



FRONT ELEVATION 'A'



FRONT ELEVATION 'B'



FRONT ELEVATION 'C'

UNIT 4204 - 'THE BROOKVALLEY'

SB-12 ENERGY EFFICIENCY DESIGN MATRIX

PRESCRIPTIVE COMPLIANCE

SB-12 (SECTION 3.1.1) TABLE 3.1.1.2.A

PACKAGE A1

SPACE HEATING FUEL

- ☒ GAS
- ☐ OIL
- ☐ ELECTRIC
- ☐ PROPANE
- ☐ EARTH
- ☐ SOLID FUEL

BUILDING COMPONENT	REQUIRED	PROPOSED
INSULATION RSI (R) VALUE		
CEILING W/ ATTIC SPACE	10.56 (R60)	10.56 (R60)
CEILING W/O ATTIC SPACE	5.46 (R31)	5.46 (R31)
EXPOSED FLOOR	5.46 (R31)	5.46 (R31)
WALLS ABOVE GRADE	3.87 (R22)	3.87 (R22)
BASEMENT WALLS	3.52 ci (R20 ci) *	3.52 ci (R20 ci) *
BELOW GRADE SLAB ENTIRE SURFACE > 600mm BELOW GRADE	-	-
EDGE OF BELOW GRADE SLAB ≤ 600mm BELOW GRADE	1.76 (R10)	1.76 (R10)
HEATED SLAB OR SLAB ≤ 600mm BELOW GRADE	1.76 (R10)	1.76 (R10)
WINDOWS & DOORS		
WINDOWS/SLIDING GLASS DOORS (MAX U-VALUE)	1.6	1.6
SKYLIGHTS (MAX. U-VALUE)	2.8	2.8
APPLIANCE EFFICIENCY		
SPACE HEATING EQUIP. (AFUE%)	96%	96%
HRV EFFICIENCY (%)	75%	75%
DHW HEATER (EF)	0.8	0.8

AREA CALCULATIONS

* SEE PAGE 2 FOR AREA & WINDOW / WALL CALCULATIONS

1 - TITLE PAGE

2 - AREA CALCULATIONS

3 - BASEMENT PLAN, EL. 'A'

4 - GROUND FLOOR PLAN, EL. 'A'

5 - SECOND FLOOR PLAN, EL. 'A'

6 - OPT. 5 BED. SECOND FLOOR PLAN, EL. 'A'

7 - PART. BASEMENT PLAN, EL. 'B'

8 - PART. GROUND FLOOR PLAN, EL. 'B'

9 - PART. SECOND FLOOR PLAN, EL. 'B'

10 - PART. OPT. 5 BED. SECOND FLOOR PLAN, EL. 'B'

11 - PARTIAL BASEMENT PLAN, EL. 'C'

12 - PARTIAL GROUND FLOOR PLAN, EL. 'C'

13 - PARTIAL SECOND FLOOR PLAN, EL. 'C'

14 - PART. OPT. 5 BED. SECOND FLOOR PLAN, EL. 'C'

15 - FRONT ELEVATION 'A' & INTERIOR PORTICO EL.

16 - FLANKAGE ELEVATION 'A'

17 - RIGHT SIDE ELEVATION 'A'

18 - UPGRADED & PART. FOR OPT. 5 BED. REAR ELEVATION 'A'

19 - FRONT ELEVATION 'B'

20 - FLANKAGE ELEVATION 'B'

21 - RIGHT SIDE ELEVATION & PART. FOR OPT. SECOND FLR. EL. 'B'

22 - UPGRADED & PART. FOR OPT. 5 BED. REAR ELEVATION 'B'

23 - FRONT ELEVATION 'C'

24 - FLANKAGE ELEVATION 'C'

25 - RIGHT SIDE ELEVATION & PART. FOR OPT. SECOND FLR. EL. 'C'

26 - UPGRADED & PART. FOR OPT. 5 BED. REAR ELEVATION 'C'

27 - CROSS SECTION 'A-A'

28 - PART. BSMT. & GRND. FLR. PLAN, EL. 'A' FOR SUNK. MUDROOM (EL. 'B' SIMILAR)

29 - DETAILS

30 - CONSTRUCTION NOTES 1

31 - CONSTRUCTION NOTES 2

7. -	-	-
6. -	-	-
5. -	-	-
4. ISSUED FOR PERMIT	2022.07.25	AW
3. REVISED PER STRUCT. ENGINEER COMMENTS	2022.07.20	SP
2. REV. AS PER FLOOR & ROOF LAYOUTS	2022.05.19	SP
1. ADD ELEVATION 'C' & STD. 9'0" BASEMENT	2022.02.18	WT
REVISIONS	DATE (YYYY/MM/DD)	BY

AWHITTING | MON JUL 25/22 11:30 AM | K:\PROJECTS\2021\221081.GOLDPARK HOMES\42\221081\WS4204-CORNER-BROOKVALLEY.DWG

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QUALIFICATION INFORMATION

Allan Whiting

SIGNATURE

23177

BCIN

HUNT DESIGN ASSOCIATES INC.

19695

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GOLDPARK HOMES - 221081

UNIT 4204 - THE BROOKVALLEY

PINE VALLEY PH.2, VAUGHAN, ON.

REV.2022.07.25

Drawn By

WT

Checked By

AW

Scale

3/16"=1'-0"

File Number

221081WS4204-CORNER

Page Number

1 of 31

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AREA CALCULATIONS

	EL. 'A'	EL. 'B'	EL. 'C'
GROUND FLOOR AREA	STD./OPT. 5 BDRM. 1655 sq. ft.	STD./OPT. 5 BDRM. 1673 sq. ft.	STD./OPT. 5 BDRM. 1669 sq. ft.
SECOND FLOOR AREA	(153.75 sq. m.) 2020 sq. ft.	(155.43 sq. m.) 2047 sq. ft.	(155.06 sq. m.) 2038 sq. ft.
SUBTOTAL	(187.66 sq. m.) 3675 sq. ft.	(190.17 sq. m.) 3720 sq. ft.	(189.34 sq. m.) 3707 sq. ft.
DEDUCT ALL OPEN AREAS	(341.42 sq. m.) 67 sq. ft.	(345.60 sq. m.) 74 sq. ft.	(344.39 sq. m.) 67 sq. ft.
TOTAL NET AREA	(6.22 sq. m.) 3608 sq. ft.	(6.87 sq. m.) 3646 sq. ft.	(6.22 sq. m.) 3640 sq. ft.
FINISHED BASEMENT AREA	(335.19 sq. m.) 35 sq. ft.	(338.72 sq. m.) 35 sq. ft.	(338.17 sq. m.) 35 sq. ft.
COVERAGE W/OUT PORCH	(3.25 sq. m.) 2068 sq. ft.	(3.25 sq. m.) 2085 sq. ft.	(3.25 sq. m.) 2080 sq. ft.
COVERAGE W/ PORCH	(192.12 sq. m.) 2145 sq. ft.	(193.70 sq. m.) 2153 sq. ft.	(193.24 sq. m.) 2157 sq. ft.
	(199.28 sq. m.)	(200.02 sq. m.)	(200.39 sq. m.)

WINDOW / WALL AREA CALCULATIONS	EL. 'A'	EL. 'A' - WOD	EL. 'A' - LOD	EL. 'A' - WOB	EL. 'A' - WOB
	STD. PLAN	STD. PLAN	STD. PLAN	STD. PLAN	OPT. 9' BSMT
GROSS WALL AREA	4567.57 sq. ft. (424.34 sq. m.)	4596.68 sq. ft. (427.05 sq. m.)	4678.55 sq. ft. (434.65 sq. m.)	4905.98 sq. ft. (455.78 sq. m.)	4949.65 sq. ft. (459.84 sq. m.)

GROSS WINDOW AREA (INCL. GLASS DOORS & SKYLIGHTS)	577.43 sq. ft. (53.65 sq. m.)	580.76 sq. ft. (53.95 sq. m.)	594.09 sq. ft. (55.19 sq. m.)	671.26 sq. ft. (62.36 sq. m.)	679.59 sq. ft. (63.14 sq. m.)
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TOTAL WINDOW %	12.64 %	12.63 %	12.70 %	13.68 %	13.73 %
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WINDOW / WALL AREA CALCULATIONS	EL. 'A'	EL. 'A' - WOD	EL. 'A' - LOD	EL. 'A' - WOB	EL. 'A' - WOB
	OPT. SEC. FLR.	OPT. SEC. FLR.	OPT. SEC. FLR.	OPT. SEC. FLR.	OPT. SEC., 9' B
GROSS WALL AREA	4567.57 sq. ft. (424.34 sq. m.)	4596.68 sq. ft. (427.05 sq. m.)	4678.55 sq. ft. (434.65 sq. m.)	4905.98 sq. ft. (455.78 sq. m.)	4949.65 sq. ft. (459.84 sq. m.)

GROSS WINDOW AREA (INCL. GLASS DOORS & SKYLIGHTS)	616.09 sq. ft. (57.24 sq. m.)	619.43 sq. ft. (57.55 sq. m.)	632.76 sq. ft. (58.79 sq. m.)	709.93 sq. ft. (65.95 sq. m.)	718.26 sq. ft. (66.73 sq. m.)
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TOTAL WINDOW %	13.49 %	13.48 %	13.52 %	14.47 %	14.51 %
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WINDOW / WALL AREA CALCULATIONS	EL. 'B'	EL. 'B' - WOD	EL. 'B' - LOD	EL. 'B' - WOB	EL. 'B' - WOB
	STD. PLAN	STD. PLAN	STD. PLAN	STD. PLAN	OPT. 9' BSMT
GROSS WALL AREA	4652.24 sq. ft. (432.21 sq. m.)	4681.35 sq. ft. (434.91 sq. m.)	4763.22 sq. ft. (442.52 sq. m.)	4990.65 sq. ft. (463.65 sq. m.)	5034.32 sq. ft. (467.70 sq. m.)

GROSS WINDOW AREA (INCL. GLASS DOORS & SKYLIGHTS)	652.21 sq. ft. (60.59 sq. m.)	655.54 sq. ft. (60.90 sq. m.)	668.87 sq. ft. (62.14 sq. m.)	746.04 sq. ft. (69.31 sq. m.)	764.37 sq. ft. (71.01 sq. m.)
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TOTAL WINDOW %	14.02 %	14.00 %	14.04 %	14.95 %	15.18 %
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WINDOW / WALL AREA CALCULATIONS	EL. 'B'	EL. 'B' - WOD	EL. 'B' - LOD	EL. 'B' - WOB	EL. 'B' - WOB
	OPT. SEC. FLR.	OPT. SEC. FLR.	OPT. SEC. FLR.	OPT. SEC. FLR.	OPT. SEC., 9' B
GROSS WALL AREA	4652.24 sq. ft. (432.21 sq. m.)	4681.35 sq. ft. (434.91 sq. m.)	4763.22 sq. ft. (442.52 sq. m.)	4990.65 sq. ft. (463.65 sq. m.)	5034.32 sq. ft. (467.70 sq. m.)

GROSS WINDOW AREA (INCL. GLASS DOORS & SKYLIGHTS)	689.54 sq. ft. (64.06 sq. m.)	692.87 sq. ft. (64.37 sq. m.)	706.21 sq. ft. (65.61 sq. m.)	783.37 sq. ft. (72.78 sq. m.)	791.71 sq. ft. (73.55 sq. m.)
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TOTAL WINDOW %	14.82 %	14.80 %	14.83 %	15.70 %	15.73 %
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WINDOW / WALL AREA CALCULATIONS	EL. 'C'	EL. 'C' - WOD	EL. 'C' - LOD	EL. 'C' - WOB	EL. 'C' - WOB
	STD. PLAN	STD. PLAN	STD. PLAN	STD. PLAN	OPT. 9' BSMT
GROSS WALL AREA	4621.65 sq. ft. (429.37 sq. m.)	4606.47 sq. ft. (427.96 sq. m.)	4688.35 sq. ft. (435.56 sq. m.)	4915.78 sq. ft. (456.69 sq. m.)	4959.44 sq. ft. (460.75 sq. m.)

GROSS WINDOW AREA (INCL. GLASS DOORS & SKYLIGHTS)	794.72 sq. ft. (73.83 sq. m.)	798.06 sq. ft. (74.14 sq. m.)	811.39 sq. ft. (75.38 sq. m.)	888.56 sq. ft. (82.55 sq. m.)	896.89 sq. ft. (83.32 sq. m.)
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TOTAL WINDOW %	17.20 %	17.32 %	17.31 %	18.08 %	18.08 %
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WINDOW / WALL AREA CALCULATIONS	EL. 'C'	EL. 'C' - WOD	EL. 'C' - LOD	EL. 'C' - WOB	EL. 'C' - WOB
	OPT. SEC. FLR.	OPT. SEC. FLR.	OPT. SEC. FLR.	OPT. SEC. FLR.	OPT. SEC., 9' B
GROSS WALL AREA	4577.36 sq. ft. (425.25 sq. m.)	4606.47 sq. ft. (427.96 sq. m.)	4688.35 sq. ft. (435.56 sq. m.)	4915.78 sq. ft. (456.69 sq. m.)	4959.44 sq. ft. (460.75 sq. m.)

GROSS WINDOW AREA (INCL. GLASS DOORS & SKYLIGHTS)	843.39 sq. ft. (78.35 sq. m.)	846.72 sq. ft. (78.66 sq. m.)	860.06 sq. ft. (79.90 sq. m.)	937.22 sq. ft. (87.07 sq. m.)	945.56 sq. ft. (87.85 sq. m.)
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TOTAL WINDOW %	18.43 %	18.38 %	18.34 %	19.07 %	19.07 %
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AREA CALCULATIONS

GOLDPARK HOMES - 221081 UNIT 4204 - THE BROOKVALLEY
PINE VALLEY PH.2, VAUGHAN, ON. REV.2022.07.25

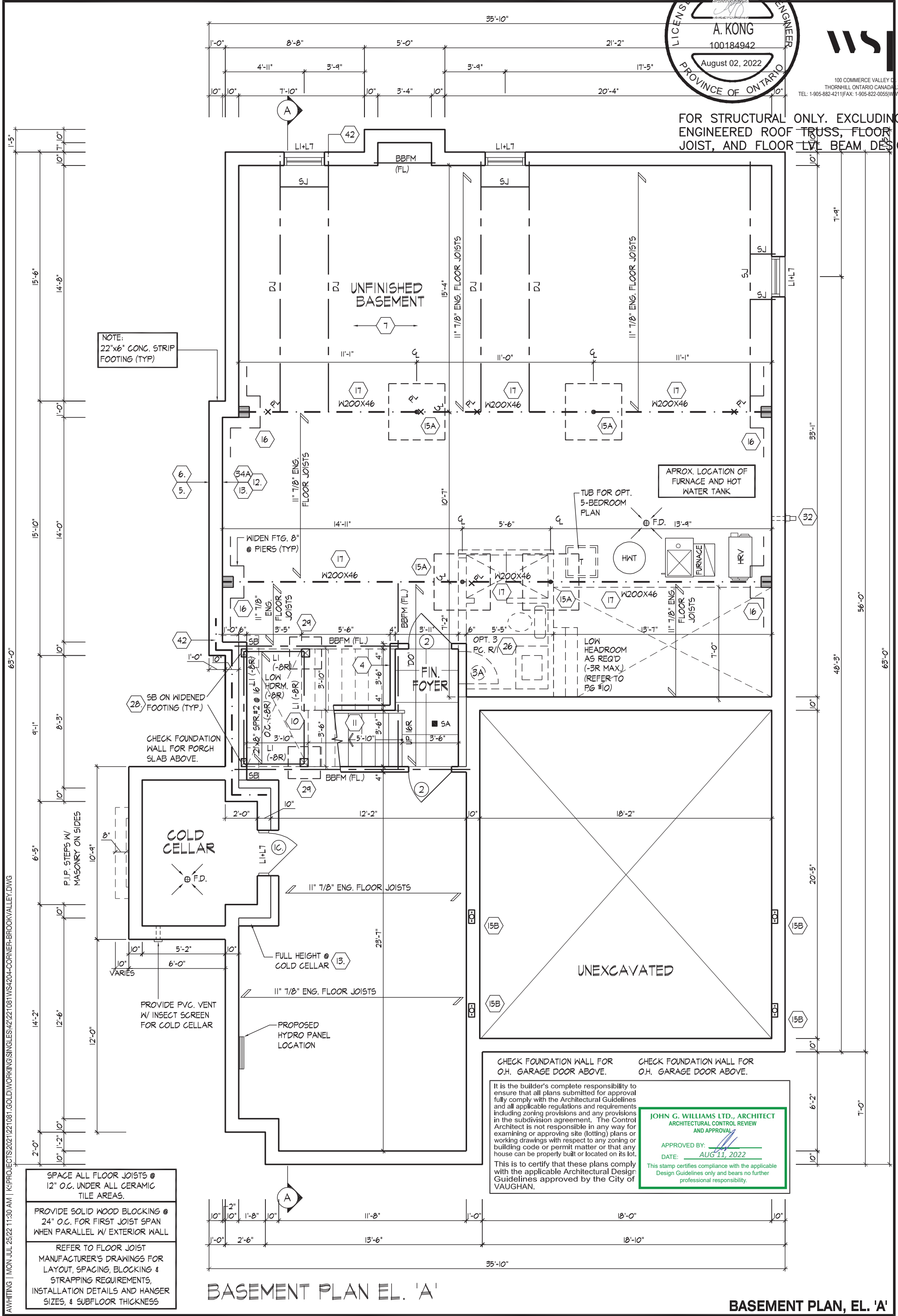
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QUALIFICATION INFORMATION
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MASONRY WALL NON-LOAD BEARING	SOLID MASONRY WALL W/ 6'-10M VERT. REBARS (LAP 1'-6" GROUTED INTO BRICK JOINT)
	MASONRY WALL TO BE TIED TO THE BOTTOM OF PORTICO ROOF W/ CORROSION RESISTANT METAL TIES @ 24" O.C. USING 3-3 1/2" NAILS EACH
	MASONRY VENEER TIED TO MASONRY VENEER WITH GALV. METAL TIES @ 16" O.C. AND 24" VERTICAL. FILL VOID BETWEEN MASONRY VENEER WYTHES SOLID W/ MORTAR

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Allan Whiting		23177
NAME	SIGNATURE	BCIN
REGISTRATION INFORMATION		
HUNT DESIGN ASSOCIATES INC.		19695



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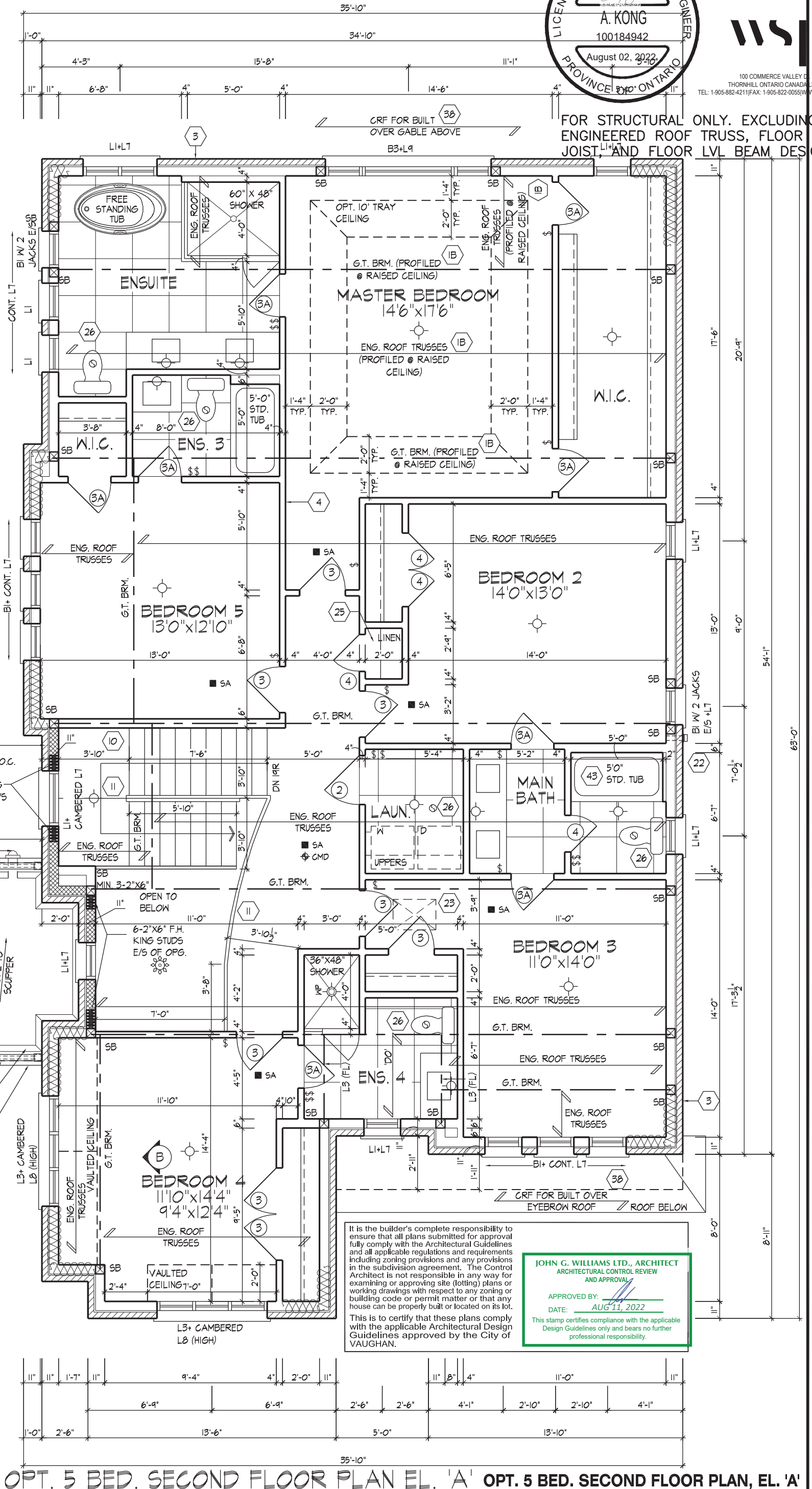
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PINE VALLEY PH.2, VAUGHAN, ON. REV.2022.07.25

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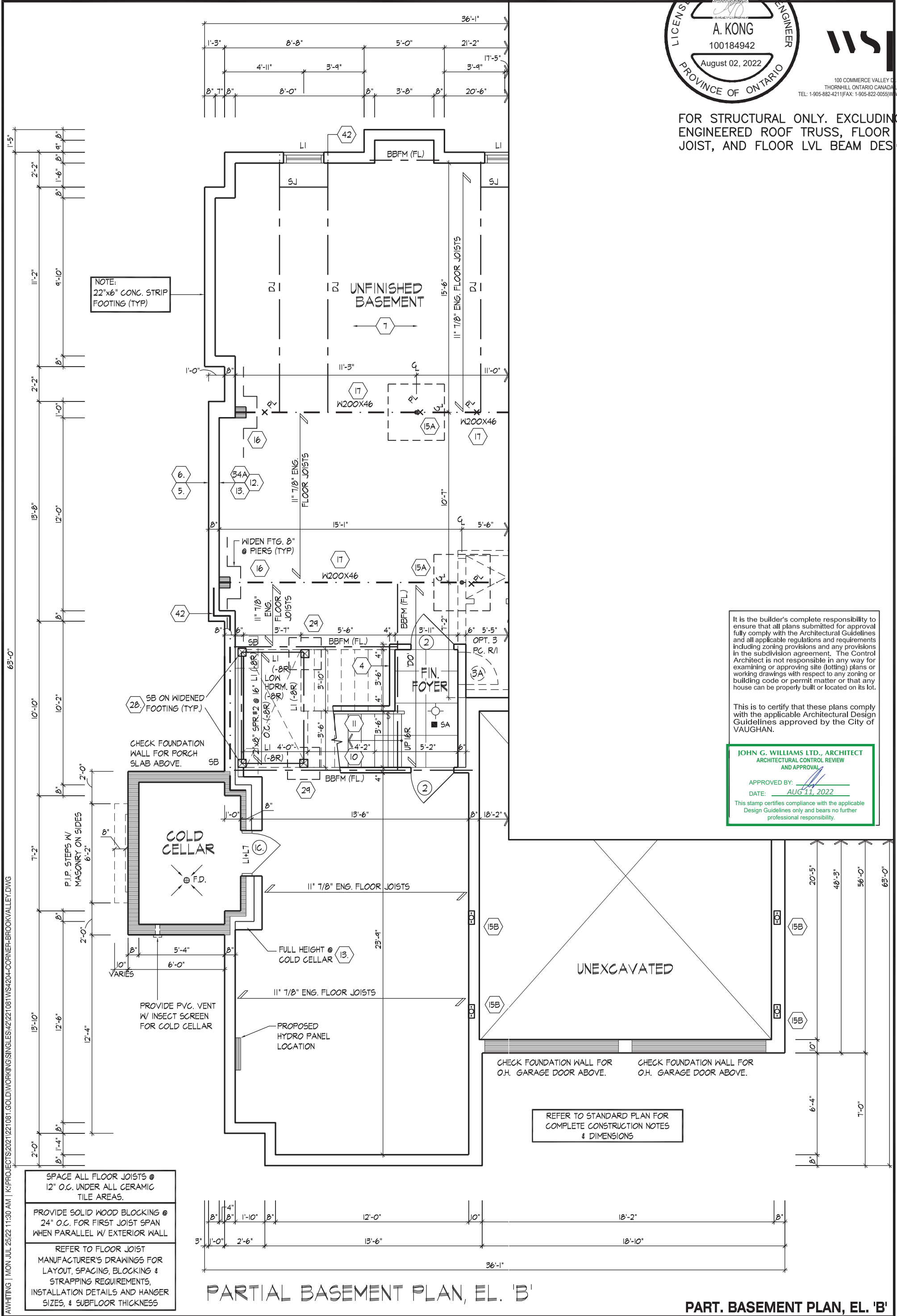
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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: _____
DATE: AUG 11, 2022

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SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

PROVIDE SOLID WOOD BLOCKING @ 24" O.C. FOR FIRST JOIST SPAN WHEN PARALLEL W/ EXTERIOR WALL

REFER TO FLOOR JOIST MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, BLOCKING & STRAPPING REQUIREMENTS, INSTALLATION DETAILS AND HANGER SIZES, & SUBFLOOR THICKNESS

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GOLDPARK HOMES - 221081
UNIT 4204 - THE BROOKVALLEY
PINE VALLEY PH.2, VAUGHAN, ON.
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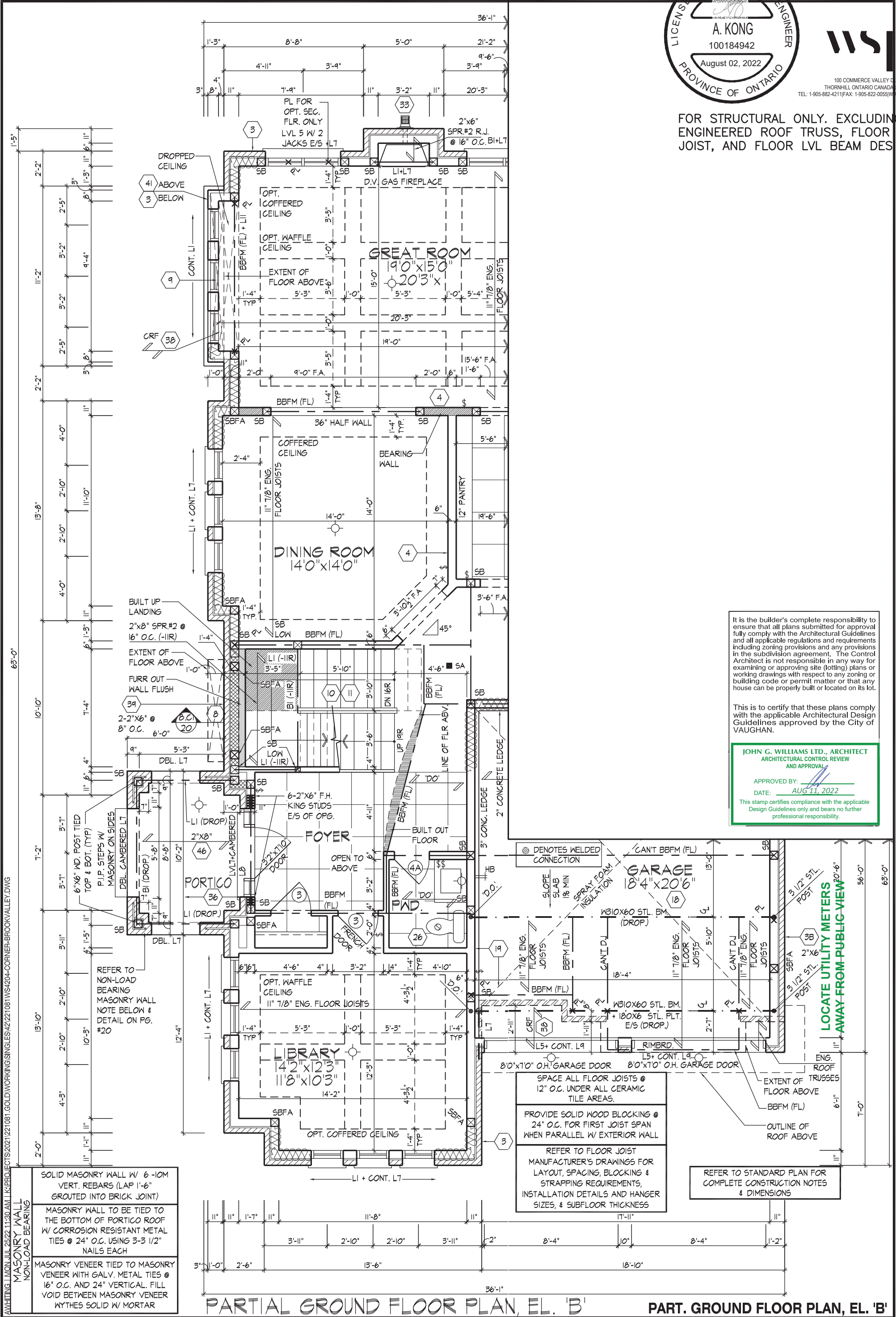
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AWHITTING 1 MON JUL 25/22 11:30 AM L3 PROJECTIONS 2021/221081.GOLDWORKING SINGLES 42/221081WS4204-CORNER-BROOKVALLEY.DWG
MASONRY WALL
NON-LOAD BEARING
SOLID MASONRY WALL W/ 6'-10M VERT. REBARS (LAP 1'-6\"/>

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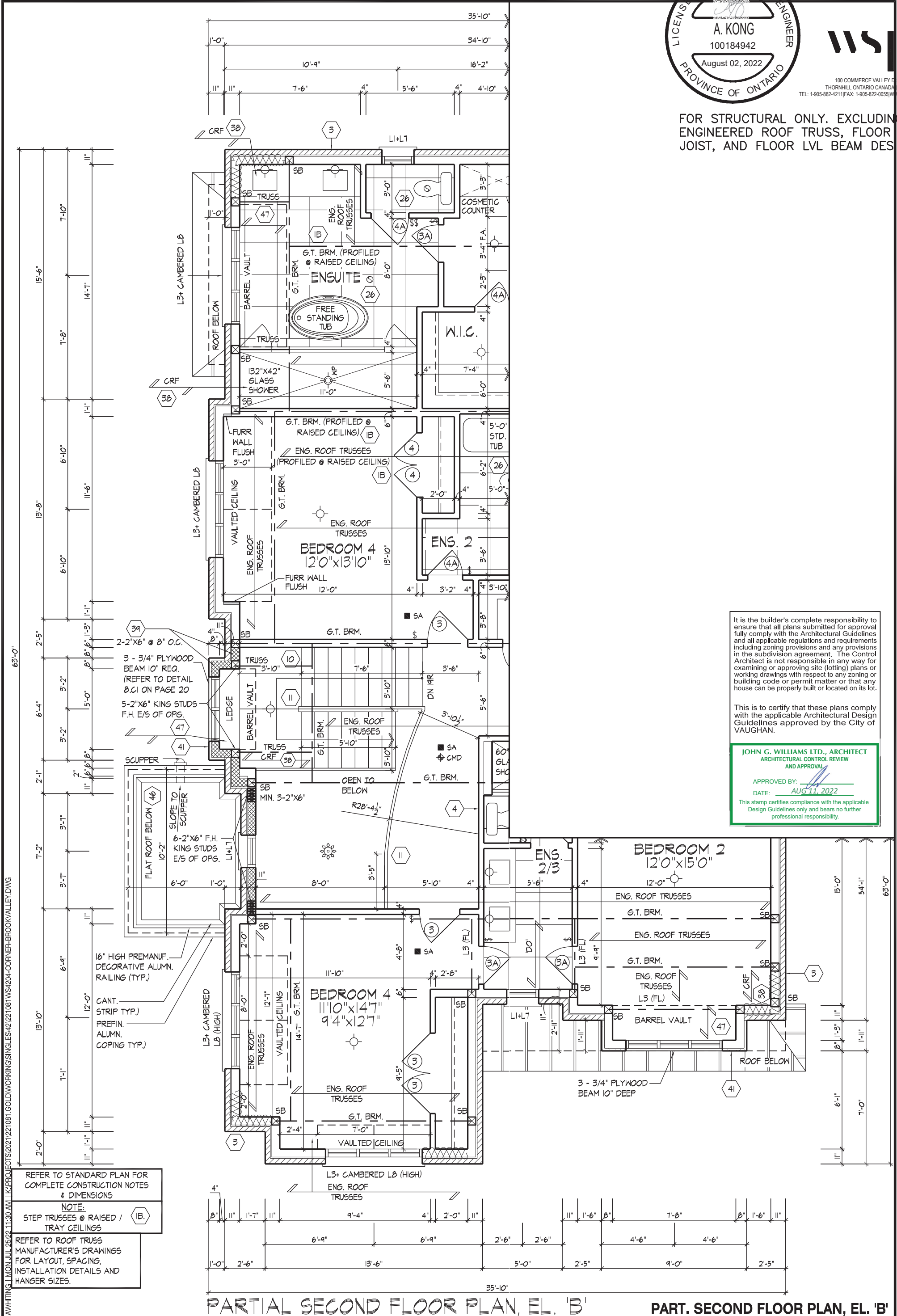
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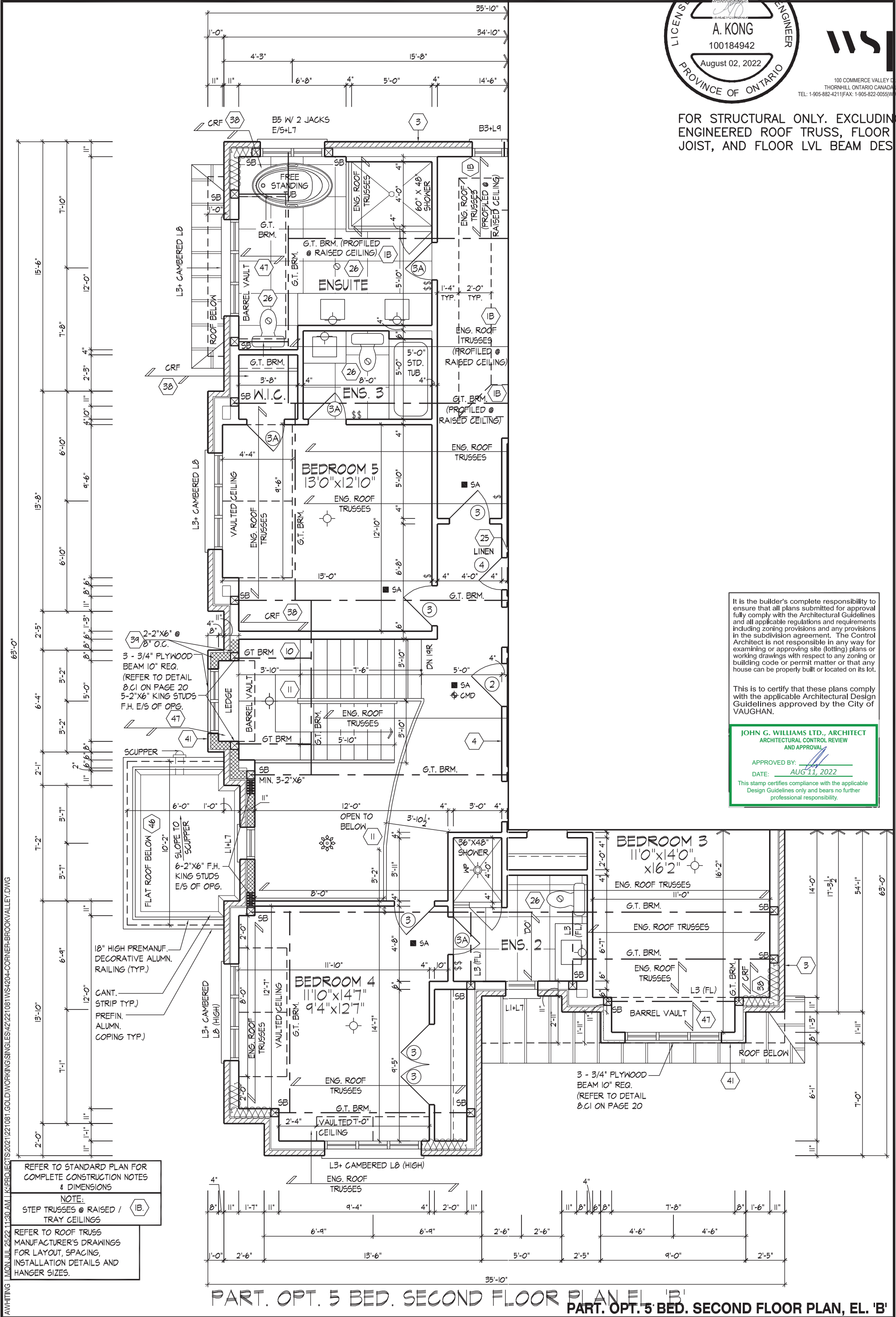
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DATE: AUG 11, 2022

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY:
DATE: AUG 11, 2022

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QUALIFICATION INFORMATION

NAME: Allan Whitting
REGISTRATION INFORMATION: 23177 BCIN
HUNT DESIGN ASSOCIATES INC. 19695

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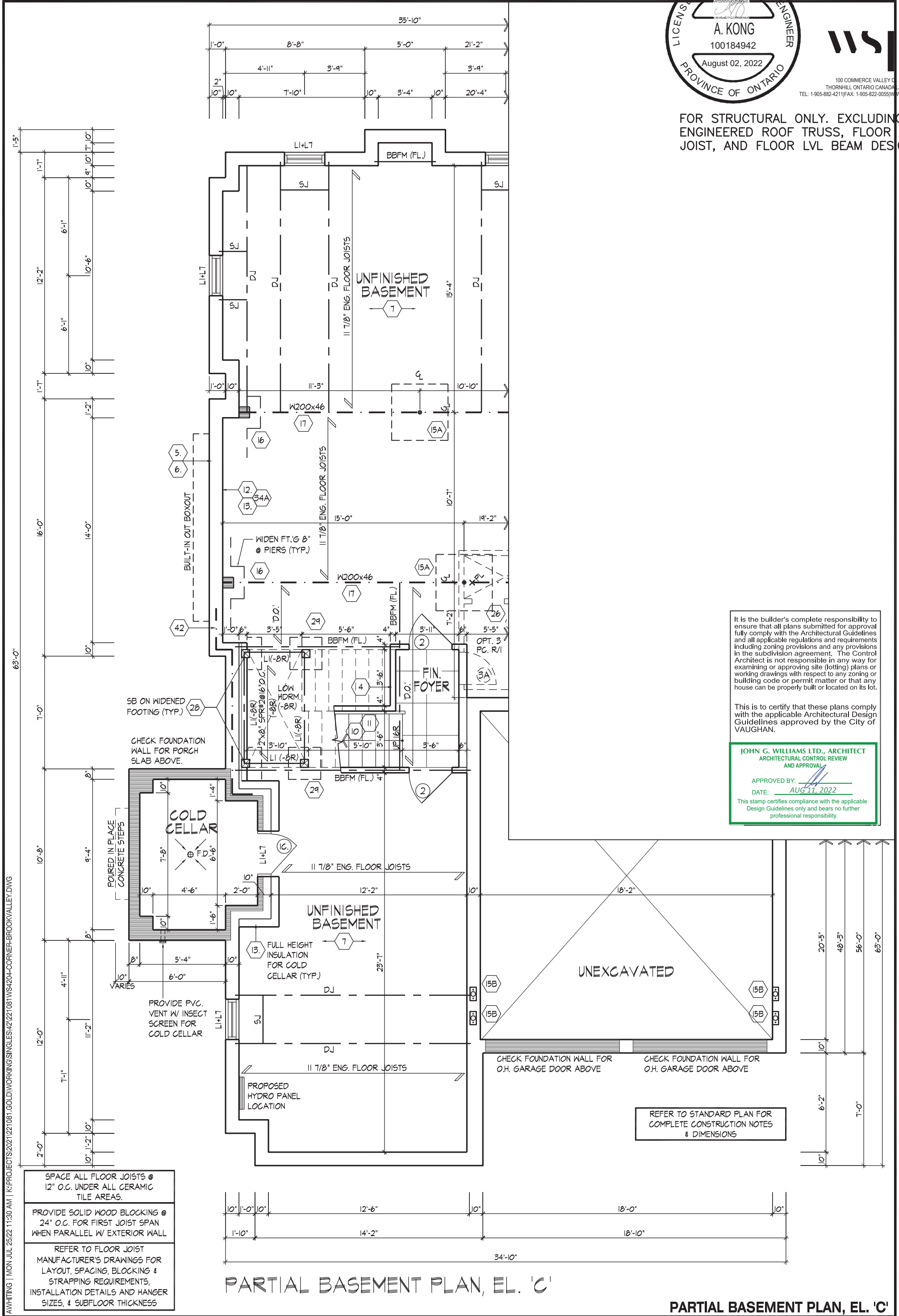
GOLDPARK HOMES - 221081 UNIT 4204 - THE BROOKVALLEY
PINE VALLEY PH.2, VAUGHAN, ON. REV.2022.07.25
Drawn By: WT
Checked By: AW
Scale: 3/16"=1'-0"
File Number: 221081WS4204-CORNER
Page Number: 10 of 31
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QUALIFICATION INFORMATION

Allan Whitting

23177

BCIN

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19695

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GOLDPARK HOMES - 221081
PINE VALLEY PH.2, VAUGHAN, ON.

UNIT 4204 - THE BROOKVALLEY
REV.2022.07.25

Drawn By: WT
Checked By: AW
Scale: 3/16"=1'-0"
File Number: 221081WS4204-CORNER
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Allan Whitting

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GOLDPARK HOMES - 221081
PINE VALLEY PH.2, VAUGHAN, ON.

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WT

Checked By
AW

Scale
3/16"=1'-0"

UNIT 4204 - THE BROOKVALLEY
REV.2022.07.25

File Number
221081WS4204-CORNER

Page Number
12 of 31

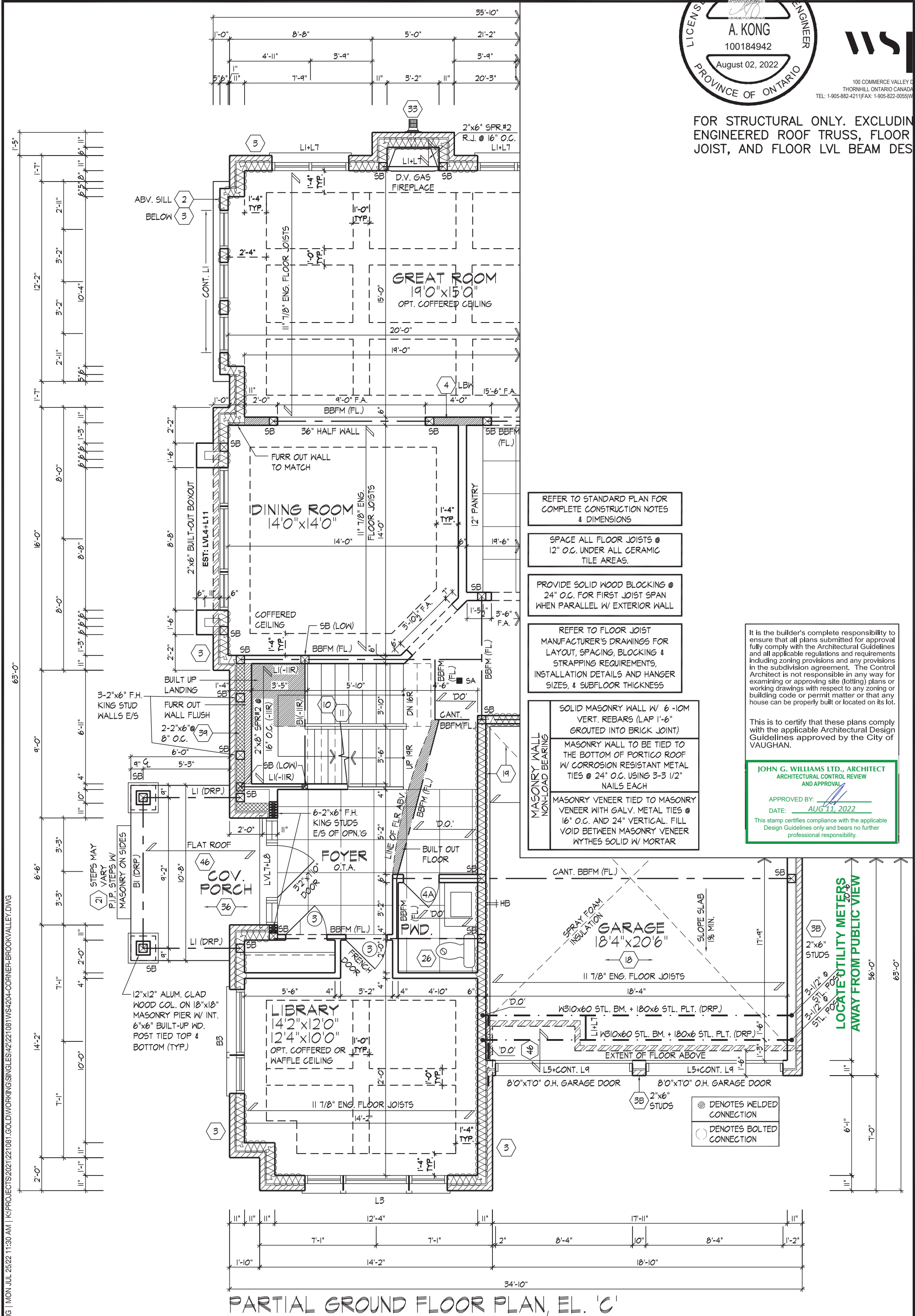
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PARTIAL GROUND FLOOR PLAN, EL. 'C'

PARTIAL GROUND FLOOR PLAN, EL. 'C'

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REFER TO ROOF TRUSS MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, INSTALLATION DETAILS AND HANGER SIZES.

NOTE:
STEP TRUSSES @ RAISED / TRAY CEILINGS

REFER TO STANDARD PLAN FOR COMPLETE CONSTRUCTION NOTES & DIMENSIONS

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION

Allan Whitting

NAME
REGISTRATION INFORMATION

23177
BCIN

HUNT DESIGN ASSOCIATES INC.

19695

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GOLDPARK HOMES - 221081
PINE VALLEY PH.2, VAUGHAN, ON.

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WT

Checked By

AW

Scale

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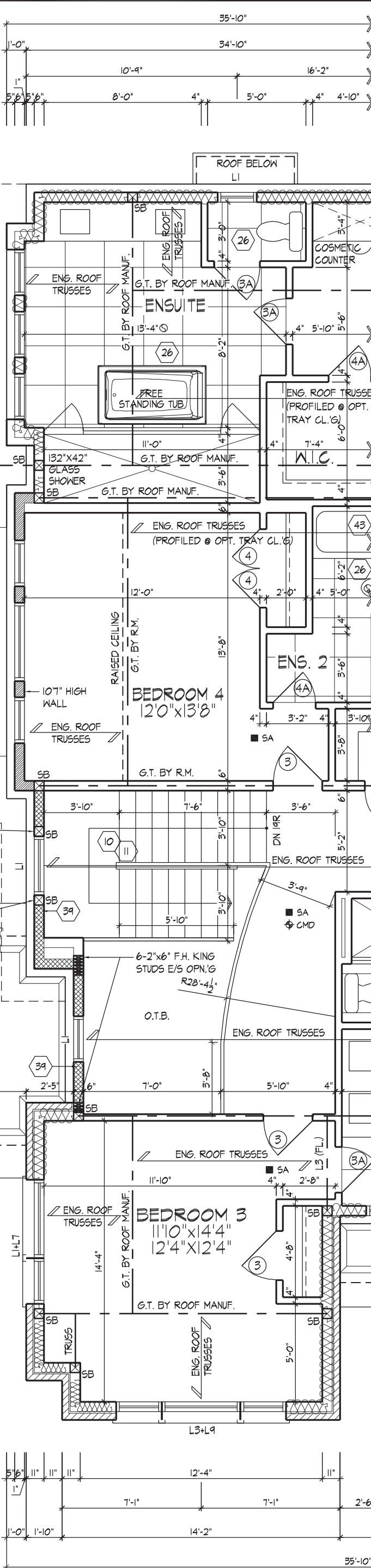
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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY:
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PARTIAL SECOND FLOOR PLAN, EL. 'C'

PARTIAL SECOND FLOOR PLAN, EL. 'C'

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QUALIFICATION INFORMATION

Allan Whitting

SIGNATURE

23177

BCIN

REGISTRATION INFORMATION

HUNT DESIGN ASSOCIATES INC.

19695

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GOLDPARK HOMES - 221081
PINE VALLEY PH.2, VAUGHAN, ON.

UNIT 4204 - THE BROOKVALLEY
REV.2022.07.25

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WT

Checked By

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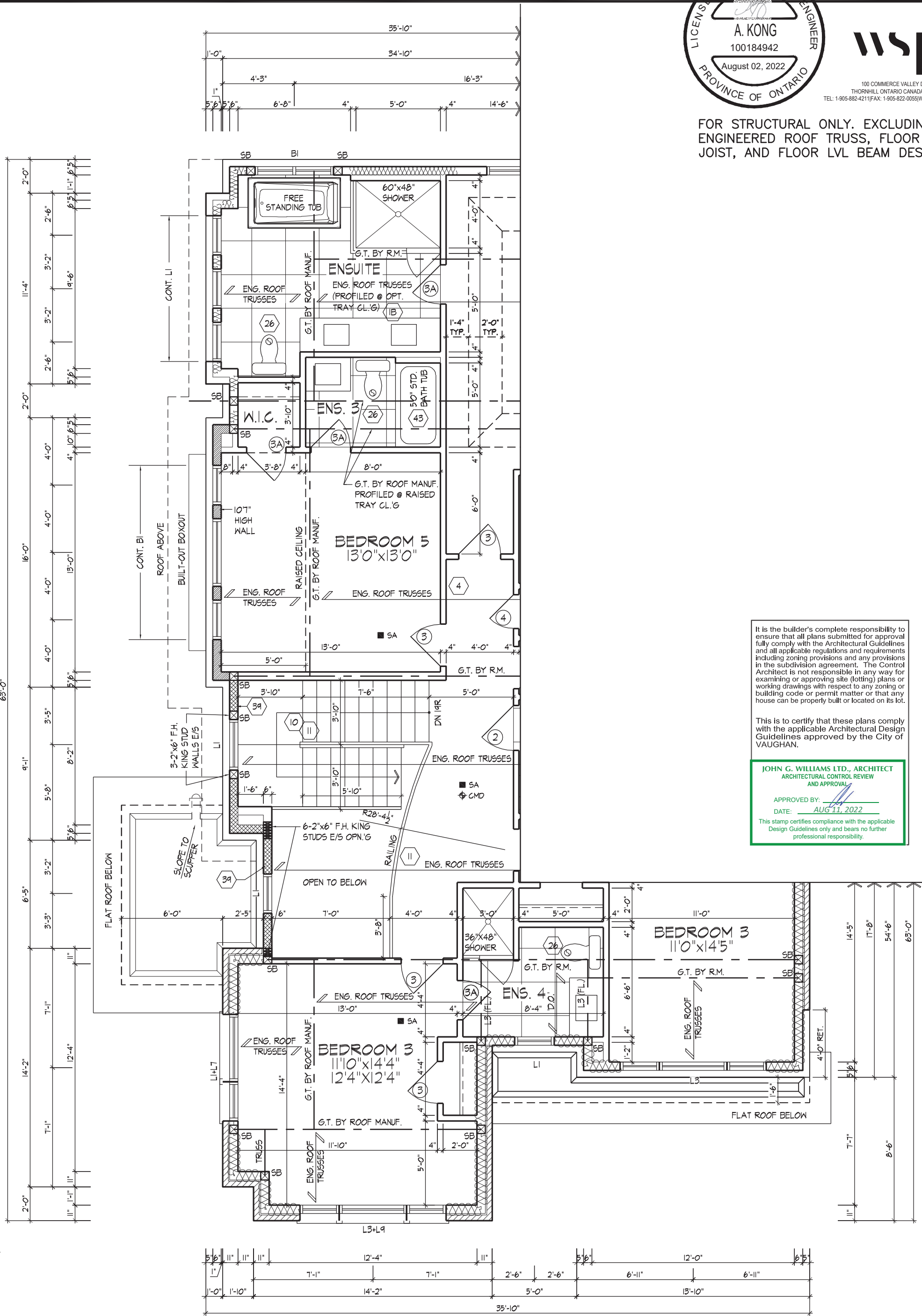
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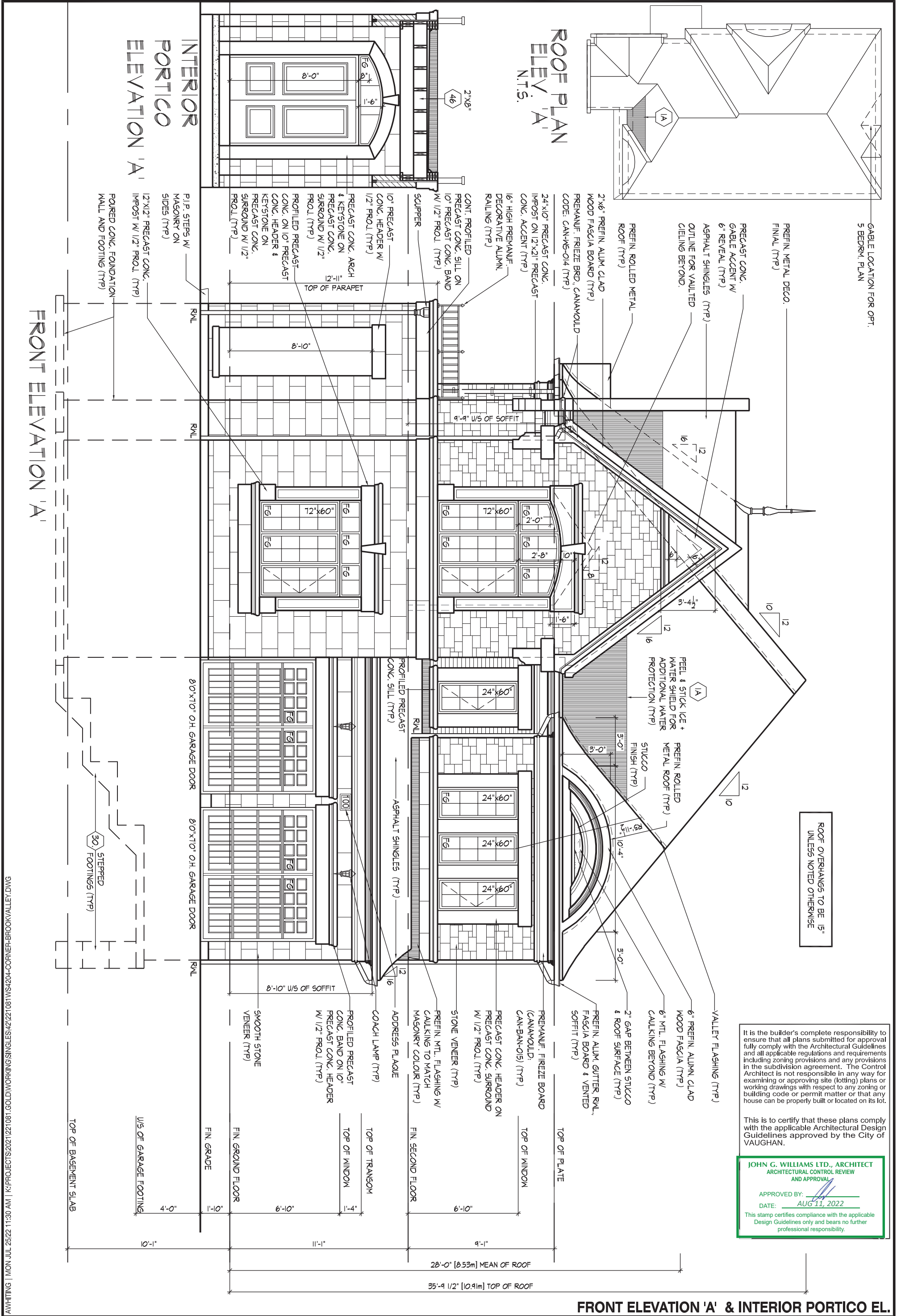
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PART. OPT. 5 BED. SECOND FLOOR PLAN, EL. 'C'

PART. OPT. 5 BED. SECOND FLOOR PLAN, EL. 'C'



FLANKAGE ELEVATION 'A'

ASPHALT SHINGLES (TYP.)-

ROOF OVERHANGS TO BE 15"
UNLESS NOTED OTHERWISE

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

UPGRADED ASPHALT SHINGLES
(ARCHITECTURAL SERIES)

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ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: _____
DATE: AUG 11, 2022

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FLANKAGE ELEVATION 'A'

UNIT 4204 - THE BROOKVALLEY
REV.2022.07.25

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: _____
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FLANKAGE ELEVATION 'A'

UNIT 4204 - THE BROOKVALLEY
REV.2022.07.25

GOLDPARK HOMES - 221081
PINE VALLEY PH.2, VAUGHAN, ON.

Drawn By	Checked By	Scale
WT	AW	3/16"=1'-0"
8966 Woodbine Ave, Markham, ON L3R 0J7		

221081WS4204-CORNER

Page Number
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8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326			

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QUALIFICATION INFORMATION

Allan Whiting

NAME

SIGNATURE

REGISTRATION INFORMATION

HUNT DESIGN ASSOCIATES INC.

23177
BCIN

BCIN

19695

- SMOOTH STONE
VENEER (TYP)

TOP OF TRANSOM
TOP OF WINDOW

TOP OF TRANSOM

FIN. SECOND FLOOR

CONC. SILL ON 10" PRECAST CONC. BAND W/ 1/2" PROJ. (TYP)

TOP OF WINDOW

TOP OF WINDOW

TOP OF PLATE

16" HIGH PREMANUF.
DECORATIVE ALUMN.
RAILING (TYP.)

1A PROVIDE ADD'L
ICE & WATER SHIELD

VAULTED
BEYOND.

6" REVEAL (TYP.)

6" REVEAL (TYP.)

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ROOF OVERHANGS TO BE 15"
UNLESS NOTED OTHERWISE

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

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RIGHT SIDE ELEVATION 'A'

RESTS ELEVATION A

**LOCATE UTILITY METERS
AWAY FROM PUBLIC VIEW**

EXTENTS OF SPATIAL
CALCULATIONS.
REFER TO WINDOW SUMMARY FOR
ADDITIONAL INFORMATION

PART. RIGHT
SIDE EL. 'A' FOR
OPT. 5 BED.

WINDOW SUMMARY				WINDOW SUMMARY			
PER O.B.C. TABLE 9.10.15.4				PER O.B.C. TABLE 9.10.15.4			
RIGHT SIDE ELEVATION A				RIGHT SIDE ELEV A FOR OPT. 5			
BEDRM. PLAN							
QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)
1	30"	16"	2.17	2	24"	52"	13.33
0	0"	0"	0.00	1	24"	48"	6.11
0	0"	0"	0.00	1	30"	16"	2.17
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
SPATIAL CALCULATION				SPATIAL CALCULATION			
EXPOSING BUILDING FACE AREA				EXPOSING BUILDING FACE AREA			
1391.11 S.F.				1391.11 S.F.			
129.24 S.M.				129.24 S.M.			
1391.11 S.F.				1391.11 S.F.			
129.24 S.M.				129.24 S.M.			
PORTION WALL AREA				PORTION WALL AREA			
12.2 m				12.2 m			
LIMITING DISTANCE				LIMITING DISTANCE			
7 %				7 %			
MAX. % OPENINGS				MAX. % OPENINGS			
97.38 S.F.				97.38 S.F.			
OPENINGS ALLOWED				OPENINGS ALLOWED			
2.17 S.F.				21.61 S.F.			
OPENINGS PROVIDED				OPENINGS PROVIDED			
ADDITIONAL NOTES				ADDITIONAL NOTES			
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER				GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER			

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QUALIFICATION INFORMATION

Allan Whiting
 NAME

 SIGNATURE

REGISTRATION INFORMATION

HUNT DESIGN ASSOCIATES INC.

23177
BCIN

BCIN

19695

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DESIGN ASSOCIATES INC.

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GOLDPARK HOMES - 221081
PINE VALLEY PH.2, VAUGHAN, ON.

UNIT 4204 - THE BROOKVALLEY
REV.2022.07.25

Drawn B

Checked By

Scale

$$3/16'' = 1' - 0''$$

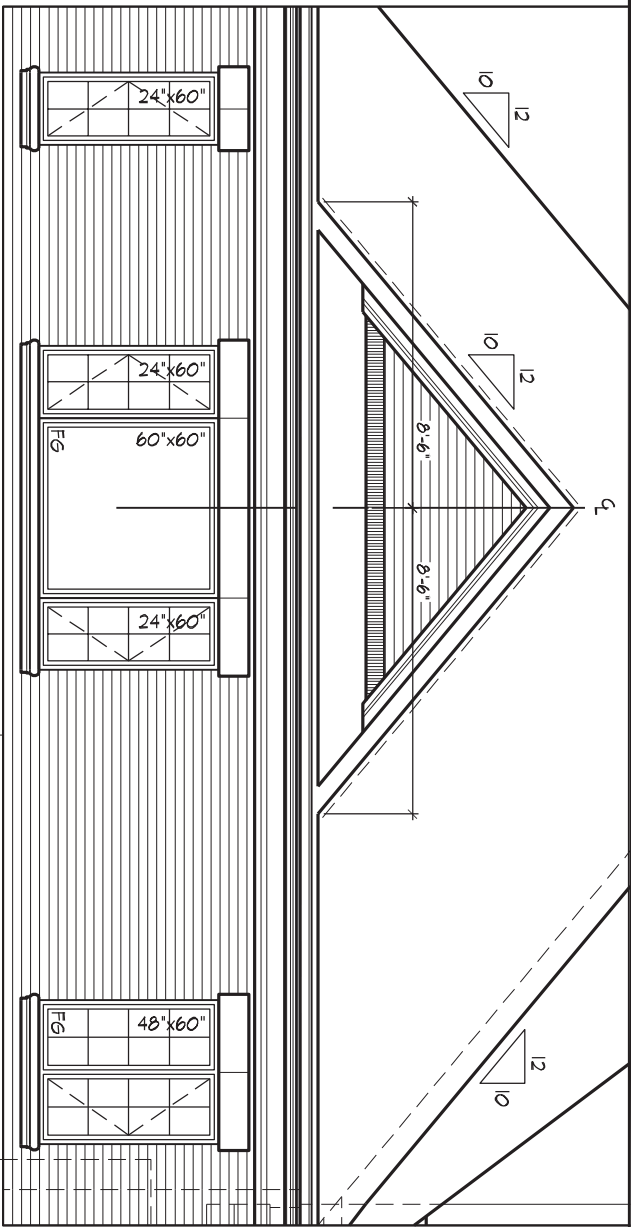
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PART. UPG. REAR ELEVATION 'A'
FOR OPT. 5 BEDROOM

WINDOW SUMMARY				WINDOW SUMMARY			
PER O.B.C. TABLE 9.10.15.4				PER O.B.C. TABLE 9.10.15.4			
REAR ELEV. A				REAR ELEV. A - 5 BDRM			
QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)
2	24"	60"	15.56	3	24"	60"	23.33
1	60"	60"	21.78	1	60"	60"	21.78
1	24"	48"	6.11	0	0"	0"	0.00
0	0"	0"	0.00	1	48"	60"	17.11
2	56"	16"	8.67	2	56"	64"	43.33
2	56"	18"	10.11	2	56"	16"	8.67
1	100"	96"	62.67	1	100"	96"	62.67
2	30"	16"	4.33	2	30"	16"	4.33
0	0"	0"	0.00	0	0"	0"	0.00
0	0"	0"	0.00	0	0"	0"	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
SPATIAL CALCULATION				SPATIAL CALCULATION			
EXPOSING BUILDING				EXPOSING BUILDING			
FACE AREA				FACE AREA			
71.19				71.19			
766.33				766.33			
PORTION WALL AREA				PORTION WALL AREA			
71.19				71.19			
LIMITING DISTANCE				LIMITING DISTANCE			
7.50 m				7.50 m			
MAX. % OPENINGS				MAX. % OPENINGS			
50.50				50.50			
OPENINGS ALLOWED				OPENINGS ALLOWED			
397.00				397.00			
OPENINGS PROVIDED				OPENINGS PROVIDED			
129.22				181.22			
ADDITIONAL NOTES				ADDITIONAL NOTES			
GLAZED AREA CALCULATED W/ FRAME SIZE				GLAZED AREA CALCULATED W/ FRAME SIZE			
MINUS 2' AROUND ENTIRE PERIMETER				MINUS 2' AROUND ENTIRE PERIMETER			

ROOF OVERHANGS TO BE 15"
UNLESS NOTED OTHERWISE
REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: AUG 11, 2022
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UPGRADED & PART. FOR OPT. 5 BED. REAR ELEVATION 'A'

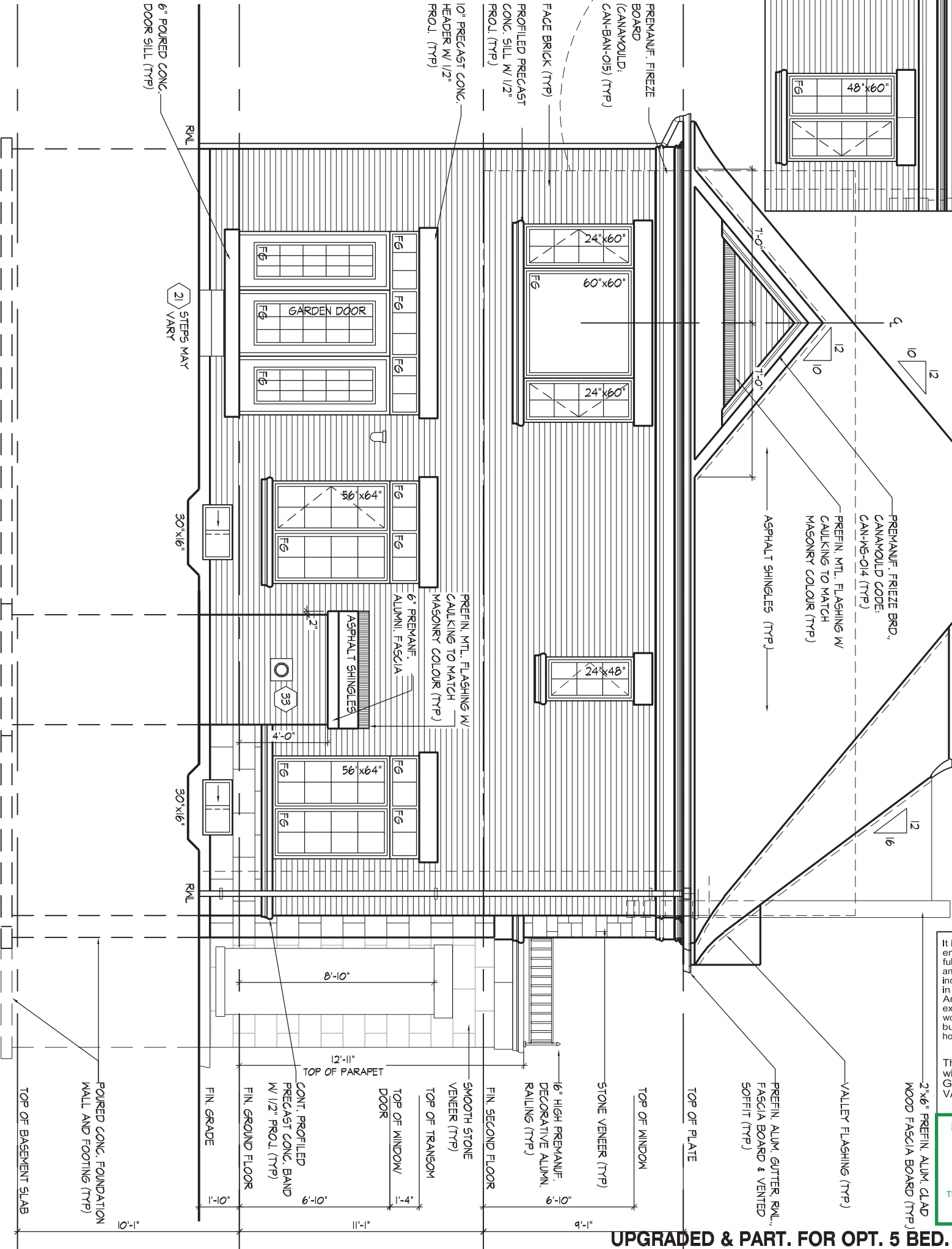
GOLDPARK HOMES - 221081 UNIT 4204 - THE BROOKVALLEY
PINE VALLEY PH.2, VAUGHAN, ON. REV.2022.07.25

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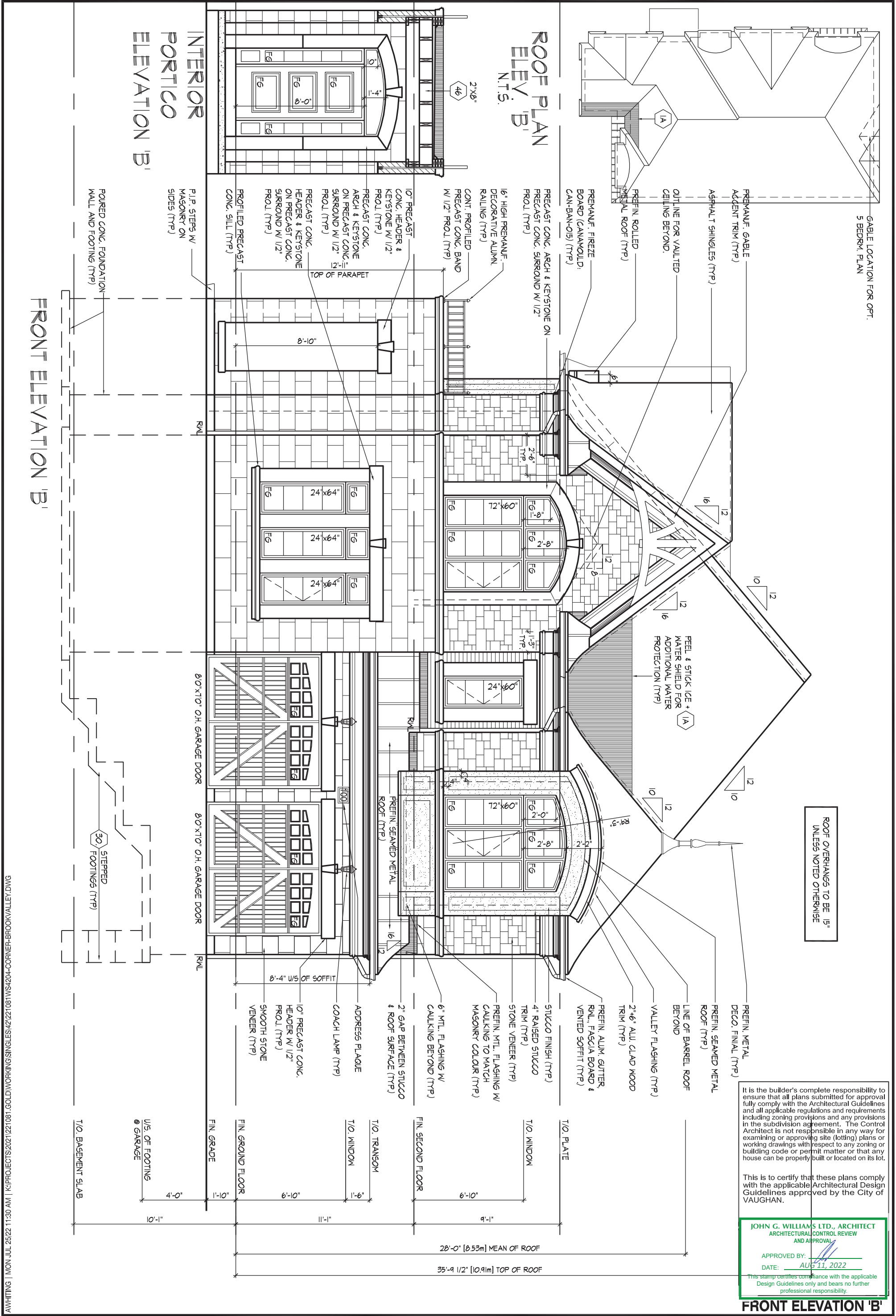
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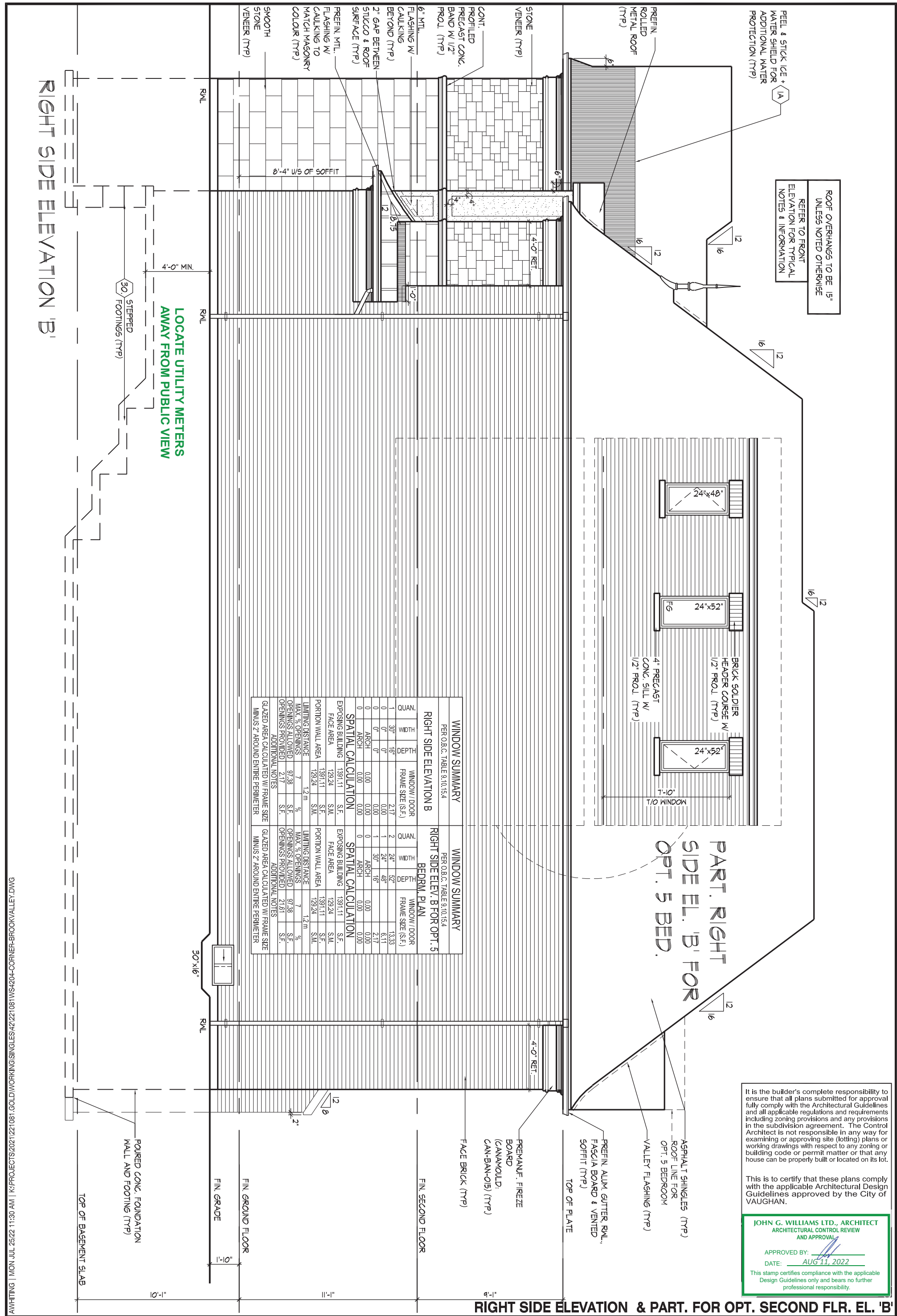
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QUALIFICATION INFORMATION
Allan Whiting
NAME: 23177 BCIN
REGISTRATION INFORMATION
HUNT DESIGN ASSOCIATES INC. 19695

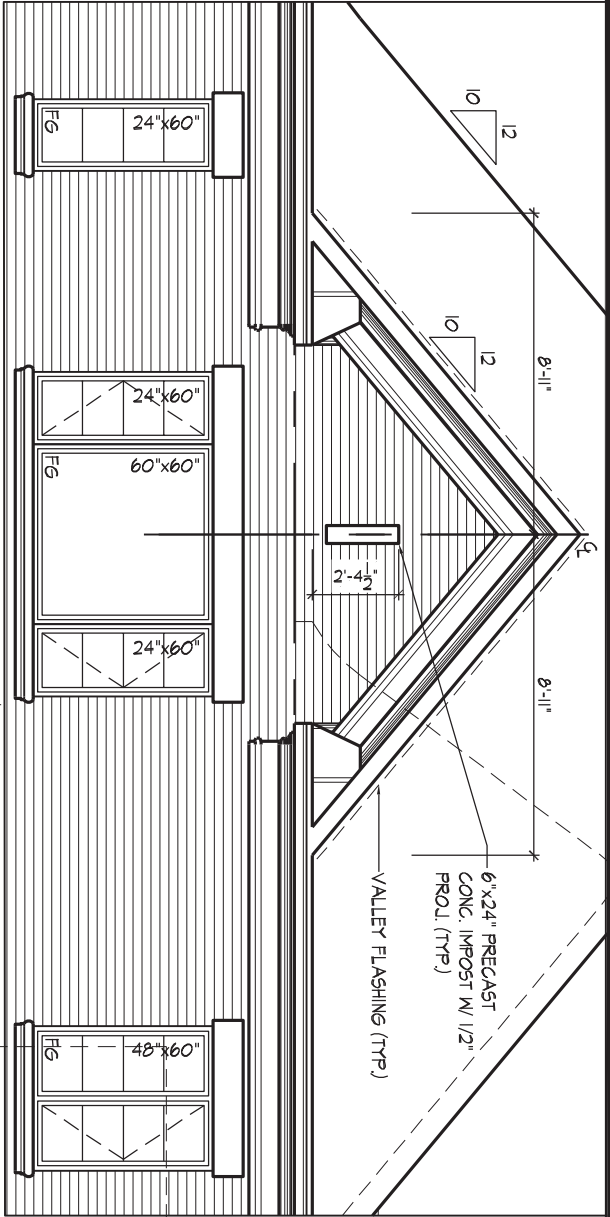
UPGRADED REAR ELEVATION 'A'



AW/WHITTING | MON JUL 25/22 11:30 AM | K:\PROJECTS\2021\221081.GOLDPARK\WORKING\SHINGLES\42\221081WS4204-CORNER-BROOKVALLEY.DWG







ROOF OVERHANGS TO BE 15"
UNLESS NOTED OTHERWISE
REFER TO FRONT
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ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: AUG 11, 2022
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PART. UPG. REAR ELEVATION 'B' FOR OPT. 5 BEDROOM

WINDOW SUMMARY				WINDOW SUMMARY			
PER O.B.C. TABLE 8.10.15.4				PER O.B.C. TABLE 8.10.15.4			
REAR ELEV. B				REAR ELEV. B - 5 BDRM			
QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)
2	24"	60"	15.56	3	24"	60"	23.33
1	60"	60"	21.78	1	60"	60"	21.78
1	24"	48"	6.11	0	0"	0"	0.00
0	0"	0"	0.00	1	48"	60"	17.11
2	56"	64"	43.33	2	56"	64"	43.33
2	56"	16"	10.11	2	56"	16"	10.11
1	100"	96"	62.87	1	100"	96"	62.87
2	30"	16"	4.33	2	30"	16"	4.33
0	0"	0"	0.00	0	0"	0"	0.00
0	0"	0"	0.00	0	0"	0"	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
SPATIAL CALCULATION				SPATIAL CALCULATION			
EXPOSING BUILDING FACE AREA				EXPOSING BUILDING FACE AREA			
766.33 S.F.				766.33 S.F.			
PORTION WALL AREA				PORTION WALL AREA			
766.33 S.F.				766.33 S.F.			
LIMITING DISTANCE				LIMITING DISTANCE			
7.50 m				7.50 m			
MAX. % OPENINGS				MAX. % OPENINGS			
50.50 %				50.50 %			
OPENINGS ALLOWED				OPENINGS ALLOWED			
387.00 S.F.				387.00 S.F.			
OPENINGS PROVIDED				OPENINGS PROVIDED			
183.89 S.F.				183.89 S.F.			
ADDITIONAL NOTES				ADDITIONAL NOTES			
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER				GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER			

UPGRADED & PART. FOR OPT. 5 BED. REAR ELEVATION 'B'

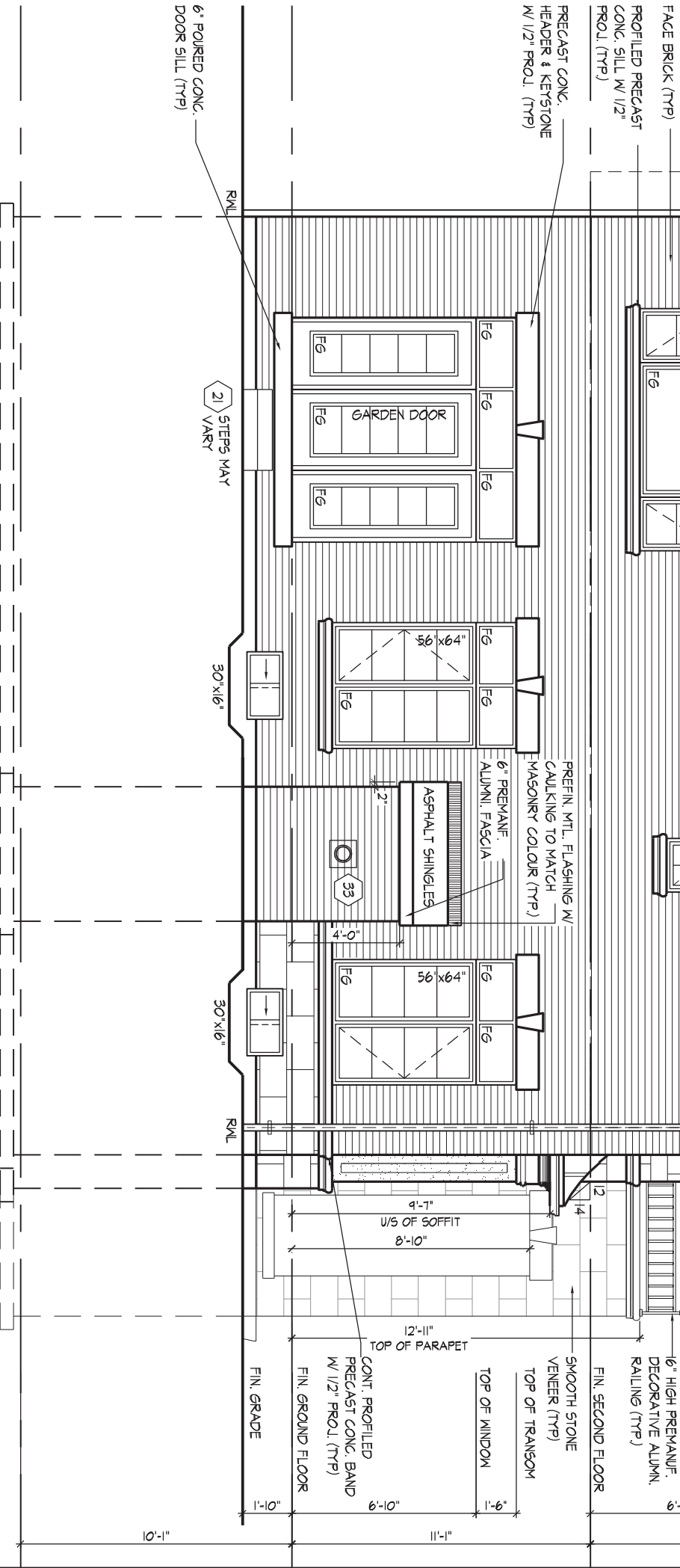
GOLDPARK HOMES - 221081 UNIT 4204 - THE BROOKVALLEY
PINE VALLEY PH.2, VAUGHAN, ON. REV.2022.07.25

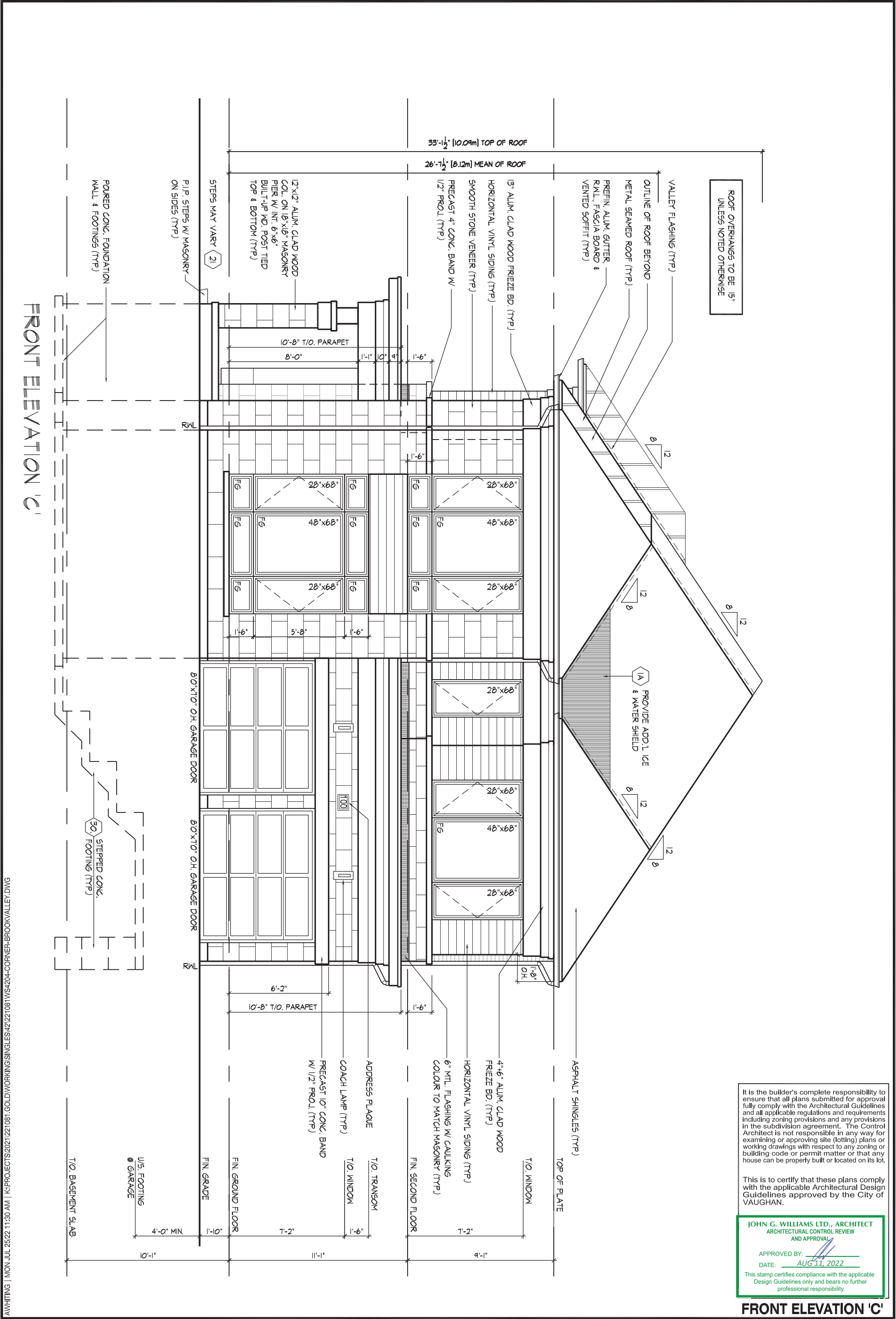
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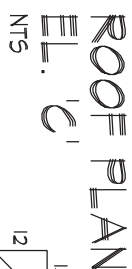
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QUALIFICATION INFORMATION
Allan Whiting
NAME: Allan Whiting
REGISTRATION INFORMATION: 23177 BCIN
HUNT DESIGN ASSOCIATES INC. 19695

UPGRADED REAR ELEVATION 'B'







It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements. Including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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APPROVED BY: [Signature]
DATE: AUG 11, 2022
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FLANKAGE ELEVATION 'C'

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QUALIFICATION INFORMATION

NAME: Allan Whiting SIGNATURE:

REGISTRATION INFORMATION

HUNT DESIGN ASSOCIATES INC.

23177
BCIN

19695

19695

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GOLDPARK HOMES - 221081
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UNIT 4204 - THE BROOKVALLEY
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Drawn By	Checked By	Scale	File Number	Page Number
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Allan Whiting
NAME
SIGNATURE
23177
BCIN
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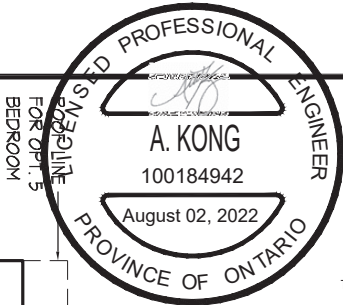
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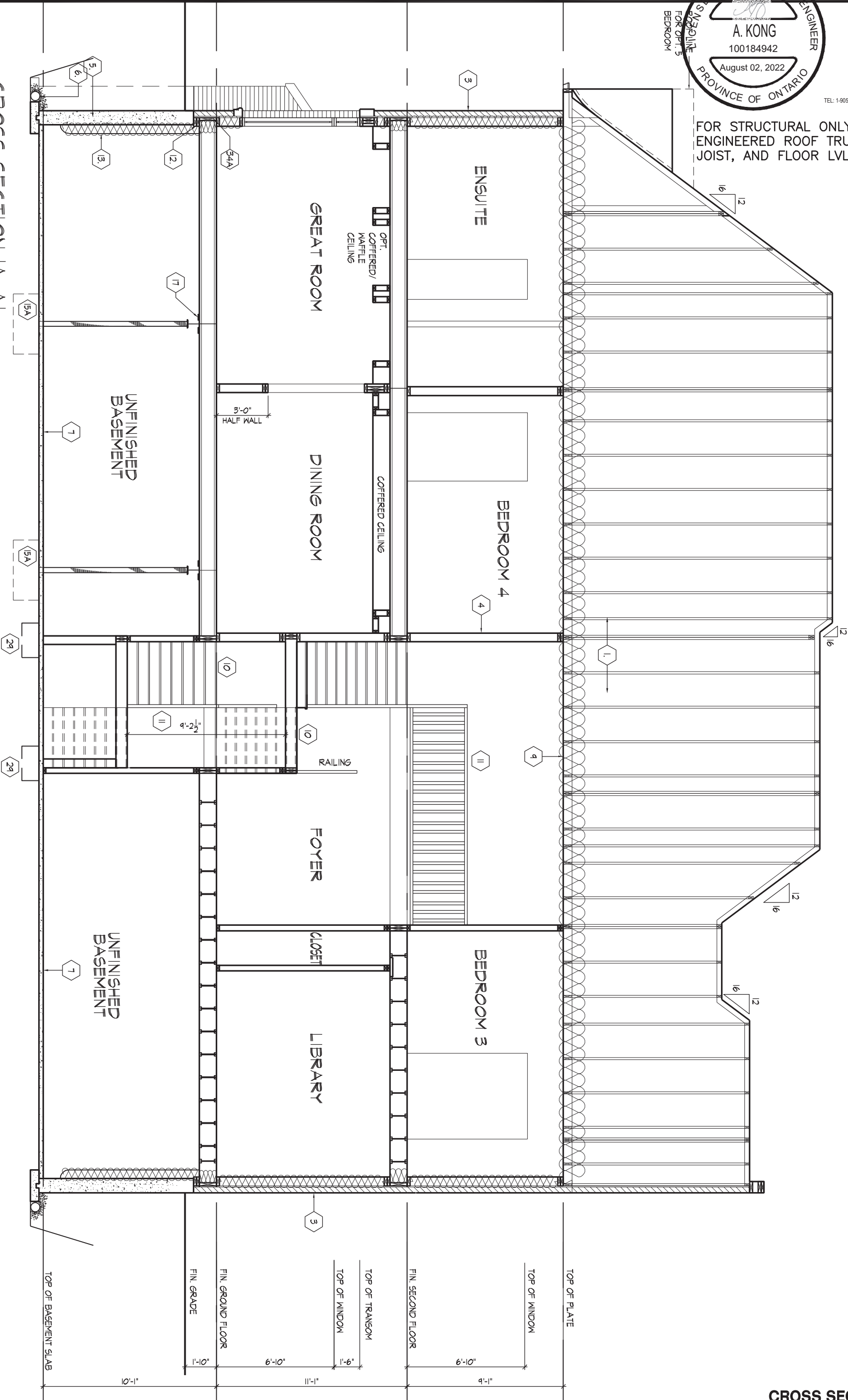
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100 COMMERCE VALLEY C.W.
THORNHILL, ONTARIO CANADA L3T 0A1
TEL: 1-905-882-4211/FAX: 1-905-822-0055/WWW.WSPGR

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CROSS SECTION 'A-A'

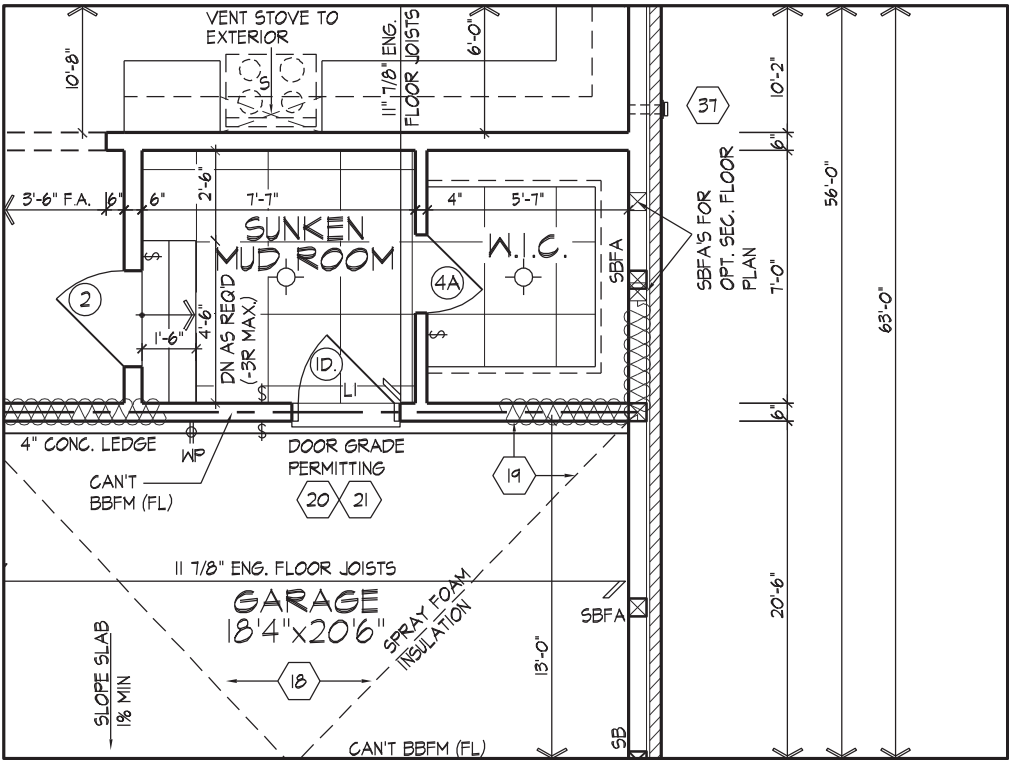


CROSS SECTION 'A-A'



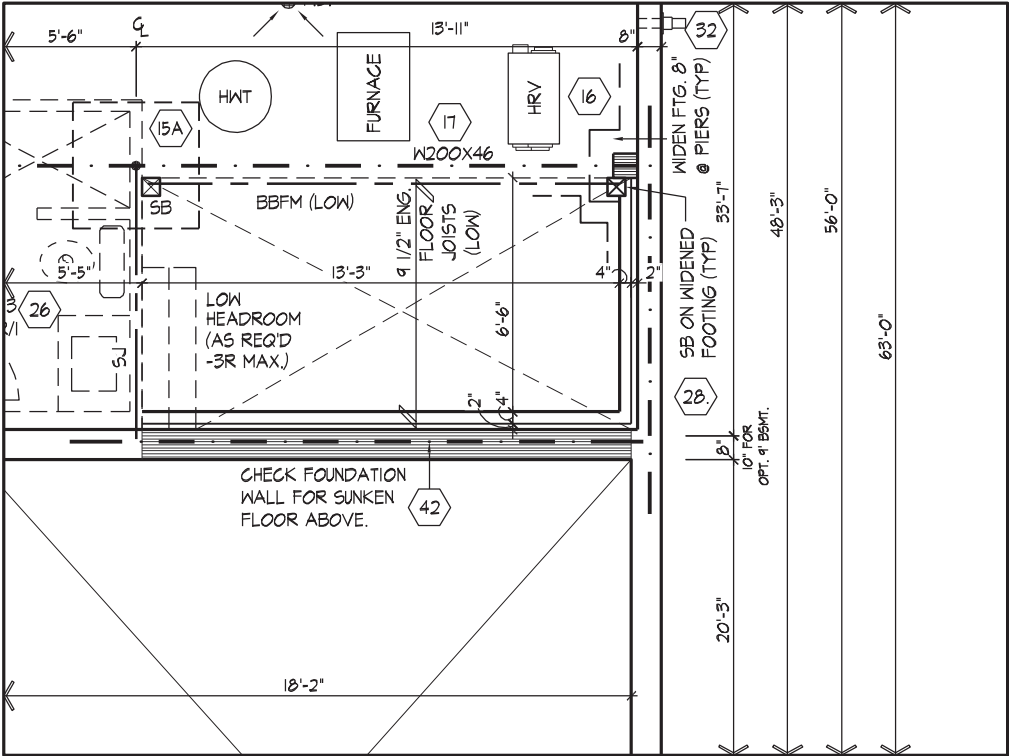
100 COMMERCE VALLEY C.W.
THORNHILL, ONTARIO CANADA L3T 0A1
TEL: 1-905-882-4211/FAX: 1-905-822-0055/WWW.WSPGR

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JOIST, AND FLOOR LVL BEAM DESIGN.



PART. GROUND FLOOR PLAN EL. 'A'
FOR SUNKEN MUDROOM
(EL. 'B' SIMILAR)

- SPACE ALL FLOOR JOISTS @
12" O.C. UNDER ALL CERAMIC
TILE AREAS.
- PROVIDE SOLID WOOD BLOCKING @
24" O.C. FOR FIRST JOIST SPAN
WHEN PARALLEL W/ EXTERIOR WALL
- REFER TO FLOOR JOIST
MANUFACTURER'S DRAWINGS FOR
LAYOUT, SPACING, BLOCKING &
STRAPPING REQUIREMENTS,
INSTALLATION DETAILS AND HANGER
SIZES, & SUBFLOOR THICKNESS



PART. BASEMENT PLAN EL. 'A'
FOR SUNKEN MUDROOM
(EL. 'B' SIMILAR)

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY:

DATE: AUG 11, 2022

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

PART. BSMT. & GRND. FLR. PLAN, EL. 'A' FOR SUNK. MUDROOM (EL. 'B' SIMILAR)

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QUALIFICATION INFORMATION
Allan Whiting 23177
NAME SIGNATURE BCIN

HUNT DESIGN ASSOCIATES INC. 19695

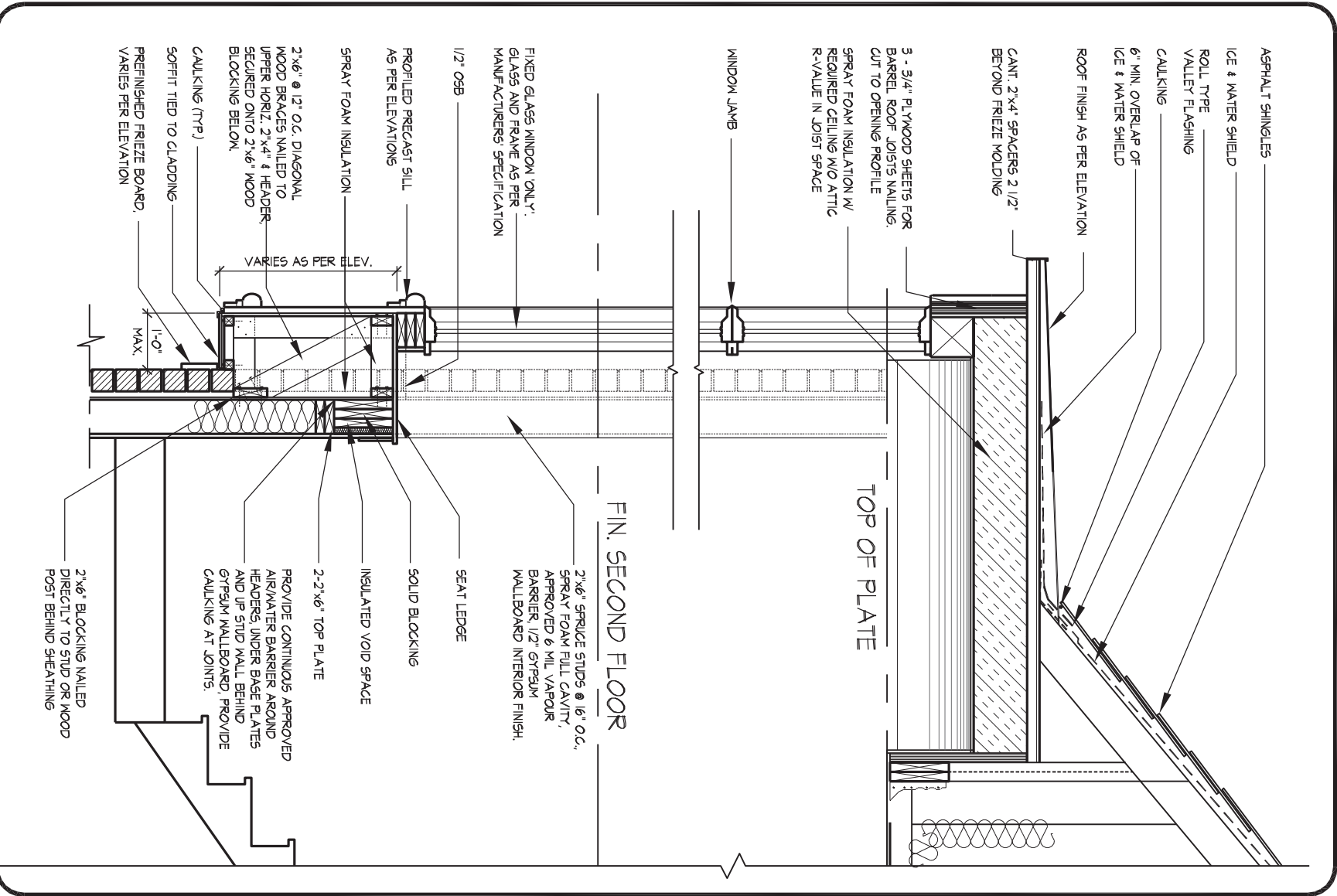
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8.C1 PROJECTED WINDOW @ LANDING W/ BRICK WALL
1/2" = 1'-0"



100 COMMERCE VALLEY DR. W.
THORNHILL, ONTARIO CANADA L3T 0A1
TEL: 1-905-882-4211/FAX: 1-905-822-0055|WWW.WSPGROUP.CA

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DETAILS

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QUALIFICATION INFORMATION

NAME: Allan Whiting
SIGNATURE: [Signature]
REGISTRATION INFORMATION: 23177 BCIN

HUNT DESIGN ASSOCIATES INC.

19695

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GOLDPARK HOMES - 221081
PINE VALLEY PH.2, VAUGHAN, ON.

UNIT 4204 - THE BROOKVALLEY
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cont. SECTION 1.0. CONSTRUCTION NOTES

39

TWO STOREY VOLUME SPACES (9.23.10.1., 9.23.11., 9.23.16.)

WALL ASSEMBLY		WIND LOADS			
EXTERIOR	STUDS	<= 0.5 kPa (q50)		> 0.5 kPa (q50)	
		SPACING	MAX HEIGHT	SPACING	MAX HEIGHT
BRICK	2-2"x6" (2-38x140) SPR.#2	12" (305) O.C.	18'-4" (5588)	8" (200) O.C.	18'-4" (5588)
SIDING	2-2"x8" (2-38x184) SPR.#2	16" (406) O.C.	18'-4" (5588)	12" (305) O.C.	18'-4" (5588)
BRICK		12" (305) O.C.	21'-0" (6400)	12" (305) O.C.	21'-0" (6400)
SIDING		16" (406) O.C.	21'-0" (6400)	16" (406) O.C.	21'-0" (6400)
** STUD SIZE & SPACING TO BE VERIFIED BY STRUCTURAL ENGINEER **					

STUDS ARE TO BE CONTINUOUS, C/W 3/8" (9.5) THICK EXTERIOR PLYWOOD SHEATHING. PROVIDE SOLID WOOD BLOCKING BETWEEN WOOD STUDS @ 4'-0" (1220) O.C. VERTICALLY.

- FOR HORIZ. DISTANCES LESS THAN 9'-6" (2896) PROVIDE 2"x6" (38x140) STUDS @ 16" (406) O.C. WITH CONTIN. 2"x6" (2-38x140) TOP PLATE + 1-2"x6" (1-38x140) BOTTOM PLATE & MIN. OF 3-2"x8" (3-38x184) CONT. HEADER AT GROUND FLOOR CEILING LEVEL TOE-NAILED & GLUED AT TOP, BOTTOM PLATES & HEADERS.

40	1 HR. PARTY WALL (CONC. BLOCK) ((SB-3] WALL TYPE 'B6e' & 'B1b')				
	1/2" (12.7) GYPSUM SHEATHING ON EACH SIDE ON 2"x2" (38x38) VERTICAL WD. STRAPPING @ 24" (610) O.C. ON 8" (200) CONC. BLOCK FILL STRAPPING CAVITY EACH SIDE WITH AT LEAST 90% OF ABSORPTIVE MATERIAL PROCESSED FROM ROCK, SLAG OR GLASS. TAPE, FILL & SAND ALL GYPSUM JOINTS. EXPOSED BLOCK MUST BE SEALED W/ 2 COATS OF PAINT OR FURRED WITH 2"x2" (38x38) WD. STRAPPING & 1/2" (12.7) GYPSUM SHEATHING.				

40	1 HR. PARTY WALL (DOUBLE STUD) ((SB-3] WALL TYPE 'W13c')				
	5/8" (15.9) TYPE 'X' GYPSUM SHEATHING ON EXTERIOR SIDE OF 2 ROWS OF 2"x4" (38x89) STUDS @ 16" (406) O.C. MIN. 1" (25) APART ON SEPARATE 2"x4" (38x89) SILL PLATES. (2"x6" (38x140) AS REQUIRED) FILL ONE SIDE OF STUD CAVITY WITH AT LEAST 90% OF ABSORPTIVE MATERIAL PROCESSED FROM ROCK, SLAG OR GLASS. TAPE FILL AND SAND ALL GYPSUM JOINTS.				

40A	2 HR. FIREWALL ((SB-3] WALL TYPE 'B6e' & 'B1b')				
	1/2" (12.7) GYPSUM SHEATHING ON EACH SIDE ON 2"x2" (38x38) VERTICAL WOOD STRAPPING @ 24" (610) O.C. ON 8" (200) CONC. BLOCK 75% SOLID. FILL STRAPPING CAVITY EACH SIDE WITH AT LEAST 90% OF ABSORPTIVE MATERIAL PROCESSED FROM ROCK, SLAG OR GLASS. TAPE, FILL & SAND ALL GYPSUM JOINTS. AT UNFINISHED AREAS, EXTERIOR FACE OF CONC. BLOCK TO BE SEALED WITH 2 COATS OF PAINT. GYPSUM SHEATHING TO BE ATTACHED TO CONC. BLOCK. (REFER TO DETAILS)				

41	STUCCO WALL CONSTRUCTION (2"x6")				
	STUCCO FINISH CONFORMING TO O.B.C. SECTION 9.28, AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1 1/2" (38) E.I.F.S. (MINIMUM) ON APPROVED DRAINAGE MAT ON 1/2" (12.7) DENSGLASS GOLD GYPSUM BOARD ON STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1., INSULATION, APPROVED 6 MIL. POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (REFER TO 35 NOTE AS REQUIRED)				

41A	STUCCO WALL CONSTRUCTION (2"x6") W/ CONTIN. INSUL.				
	STUCCO FINISH CONFORMING TO O.B.C. SECTION 9.28, AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1 1/2" (38) E.I.F.S. (MINIMUM) ON APPROVED DRAINAGE MAT ON APPROVED AIR/WATER BARRIER AS PER O.B.C. 9.27.3. ON EXTERIOR TYPE RIGID INSULATION (JOINTS UNTAPED) MECHANICALLY FASTENED AS PER MANUFACTURERS SPECIFICATIONS. ON 7/16" EXTERIOR TYPE SHEATHING ON STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1., INSULATION, APPROVED 6 MIL. POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (REFER TO 35 NOTE AS REQUIRED)				

41B	STUCCO WALL @ GARAGE CONST.				
	STUCCO FINISH CONFORMING TO O.B.C. SECTION 9.28, AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1 1/2" (38) E.I.F.S (MINIMUM) ON APPROVED DRAINAGE MAT ON 1/2" (12.7) DENSGLASS GOLD GYPSUM BRD. ON STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1., 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (REFER TO 35 NOTE AS REQ.)				

*** FOR DWELLINGS USING CONTIN. INSULATION CONSTRUCTION, PROVIDE APPROVED DRAINAGE MAT ON 7/16" (11) EXTERIOR TYPE SHEATHING OVER FURRING (AS REQ.) AND STUDS IN LIEU OF 1 1/2" (38) E.I.F.S (MINIMUM) ON APPROVED DRAINAGE MAT ON 1/2"(12.7) DENSGLASS GOLD GYPSUM BRD.

42	UNSUPPORTED FOUNDATION WALLS (9.15.4.2.)				
	REINFORCING AT STAIRS AND SUNKEN FLOOR AREAS 2-20M BARS IN TOP PORTION OF WALL (UP TO 8'-0" OPENING) 3-20M BARS IN TOP PORTION OF WALL (8'-0" TO 10'-0" OPENING) 4-20M BARS IN TOP PORTION OF WALL (10'-0" TO 15'-0" OPENING) - BARS STACKED VERTICALLY AT INTERIOR FACE OF WALL @ 6" O.C. REINFORCING AT BASEMENT WINDOWS 2-15M HORIZ. REINFORCING ON THE INSIDE AND OUTSIDE FACE OF THE FOUNDATION WALL BELOW THE WIN. SILL. EXTEND BARS 24" (610) BEYOND THE OPENING. 2-15M VERTICAL REINFORCING ON THE INSIDE AND OUTSIDE FACE OF THE FOUNDATION WALL ON EACH SIDE OF THE WINDOW OPENING. - BARS TO HAVE MIN. 1" (25) CONC. COVER - BARS TO EXTEND 2'-0" (610) BEYOND BOTH SIDES OF OPENING				

43	STUD WALL REINFORCEMENT				
	PROVIDE STUD WALL REINFORCEMENT IN MAIN BATHROOM CONFORMING TO O.B.C. (9.5.2.3.(1)) (REFER TO DETAILS)				

44	WINDOW WELLS				
	WHERE A WINDOW OPENS INTO A WINDOW WELL, A CLEARANCE OF NOT LESS THAN 21 5/8" (550) SHALL BE PROVIDED IN FRONT OF THE WINDOW. EVERY WINDOW WELL SHALL BE DRAINED TO THE FOOTING LEVEL OR OTHER SUITABLE LOCATION WITH A 4" (100) WEEPING TILE C/W A FILTER CLOTH WRAP AND FILLED WITH CRUSHED STONE. (9.9.10.1.(5), 9.14.6.3.)				

45	SLOPED CEILING CONSTRUCTION ((SB-12] 3.1.1.8., 9.23.4.2.)				
	2"x12" (38x286) ROOF JOISTS @ 16" (406) O.C. MAX. (UNLESS OTHERWISE NOTED) W/ 2"x2" (38x38) PURLINS @ 16" (406) O.C. PERPENDICULAR TO ROOF JOIST (PURLINS NOT REQ. W/ SPRAY FOAM), W/ INSULATION BETWEEN JOIST, 6 mil POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH OR APPROVED EQ. INSULATION VALUE DIRECTLY ABOVE THE INNER SURFACE OF EXTERIOR WALLS SHALL NOT BE LESS THAN R20 (3.52 RSI).				

46	FLAT ROOF/BALCONY CONSTRUCTION				
	WATERPROOFING MEMBRANE (9.26.11, 9.26.15, 9.26.16) FULLY ADHERED TO 5/8" (15.9) T&G EXTERIOR GRADE PLYWOOD SHEATHING ON 2"x2" (38x38) PURLINS ANGLED TOWARDS SCUPPER @ 2% MINIMUM LAID PERPENDICULAR TO 2"x8" (38x184) FLOOR JOISTS @ 16" (406) O.C. (UNLESS OTHERWISE NOTED). BUILT UP CURB TO BE 4" (100) MIN. ABOVE FINISHED BALCONY FLOOR. CONTINUOUS 'L' TRIM DRIP EDGE TO BE PROVIDED ON OUTSIDE FACE OF CURB. SCUPPER DRAIN TO BE LOCATED 24" (610) MIN. AWAY FROM HOUSE. PREFINISHED ALUMINUM OR PANEL FOR UNDERSIDE OF SOFFIT (9.23.2.3). REMOVE CURB WHERE REQ. BALCONY CONDITION SEE FLAT ROOF/BALCONY CONSTRUCTION NOTE. INCLUDE 2"x4" (38x89) PT. DECKING W/ 1/4" (6.4) GAPS LAID FLAT PARALLEL TO JOISTS ON 2"x4" (38x89) PT. SLEEPERS @ 12" (305) O.C. LAID FLAT PERPENDICULAR TO JOISTS BALCONY OVER HEATED SPACE CONDITION SEE FLAT ROOF/BALCONY CONSTRUCTION NOTE FOR ASSEMBLY. REFER TO PLANS FOR FLOOR JOIST SIZE & REFER TO HEX NOTE 9 FOR INSULATION AND INTERIOR FINISH				

47	BARREL VAULT CONSTRUCTION				
	CANTILEVERED 2"x4" (38x89) SPACERS LAID FLAT ON 2"x10" (38x235) SPR. #2 ROOF JOIST NAILED TO BUILT-UP 3-3/4" (19) PLYWOOD HEADER PROFILED FOR BARREL. SPRAY FOAM INSULATION BETWEEN JOISTS W/ GYPSUM BOARD. INTERIOR FIN. (REFER TO DETAILS)				

REFER TO SB-12 ENERGY EFFICIENCY DESIGN MATRIX ON THE TITLE PAGE FOR ALL VALUES AS REQUIRED PER 3.1.1., 3.1.2., 3.1.3. OF THE OBC.

SECTION 1.1. WALL STUDS

- REFER TO THIS CHART FOR STUD SIZE & SPACING AS REQUIRED FOR EXTERIOR WALLS ONLY. REFER TO SITING & GRADING PLAN OF THIS UNIT FOR CONFIRMATION OF TOP OF FOUNDATION WALL AND ADDITIONAL INFORMATION.

- IF STUD WALL HEIGHT EXCEEDS MAX. UNSUPPORTED HEIGHT, WALL NEEDS TO BE REVIEWED AND APPROVED BY ENGINEER.

SIZE & SPACING OF STUDS; (OBC REFERENCE - TABLE 9.23.10.1.)					
MIN. STUD SIZE, in (mm)	SUPPORTED LOADS (EXTERIOR)				
	ROOF w/ OR w/o ATTIC	ROOF w/ OR w/o ATTIC & 1 FLOOR	ROOF w/ OR w/o ATTIC & 2 FLOOR	ROOF w/ OR w/o ATTIC & 3 FLOOR	
	MAX. STUD SPACING, in (mm) O.C.				
	MAX. UNSUPPORTED HGT., ft-in (m)				
2"x4" (38x89)	24" (610)	16" (405)	12" (305)	N/A	
2"x6" (38x140)	9'-10" (3.0)	9'-10" (3.0)	9'-10" (3.0)	N/A	
	-	24" (610)	16" (406)	12" (305)	
	-	9'-10" (3.0)	11'-10" (3.6)	5'-11" (1.8)	

SECTION 2.0. GENERAL NOTES

2.1. WINDOWS

1) EXCEPT WHERE A DOOR ON THE SAME FLOOR LEVEL AS THE BEDROOM PROVIDES DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL CONTAINING A BEDROOM IS TO HAVE AT LEAST ONE OUTSIDE WINDOW W/ MIN. 0.35m2 UNOBSTRUCTED OPEN PORTION W/ NO DIMENSION LESS THAN 1'-3" (380), CAPABLE OF MAINTAINING THE OPENING WITHOUT THE NEED FOR ADDITIONAL SUPPORT, CONFORMING TO 9.9.10.

2) WINDOW GUARDS: A GUARD OR A WINDOW WITH A MAXIMUM RESTRICTED OPENING WIDTH OF 4" (100) IS REQUIRED WHERE THE TOP OF THE WINDOW SILL IS LOCATED LESS THAN 1'-7" (480) ABOVE FIN. FLOOR AND THE DISTANCE FROM THE FINISHED FLOOR TO THE ADJACENT GRADE IS GREATER THAN 5'-11" (1800). (9.8.8.1.)

3) WINDOWS IN EXIT STAIRWAYS THAT EXTEND TO LESS THAN 2'-11" (900) [3'-6" (1070) FOR ALL OTHER BUILDINGS] SHALL BE PROTECTED BY GUARDS IN ACCORDANCE WITH NOTE #2 (ABOVE). OR THE WINDOW SHALL BE NON-OPERABLE AND DESIGNED TO WITHSTAND THE SPECIFIED LOADS FOR BALCONY GUARDS AS PROVIDED IN 4.1.5.15 OR 9.8.8.2

4) REFER TO TITLE PAGE FOR MAX. U-VALUE REQUIREMENTS

ROOM OR SPACE		MINIMUM HEIGHTS
LIVING ROOM, DINING ROOM AND KITCHEN	7'-7"	OVER 75% OF REQUIRED FLOOR AREA WITH A CLEAR HEIGHT OF 6'-11" AT ANY POINT
BEDROOM	7'-7"	OVER 50% OF REQUIRED FLOOR AREA OR 6'-11" OVER ALL OF THE REQUIRED FLOOR AREA.
BASEMENT	6'-11"	OVER AT LEAST 75% OF THE BASEMENT AREA EXCEPT THAT UNDER BEAMS AND DUCTS THE CLEARANCE IS PERMITTED TO BE REDUCED TO 6'-5".
BATHROOM, LAUNDRY AREA ABOVE GRADE	6'-11"	IN ANY AREA WHERE A PERSON WOULD NORMALLY BE STANDING
FINISHED ROOM NOT MENTIONED ABOVE	6'-11"	
MEZZANINES	6'-11"	ABOVE & BELOW FLOOR ASSEMBLY (9.5.3.2.)
STORAGE GARAGE	6'-7"	(9.5.3.3.)

2.3. MECHANICAL / PLUMBING

1) MECHANICAL VENTILATION IS REQUIRED TO PROVIDE 0.7 AIR CHANGE PER HOUR IF NOT AIR CONDITIONED 1 PER HOUR IF AIR CONDITIONED AVERAGED OVER 24 HOURS. WHEN A VENTILATION FAN (PRINCIPAL EXHAUST) IS REQUIRED, CONFORM TO OBC 9.32.3.4. WHEN A HRV IS REQUIRED, CONFORM TO 9.32.3.11. REFER TO MECHANICAL DRAWINGS.

2) REFER TO HOT WATER TANK MANUFACTURER SPECS. CONFORM TO OBC 9.31.6.

3) REFER TO TITLE PAGE FOR SPACE HEATING EQUIPMENT, HRV AND DOMESTIC HOT WATER HEATER MINIMUM EFFICIENCIES.

4) DRAIN WATER HEAT RECOVERY UNIT(S) WILL BE INSTALLED CONFORMING TO THE REQUIREMENTS OF SB12 - 3.1.1.12. OF THE O.B.C.

2.4. LUMBER

1) ALL LUMBER SHALL BE SPRUCE No.2 GRADE OR BETTER, UNLESS NOTED OTHERWISE.

2) STUDS SHALL BE STUD GRADE SPRUCE, UNLESS NOTED OTHERWISE.

3) LUMBER EXPOSED TO THE EXTERIOR TO BE SPRUCE No. 2 GRADE PRESSURE TREATED OR CEDAR, UNLESS NOTED OTHERWISE.

4) ALL LAMINATED VENEER LUMBER (LVL) BEAMS, GIRDER TRUSSES, AND METAL HANGER CONNECTIONS SUPPORTING ROOF FRAMING TO BE DESIGNED & CERTIFIED BY FLOOR AND ROOF TRUSS MANUFACTURER.

5) JOIST HANGERS: PROVIDE APPROVED METAL HANGERS FOR ALL JOISTS AND BUILT-UP WOOD MEMBERS INTERSECTING WITH FLUSH BUILT-UP WOOD MEMBERS.

6) WOOD FRAMING NOT TREATED WITH A WOOD PRESERVATIVE. IN CONTACT WITH CONCRETE, SHALL BE SEPARATED FROM THE CONC. BY AT LEAST 2 mil POLYETHYLENE FILM, No.50 (45lbs) ROLL ROOFING OR OTHER DAMPPROOFING MATERIAL, EXCEPT WHERE THE WOOD MEMBER IS AT LEAST 6" (152) ABOVE THE GROUND.

2.5. STEEL (9.23.4.3.)

1) STRUCTURAL STEEL SHALL CONFORM TO CAN/CSA-G40-21 GRADE 350W. HOLLOW STRUCT. SECTIONS SHALL CONFORM TO CAN/CSA-G40-21 GRADE 350W CLASS "H".

2) REINFORCING STEEL SHALL CONFORM TO CSA-G30-18M GRADE 400R.

2.6. FLAT ARCHES

1) FOR 8'-0" (2440) CEILINGS, FLAT ARCHES SHALL BE 6'-10" (2080) A.F.F.

2) FOR 9'-0" (2740) CEILINGS, FLAT ARCHES SHALL BE 7'-10" (2400) A.F.F.

3) FOR 10'-0" (3040) CEILINGS, FLAT ARCHES SHALL BE 8'-6" (2600) A.F.F.

2.7. ROOF OVERHANGS

1) ALL ROOF OVERHANGS SHALL BE 1'-0" (305). UNLESS NOTED OTHERWISE.

2.8. FLASHING (9.20.13., 9.26.4. & 9.27.3.)

1) FLASHING MATERIALS & INSTALLATION SHALL CONFORM TO O.B.C.

2.9. GRADING

1) THE BUILDING SHALL BE LOCATED OR THE BUILDING SITE GRADED SO THE WATER WILL NOT ACCUMULATE AT OR NEAR THE BUILDING AND WILL NOT ADVERSELY AFFECT ADJACENT PROPERTIES. CONFORM TO 9.14.6.

2.10. ULC SPECIFIED ASSEMBLIES

ALL REQUIRED INDIVIDUAL COMPONENTS THAT FORM PART OF ANY '*ULC LISTED ASSEMBLY*', SPECIFIED WITHIN THESE DRAWINGS, CANNOT BE ALTERED OR SUBSTITUTED FOR ANY OTHER MATERIAL/PRODUCT OR SPECIFIED MANUFACTURER THAT IS IDENTIFIED IN THAT '*SPECIFIED ULC LISTING*'. THERE SHALL BE NO DEVIATIONS UNDER ANY CIRCUMSTANCES IN ANY '*ULC LISTED ASSEMBLY*' IDENTIFIED IN THESE DRAWINGS.

SECTION 3.0. LEGEND

3.1. WOOD LINTELS AND BUILT-UP WOOD (DIVISION B PART 9. TABLES A8 TO A10 AND A12, A15 & A16) FORMING PART OF SENTENCE 9.23.4.2.(3), 9.23.4.2.(4), 9.23.12.3.(1),(3), 9.23.13.8.(2), 9.37.3.1.(1)					
L1	2/2"x8" (2/38x184)	L3	2/2"x10" (2/38x235)	L5	2/2"x12" (2/38x286)
B1	3/2"x8" (3/38x184)	B3	3/2"x10" (3/38x235)	B5	3/2"x12" (3/38x286)
B2	4/2"x8" (4/38x184)	B4	4/2"x10" (4/38x235)	B6	4/2"x12" (4/38x286)
B7	5/2"x8" (5/38x184)	B8	5/2"x10" (5/38x235)	B9	5/2"x12" (5/38x286)
ENGINEERED LUMBER SCHEDULE - GRADE 2.0E (UNLESS NOTE OTHERWISE)					
1 3/4" x 9 1/2" LVL		1 3/4" x 11 7/8" LVL		1 3/4" x 14" LVL	
LVL2	1-1 3/4"x9 1/2"	LVL3	1-1 3/4"x11 7/8"	LVL10	1-1 3/4"x14"
LVL4	2-1 3/4"x9 1/2"	LVL6	2-1 3/4"x11 7/8"	LVL11	2-1 3/4"x14"
LVL5	3-1 3/4"x9 1/2"	LVL7	3-1 3/4"x11 7/8"	LVL12	3-1 3/4"x14"
LVL8	4-1 3/4"x9 1/2"	LVL9	4-1 3/4"x11 7/8"	LVL13	4-1 3/4"x14"
3.2. STEEL LINTELS SUPPORTING MASONRY VENEER (DIVISION B PART 9. TABLE 9.20.5.2.B.) FORMING PART OF SENTENCE 9.20.5.2.(2) & 9.20.5.2.(3)					
CODE	SIZE	BRICK		STONE	
L7	3 1/2" x 3 1/2" x 1/4" (89 x 89 x 6.4)	8'-1" (2.47m)		7'-6" (2.30m)	
L8	4" x 3 1/2" x 1/4" (102 x 89 x 6.4)	8'-9" (2.66m)		8'-1" (2.48m)	
L9	4 7/8" x 3 1/2" x 5/16" (127 x 89 x 7.9)	10'-10" (3.31m)		10'-1" (3.03m)	
L10	4 7/8" x 3 1/2" x 3/8" (127 x 89 x 11)	11'-5" (3.48m)		10'-7" (3.24m)	
L11	5 7/8" x 3 1/2" x 3/8" (152 x 89 x 11)	12'-6" (3.82m)		11'-7" (3.54m)	
L12	7 1/8" x 4" x 3/8" (178 x 102 x 11)	14'-1" (4.30m)		13'-1" (3.99m)	

3.3. DOOR SCHEDULE					
CONFORMING TO SECTIONS 9.5.11, 9.6., 9.7.2.1, 9.7.5.2, & 9.10.13.10					
1	EXTERIOR	2'-8" x 6'-8" x 1-3/4" (815 x 2030 x 45)	INSULATED MIN. R4 (RSI 0.7)		
1A	EXTERIOR	2'-10" x 6'-8" x 1-3/4" (865 x 2030 x 45)	INSULATED MIN. R4 (RSI 0.7)		
1B	EXTERIOR	3'-0" x 6'-8" x 1-3/4" (915 x 2030 x 45)	INSULATED MIN. R4 (RSI 0.7)		
1C	EXTERIOR	2'-6" x 6'-8" x 1-3/4" (760 x 2030 x 45)	INSULATED MIN. R4 (RSI 0.7)		
1D	EXTERIOR	2'-8" x 6'-8" x 1-3/4" (815 x 2030 x 45)	INS. MIN. R4 (RSI 0.7) (SEE HEX NOTE 20)		
1E	EXTERIOR	3'-0" x 8'-0" x 1-3/4" (915 x 2440 x 45)	INSULATED MIN. R4 (RSI 0.7)		
1F	EXTERIOR	2'-8" x 8'-0" x 1-3/4" (815 x 2440 x 45)	INSULATED MIN. R4 (RSI 0.7)		
2A	EXTERIOR	2'-8" x 6'-8" x 1-3/4" (815 x 2030 x 45)	20 MIN. F.R.R. DOOR/FRAME WITH APP. SELF CLOSING DEVICE.		
2	INTERIOR	2'-8" x 6'-8" x 1-3/8" (815 x 2030 x 35)	PROVIDE 8'-0" HIGH INTERIOR DOORS FOR ALL 10' CEILING CONDITIONS		
3	INTERIOR	2'-6" x 6'-8" x 1-3/8" (760 x 2030 x 35)			
3A	INTERIOR	2'-4" x 6'-8" x 1-3/8" (710 x 2030 x 35)			
4	INTERIOR	2'-0" x 6'-8" x 1-3/8" (610 x 2030 x 35)			
4A	INTERIOR	2'-2" x 6'-8" x 1-3/8" (660 x 2030 x 35)			
5	INTERIOR	1'-6" x 6'-8" x 1-3/8" (460 x 2030 x 35)			

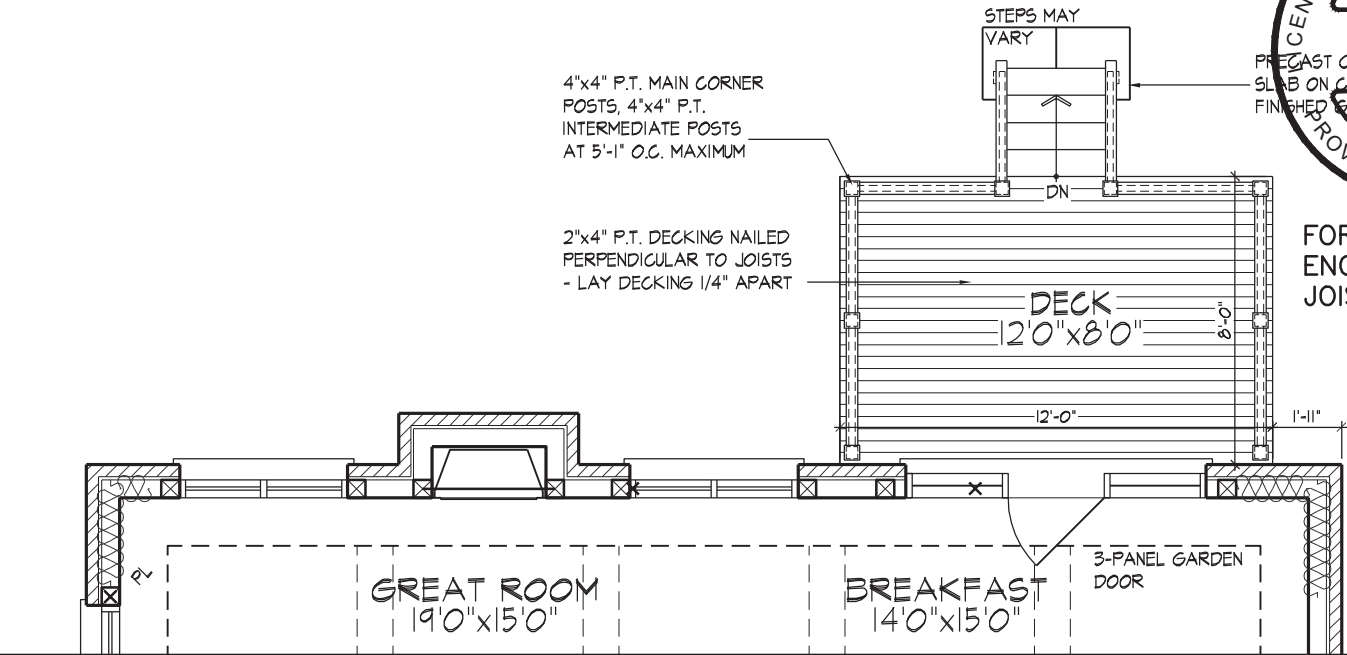
3.4. ACRONYMS			
AFF	ABOVE FINISHED FLOOR	JST	JOIST
BBFM	BEAM BY FLOOR MANUFACTURER	LIN	LINEN CLOSET
BG	FIXED GLASS W/ BLACK BACKING	LVL	LAMINATED VENEER LUMBER
BM	BEAM	OTB/A	OPEN TO BELOW/ABOVE

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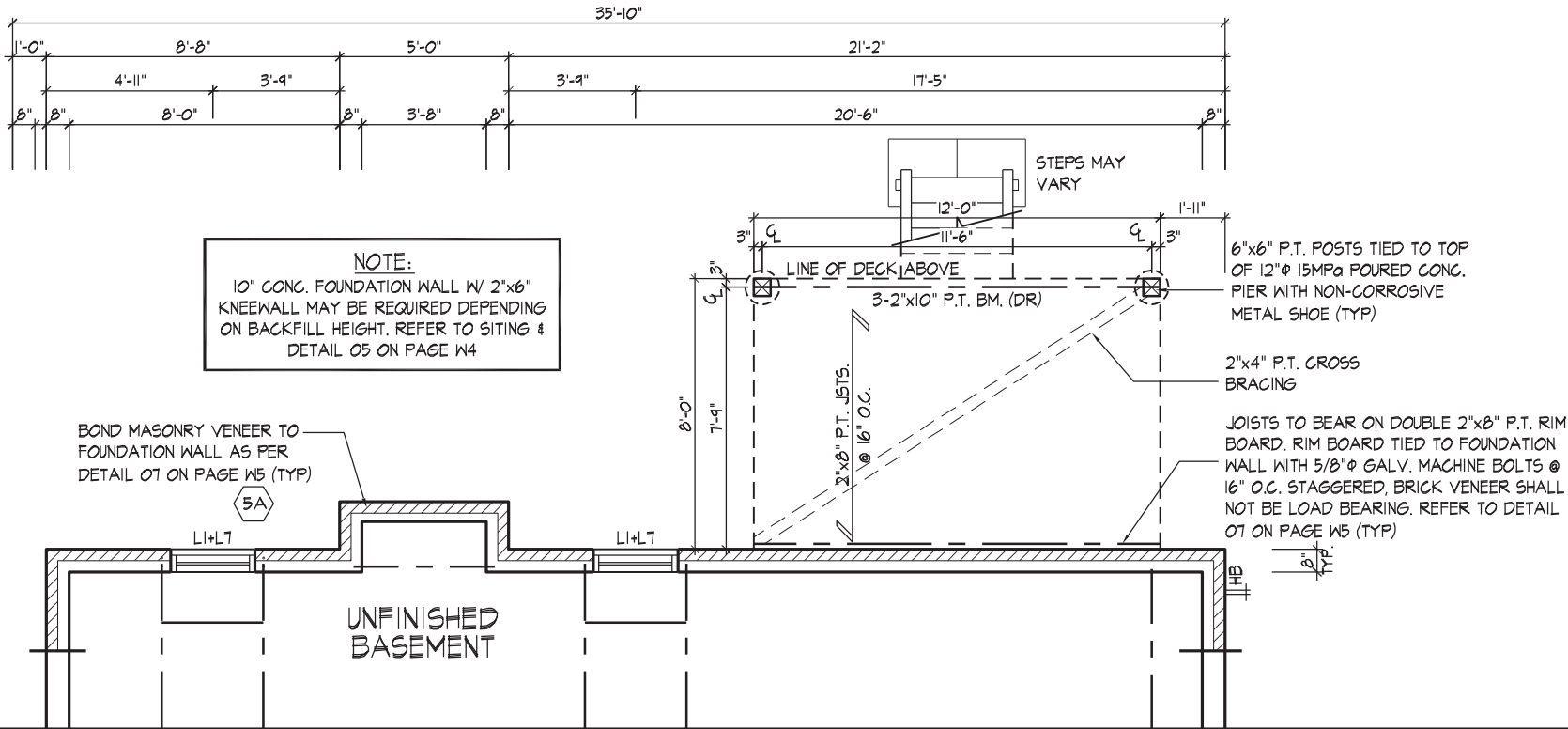
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PART. GROUND FLOOR PLAN ELEV. 'A' - W.O.D. COND.
ELEV. 'B' SIMILAR

NOTE:
REFER TO STANDARD FLOOR
PLANS FOR COMPLETE DIMENSIONS
& STRUCTURAL INFORMATION



PART. BASEMENT PLAN ELEV. 'A' - W.O.D. COND.
ELEV. 'B' SIMILAR

NOTE:
REFER TO STANDARD FLOOR
PLANS FOR COMPLETE DIMENSIONS
& STRUCTURAL INFORMATION



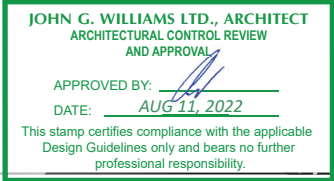
PART. REAR ELEV. 'A' - W.O.D. COND.
ELEV. 'B' SIMILAR

REFER TO FRONT ELEVATION & STANDARD
REAR FOR TYPICAL NOTES & INFO.

WINDOW SIZES FOR W.O.D. CONDITIONS:
WINDOWS TO BE LOCATED WITHIN JOIST
SPACE. IF GRADE PERMITS, TOP OF
WINDOW TO BE 6'-10" FOR STD. AND
7'-10" FOR OPT. 4' BSMT A.F.F.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.



WALK OUT DECK CONDITION

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION

NAME: Allan Whitting
SIGNATURE: [Signature]

23177
BCIN

REGISTRATION INFORMATION

HUNT DESIGN ASSOCIATES INC.

19695



GOLDPARK HOMES - 221081
PINE VALLEY PH.2, VAUGHAN, ON.

UNIT 4204 - THE BROOKVALLEY
REV.2022.07.25

Drawn By

Checked By

Scale

3/16"=1'-0"

File Number

221081WS4204-CORNER

Page Number

W1 of W7

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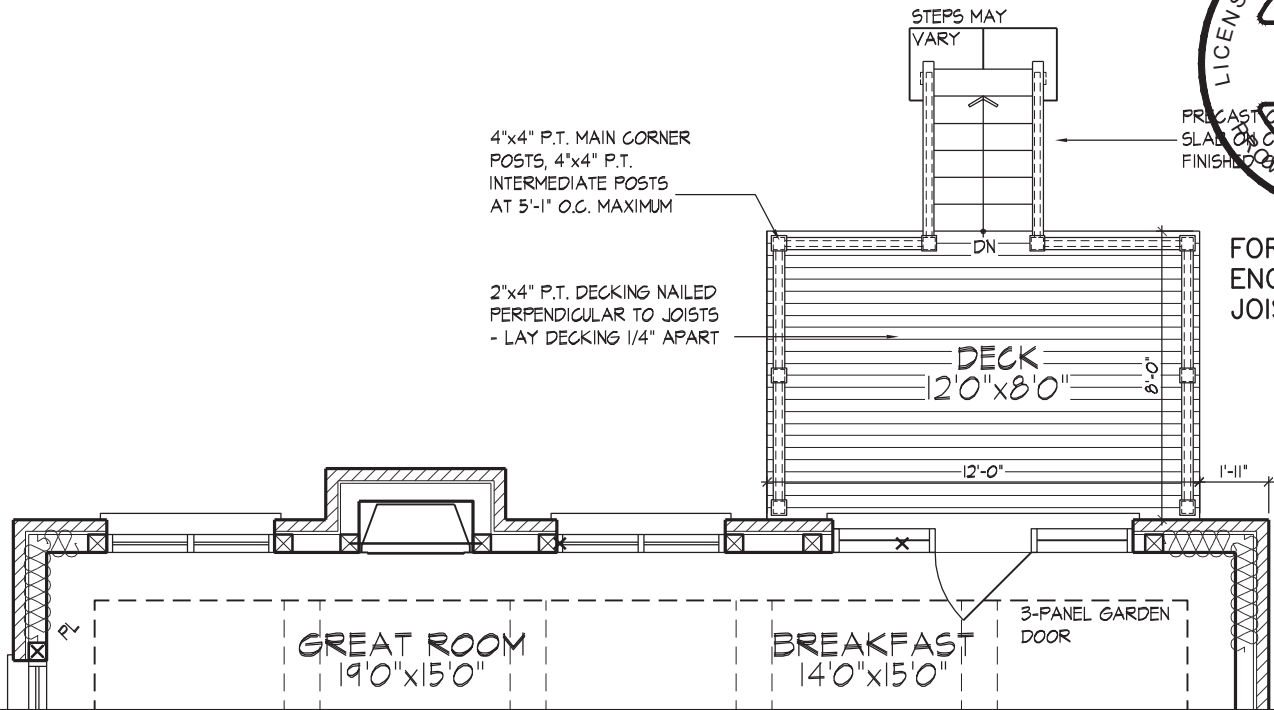
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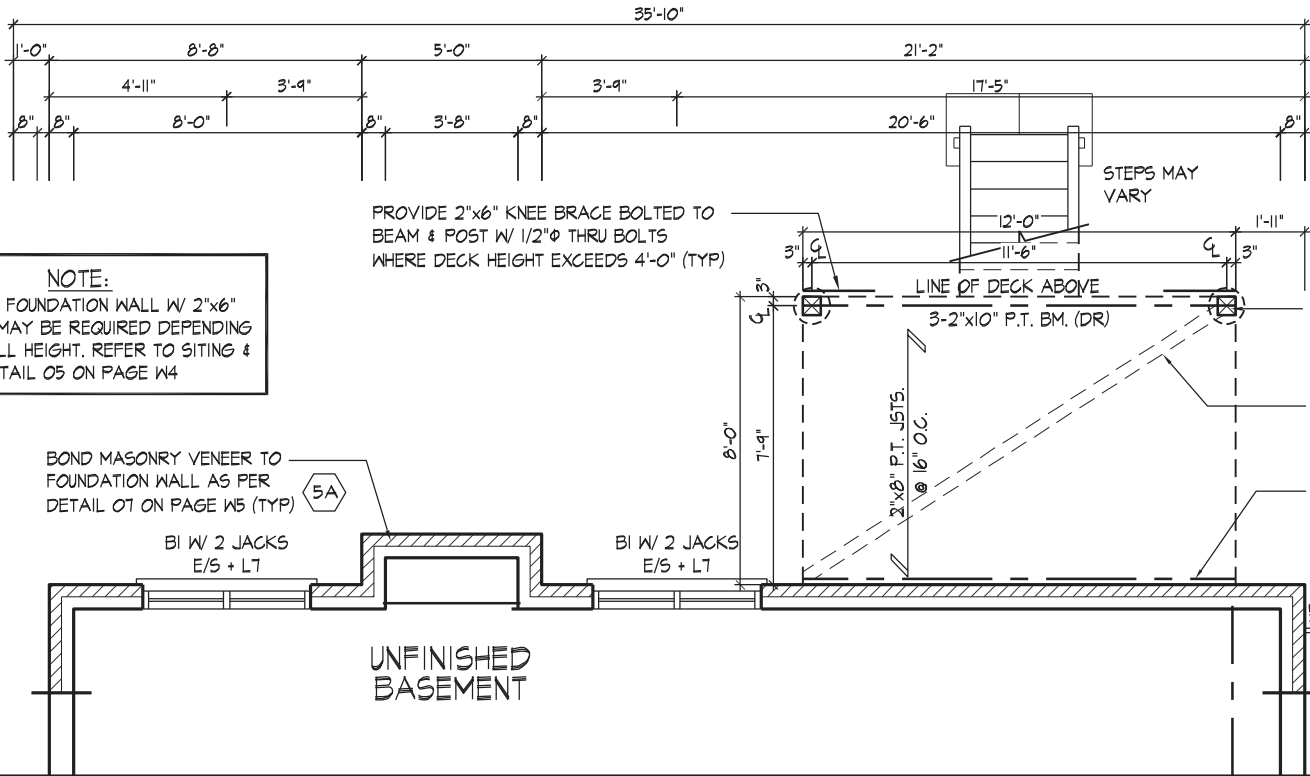
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NOTE:
REFER TO STANDARD FLOOR
PLANS FOR COMPLETE DIMENSIONS
& STRUCTURAL INFORMATION

PART. GROUND FLOOR PLAN ELEV. 'A' - L.O.D. COND.
ELEV. 'B' SIMILAR



NOTE:
10" CONC. FOUNDATION WALL W/ 2"x6"
KNEEWALL MAY BE REQUIRED DEPENDING
ON BACKFILL HEIGHT. REFER TO SITING &
DETAIL 05 ON PAGE W4

NOTE:
REFER TO STANDARD FLOOR
PLANS FOR COMPLETE DIMENSIONS
& STRUCTURAL INFORMATION

PART. BASEMENT PLAN ELEV. 'A' - L.O.D. COND.
ELEV. 'B' SIMILAR



PART. REAR ELEV. 'A' - L.O.D. COND.
ELEV. 'B' SIMILAR

REFER TO FRONT ELEVATION & STANDARD
REAR FOR TYPICAL NOTES & INFO.

WINDOW SIZES FOR L.O.D. CONDITIONS:
MATCH WIDTH OF WINDOW ABOVE AND
WINDOWS TO BE 30" DEEP. WINDOWS
TO BE LOCATED WITHIN JOIST SPACE.
IF GRADE PERMITS, TOP OF WINDOW TO
BE 7'-0" FOR STD. AND 8'-0" FOR OPT.
9' BSMT A.F.F.

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY:
DATE: AUG 11, 2022

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LOOK OUT DECK CONDITION

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION

NAME: Allan Whiting
SIGNATURE:

23177
BCIN

REGISTRATION INFORMATION

HUNT DESIGN ASSOCIATES INC.

19695

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GOLDPARK HOMES - 221081
PINE VALLEY PH.2, VAUGHAN, ON.

UNIT 4204 - THE BROOKVALLEY
REV.2022.07.25

Drawn By

WT

Checked By

AW

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W2 of W7

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ROOF OVERHANGS TO BE 15"
UNLESS NOTED OTHERWISE

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

PREFIN. —
ROLLED
METAL ROOF
(TYP)

BRICK SOLDIER
HEADER COURSE W/
1/2" PROJ. (TYP.)

24"x52"

7'-0"

T/O WINDOW

4" PRECAST
CONC. SILL W/
1/2" PROJ. (TYP.)

PART. RIGHT
SIDE EL. 'A' FOR
OPT. 5 BED.

- ASPHALT SHINGLES (TYP)
- ROOF LINE FOR
OPT. 5 BEDROOM
- VALLEY FLASHING (TYP)
- PREIN. ALUM. GUTTER, RAIL
FASCIA BOARD & VENTED
SOFFIT (TYP)

TOP OF PLATE

—PREMANUF. FIREZE
BOARD
(CANAMOULD:
CAN-BAN-O15) (TYP.)

—FACE BRICK (TYP)

FIN. SECOND FLOOR

RIGHT SIDE ELEVATION 'A' - WOB CONDITION
ARK HOMES - 221081 UNIT 4204 - THE BROOKVALLEY
 LEY PH.2, VAUGHAN, ON. REV.2022.07.25

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WT	AW	3/16"=1'-0"	221081WS4204-CORNER	W3a of W7
8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326				

WINDOW SUMMARY				WINDOW SUMMARY			
PER O.B.C. TABLE 9.10.15.4				PER O.B.C. TABLE 9.10.15.4			
RIGHT SIDE ELEVATION A				RIGHT SIDE ELEV A FOR OPT. 5			
BEDRM. PLAN							
QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)
1	30"	24"	3.61	2	24"	52"	13.33
0	0"	0"	0.00	1	24"	48"	6.11
0	0"	0"	0.00	1	30"	24"	3.61
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
SPATIAL CALCULATION				SPATIAL CALCULATION			
EXP. POSING BUILDING FACE AREA				EXP. POSING BUILDING FACE AREA			
138.62 S.M.				1492.11 S.F.			
1492.11 S.F.				138.62 S.M.			
PORTION WALL AREA				PORTION WALL AREA			
138.62 S.M.				138.62 S.M.			
LIMITING DISTANCE				LIMITING DISTANCE			
1.2 m				1.2 m			
MAX. % OPENINGS				MAX. % OPENINGS			
104.45 S.F.				7 %			
OPENINGS ALLOWED				OPENINGS ALLOWED			
3.61 S.F.				23.06 S.F.			
ADDITIONAL NOTES				ADDITIONAL NOTES			
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER				GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER			

EXTENTS OF SPATIAL
CALCULATIONS.
REFER TO WINDOW SUMMARY FOR
ADDITIONAL INFORMATION

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL


APPROVED BY: _____
DATE: AUG 11, 2022

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QUALIFICATION INFORMATION

NAME: Allan Whiting SIGNATURE: 

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BCIN

REGISTRATION INFORMATION

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SPATIAL CALCULATIONS FOR THE DECK CONDITIONS

WALK OUT DECK CONDITION

WINDOW SUMMARY					WINDOW SUMMARY				
PER O.B.C. TABLE 9.10.15.4					PER O.B.C. TABLE 9.10.15.4				
REAR ELEV. A					REAR ELEV. A - 5 BDRM				
QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)		QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	
2	24"	60"		15.56	3	24"	60"		23.33
1	60"	60"		21.78	1	60"	60"		21.78
1	24"	48"		6.11	0	0"	0"		0.00
0	0"	0"		0.00	1	48"	64"		18.33
2	56"	64"		43.33	2	56"	64"		43.33
2	56"	16"		8.67	2	56"	18"		10.11
1	100"	98"		62.67	1	100"	98"		62.67
2	30"	24"		7.22	2	30"	24"		7.22
0	0"	0"		0.00	0	0"	0"		0.00
0	0"	0"		0.00	0	0"	0"		0.00
0		ARCH	0.00	0.00	0		ARCH	0.00	0.00
0		ARCH	0.00	0.00	0		ARCH	0.00	0.00
0		ARCH	0.00	0.00	0		ARCH	0.00	0.00
0		ARCH	0.00	0.00	0		ARCH	0.00	0.00
SPATIAL CALCULATION					SPATIAL CALCULATION				
EXPOSING BUILDING FACE AREA		829.33	S.F.		EXPOSING BUILDING FACE AREA		829.33	S.F.	
		77.05	S.M.				77.05	S.M.	
PORTION WALL AREA		829.33	S.F.		PORTION WALL AREA		829.33	S.F.	
		77.05	S.M.				77.05	S.M.	
LIMITING DISTANCE		7.50 m			LIMITING DISTANCE		7.50 m		
MAX. % OPENINGS		50.50	%		MAX. % OPENINGS		50.50	%	
OPENINGS ALLOWED		418.81	S.F.		OPENINGS ALLOWED		418.81	S.F.	
OPENINGS PROVIDED		165.33	S.F.		OPENINGS PROVIDED		186.78	S.F.	
ADDITIONAL NOTES					ADDITIONAL NOTES				
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER					GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER				

WINDOW SUMMARY					WINDOW SUMMARY				
PER O.B.C. TABLE 9.10.15.4					PER O.B.C. TABLE 9.10.15.4				
REAR ELEV. B					REAR ELEV. B - 5 BDRM				
QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)		QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	
2	24"	60"		15.56	3	24"	60"		23.33
1	60"	60"		21.78	1	60"	60"		21.78
1	24"	48"		6.11	0	0"	0"		0.00
0	0"	0"		0.00	1	48"	60"		17.11
2	56"	64"		43.33	2	56"	64"		43.33
2	56"	18"		10.11	2	56"	18"		10.11
1	100"	98"		62.67	1	100"	98"		62.67
2	30"	24"		7.22	2	30"	24"		7.22
0	0"	0"		0.00	0	0"	0"		0.00
0	0"	0"		0.00	0	0"	0"		0.00
0		ARCH	0.00	0.00	0		ARCH	0.00	0.00
0		ARCH	0.00	0.00	0		ARCH	0.00	0.00
0		ARCH	0.00	0.00	0		ARCH	0.00	0.00
0		ARCH	0.00	0.00	0		ARCH	0.00	0.00
SPATIAL CALCULATION					SPATIAL CALCULATION				
EXPOSING BUILDING FACE AREA		829.33	S.F.		EXPOSING BUILDING FACE AREA		829.33	S.F.	
		77.05	S.M.				77.05	S.M.	
PORTION WALL AREA		829.33	S.F.		PORTION WALL AREA		829.33	S.F.	
		77.05	S.M.				77.05	S.M.	
LIMITING DISTANCE		7.50 m			LIMITING DISTANCE		7.50 m		
MAX. % OPENINGS		50.50	%		MAX. % OPENINGS		50.50	%	
OPENINGS ALLOWED		418.81	S.F.		OPENINGS ALLOWED		418.81	S.F.	
OPENINGS PROVIDED		166.78	S.F.		OPENINGS PROVIDED		185.56	S.F.	
ADDITIONAL NOTES					ADDITIONAL NOTES				
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER					GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER				

LOOK OUT DECK CONDITION

WINDOW SUMMARY					WINDOW SUMMARY				
PER O.B.C. TABLE 9.10.15.4					PER O.B.C. TABLE 9.10.15.4				
REAR ELEV. A					REAR ELEV. A - 5 BDRM				
QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)		QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	
2	24"	60"		15.56	3	24"	60"		23.33
1	60"	60"		21.78	1	60"	60"		21.78
1	24"	48"		6.11	0	0"	0"		0.00
0	0"	0"		0.00	1	48"	64"		18.33
2	56"	64"		43.33	2	56"	64"		43.33
2	56"	16"		8.67	2	56"	16"		8.67
1	100"	98"		62.67	1	100"	98"		62.67
2	56"	30"		18.78	2	56"	30"		18.78
0	0"	0"		0.00	0	0"	0"		0.00
0	0"	0"		0.00	0	0"	0"		0.00
0		ARCH	0.00	0.00	0		ARCH	0.00	0.00
0		ARCH	0.00	0.00	0		ARCH	0.00	0.00
0		ARCH	0.00	0.00	0		ARCH	0.00	0.00
0		ARCH	0.00	0.00	0		ARCH	0.00	0.00
SPATIAL CALCULATION					SPATIAL CALCULATION				
EXPOSING BUILDING FACE AREA		879.33	S.F.		EXPOSING BUILDING FACE AREA		879.33	S.F.	
		81.69	S.M.				81.69	S.M.	
PORTION WALL AREA		879.33	S.F.		PORTION WALL AREA		879.33	S.F.	
		81.69	S.M.				81.69	S.M.	
LIMITING DISTANCE		7.50 m			LIMITING DISTANCE		7.50 m		
MAX. % OPENINGS		50.50	%		MAX. % OPENINGS		50.50	%	
OPENINGS ALLOWED		444.06	S.F.		OPENINGS ALLOWED		444.06	S.F.	
OPENINGS PROVIDED		176.89	S.F.		OPENINGS PROVIDED		196.89	S.F.	
ADDITIONAL NOTES					ADDITIONAL NOTES				
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER					GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER				

WINDOW SUMMARY					WINDOW SUMMARY				
PER O.B.C. TABLE 9.10.15.4					PER O.B.C. TABLE 9.10.15.4				
REAR ELEV. B					REAR ELEV. B - 5 BDRM				
QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)		QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	
2	24"	60"		15.56	3	24"	60"		23.33
1	60"	60"		21.78	1	60"	60"		21.78
1	24"	48"		6.11	0	0"	0"		0.00
0	0"	0"		0.00	1	48"	60"		17.11
2	56"	64"		43.33	2	56"	64"		43.33
2	56"	18"		10.11	2	56"	18"		10.11
1	100"	98"		62.67	1	100"	98"		62.67
2	56"	30"		18.78	2	56"	30"		18.78
0	0"	0"		0.00	0	0"	0"		0.00
0	0"	0"		0.00	0	0"	0"		0.00
0		ARCH	0.00	0.00	0		ARCH	0.00	0.00
0		ARCH	0.00	0.00	0		ARCH	0.00	0.00
0		ARCH	0.00	0.00	0		ARCH	0.00	0.00
0		ARCH	0.00	0.00	0		ARCH	0.00	0.00
SPATIAL CALCULATION					SPATIAL CALCULATION				
EXPOSING BUILDING FACE AREA		879.33	S.F.		EXPOSING BUILDING FACE AREA		879.33	S.F.	
		81.69	S.M.				81.69	S.M.	
PORTION WALL AREA		879.33	S.F.		PORTION WALL AREA		879.33	S.F.	
		81.69	S.M.				81.69	S.M.	
LIMITING DISTANCE		7.50 m			LIMITING DISTANCE		7.50 m		
MAX. % OPENINGS		50.50	%		MAX. % OPENINGS		50.50	%	
OPENINGS ALLOWED		444.06	S.F.		OPENINGS ALLOWED		444.06	S.F.	
OPENINGS PROVIDED		178.33	S.F.		OPENINGS PROVIDED		197.11	S.F.	
ADDITIONAL NOTES					ADDITIONAL NOTES				
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER					GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER				

WALK OUT BASEMENT CONDITION

WINDOW SUMMARY					WINDOW SUMMARY				
PER O.B.C. TABLE 9.10.15.4					PER O.B.C. TABLE 9.10.15.4				
REAR ELEV. A					REAR ELEV. A - 5 BDRM				
QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)		QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	
2	24"	60"		15.56	3	24"	60"		23.33
1	60"	60"		21.78	1	60"	60"		21.78
1	24"	48"		6.11	0	0"	0"		0.00
0	0"	0"		0.00	1	48"	64"		18.33
2	56"	64"		43.33	2	56"	64"		43.33
2	56"	16"		8.67	2	56"	16"		8.67
1	100"	98"		62.67	1	100"	98"		62.67
2	56"	56"		37.56	2	56"	56"		37.56
1	100"	82"		52.00	1	100"	82"		52.00
0	0"	0"		0.00	0	0"	0"		0.00
0		ARCH	0.00	0.00	0		ARCH	0.00	0.00
0		ARCH	0.00	0.00	0		ARCH	0.00	0.00
0		ARCH	0.00	0.00	0		ARCH	0.00	0.00
0		ARCH	0.00	0.00	0		ARCH	0.00	0.00
SPATIAL CALCULATION					SPATIAL CALCULATION				

SIZE & SPACING OF STUDS: (OBC REFERENCE - TABLE 9.23.10.1.)				
MIN. STUD SIZE, in (mm)	SUPPORTED LOADS (EXTERIOR)			
	ROOF w/ OR w/o ATTIC	ROOF w/ OR w/o ATTIC & 1 FLOOR	ROOF w/ OR w/o ATTIC & 2 FLOOR	ROOF w/ OR w/o ATTIC & 3 FLOOR
	MAX. STUD SPACING in (mm) O.C.			
	MAX. UNSUPPORTED HGT. ft-in (m)			
2"x4" (38x89)	24" (610)	16" (405)	12" (305)	N/A
	9'-10" (3.0)	9'-10" (3.0)	9'-10" (3.0)	N/A
2"x6" (38x140)	-	24" (610)	16" (406)	12" (305)
	-	9'-10" (3.0)	11'-10" (3.6)	5'-11" (1.8)

- REFER TO THIS CHART FOR STUD SIZE & SPACING AS REQUIRED FOR EXTERIOR WALLS ONLY. REFER TO SITING & GRADING PLAN OF THIS UNIT FOR CONFIRMATION OF TOP OF FOUNDATION WALL AND ADDITIONAL INFORMATION.
- IF STUD WALL HEIGHT EXCEEDS MAX. UNSUPPORTED HEIGHT, WALL NEEDS TO BE REVIEWED AND APPROVED BY ENGINEER.

BASE FLASHING CONFORMING TO TABLE 9.20.13.1 TO EXTEND 3/16" BEYOND OUTER FACE OF FOUNDATION WALL, TIED TO EXT. SHEATHING UNDER AIR/WATER BARRIER, PROVIDE 6" MINIMUM LAP JOINT.

WEEP HOLES @ 32" O.C. AT BASE FLASHING AND OVER ALL OPENINGS. PROVIDE P.V.C. BRICK VENTILATOR @ ALL WEEP HOLE LOCATIONS.

PROVIDE MASONRY PARGING FROM TOP OF FOUNDATION WALL TO 2" BELOW FINISHED GRADE

FOUNDATION WALLS SHALL NOT EXCEED 9'-10" (3.0m) IN UNSUPPORTED HEIGHT UNLESS OTHERWISE NOTED. (9.15.4.2.1). POURED CONC. FDTN. WALL WITH BITUMINOUS DAMPPROOFING AND DRAINAGE LAYER. REFER TO CHART FOR MAXIMUM UNSUPPORTED HEIGHT AND EARTH RETENTION FROM BASEMENT SLAB TO FINISHED GRADE, ON CONTINUOUS KEYED CONC. FTG., BRACE FOUNDATION WALL PRIOR TO BACKFILLING. ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OR COMPACTED ENGINEERED FILL.

UNREINFORCED SOLID CONCRETE FOUNDATION WALLS (9.15.4.2.)				
STRENGTH THICKNESS	MAX. HEIGHT FROM FIN. SLAB TO GRADE			
	UNSUPPORTED AT TOP	SUPPORTED AT TOP		
8"	3'-11" (1.20m)	7'-0" (2.15m)	7'-0" (2.15m)	6'-10" (2.10m)
	10'	4'-7" (1.40m)	7'-6" (2.30m)	8'-6" (2.60m)
	12"	4'-11" (1.50m)	7'-6" (2.30m)	8'-6" (2.60m)
10"	3'-11" (1.20m)	7'-6" (2.30m)	7'-6" (2.30m)	7'-2" (2.20m)
	10'	4'-7" (1.40m)	7'-6" (2.30m)	8'-6" (2.60m)
	12"	4'-11" (1.50m)	7'-6" (2.30m)	8'-6" (2.60m)
12"	3'-11" (1.20m)	7'-6" (2.30m)	7'-6" (2.30m)	7'-2" (2.20m)
	10'	4'-7" (1.40m)	7'-6" (2.30m)	8'-6" (2.60m)
	12"	4'-11" (1.50m)	7'-6" (2.30m)	8'-6" (2.60m)

MINIMUM STRIP FOOTING SIZES (9.15.3.)			
NUMBER FLOORS SUPPORTED	SUPPORTING INT. LOAD BEARING MASONRY WALL	SUPPORTING EXTERIOR	SUPPORTING PARTY WALL
1	16" W x 6" D	16" W x 6" D	16" W x 6" D
2	24" W x 8" D	20" W x 6" D	24" W x 8" D
3	36" W x 14" D	26" W x 9" D	36" W x 14" D

NOTE: FOOTING SIZE SUBJECT TO CERTIFICATION BY A SOIL CONSULTANT

REFER TO SB-12 ENERGY EFFICIENCY DESIGN MATRIX ON THE TITLE PAGE FOR ALL VALUES AS REQUIRED PER 3.1.1., 3.1.2, 3.1.3. OF THE OBC.

FIRST FLOOR

TYPICAL BRICK VENEER WALL CONSTRUCTION

TYPICAL FLOOR CONSTRUCTION

INSULATION W/ REQUIRED EXPOSED FLOOR R-VALUE IN HEADER SPACE

2-2"x6" TOP PLATE

2"x6" SILL PLATE WITH 1/2" Ø ANCHOR BOLTS 8" LONG, EMBEDDED MIN. 4" INTO CONC. @ 7'-10" O.C., CAULKING OR GASKET BETWEEN PLATE AND TOP OF FOUND. WALL. USE NON-SHRINK GROUT TO LEVEL SILL PLATE WHEN REQUIRED.

INSULATION BLANKET OR BATTS W/ REQUIRED BASEMENT WALL R-VALUE, 6 MIL POLYETHYLENE VAPOUR BARRIER DAMPPROOF WITH AIR/WATER BARRIER BETWEEN THE FOUNDATION WALL AND INSULATION UP TO GRADE LEVEL. TERMINATE BLANKETS ABOVE SLAB AS REQUIRED BY O.B.C. OR ENERGY DESIGN CONSULTANT

TAPE AND SEAL BLANKETS AT ALL JOINTS

UNFINISHED BASEMENT

4" Ø WEEPING TILE, 6" CRUSHED STONE COVER OVER AND AROUND WEEPING TILES.

SECURE METAL BLANKET TIE TO FOUNDATION WALL AS PER MANUF. INSTRUCTIONS

1/2" IMPERVIOUS BOARD FOR BOND BREAK

3" MIN. 25 MPa CONC. SLAB ON 4" COARSE CLEAN GRANULAR FILL OR 20 MPa CONC. WITH DAMPPROOFING BELOW SLAB.

PROVIDE RIGID INSULATION BELOW EDGE OF SLAB EXTENDED MIN. 2'-0" WHERE THE GRADE IS LESS THAN 2'-0" DIFFERENCE FROM UNDERSIDE OF SLAB TO FINISHED GRADE.

NOTE:

WHERE REDUCED GRADE CONDITION REQUIRES THE USE OF A FULL HEIGHT BONDED WALL, REBAR SHALL BE PROVIDED AS PER DETAIL 07 ON PG. W5

05

MASONRY VENEER, 2"x6" STUDS, 10" FOUNDATION WALL Laterally UNSUPPORTED

1/2" = 1'-0"

SIZE & SPACING OF STUDS: (OBC REFERENCE - TABLE 9.23.10.1.)				
MIN. STUD SIZE, in (mm)	SUPPORTED LOADS (EXTERIOR)			
	ROOF w/ OR w/o ATTIC	ROOF w/ OR w/o ATTIC & 1 FLOOR	ROOF w/ OR w/o ATTIC & 2 FLOOR	ROOF w/ OR w/o ATTIC & 3 FLOOR
	MAX. STUD SPACING in (mm) O.C.			
	MAX. UNSUPPORTED HGT. ft-in (m)			
2"x4" (38x89)	24" (610)	16" (405)	12" (305)	N/A
	9'-10" (3.0)	9'-10" (3.0)	9'-10" (3.0)	N/A
2"x6" (38x140)	-	24" (610)	16" (406)	12" (305)
	-	9'-10" (3.0)	11'-10" (3.6)	5'-11" (1.8)

- REFER TO THIS CHART FOR STUD SIZE & SPACING AS REQUIRED FOR EXTERIOR WALLS ONLY. REFER TO SITING & GRADING PLAN OF THIS UNIT FOR CONFIRMATION OF TOP OF FOUNDATION WALL AND ADDITIONAL INFORMATION.
- IF STUD WALL HEIGHT EXCEEDS MAX. UNSUPPORTED HEIGHT, WALL NEEDS TO BE REVIEWED AND APPROVED BY ENGINEER.

BASE FLASHING CONFORMING TO TABLE 9.20.13.1 TO EXTEND 3/16" BEYOND OUTER FACE OF FOUNDATION WALL, TIED TO EXT. SHEATHING UNDER AIR/WATER BARRIER, PROVIDE 6" MINIMUM LAP JOINT.

WEEP HOLES @ 32" O.C. AT BASE FLASHING AND OVER ALL OPENINGS. PROVIDE P.V.C. BRICK VENTILATOR @ ALL WEEP HOLE LOCATIONS.

PROVIDE MASONRY PARGING FROM TOP OF FOUNDATION WALL TO 2" BELOW FINISHED GRADE

OPTIONAL WEEPING TILE AT REAR WALL-SEE MUNICIPAL STANDARDS

FOUNDATION WALLS SHALL NOT EXCEED 9'-10" (3.0m) IN UNSUPPORTED HEIGHT UNLESS OTHERWISE NOTED. (9.15.4.2.1). POURED CONC. FDTN. WALL WITH BITUMINOUS DAMPPROOFING AND DRAINAGE LAYER. REFER TO CHART FOR MAXIMUM UNSUPPORTED HEIGHT AND EARTH RETENTION FROM BASEMENT SLAB TO FINISHED GRADE, ON CONTINUOUS KEYED CONC. FTG., BRACE FOUNDATION WALL PRIOR TO BACKFILLING. ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OR COMPACTED ENGINEERED FILL.

UNREINFORCED SOLID CONCRETE FOUNDATION WALLS (9.15.4.2.)				
STRENGTH THICKNESS	MAX. HEIGHT FROM FIN. SLAB TO GRADE			
	UNSUPPORTED AT TOP	SUPPORTED AT TOP		
8"	3'-11" (1.20m)	7'-0" (2.15m)	7'-0" (2.15m)	6'-10" (2.10m)
	10'	4'-7" (1.40m)	7'-6" (2.30m)	8'-6" (2.60m)
	12"	4'-11" (1.50m)	7'-6" (2.30m)	8'-6" (2.60m)
10"	3'-11" (1.20m)	7'-6" (2.30m)	7'-6" (2.30m)	7'-2" (2.20m)
	10'	4'-7" (1.40m)	7'-6" (2.30m)	8'-6" (2.60m)
	12"	4'-11" (1.50m)	7'-6" (2.30m)	8'-6" (2.60m)
12"	3'-11" (1.20m)	7'-6" (2.30m)	7'-6" (2.30m)	7'-2" (2.20m)
	10'	4'-7" (1.40m)	7'-6" (2.30m)	8'-6" (2.60m)
	12"	4'-11" (1.50m)	7'-6" (2.30m)	8'-6" (2.60m)

MINIMUM STRIP FOOTING SIZES (9.15.3.)			
NUMBER FLOORS SUPPORTED	SUPPORTING INT. LOAD BEARING MASONRY WALL	SUPPORTING EXTERIOR	SUPPORTING PARTY WALL
1	16" W x 6" D	16" W x 6" D	16" W x 6" D
2	24" W x 8" D	20" W x 6" D	24" W x 8" D
3	36" W x 14" D	26" W x 9" D	36" W x 14" D

NOTE: FOOTING SIZE SUBJECT TO CERTIFICATION BY A SOIL CONSULTANT

REFER TO SB-12 ENERGY EFFICIENCY DESIGN MATRIX ON THE TITLE PAGE FOR ALL VALUES AS REQUIRED PER 3.1.1., 3.1.2, 3.1.3. OF THE OBC.

FIRST FLOOR

TYPICAL BRICK VENEER WALL CONSTRUCTION

TYPICAL FLOOR CONSTRUCTION

INSULATION W/ REQUIRED EXPOSED FLOOR R-VALUE IN HEADER SPACE

2-2"x6" TOP PLATE

UNFINISHED BASEMENT

1" RIGID INSULATION THERMAL BREAK AROUND PERIMETER OF SLAB

3" MIN. 25 MPa CONC. SLAB ON 4" COARSE CLEAN GRANULAR FILL OR 20 MPa CONC. WITH DAMPPROOFING BELOW SLAB.

PROVIDE RIGID INSULATION UNDER ENTIRE SLAB SURFACE WHEN SLAB IS LESS THAN 2'-0" DIFFERENCE FROM FINISHED GRADE

2"x6" SILL PLATE WITH 1/2" Ø ANCHOR BOLTS 8" LONG, EMBEDDED MIN. 4" INTO CONC. @ 7'-10" O.C., CAULKING OR GASKET BETWEEN PLATE AND TOP OF FOUND. WALL. USE NON-SHRINK GROUT TO LEVEL SILL PLATE WHEN REQUIRED.

PROVIDE RIGID INSULATION EXTENDED NO LESS THAN 2'-0" BELOW FINISHED GRADE, UNDER THE EXTERIOR PERIMETER OF THE CONCRETE SLAB ALONG THE FOUNDATION WALL FOR WALK-OUT CONDITIONS OR WHEN THE DIFFERENCE FROM THE SLAB TO FINISHED GRADE IS LESS THAN 2'-0".

NOTE:

WHERE REDUCED GRADE CONDITION REQUIRES THE USE OF A FULL HEIGHT BONDED WALL, REBAR SHALL BE PROVIDED AS PER DETAIL 07 ON PG. W5

06

MASONRY VENEER, 2"x6" STUDS, SLAB ON GRADE / WALK OUT BASEMENT CONDITION

1/2" = 1'-0"



wsp

100 COMMERCE VALLEY DR. W.
SUITE 100, HUNTINGWOOD, ONTARIO L3R 9V7
TEL: 1-800-361-1234 (TOLL FREE) 905-737-7326
DESIGN ASSOCIATES INC.
www.huntwspdesign.ca

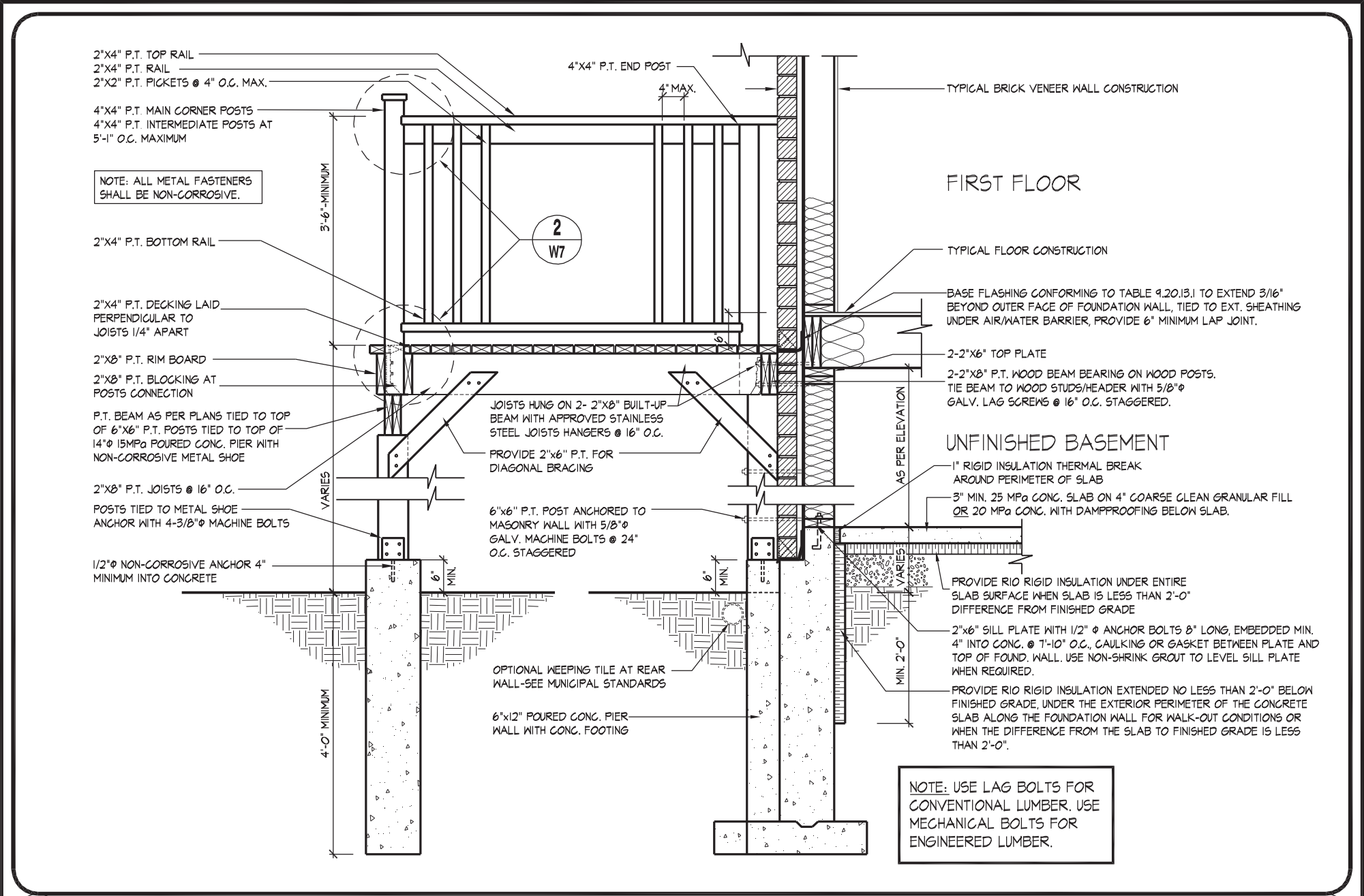
GOLDPARK HOMES - 221081
PINE VALLEY PH.2, VAUGHAN, ON.

UNIT 4204 - THE BROOKVALLEY
REV.2022.07.25

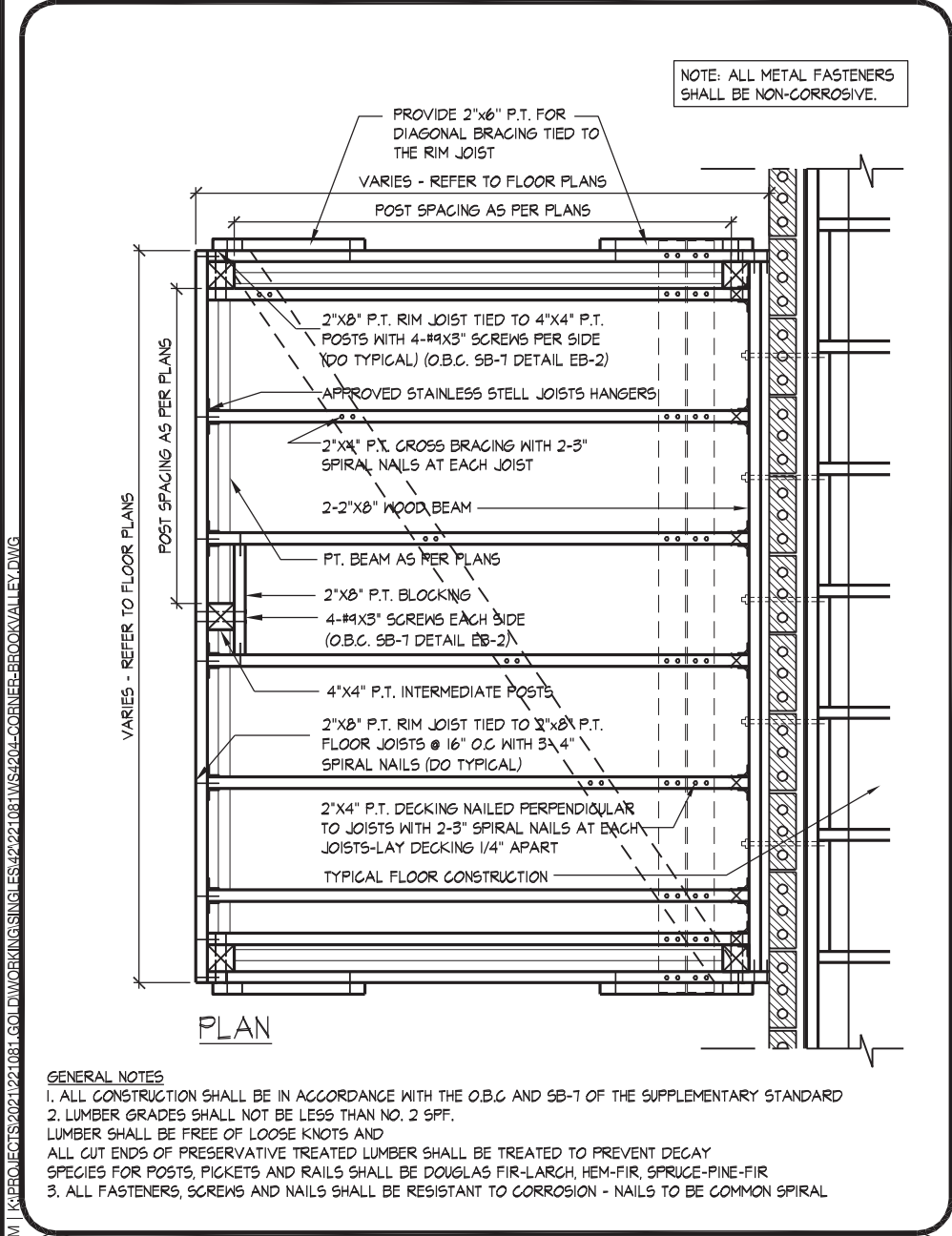
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8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.
QUALIFICATION INFORMATION
Allan Whiting
NAME: Allan Whiting, REGISTRATION NUMBER: 23177, BCIN: 19695
HUNT DESIGN ASSOCIATES INC.

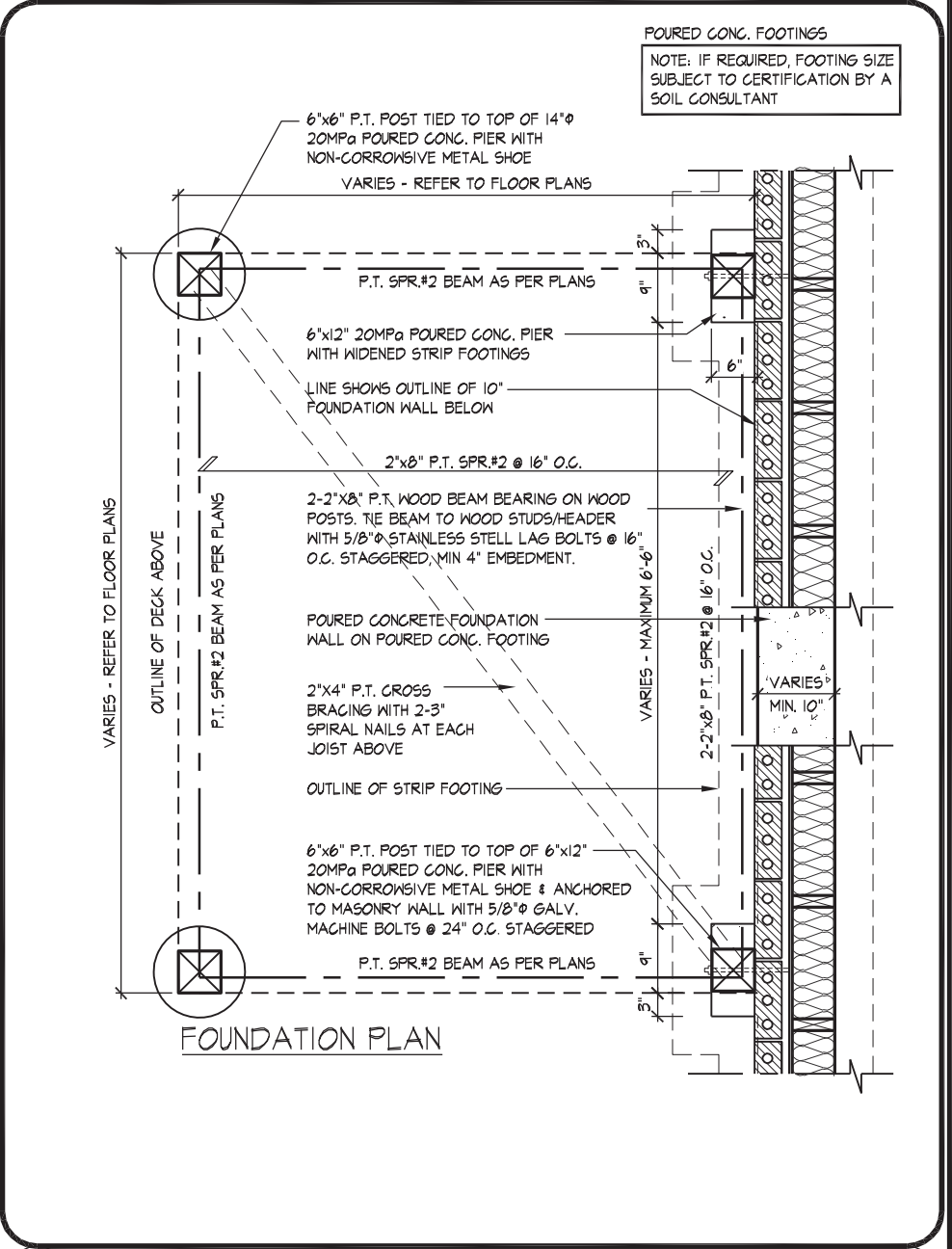
FOR STRUCTURAL ONLY, EXCLUDING
ENGINEERED ROOF TRUSS, FLOOR
JOIST, AND FLOOR LVL BEAM DESIGN.



09 MASONRY VENEER, TYPICAL WOOD DECK FOR WALK OUT BASEMENT
1/2" = 1'-0"

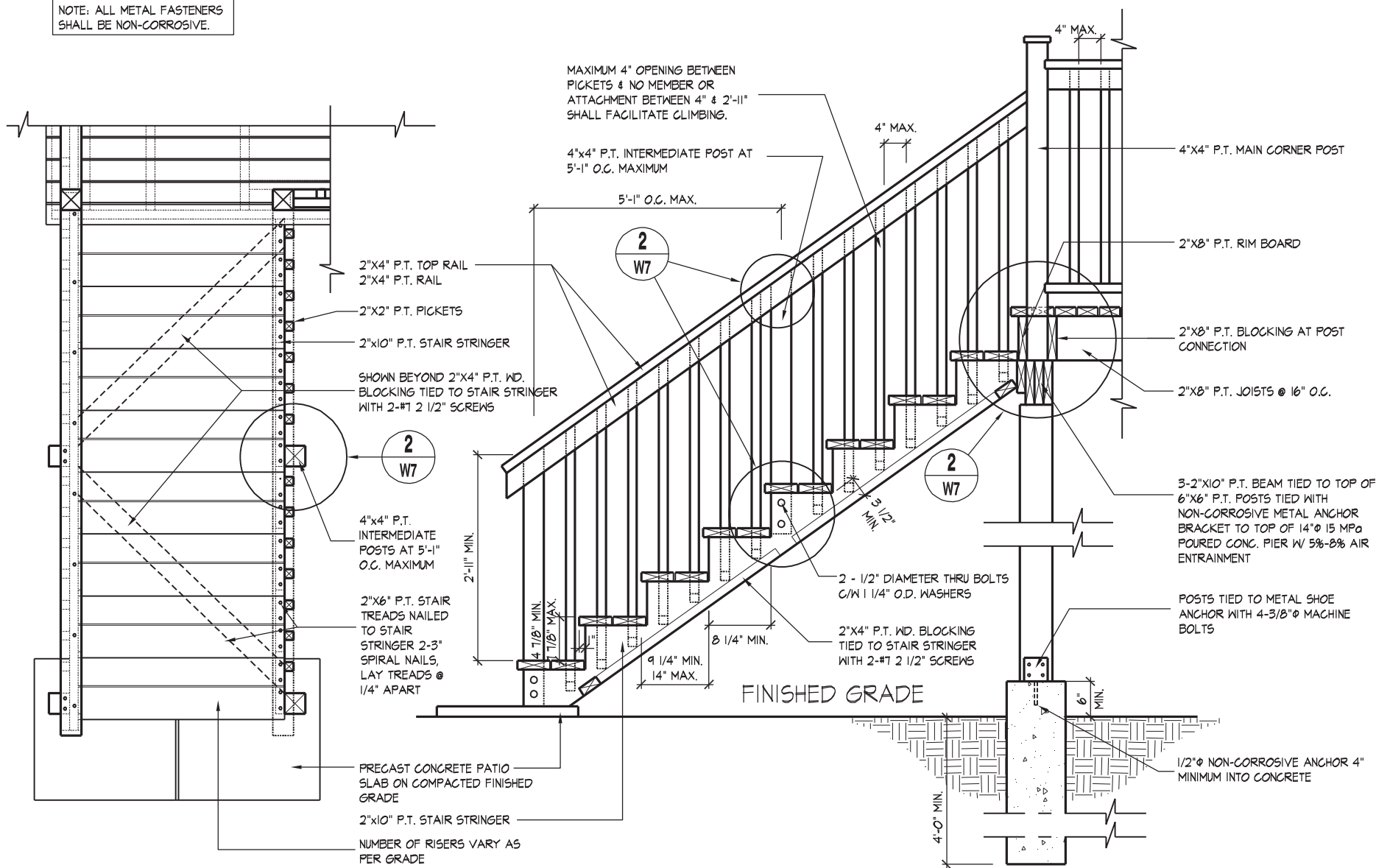


10 MASONRY VENEER, TYPICAL DECK FRAMING PLAN
1/2" = 1'-0"



11 MASONRY VENEER, TYPICAL DECK FOUNDATION PLAN
1/2" = 1'-0"

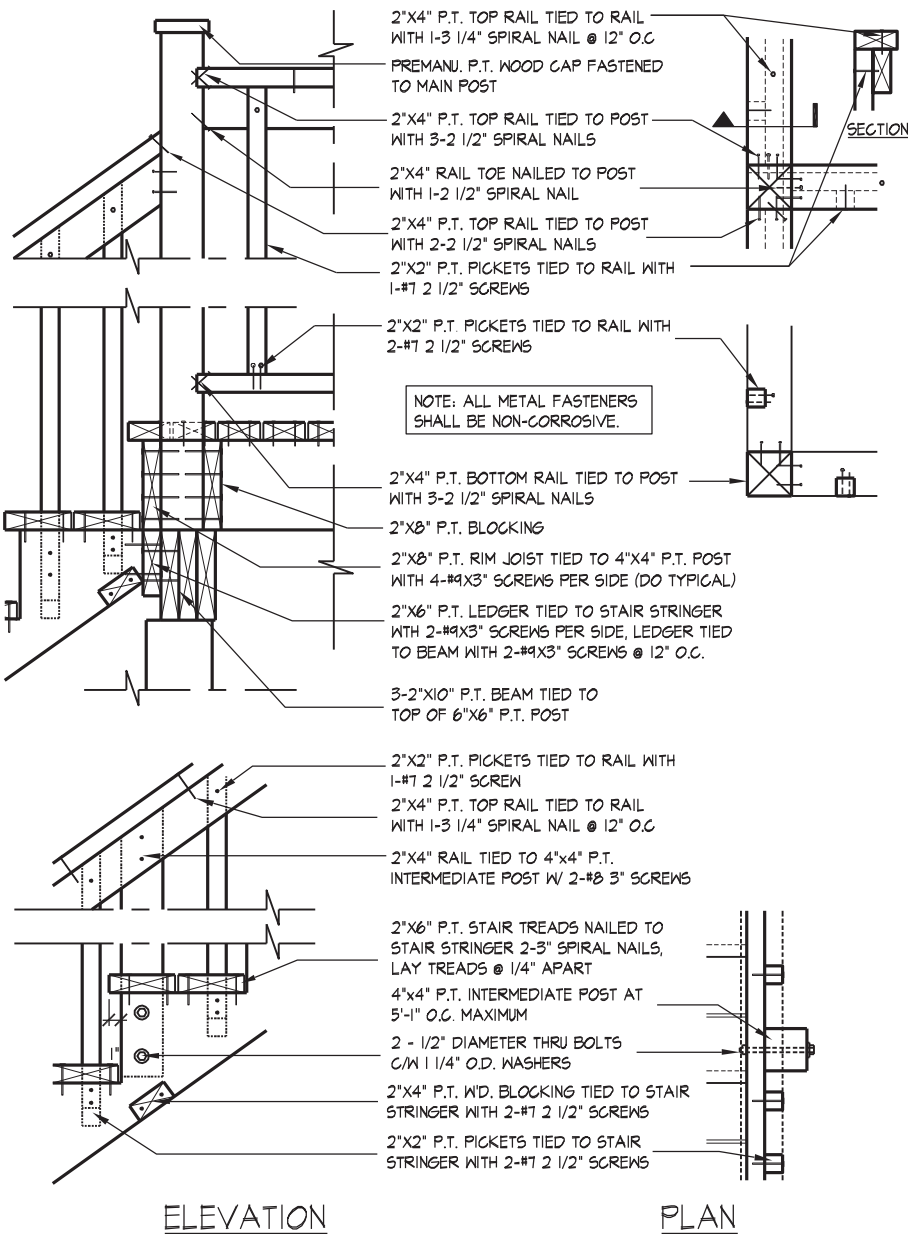
NOTE: ALL METAL FASTENERS SHALL BE NON-CORROSIVE.



01

TYPICAL WOOD DECK STAIR

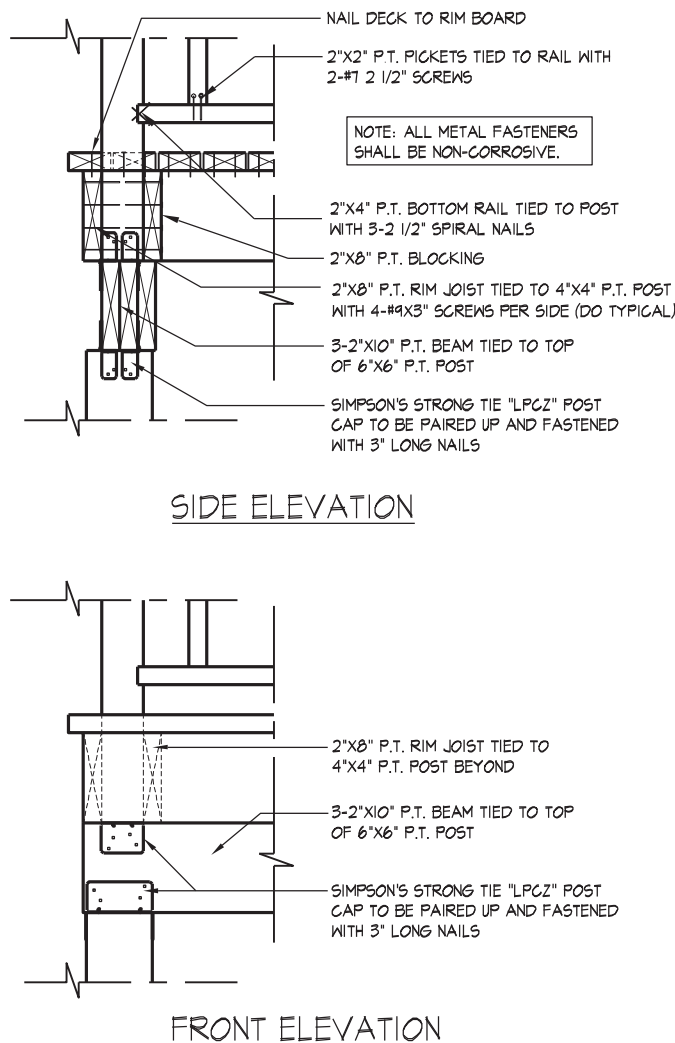
1/2" = 1'-0"



02

TYP. MAIN AND INTERMEDIATE POST ANCHORAGE

3/4" = 1'-0"



03

TYP. POST & BEAM CONNECTION

3/4" = 1'-0"



WSP

100 COMMERCE VALLEY DR. W.
THORNHILL, ONTARIO CANADA L3T 0A1
TEL: 1-888-441-1111 FAX: 1-416-292-0055 WWW: HUNTD.COM
HUNTD.COM

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION

Allan Whiting

SIGNATURE

23177

BCIN

REGISTRATION INFORMATION

HUNT DESIGN ASSOCIATES INC.

19695

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ENGINEERED ROOF TRUSS, FLOOR
JOIST, AND FLOOR LVL BEAM DESIGN.

GOLDPARK HOMES - 221081
PINE VALLEY PH.2, VAUGHAN, ON.

UNIT 4204 - THE BROOKVALLEY
REV.2022.07.25

Drawn By

WT

Checked By

AW

Scale

3/16"=1'-0"

File Number

221081WS4204-CORNER

Page Number

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