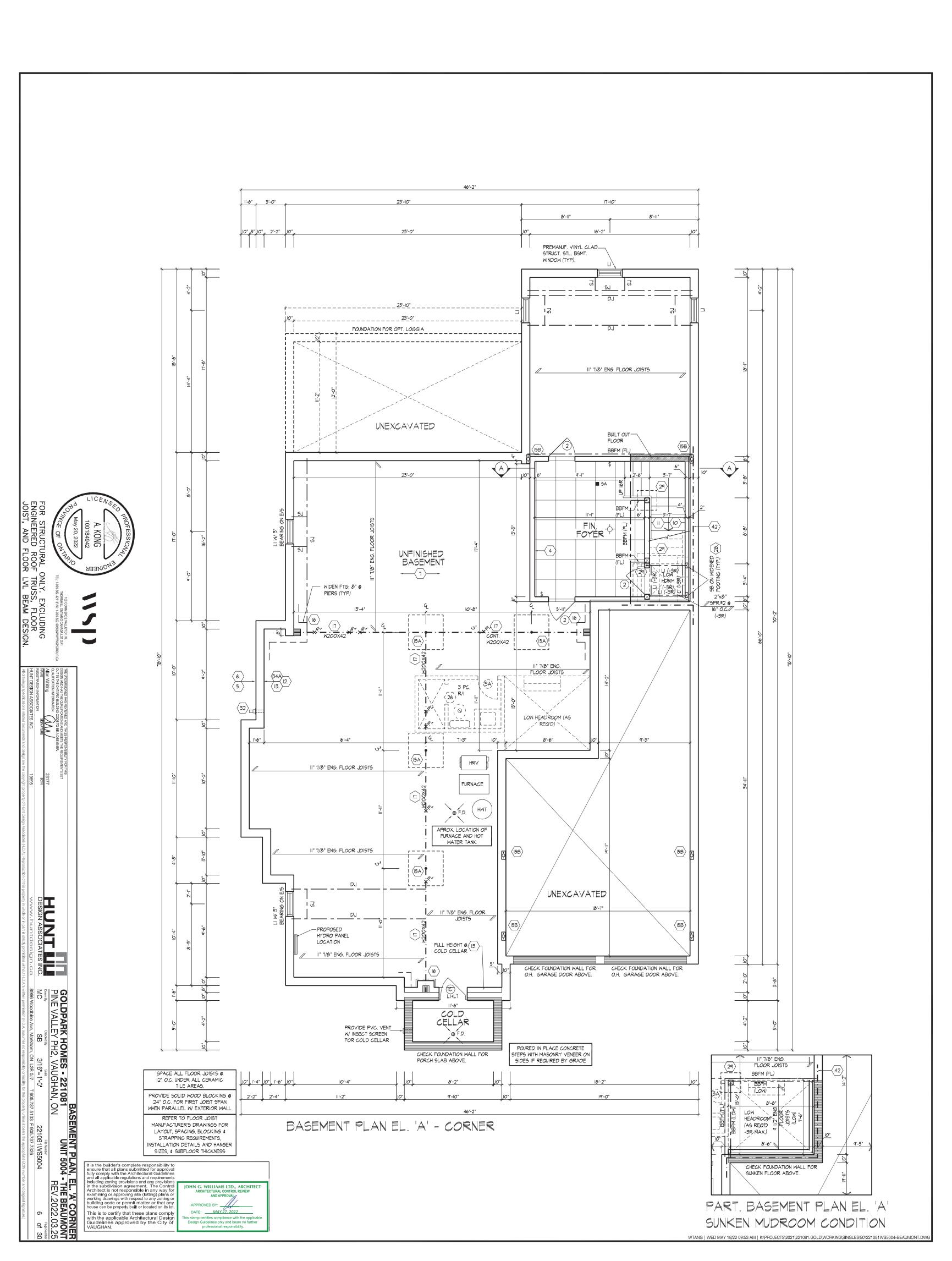
TITLE PAGE THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS **GOLDPARK HOMES - 221081 UNIT 5004 - THE BEAUMONT** DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SE OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER. PINE VALLEY PH2, VAUGHAN, ON REV.2022.03.25 **HUNT UU** Allan Whiting SB 3/16"=1'-0" 221081WS5004 MC 1 of 30 STRATION INFORMATION 8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326 HUNT DESIGN ASSOCIATES INC

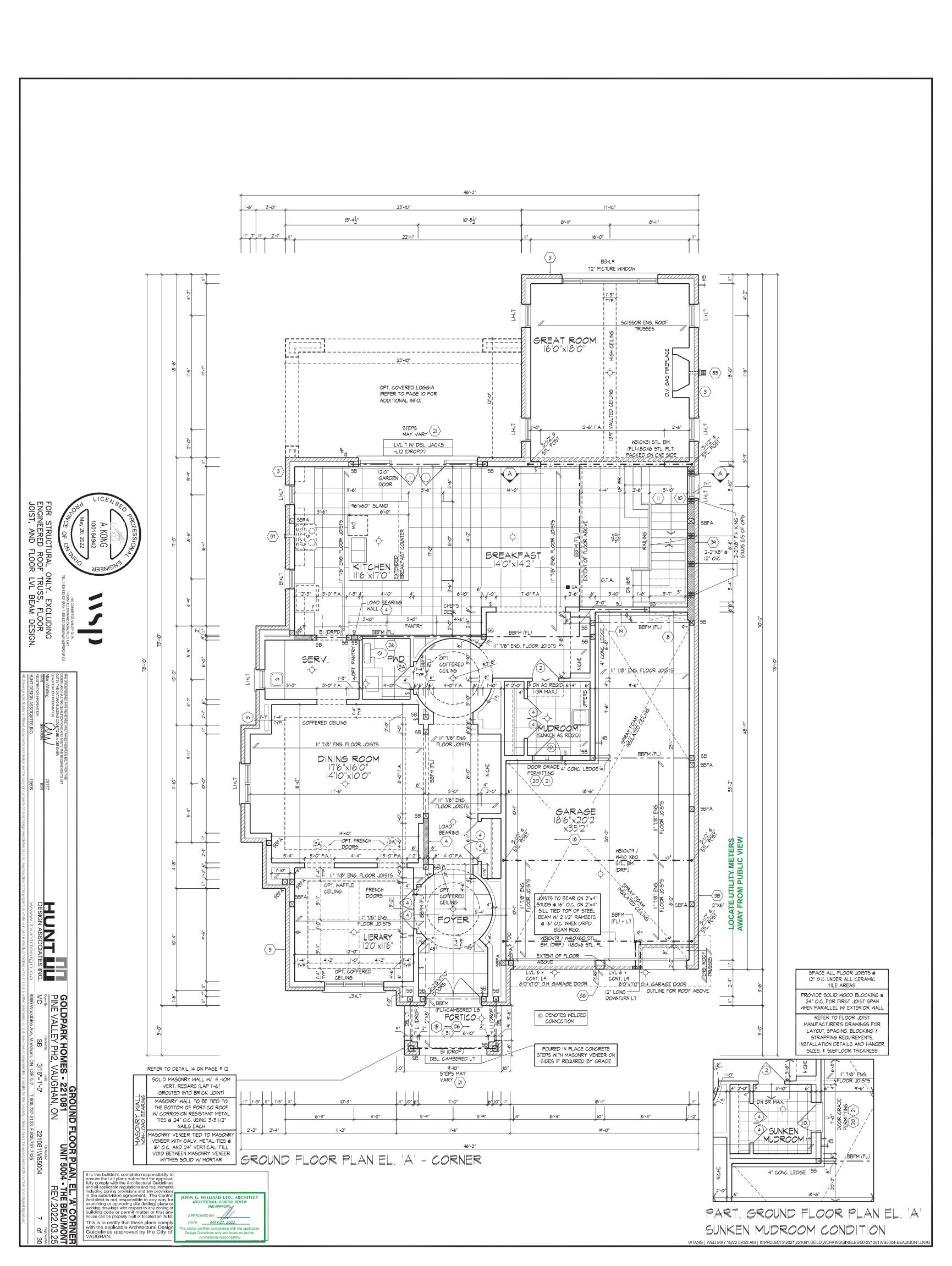


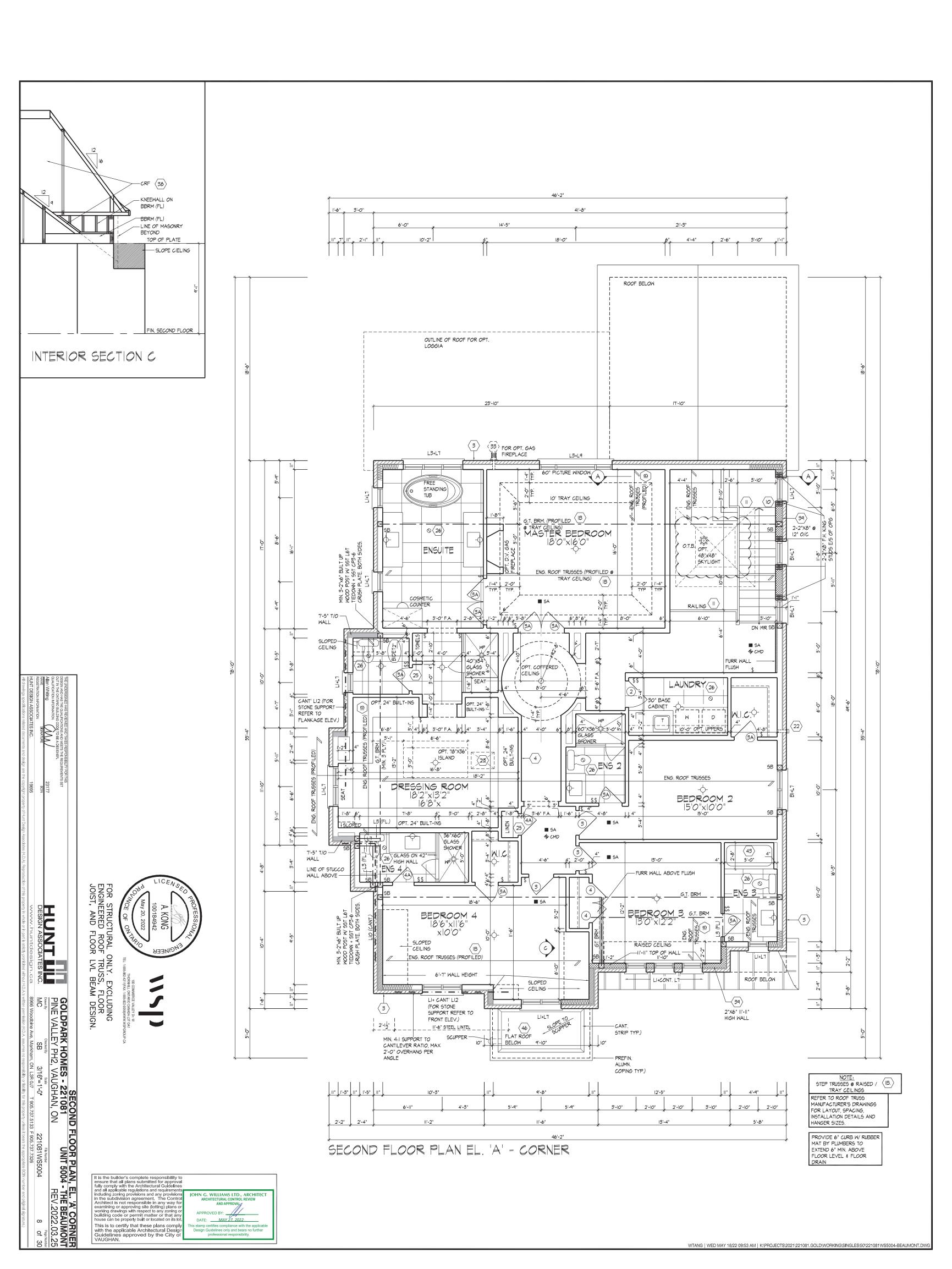


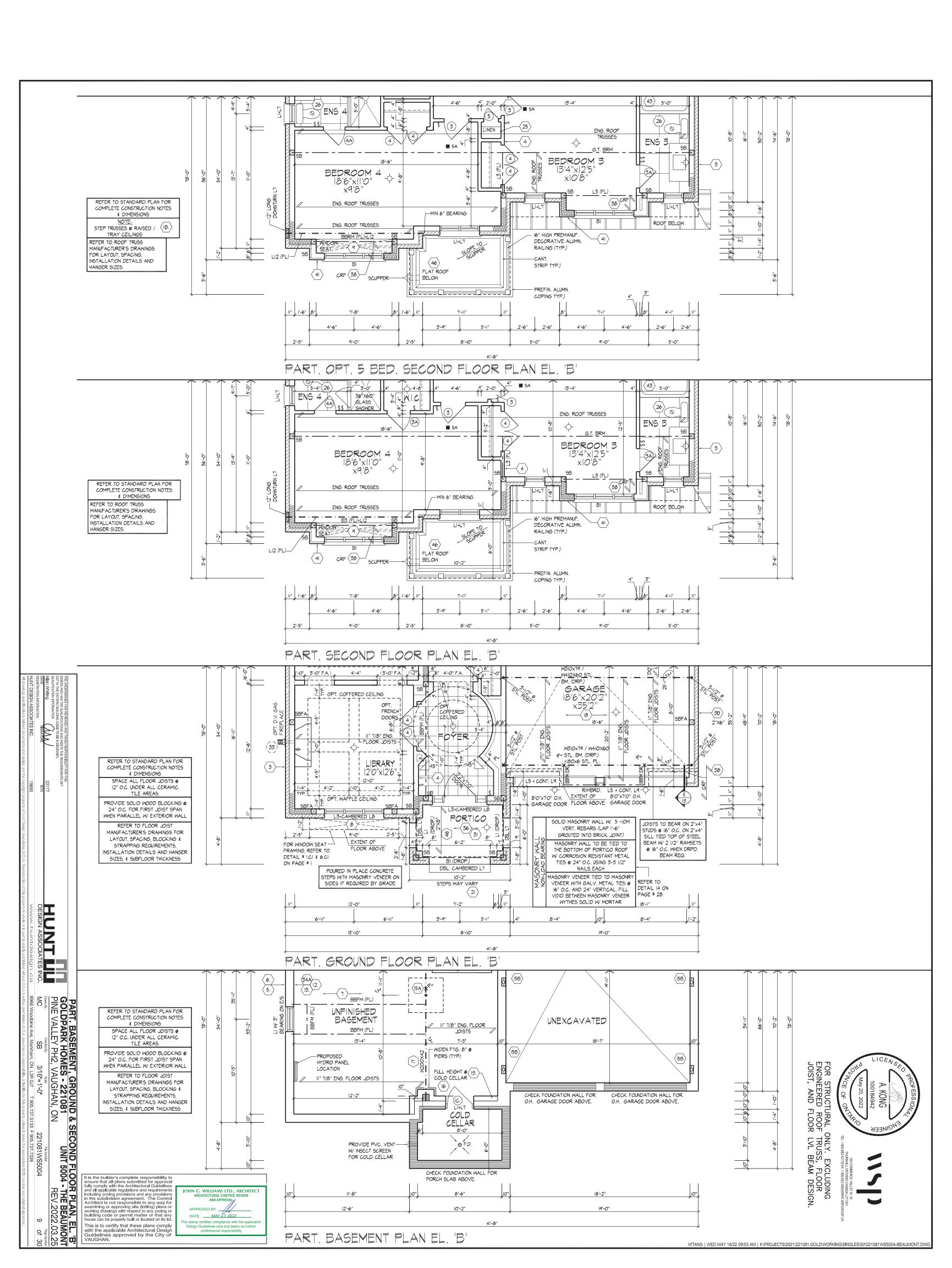


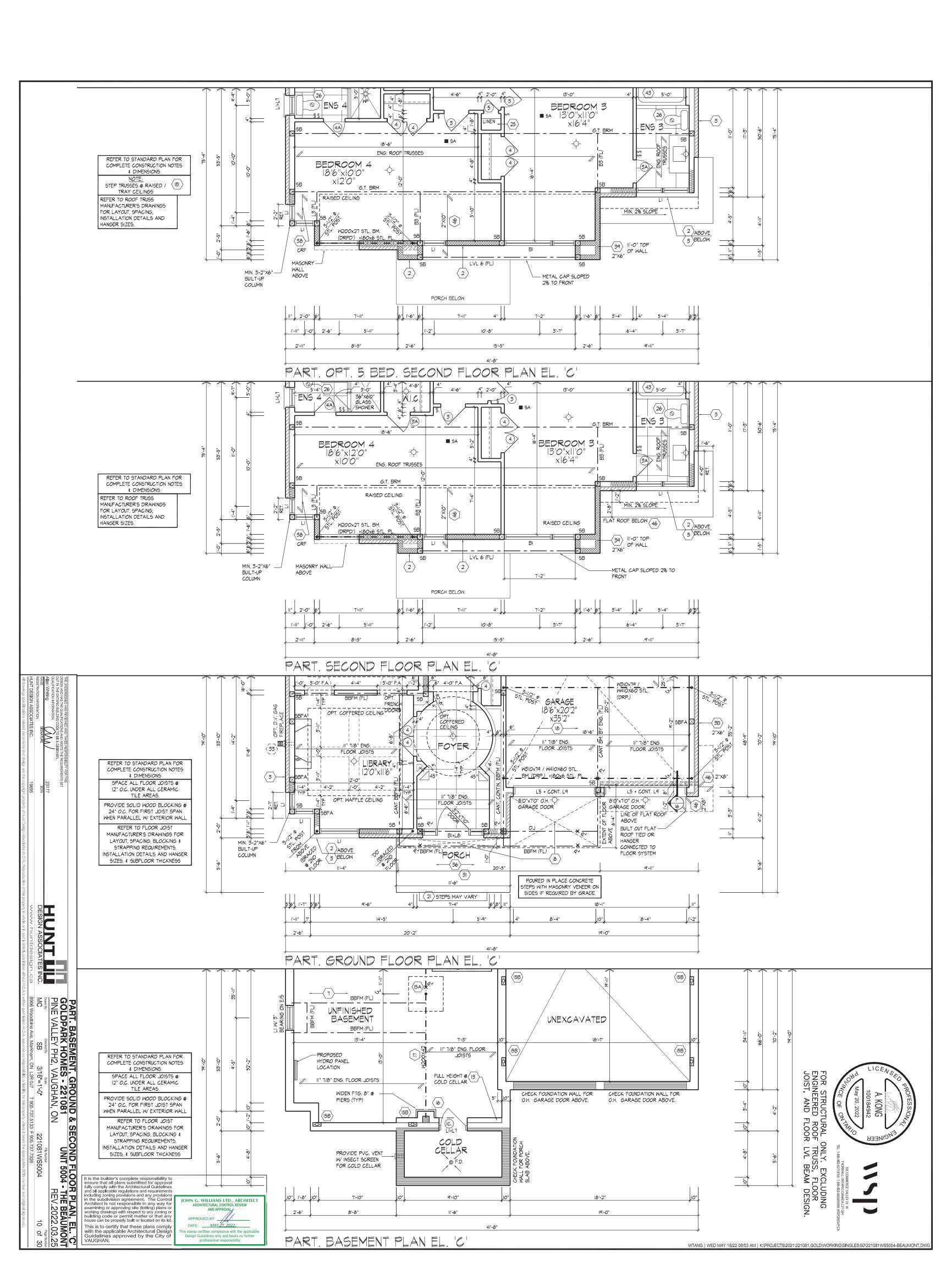


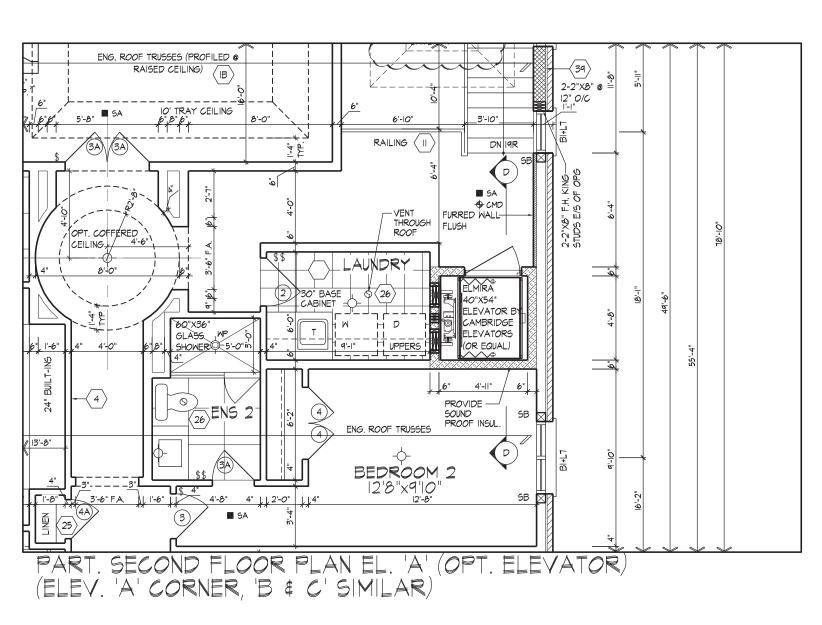


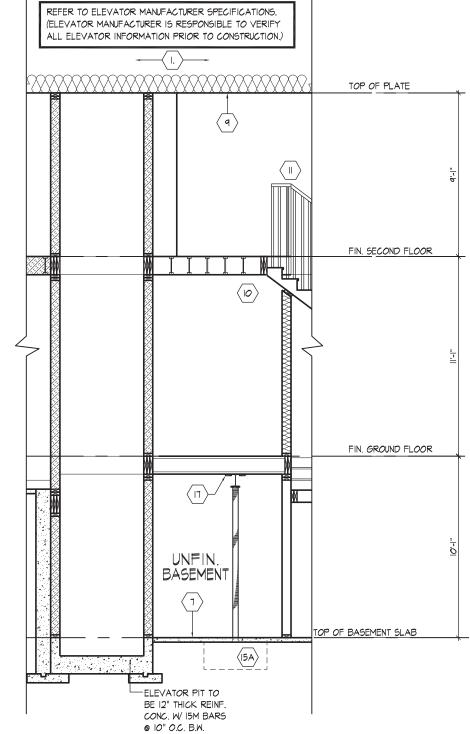












STRUCTURAL O SINEERED ROOF ST, AND FLOOR . ONLY. EXCLUDING )F TRUSS, FLOOR )R LVL BEAM DESIGN.

> REFER TO STANDARD PLAN FOR COMPLETE CONSTRUCTION NOTES & DIMENSIONS SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS. PROVIDE SOLID WOOD BLOCKING @ 24" O.C. FOR FIRST JOIST SPAN WHEN PARALLEL W/ EXTERIOR WALL REFER TO FLOOR JOIST MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, BLOCKING &

STRAPPING REQUIREMENTS,

INSTALLATION DETAILS AND HANGER

SIZES, & SUBFLOOR THICKNESS

DESIGN ASSOCIATION

PART. FLOOR PLANS GOLDPARK HOMES - 221081
PINE VALLEY PH2, VAUGHAN, ON
Drawn By Checked By Scale
MIC SB 3/16"-4"

OPT ELEVATOR CONDITION
UNIT 5004 - THE BEAUMONT
REV. 2022.03.25

221081WS5004 F 905.737.7326

 $\rightrightarrows$ 

**Q** &

REFER TO STANDARD PLAN FOR

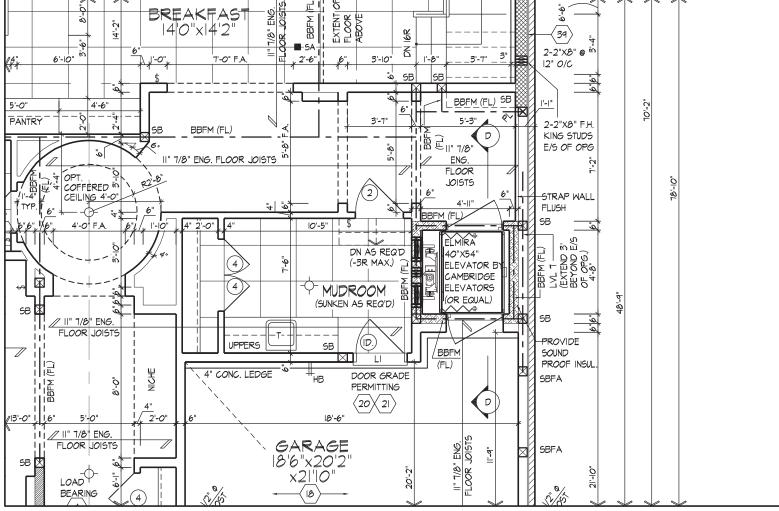
COMPLETE CONSTRUCTION NOTES & DIMENSIONS

REFER TO ROOF TRUSS

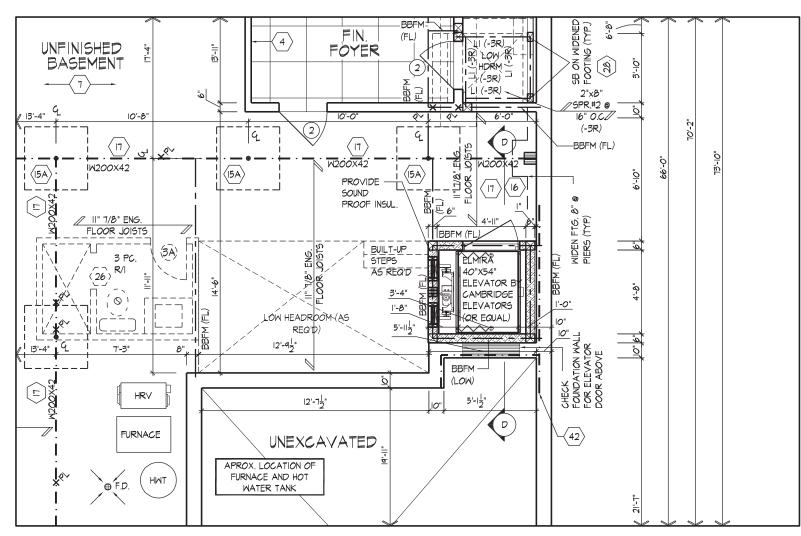
FOR LAYOUT, SPACING, INSTALLATION DETAILS AND

HANGER SIZES.

MANUFACTURER'S DRAWINGS



PART. GROUND FLOOR PLAN EL. 'A' (OPT. ELEVATOR) (ELEV. 'A' CORNER, 'B & C' SIMILAR)



PART. BASEMENT PLAN EL. 'A' (OPT. ELEVATOR) (ELEV. 'A' CORNER, 'B & C' SIMILAR)

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot. This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT APPROVED BY: \_ DATE: <u>MAY 27, 2022</u>

REFER TO STANDARD PLAN FOR

COMPLETE CONSTRUCTION NOTES

& DIMENSIONS

SPACE ALL FLOOR JOISTS @

12" O.C. UNDER ALL CERAMIC

TILE AREAS.

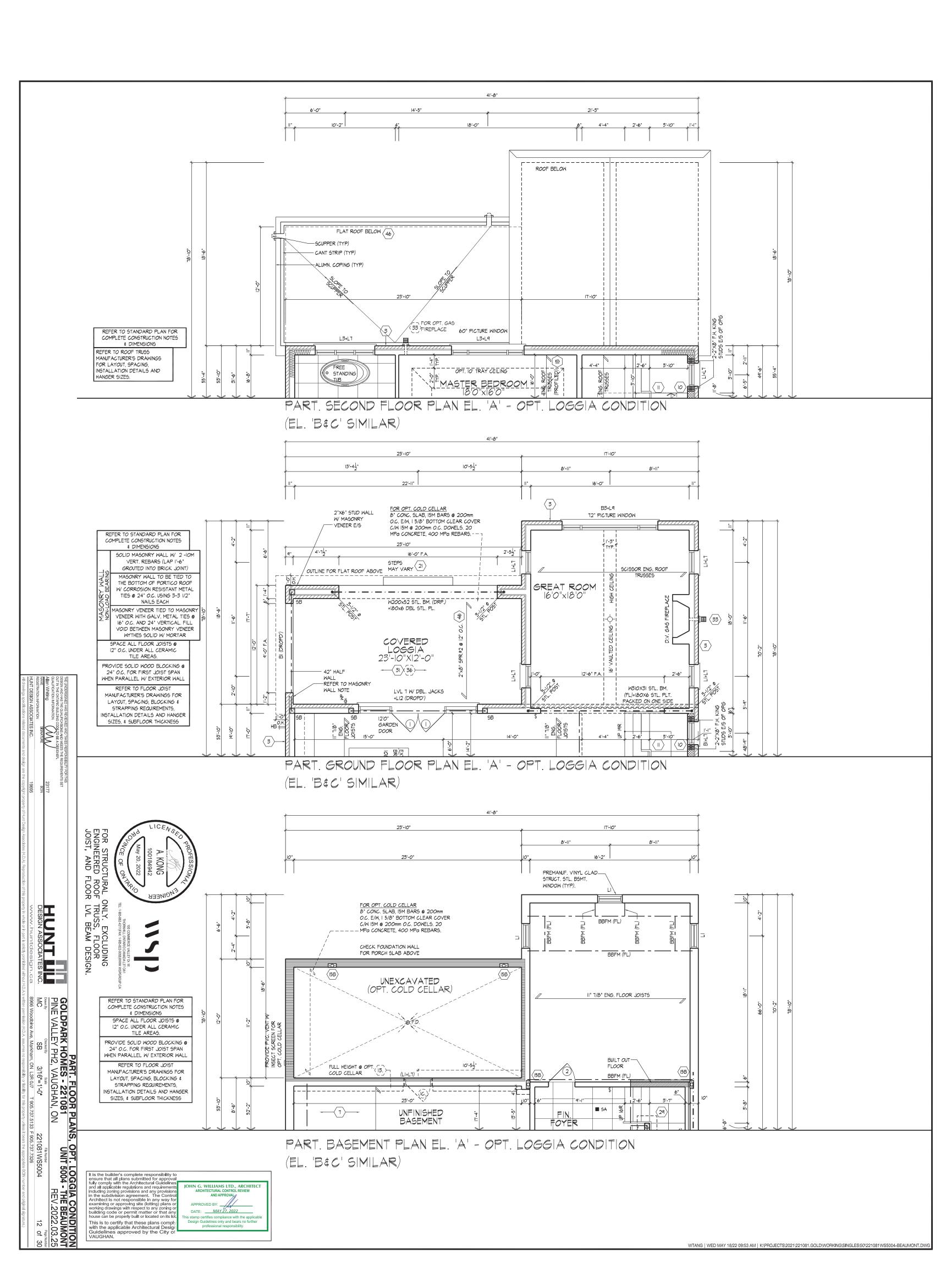
PROVIDE SOLID WOOD BLOCKING @

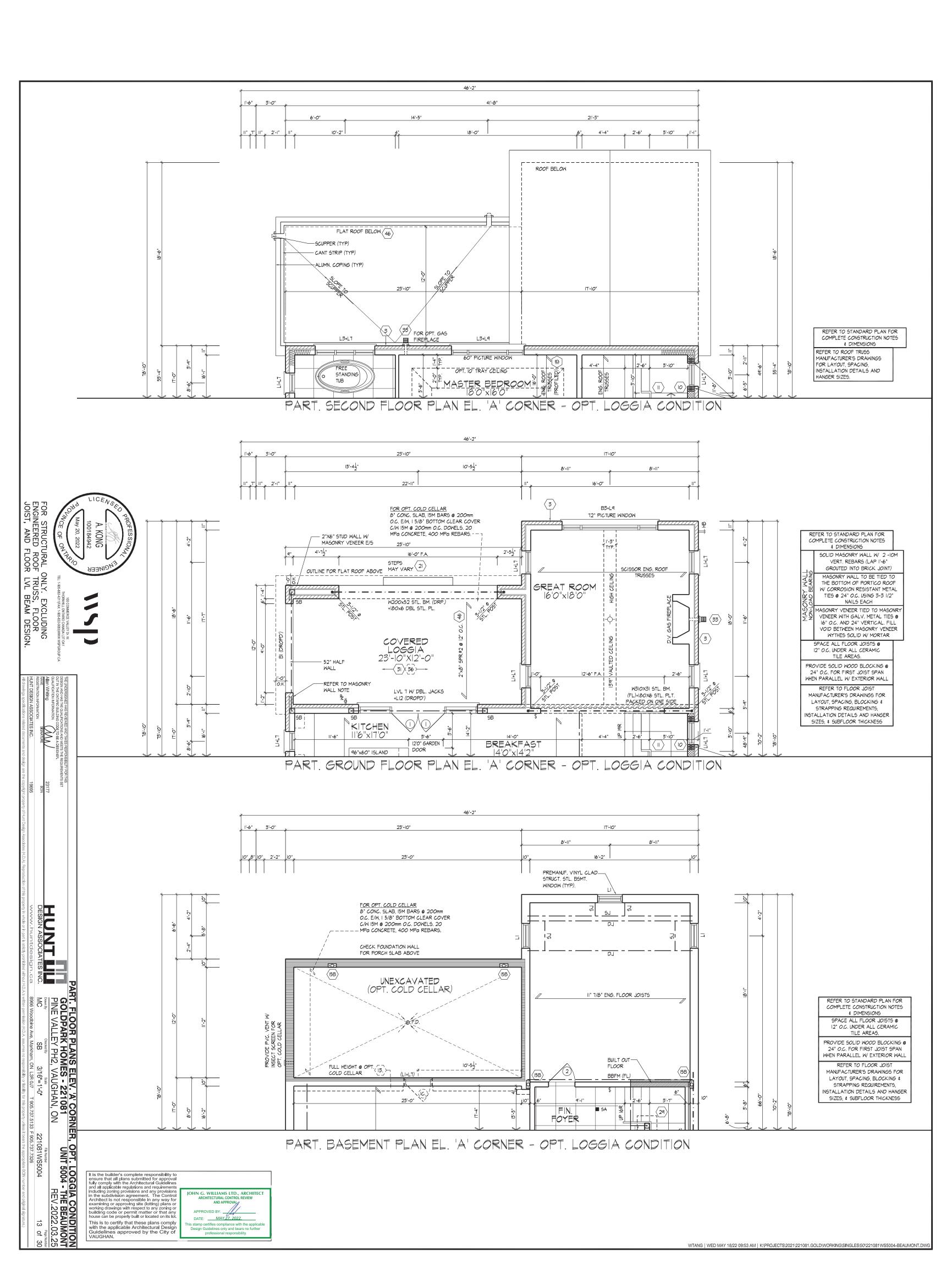
24" O.C. FOR FIRST JOIST SPAN

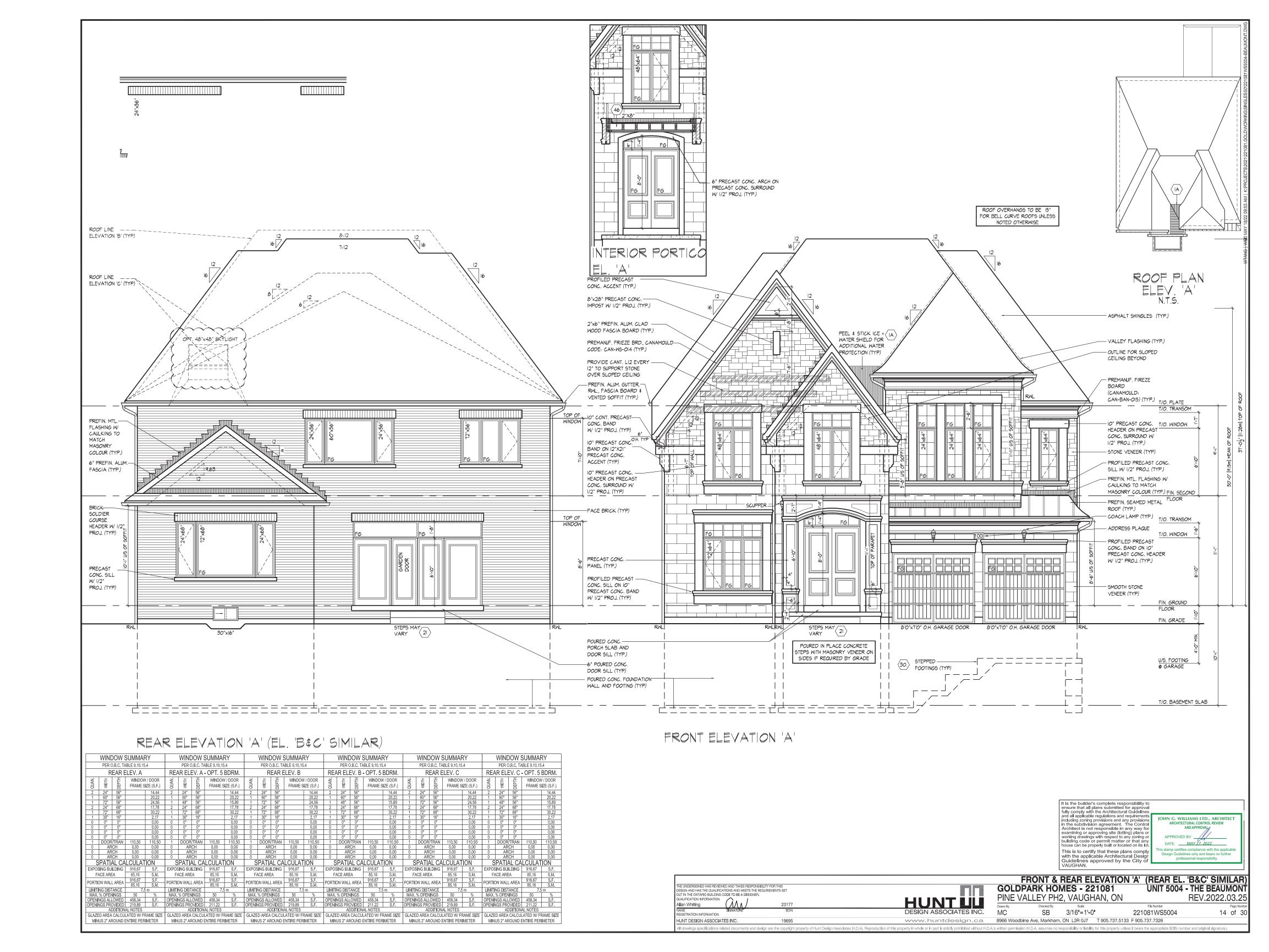
WHEN PARALLEL W/ EXTERIOR WALL REFER TO FLOOR JOIST

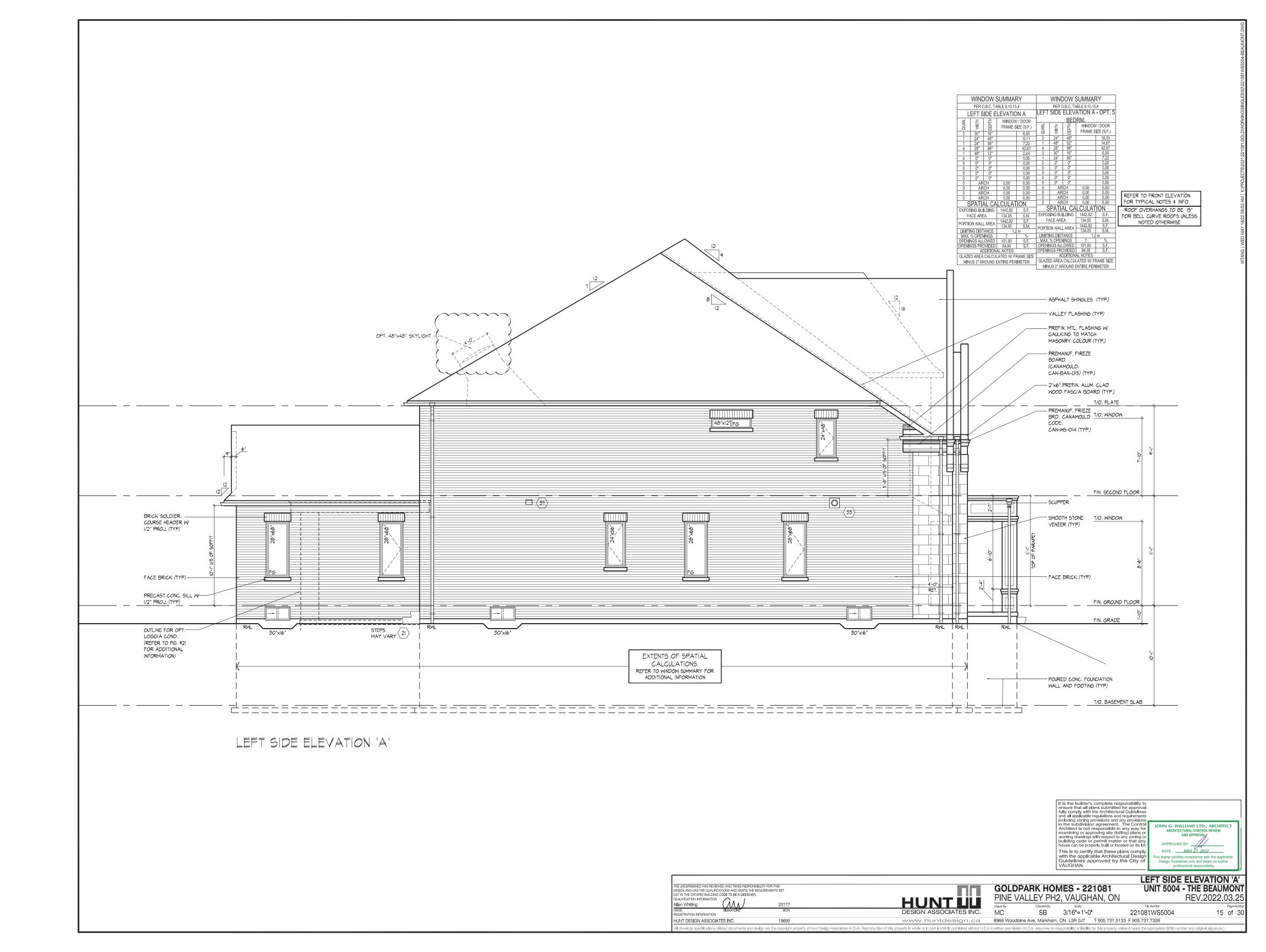
MANUFACTURER'S DRAWINGS FOR

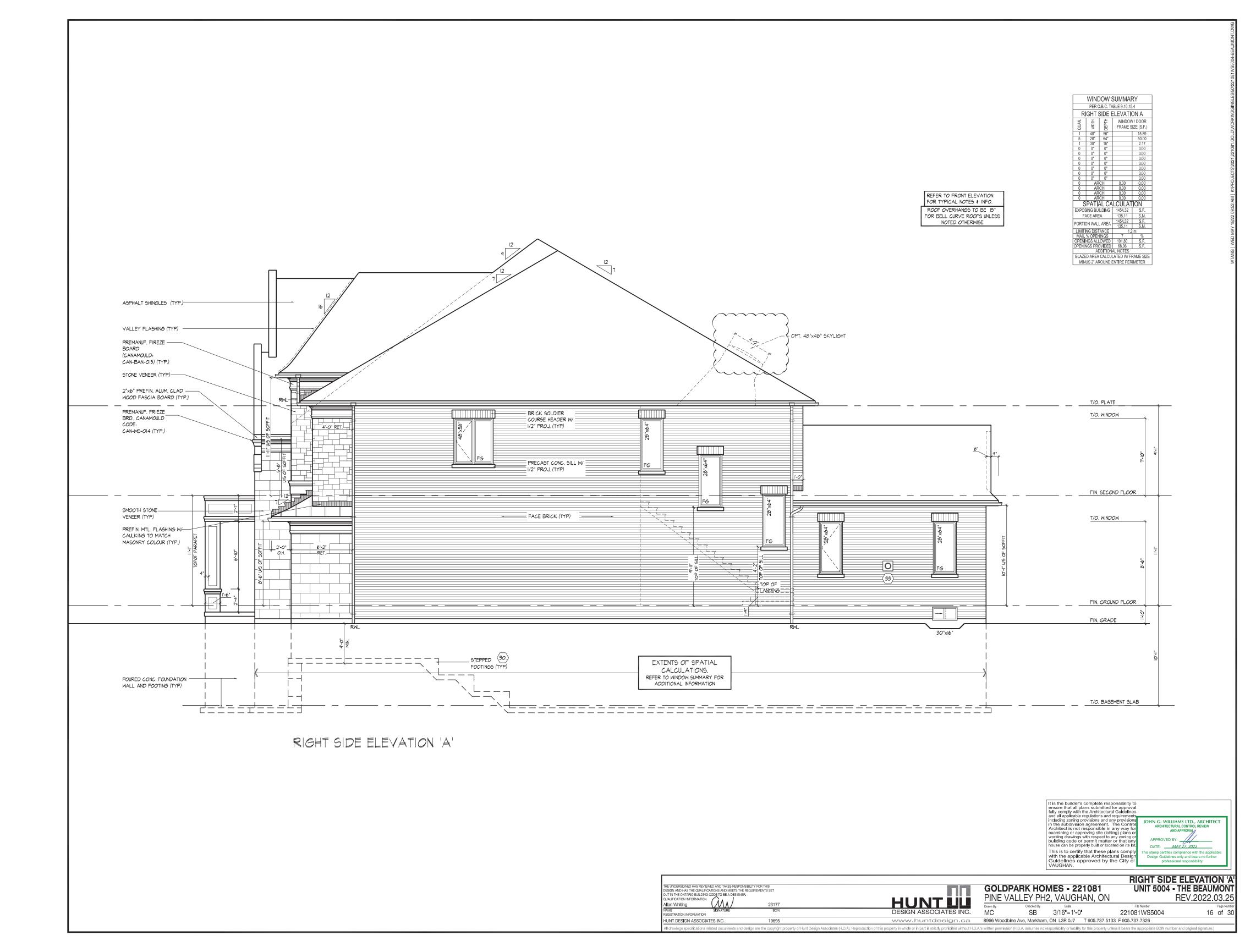
LAYOUT, SPACING, BLOCKING & STRAPPING REQUIREMENTS. INSTALLATION DETAILS AND HANGER SIZES, & SUBFLOOR THICKNESS

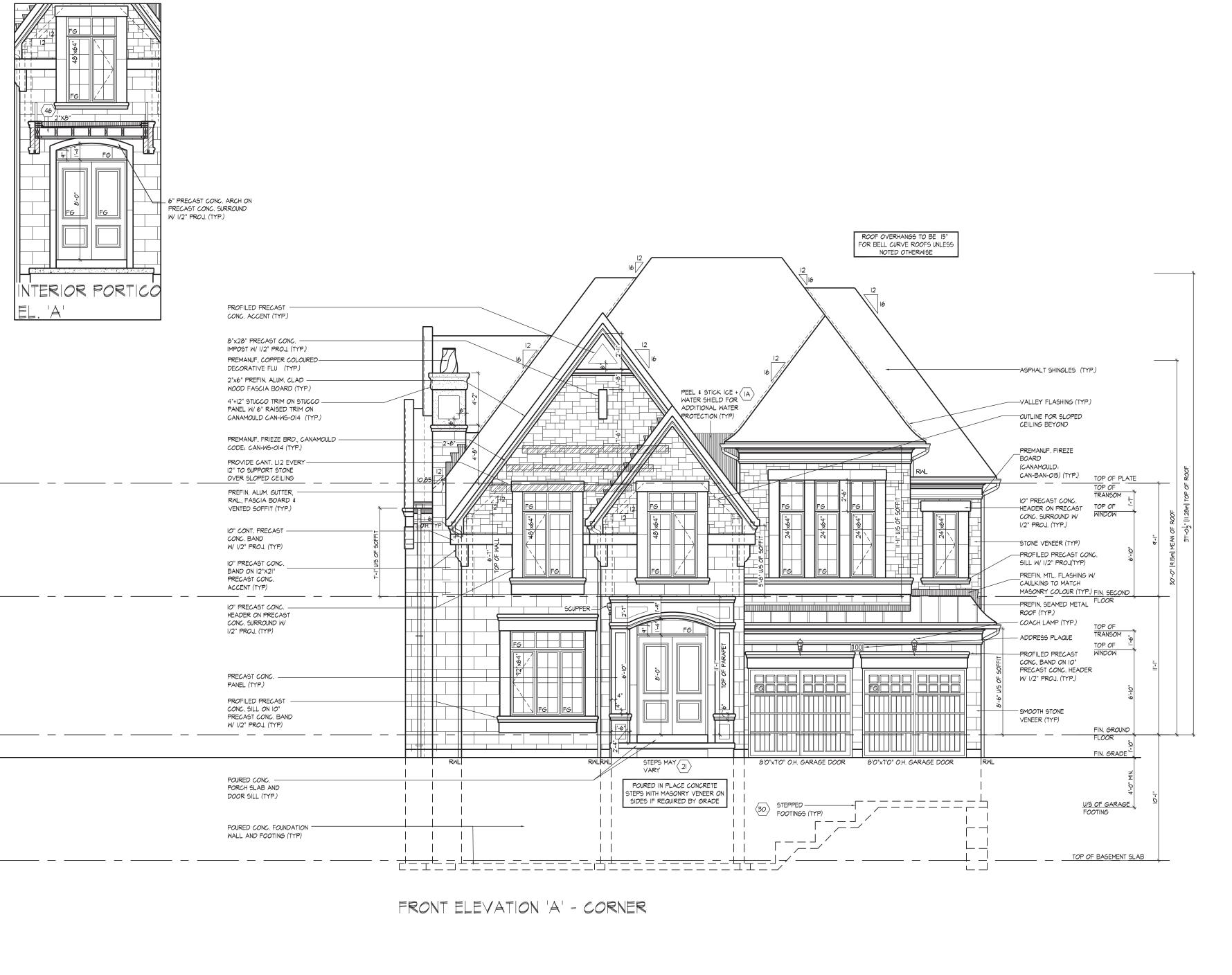


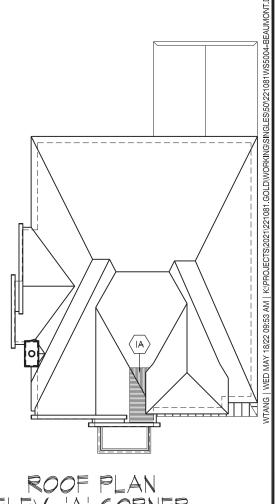




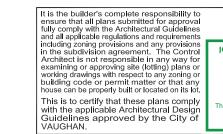








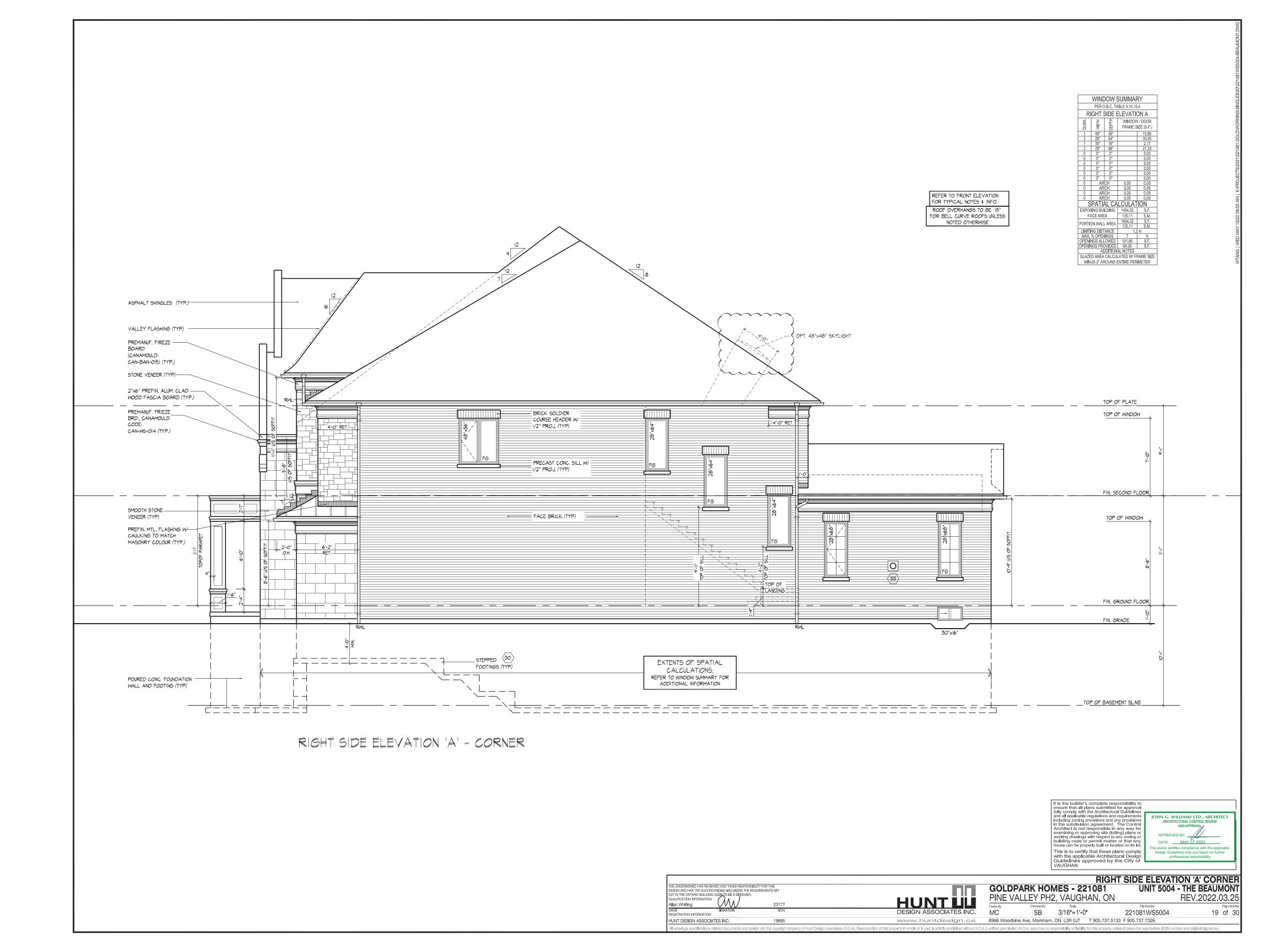
ROOF PLAN ELEV. 'A' CORNER N.T.S.

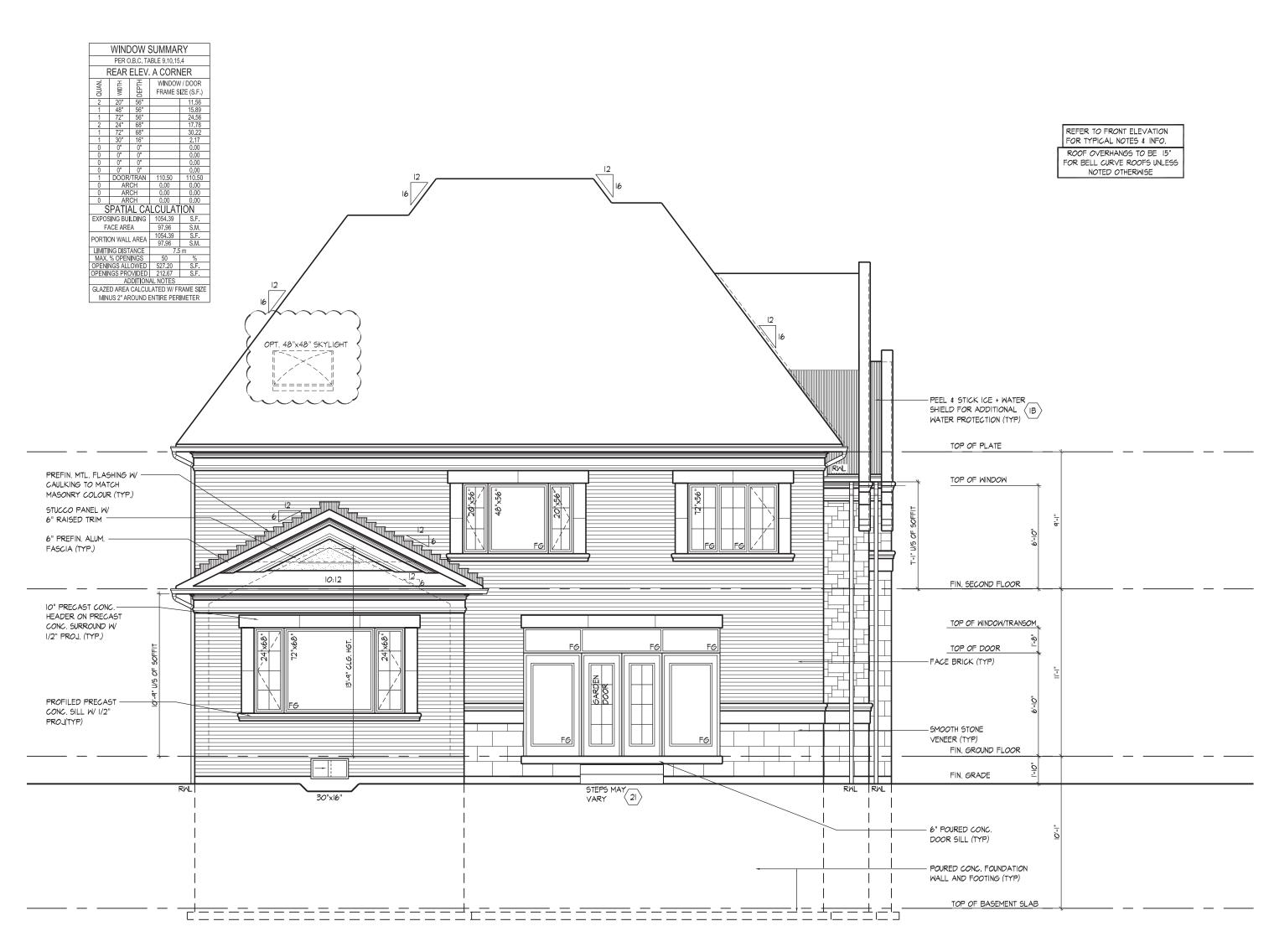


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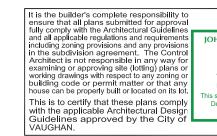
					FRONT ELEVAT	<b>ION 'A' CORNEF</b>
THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET	ПП	GOLDI	PARK HON	MES - 221	081 UNIT 5004	- THE BEAUMONT
OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.  QUALIFICATION INFORMATION	HUNTÜÜ	PINE V	ALLEY PH2	2, VAUGHA	N, ON	REV.2022.03.25
Allan Whiting 23177 NAME SIGNATURE BCIN	DESIGN ASSOCIATES INC.	Drawn By	Checked By	Scale 3/16"=1'-0"	File Number 221081WS5004	Page Numbe
REGISTRATION INFORMATION HUNT DESIGN ASSOCIATES INC. 19695	www.huntdesign.ca		םכ ine Ave, Markham,	-,	905.737.5133 F 905.737.7326	17 01 30
All drawings specifications related documents and design are the copyright property of Hunt Design Associates (H.D.	.A). Reproduction of this property in whole or in part is strictly prohibited without H.D.A	.'s written permissio	n (H.D.A. assumes no re	sponsibility or liability for	this property unless it bears the appropriate BCIN nun	nber and original signature.)







REAR ELEVATION 'A' - CORNER



JOHN G. WILLIAMS LTD., ARCHITECT

ARCHITECTURAL CONTROL REVIEW

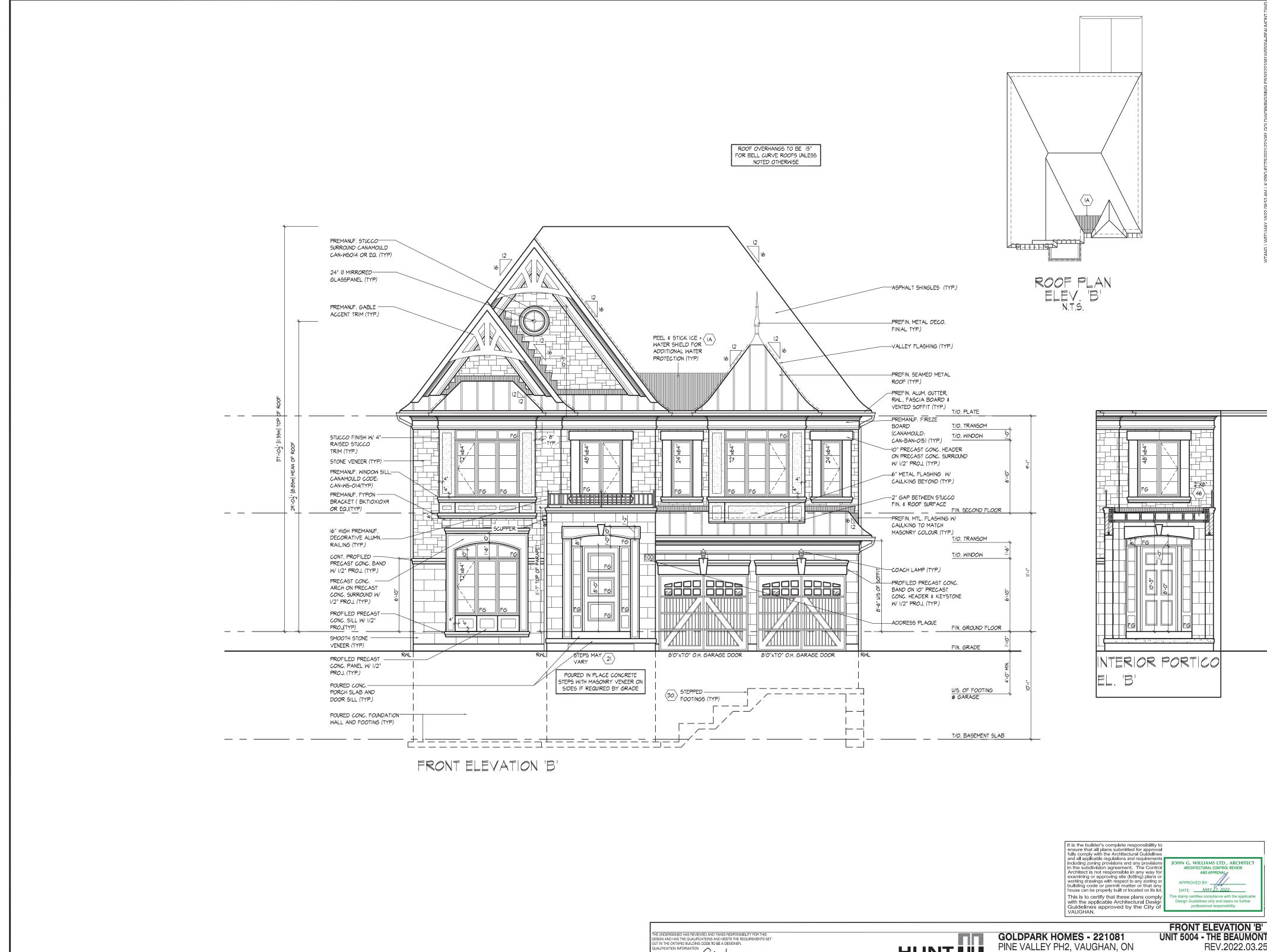
AND APPROVAL

APPROVED BY:

DATE: MAY 27, 2022

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

							REAR ELEVAT	ION 'A' CORNER
THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET			GOLDPA	<b>RK HOI</b>	MES - 22	1081	UNIT 5004	- THE BEAUMONT
OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.  QUALIFICATION INFORMATION		HUNTUU	PINE VAL	LEY PH	2, VAUGH	AN, ON		REV.2022.03.25
Allan Whiting 231	77 CIN		Drawn By	Checked By	Scale		File Number	Page Number
REGISTRATION INFORMATION		DESIGN ASSOCIATES INC.	MC	SB	3/16"=1'-0 <b>"</b>		221081WS5004	20 of 30
HUNT DESIGN ASSOCIATES INC. 196	95	www.huntdesign.ca	8966 Woodbine A	Ave, Markham	, ON L3R 0J7	T 905.737.5133	F 905.737.7326	
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THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE RECUIREMENTS SET OUT IN THE OTHER PROVIDED CONTRATION BULLDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION

Allan Whiting

23177

AMME
REGISTRATION INFORMATION

BCIN

DESIGN ASSOCIATES INC.

19695

DESIGN ASSOCIATES INC.

BOBY

Checked By

Scale
File Number

Page Numbe

MC

SB

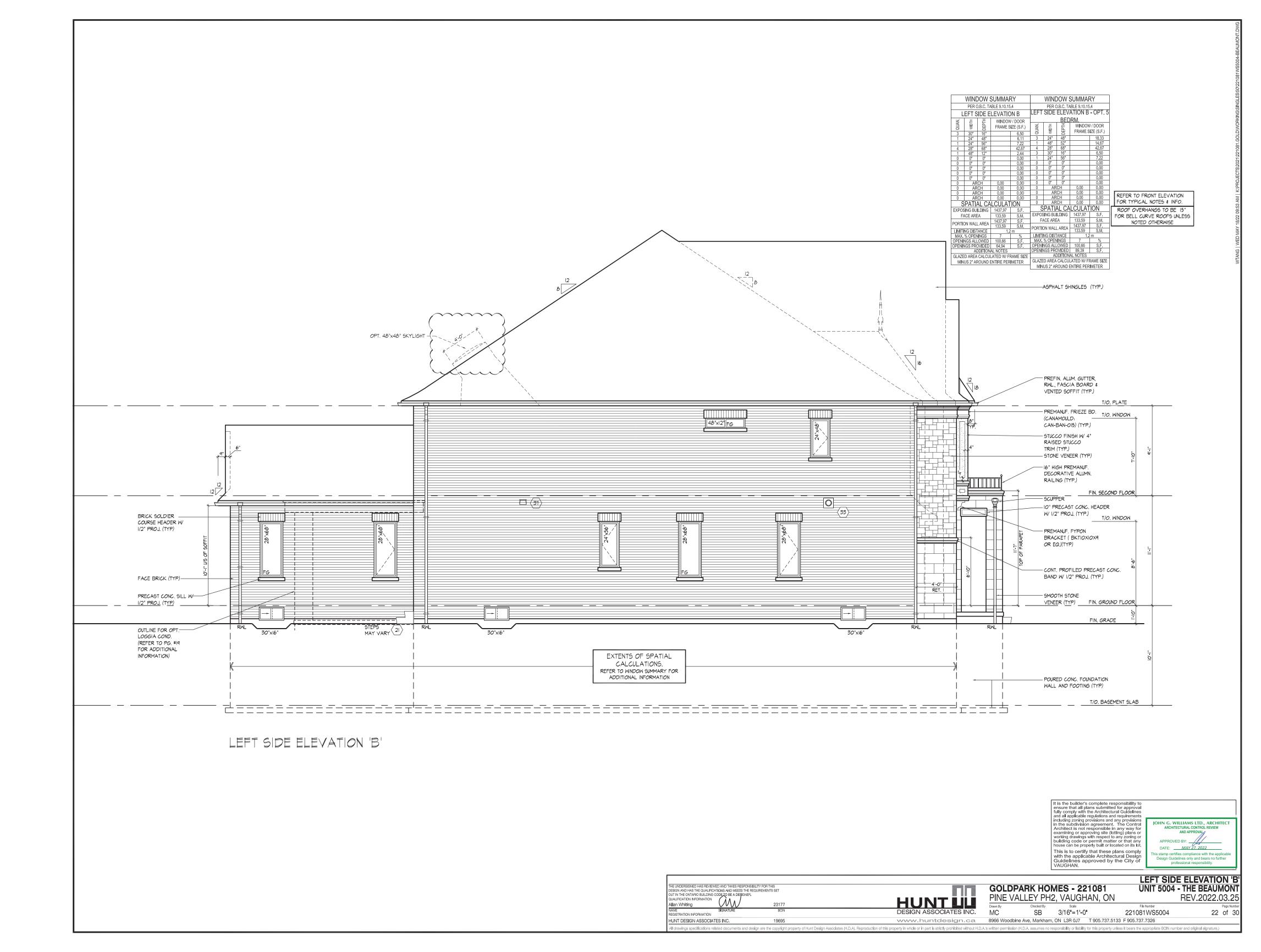
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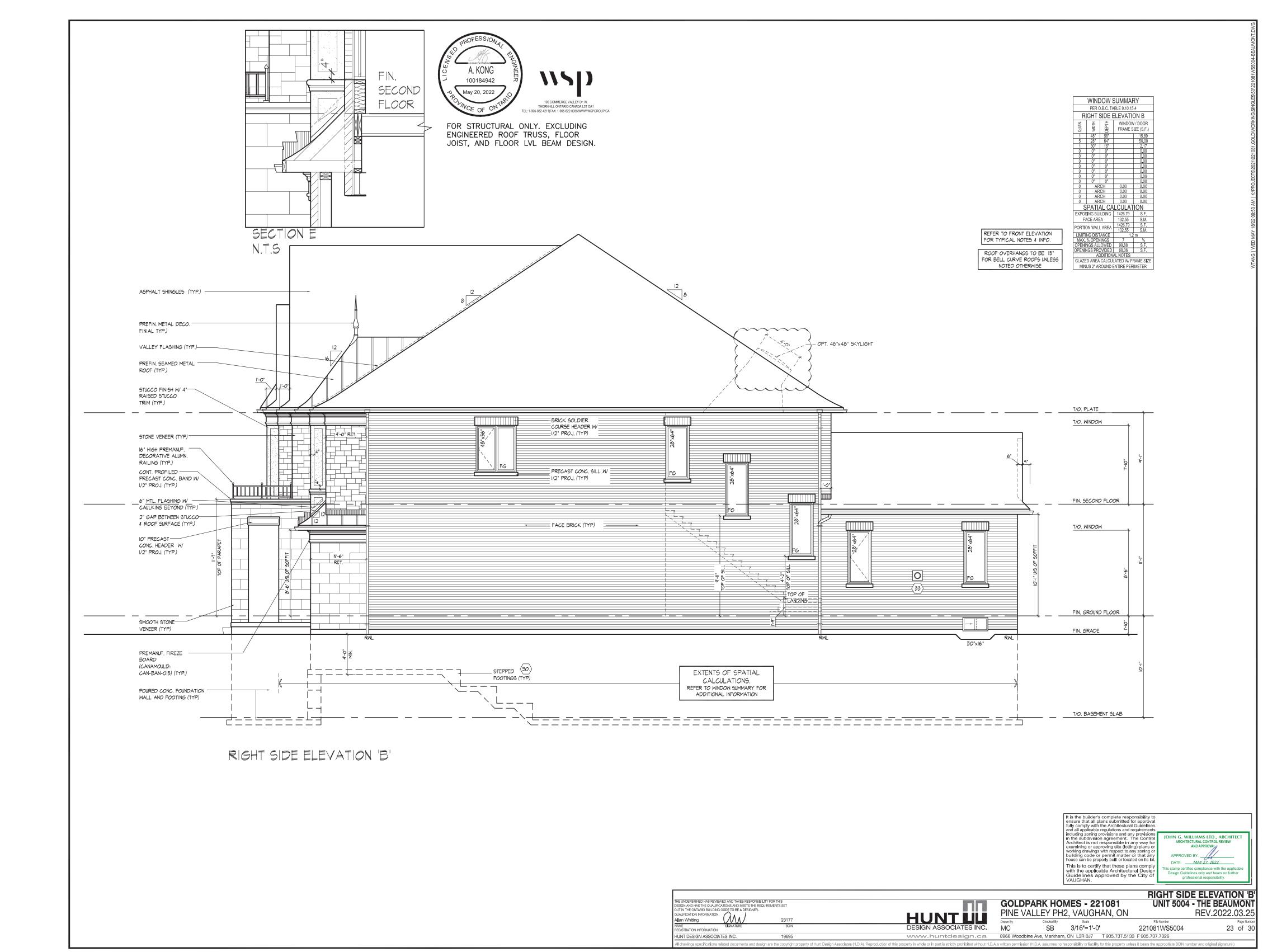
221081 WS5004

The 1905-737.5133

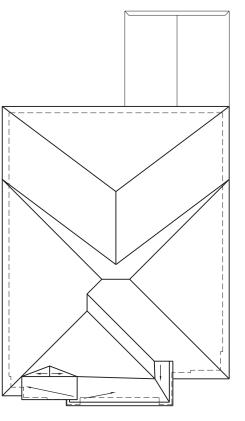
F 905.737.7326

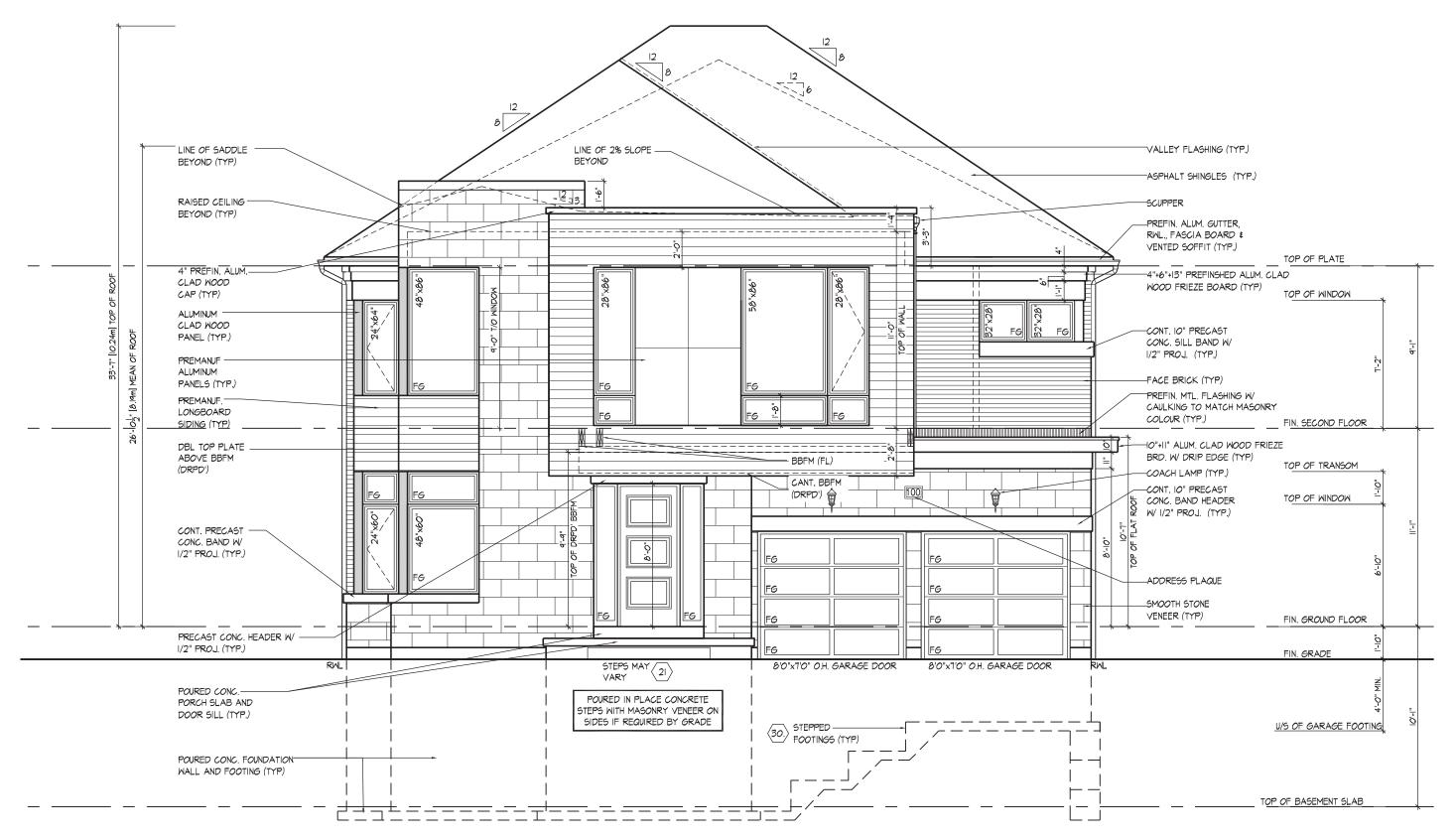
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ROOF OVERHANGS TO BE 15" FOR BELL CURVE ROOFS UNLESS NOTED OTHERWISE





FRONT ELEVATION 'C'

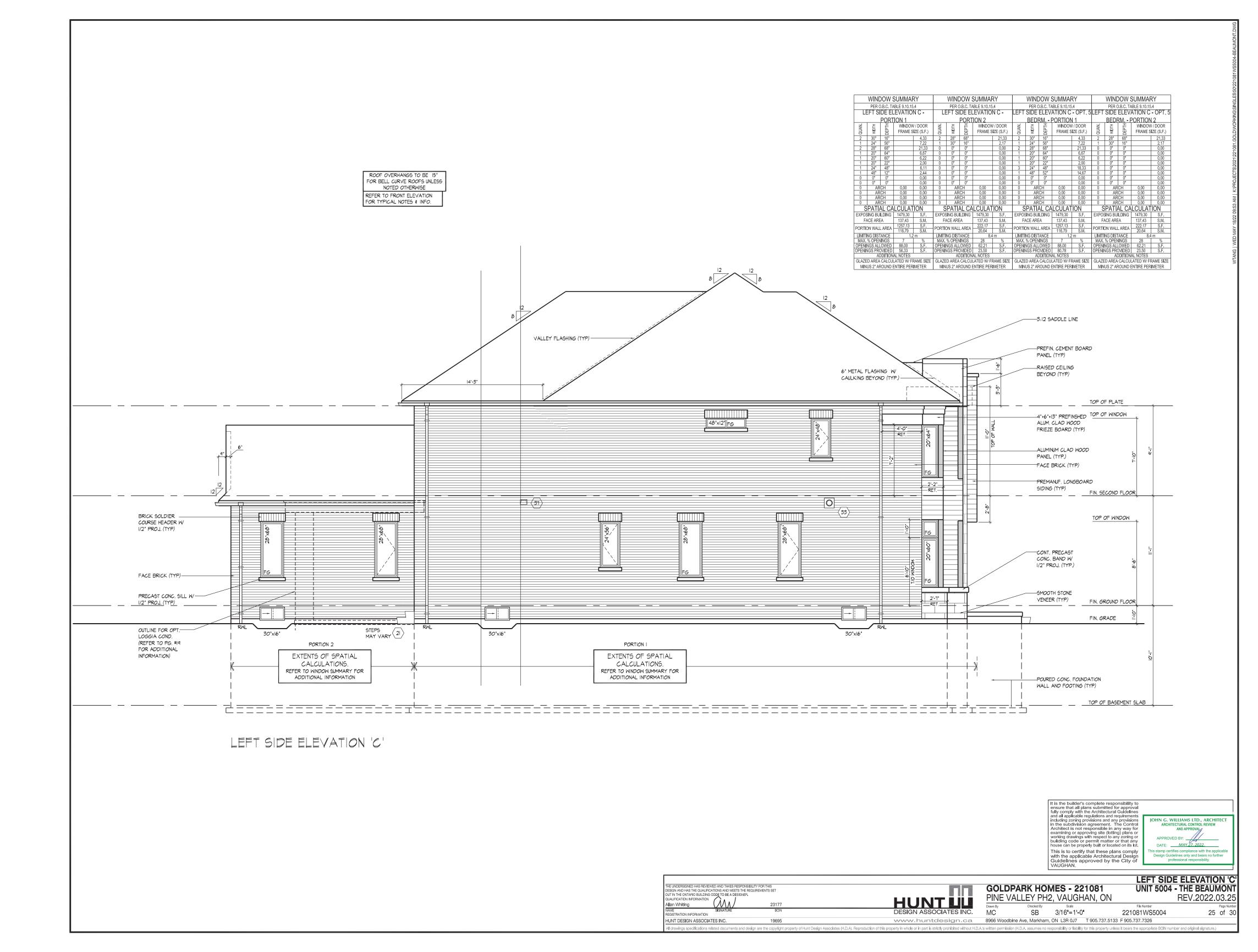
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot. This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

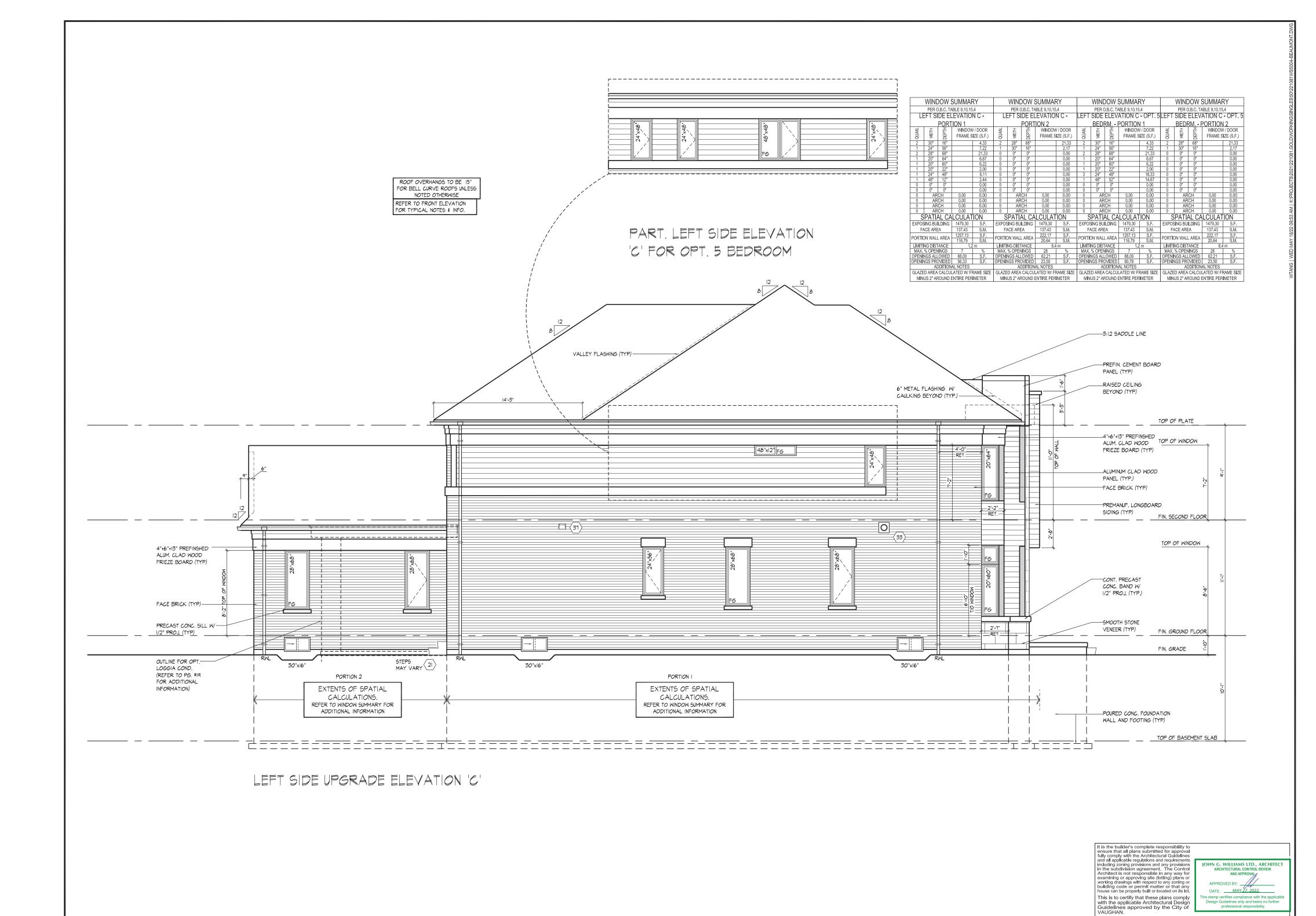
JOHN G. WILLIAMS LTD., ARCHITECT ARCHITECTURAL CONTROL REVIEW AND APPROVAL APPROVED BY:

DATE: <u>MAY 27, 2022</u>

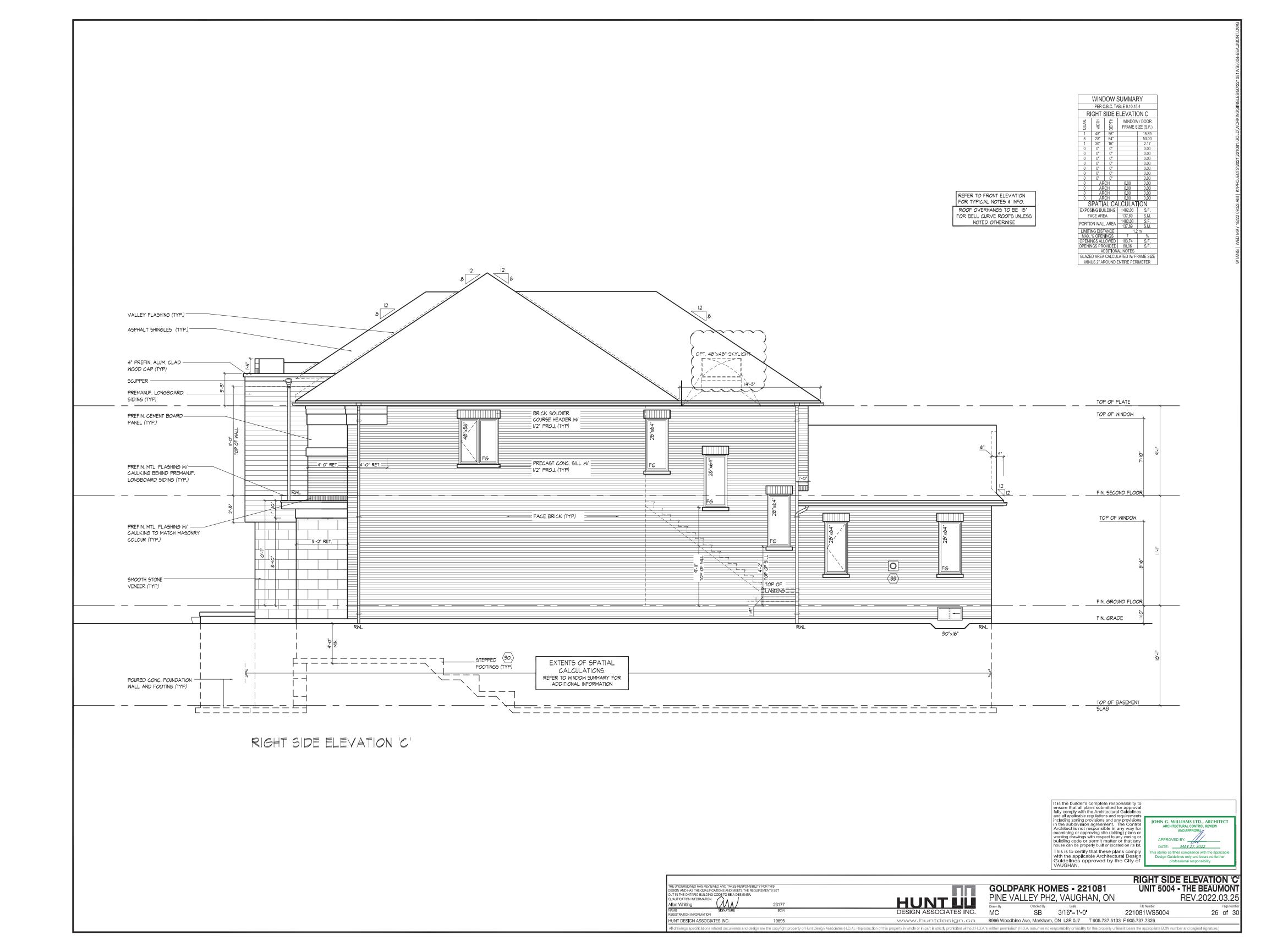
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

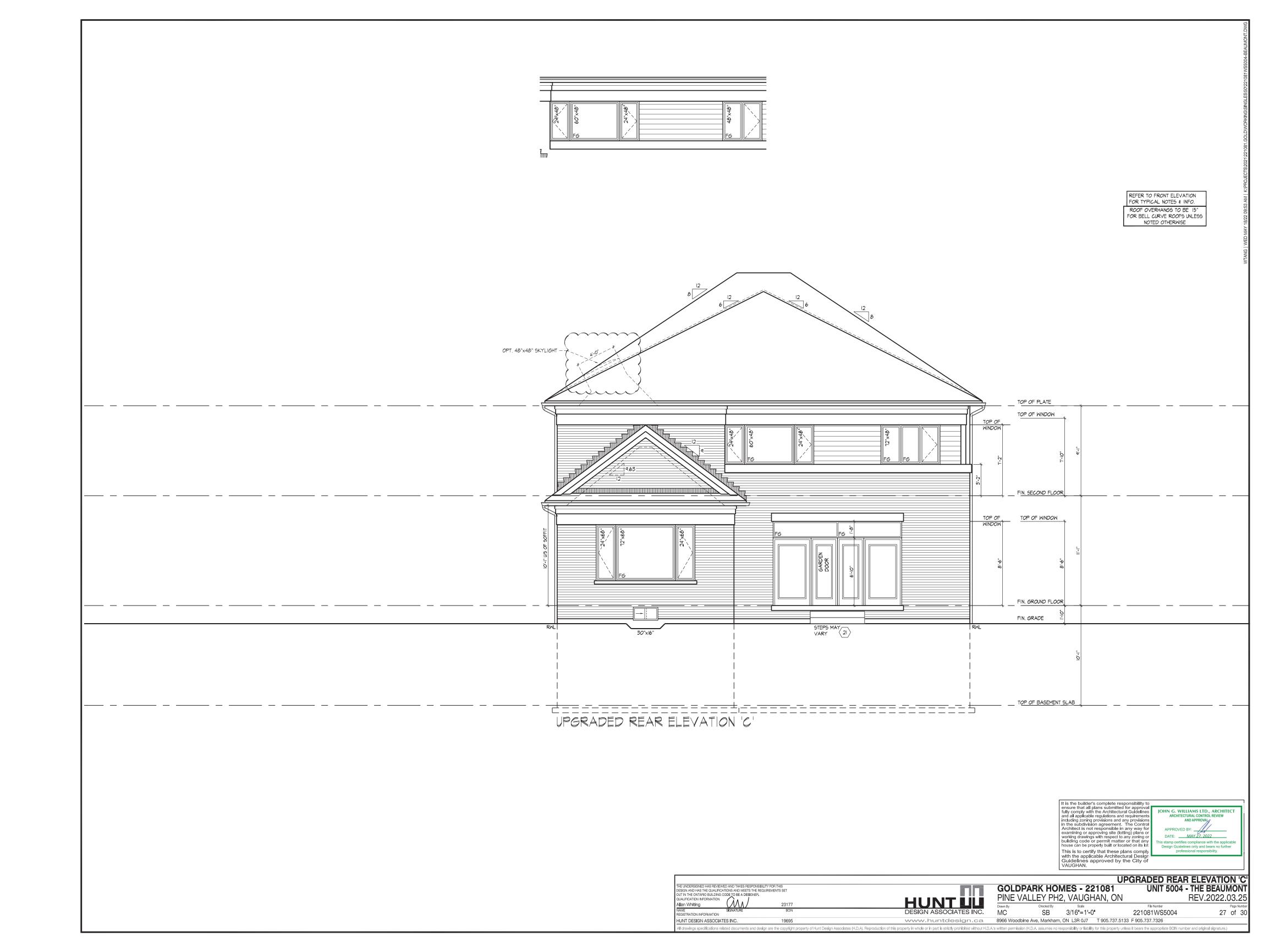
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Allan Whiting VVV	23177 BCIN		Drawn By	Checked By	Scale	File Number	Page Numi
REGISTRATION INFORMATION	DOIN	DESIGN ASSOCIATES INC.	MC	SB	3/16"=1' <b>-</b> 0"	221081WS5004	24 of 3
HUNT DESIGN ASSOCIATES INC.	19695	www.huntdesign.ca	8966 Woodbine	e Ave, Markham,	ON L3R 0J7 T 905	.737.5133 F 905.737.7326	
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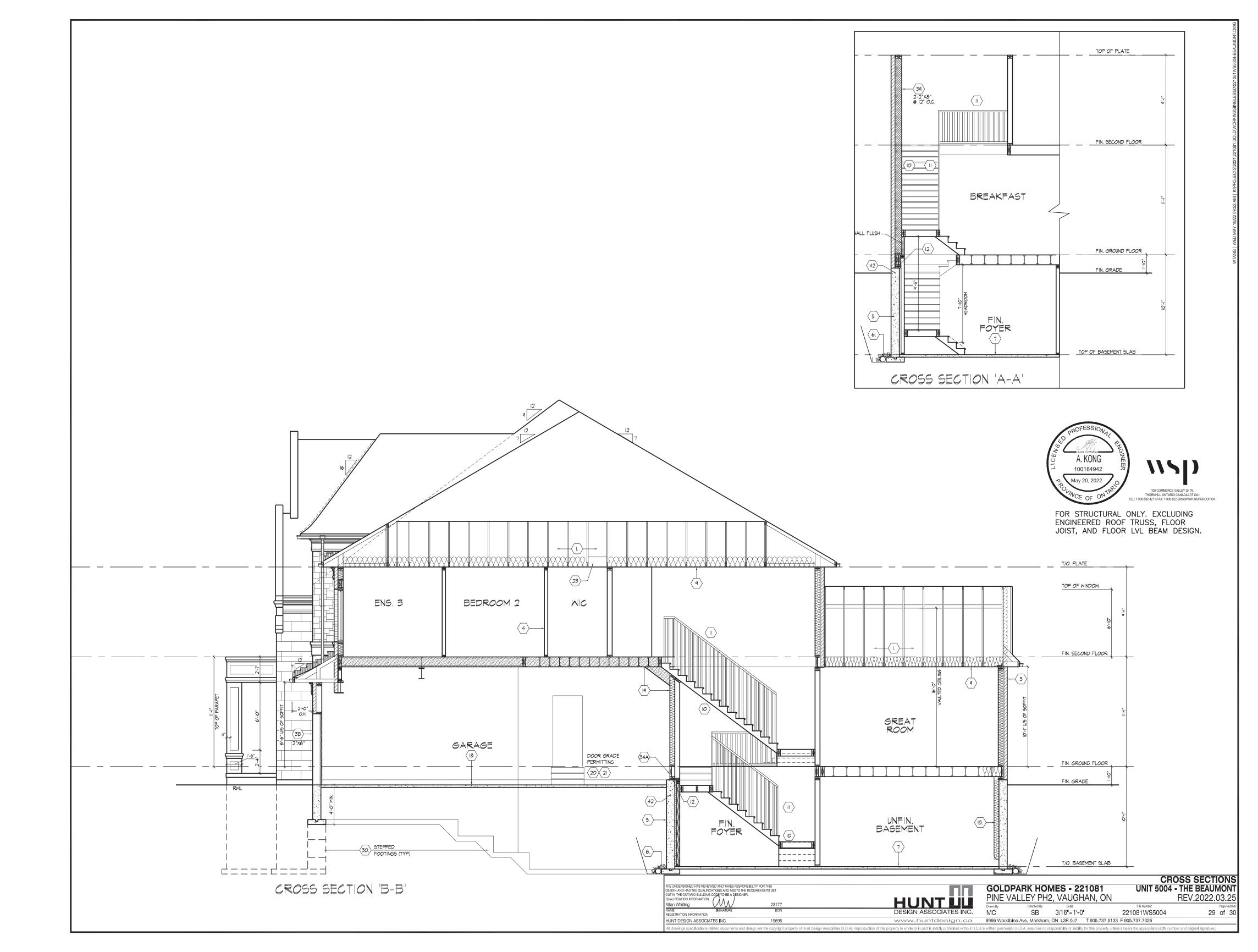


LEFT SIDE UPGRADE ELEVATION 'C' 081 UNIT 5004 - THE BEAUMONT THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS **GOLDPARK HOMES - 221081** DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER. PINE VALLEY PH2, VAUGHAN, ON REV.2022.03.25 **HUNT UU** Allan Whiting SB 3/16"=1'-0" NAME REGISTRATION INFORMATION 221081WS5004 25 of 30 MC 8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326 HUNT DESIGN ASSOCIATES INC. www.huntdesign.ca









PROVIDE ICE AND WATER SHIELD IN THE AREAS INDICATED. THE ICE AND WATER SHIELD SHALL BE A SELF ADHERING AND SELF SEALING MEMBRANE. SIDE LAPS MUST BE A MINIMUM 3 1/2" (90) AND END LAPS A MINIMUM 6" (152). AND TO EXTEND UP DORMER WALLS A MINIMUM 12" (305).

1B PROFILED ROOF TRUSSES

ROOF TRUSSES SHALL BE PROFILED AND/OR STEPPED AT RAISED COFFER/TRAY CEILINGS. ANGLED TRAY CEILINGS WILL BE SHEATHED W/ 3/8" (9.5) PLYWOOD.

SIDING WALL CONSTRUCTION (2'x6') SIDING MATERIAL AS PER ELEVATION ATTACHED TO FRAMING MEMBERS, FURRING MEMBERS OR BLOCKING BETWEEN THE FRAMING MEMBERS ON APPROVED SHEATHING PAPER ON 3/8" (9.5) EXT. GRADE SHEATHING ON STUDS CONFORMING TO 0.6.C (9.23.10.1.) & SECTION 1.1., INSULATION, APPROVED 6 MIL POLYETYLENE AIR/VAPOUR BARRIER, ON 1/2" (12.7) GYPSUM WALLBOARD INT. FIN. (GYPSUM SHEATHING, RIGID INSULATION, AND FIBERBOARD SHALL NOT BE USED FOR THE ATTACLIMENT OF SIDING 10.25 A 1.2 DEFENDENT OF SERVING SERVING.

FOR THE ATTACHMENT OF SIDING (9.23.16.3.(1.)) (REFER TO 35 NOTE AS REQ.)  $\langle {
m 2A} \rangle$  SIDING WALL CONSTRUCTION (2'x6') W/ CONTIN. INSULATION SIDING MATERIAL AS PER ELEVATION ATTACHED TO FURRING MEMBERS ON APPROVED AIR/WATER BARRIER AS PER O.B.C. 9.27.3. ON EXTERIOR TYPE RIGID INSULATION (JOINTS UNTAPED) MECHANICALLY FASTENED AS PER MANUFACTURER'S SPECIFICATIONS ON 3/8" (9.5) EXT. GRADE SHEATHING ON STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1., INSULATION, APPROVED 6 MIL POLYETHYLENE AIR/VAPOUR BARRIER, ON 1/2" (12.7) GYPSUM WALLBOARD

INT. FIN. (GYPSUM SHEATHING, RIGID INSULATION, AND FIBERBOARD SHALL NOT BE USED FOR THE ATTACHMENT OF SIDING (9.23.16.3.(1.)) (REFER TO 35 NOTE AS REQ.) 2B SIDING WALL @ GARAGE CONSTRUCTION SIDING MATERIAL AS PER ELEVATION ATTACHED TO FRAMING MEMBERS, FURRING MEMBERS OR BLOCKING BETWEEN THE FRAMING MEMBERS ON

APPROVED SHEATHING PAPER ON 3/8" (9.5) EXTERIOR TYPE SHEATHING ON STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1..1/2" (12.7) GYPSUM WALLBOARD INTERIOR FINISH. (GYPSUM SHEATHING, RIGID INSULATION AND (9.23.16.3.(1,)) (REFER TO 35 NOTE AS REQ.)

BRICK VENEER WALL CONSTRUCTION (2"x6")

3 1/2" (90) BRICK VENEER 1" (25) AIR SPACE, 7/8"x7"x0.03" (22x180x0.76) GALV. METAL @ 16" (400) O.C. HORIZ. 24" (600) O.C. VERT. BONDING AND FASTENING FOR TIES TO CONFORM WITH 9.20.9. ON APPROVED SHEATHING PAPER, 3/8" (9.5) EXTERIOR TYPE SHEATHING, STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1., INSULATION AND 6 mil POLYETHYLENE VAPOUR BARRIER WITH APPROVED CONTIN. AIR BARRIER. (12.7) GYPSUM WALLBOARD INTERIOR FINISH. PROVIDE WEEP HOLES @ 32' (800) O.C BOTTOM COURSE AND OVER OPENINGS. PROVIDE BASE FLASHING UP MIN. 6" (150) BEHIND BUILDING PAPER (9.20.13.6.) (REFER TO 35 NOTE AS REQUIRED)

BRICK VENEER WALL CONSTRUCTION (2"x6") W/ CONTIN. INSULATION 2" (90) BRICK VENEER 1" (25) AIR SPACE, 7/8"x7"x0.03" (22x180x0.76) GALV. METAL S @ 16" (400) O.C. HORIZ. 24" (600) O.C. VERT. BONDING AND FASTENING FOR S TO CONFORM WITH 9.20.9. ON APPROVED AIR/WATER BARRIER AS PER O.B.C. 9.27.3. ON EXTERIOR TYPE RIGID INSULATION (JOINTS UNTAPED) MECHANICALLY FASTENED AS PER MANUFACTURER'S SPECIFICATIONS, ON 3/8" (9.5) EXTERIOR TYPE SHEATHING, STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1., INSULATION AND 6 mil POLYETHYLENE VAPOUR BARRIER WITH APPROVED CONTIN. AIR BARRIER. 1/2" (12.7) GYPSUM WALLBOARD INTERIOR FINISH. PROVIDE WEEP HOLES @ 32" (800) O.C. BOTTOM COURSE AND OVER OPENINGS. PROVIDE BASE FLASHING UP MIN. 6" ( 150) OVER RIGID INSULATION (9.20.13.6.) (REFER TO 35 NOTE AS REQUIRED)

3B BRICK VENEER WALL @ GARAGE CONSTRUCTION 3 1/2" (90) BRICK VENEER, MIN. 1" (25) AIR SPACE, 7/8"x7"x0.03" (22x180x0.76) GALV. (METAL TIES @ 16" (400) O.C. HORIZ. 24" (600) O.C. VERT. BONDING AND FASTENING FOR TIES TO CONFORM WITH 9.20.9. ON APPROVED SHEATHING PAPER, 3/8" (9.5) EXTERIOR TYPE SHEATHING ON STUDS CONFORMING TO O.B.C (9.23.1 SECTION 1.1., 1/2" (12.7) GYPSUM WALLBOARD INTERIOR FINISH, PROVIDE WEEP HOLES @ 32" (800) O.C. AT BOTTOM COURSE AND OVER OPENINGS, PROVIDE

INTERIOR STUD PARTITIONS (9.23.9.8., 9.23.10) BEARING PARTITIONS SHALL BE A MINIMUM 2"x4" (38x89) @ 16" (406) O.C. FOR 2 STOREY AND 12" (305) O.C. FOR 3 STOREY, NON-BEARING PARTITIONS 2"x4" (38x89) @ 24" (610) O.C. PROVIDE 2"x4" (38x89) BOTTOM PLATE AND 2-2"x4" (23x89) TOP PLATE. 1/2" (12.7) INT. DRYWALL BOTH SIDES OF STUDS, PROVIDE 2"x6" (38x140) STUDS WHERE NOTED. PROVIDE 2"x4" (38x89) @ 24" (610) O.C. LADDER FRAMING WHERE WALLS INTERSECT PERPENDICULAR TO ONE ANOTHER. PROVIDE 2 X<sup>4</sup> (38x89) WOOD BLOCKING ON FLAT @ 3-11" (1194) O.C. MAX. BETWEEN FLOOR

BASE FLASHING UP 6" (150) MIN. BEHIND BUILDING PAPER (9.20.13.6.) (REFER TO

JOISTS WHEN NON-LOADBEARING WALLS ARE PARALLEL TO FLOOR JOISTS. (4A) EXT. LOFT WALL CONSTRUCTION (2"x6") - NO CLADDING

4B EXT. LOFT WALL CONSTRUCTION (2"x6")
NO CLADDING W/ CONTINUOUS INSULATION
APPROVED AIRWATER BARRIER AS PER O.B.C. 9.27.3. ON EXTERIOR TYPE RIGID
INSULATION (JOINTS UNTAPED) MECHANICALLY FASTENED AS PER
INSULATION (JOINTS UNTAPED) ACCOUNT OF THE PROPERTY OF THE PROPERT MANUFACTURER'S SPECIFICATIONS, ON 3/8" (9.5) EXTERIOR TYPE SHEATHING, STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1., INSULATION AND 6 mil POLYETHYLENE VAPOUR BARRIER WITH APPROVED CONT. AIR BARRIER. 1/2" 12.7) GYPSUM WALLBOARD INT. FINISH. (9.23.)

5 FOUNDATION WALL/FOOTINGS

POURED CONC. FOUNDATION WALL AS PER CHART BELOW ON CONTINUOUS KEYED CONC. FOONDATION WALL AS PER CHART BELOW ON CONTINUOUS KEYED CONCRETE FOOTING, FOUNDATION WALLS SHALL EXTEND NOT LESS THAN 6" (150) ABOVE FINISHED GRADE. THE OUTSIDE OF THE FOUNDATION SHALL BE DAMPROOFED FROM THE TOP OF THE FOOTING TO FINISHED GRADE AND BRUSH COAT FROM THE TOP TO 2" BELOW GRADE. PROVIDE A DRAINAGE LAYER ON THE OUTSIDE OF THE FOUNDATION WALL. SEAL THE DRAINAGE LAYER ON THE OUTSIDE OF THE FOUNDATION WALL. SEAL THE DRAINAGE LAYER J THE TOP, THE TOP OF THE CONC. FOOTING SHALL BE DAMPROOFED CONCRETE FOOTINGS SUPPORTING JOIST SPANS GREATER THAN 16'-1" (4900) SHALL BE SIZED IN ACCORDANCE WITH 9.15.3.4 (1),(2) OF THE O.B.C. (REFER TO CHART BELOW FOR RESPECTIVE SIZE). BRACE FOUNDATION WALL PRIOR TO BACKFILLING. ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OF 125KPa S.L.S. OR COMPACTED ENGINEERED FILL WITH MIN. BEARING CAPACITY OF 125KPA S.L.S. IF SOIL BEARING DOES NOT MEET MINIMUM CAPACITY, ENGINEERED FOOTINGS ARE REQUIRED. ACTUAL SOIL BEARING CAPACITY TO BE VERIFIED WITH SOIL ENGINEERING REPORT.
REFER TO CONSTRUCTION DRAWINGS AND DETAILS FOR FOUNDATION

WALL STRENGTH AND THICKNESS AND 9.15.4. FOUNDATION WALLS SHALL NOT EXCEED 9'-10" (3.0m) IN UNSUPPORTED

HEIC	ט וחג	INTE99 O I LEUM	2E MOTED: [8:13	.4.2.(1.)]			
		INFORCED SOL	D CONCRETE FO	DUNDATION WAL	LS (9.15.4.2.)		
E 贸 MAX. HEIGHT FROM FIN. SLAB TO GRADE							
STRENGTH	THICKNESS	UNSUPPORTED	SI	JPPORTED AT TO	)P		
l is	崖	AT TOP	≤2.5m	>2.5m & ≤2.75m	>2.75m & ≤3.0m		
MPa	<b>*</b> 8"	3'-11" (1.20m)	7'-0" (2.15m)	7'-0" (2.15m)	6'-10" (2.10m)		
	10"	4'-7" (1.40m)	7'-6" (2.30m)	8'-6" (2.60m)	8'-2" (2.50m)		
15	12"	4'-11" (1.50m)	7'-6" (2.30m)	8'-6" (2.60m)	9'-3" (2.85m)		
МРа	<b>*</b> 8"	3'-11" (1.20m)	7'-6" (2.30m)	7'-6" (2.30m)	7'-2" (2.20m)		
	10"	4'-7" (1.40m)	7'-6" (2.30m)	8'-6" (2.60m)	9'-3" (2.85m)		
20	12"	4'-11" (1.50m)	7'-6" (2.30m)	8'-6" (2.60m)	9'-3" (2.85m)		
L OII N	AINI TH	HOK EULINDATIO	MI WALL IS DECL	IDED FOR MASC	VIDA NEVIEED		

\* 9 Min. THICK FOUNDATION WALL IS REQUIRED FOR MASONAT VENEER FINISHED EXTERIOR WALLS WITH CONTINUOUS INSULATION CONDITION, TO PROVIDE MIN. BEARING FOR SILL PLATES, BEAMS AND FLOOR JOIST AS PER

9.23.7.2., 9.23.8.1.	, & 9.23.9.1. OF THE	O.B.C.				
MINIMUM STRIP FOOTING SIZES (9.15.3.) UNLESS NOTED OTHERWISE ON PLANS						
NUMBER FLOORS SUPPORTED	SUPPORTING INT. LOAD BEARING MASONRY WALLS	SUPPORTING EXTERIOR	SUPPORTING PARTYWALL			
1	16' WIDE x 6" THICK	16" WIDE x 6" THICK	16" WIDE x 6" THICK			
2	24' WIDE x 8" THICK	20" WIDE x 6" THICK	24" WIDE x 8" THICK			
3	36" WIDE x 14" THICK	26" WIDE x 9" THICK	36" WIDE x 14" THICK			

REFER TO SB-12 ENERGY EFFICIENCY DESIGN MATRIX ON THE TITLE PAGE FOR ALL VALUES AS REQUIRED PER 3.1.1., 3.1.2., 3.1.3. OF THE OBC.

FOUNDATION REDUCTION IN THICKNESS FOR MASONRY THE FOUNDATION WALL IS REDUCED IN THICKNESS. PERMIT THE INSTALLATION OF MASONRY EXTERIOR FACING, SECTION SHALL BE NOT LESS THAN 3 1/2" (90) THICK, THE BRICK VENEER SHALL BE TIED TO THE FOUNDATION WALL WITH CORROSION RESISTANT METAL TIES @ 7 7/8" (200) VERTICAL AND 2'-11" (889) HORIZONTAL. FILL VOID WITH MORTAR BETWEEN WALL AND BRICK VENEER (9.15.4.7(2)(3) & 9.20.9.4(3))

FOUNDATION REDUCTION IN THICKNESS FOR JOISTS WHERE THE TOP OF THE FOUNDATION WALL IS REDUCED IN THICKNESS TO PERMIT THE INSTALLATION OF FLOOR JOISTS. THE REDUCED SECTION SHALL F NOT MORE THAN 13 3/4" (350) HIGH & NOT LESS THAN 3 1/2" (90) THICK (9.15.4.7(1))

WEEPING TILE (9.14.3.)

" (100) Ø WEEPING TILE W/ FILTER CLOTH WRAP & 6" (152) CRUSHED STONE COVER **BASEMENT SLAB OR SLAB ON GRADE** (9.16.4.) (9.13.)

3" (80) MIN. 25MPa (3600psi) CONC. SLAB ON 4" (100) COARSE GRANULAR FILL, OR 20MPa (2900psi) CONC. WITH DAMPPROOFING BELOW SLAB. PROVIDE 1/2" (12.7) IMPERVIOUS BOARD FOR BOND BREAK AT EDGE. WHERE A BASEMENT SLAB IS WITHIN 24" (610) OF THE EXTERIOR GRADE PROVIDE RIGID INSUL. AROUND THE PERIMETER EXTENDING MIN. 24" (610) BELOW GRADE. FOR SLAB ON GRADE CONDITIONS RIGID INSULATION SHALL BE APPLIED TO THE UNDERSIDE OF THE ENTIRE SLAB. ([SB-12] 3.1.1.7.(5) & (6))

**EXPOSED FLOOR TO EXTERIOR** (9.10.17.10, & CAN/ULC-S705.2) PROVIDE SPRAY FOAM INSULATION BETWEEN CANT. JOIST AND INSTALL OSB CONFIRMING TO 9.29.9. FIN. SOFFIT OR CLADDING AS PER ELEVATION TO U/S OF EXPOSED CANT. JOIST.

EXPOSED CEILING TO EXTERIOR w/ ATTIC (9.25.2.4) INSULATION, 6 mil POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM BOARD INTERIOR FINISH OR APPROVED FO.

EXPOSED CEILING TO EXTERIOR W/o ATTIC

JOISTS/TRUSSES AS PER PLANS W/ 2"x2" (38x38) PURLINS @ 16" (406) O.C. PERPENDICULAR TO JOISTS (PURLINS NOT REQ. W/ SPRAY FOAM OR ROOF TRUSSES), W/ INSULATION BETWEEN JOIST, 6 mil POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7 GYPSUM BOARD INT. FINISH OR APPROVED EQ. (CAN/ULC-S705.2, 9.19.1, 9.10.17.10)

ALL STAIRS/EXTERIOR STAIRS (9.8.1.2., 9.8.2., 9.8.4.) PUBLIC 2"-11" (900) MIN. RUN 5 7/8" (150) MIN. AVG. BLIN 11" (280)

RAGE RUN OF TAPERED TREAD MEASURED AT A POINT 300mm FROM THE CENTERLINE \* HEIGHT OVER STAIRS (HEADROOM) IS MEASURED VERTICALLY ACROSS WIDTH OF

REQUIRED LANDING IN GARAGE - O.B.C. 9.8.6.2.(3.)
FOR AN EXTERIOR STAIR SERVING A GARAGE W/ MORE THAN 3 RISERS.
GUARDS, HANDRAILS & STEPS AS PER CONSTRUCTION HEX NOTE 10 & 11.

**GUARDS/RAILINGS** (9.8.7., 9.8.8.) GUARDS TO BE DESIGNED NOT TO FACILITATE CLIMBING AND PROVIDING MAX. OPENING CONFORMING TO O.B.C. 9.8.8.5. & 9.8.8.6. AND BE ABLE TO RESIST LOADS AS PER TABLE 9.8.8.2.

GUARD HEIGHTS - O.B.C. 9.8.8.

INTERIOR GUARDS: 2-11" (900) MIN.

EXTERIOR GUARDS: 2-11" (900) MIN. (LESS THAN 5-11" (1800) TO GRADE)

3-6" (1070) MIN. (MORE THAN 5-11" (1800) TO GRADE)

GUARDS FOR EXIT STAIRS: 3-6" (1070) MIN.

GUARDS FOR LANDINGS @ EXIT STAIRS: 3'-6" (1070) MIN.
GUARDS FOR FLOORS & RAMPS IN GARAGES (SERVICE STAIRS)
FLOOR OR RAMP W/O EXTERIOR WALLS THAT IS 23 5/8" (600) OR MORE ABOVE ADJACENT SURFACE REQUIRES CONT. CURB MIN. 6" (150) HIGH, AND GUARD MIN. 3'-6" (1070) HIGH.

TWEEN WALKING SURFACE & ADJACENT SURFACE WITH A DIFFERENCE IN ELEVATION MORE THAN 23 5/8" (600) OR ADJACENT SURFACE WITHIN 3-11" (1200) & WALKING SURFACE W/ A SLOPE MORE THAN 1 IN 12 SHALL BE PROTECTED WITH GUARDS PER CONSTRUCTION HEX NOTE 11. HANDRAIL HEIGHTS - O.B.C. 9.8.7. - REQUIRED AS PER 9.8.7.1.(3)
MIN. HEIGHT AT STAIRS, RAMP AND LANDINGS: 2'-10" (865)

MAX. HEIGHT AT STAIRS, RAMP AND LANDING: 3'-6" (1070)

2"x4" (38x89) SILL PLATE WITH 1/2" (12.7)Ø ANCHOR BOLTS 8" (200) LONG, EMBEDDED MIN. 4" (100) INTO CONC. @ 4-0" (1220) O.C., CAULKING OR GASKET BETWEEN PLATE AND TOP OF FOUNDATION WALL. USE NON-SHRINK GROUT TO LEVEL SILL PLATE WHEN REQUIRED (9.23.7.)

**BASEMENT INSULATION** ([SB-12] 3.1.1.7.) PROVIDE CONTINUOUS BLANKET INSULATION W/ BUILT IN 6 mil POLYETHYLENE VAPOUR BARRIER. INSULATION TO EXTEND NO MORE THAN 8" (200) ABOVE FINISHED BASEMENT FLOOR. DAMPROOFED WITH BUILDING PAPER BETWEEN THE FOUNDATION WALL AND INSULATION UP TO GRADE LEVEL.

3/8" (9.5) EXTERIOR TYPE SHEATHING, STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1., INSULATION AND 6 mil POLYETHYLENE VAPOUR BARRIER WITH APPROVED CONT. AIR BARRIER. 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (9.23.) 2"x4" (38x89) STUDS @ 16" (406) O.C., 2"x4" (38x89) SILL PLATE (2"x6" (38x140) AS REQUIRED) ON DAMPPROOFING MATERIAL OR 2 mil POLYETHYLENE FILM, 1/2" (12.7) Ø ANCHOR BOLTS 8" (200) LONG, EMBEDDED 4" (100) MIN. INTO CONC. @ 7-10" (2390) O.C. 4" (100) HIGH CONC. CURB ON CONC. FOOTING, FOR SIZE REFER TO HEX NOTE 5. ADD HORIZ. BLOCKING AT MID-HEIGHT IF WALL IS UNFINISHED.

ADJUSTABLE STEEL BASEMENT COLUMN (9.15.3.4.) 9'-10" (3000) MAX. SPAN BETWEEN COLUMNS. 3 1/2" (90)Ø SINGLE TUBE ADJUSTABLE STEEL COLUMN CONFORMING TO CAN/CGSB-7.2M, AND WITH 6"x6"x3/8" (152x152x9.5) STEEL PLATE TOP & BOTTOM. FIELD WELD BASEMENT COLUMN CONNECTION. POURED CONCRETE FOOTING ON NATURAL UNDISTURBED SOIL OF 125KPa S.L.S. OR COMPACTED ENGINEERED FILL WITH MIN. BEARING CAPACITY OF 125KPA S.L.S. AS PER SOILS REPORT.

SUPPORTING 2 STOREY FLR. LOAD PROVIDE 34"x34"x16" (870x870x410) CONC. FOOTING

SUPPORTING 3 STOREY FLR. LOAD PROVIDE 40"x40"x19" (1060x1060x480) CONC. FOOTING

15A) NON-ADJUSTABLE STEEL BASEMENT COLUMN

STEEL PLATE TOP & BOTTOM. BOTTOM PLATE CW 2 1/2"Ø X 12" LONGX2" HOOK ANCHORS. FIELD WELD BASEMENT COLUMN CONNECTION. POURED CONCRETE FOOTING ON NATURAL UNDISTURBED SOIL OF 125KPA S.L.S. OR COMPACTED ENGINEERED FILL WITH MIN. BEARING CAPACITY OF 125KPA S.L.S. AS PER SOILS REPORT. SUPPORTING 2 STOREY FLR. LOAD PROVIDE 42"x42"x18" (1070x1070x460) CONC. FOOTING SUPPORTING 3 STOREY FLR. LOAD PROVIDE 48"x48"x24" (1220x1220x610) CONC. FOOTING

NON-ADJUSTABLE STL. COLUMN AT FOUNDATION WALL

3 1/2" (90)/01 x 0 188" (4 78) NON-AD "LOTAD" 3 1/2" (90)Ø x 0.188" (4.78) NON-ADJUSTABLE STEEL COLUMN WITH 6"x6"x3/8" (152x152x9.5) STEEL TOP PLATE & 6"x4"x3/8" (152x100x9.5) BOTTOM PLATE. BASE PLATE 4-1/2'x10'x1/2' (120x250x12.7) WTH 2- 1/2''Ø x 12''LONG x 2'' HOOK ANCHORS (2- 12.7Øx305x50). FIELD WELD COLUMN TO BASE PLATE & STEEL BM.

STEEL BEAM BEARING AT FOUNDATION WALL (9.23.8.1.) BEAM POCKET OR 8"x8" (200x200) POURED CONC. NIB WALLS, MIN. BEARING 3 1/2" (90). CONC. NIB WALLS TO HAVE EXTENDED FOOTINGS

**WOOD STRAPPING AT STEEL BEAMS** (9.23.4.3.(3.), 9.23.9.3.) 1"x3" (19x64) CONTIN. WOOD STRAPPING BOTH SIDES OF STEEL BEAM.

(18) GARAGE SLAB (9.16., 9.35.) 4" (100) 32MPa (4640psi) CONC. SLAB WITH 5-8% AIR ENTRAINMENT ON OPT. 4" (100) COARSE GRANULAR FILL WITH COMPACTED SUB-BASE OR COMPACTED NATIVE FILL. SLOPE TO FRONT @ 1% MIN. GARAGE TO HOUSE WALLS/CEILING (9.10.9.16.)

1/2" (12.7) GYPSUM BOARD ON WALL AND CEILING BETWEEN HOUSE AND GARAGE, PLUS REQUIRED INSULATION IN WALLS AND SPRAY FOAM FOR CEILINGS. TAPE AND SEAL ALL JOINTS GAS TIGHT. (9.10.17.10, CAN/ULC-S705.2 GARAGE TO HOUSE WALLS/CEILING W/ CONTIN. INSULATION 1/2" (12.7) GYPSUM BOARD ON CEILING AND ON WALLS INSTALLED OVER EXTERIOR TYPE RIGID INSULATION (JOINTS UNTAPED) MECHANICALLY FASTENED AS PER MANUFACTURER'S SPECIFICATIONS ON 3/8" EXTERIOR GRADE SHEATHING ON STUDS BETWEEN HOUSE AND GARAGE, PLUS REQUIRED INSULATION IN WALLS & SPRAY FOAM FOR CEILINGS. TAPE AND

SEAL ALL JOINTS GAS TIGHT. (9.10.9.16., 9.10.17.10, CAN/ULC-S705.2)

**GARAGE DOOR TO HOUSE** (9.10.9.16., 9.10.13.10., 9.10.13.15.) AS-PROOF DOOR AND FRAME. DOOR EQUIPPED WITH SELF CLOSING DEVICE AND WEATHER STRIPPING.

EXTERIOR AND GARAGE STEPS

PRECAST CONC. STEP OR WOOD STEP WHERE NOT EXPOSED TO WEATHER.
MAX RISE 7 7/8" (200), MIN. TREAD 9 1/4" (235), FOR THE REQUIRED NUMBER
OF STEPS REFER TO SITING AND GRADING DRAWINGS. EXTERIOR CONCRETE
STAIRS WITH MORE THAN 2 RISERS AND 2 TREADS SHALL BE PROVIDED WITH FOUNDATION AS REQUIRED BY ARTICLE 9.8.9.2. OR SHALL BE CANTILEVERED AS PER SUBSECTION 9.8.10.

DRYER EXHAUST

CAPPED DRYER EXHAUST VENTED TO EXT. CONFORMING TO PART 6, OBC 9.32. **ATTIC ACCESS** (9.19.2.1.)

ATTIC ACCESS HATCH WITH MIN. AREA OF 0.32m2 AND NO DIM. LESS THAN 21 1/2" (545) WITH WEATHER STRIPPING, HATCHWAYS TO THE ATTIC OR ROOF SPACE WILL BE FITTED WITH DOORS OR COVERS AND WILL BE INSULATED WITH MIN. R20 (RSI 3.52) ([SB-12] 3.1.1.8.(1))

FIREPLACE CHIMNEYS (9.21.)

TOP OF FIREPLACE CHIMNEY SHALL BE 2'-11" (889) ABOVE THE HIGHEST POINT AT WHICH IT COMES IN CONTACT WITH THE ROOF AND 2'-0" (610) ABOVE THE ROOF SURFACE WITHIN A HORIZ. DISTANCE OF 10'-0" (3048) FROM THE CHIMNEY

LINEN CLOSET PROVIDE 4 SHELVES MIN. 14" (356) DEEP.

MECHANICAL VENTILATION (9.32.1.3.) MECHANICAL EXHAUST FAN, VENTED TO EXTERIOR, TO PROVIDE AT LEAST ONE AIR CHANGE PER HOUR. SEE GENERAL NOTE 2.3.

PARTY WALL BEARING (9.23.8)

12"x12"x5/8" (305x305x15.9) STEEL PLATE FOR STEEL BEAMS AND 12"x12"x1/2" (305x305x12.7) STEEL PLATE FOR WOOD BEAMS BEARING (MIN. 3-1/2" (89)) ON CONC. BLOCK PARTY WALL, ANCHORED WITH 2-3/4" (2-19) x 8" (200) LONG GALV. ANCHORS WITHIN SOLID BLOCK COURSE. LEVEL W/ NON-SHRINK GROUT. REFER TO NOTE SOLID BEARING (SECTION 3.0) FOR WD. STUD PARTY WALL.

WOOD FRAMING IN CONTACT TO CONCRETE

WOOD BEARING WALLS, THE UNDERSIDE OF BUILT-UP WOOD POSTS AND SILLS SHALL BE WRAPPED WITH 2 mil POLY. STRIP FOOTINGS SUPPORTING THE FOUNDATION WALL SHALL BE WIDENED 6" (152) BELOW THE BEARING WALL AND/OR WOOD POST. (9.17.4.3.)

29) BUILT-UP WOOD POST AND FOOTING (9.17.4.1., 9.15.3.7.) 3-2"x6" (3-38x140) BUILT-UP WOOD POST (UNLESS OTHERWSE NOTED) ON METAL BASE SHOE ANCHORED TO CONC. WITH 1/2" (12.7) Ø BOLT, 24 "x24 "x12 "x12 "x12" (12.7) (610x610x305) CONC. FOOTING OR AS PROVIDED ON PLAN. REFER TO NOTE 28

**STEP FOOTINGS** (9.15.3.9.) MIN. HORIZ. STEP = 23 5/8" (600). MAX. VERT. STEP = 23 5/8" (600).

CONC. PORCH SLAB (9.16.4.) MIN. 4" (100) CONCRETE SLAB ON GRADE ON 4" (100) COARSE GRANULAR FILL, REINFORCED WITH 6x6xW2.9xW2.9 MESH PLACED NEAR MID-DEPTH O SLAB. CONC. STRENGTH 32MPa (4640psi) WITH 5-8% AIR ENTRAINMENT ON COMPACTED SUB-GRADE

FURNACE VENTING (9.32.)

DIRECT VENT FURNACE TERMINAL MIN. 3'-0" (915) FROM A GAS REGULATOR. MIN. 12" (305) ABOVE FIN. GRADE, FROM ALL OPENINGS, EXHAUST AND INTAKE VENTS. HRV INTAKE TO BE A MIN. OF 6'-0" (1830) FROM ALL EXHAUST TERMINALS. REFER TO GAS UTILIZATION CODE.

FIREPLACE VENTING (9.32.3.) DIRECT VENT GAS FIREPLACE VENT TO BE A MIN. 12" (305) FROM AN

OPENING AND ABOVE FIN. GRADE. REFER TO GAS UTILIZÁTION CODE. **FLOOR FRAMING** (9.23.3.5., 9.23.9.4., 9.23.14.) ⟨⟨34⟩

T&G SUBFLOOR ON WOOD FLOOR JOISTS, FOR CERAMIC TILE APPLICATION SEE O.B.C. 9.30.6. ALL JOISTS WHERE REQUIRED TO BE BRIDGED WITH 2"X2" (38x38) CROSS BRACING OR SOLID BLOCKING @ 6-11" (2108) O.C. MAX. ALL JOISTS TO BE STRAPPED WITH 1"X3" (19x64) @ 6-11" (2108) O.C. UNLESS A PANEL TYPE CEILING FINISH IS APPLIED.

HEADER CONSTRUCTION

PROVIDE CONTINUOUS APPROVED AIR/VAPOUR BARRIER (HEADER WRAP) UNDER THE SILL PLATE, AROUND THE RIM BOARD AND UNDER THE BOTTOM PLATE. THE HEADER WRAP SHALL EXTEND 6" (152) BELOW THE TOM POF FOUNDATION WALL AND WILL BE SEALED TO THE CONCRETE FOUNDATION WALL AND WILL BE SEALED TO THE CONCRETE FOUNDATION WALL. EXTEND HEADER WRAP 6" (152) UP THE INTERIOR SIDE OF THE STUD WALL AND OVERLAP WITH THE VAPOUR BARRIER AND SEAL THE STUD WALL AND OVERLAP WITH THE VAPOUR BARRIER AND SEAL THE JOINT. ALL EDGES/JOINTS MUST BE MECHANICALLY CLAMPED.

EXPOSED BUILDING FACE w/ LIMITING DISTANCE <= 3'-11" (1.20m) WALL ASSEMBLY CONTAINS INSULATION CONFORMING TO CAN/ULC-S702 & HAVING A MASS OF NOT LESS THAN 1.22 KG/M2 OF WALL SURFACE AND 1/2" (12.7) TYPE X GYPSUM WALLBOARD INTERIOR FINISH. EXTERIOR CLADDING MUST BE NON-COMBUSTIBLE WHEN LIMITING DISTANCE IS 23 5/8" (0.60m) OR LESS. WALL ASSEMBLY REQUIRES TO HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN 45 MINUTES & CONFORMING TO 0.B.C. (9.10.14. OR 9.10.15.). REFER TO DETAILS FOR TYPE & SPECS. \*\* AN OPENING IN AN EXPOSING BUILDING FACE NOT MORE THAN 20 in? (130cm²) SHALL NOT BE CONSIDERED AN UNPROTECTED OPENING AS PER 9.10.14.6.

COLD CELLAR PORCH SLAB (9.39.)

FOR MAX. 8'-2" (2500) PORCH DEPTH, 5" (127) 32 MPa (4640psi) CONC. SLAB W/5-8% AIR ENTRAINMENT. REINF. WITH 10M BARS @ 7 7/8" (200) O.C. EACH DIRECTION, W. 1 1/4" (32) CLEAR COVER FROM BOTTOM OF SLAB TO FIRST LAYER OF BARS & SECOND LAYER OF BARS LAID DIRECTLY ON TOP OF LOWER LAYER IN OPPOSITE DIR. 24"x24" (610x610) 10M DOWELS @ 23 5/8" (600) O.C., ANCHORED IN PERIMETER FND. WALLS. SLOPE SLAB 1.0% FROM DOOR.

**RANGE HOODS AND RANGE-TOP FANS** 

COOKING APPLIANCE EXHAUST FANS VENTED TO EXTERIOR MUST CONFORM TO OBC 9.10.22, 9.32.3.9. & 9.32.3.10.

**CONVENTIONAL ROOF FRAMING** (9.23.13., 9.23.15.) 2"x6" (38x140) RAFTERS @ 16" (406) O.C., 2"x8" (38x184) RIDGE BOARD. 2"x4" (38x89) COLLAR TIES AT MID-SPAN. CEILING JOISTS TO BE 2"x4" (38x89) @ 16" (406) O.C. FOR MAX. 9-3" (2819) SPAN & 2"x6" (38x140) @ 16" (406) O.C. FOR MAX. SPAN 14-7" (4450). RAFTERS FOR BUILT UP ROOF OVER PRE-ENGINEERED ROOF TRUSSES AND OR CONVENTIONAL FRAMING TO BE 2"x4" (38x89) @ 24" (610) O.C. UNLESS OTHERWISE SPECIFIED.

cont. SECTION 1.0. CONSTRUCTION NOTES

**TWO STOREY VOLUME SPACES** (9.23.10.1., 9.23.11., 9.23.16.) 
 WALL ASSEMBLY
 WIND LOADS

 EXTERIOR
 STUDS
 <= 0.5 kPA (q50)</td>
 > 0.5 kPa (q50)

 SPACING
 MAX HEIGHT
 SPACING
 MAX HEIGHT

 BRICK
 2-2"x6"
 12" (305) O.C.
 18-4" (5588)
 8" (200) O.C.
 18-4" (5588)
 SIDING (2-38×140) SPR.#2 16" (406) O.C. 18'-4" (5588) 12" (305) O.C. 18'-4" (5588) BRICK 2-2"x8" 12" (305) O.C. 21'-0" (6400) 12" (305) O.C. 21'-0" (6400) SDING SPR.#2 16" (406) O.C. 21'-0" (6400) 16" (406) O.C. 21'-0" (6400) \*\* STUD SIZE & SPACING TO BE VERIFIED BY STRUCTURAL ENGINEER \*

STUDS ARE TO BE CONTINUOUS, C/W 3/8" (9.5) THICK EXTERIOR PLYWOOD SHEATHING. PROVIDE SOLID WOOD BLOCKING BETWEEN WOOD STUDS @ 4'-0" (1220) O.C. VERTICALLY. - FOR HORIZ. DISTANCES LESS THAN 9-6' (2896) PROVIDE 2"X6' (38x140) STUDS @ 16' (406) O.C. WITH CONTIN. 2-2"X6" (2-38x140) TOP PLATE + 1-2"X6" (1-38x140) BOTTOM PLATE & MIN. OF 3-2"X8" (3-38x184) CONT. HEADER AT GROUND FLOOR CEILING LEVEL TOE-NAILED & GLUED AT TOP, BOTTOM PLATES & HEADERS.

1 HR. PARTY WALL (CONC. BLOCK) ([SB-3] WALL TYPE 'B6e' & 'B1b') /2" (12.7) GYPSUM SHEATHING ON FACH SIDE ON 2"x2" (38x38) VERTICAL WD

STRAPPING @ 24" (610) O.C. ON 8" (200) CONC. BLOCK FILL STRAPPING CAVITY EACH SIDE WITH AT LEAST 90% OF ABSORPTIVE MATERIAL PROCESSED FROM ROCK, SLAG OR GLASS. TAPE, FILL & SAND ALL GYPSUM JOINTS. EXPOSED BLOCK MUST BE SEALED W/ 2 COATS OF PAINT OR FURRED WITH 2"x2" (38x38) WD. STRAPPING & 1/2" (12.7) GYPSUM SHEATHING. 40 1 HR. PARTY WALL (DOUBLE STUD) ([SB-3] WALL TYPE 'W13c')

5/8" (15.9) TYPE 'X' GYPSUM SHEATHING ON EXTERIOR SIDE OF 2 ROWS OF 2"x4" (38x89) STUDS @ 16" (406) O.C., MIN. 1" (25) APART ON SEPARATE 2"x-(38x89) SILL PLATES. (2"x6" (38x140) AS REQUIRED) FILL ONE SIDE OF STUD CAVITY WITH AT LEAST 90% OF ABSORPTIVE MATERIAL PROCESSED FROM ROCK, SLAG OR GLASS. TAPE FILL AND SAND ALL GYPSUM JOINTS. 40A) 2 HR. FIREWALL ([SB-3] WALL TYPE 'B6e' & 'B1b')

1/2" (12.7) GYPSUM SHEATHING ON EACH SIDE ON 2"X2" (38x38) VERTICAL WOOD STRAPPING @ 24" (610) O.C ON 8" (200) CONC. BLOCK 75% SOUID. FILL STRAPPING CAVITY EACH SIDE WITH AT LEAST 90% OF ABSORPTIVE MATERIAL PROCESSED FROM ROCK, SLAG OR GLASS. TAPE, FILL & SAND ALL GYPSUM JOINTS. AT UNFINISHED AREAS, EXTERIOR FACE OF CONC. BLOCK TO BE SEALED WITH 2 COATS OF PAINT. GYPSUM SHEATHING TO BE ATTACHED TO CONC. BLOCK, (REFER TO DETAILS)

41 STUCCO WALL CONSTRUCTION (2'x6') STUCCO FINISH CONFORMING TO O.B.C. SECTION 9.28. AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1 1/2" (38) E.I.F.S. (MINIMUM) ON APPROVED DRAINAGE MAT ON 1/2" (12.7) DENSGLASS GOLD GYPSUM BOART ON STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1., INSULATION, APPROVED 6 MIL. POLYETHYLENE VAPOUR BARRIER. 1/ WALLBOARD INT. FINISH. (REFER TO 35 NOTE AS REQUIRED)

(41A) STUCCO WALL CONSTRUCTION (2'x6") W/ CONTIN. INSUL. STUCCO FINISH CONFORMING TO O.B.C. SECTION 9.28. AND APPLIED PERMANUFACTURERS SPECIFICATIONS OVER 1 1/2" (38) E.I.F.S. (MINIMUM) ON APPROVED DRAINAGE MAT ON APPROVED AIR/WATER BARRIER AS PÉR APPROVED DRAINAGE MAI ON APPROVED AIR/WALLER DARRIER AS FED OLD C. 9.27.3. ON EXTERIOR TYPE RIGID INSULATION (JOINTS UNTAPED) MECHANICAL FASTENED AS PER MANUFACTURER'S SPECIFICATIONS, ON 7/16" EXTERIOR TY SHEATHING ON STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1., INSULATION, APPROVED 6 MILL POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (REFER TO 35 NOTE AS REQUIRED)

41B STUCCO WALL @ GARAGE CONST. STUCCO FINISH CONFORMING TO O.B.C. SECTION 9.28. AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1 1/2" (38) E.F.I.S (MINIMUM) ON APPROVED DRAINAGE MAT ON 1/2" (12.7) DENSGLASS GOLD GYPSUM BRD. ON STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1., 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (REFER TO 35 NOTE AS REQ.) \*\* FOR DWELLINGS USING CONTIN. INSULATION CONSTRUCTION PROVIDE APPROVED DRAINAGE MAT ON 7/16" (11) EXTERIOR TYPE SHEATHING OVER FURRING (AS REQ.) AND STUDS IN LIEU OF 1 1/2" (38) E.F.I.S (MINIMUM) ON APPROVED DRAINAGE MAT ON 1/2" (12.7) DENSGLASS GOLD GYPSUM BRD

UNSUPPORTED FOUNDATION WALLS (9.15.4.2.) REINFORCING AT STAIRS AND SUNKEN FLOOR AREAS 2-20M BARS IN TOP PORTION OF WALL (UP TO 8-0" OPENING) 3-20M BARS IN TOP PORTION OF WALL (8-0" TO 10'-0" OPENING) 4-20M BARS IN TOP PORTION OF WALL (10'-0" TO 15'-0" OPENING - BARS STACKED VERTICALLY AT INTERIOR FACE OF WALL @ 6" O.C REINFORCING AT BASEMENT WINDOWS

2-15M HORIZ. REINFORCING ON THE INSIDE AND OUTSIDE FACE OF THE FOUNDATION WALL BELOW THE WIN. SILL. EXTEND BARS 24" (610) BEYOND THE OPENING. 2-15M VERTICAL REINFORCING ON THE INSIDE AND OUTSIDE FACE OF THE FOUNDATION WALL ON EACH SIDE OF THE WINDOW OPENING. - BARS TO HAVE MIN. 1" (25) CONC. COVER - BARS TO EXTEND 2"-0" (610) BEYOND BOTH SIDES OF OPENING

43 STUD WALL REINFORCEMENT PROVIDE STUD WALL REINFORCEMENT IN MAIN BATHROOM CONFORMING TO O.B.C. (9.5.2.3.(1)) (REFER TO DETAILS)

WINDOW WELLS

HUNT DESIGN ASSOCIATES INC

WHERE A WINDOW OPENS INTO A WINDOW WELL, A CLEARANCE OF NOT LESS THAN 21 5/8" (550) SHALL BE PROVIDED IN FRONT OF THE WINDOW. EVERY WINDOW WELL SHALL BE DRAINED TO THE FOOTING LEVEL OR OTHER SUITABLE LOCATION WITH A 4" (100) WEEPING TILE C/W A FILTER CLOTH WRAP AND FILLED WITH CRUSHED STONE. (9.9.10.1.(5), 9.14.6.3.)

SLOPED CEILING CONSTRUCTION ([SB-12] 3.1.1.8., 9.23.4.2.) 2"x12" (38x286) ROOF JOISTS @ 16" (406) O.C. MAX. (UNLESS OTHERWISE NOTED) W/ 2"x2" (38x38) PURLINS @ 16" (406) O.C. PERPENDICULAR TO ROOF JOIST (PURLINS NOT REC. W. SPRAY FOAM), W/ INSULATION BETWEEN JOIST, 6 mil POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH OR APPROVED EQ. INSULATION VALUE DIRECTLY ABOVE THE INNER SURFACE OF EXTERIOR WALLS SHALL NOT BE LESS THAN R20 (3.52 RSI).

FLAT ROOF/BALCONY CONSTRUCTION

WATERPROOFING MEMBRANE (9.26.11, 9.26.15, 9.26.16) FULLY ADHERED TO 5, (15.9) T&G EXTERIOR GRADE PLYWOOD SHEATHING ON 2"x2" (38x38) PURLINS (10.9) TAG EXTERIOR GRADE TET WOOD STEATHING ON 2.2. (29.30) FORLING ANGLED TOWARDS SCUPPER @ 2% MINIMUM LAID PERPENDICULAR TO 2:%8" (38x184) FLOOR JOISTS @ 16" (406) O.C. (UNLESS OTHERWISE NOTED). BUILT CURB TO BE 4" (100) MIN. ABOVE FINISHED BALCONY FLOOR. CONTINUOUS 'L TRIM DRIP EDGE TO BE PROVIDED ON OUTSIDE FACE OF CURB. SCUPPER DR. TO BE LOCATED 24" (610) MIN. AWAY FROM HOUSE. PREFINISHED ALUMINUM PANEL FOR UNDERSIDE OF SOFFIT (9.23.2.3). REMOVE CURB WHERE REQ. **BALCONY CONDITION** 

SEE FLAT ROOF/BALCONY CONSTRUCTION NOTE. INCLUDE 2"x4" (38x89) PT. DECKING W/ 1/4" (6.4) GAPS LAID FLAT PARALLEL TO JOISTS ON 2"x4" (38x89) PT. SLEEPERS @ 12" (305) O.C. LAID FLAT PERPENDICULAR TO JOISTS BALCONY OVER HEATED SPACE CONDITION SEE FLAT ROOF/BALCONY CONSTRUCTION NOTE FOR ASSEMBLY. REFER TO PLANS FOR FLOOR JOIST SIZE & REFER TO HEX NOTE 9 FOR INSULATION AND

BARREL VAULT CONSTRUCTION

CANTILEVERED 2"X4" (38x89) SPACERS LAID FLAT ON 2"X10" (38x235) SPR. #2 ROOF JOIST NAILED TO BUILT-UP 3-3/4" (19) PLYWOOD HEADER PROFILED FOR BARREL. SPRAY FOAM INSULATION BETWEEN JOISTS W/ GYPSUM BOARD. INTERIOR FIN. (REFER TO DETAILS)

- REFER TO THIS CHART FOR STUD SIZE & SPACING AS REQUIRED FOR EXTERIOR WALLS ONLY. REFER TO SITING & GRADING PLAN OF THIS UNIT FOR CONFIRMATION OF TOP OF FOUNDATION WALL AND ADDITIONAL INFORMATION.

	A ODAONIO OE		EEDENIOE TADI	E 0 00 10 1 )					
SIZE & SPACING OF STUDS: (OBC REFERENCE - TABLE 9.23.10.1.)  SUPPORTED LOADS (EXTERIOR)									
MIN.			, ,						
STUD	ROOF w/ OR	ROOF w/ OR w/o	ROOF w/ OR w/o	ROOF w/ OR w/o					
SIZE.				ATTIC & 3 FLOOR					
in (mm)	MAY STUD SDACING in (mm) O.C.								
()	MAX. UNSUPPORTED HGT., ft-in (m)								
2"x4"	24" (610)	16" (405)	12" (305)	N/A					
(38x89)	9'-10" (3.0)	9'-10" (3.0)	9'-10" (3.0)	N/A					
2"x6"	-	24" (610)	16" (406)	12" (305)					
(38x140)	-	9'-10" (3.0)	11'-10" (3.6)	5'-11" (1.8)					

### **SECTION 2.0. GENERAL NOTES**

EXCEPT WHERE A DOOR ON THE SAME FLOOR LEVEL AS THE BEDROOM PROVIDES DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL CONTAINING A BEDROOM IS TO HAVE AT LEAST ONE OUTSIDE WINDOW W/ MIN. 0.35m2 UNOBSTRUCTED OPEN ORTION W/ NO DIMENSION LESS THAN 1'-3" (380). CAPABLE OF MAINTAINING THE OPENING WITHOUT THE NEED FOR ADDITIONAL SUPPORT, CONFORMING TO 9.9.10. 2) WINDOW GUARDS: A GUARD OR A WINDOW WITH A MAXIMUM RESTRICTED OPENING WIDTH OF 4" (100) IS REQUIRED WHERE THE TOP OF THE WINDOW SILL IS LOCATED LESS THAN 1'-7" (480) ABOVE FIN. FLOOR AND THE DISTANCE FROM THE INISHED FLOOR TO THE ADJACENT GRADE IS GREATER THAN 5'-11" (1800). (9.8.8.1. 3) WINDOWS IN EXIT STAIRWAYS THAT EXTEND TO LESS THAN 2-11" (900) [3-6" (1070) FOR ALL OTHER BUILDINGS] SHALL BE PROTECTED BY GUARDS IN ACCORDANCE WITH NOTE #2 (ABOVE). OR THE WINDOW SHALL BE NON-OPERABLE AND DESIGNED TO WITHSTAND THE SPECIFIED LOADS FOR BALCONY GUARDS AS PROVIDED IN

### 2.2. CEILING HEIGHTS

4.1.5.15 OR 9.8.8.2

THE CEILING HEIGHTS OF ROOMS AND SPACES SHALL CONFORM TO TABLE 9.5.3.1.						
ROOM OR SPACE	MINIMUM HEIGHTS					
LIVING ROOM, DINING ROOM AND KITCHEN	7'-7" OVER 75% OF REQUIRED FLOOR AREA WITH A CLEAR HEIGHT OF 6'-11" AT ANY POINT					
BEDROOM	7'-7" OVER 50% OF REQUIRED FLOOR AREA OR 6'-11" OVER ALL OF THE REQUIRED FLOOR AREA.					
BASEMENT	6'-11" OVER AT LEAST 75% OF THE BASEMENT AREA EXCEPT THAT UNDER BEAMS AND DUCTS THE CLEARANCE IS PERMITTED TO BE REDUCED TO 6'-5".					
BATHROOM, LAUNDRY AREA ABOVE GRADE	6'-11" IN ANY AREA WHERE A PERSON WOULD NORMALLY BE STANDING					
FINISHED ROOM NOT MENTIONED ABOVE	6-11"					
MEZZANINES	6'-11" ABOVE & BELOW FLOOR ASSEMBLY (9.5.3.2.)					
STORAGE GARAGE	6'-7" (9.5.3.3.)					

2.3. MECHANICAL / PLUMBING

I) MECHANICAL / PEUMBING

1) MECHANICAL VENTILATION IS REQUIRED TO PROVIDE 0.7 AIR CHANGE PER HOUR

IF NOT AIR CONDITIONED 1 PER HOUR IF AIR CONDITIONED AVERAGED OVER 24

HOURS. WHEN A VENTILATION FAN (PRINCIPAL EXHAUST) IS REQUIRED, CONFORM

TO OBC 9.32.3.4. WHEN A HRV IS REQUIRED, CONFORM TO 9.32.3.11. REFER TO

3) REFER TO TITLE PAGE FOR SPACE HEATING EQUIPMENT, HRV AND DOMESTIC HOT WATER HEATER MINIMUM EFFICIENCIES.

2.4. LUMBER LLUMBER SHALL BE SPRUCE No.2 GRADE OR BETTER, UNLESS NOTED OTHERWISE. 2) STUDS SHALL BE STUD GRADE SPRUCE, UNLESS NOTED OTHERWISE.

3) LUMBER EXPOSED TO THE EXTERIOR TO BE SPRUCE No. 2 GRADE PRESSURE TREATED OR CEDAR, UNLESS NOTED OTHERWISE.

5) JOIST HANGERS: PROVIDE APPROVED METAL HANGERS FOR ALL JOISTS AND BUILT-UP WOOD MEMBERS INTERSECTING WITH FLUSH BUILT-UP WOOD MEMBERS. 6) WOOD FRAMING NOT TREATED WITH A WOOD PRESERVATIVE, IN CONTACT WITH CONCRETE, SHALL BE SEPARATED FROM THE CONC. BY AT LEAST 2 mil POLYETHYLEN FILM, No.50 (45lbs) ROLL ROOFING OR OTHER DAMPPROOFING MATERIAL, EXCEPT

1) STRUCTURAL STEEL SHALL CONFORM TO CAN/CSA-G40-21 GRADE 350W. HOLLOW STRUCT. SECTIONS SHALL CONFORM TO CAN/CSA-G40-21 GRADE 350W CLASS "H".

2.6. FLAT ARCHES

1) FOR 8'-0" (2440) CEILINGS, FLAT ARCHES SHALL BE 6'-10" (2080) A.F.F. 2) FOR 9'-0" (2740) CEILINGS, FLAT ARCHES SHALL BE 7'-10" (2400) A.F.F. 3) FOR 10'-0" (3040) CEILINGS, FLAT ARCHES SHALL BE 8'-6" (2600) A.F.F.

**2.8. FLASHING** (9.20.13., 9.26.4. & 9.27.3.)

2.10. ULC SPECIFIED ASSEMBLIES
ALL REQUIRED INDIVIDUAL COMPONENTS THAT FORM PART OF ANY 'ULC LISTED

# **SECTION 3.0. LEGEND**

(DIVISION B PART 9, TABLES A8 TO A10 AND A12, A15 & A16)

		3.2. STEEL LIN	TELS	SUPPORTING MAS	ONF	RY VENEER
	LVL8	4-1 3/4"x9 1/2"	LVL9	4-1 3/4"x11 7/8"	LVL13	4-1 3/4"x14"
	LVL5	3-1 3/4"x9 1/2"	LVL7	3-1 3/4"x11 7/8"	LVL12	3-1 3/4"x14"
	LVL4	2-1 3/4"x9 1/2"	LVL6	2-1 3/4"x11 7/8"	LVL11	2-1 3/4"x14"
	LVL2	1-1 3/4"x9 1/2"	LVL3	1-1 3/4"x11 7/8"	LVL10	1-1 3/4"x14"
		1 3/4" x 9 1/2" LVL		1 3/4" x 11 7/8" LVL		1 3/4" x 14" LVL
R		ENGINEERED LUMB	ER SC	CHEDULE - GRADE 2.0E (U	NLES	S NOTE OTHERWISE)
D	B7	5/2"x8" (5/38x184)	B8	5/2"x10" (5/38x235)	B9	5/2"x12" (5/38x286)
	B2	4/2"x8" (4/38x184)	B4	4/2"x10" (4/38x235)	B6	4/2"x12" (4/38x286)
,	B1	3/2"x8" (3/38x184)	ВЗ	3/2"x10" (3/38x235)	B5	3/2"x12" (3/38x286)
`	L1	2/2"x8" (2/38x184)	L3	2/2"x10" (2/38x235)	L5	2/2"x12" (2/38x286)
		2"x8" SPRUCE #2		2"x10" SPRUCE #2		2"x12" SPRUCE #2
			0.20.	1121(0); 012011121(1); 012011210	.(.),(0	,, 0.20110101(2), 0.0110111(1

# (DIVISION D DADT O TABLE 0 20 E 2 D )

	FORMING PART OF SENTENCE 9.20.	5.2.(2) & 9.20.5.2.(3)	
CODE	SIZE	BRICK	STONE
L7	3 1/2" x 3 1/2" x 1/4" (89 x 89 x 6.4)	8'-1" (2.47m)	7'-6" (2.30m)
L8	4" x 3 1/2" x 1/4" (102 x 89 x 6.4)	8'-9" (2.66m)	8'-1" (2.48m)
L9	4 7/8" x 3 1/2" x 5/16" (127 x 89 x 7.9)	10'-10" (3.31m)	10'-1" (3.03m
L10	4 7/8" x 3 1/2" x 3/8" (127 x 89 x 11)	11'-5" (3.48m)	10'-7" (3.24m
L11	5 7/8" x 3 1/2" x 3/8" (152 x 89 x 11)	12'-6" (3.82m)	11'-7" (3.54m
L12	7 1/8" x 4" x 3/8" (178 x 102 x 11)	14'-1" (4.30m)	13'-1" (3.99m

REFER TO SB-12 ENERGY EFFICIENCY DESIGN MATRIX ON THE TITLE PAGE FOR ALL VALUES AS REQUIRED PER 3.1.1., 3.1.2., 3.1.3. OF THE OBC.

### **SECTION 1.1. WALL STUDS**

SIZE & SPACING OF STUDS: (OBC REFERENCE - TABLE 9.23.10.1.)									
MIN.		SUPPORTED LO	ADS (EXTER <b>I</b> OR)						
STUD SIZE.	ROOF w/ OR w/o ATT <b>I</b> C	ROOF w/ OR w/o ATTIC & 1 FLOOR	ROOF w/ OR w/o ATTIC & 2 FLOOR	ROOF w/ OR w/o ATTIC & 3 FLOOR					
in (mm)	MAX. STUD SPACING, in (mm) O.C.								
111 (111111)	MAX. UNSUPPORTED HGT., ft-in (m)								
2"x4"	24" (610)	16" (405)	12" (305)	N/A					
(38x89)	9'-10" (3.0)	9'-10" (3.0)	9'-10" (3.0)	N/A					
2"x6"	- 24" (610) 16" (406) 12" (305)								
(38x140)	-	9'-10" (3.0)	11'-10" (3.6)	5'-11" (1.8)					

2.1. WINDOWS

4) REFER TO TITLE PAGE FOR MAX. U-VALUE REQUIREMENTS

<u> </u>								
THE CEILING HEIGHTS OF R	OOMS AND SPACES SHALL CONFORM TO TABLE 9.5.3.1.							
ROOM OR SPACE	MINIMUM HEIGHTS							
LIVING ROOM, DINING ROOM AND KITCHEN	7-7" OVER 75% OF REQUIRED FLOOR AREA WITH A CLEAR HEIGHT OF 6'-11" AT ANY POINT							
BEDROOM	7'-7" OVER 50% OF REQUIRED FLOOR AREA OR 6'-11" OVER ALL OF THE REQUIRED FLOOR AREA.							
BASEMENT	6'-11" OVER AT LEAST 75% OF THE BASEMENT AREA EXCEPT THAT UNDER BEAMS AND DUCTS THE CLEARANCE IS PERMITTED TO BE REDUCED TO 6'-5".							
BATHROOM, LAUNDRY AREA ABOVE GRADE	6'-11" IN ANY AREA WHERE A PERSON WOULD NORMALLY BE STANDING							
FINISHED ROOM NOT MENTIONED ABOVE	6'-11"							
MEZZANINES	6'-11" ABOVE & BELOW FLOOR ASSEMBLY (9.5.3.2.)							
CTODACE CADACE	CI 7" (0 E 2 2 )							

MECHAN**I**CAL DRAW**I**NGS.

2) REFER TO HOT WATER TANK MANUFACTURER SPECS. CONFORM TO OBC 9.31.6

4) DRAIN WATER HEAT RECOVERY UNIT(S) WILL BE INSTALLED CONFORMING TO THE REQUIREMENTS OF SB12 - 3.1.1.12. OF THE O.B.C.

4) ALL LAMINATED VENEER LUMBER (LVL) BEAMS, GIRDER TRUSSES, AND METAL HANGER CONNECTIONS SUPPORTING ROOF FRAMING TO BE DESIGNED & CERTIFIED BY FLOOR AND ROOF TRUSS MANUFACTURER.

HERE THE WOOD MEMBER IS AT LEAST 6" (152) ABOVE THE GROUND.

2) REINFORCING STEEL SHALL CONFORM TO CSA-G30-18M GRADE 400R.

**2.7. ROOF OVERHANGS**1) ALL ROOF OVERHANGS SHALL BE 1'-0" (305). UNLESS NOTED OTHERWISE.

FLASHING MATERIALS & INSTALLATION SHALL CONFORM TO O.B.C 2.9. GRADING

1) THE BUILDING SHALL BE LOCATED OR THE BUILDING SITE GRADED SO THE WATER WILL NOT ACCUMULATE AT OR NEAR THE BUILDING AND WILL NOT ADVERSELY AFFECT ADJACENT PROPERTIES. CONFORM TO 9.14.6.

ASSEMBLY, SPECIFIED WITHIN THESE DRAWINGS, CANNOT BE ALTERED OR SUBSTITUTED FOR ANY OTHER MATERIAL/PRODUCT OR SPECIFIED MANUFACTURER THAT IS IDENTIFIED REFER TO HEX NOTE 35. & DETAILS FOR TYPE AND SPECIFICATIONS. IN THAT SPECIFIED ULC LISTING. THERE SHALL BE NO DEVIATIONS UNDER ANY

CIRCUMSTANCES IN ANY 'ULC LISTED ASSEMBLY' IDENTIFIED IN THESE DRAWINGS.

### 3.1, WOOD LINTELS AND BUILT-UP WOOD ORMING PART OF SENTENCE 9.23.4.2.(3), 9.23.4.2.(4), 9.23.12.3.(1),(3), 9.23.13.8.(2), 9.37.3.1

		3.2. STEEL LIN	TELS	S SUPPORTING MAS	ONF	RY VENEER			
	LVL8	4-1 3/4"x9 1/2"	LVL9	4-1 3/4"x11 7/8"	LVL13	4-1 3/4"x14"			
	LVL5 3-1 3/4"x9 1/2"			3-1 3/4"x11 7/8"	LVL12	3-1 3/4"x14"			
	LVL4 2-1 3/4"x9 1/2"		LVL6	2-1 3/4"x11 7/8"	LVL11	2-1 3/4"x14"			
	LVL2	1-1 3/4"x9 1/2"	LVL3	1-1 3/4"x11 7/8"	LVL10	1-1 3/4"x14"			
		1 3/4" x 9 1/2" LVL		1 3/4" x 11 7/8" LVL	1 3/4" x 14" LVL				
R	ENGINEERED LUMBER SCHEDULE - GRADE 2.0E (UNLESS NOTE OTHERWISE)								
	B7	5/2"x8" (5/38x184)	B8	5/2"x10" (5/38x235)	B9	5/2"x12" (5/38x286)			
	B2	4/2"x8" (4/38x184)	B4	4/2"x10" (4/38x235)	B6	4/2"x12" (4/38x286)			
,	B1	3/2"x8" (3/38x184)	ВЗ	3/2"x10" (3/38x235)		3/2"x12" (3/38x286)			
n	L1	2/2"x8" (2/38x184)	L3	2/2"x10" (2/38x235)	L5	2/2"x12" (2/38x286)			
		2"X8" SPRUCE #2		2"X10" SPRUCE #2	2"X12" SPRUCE #2				

CODE	SIZE	BRICK	STONE
L7	3 1/2" x 3 1/2" x 1/4" (89 x 89 x 6.4)	8'-1" (2.47m)	7'-6" (2.30m
L8	4" x 3 1/2" x 1/4" (102 x 89 x 6.4)	8'-9" (2.66m)	8'-1" (2.48n
L9	4 7/8" x 3 1/2" x 5/16" (127 x 89 x 7.9)	10'-10" (3.31m)	10'-1" (3.03)
L10	4 7/8" x 3 1/2" x 3/8" (127 x 89 x 11)	11'-5" (3.48m)	10'-7" (3.24
L11	5 7/8" x 3 1/2" x 3/8" (152 x 89 x 11)	12'-6" (3.82m)	11'-7" (3.54
L12	7 1/8" x 4" x 3/8" (178 x 102 x 11)	14'-1" (4.30m)	13'-1" (3.99)

CONFORMING TO SECTIONS 9.5.11, 9.6., 9.7.2.1, 9.7.5.2, & 9.10.13.10 EXTERIOR | 2'-8" x 6'-8" x 1-3/4" (815 x 2030 x 45) INSULATED MIN. R4 (RSI 0.7) EXTERIOR | 2'-10" x 6'-8" x 1-3/4" (865 x 2030 x 45) INSULATED MIN. R4 (RSI 0.7) EXTERIOR 3'-0" x 6'-8" x 1-3/4" (915 x 2030 x 45) INSULATED MIN. R4 (RSI 0.7) XTERIOR | 2'-6" x 6'-8" x 1-3/4" (760 x 2030 x 45) INSULATED MIN. R4 (RSI 0.7) EXTERIOR | 2'-8" x 6'-8" x 1-3/4" (815 x 2030 x 45) INS. MIN. R4 (RSI 0.7) (SEE HEX NOTE 20 E | EXTERIOR | 3'-0" x 8'-0" x 1-3/4" (915 x 2440 x 45) INSULATED MIN. R4 (RSI 0.7). EXTERIOR | 2'-8" x 8'-0" x 1-3/4" (815 x 2440 x 45) INSULATED MIN. R4 (RSI 0.7) EXTERIOR | 2-8" x 6-8" x 1-3/4" (815 x 2030 x 45) 20 MIN. F.R.P. DOOR/FRAME WITH APP. SELF CLOSING DEVIC INTERIOR | 2'-8" x 6'-8" x 1-3/8" (815 x 2030 x 35) INTERIOR | 2'-6" x 6'-8" x 1-3/8" (760 x 2030 x 35) INTERIOR | 2'-4" x 6'-8" x 1-3/8" (710 x 2030 x 35) INTERIOR DOORS FOR ALL 10' CEILING INTERIOR | 2'-0" x 6'-8" x 1-3/8" (610 x 2030 x 35) CONDITIONS A | INTERIOR | 2'-2" x 6'-8" x 1-3/8" (660 x 2030 x 35) INTERIOR | 1'-6" x 6'-8" x 1-3/8" (460 x 2030 x 35) 3.4. ACRONYMS

AFF	ABOVE FINISHED FLOOR		JOIST		
BBFM	BEAM BY FLOOR MANUFACTURER	LIN	LINEN CLOSET		
BG	FIXED GLASS W/ BLACK BACKING	LVL	LAMINATED VENEER LUMBER		
BM	BEAM	OTB/A	OPEN TO BELOW/ABOVE		
BBRM	BEAM BY ROOF MANUFACTURER	PL	POINT LOAD		
CRF	CONVENTIONAL ROOF FRAMING	PLT	PLATE		
C/W	COMPLETE WITH	PT	PRESSURE TREATED		
DJ/TJ	DOUBLE JOIST/ TRIPLE JOIST	PTD	PAINTED		
DO	DO OVER	PWD	POWDER ROOM		
DRP	DROPPED	RWL	RAIN WATER LEADER		
ENG	ENGINEERED	SB	SOLID BEARING WOOD POST		
EST	ESTIMATED	SBFA	SB FROM ABOVE		
FA	FLAT ARCH	SJ	SINGLE JOIST		
FD	FLOOR DRAIN	SPR	SPRUCE		
FG	FIXED GLASS	STL	STEEL		
FL	FLUSH	T/O	TOP OF		
FLR	FLOOR	TYP	TYPICAL		
GT	GIRDER TRUSS	U/S	UNDERSIDE		
НВ	HOSE BIB	WD	WOOD		
HRV	HEAT RETURN VENTILATION UNIT	WIC	WALK IN CLOSET		
HWT	HOT WATER TANK	WP	WEATHER PROOF		
ALL	3.5. SY ELECTRICAL FACILITIES SHALL BE INST.				
•	CLASS 'B' VENT	0	EXHAUST VENT		
<b>+</b>	DUPLEX OUTLET (12" HIGH)	₩	DUPLEX OUTLET (HEIGHT AS NOTED A.F.F.)		
	HEAVY DUTY OUTLET	\$	SWITCH (2/3/4 WAY)		
$\Diamond$	POT LIGHT	<del>\</del>	LIGHT FIXTURE (CEILING MOUNTED)		

TELEPHONE JACK CABLE T.V. JACK CHANDELIER (CEILING MOUNTE CENTRAL VACUUM OUTLET SMOKE ALARM (9.10.19.) PROVIDE ONE PER FLOOR, NEAR THE STAIRS CONNECTING THE FLOOR LEVEL. ALARMS ARE TO BE INSTALLED IN EACH SLEEPING ROOM AND IN A LOCATION BETWEEN SLEEPING ROOMS AND CONNECTING HALLWAYS AND WIRED TO BE INTERCONNECTED TO ACTIVATE ALL ALARMS IF ONE SOUNDS. ALARMS ARE TO BE CONNECTED TO AN

LIGHT FIXTURE (WALL MOUNTED)

OMPONENT AS PER THE "NATIONAL FIRE ALARM AND SIGNALING CODE 72". CMD CARBON MONOXIDE ALARM (9.33.4.)

₩ LIGHT FIXTURE (PULL CHAIN)

CONFORMING TO CAN/CGA-6.19 SHALL BE INSTALLED ON OR NEAR THE CEILING IN EACH DWELLING UNIT ADJACENT TO EACH SLEEPING AREA. CARBON MONOXIDE ALARM(S) SHALL BE PERMANENTLY WIRED WITH NO DISCONNECT SWITCH, WITH AN ALARM THAT IS AUDIBLE WITHIN SLEEPING ROOMS WHEN THE INTERVENING DOORS ARE CLOSED.

SB SOLID BEARING (BUILT-UP WOOD COLUMNS AND STUD POSTS)

SOLID BEARING (BUILT-UP WOOD COLUMNS AND

ECTRICAL CIRCUIT AND WITH A BATTERY BACKUP. ALARM SIGNAL SHALL MEET MPORAL SOUND PATTERNS MIN. ALARMS SHALL HAVE A VISUAL SIGNALLING

THE WIDTH OF A WOOD COLUMN SHALL NOT BE LESS THAN THAN THE WIDTH OF SUPPORTED MEMBER. BUILT-UP WOOD COLUMNS SHALL BE NAILED TOGETHER WITH NOT LESS THAN 3" (76) NAILS SPACED NOT MORE THAN 11 3/4" (300) O.C. THE NUMBER OF STUDS IN A WALL DIRECTLY BELOW A GIRDER TRUSS OR ROOF BEAM SHALL CONFORM TO TABLES A-34 TO A-37. (9.17.4., 9.23.10.7.)

TWO STOREY VOLUME SPACE. SEE CONSTRUCTION NOTE 39.

VARYING PLATES, BUILT-OUT FLOORS, BEARING WALLS, ICE & WATER SHIELD

1 HR. PARTY WALL
REFER TO HEX NOTE 40.

2 HR. FIREWALL
REFER TO HEX NOTE 40A.

**SECTION 4.0. CLIMATIC DATA** DESIGN SNOW LOAD (9.4.2.2.)

WIND PRESSURE (q50) (SB-1.2.) A. KONG 100184942 May 20, 2022

**115D** 100 COMMERCE VALLEY Dr. W. THORNHILL ONTARIO CANADA L3T OA1 1-905-882-4211|FAX: 1-905-822-0055|WWW.WSPGROUF

FOR STRUCTURAL ONLY. EXCLUDING ENGINEERED ROOF TRUSS, FLOOR JOIST, AND FLOOR LVL BEAM DESIGN.

DNSTRUCTION NOTE REVISION DATE: **DECEMBER 15, 2021** 

HE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS S BUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER. ALIFICATION INFORMATION HUNTUU Allan Whiting ISTRATION INFORMATION

PINE VALLEY PH2, VAUGHAN, ON

REV.2022.03.25

**GOLDPARK HOMES - 221081** 

221081WS5004

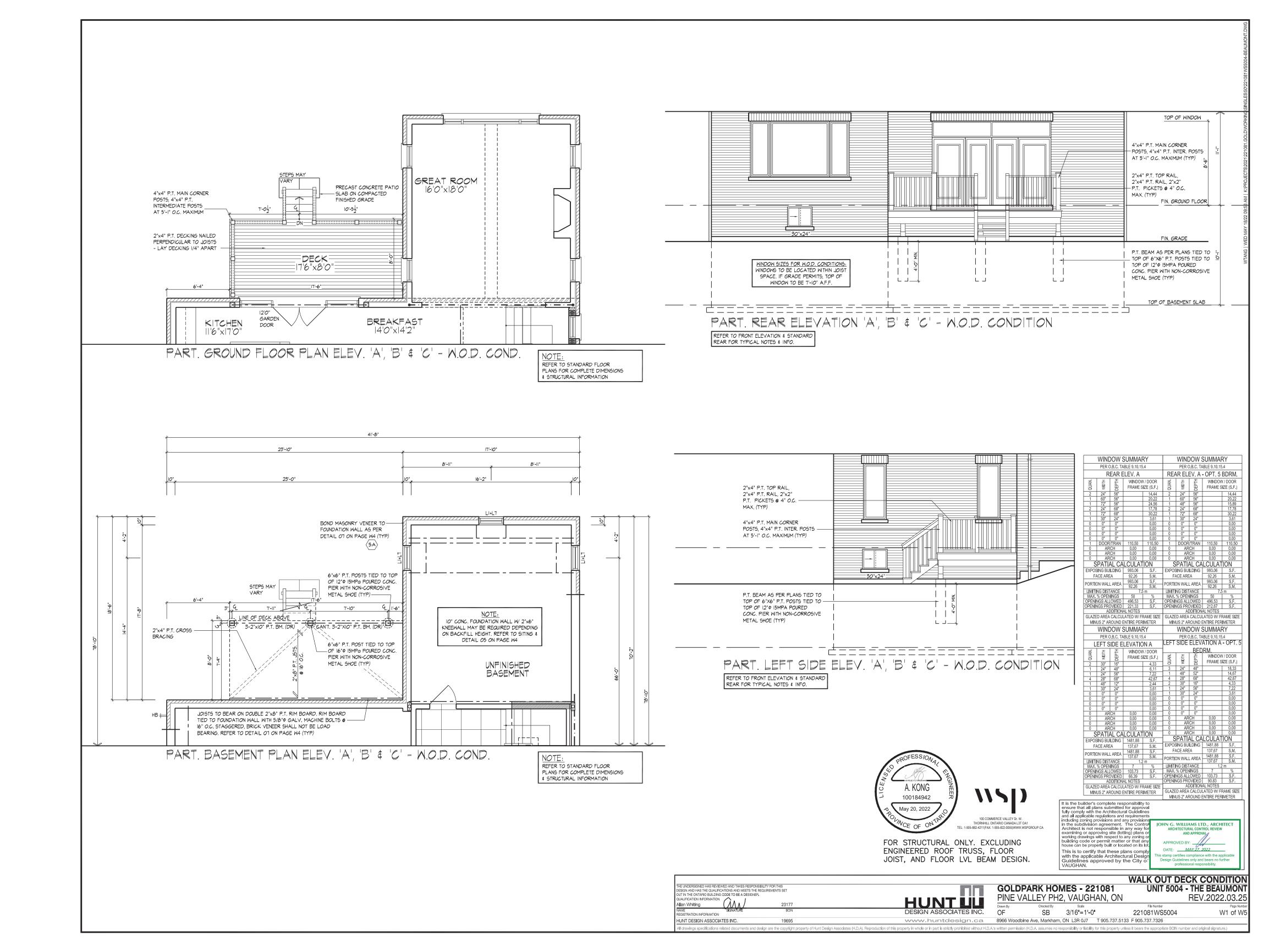
**CONSTRUCTION NOTES UNIT 5004 - THE BEAUMONT** 

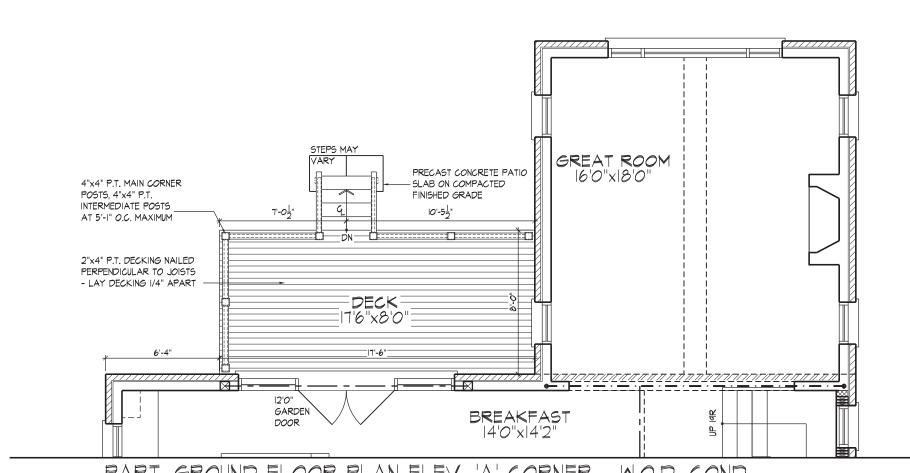
1.01 **kPa** 

0.44 **kPa** 

30 of 30

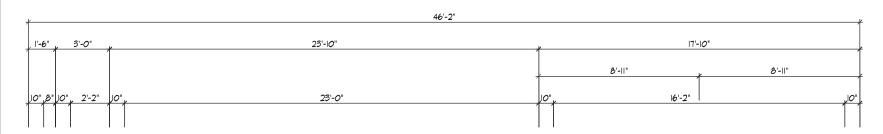
SB 3/16"=1'-0" MC 8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326 www.huntdesign.ca

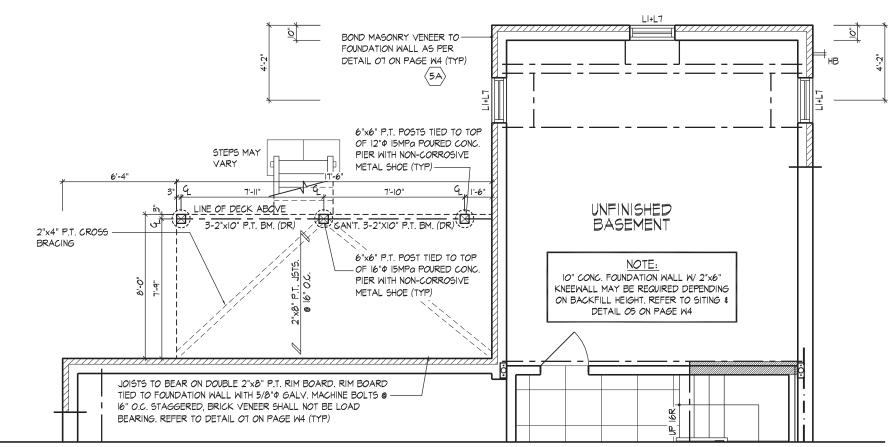




PART. GROUND FLOOR PLAN ELEV. 'A' CORNER - W.O.D. COND.

NOTE: REFER TO STANDARD FLOOR PLANS FOR COMPLETE DIMENSIONS \$ STRUCTURAL INFORMATION

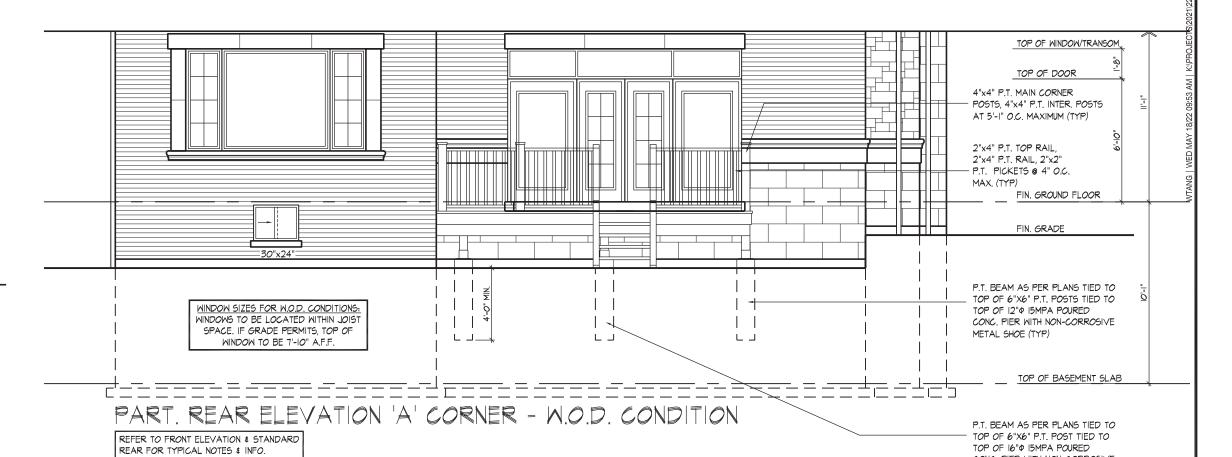


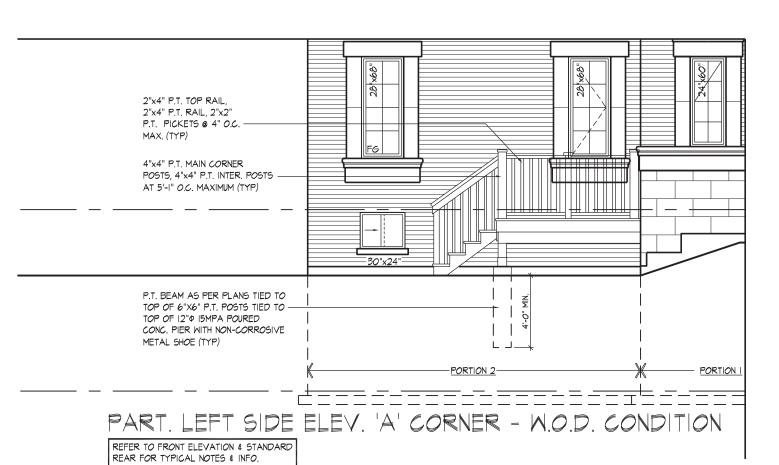


PART. BASEMENT PLAN ELEV. 'A' CORNER - W.O.D. COND.

REFER TO STANDARD FLOOR PLANS FOR COMPLETE DIMENSIONS

\$ STRUCTURAL INFORMATION







FOR STRUCTURAL ONLY. EXCLUDING ENGINEERED ROOF TRUSS, FLOOR JOIST, AND FLOOR LVL BEAM DESIGN.

			SUMMAR							
			BLE 9.10.15							
F	REAR		A CORN	NER						
QUAN	WIDTH	ЕРТН		V / DOOR						
			FRAME S	IZE (S.F.)						
2	20" 48"	56"		11.56						
1	72"	56" 56"		15.89 24.56						
2	24"	68"		17.78						
1	72" 30"	68" 24"		30.22 3.61						
0	0"	0"		0.00						
0	0"	0"		0.00						
0	0"	0"		0.00						
1		/TRAN	110.50	110.50						
0		CH	0.00	0.00						
0		CH CH	0.00	0.00						
_		AL CA								
	ING BU		1130.79	S.F.						
	ACE ARE		105.05	S.M.						
PORTIC	ON WAL	ARFA	1130.78	S.F.						
	NG DIST		105.05	S.M.						
	% OPEN		50	%   %						
OPENII	NGS ALI	OWED	565.39	S.F.						
OPENIN	NGS PRO		214.11 AL NOTES	S.F.						
GI AZE			_ATED W/ FI	RAME SIZE						
			NTIRE PER							
			SUMMAR			WIND	OOW S	SUMMAR	RY	
			BLE 9.10.15					BLE 9.10.15		
LEE			ION A - POF		LE			ION A - POF		
				V / DOOR					//DOOR	
QUAN.	WIDTH	DEPTH		IZE (S.F.)	QUAN	MDT	DEPTH	FRAME SIZE (S.F.)		
2	28"	68"		21.33	5	24"	60"		38.89	
1	30"	24"		3.61	1	24"	52"		6.67	
0	0"	0"		0.00	1	48" 48"	52" 64"		14.67 18.33	
0	0"	0"		0.00	2	30"	16"		4.33	
0	0"	0"		0.00	0	0"	0"		0.00	
0	0"	0"		0.00	0	0"	0"		0.00	
0	0"	0"		0.00	0	0"	0"		0.00	
0	0"	0"		0.00	0	0"	0"		0.00	
0		CH CH	0.00	0.00	0		CH CH	0.00	0.00	
0		CH	0.00	0.00	0		CH CH	0.00	0.00	
0		CH	0.00	0.00	0	AR	:CH	0.00	0.00	
S	PATI	AL CA	LCULAT	ION	S	PATI	AL CA	LCULAT	ION	
	ING BU		1523.20	S.F.		ING BU		1523.20	S.F.	
F/	ACE ARE	Α	141.51	S.M.	F/	ACE ARE	A	141.51	S.M.	
PORT <b>I</b> C	ON WAL	AREA	315.17 29.28	S.F. S.M.	PORTIC	ON WAL	L AREA	1225.67 113.87	S.F. S.M.	
	NG DIST			4 m		NG DIST			m	
	% OPEN		40	%	MAX.	% OPEN	NINGS	7	%	
	NGS ALI NGS PRO		126.07 24.94	S.F.		NGS ALI		85.80 82.89	S.F.	
OI FINII			AL NOTES	L 0.1.	OI LINII			AL NOTES	J.I.	
GLAZED AREA CALCULATED W/ FRAME SIZE								ATED W/ F	RAME SIZE	
			NTIRE PER					NTIRE PER		

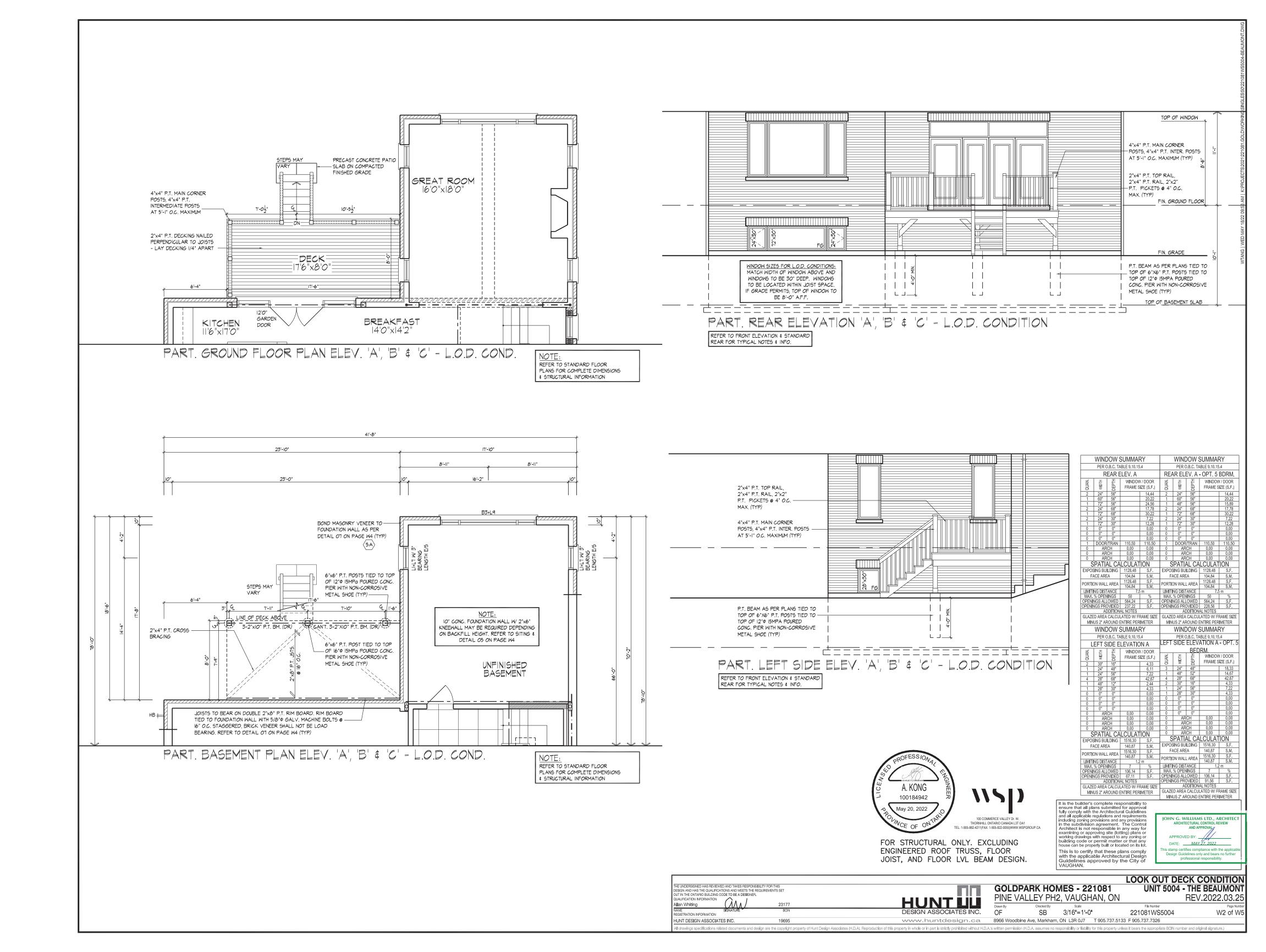
CONC. PIER WITH NON-CORROSIVE

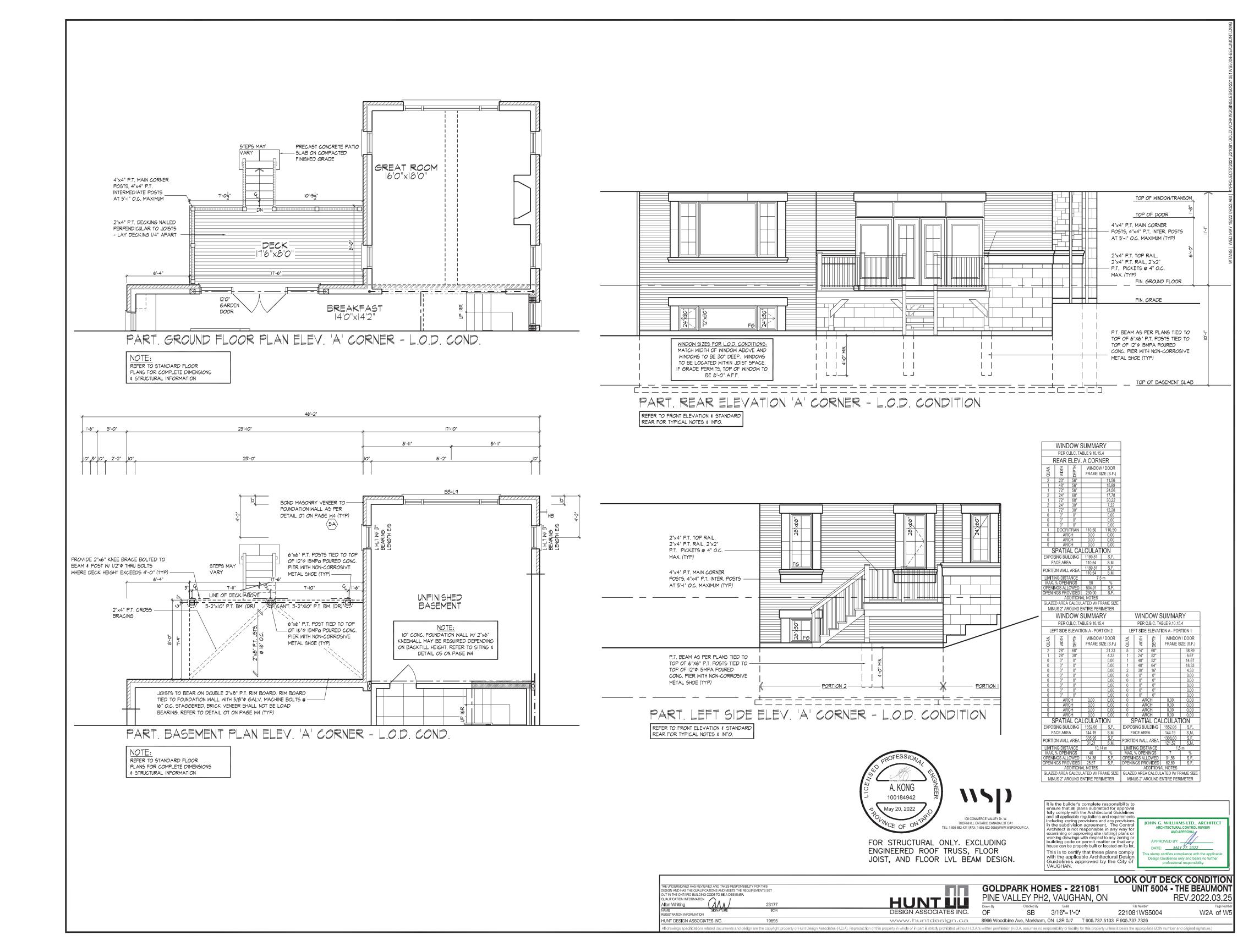
METAL SHOE (TYP)

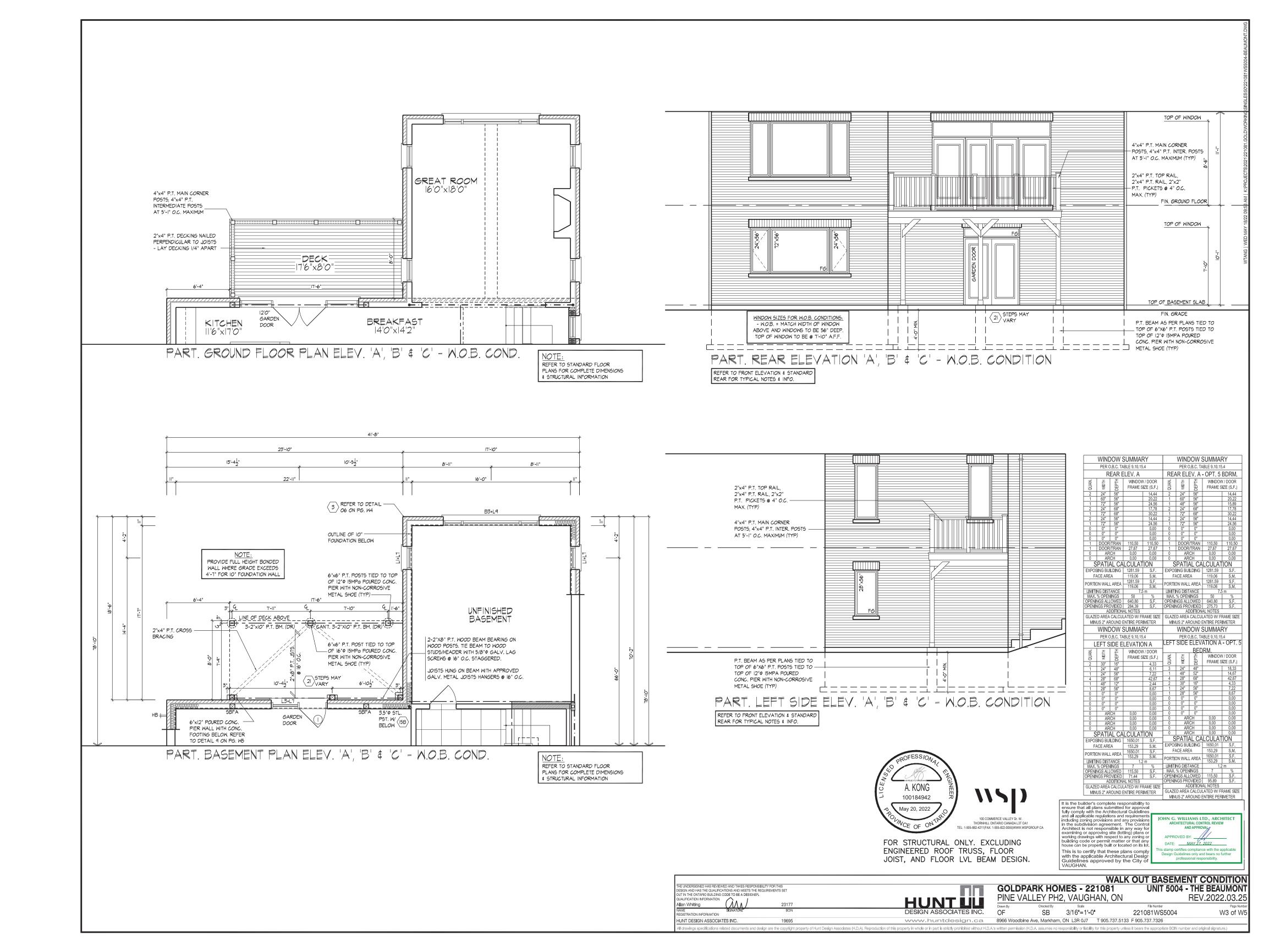
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot. This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

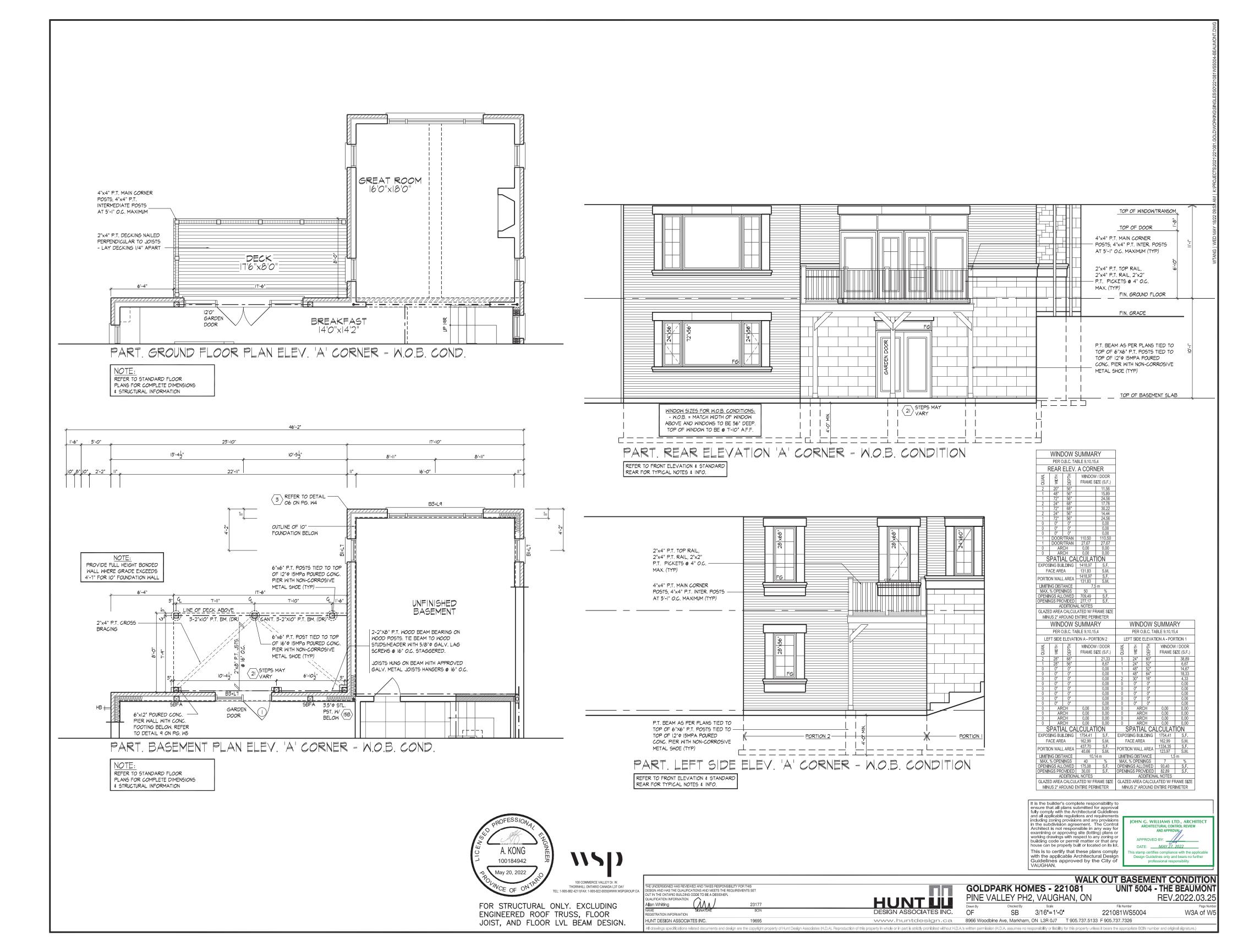
JOHN G. WILLIAMS LTD., ARCHITECT ARCHITECTURAL CONTROL REVIEW DATE: <u>MAY 27, 2022</u> his stamp certifies compliance with the applicat Design Guidelines only and bears no further professional responsibility.

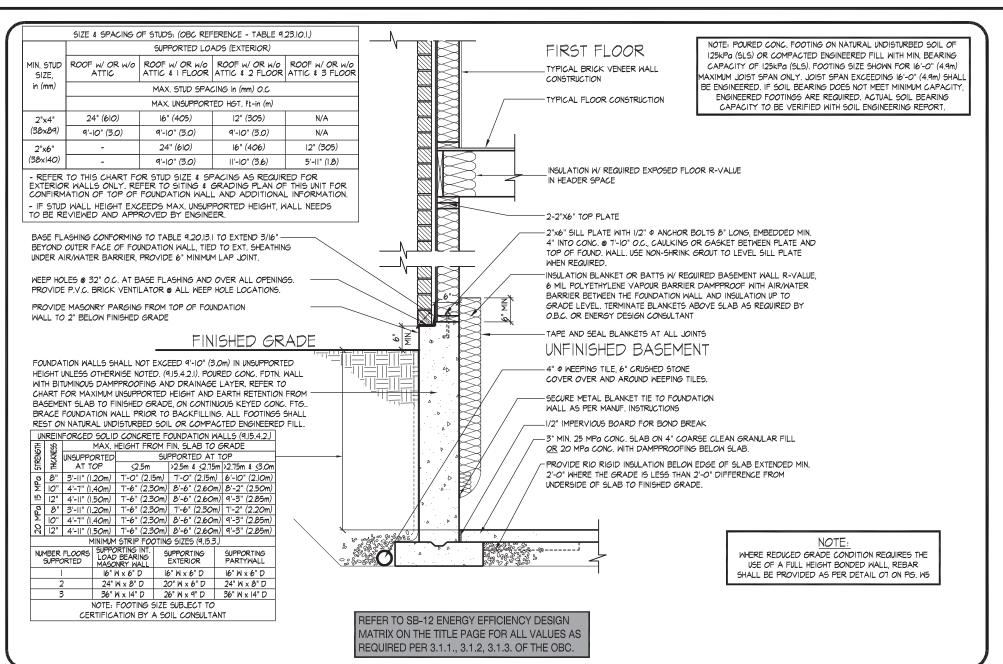
					WALK OUT DE	ECK CONDITION
THE UNIDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.				MES - 2210		- THE BEAUMONT
QUALIFICATION INFORMATION A	HIIRITÜÜ	PINE V	ALLEY PH	<u>2, VAUGHAN</u>	, ON	REV.2022.03.25
, (/V///		Drawn By	Checked By	Scale	File Number	Page Number
NAME SIGNATURE BCIN REGISTRATION INFORMATION	DESIGN ASSOCIATES INC.	OF	SB	3/16"=1'-0"	221081WS5004	W1A of W5
HUNT DESIGN ASSOCIATES INC. 19695	www.huntdesign.ca	8966 Woodbi	ine Ave, Markham	, ON L3R 0J7 T 90	5.737.5133 F 905.737.7326	



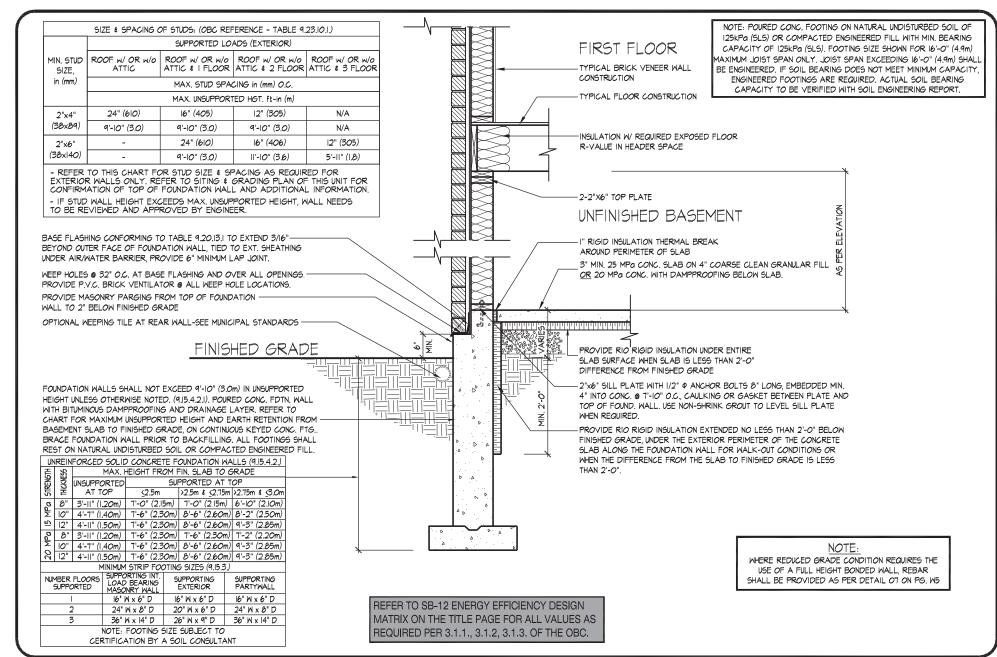








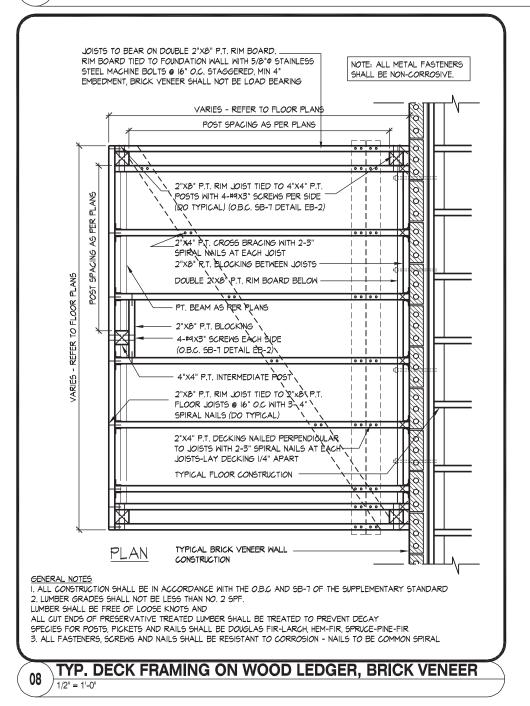
# MASONRY VENEER, 2"x6" STUDS, 10' FOUNDATION WALL LATERALLY UNSUPPORTED

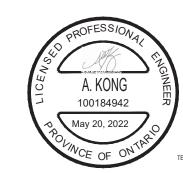


MASONRY VENEER, 2"x6" STUDS, SLAB ON GRADE / WALK OUT BASEMENT CONDITION

2"X4" P.T. TOP RAIL 2"X4" P.T. RAIL -2"X2" P.T. PICKETS @ 4" O.C. MAX. TYPICAL BRICK VENEER WALL CONSTRUCTION 4"X4" P.T. MAIN CORNER POSTS 4"X4" P.T. INTERMEDIATE POSTS AT FIRST FLOOR 5'-1" O.C. MAXIMUM MINIMUM 2"x4" SILL PLATE (2"x6" AS REQ.), TIED TO TOP OF POURED NOTE: ALL METAL FASTENERS CONC. FND. WALL WITH 8" LONGXI/2" ANCHOR BOLTS C/W NUT AND SHALL BE NON-CORROSIVE. WASHER WITH 2 1/2" HOOK. ANCHOR BOLTS TO BE SPACED NOT MORE THAN 7'-10" O.C. AND EMBEDDED NOT LESS THAN 4" INTO CONC. PROVIDE SILL GASKET BETWEEN PLATE AND FOUNDATION WALL. PROVIDE NON-SHRINK GROUT TO LEVEL PLATE. 2"X4" P.T. BOTTOM RAIL TYPICAL FLOOR CONSTRUCTION 2"X4" PT DECKING LAID PERPENDICULAR TO JOISTS 1/4" APART 2"X8" P.T. RIM BOARD 2"X8" P.T. BLOCKING AT POSTS CONNECTION BASE FLASHING CONFORMING TO TABLE 9.20.13.1 TO EXTEND 3/16" BEYOND OUTER FACE OF FOUNDATION WALL, TIED TO EXT. SHEATHING UNDER AIR/WATER BARRIER, PROVIDE 6" MINIMUM LAP JOINT. 2"X8" P.T. JOISTS @ 16" O.C. P.T. BEAM AS PER PLANS TIED TO TOP JOISTS TO BEAR ON DOUBLE 2"X $\theta$ " P.T. RIM BOARD. RIM BOARD TIED TO FOUNDATION WALL WITH 5/ $\theta$ "  $\theta$  STAINLESS OF 6"X6" P.T. POSTS TIED TO TOP OF 14" \$4 ISMPA POURED CONC. PIER WITH STEEL MACHINE BOLTS @ 16" O.C. STAGGERED, MIN 4" NON-CORROSIVE METAL SHOE EMBEDMENT, BRICK VENEER SHALL NOT BE LOAD BEARING TIE BRICK VENEER TO FOUNDATION WALL WITH CORROSION POSTS TIED TO METAL SHOE RESISTANT METAL TIES @ 8" VERTICAL AND 2'-II" HORIZONTAL ANCHOR WITH 4-3/8" MACHINE BOLTS - FILL VOID WITH MORTAR BETWEEN WALL AND BRICK VENEER-SEE OBC 9.20.9.4(3) 1/2" PNON-CORROSIVE ANCHOR 4" FINISHED GRADE MINIMUM INTO CONCRETE TAPE AND SEAL BLANKETS AT ALL JOINTS INSULATION BLANKET OR BATTS W/ REQUIRED BASEMENT WALL R-VALUE 6 MIL POLYETHYLENE VAPOUR BARRIER DAMPPROOF WITH AIR/WATER BARRIER BETWEEN THE FOUNDATION WALL AND INSULATION UP TO GRADE LEVEL. TERMINATE BLANKETS ABOVE SLAB AS REQUIRED BY O.B.C. OR ENERGY DESIGN CONSULTANT SECURE METAL BLANKET TIE TO FOUNDATION TYPICAL FOUNDATION WALL WALL AS PER MANUF. INSTRUCTIONS UNFINISHED BASEMENT WHERE HEIGHT OF REDUCTION IN WALL THICKNESS EXCEEDS 2'-O", REINFORCE FOUNDATION WALL W/ ISM BARS @ 300mm EACH WAY.

MASONRY VENEER, TYPICAL WALK/LOOK OUT WOOD DECK, SOLID MASONRY

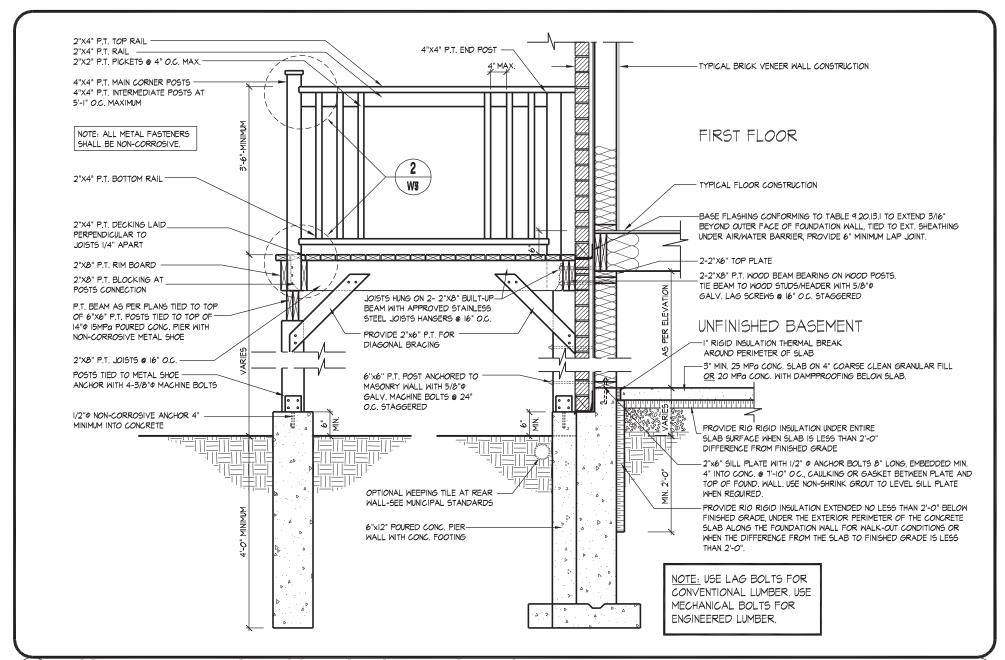




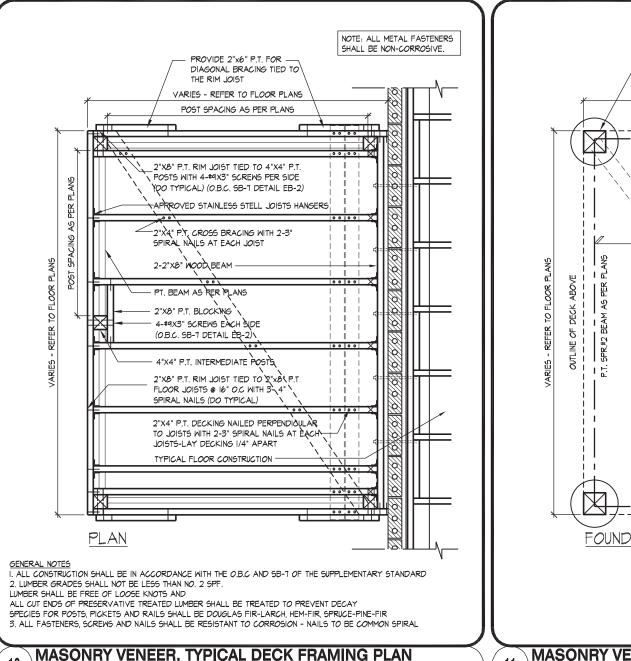
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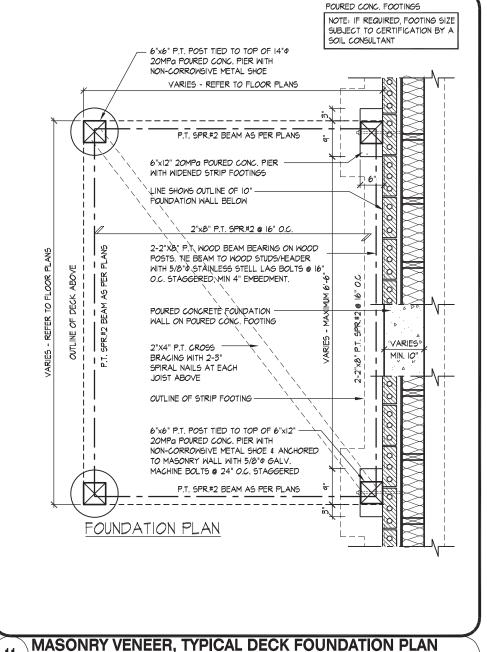
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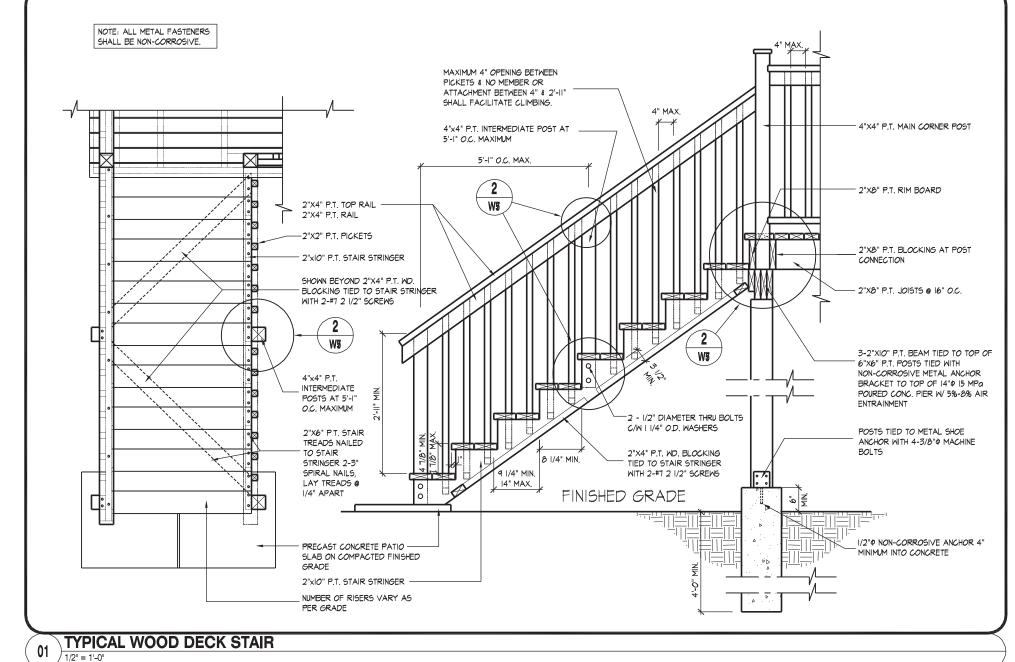
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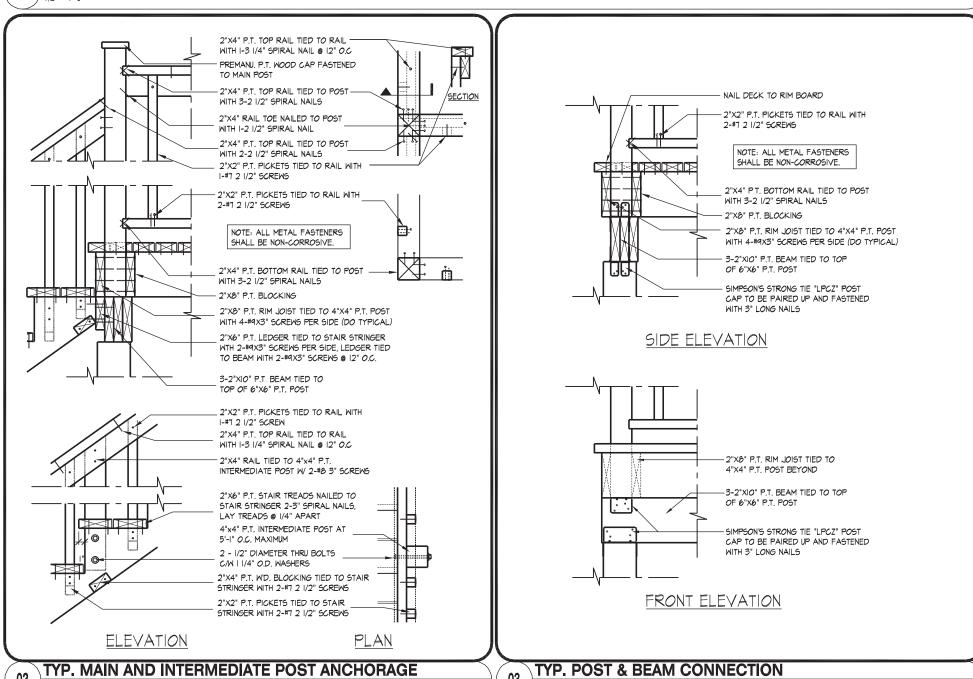


MASONRY VENEER. TYPICAL WOOD DECK FOR WALK OUT BASEMENT











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