



FRONT ELEVATION 'A'

FRONT ELEVATION 'B'

FRONT ELEVATION 'C'

UNIT 4204 - 'THE BROOKVALLEY'

SB-12 ENERGY EFFICIENCY DESIGN MATRIX

PRESCRIPTIVE COMPLIANCE

SB-12 (SECTION 3.1.1) TABLE 3.1.1.2.A

PACKAGE A1

SPACE HEATING FUEL						
■ GAS	□ OIL					
□ ELECTRIC	☐ PROPANE					
□ EARTH	□ SOLID FUEL					

BUILDING COMPONENT	REQUIRED	PROPOSED
INSULATION RSI (R) VALUE		
CEILING W/ ATTIC SPACE	10.56 (R60)	10.56 (R60)
CEILING W/O ATTIC SPACE	5.46 (R31)	5.46 (R31)
EXPOSED FLOOR	5.46 (R31)	5.46 (R31)
WALLS ABOVE GRADE	3.87 (R22)	3.87 (R22)
BASEMENT WALLS	3.52 ci *	3.52 ci
* PROPOSED VALUES MAY BE SUBSTITUTED W/ 2.11+1.76ci (R12+R10ci)	(R20 ci) ×	(R20 ci) *
BELOW GRADE SLAB ENTIRE SURFACE > 600mm BELOW GRADE	1	1
EDGE OF BELOW GRADE SLAB ≤ 600mm BELOW GRADE	1.76 (R10)	1.76 (R10)
HEATED SLAB OR SLAB \leq 600mm BELOW GRADE	1.76 (R10)	1.76 (R10)
WINDOWS & DOORS		
WINDOWS/SLIDING GLASS DOORS (MAX U-VALUE)	1.6	1.6
SKYLIGHTS (MAX. U-VALUE)	2.8	2.8
APPLIANCE EFFICIENCY		
SPACE HEATING EQUIP. (AFUE%)	96%	96%
HRV EFFICIENCY (%)	75%	75%
DHW HEATER (EF)	0.8	0.8

AREA CALCULATIONS

* SEE PAGE 2 FOR AREA & WINDOW / WALL CALCULATIONS

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- 2 AREA CALCULATIONS
- 3 BASEMENT PLAN, EL. 'A'
- 4 GROUND FLOOR PLAN, EL. 'A'
- 5 SECOND FLOOR PLAN, EL. 'A'
- 6 OPT. 5 BED. SECOND FLOOR PLAN, EL. 'A'
- 7 PART. BASEMENT PLAN, EL. 'B'
- 8 PART. GROUND FLOOR PLAN, EL. 'B'
- 9 PART. SECOND FLOOR PLAN, EL. 'B'
- 10 PART. OPT. 5 BED. SECOND FLOOR PLAN, EL. 'B'
- 11 PARTIAL BASEMENT PLAN, EL. 'C'
- 12 PARTIAL GROUND FLOOR PLAN, EL. 'C'
- 13 PARTIAL SECOND FLOOR PLAN, EL. 'C'
- 14 PART. OPT. 5 BED. SECOND FLOOR PLAN, EL. 'C'
- 15 FRONT ELEVATION 'A' & INTERIOR PORTICO EL.
- 16 FLANKAGE ELEVATION 'A'
- 17 RIGHT SIDE ELEVATION 'A'
- 18 UPGRADED & PART. FOR OPT. 5 BED. REAR ELEVATION 'A'
- 19 FRONT ELEVATION 'B'
- 20 FLANKAGE ELEVATION 'B'
- 21 RIGHT SIDE ELEVATION & PART. FOR OPT. SECOND FLR. EL. 'B'
- 22 UPGRADED & PART. FOR OPT. 5 BED. REAR ELEVATION 'B'
- 23 FRONT ELEVATION 'C'
- 24 FLANKAGE ELEVATION 'C'
- 25 RIGHT SIDE ELEVATION & PART. FOR OPT. SECOND FLR. EL. 'C'
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- 29 DETAILS
- 30 CONSTRUCTION NOTES 1
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7	-	-
6	-	-
5	-	-
4. ISSUED FOR PERMIT	2022.07.25	AW
3. REVISED PER STRUCT, ENGINEER COMMENTS	2022.07.20	SP
2. REV. AS PER FLOOR & ROOF LAYOUTS	2022.05.19	SP
1. ADD ELEVATION 'C' & STD. 9'0" BASEMENT	2022.02.18	WT
REVISIONS	DATE (YYYY/MM/DD)	BY

TITLE PAGE

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET

OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.
QUALIFICATION INFORMATION
Allan Whiting

SIGNATURE

SIGNATURE

HUNTUU

GOLDPARK HOMES - 221081 PINE VALLEY PH.2. VAUGHAN, ON, UNIT 4204 - THE BROOKVALLEY REV.2022.07.25

WT AW 3/16"=1'-0" 221081WS4204-CORNER 1 of 31 8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

Allan Whiting NAME REGISTRATION INFORMATION 23177

AREA CALCULATIONS							
	EL. 'A'	EL. 'B'	EL. 'C'				
GROUND FLOOR AREA	STD./OPT. 5 BDRM.	STD./OPT. 5 BDRM.	STD./OPT. 5 BDRM.				
	1655 sq. ft.	1673 sq. ft.	1669 sq. ft.				
SECOND FLOOR AREA	(153.75 sq. m.)	(155.43 sq. m.)	(155.06 sq. m.)				
	2020 sq. ft.	2047 sq. ft.	2038 sq. ft.				
SUBTOTAL		(190.17 sq. m.)					
	3675 sq. ft.	3720 sq. ft.	3707 sq. ft.				
DEDUCT ALL OPEN AREAS	(341.42 sq. m.) 67 sq. ft.	(345.60 sq. m.) 74 sq. ft.	(344.39 sq. m.) 67 sq. ft.				
TOTAL NET AREA	(6.22 sq. m.) 3608 sq. ft.	(6.87 sq. m.) 3646 sq. ft.	(6.22 sq. m.) 3640 sq. ft.				
FINISHED BASEMENT AREA	(335.19 sq. m.) 35 sq. ft.	(338.72 sq. m.) 35 sq. ft.	(338.17 sq. m.) 35 sq. ft.				
COVERAGE	(3.25 sq. m.)	(3.25 sq. m.)	(3.25 sq. m.)				
W/OUT PORCH	2068 sq. ft.	2085 sq. ft.	2080 sq. ft.				
COVERAGE	(192.12 sq. m.)	(193.70 sq. m.)	(193.24 sq. m.)				
W/ PORCH	2145 sq. ft.	2153 sq. ft.	2157 sq. ft.				
	(199.28 sq. m.)	(200.02 sq. m.)	(200.39 sq. m.)				
WINDOW / WALL AREA	EL. 'A'	EL. 'A' - WOD	EL. 'A' - LOD	EL. 'A' - WOB	EL. 'A' - WOB		
<u>CALCULATIONS</u>	STD. PLAN	STD. PLAN	STD. PLAN	STD. PLAN	OPT. 9 BSMT		
GROSS WALL AREA	4567.57 sq. ft.	4596.68 sq. ft.	4678.55 sq. ft.	4905.98 sq. ft.	4949.65 sq. ft.		
	(424.34 sq. m.)	(427.05 sq. m.)	(434.65 sq. m.)	(455.78 sq. m.)	(459.84 sq. m.)		
GROSS WINDOW AREA (INCL. GLASS DOORS & SKYLIGHTS)	577.43 sq. ft. (53.65 sq. m.)	580.76 sq. ft. (53.95 sq. m.)	594.09 sq. ft. (55.19 sq. m.)	671.26 sq. ft. (62.36 sq. m.)	679.59 sq. ft. (63.14 sq. m.)		
,	, , ,						
TOTAL WINDOW % WINDOW / WALL AREA	12.64 %	12.63 %	12.70 %	13.68 %	13.73 %		
CALCULATIONS	EL.'A'	EL. 'A' - WOD	EL. 'A' - LOD OPT. SEC. FLR.	EL. 'A' - WOB	EL. 'A' - WOB		
	4567.57 sq. ft.	4596.68 sq. ft.	4678.55 sq. ft.	4905.98 sq. ft.	4949.65 sq. ft.		
GROSS WALL AREA	(424.34 sq. m.)	(427.05 sq. m.)	(434.65 sq. m.)	(455.78 sq. m.)	(459.84 sq. m.)		
GROSS WINDOW AREA	616.09 sq. ft.	619.43 sq. ft.	632.76 sq. ft.	709.93 sq. ft.	718.26 sq. ft.		
(INCL. GLASS DOORS & SKYLIGHTS)	(57.24 sq. m.)	(57.55 sq. m.)	(58.79 sq. m.)	(65.95 sq. m.)	(66.73 sq. m.)		
TOTAL WINDOW %	13.49 %	13.48 %	13.52 %	14.47 %	14.51 %		
WINDOW / WALL AREA	EL. 'B'	EL. 'B' - WOD	EL. 'B' - LOD	EL. 'B' - WOB	EL. 'B' - WOB		
CALCULATIONS	STD. PLAN	STD. PLAN	STD. PLAN	STD. PLAN	OPT. 9' BSMT		
GROSS WALL AREA	4652.24 sq. ft.	4681.35 sq. ft.	4763.22 sq. ft.	4990.65 sq. ft.	5034.32 sq. ft.		
	(432.21 sq. m.) 652.21 sq. ft.	(434.91 sq. m.) 655.54 sq. ft.	(442.52 sq. m.) 668.87 sq. ft.	(463.65 sq. m.) 746.04 sq. ft.	(467.70 sq. m.) 764.37 sq. ft.		
GROSS WINDOW AREA (INCL. GLASS DOORS & SKYLIGHTS)	(60.59 sq. m.)	(60.90 sq. m.)	(62.14 sq. m.)	(69.31 sq. m.)	(71.01 sq. m.)		
TOTAL WINDOW %	14.02 %	14.00 %	14.04 %	14.95 %	15.18 %		
WINDOW / WALL AREA	EL. 'B'	EL. 'B' - WOD	EL. 'B' - LOD	EL. 'B' - WOB	EL. 'B' - WOB		
CALCULATIONS	OPT. SEC. FLR.	OPT. SEC. FLR.					
00000 WALL ADEA	4652.24 sq. ft.	4681.35 sq. ft.	4763.22 sq. ft.	4990.65 sq. ft.	5034.32 sq. ft.		
GROSS WALL AREA	(432.21 sq. m.)	(434.91 sq. m.)	(442.52 sq. m.)	(463.65 sq. m.)	(467.70 sq. m.)		
GROSS WINDOW AREA	689.54 sq. ft.	692.87 sq. ft.	706.21 sq. ft.	783.37 sq. ft.	791.71 sq. ft.		
(INCL. GLASS DOORS & SKYLIGHTS)	(64.06 sq. m.)	(64.37 sq. m.)	(65.61 sq. m.)	(72.78 sq. m.)	(73.55 sq. m.)		
TOTAL WINDOW %	14.82 %	14.80 %	14.83 %	15.70 %	15.73 %		
WINDOW / WALL AREA	EL. 'C'	EL. 'C' - WOD	EL. 'C' - LOD	EL. 'C' - WOB	EL. 'C' - WOB		
CALCULATIONS	STD. PLAN	STD. PLAN	STD. PLAN	STD. PLAN	OPT. 9' BSMT		
GROSS WALL AREA	4621.65 sq. ft. (429.37 sq. m.)	4606.47 sq. ft. (427.96 sq. m.)	4688.35 sq. ft. (435.56 sq. m.)	4915.78 sq. ft. (456.69 sq. m.)	4959.44 sq. ft. (460.75 sq. m.)		
	794.72 sq. ft.	798.06 sq. ft.	811.39 sq. ft.	888.56 sq. ft.	896.89 sq. ft.		
GROSS WINDOW AREA (INCL. GLASS DOORS & SKYLIGHTS)	(73.83 sq. m.)	(74.14 sq. m.)	(75.38 sq. m.)	(82.55 sq. m.)	(83.32 sq. m.)		
TOTAL WINDOW %	17.20 %	17.32 %	17.31 %	18.08 %	18.08 %		
WINDOW / WALL AREA	EL. 'C'	EL. 'C' - WOD	EL. 'C' - LOD	EL. 'C' - WOB	EL. 'C' - WOB		
CALCULATIONS			OPT. SEC. FLR.				
GROSS WALL AREA	4577.36 sq. ft.	4606.47 sq. ft.	4688.35 sq. ft.	4915.78 sq. ft.	4959.44 sq. ft.		
SHOOD WALL ARLA	(425.25 sq. m.)	(427.96 sq. m.)	(435.56 sq. m.)	(456.69 sq. m.)	(460.75 sq. m.)		
GROSS WINDOW AREA	843.39 sq. ft.	846.72 sq. ft.	860.06 sq. ft.	937.22 sq. ft.	945.56 sq. ft.		
(INCL. GLASS DOORS & SKYLIGHTS)	(78.35 sq. m.)	(78.66 sq. m.)	(79.90 sq. m.)	(87.07 sq. m.)	(87.85 sq. m.)		
TOTAL WINDOW %	18.43 %	18.38 %	18.34 %	19.07 %	19.07 %		

AREA CALCULATIONS

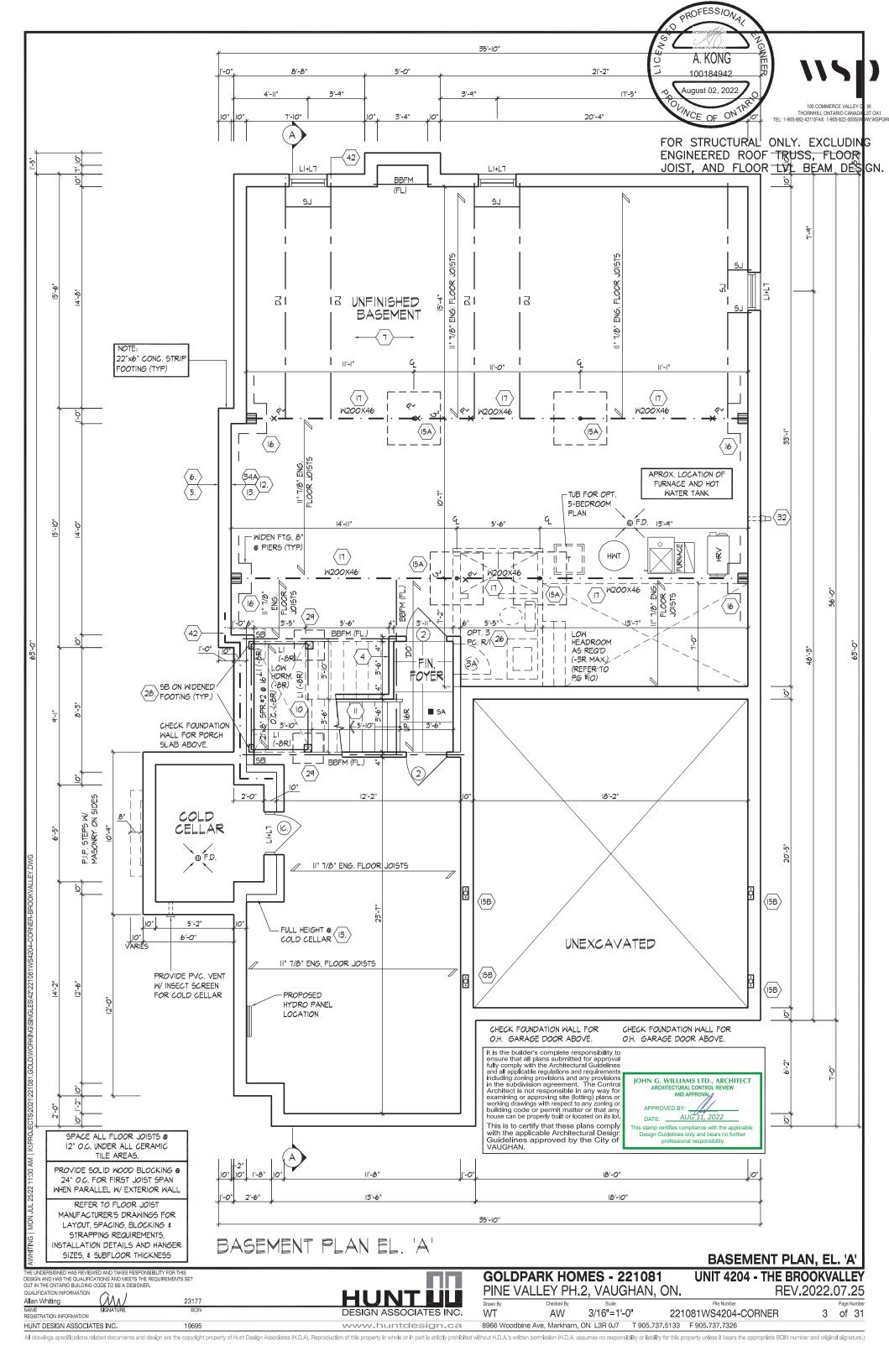
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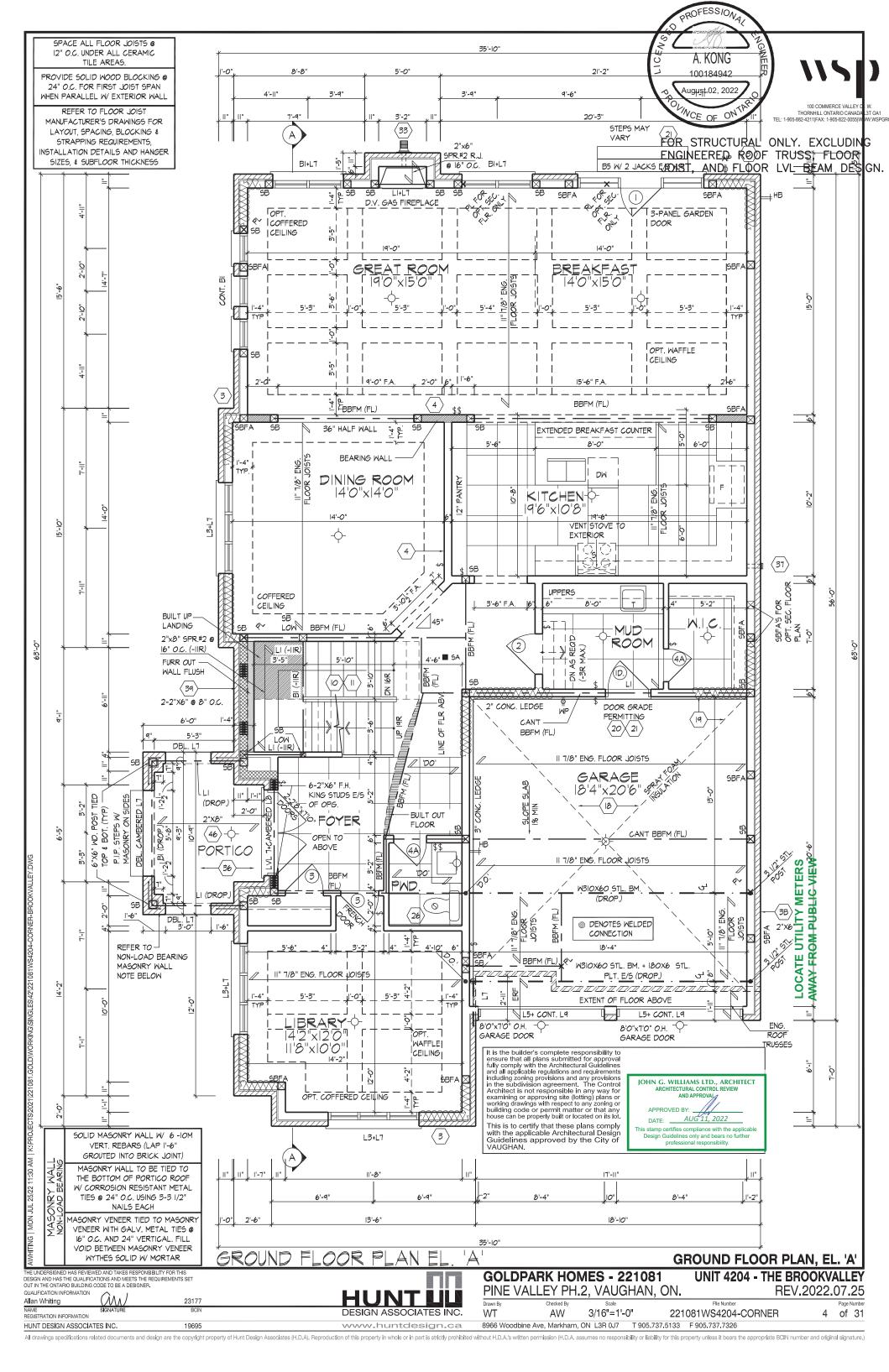
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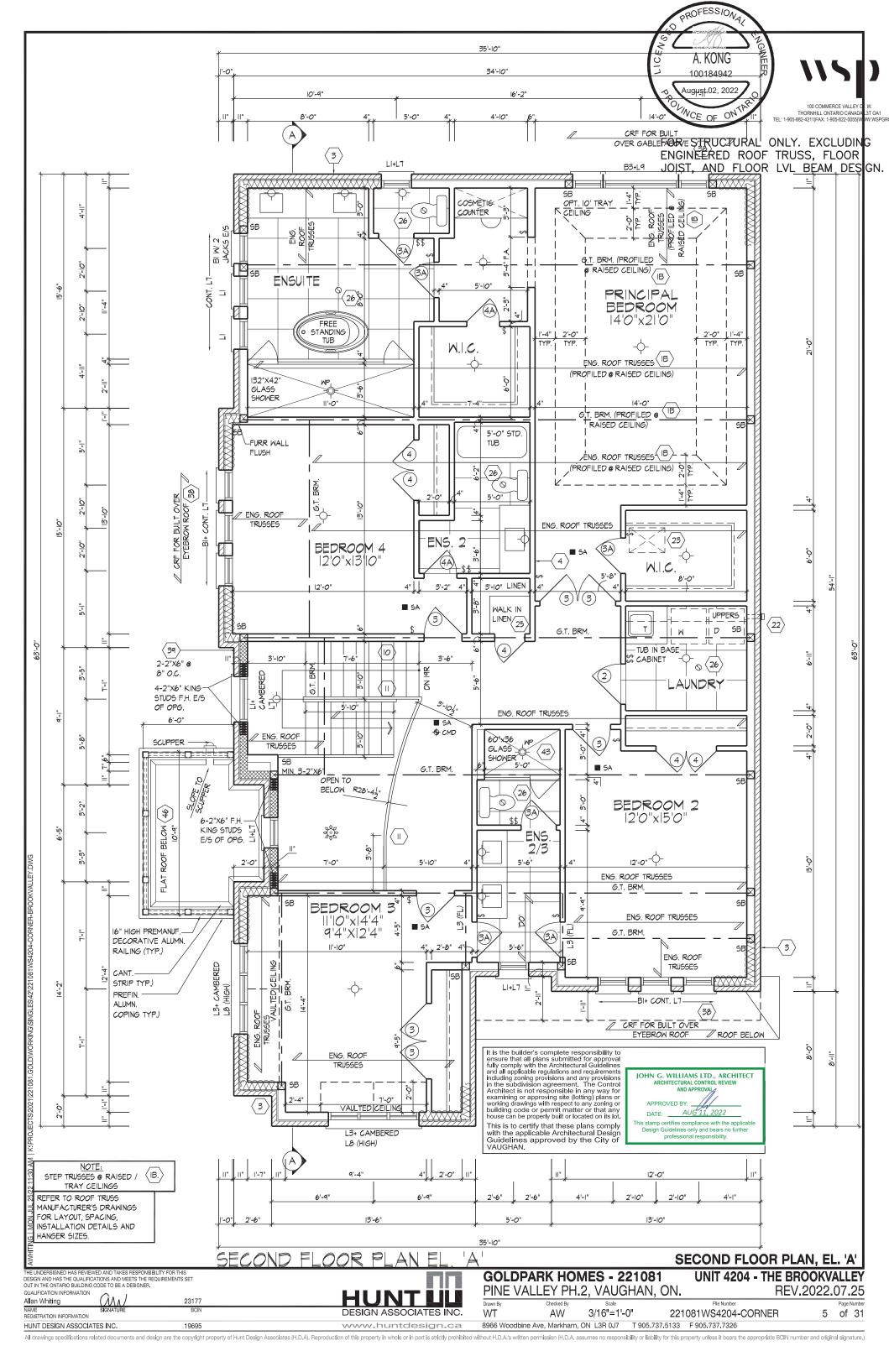
GOLDPARK HOMES - 221081 PINE VALLEY PH.2, VAUGHAN, ON. UNIT 4204 - THE BROOKVALLEY REV.2022.07.25

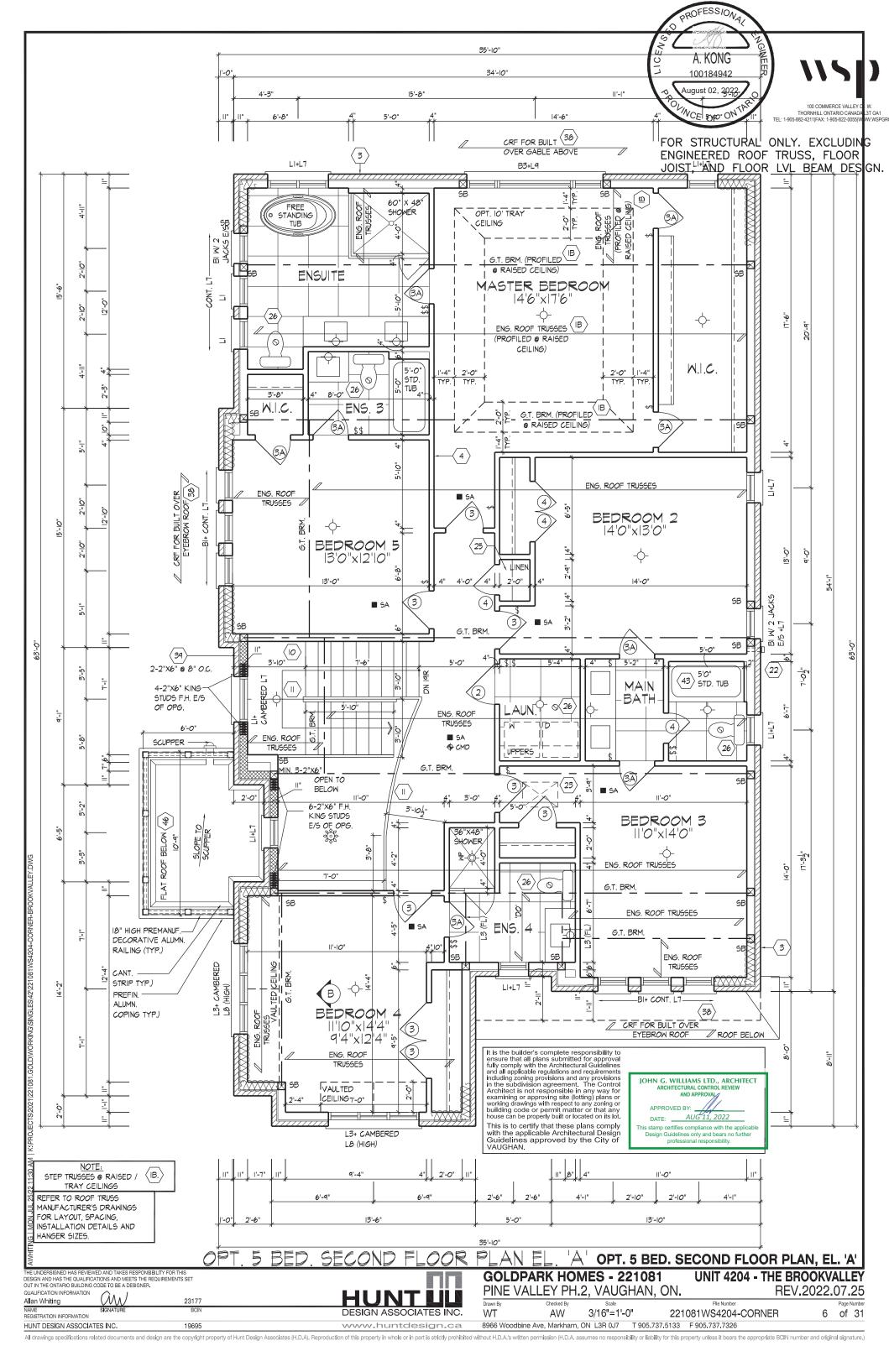
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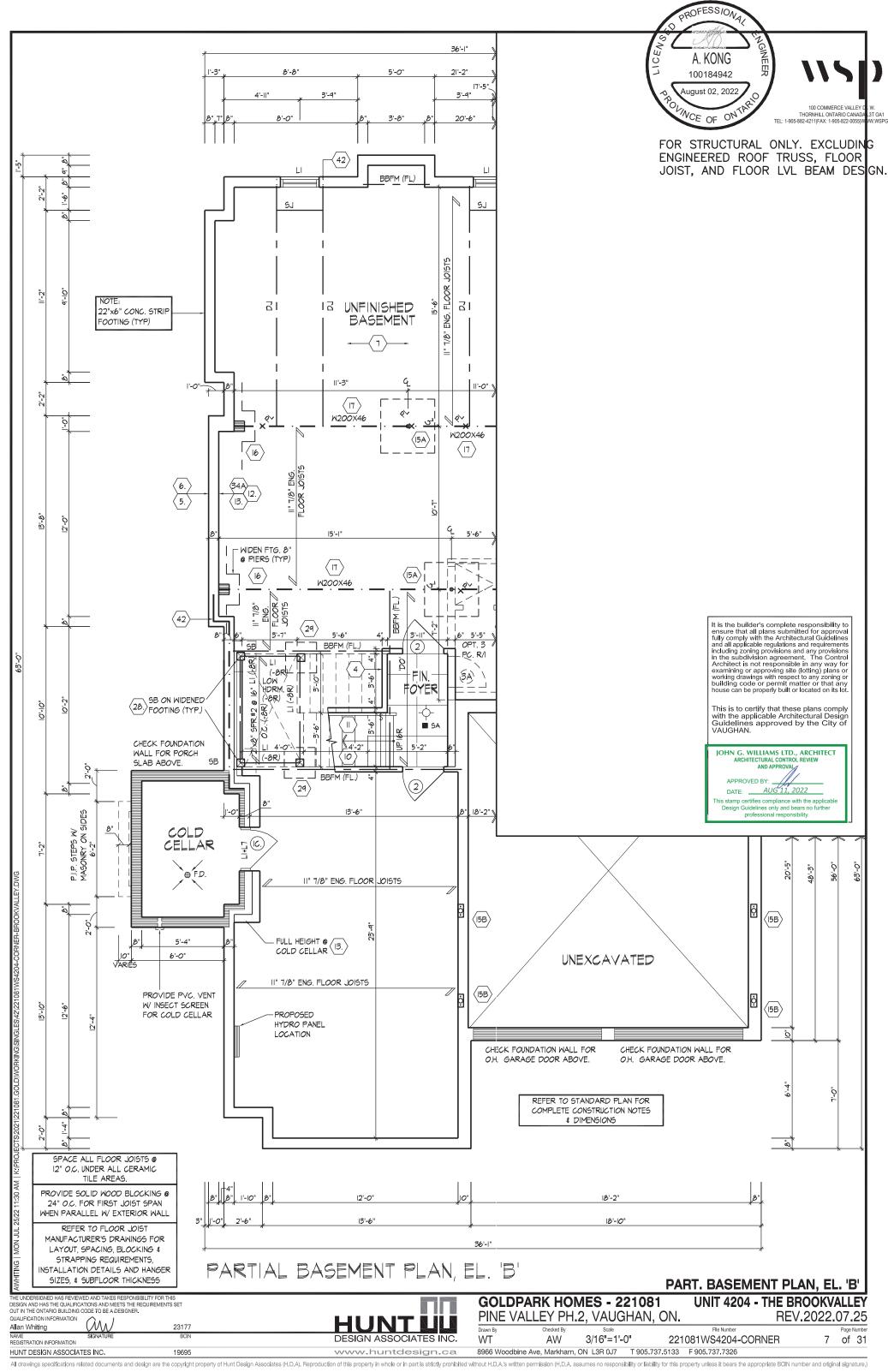
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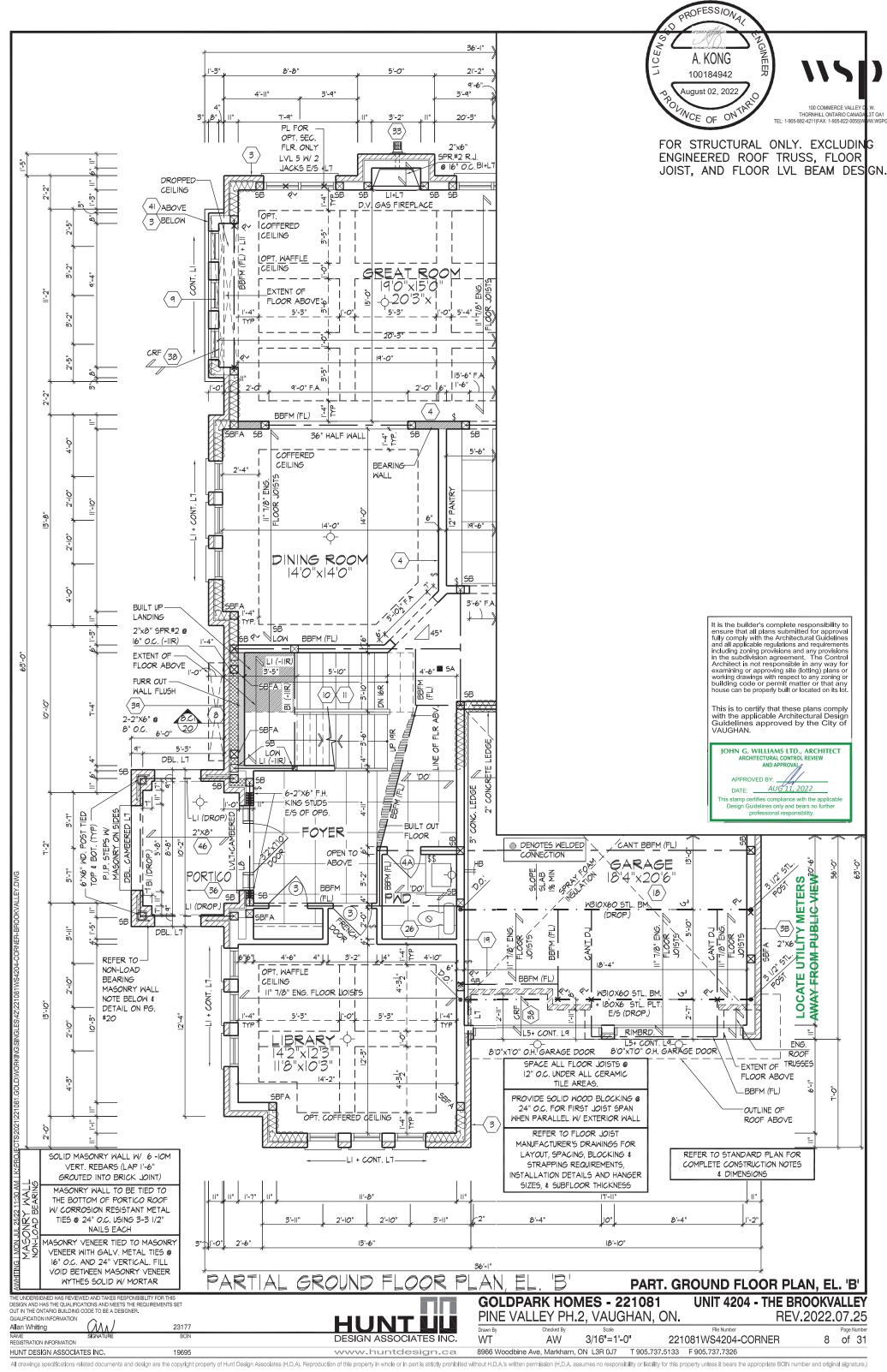


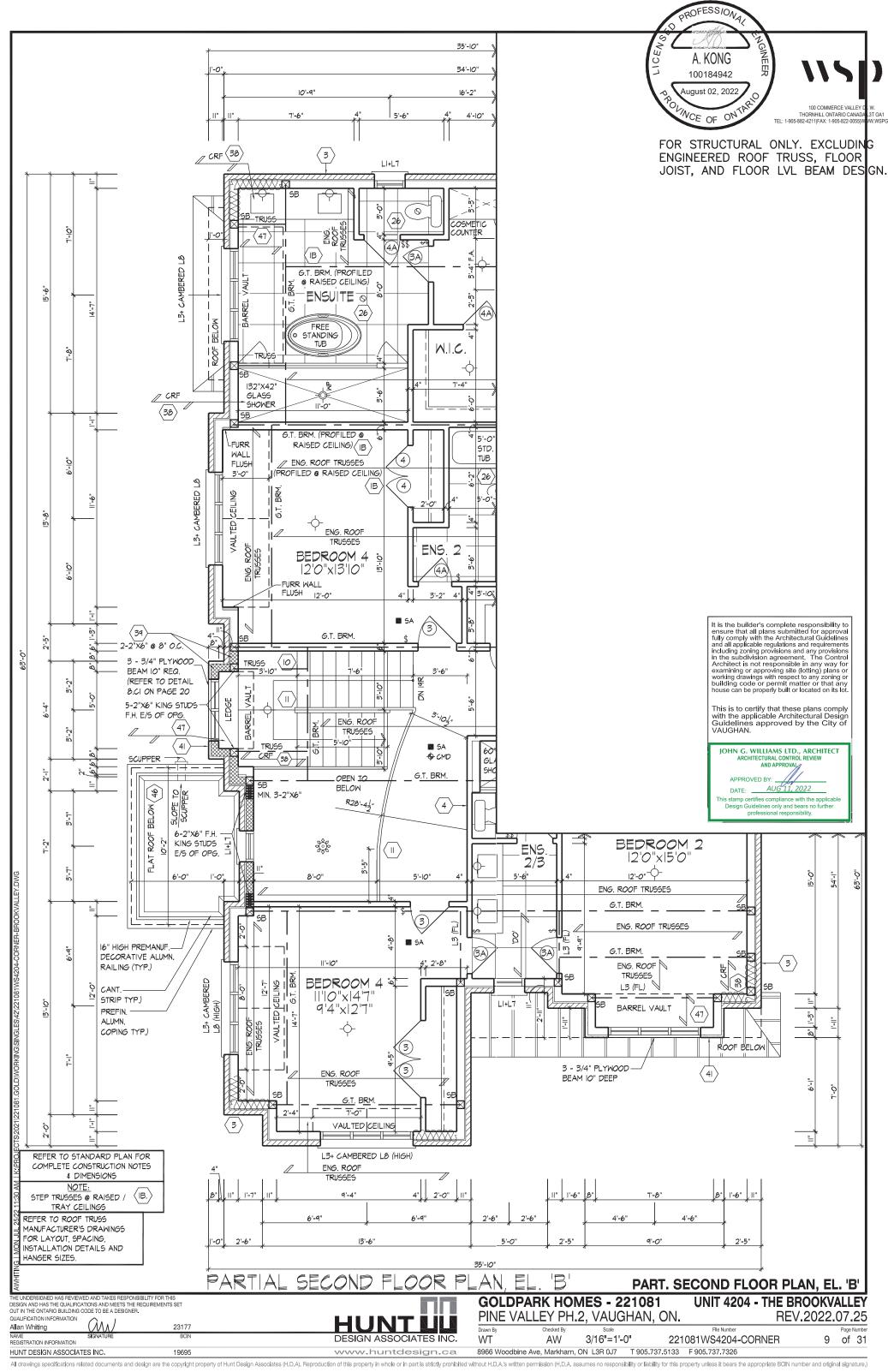


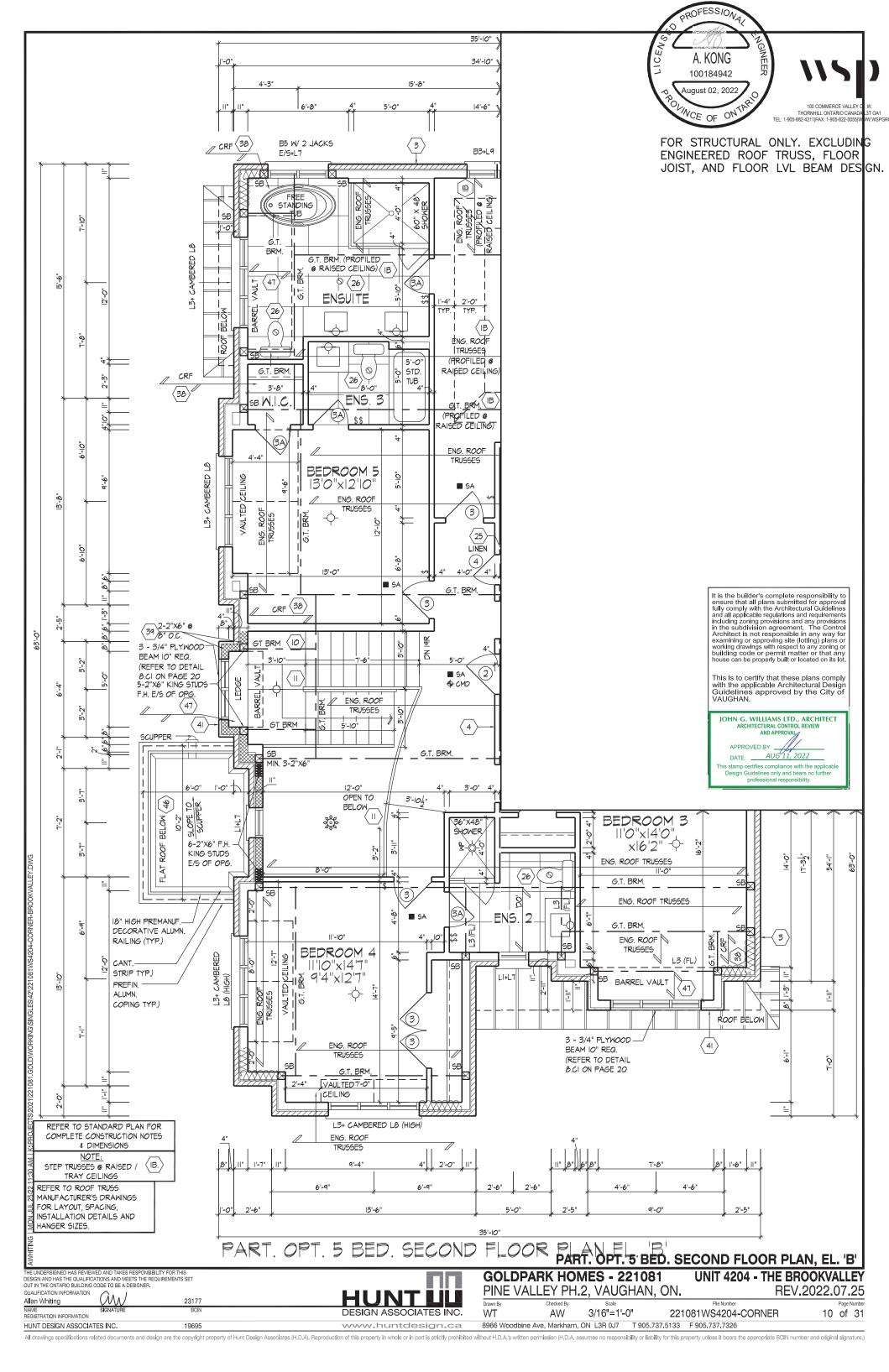


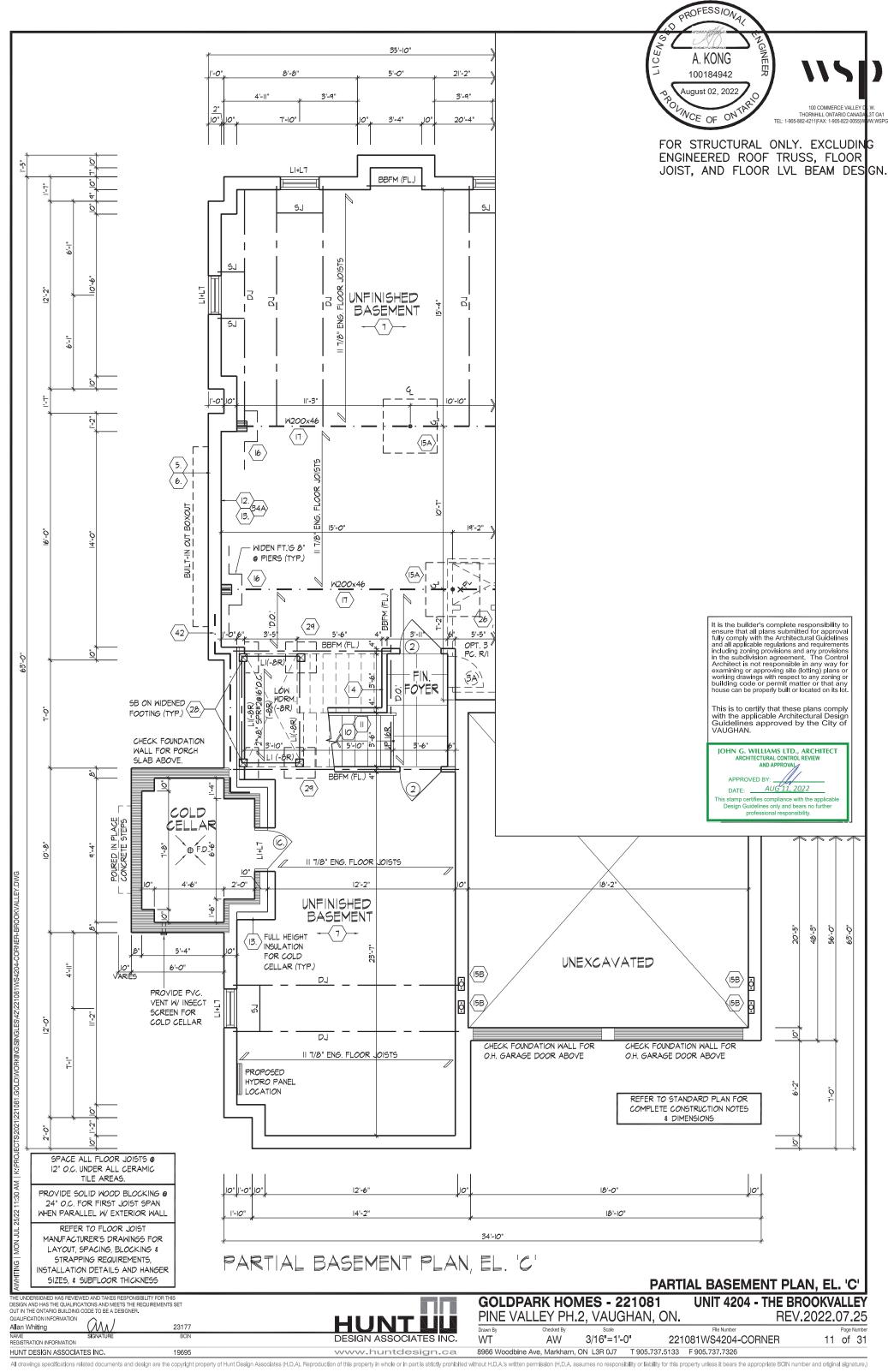


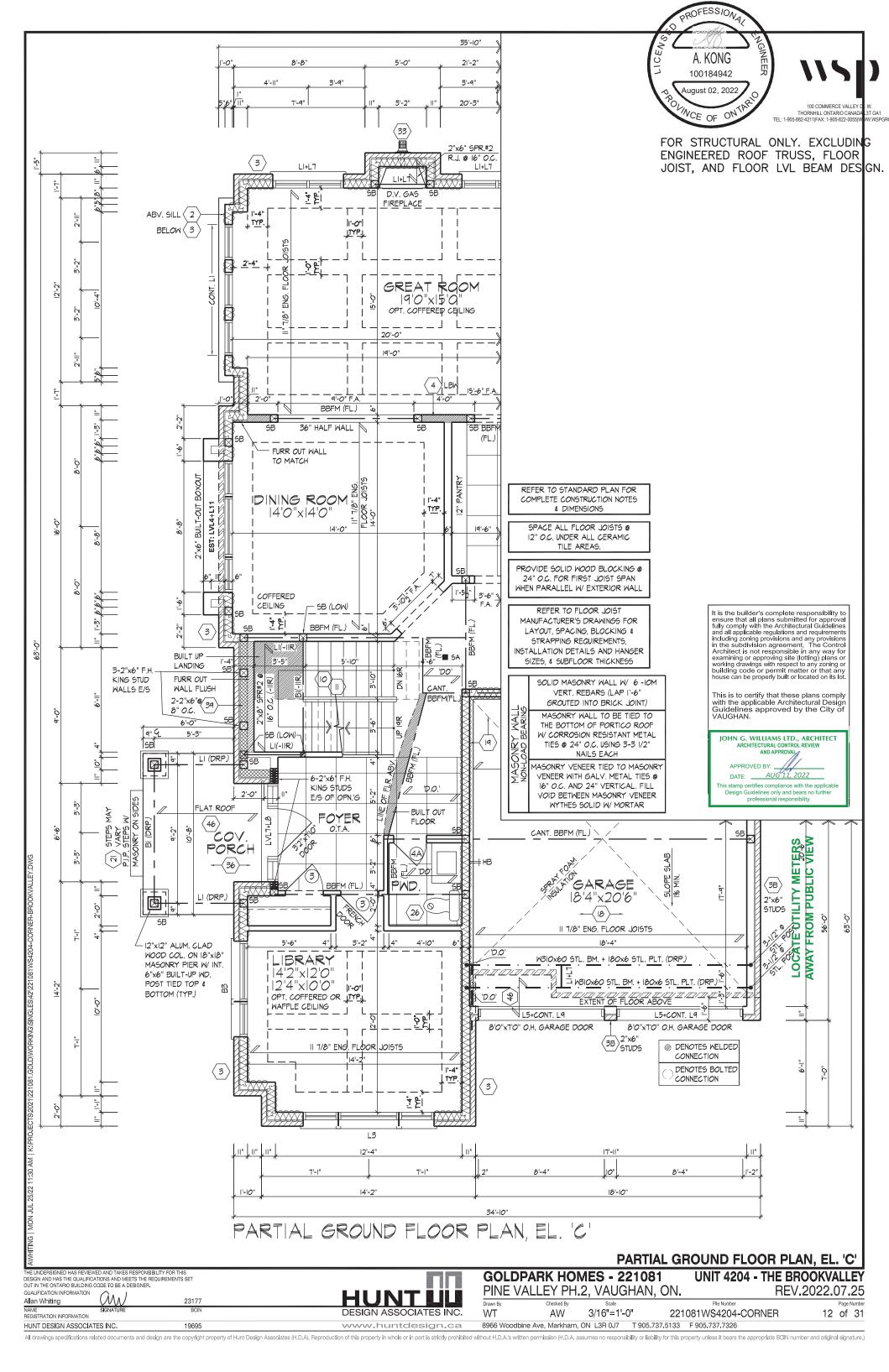


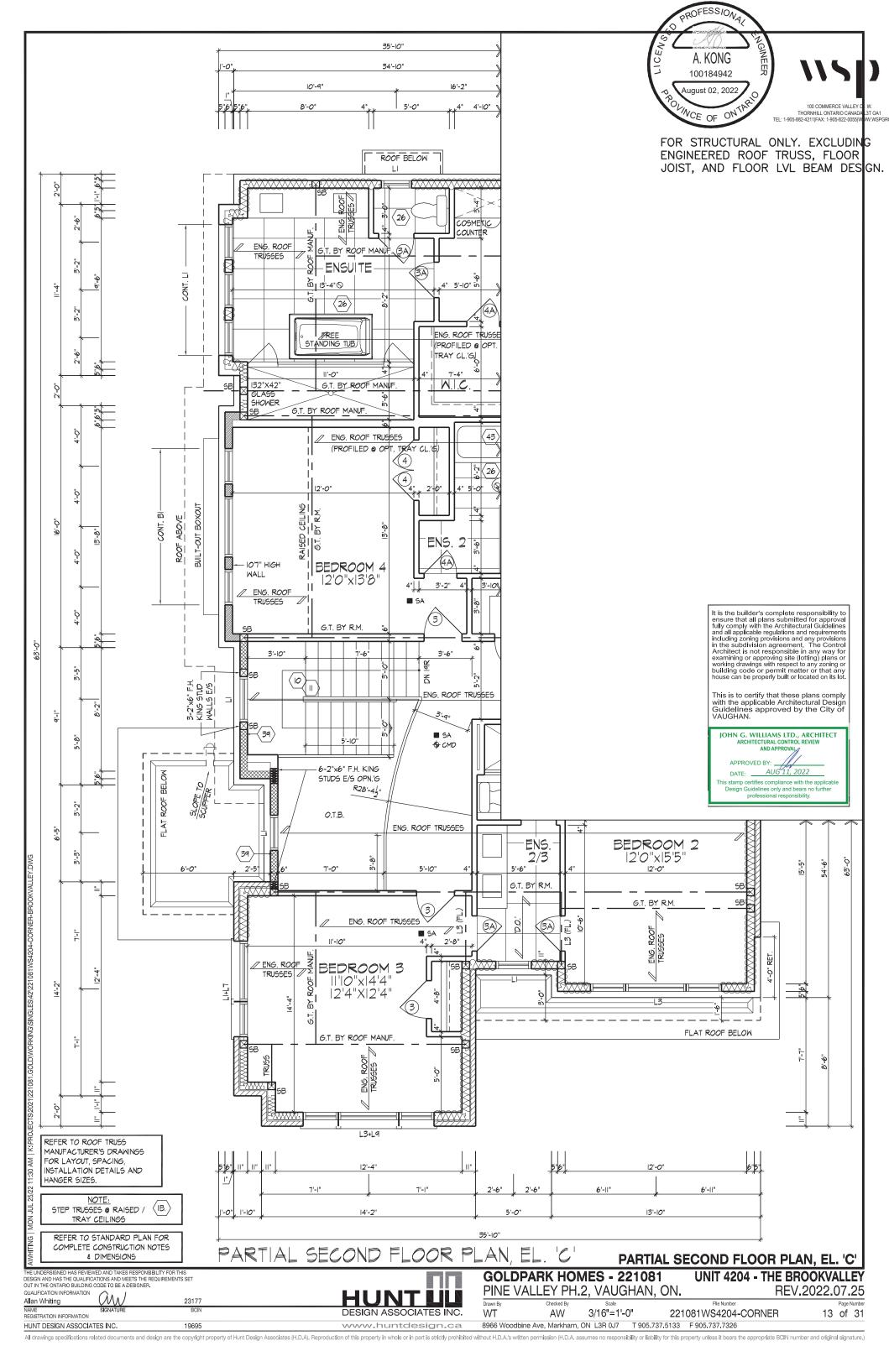


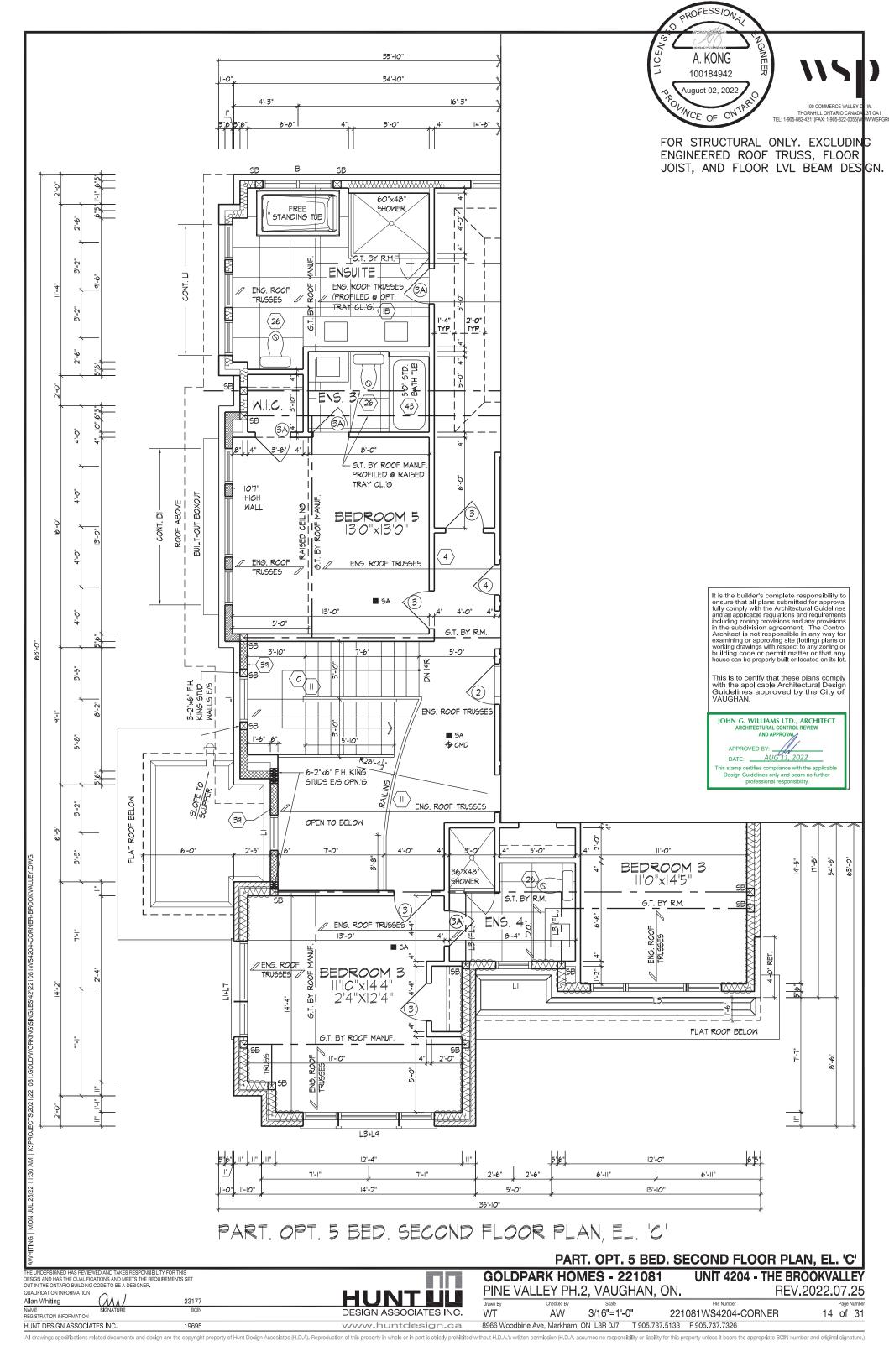


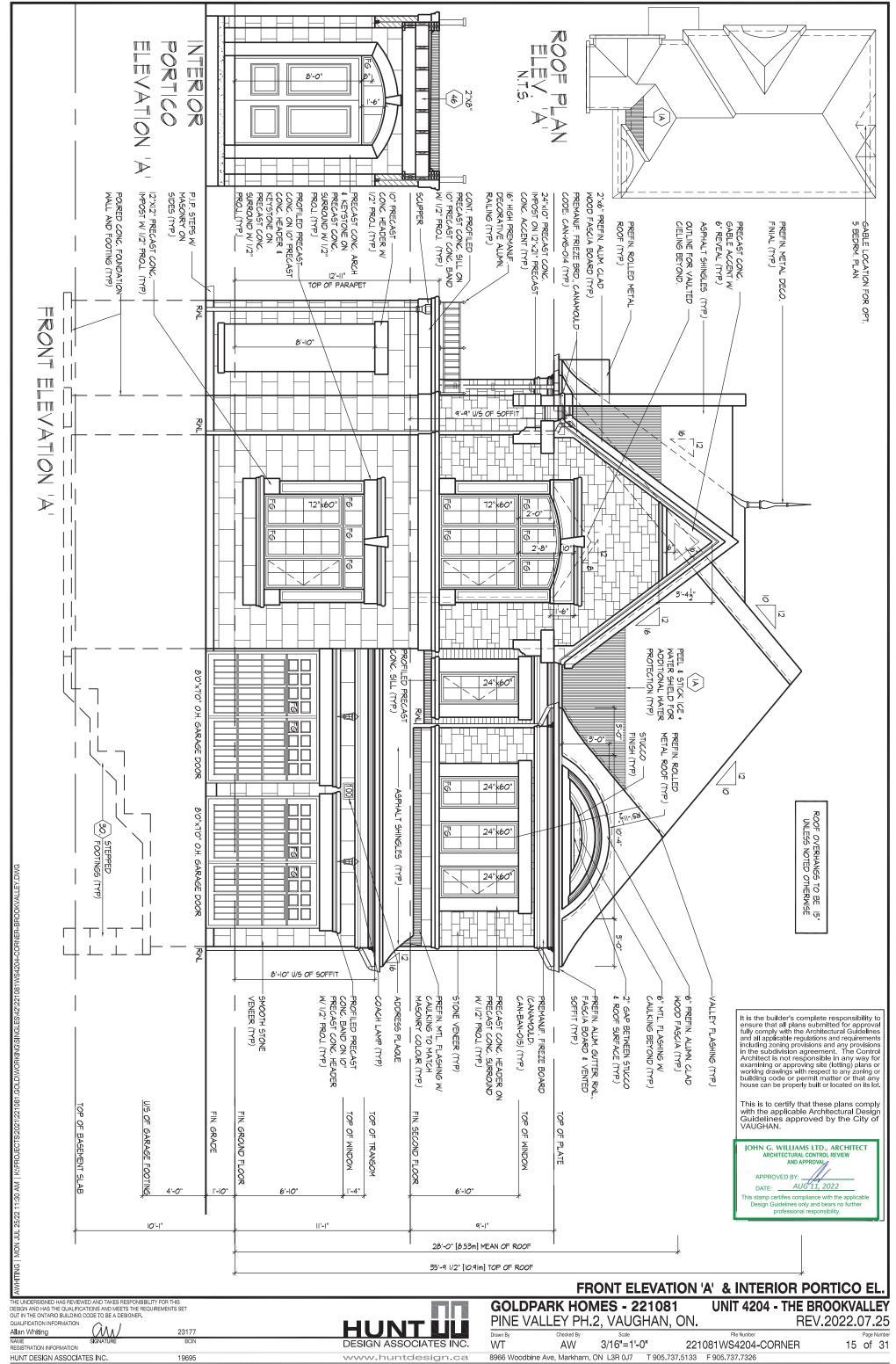


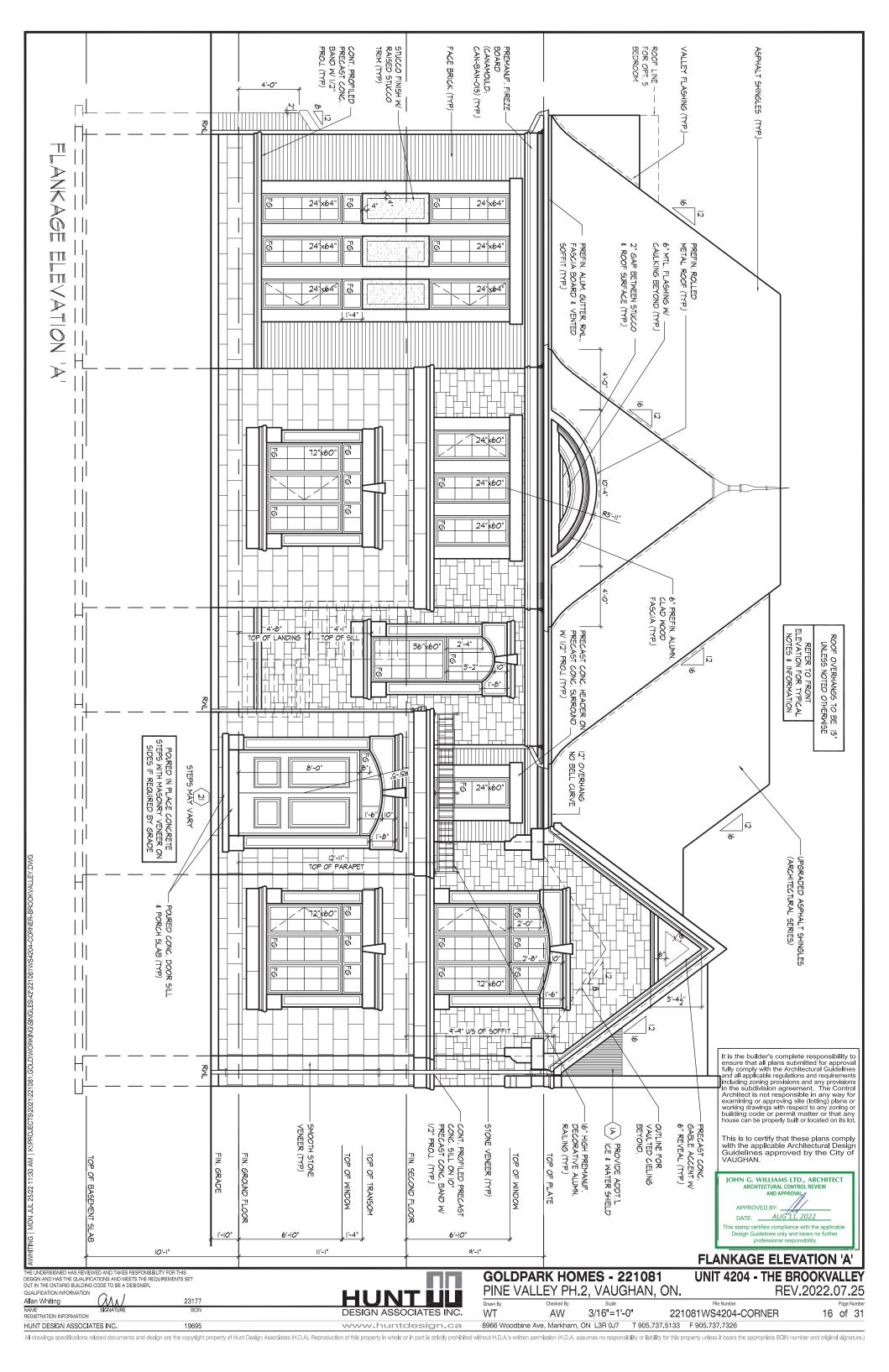


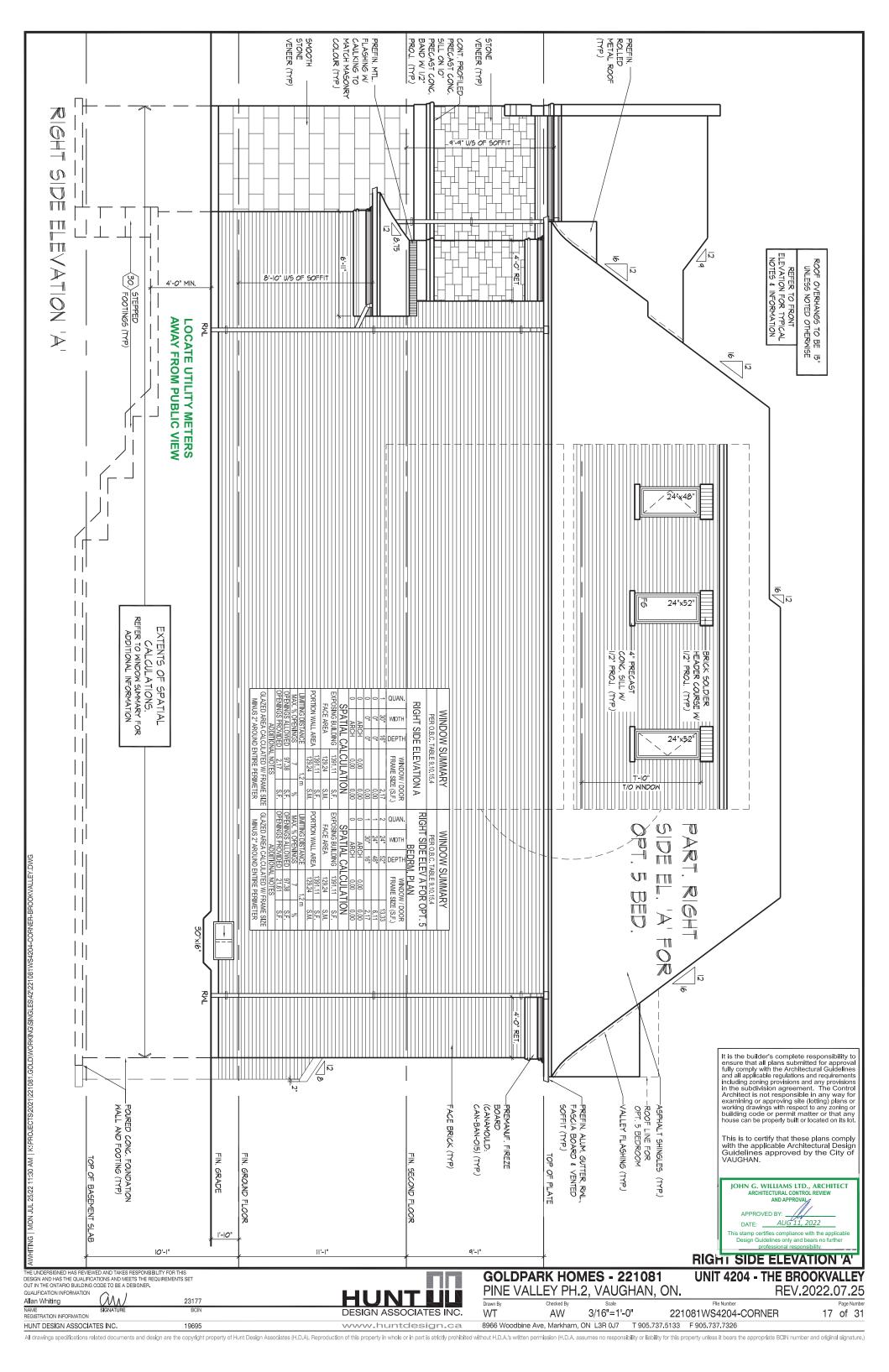


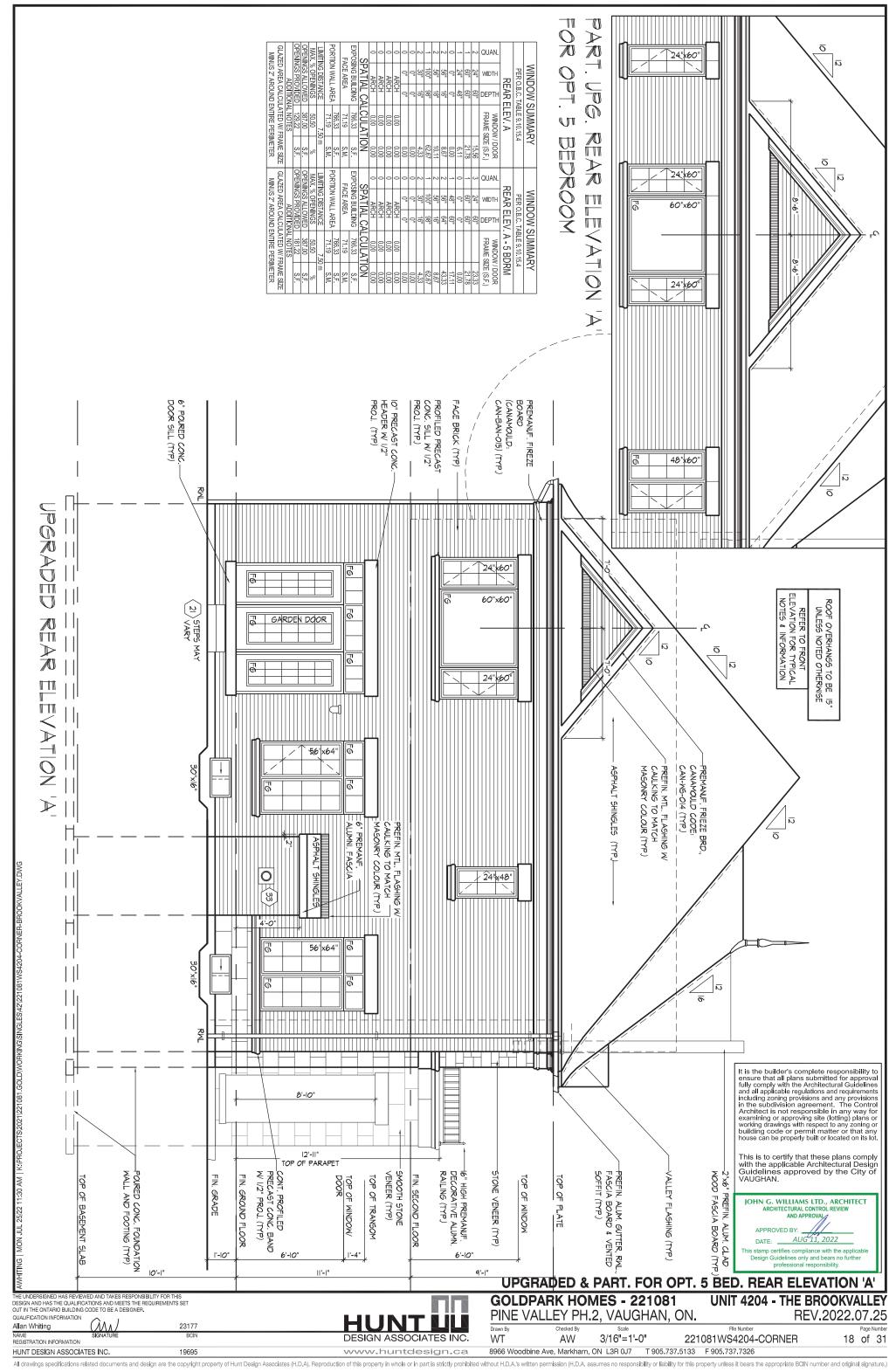


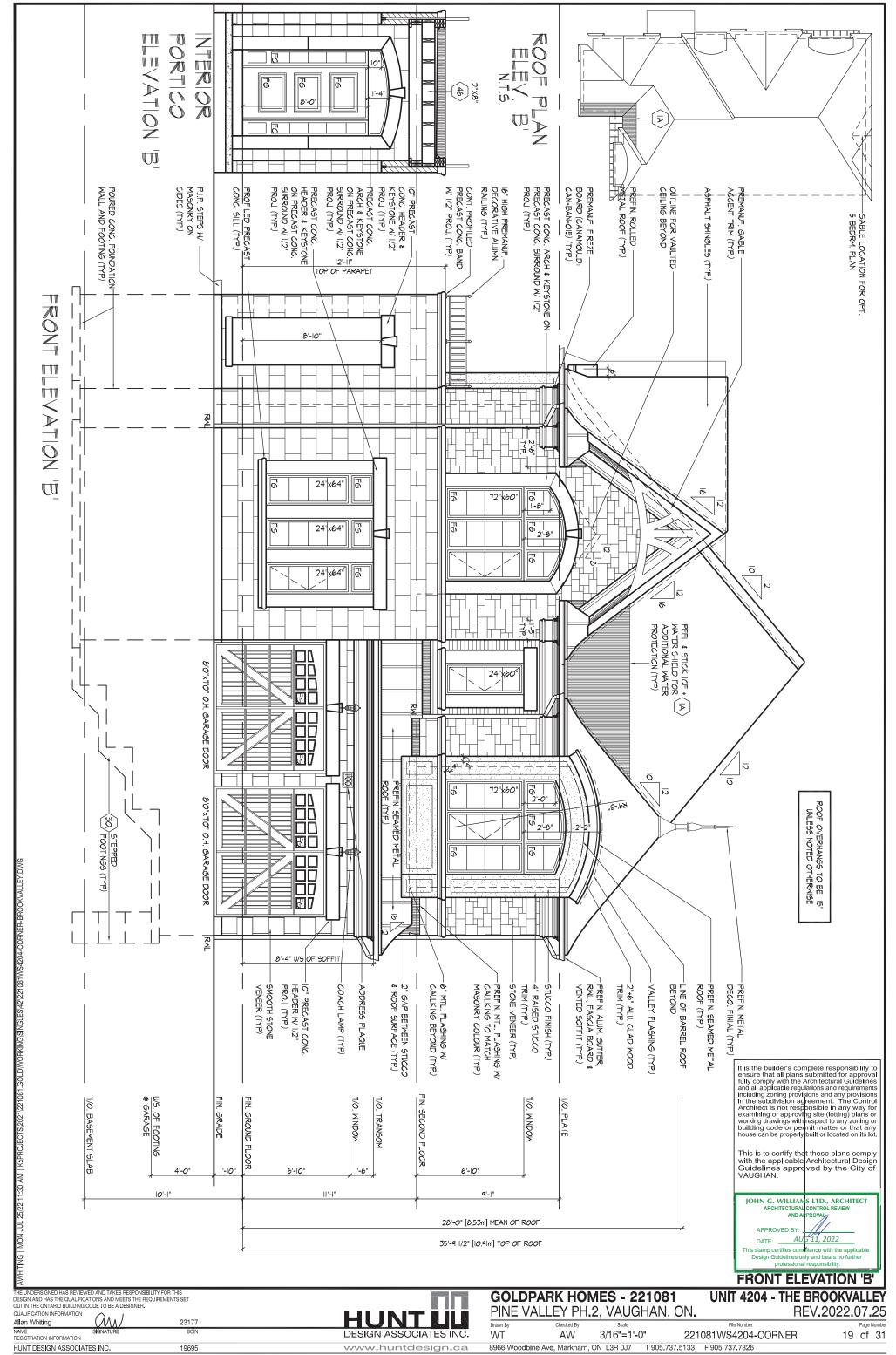


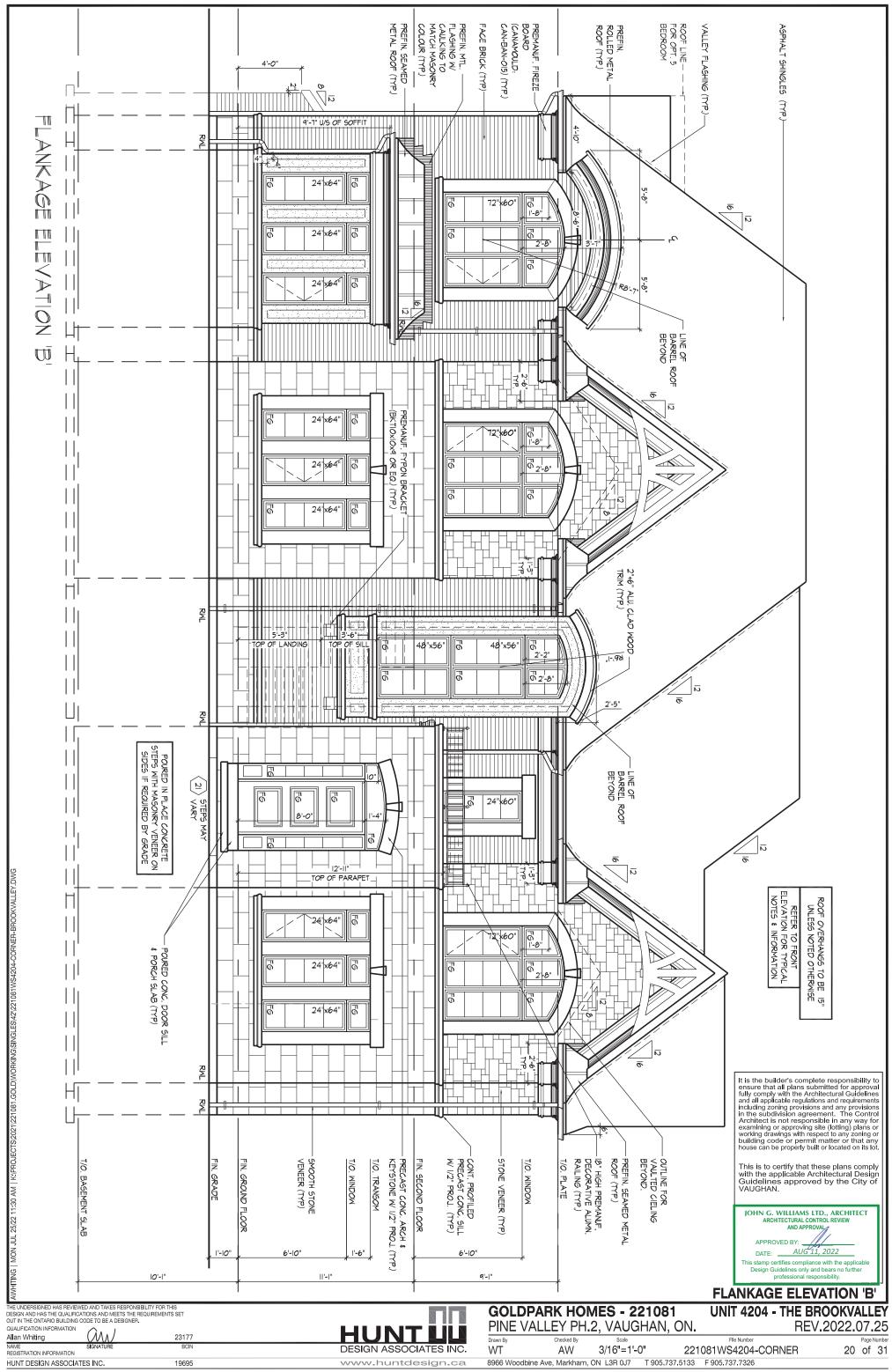


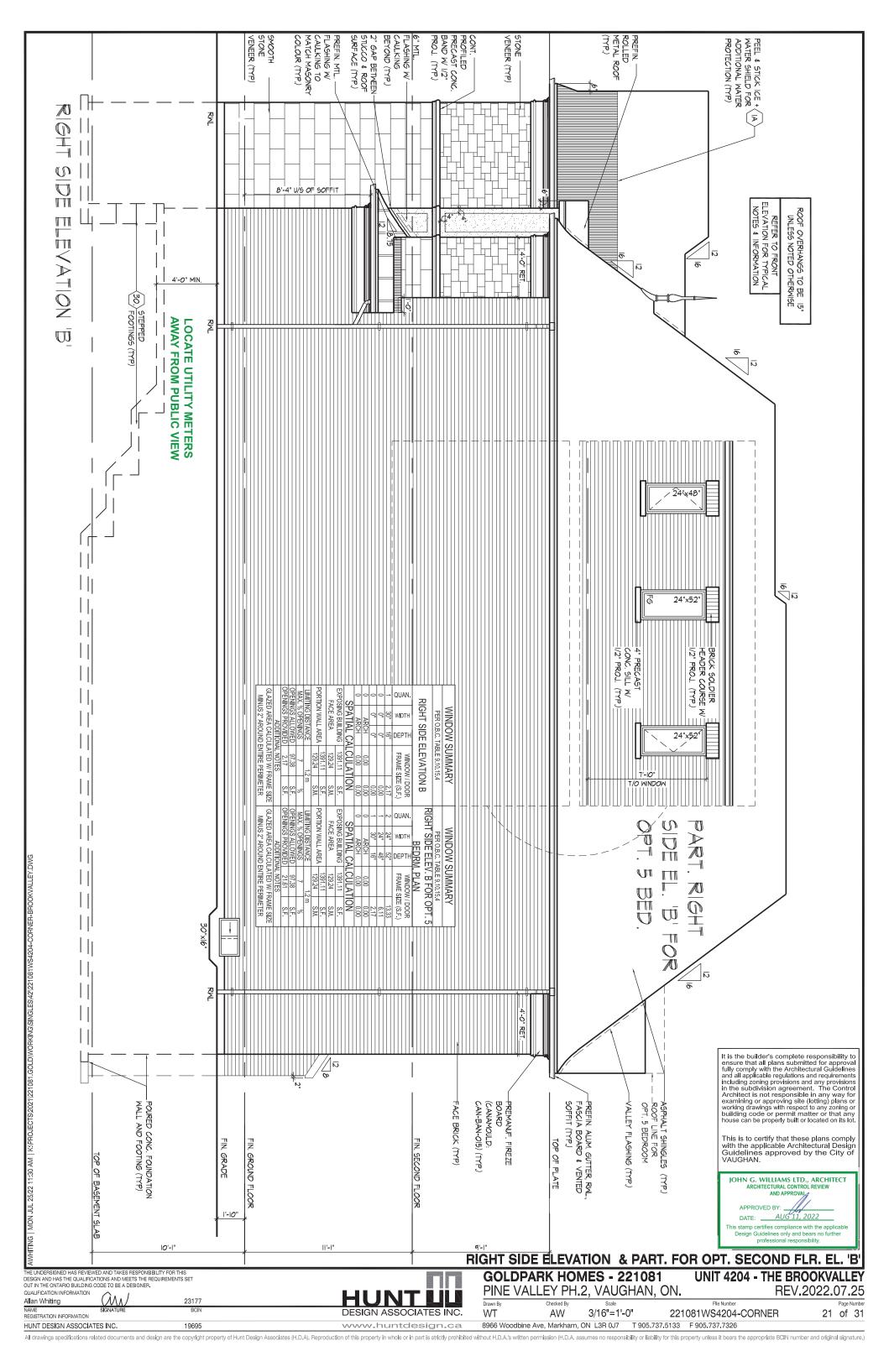


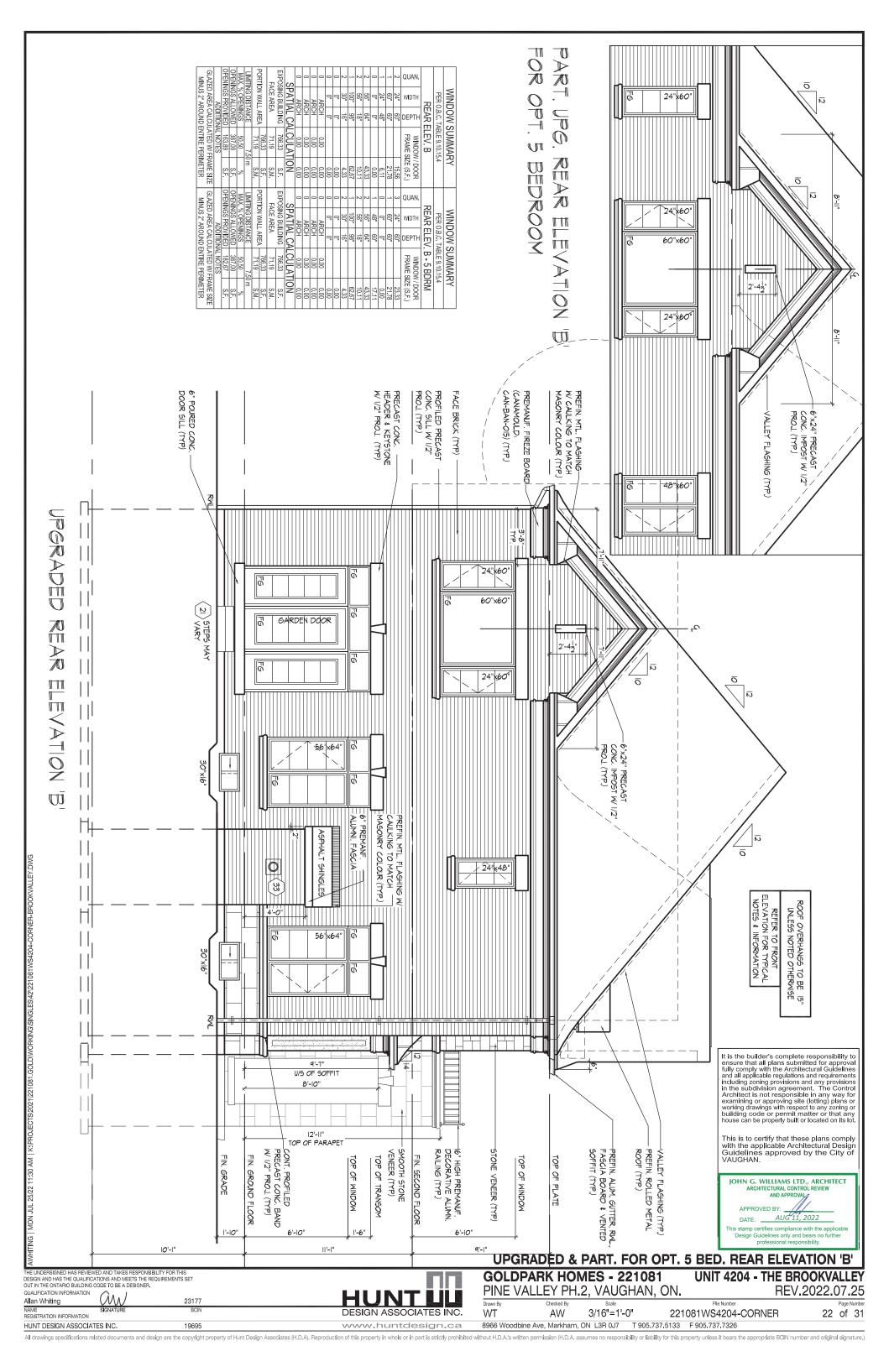


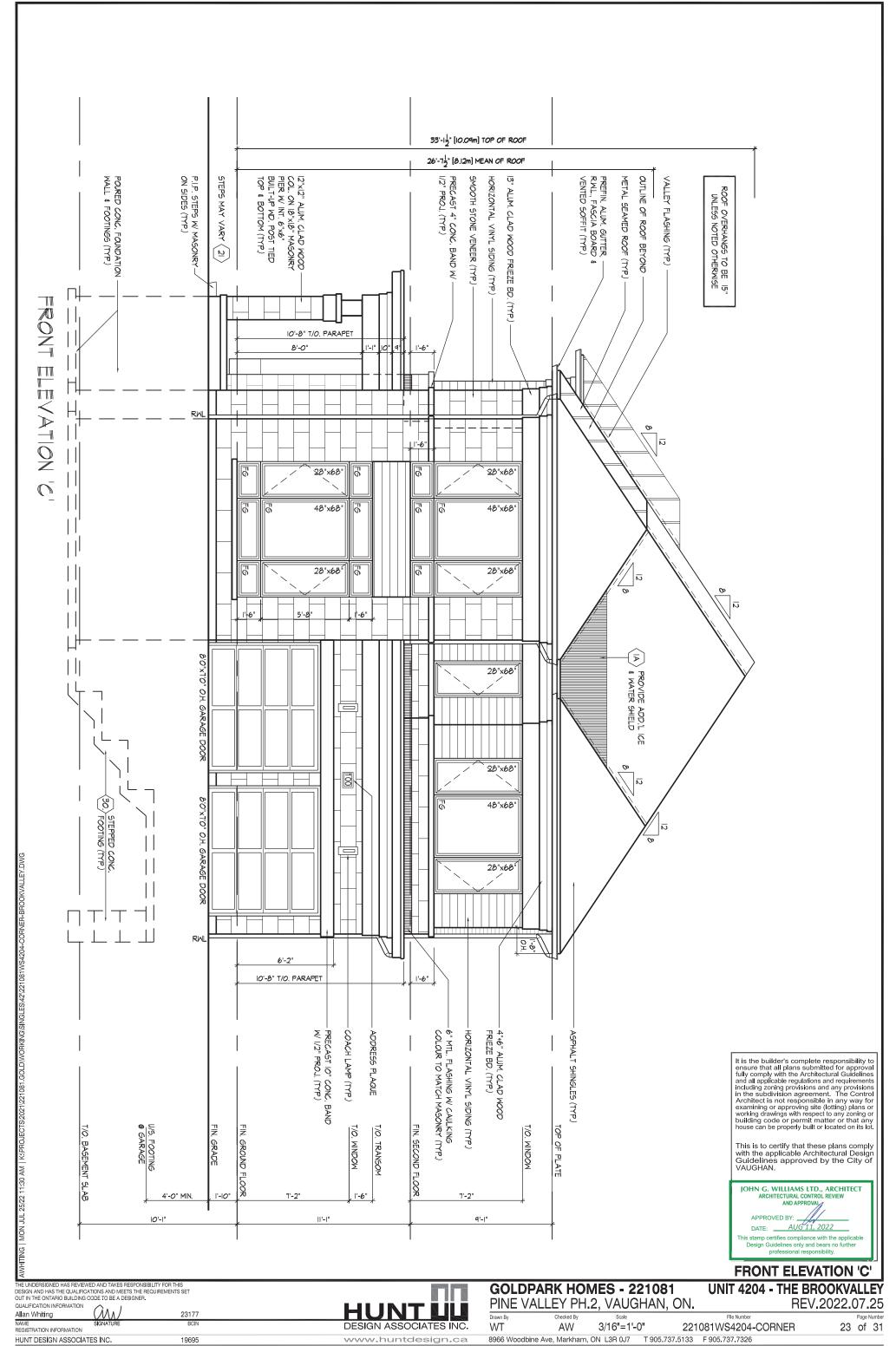


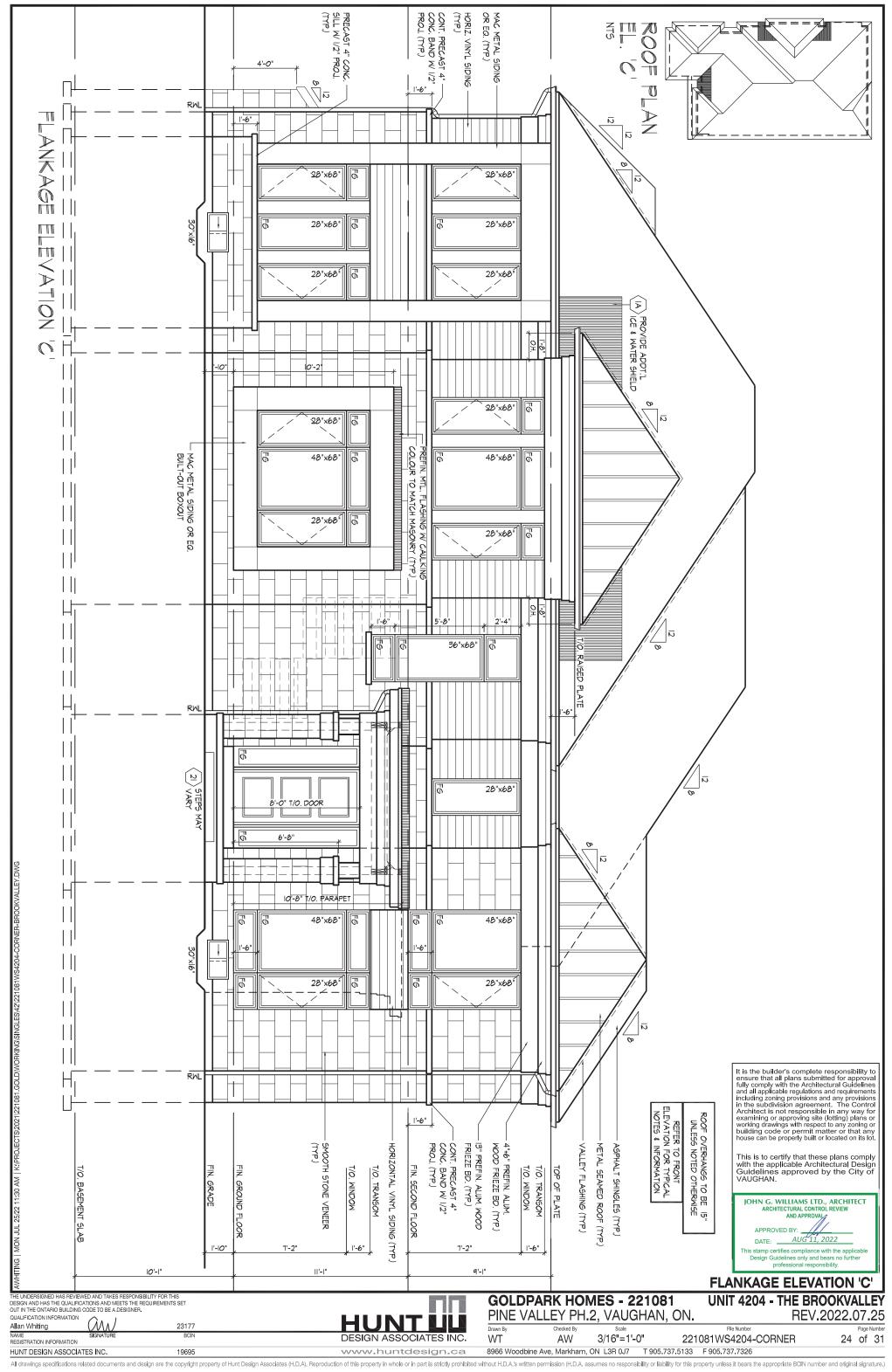


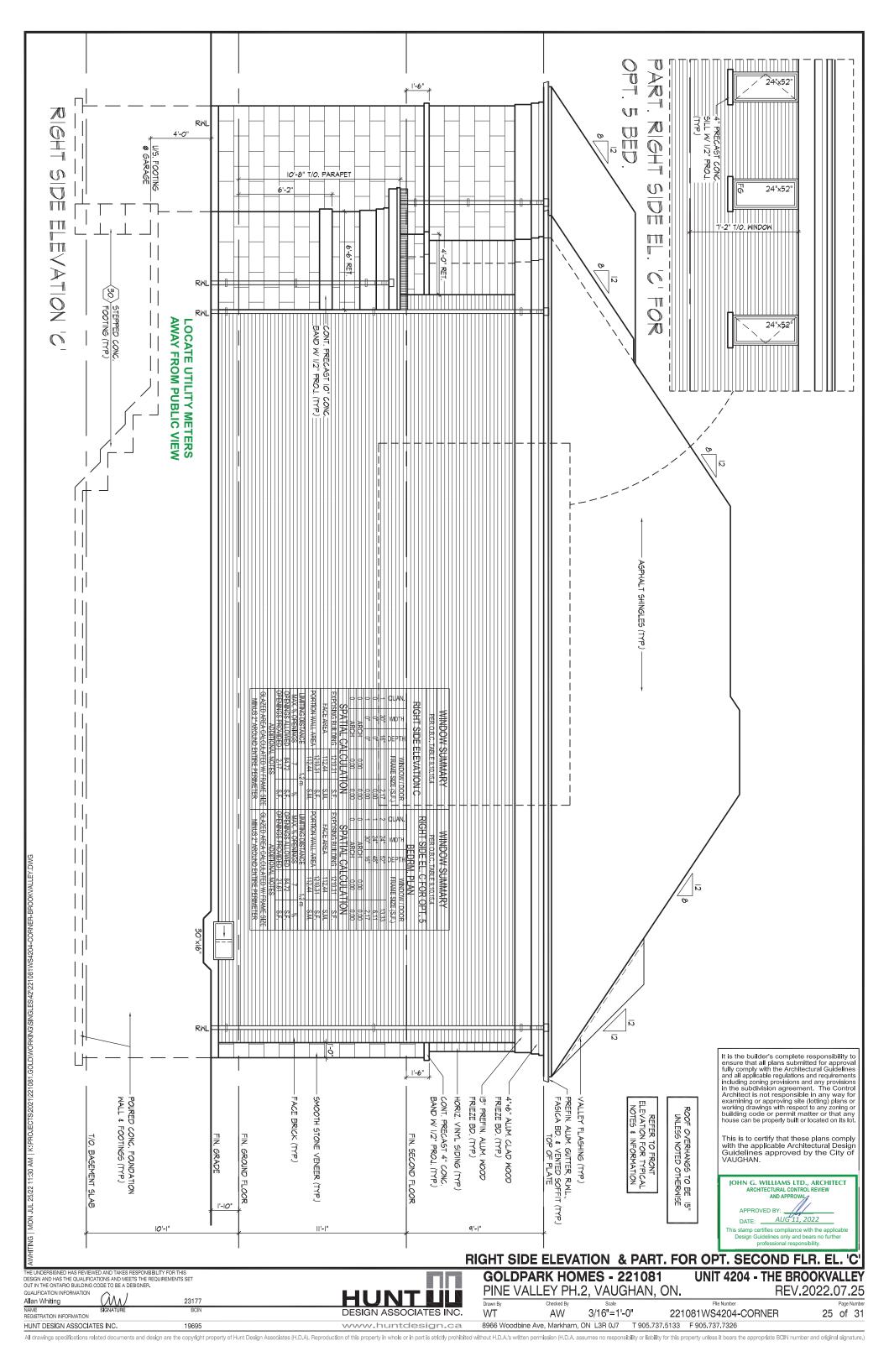


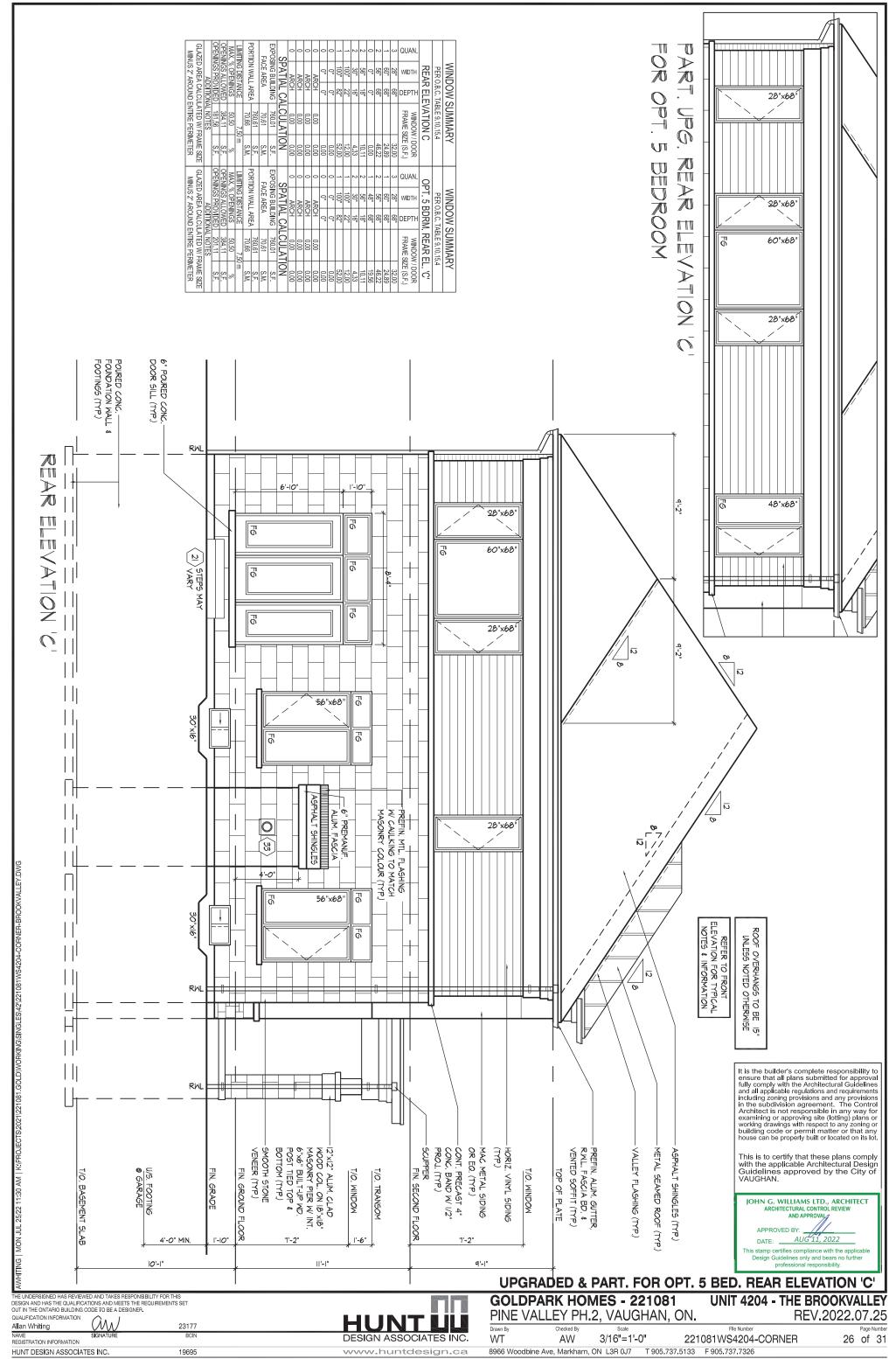


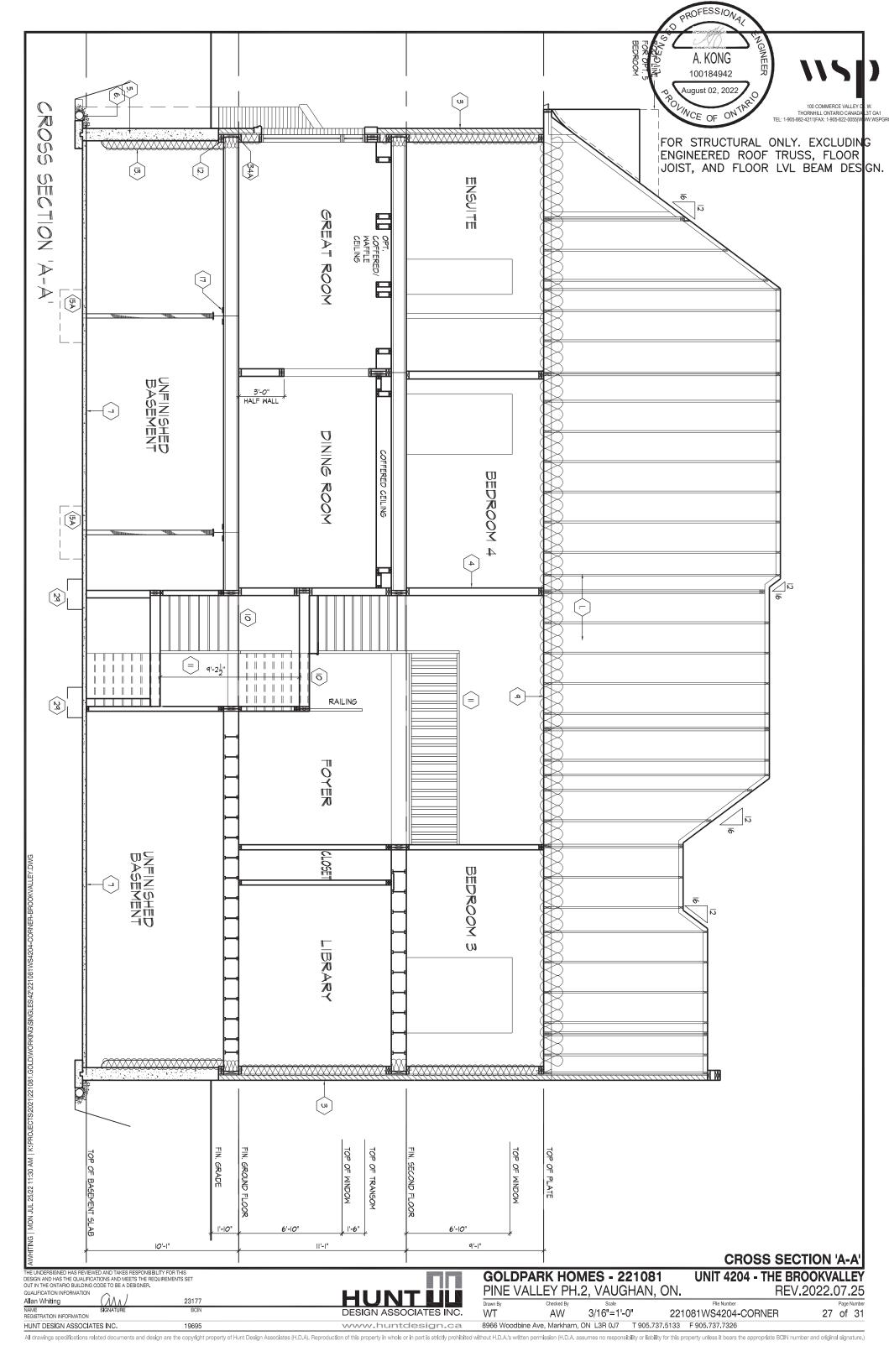








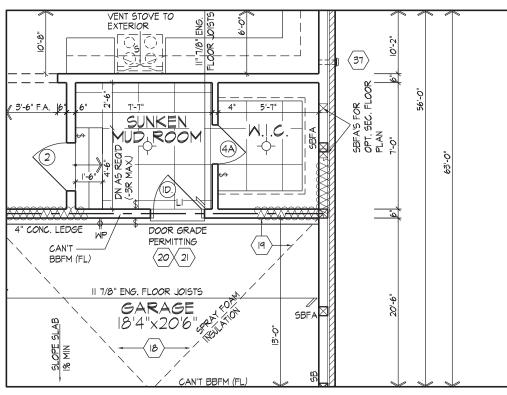








FOR STRUCTURAL ONLY. EXCLUDING ENGINEERED ROOF TRUSS, FLOOR JOIST, AND FLOOR LVL BEAM DESIGN.



PART. GROUND FLOOR PLAN EL. 'A' FOR SUNKEN MUDROOM (EL.'B' SIMILAR)

SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

PROVIDE SOLID WOOD BLOCKING @ 24" O.C. FOR FIRST JOIST SPAN WHEN PARALLEL W/ EXTERIOR WALL

REFER TO FLOOR JOIST

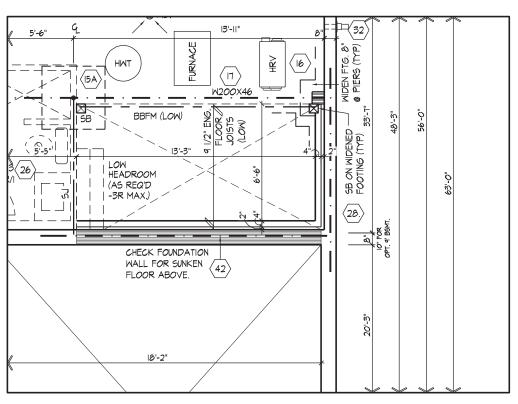
MANUFACTURER'S DRAWINGS FOR

LAYOUT, SPACING, BLOCKING &

STRAPPING REQUIREMENTS,

INSTALLATION DETAILS AND HANGER

SIZES, & SUBFLOOR THICKNESS



PART. BASEMENT PLAN EL. 'A' FOR SUNKEN MUDROOM (EL. 'B' SIMILAR)

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY:

DATE: AUG 11, 2022

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

PART. BSMT. & GRND. FLR. PLAN, EL. 'A' FOR SUNK. MUDROOM (EL. 'B' SIMILAR)

DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET
OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.
QUALIFICATION INFORMATION
Allan Whiting 23177

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DESIGN ASSOCIATES INC.

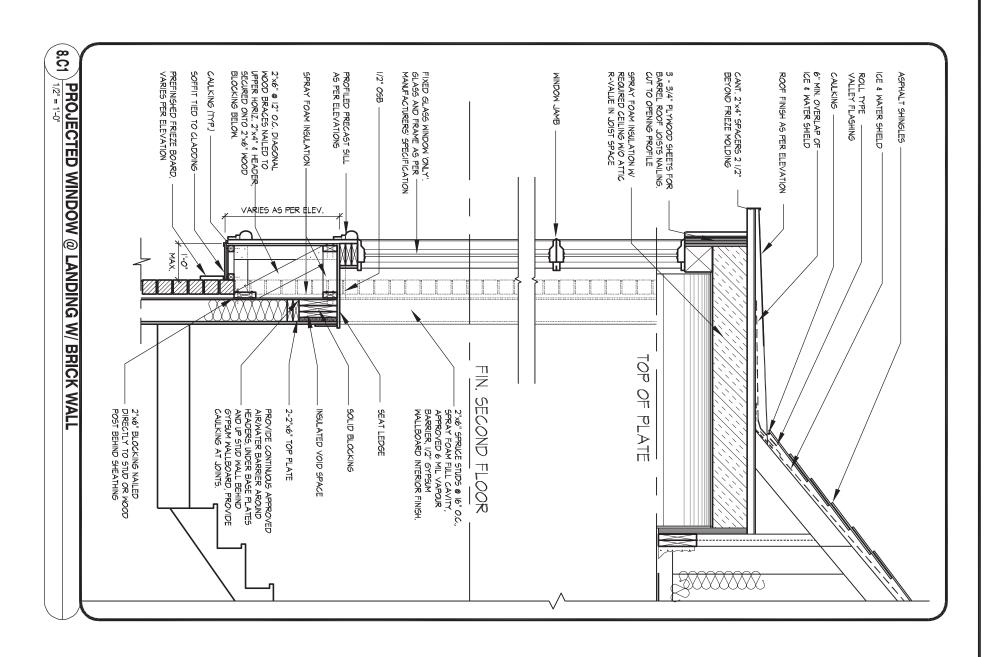
GOLDPARK HOMES - 221081 PINE VALLEY PH.2, VAUGHAN, ON. **UNIT 4204 - THE BROOKVALLEY**

REV.2022.07.25
-CORNER 28 of 31

WT AW 3/16"=1'-0" 221081WS4204-CORNER 8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

Drawn By

Allan Whiting





FOR STRUCTURAL ONLY. EXCLUDING ENGINEERED ROOF TRUSS, FLOOR JOIST, AND FLOOR LVL BEAM DESIGN.

DETAILS

K HOMES - 221081 UNIT 4204 - THE BROOKVALLEY

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BULLIDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION

23177 SIGNATURE BOIN



GOLDPARK HOMES - 221081PINE VALLEY PH.2, VAUGHAN, ON.

3/16"=1'-0"

ΑW

REV.2022.07.25

221081WS4204-CORNER 29 of 31

Drawn By

WT

EAVESTROUGH AND DOWN RWL. ICE AND WATER SHIELD

> PROVIDE ICE AND WATER SHIELD IN THE AREAS INDICATED. THE ICE AND WATER SHIELD SHALL BE A SELF ADHERING AND SELF SEALING MEMBRANE. SIDE LAPS MUST BE A MINIMUM 3 1/2" (90) AND END LAPS A MINIMUM 6" (152). AND TO EXTEND UP DORMER WALLS A MINIMUM 12" (305).

PROFILED ROOF TRUSSES

ROOF TRUSSES SHALL BE PROFILED AND/OR STEPPED AT RAISED COFFER/TRAY CEILINGS. ANGLED TRAY CEILINGS WILL BE SHEATHED W/ 3/8'' (9.5) PLYWOOD.

SIDING WALL CONSTRUCTION (2"x6")

SIDING MATERIAL AS PER ELEVATION ATTACHED TO FRAMING MEMBERS, FURRING MEMBERS OR BLOCKING BETWEEN THE FRAMING MEMBERS ON APPROVED SHEATHING PAPER ON 3/8" (9.5) EXT. GRADE SHEATHING ON STUDS CONFORMING TO O.B.C. (9.23, 10.1), & SECTION 1.1., INSULATION, APPROVED 6 MIL POLYETHYLENE AIR/VAPOUR BARRIER, ON 1/2" (12.7) GYPSUM WALLBOARD INT. FIN. (GYPSUM SHEATHING, RIGID INSULATION, AND FIBERBOARD SHALL NOT BE USED FOR THE ATTACHMENT OF SHIPLY OR 28 162 (14.3) (FREED TO 5E NOTE AS PEC). FOR THE ATTACHMENT OF SIDING (9.23.16.3.(1.)) (REFER TO 35 NOTE AS REQ.)

SIDING WALL CONSTRUCTION (2"x6") W/ CONTIN. INSULATION SIDING MATERIAL AS PER ELEVATION ATTACHED TO FURRING MEMBERS ON SIDING MATERIAL AS PER ELEVATION AT TACHED TO FURRING MEMBERS ON APPROVED AIRWATER BARRIER AS PER O.B.C. 9.27.3. ON EXTERIOR TYPE RIGID INSULATION (JOINTS UNTAPED) MECHANICALLY FASTENED AS PER MANUFACTURER'S SPECIFICATIONS ON 3/8" (9.5) EXT. GRADE SHEATHING ON STUDS CONFORMING TO O.B.C. (9.23.10.1). S SECTION 1.1., INSULATION, APPROVED 6 MIL POLYETHYLENE AIR/VAPOUR BARRIER, ON 1/2" (12.7) GYPSUM WALLBOARD INT. FIN. (GYPSUM SHEATHING, RIGID INSULATION, AND FIBERBOARD SHALL NOT BE USED FOR THE ATTACHMENT OF SIDING (9.23.16.3.(1.)) (REFER TO 35 NOTE AS REQ.)

SIDING WALL @ GARAGE CONSTRUCTION

SIDING MATERIAL AS PER ELEVATION ATTACHED TO FRAMING MEMBERS, FURRING MEMBERS OR BLOCKING BETWEEN THE FRAMING MEMBERS ON APPROVED SHEATHING PAPER ON 3/9" (9.5) EXTERIOR TYPE SHEATHING ON STUDS CONFORMING TO O.B.C. (9.23.10.1.) & SECTION 1.1.1/12" (12.7) GYPSUM WALLBOARD INTERIOR FINISH. (GYPSUM SHEATHING, RIGID INSULATION AND FIBERBOARD SHALL NOT BE USED FOR THE ATTACHMENT OF SIDING (9.23.16.3.14.1) (PEFER TO 3.8 NOTE AS PEO.) (9.23.16.3.(1.)) (REFER TO 35 NOTE AS REQ.)

BRICK VENEER WALL CONSTRUCTION (2"x6")

3 1/2" (90) BRICK VENEER 1" (25) AIR SPACE, 7/8"X" × 0.03" (22×180×0.76) GALV. METAL TIES @ 16" (400) O.C. HORIZ. 24" (600) O.C. VERT. BONDING AND FASTENING FOR TIES TO CONFORM WITH 9:20.9. ON APPROVED SHEATHING PAPER, 3/8" (9.5) EXTERIOR TYPE SHEATHING, STUDS CONFORMING TO O.B. C (9.23 10.1.1) & SECTION 1.1., INSULATION AND 6 mil POLYETHYLENE VAPOUR BARRIER WITH APPROVED CONTIN, AIR BARRIER. 1/2" (12.7) GYPSUM WALLBOARD INTERIOR FINISH. PROVIDE WEEP HOLES @ 32" (800) O.C. BOTTOM COURSE AND OVER OPENINGS. PROVIDE BASE FLASHING UP MIN. 6" (150) BEHIND BUILDING PAPER (9.20.13.6.) (REFER TO 35 NOTE AS REQUIRED)

BRICK VENEER WALL CONSTRUCTION (2"x6") W/ CONTIN. INSULATION 3 1/2" (90) BRICK VENEER 1" (25) AIR SPACE, 7/8"x7"x0.03" (22x180x0.76) GALV. METAL TIES @ 16" (400) O.C. HORIZ. 24" (600) O.C. VERT. BONDING AND FASTENING FOR TIES TO CONFORM WITH 9.20.9. ON APPROVED AIR/WATER BARRIER AS PER O.B.C. 9.27.3. ON EXTERIOR TYPE RIGID INSULATION (JOINTS UNTAPED) MECHANICALLY 9.27.3. ON EXTERIOR TYPE HIGID INSULATION (JOINTS UNTAPED) MECHANICALLY FASTENED AS PER MANUFACTURER'S SPECIFICATIONS, ON 36'8 (9.5) EXTERIOR TYPE SHEATHING, STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1., INSULATION AND 6 mil POLYETHYLENE VAPOUB BARRIER WITH APPROVED CONTIN. AIR BARRIER. 1/2" (12.7) GYPSUM WALLBOARD INTERIOR FINISH, PROVIDE WEPF HOLES @ 32" BOOLOGO. C. BOTTOM COURSE AND OVER OPENINGS. PROVIDE BASE FLASHING UP MIN. 6" (150) OVER RIGID INSULATION (9.20.13.6.) (REFER TO 35 NOTE AS REQUIRED)

BRICK VENEER WALL @ GARAGE CONSTRUCTION

3 1/2" (90) BRICK VENEER, MIN. 1" (25) AIR SPACE, 7/8"x7"x0.03" (22x180x0.76) GALV. METAL TIES @ 16" (400) O.C. HORIZ, 24" (600) O.C. VERT. BONDING AND FASTENING FOR TIES TO CONFORM WITH 9.20.9. ON APPROVED SHEATHING PAPER, 3/8" (9.5) EXTERIOR TYPE SHEATHING ON STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1., 1/2" (12.7) GYPSUM WALLBOARD INTERIOR FINISH, PROVIDE WEEP HOLES @ 32" (800) O.C. AT BOTTOM COURSE AND OVER OPENINGS, PROVIDE BASE FLASHING UP 6" (150) MIN. BEHIND BUILDING PAPER (9.20.13.6.) (REFER TO 35 NOTE AS REQ.)

INTERIOR STUD PARTITIONS (9.23.9.8., 9.23.10)

BEARING PARTITIONS SHALL BE A MINIMUM 2"x4" (38x89) @ 16" (406) O.C. FOR 2 STOREY AND 12" (305) O.C. FOR 3 STOREY, NON-BEARING PARTITIONS 2"x4" (38x89) @ 24" (610) O.C. PROVIDE 2"x4" (38x89) BOTTOM PLATE AND 2-2"x4" (2-38x89) TOP PLATE. 1/2" (12.7) INT. DRYWALL BOTH SIDES OF STUDS, PROVIDE 2"x6" (38x140) STUDS WHERE NOTED. PROVIDE 2"x4" (38x89) @ 24" (610) O.C. LADDER FRAMING WHERE WALLS INTERSECT PERPENDICULAR TO ONE ANOTHER. PROVIDE 2"x4" (38x89) WOOD BLOCKING ON FLAT @ 3'-11" (1194) O.C. MAX. BETWEEN FLOOR JOISTS WHEN NON-LOADBEARING WALLS ARE PARALLEL TO FLOOR JOISTS.

EXT. LOFT WALL CONSTRUCTION (2"x6") - NO CLADDING

 $3/8"\ (9.5)$ EXTERIOR TYPE SHEATHING, STUDS CONFORMING TO 0.B.C (9.23.10.1.) & SECTION 1.1., INSULATION AND 6 mil POLYETHYLENE VAPOUR BARRIER WITH APPROVED CONT. AIR BARRIER. 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (9.23.)

EXT. LOFT WALL CONSTRUCTION (2"x6") NO CLADDING W/ CONTINUOUS INSULATION

APPROVED AIR/WATER BARRIER AS PER O.B.C. 9.27.3. ON EXTERIOR TYPE RIGID INSULATION (JOINTS UNTAPED) MECHANICALLY FASTENED AS PER MANUFACTURER'S SPECIFICATIONS, ON 3/8" (9.5) EXTERIOR TYPE SHEATHING, STUDS CONFORMING TO O.B.C. (9.23.10.1.) & SECTION 1.1., INSULATION AND 6 mil POLYETHYLENE VAPOUR BARRIER WITH APPROVED CONT. AIR BARRIER. 1/2" (12.7) GYPSUM WALLBOARD INT, FINISH, (9.23.)

FOUNDATION WALL/FOOTINGS

POURED CONC. FOUNDATION WALL AS PER CHART BELOW ON CONTINUOUS FOURED CONC. FOUNDATION WALL AS PER CHART BELOW ON CONTINUOUS KEYED CONCRETE FOOTING, FOUNDATION WALLS SHALL EXTEND NOT LESS THAN 6" (150) ABOVE FINISHED GRADE. THE OUTSIDE OF THE FOUNDATION SHALL BE DAMPROOFED FROM THE TOP OF THE FOOTING TO FINISHED GRADE AND BRUSH COAT FROM THE TOP TO 2" BELOW GRADE. PROVIDE A DRAINAGE LAYER ON THE OUTSIDE OF THE FOUNDATION WALL. SEAL THE DRAINAGE LAYER AT THE TOP. THE TOP OF THE CONC. FOOTING SHALL BE DAMPROOFED. CONCRETE FOOTINGS SUPPORTING JOIST SPANS GREATER THAN 16-1" (4900) SHALL BE SIZED IN ACCORDANCE WITH 9.15.3.4 (1), (2) OF THE O.B.C. (REFER TO CHART BELOW FOR RESPECTIVE SIZE). BRACE FOUNDATION WALL PRIOR TO BACKFILLING. ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OF 125kPa S.L.S. OR COMPACTED ENGINEERED FILL WITH MIN. BEARING CAPACITY OF 125kPa S.L.S. IF SOIL BEARING DOES NOT MEET MINIMUM CAPACITY, ENGINEERED FOOTINGS ARE REQUIRED, ACTUAL SOIL BEARING CAPACITY TO BE VERBIED OF THE ORDINEERING DEPORT VERIFIED WITH SOIL ENGINEERING REPORT.

REFER TO CONSTRUCTION DRAWINGS AND DETAILS FOR FOUNDATION

WALL STRENGTH AND THICKNESS AND 9.15.4. FOUNDATION WALLS SHALL NOT EXCEED 9'-10" (3.0m) IN UNSUPPORTED HEIGHT UNLESS OTHERWISE NOTED. [9.15.4.2.(1.)]

	UNREINFORCED SOLID CONCRETE FOUNDATION WALLS (9.15.4.2.)									
王	SS	MAX. HEIGHT FROM FIN. SLAB TO GRADE								
STRENGTH	THICKNESS	UNSUPPORTED	SI	SUPPORTED AT TOP						
S.	主	AT TOP	≤2.5m	>2.5m & ≤2.75m	>2.75m & ≤3.0m					
a	* 8"	3'-11" (1.20m)	7'-0" (2.15m)	7'-0" (2.15m)	6'-10" (2.10m)					
₽		4'-7" (1.40m)	7'-6" (2.30m)	8'-6" (2.60m)	8'-2" (2.50m)					
15	12"	4'-11" (1.50m)	7'-6" (2.30m)	8'-6" (2.60m)	9'-3" (2.85m)					
	* 8"	3'-11" (1.20m)	7'-6" (2.30m)	7'-6" (2.30m)	7'-2" (2.20m)					
₹	10"	4'-7" (1.40m)	7'-6" (2.30m)	8'-6" (2.60m)	9'-3" (2.85m)					
8	12"	4'-11" (1.50m)	7'-6" (2.30m)	8'-6" (2.60m)	9'-3" (2.85m)					

* 9" MIN. THICK FOUNDATION WALL IS REQUIRED FOR MASONRY VENEER FINISHED EXTERIOR WALLS WITH CONTINUOUS INSULATION CONDITION, TO PROVIDE MIN. BEARING FOR SILL PLATES, BEAMS AND FLOOR JOIST AS PER 9.23.7.2., 9.23.8.1., & 9.23.9.1. OF THE O.B.C.

MINIMUM STRIP FOOTING SIZES (9.15.3.) UNLESS NOTED OTHERWISE ON PLANS								
NUMBER FLOORS SUPPORTED	SUPPORTING INT. LOAD BEARING MASONRY WALLS	SUPPORTING EXTERIOR	SUPPORTING PARTYWALL					
1	16" WIDE x 6" THICK	16' WIDE x 6" THICK	16" WIDE x 6" THICK					
2	24" WIDE x 8" THICK	20' WIDE x 6" THICK	24" WIDE x 8" THICK					
3	36" WIDE x 14" THICK	26' WIDE x 9" THICK	36" WIDE x 14" THICK					

REFER TO SB-12 ENERGY EFFICIENCY DESIGN MATRIX ON THE TITLE PAGE FOR ALL VALUES AS REQUIRED PER 3.1.1., 3.1.2., 3.1.3. OF THE OBC.

FOUNDATION REDUCTION IN THICKNESS FOR MASONRY WHERE THE TOP OF THE FOUNDATION WALL IS REDUCED IN THICKNESS TO WHERE THE TO OF THE POWNER HOW WALL IS ABDUCED IN TRICKNESS TO PERMIT THE INSTALLATION OF MASONRY EXTERIOR FACING, THE REDUCED SECTION SHALL BE NOT LESS THAN 3 1/2" (90) THICK. THE BRICK VENEER SHALL BE TIED TO THE FOUNDATION WALL WITH CORROSION RESISTANT METAL TIES @ 7 7/8" (200) VERTICAL AND 2'-11" (889) HORIZONTAL. FILL VOID WITH MORTAR BETWEEN WALL AND BRICK VENEER (9.15.4.7(2)(3) & 9.20.9.4(3))

FOUNDATION REDUCTION IN THICKNESS FOR JOISTS WHERE THE TOP OF THE FOUNDATION WALL IS REDUCED IN THICKNESS TO PERMIT THE INSTALLATION OF FLOOR JOISTS, THE REDUCED SECTION SHALL BE NOT MORE THAN 13 3/4" (350) HIGH & NOT LESS THAN 3 1/2" (90) THICK (9.15.4.7(1))

WEEPING TILE (9.14.3.) 4" (100) Ø WEEPING TILE W/ FILTER CLOTH WRAP & 6" (152) CRUSHED STONE COVER BASEMENT SLAB OR SLAB ON GRADE (9.16.4.) (9.13.)

3" (80) MIN. 25MPa (3600psi) CONC. SLAB ON 4" (100) COARSE GRANULAR FILL OR 20MPa (2900psi) CONC. WITH DAMPPROOFING BELOW SLAB. PROVIDE 1/2" (12.7) IMPERVIOUS BOARD FOR BOND BREAK AT EDGE. WHERE A BASEMENT SLAB IS WITHIN 24" (610) OF THE EXTERIOR GRADE PROVIDE RIGID INSUL. AROUND THE PERIMETER EXTENDING MIN. 24" (610) BELOW GRADE. FOR SLAFON GRADE CONDITIONS RIGID INSULATION SHALL BE APPLIED TO THE UNDERSIDE OF THE ENTIRE SLAB. ([SB-12] 3.1.1.7.(5) & (6))

EXPOSED FLOOR TO EXTERIOR (9.10.17.10, & CAN/ULC-S705.2) PROVIDE SPRAY FOAM INSULATION BETWEEN CANT. JOIST AND INSTALL OSB CONFIRMING TO 9.29.9. FIN. SOFFIT OR CLADDING AS PER ELEVATION TO U/S OF EXPOSED CANT. JOIST.

EXPOSED CEILING TO EXTERIOR w/ ATTIC (9.25.2.4) INSULATION, 6 mil POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM BOARD INTERIOR FINISH OR APPROVED EQ.

EXPOSED CEILING TO EXTERIOR W/O ATTIC

JOISTS/TRUSSES AS PER PLANS W/ 2"x2" (38x38) PURLINS @ 16" (406) O.C. PERPENDICULAR TO JOISTS (PURLINS NOT REQ. W/ SPRAY FOAM OR ROOF TRUSSES), W/ INSULATION BETWEEN JOIST, 6 mil POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM BOARD INT. FINISH OR APPROVED EQ. (CAN/ULC-S705.2, 9.19.1, 9.10.17.10)

ALL STAIRS/EXTERIOR STAIRS (9.8.1.2., 9.8.2., 9.8.4.) $\langle 10 \rangle$

	MAX, RISE	MIN, I	RISE MAX.RUN	MIN. RUN	ALL STAIRS				
PRIVATE	7 7/8" (200)	5" (1	25) 14" (355)	10" (255)	MAX. NOSING	1 (25)			
PUBLIC	7° (180)	5" (1	25) NO LIMIT	11" (280)	in vi, ricolita	. (==)			
	MIN. STAIR	WIDTH	TAPERED 1	FREADS					
PRIVATE	2'-10" (860)		MIN, RUN	5 7/8" (150)					
PRIVATE	2-10 (0	00)	MIN, AVG, RUN	10° (255)					
PUBLIC	UBLIC 2-11* (900)		MIN. RUN	5 7/8" (150)					
FUBLIC	2 11 (0	00/	MIN. AVG. RUN	11" (280)					
AVEDAGE DUN OF TADEDED TREAD MEASURED AT A DO									

TREAD MEASURED AT A POINT 300mm FROM THE CENTERLINE OF INSIDE HANDRAIL. (9.8.4.3.)

** HEIGHT OVER STAIRS (HEADROOM) IS MEASURED VERTICALLY ACROSS WIDTH OF STAIRS FROM A STRAIGHT LINE TO THE TREAD & LANDING NOSING TO LOWEST POINT ABOVE AND NOT LESS THAN 6-5" (1950) FOR SINGLE DWELLING UNIT & 6-8 3/4" (2050) FOR EVERYTHING ELSE. (9.8.2.2.)

REQUIRED LANDING IN GARAGE - O.B.C. 9.8.6.2.(3.)
FOR AN EXTERIOR STAIR SERVING A GARAGE W/ MORE THAN 3 RISERS GUARDS, HANDRAILS & STEPS AS PER CONSTRUCTION HEX NOTE 10 & 11.

GUARDS/RAILINGS (9.8.7., 9.8.8.)

GUARDS TO BE DESIGNED NOT TO FACILITATE CLIMBING AND PROVIDING MAX. OPENING CONFORMING TO O.B.C. 9.8.8.5. & 9.8.8.6. AND BE ABLE TO RESIST LOADS AS PER TABLE 9.8.8.2.

GUARD HEIGHTS - O.B.C. 9.8.8.

INTERIOR GUARDS: 2-11" (900) MIN. (LESS THAN 5-11" (1800) TO GRADE) (1800) TO GRADE)

3'-6" (1070) MIN. (MORE THAN 5'-11" (1800) TO GRADE) GUARDS FOR EXIT STAIRS: 3'-6" (1070) MIN. GUARDS FOR LANDINGS @ EXIT STAIRS: 3'-6" (1070) MIN. GUARDS FOR FLOORS & RAMPS IN GARAGES (SERVICE STAIRS)

FLOOR OR RAMP W/O EXTERIOR WALLS THAT IS 23 5/8" (600) OR MORE ABOVE ADJACENT SURFACE REQUIRES CONT. CURB MIN. 6" (150) HIGH, AND GUARD MIN. 3'-6" (1070) HIGH. REQUIRED GUARDS BETWEEN WALKING SURFACE & ADJACENT SURFACE WITH A DIFFERENCE IN

ELEVATION MORE THAN 23 5/8" (600) OR ADJACENT SURFACE WITHIN 3:-11" (1200) & WALKING SURFACE W/ A SLOPE MORE THAN 1 IN 12 SHALL BE PROTECTED WITH GUARDS PER CONSTRUCTION HEX NOTE 11. HANDRAIL HEIGHTS - O.B.C. 9.8.7. - REQUIRED AS PER 9.8.7.1.(3) MIN. HEIGHT AT STAIRS, RAMP AND LANDINGS: 2'-10" (865)

MAX. HEIGHT AT STAIRS, RAMP AND LANDING: 3'-6" (1070)

SILL PLATES

2"X4" (38x89) SILL PLATE WITH 1/2" (12.7)Ø ANCHOR BOLTS 8" (200) LONG, EMBEDDED MIN. 4" (100) INTO CONC. @ 4"-0" (1220) O.C., CAULKING OR GASKET BETWEEN PLATE AND TOP OF FOUNDATION WALL. USE NON-SHRINK GROUT TO LEVEL SILL PLATE WHEN REQUIRED (9.23.7.)

BASEMENT INSULATION ([SB-12] 3.1.1.7.)

PROVIDE CONTINUOUS BLANKET INSULATION W/ BUILT IN 6 mil POLYETHYLENE VAPOUR BARRIER. INSULATION TO EXTEND NO MORE THAN 8" (200) ABOVE FINISHED BASEMENT FLOOR. DAMPROOFED WITH BUILDING PAPER BETWEEN THE FOUNDATION WALL AND INSULATION UP TO GRADE LEVEL.

BEARING STUD PARTITION IN BASEMENT (9.15.3.6., 9.23.10.1.) 2"x4" (38x89) STUDS @ 16" (406) O.C., 2"x4" (38x89) SILL PLATE (2"x6" (38x140) AS REQUIRED) ON DAMPPROOFING MATERIAL OR 2 mil POLYETHYLENE FILM, 1/2" (12.7) Ø ANCHOR BOLTS 8" (200) LONG, EMBEDDED 4" (100) MIN. INTO CONC. @ 7"-10" (2390) O.C. 4" (100) HIGH CONC. CURB ON CONC. FOOTING. FOR SIZE REFER TO HÈX NÓTE 5. ADD HÓRIZ. BLOCKING AT MID-HEIGHT IF WALL IS UNFINISHED.

ADJUSTABLE STEEL BASEMENT COLUMN (9.15.3.4.) 9-10" (3000) MAX. SPAN BETWEEN COLUMNS. 3 1/2" (90)Ø SINGLE TUBE ADJUSTABLE STEEL COLUMN CONFORMING TO CAN/CGSB-7.2M, AND WITH ADJUSTABLE STEEL COLUMN CONFORMING TO CAN/GGSB-7.2M, AND WITH 6"x6"x3/8" (152x152x9.5) STEEL PLATE TOP & BOTTOM. FIELD WELD BASEMENT COLUMN CONNECTION, POURED CONCRETE FOOTING ON NATURAL UNDISTURBED SOIL OF 125kPa S.L.S. OR COMPACTED ENGINEERED FILL WITH MIN. BEARING CAPACITY OF 125kPA S.L.S. AS PER SOILS REPORT.

SUPPORTING 2 STOREY FLR. LOAD PROVIDE 34"x34"x16" (870x870x410) CONC. FOOTING SUPPORTING 3 STOREY FLR. LOAD PROVIDE 40"x40"x19" (1060x1060x480) CONC. FOOTING

NON-ADJUSTABLE STEEL BASEMENT COLUMN

3 1/2" (90)Ø x 0.188" (4.78) NON-ADJUSTABLE STEEL COLUMN WITH 6"x6"x3/8" (152x152x9.5) STEEL PLATE TOP & BOTTOM, BOTTOM PLATE C/W 2 1/2"Ø X 12" LONGX2" HOOK ANCHORS, FIELD WELD BASEMENT COLUMN CONNECTION, POURED CONCRETE FOOTING ON NATURAL UNDISTURBED SOIL OF 125KPA S.L.S. OR COMPACTED ENGINEERED FILL WITH MIN. BEARING CAPACITY OF 125KPA S.L.S. AS PER SOILS REPORT. SUPPORTING 2 STOREY FLR. LOAD PROVIDE 42"x42"x18" (1070x1070x460) CONC. FOOTING

NON-ADJUSTABLE STL, COLUMN AT FOUNDATION WALL

3 1/2" (90)Ø x 0.188" (4.78) NON-ADJUSTABLE STEEL COLUMN WITH 6"x6"x3/8" (152x152x9.5) STEEL TOP PLATE & 6"x4"x3/8" (152x100x9.5) BOTTOM PLATE. BASE PLATE 4-1/2"x10"x1/2" (120x250x12.7) WITH 2- 1/2"Ø x 12" LONG x 2" HOOK ANCHORS (2- 12.7Øx305x50). FIELD WELD COLUMN TO BASE PLATE & STEEL BM.

SUPPORTING 3 STOREY FLR. LOAD PROVIDE 48"x48"x24" (1220x1220x610) CONC. FOOTING

STEEL BEAM BEARING AT FOUNDATION WALL (9.23.8.1.) BEAM POCKET OR 8"x8" (200x200) POURED CONC. NIB WALLS, MIN. BEARING 3 1/2" (90). CONC. NIB WALLS TO HAVE EXTENDED FOOTINGS

WOOD STRAPPING AT STEEL BEAMS (9.23.4.3.(3.), 9.23.9.3.) 1"x3" (19x64) CONTIN. WOOD STRAPPING BOTH SIDES OF STEEL BEAM.

GARAGE SLAB (9.16., 9.35.)

4" (100) 32MPa (4640psi) CONC. SLAB WITH 5-8% AIR ENTRAINMENT ON OPT. 4" (100) COARSE GRANULAR FILL WITH COMPACTED SUB-BASE OR COMPACTED NATIVE FILL. SLOPE TO FRONT @ 1% MIN.

GARAGE TO HOUSE WALLS/CEILING (9.10.9.16.) 1/2" (12.7) GYPSUM BOARD ON WALL AND CEILING BETWEEN HOUSE AND GARAGE, PLUS REQUIRED INSULATION IN WALLS AND SPRAY FOAM FOR CEILINGS. TAPE AND SEAL ALL JOINTS GAS TIGHT. (9.10.17.10, CAN/ULC-S705.2)

GARAGE TO HOUSE WALLS/CEILING W/ CONTIN. INSULATION 1/2" (12.7) GYPSUM BOARD ON CEILING AND ON WALLS INSTALLED OVER EXTERIOR TYPE RIGID INSULATION (JOINTS UNTAPED) MECHANICALLY FASTENED AS PER MANUFACTURER'S SPECIFICATIONS ON 3/8" EXTERIOR GRADE SHEATHING ON STUDS BETWEEN HOUSE AND GARAGE, PLUS REQUIRED INSULATION IN WALLS & SPRAY FOAM FOR CEILINGS. TAPE AND SEAL ALL JOINTS GAS TIGHT. (9.10.9.16., 9.10.17.10, CAN/ULC-S705.2)

GARAGE DOOR TO HOUSE (9.10.9.16., 9.10.13.10., 9.10.13.15.) GAS-PROOF DOOR AND FRAME DOOR FOUIPPED WITH SELF CLOSING DEVICE AND WEATHER STRIPPING.

EXTERIOR AND GARAGE STEPS

PRECAST CONC. STEP OR WOOD STEP WHERE NOT EXPOSED TO WEATHER. MAX RISE 7 7/8" (200), MIN. TREAD 9 1/4" (235). FOR THE REQUIRED NUMBER OF STEPS REFER TO SITING AND GRADING DRAWINGS. EXTERIOR CONCRETE STAIRS WITH MORE THAN 2 RISERS AND 2 TREADS SHALL BE PROVIDED WITH FOUNDATION AS REQUIRED BY ARTICLE 9.8.9.2. OR SHALL BE CANTILEVERED AS PER SUBSECTION 9.8.10.

DRYER EXHAUST $\langle 22 \rangle$

CAPPED DRYER EXHAUST VENTED TO EXT. CONFORMING TO PART 6. OBC 9.32

ATTIC ACCESS (9.19.2.1.)

ATTIC ACCESS HATCH WITH MIN. AREA OF 0.32m2 AND NO DIM. LESS THAN 21 1/2" (545) WITH WEATHER STRIPPING. HATCHWAYS TO THE ATTIC OR ROOF SPACE WILL BE FITTED WITH DOORS OR COVERS AND WILL BE INSULATED WITH MIN. R20 (RSI 3.52) ([SB-12] 3.1.1.8.(1)) FIREPLACE CHIMNEYS (9.21.)

TOP OF FIREPLACE CHIMNEY SHALL BE 2-11" (889) ABOVE THE HIGHEST POINT AT WHICH IT COMES IN CONTACT WITH THE ROOF AND 2-0" (610) ABOVE THE ROOF SURFACE WITHIN A HORIZ. DISTANCE OF 10"-0" (3048) FROM THE CHIMNEY.

LINEN CLOSET

25 PROVIDE 4 SHELVES MIN. 14" (356) DEEP.

MECHANICAL VENTILATION (9.32.1.3.)

MECHANICAL EXHAUST FAN. VENTED TO EXTERIOR. TO PROVIDE AT LEAST ONE AIR CHANGE PER HOUR. SEE GENERAL NOTE 2.3.

PARTY WALL BEARING (9.23.8) \langle 27angle

12"x12"x5/8" (305x305x15.9) STEEL PLATE FOR STEEL BEAMS AND 12"x12"x1/2" (305x305x12.7) STEEL PLATE FOR WOOD BEAMS BEARING (MIN. 3-1/2" (89)) ON CONC. BLOCK PARTY WALL, ANCHORED WITH 2-3/4" (2-19) x 8" (200) LONG GALV. ANCHORS WITHIN SOLID BLOCK COURSE. LEVEL W/ NON-SHRINK GROUT. REFER TO NOTE SOLID BEARING (SECTION 3.0) FOR WD. STUD PARTY WALL.

WOOD FRAMING IN CONTACT TO CONCRETE

WOOD BEARING WALLS, THE UNDERSIDE OF BUILT-UP WOOD POSTS AND SILLS SHALL BE WRAPPED WITH 2 mil POLY. STRIP FOOTINGS SUPPORTING THE FOUNDATION WALL SHALL BE WIDENED 6" (152) BELOW THE BEARING WALL AND/OR WOOD POST. (9.17.4.3.)

BUILT-UP WOOD POST AND FOOTING (9.17.4.1., 9.15.3.7.) 3-2"x6" (3-38x140) BUILT-UP WOOD POST (UNLESS OTHERWISE NOTED) ON METAL BASE SHOE ANCHORED TO CONC. WITH 1/2" (12.7) Ø BOLT, 24"x24"x12" (610x610x305) CONC. FOOTING OR AS PROVIDED ON PLAN. REFER TO NOTE 28

STEP FOOTINGS (9.15.3.9.)

MIN. HORIZ. STEP = 23 5/8" (600). MAX. VERT. STEP = 23 5/8" (600).

CONC. PORCH SLAB (9.16.4.)

MIN. 4" (100) CONCRETE SLAB ON GRADE ON 4" (100) COARSE GRANULAR FILL, REINFORCED WITH 6x6xW2.9xW2.9 MESH PLACED NEAR MID-DEPTH OF SLAB. CONC. STRENGTH 32MPa (4640psi) WITH 5-8% AIR ENTRAINMENT ON COMPACTED SUB-GRADE.

FURNACE VENTING (9.32.)

DIRECT VENT FURNACE TERMINAL MIN. 3'-0" (915) FROM A GAS REGULATOR MIN. 12" (305) ABOVE FIN. GRADE, FROM ALL OPENINGS, EXHAUST AND INTAKE VENTS. HRV INTAKE TO BE A MIN. OF 6-0" (1830) FROM ALL EXHAUST TERMINALS. REFER TO GAS UTILIZATION CODE.

FIREPLACE VENTING (9.32.3.) DIRECT VENT GAS FIREPLACE VENT TO BE A MIN. 12" (305) FROM ANY OPENING AND ABOVE FIN. GRADE. REFER TO GAS UTILIZÁTION CODE.

FLOOR FRAMING (9.23.3.5., 9.23.9.4., 9.23.14.) T&G SUBFLOOR ON WOOD FLOOR JOISTS. FOR CERAMIC TILE APPLICATION SEE O.B.C. 9.30.6, ALL JOISTS WHERE REQUIRED TO BE BRIDGED WITH 2"x2" (38x38) CROSS BRACING OR SOLID BLOCKING @ 6-11" (2108) O.C. MAX. ALL JOISTS TO BE STRAPPED WITH 1"x2" (19x64) @ 6-11" (2108) O.C. UNLESS A PANEL TYPE CEILING FINISH IS APPLIED.

HEADER CONSTRUCTION

PROVIDE CONTINUOUS APPROVED AIR/VAPOUR BARRIER (HEADER WRAP) UNDER THE SILL PLATE, AROUND THE RIM BOARD AND UNDER THE BOTTOM PLATE. THE HEADER WRAP SHALL EXTEND 6" (152) BELOW THE TOP OF FOUNDATION WALL AND WILL BE SEALED TO THE CONCRETE FOUNDATION WALL EXTEND HEADER WRAP 6" (152) UP THE INTERIOR SIDE OF THE STUD WALL AND OVERLAP WITH THE VAPOUR BARRIER AND SEAL THE JOINT. ALL EDGES/JOINTS MUST BE MECHANICALLY CLAMPED.

EXPOSED BUILDING FACE w/ LIMITING DISTANCE <= 3'-11" (1.20m) WALL ASSEMBLY CONTAINS INSULATION CONFORMING TO CAN/ULC-S702 & HAVING A MASS OF NOT LESS THAN 1.22 KG/M2 OF WALL SURFACE AND 1/2" (12.7) TYPE X GYPSUM WALLBOARD INTERIOR FINISH, EXTERIOR CLADDING MUST BE NON-COMBUSTIBLE WHEN LIMITING DISTANCE IS 23 5/8" (0.60m) OR LESS. WALL ASSEMBLY REQUIRES TO HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN 45 MINUTES & CONFORMING TO O.B.C. (9.10.14. OR 9.10.15.). REFER TO DETAILS FOR TYPE & SPECS. **AN OPENING IN AN EXPOSING BUILDING FACE NOT MORE THAN 20 182 (12.00m.). 20 in² (130cm²) SHALL NOT BE CONSIDERED AN UNPROTECTED OPENING AS PER

COLD CELLAR PORCH SLAB (9.39.)

FOR MAX. 8'-2" (2500) PORCH DEPTH, 5" (127) 32 MPa (4640psi) CONC. SLAB W/5-8% AIR ENTRAINMENT. REINF. WITH 10M BARS @ 7 7/8" (200) O.C. EACH DIRECTION, W/1 1/4" (32) CLEAR COVER FROM BOTTOM OF SLAB TO FIRST LAYER OF BARS & SECOND LAYER OF BARS LAID DIRECTLY ON TOP OF LOWER LAYER IN OPPOSITE DIR. 24'Y24' (610x610) 10M DOWELS @ 23 5/8" (600) O.C. ANCHORED IN PERIMETER FND. WALLS. ŚLOPE SLAB 1.0% FROM DOOR.

RANGE HOODS AND RANGE-TOP FANS

COOKING APPLIANCE EXHAUST FANS VENTED TO EXTERIOR MUST CONFORM TO OBC 9.10.22, 9.32.3.9. & 9.32.3.10.

CONVENTIONAL ROOF FRAMING (9.23.13., 9.23.15.) 2"x6" (38x140) RAFTERS @ 16" (406) O.C., 2"x8" (38x184) RIDGE BOARD.
2"x4" (38x89) COLLAR TIES AT MID-SPAN. CEILING JOISTS TO BE 2"x4" (38x89)
@ 16" (406) O.C. FOR MAX. 9-3" (2819) SPAN & 2"x6" (38x140) @ 16" (406)
O.C. FOR MAX. SPAN 14-7" (4450). RAFTERS FOR BUILT UP ROOF OVER
PRE-ENGINEERED ROOF TRUSSES AND OR CONVENTIONAL FRAMING TO BE 2"x4" (38x89) @ 24" (610) O.C. UNLESS OTHERWISE SPECIFIED.





FOR STRUCTURAL ONLY. EXCLUDING ENGINEERED ROOF TRUSS, FLOOR JOIST, AND FLOOR LVL BEAM DESIGN.

CONSTRUCTION NOTES 1

UNIT 4204 - THE BROOKVALLEY

File Numbe

REV.2022.07.25 30 of 31

WT AW 3/16"=1'-0" 221081WS4204-CORNER 8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

GOLDPARK HOMES - 221081

PINE VALLEY PH.2, VAUGHAN, ON.

\rangle			(oleotrorn, oleotror)						
	WALL AS	SSEMBLY		WIND LOADS					
	EXTERIOR	STUDS	<= 0.5	kPA (q50)	> 0.5 kPa (q50)				
	EXTERIOR	21002	SPACING	MAX HEIGHT	SPACING	MAX HEIGHT			
	BRICK	2-2"x6" (2-38x140)	12' (305) O.C.	18'-4" (5588)	8" (200) O.C.	18'-4" (5588)			
	SIDING	SPR.#2	16" (406) O.C.	18'-4" (5588)	12" (305) O.C.	18'-4" (5588)			
	BRICK	2-2"x8" (2-38x184)	12 ' (305) O.C.	21'-0" (6400)	12" (305) O.C.	21'-0" (6400)			
	SIDING	SPR.#2	16' (406) O.C.	21'-0" (6400)	16" (406) O.C.	21'-0" (6400)			
** STUD SIZE & SPACING TO BE VERIFIED BY STRUCTURAL ENGINEE									

STUDS ARE TO BE CONTINUOUS, C/W 3/8" (9.5) THICK EXTERIOR PLYWOOD SHEATHING, PROVIDE SOLID WOOD BLOCKING BETWEEN WOOD STUDS 4'-0" (1220) O.C. VERTICALLY.

- FOR HORIZ. DISTANCES LESS THAN 9'-6" (2896) PROVIDE 2"x6" (38x140) STUDS @ 16" (406) O.C. WITH CONTIN. 2-2"x6" (2-38x140) TOP PLATE + 1-2"x6" (1-38x140) BOTTOM PLATE & MIN. OF 3-2"x6" (3-38x148) CONT. HEADER AT GROUND FLOOR CEILING LEVEL TOE-NAILED & GLUED AT TOP, BOTTOM PLATES & HEADERS.

1 HR. PARTY WALL (CONC. BLOCK) ([SB-3] WALL TYPE 'B6e' & 'B1b') \langle 40 angle1/2" (12.7) GYPSUM SHEATHING ON EACH SIDE ON 2"x2" (38x38) VERTICAL WD. STRAPPING @ 24" (610) O.C. ON 8" (200) CONC. BLOCK FILL STRAPPING CAVITY EACH SIDE WITH AT LEAST 90% OF ABSORPTIVE MATERIAL PROCESSED FROM ROCK, SLAG OR GLASS. TAPE, FILL & SAND ALL GYPSUM JOINTS, EXPOSED BLOCK MUST BE SEALED W/ 2 COATS OF PAINT OF FURRED WITH 2"X2" (38x38) WD. STRAPPING & 1/2" (12.7) GYPSUM SHEATHING.

1 HR. PARTY WALL (DOUBLE STUD) ([SB-3] WALL TYPE W13c) 5/8" (15.9) TYPE X: GYPSUM SHEATHING ON EXTERIOR SIDE OF 2 ROWS OF 2"x4" (38x89) STUDS @ 16" (406) O.C., MIN. 1" (25) APART ON SEPARATE 2"x4" (38x89) SILL PLATES. (2"x6" (38x140) AS REQUIRED) FILL ONE SIDE OF STUD CAVITY WITH AT LEAST 90% OF ABSORPTIVE MATERIAL PROCESSED FROM ROCK, SLAG OR GLASS, TAPE FILL AND SAND ALL GYPSUM JOINTS.

2 HR. FIREWALL ([SB-3] WALL TYPE 'B6e' & 'B1b') 1/2" (12.7) GYPSUM SHEATHING ON EACH SIDE ON 2"X2" (38x38) VERTICAL WOOD STRAPPING @ 24" (610) O.C ON 8" (200) CONC. BLOCK 75% SOLID. FILL STRAPPING CAVITY EACH SIDE WITH AT LEAST 90% OF ABSORPTIVE MATERIAL PROCESSED FROM ROCK, SLAG OR GLASS. TAPE, FILL & SAND ALL GYPSUM JOINTS. AT UNFINISHED AREAS, EXTERIOR FACE OF CONC. BLOCK TO BE SEALED WITH 2 COATS OF PAINT. GYPSUM SHEATHING TO BE ATTACHED TO CONC. BLOCK. (REFER TO DETAILS)

STUCCO WALL CONSTRUCTION (2"x6") STUCCO FINISH CONFORMING TO O.B.C. SECTION 9.28. AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1 1/2" (38) E.I.F.S. (MINIMUM) ON APPROVED DRAINAGE MAT ON 1/2' (12.7) DENSGLASS GOLD GYPSUM BOARD ON STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1., INSULATION, APPROVED 6 MIL. POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (REFER TO 35 NOTE AS REQUIRED)

STUCCO WALL CONSTRUCTION (2"x6") W/ CONTIN. INSUL. STUCCO FINISH CONFORMING TO O.B.C. SECTION 9.28. AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1 1/2" (38) E.I.F.S. (MINIMUM) ON APPROVED DRAINAGE MAT ON APPROVED AIR/WATER BARRIER AS PER O.B.(9.27.3. ON EXTERIOR TYPE RIGIO INSULATION (JOINTS UNTAPED) MECHANICALL FASTENED AS PER MANUFACTURER'S SPECIFICATIONS, ON 7/16" EXTERIOR TYPE SHEATHING ON STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1., INSULATION, APPROVED 6 MIL. POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (REFER TO 35 NOTE AS REQUIRED)

STUCCO WALL @ GARAGE CONST. STUCCO FINISH CONFORMING TO O.B.C. SECTION 9.28. AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1 1/2" (38) E.F.I.S (MINIMUM) ON APPROVED DRAINAGE MAT ON 1/2" (12.7) DENSGLASS GOLD GYPSUM BRD. ON STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1., 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (REFER TO 35 NOTE AS REQ.)

*** FOR DWELLINGS USING CONTIN. INSULATION CONSTRUCTION, PROVIDE APPROVED DRAINAGE MAT ON 7/16" (11) EXTERIOR TYPE SHEATHING OVER FURRING (AS REQ.) AND STUDS IN LIEU OF 1 1/2" (38) E.F.I.S (MINIMUM) ON APPROVED DRAINAGE MAT ON 1/2" (12.7) DENSGLASS GOLD GYPS IM BRD.

ON APPROVED DRAINAGÉ MAT ON 1/2" (12.7) DENSGLASS GOLD GYPSUM BRD

UNSUPPORTED FOUNDATION WALLS (9.15.4.2.) REINFORCING AT STAIRS AND SUNKEN FLOOR AREAS 2-20M BARS IN TOP PORTION OF WALL (UP TO 8'-0" OPENING) 3-20M BARS IN TOP PORTION OF WALL (8'-0" TO 10'-0" OPENING) 4-20M BARS IN TOP PORTION OF WALL (10'-0" TO 15'-0" OPENING) BARS STACKED VERTICALLY AT INTERIOR FACE OF WALL @ 6" O.C. REINFORCING AT BASEMENT WINDOWS

2-15M HORIZ. REINFORCING ON THE INSIDE AND OUTSIDE FACE OF THE FOUNDATION WALL BELOW THE WIN. SILL. EXTEND BARS 24" (610) BEYOND THE OPENING. 2-15M VERTICAL REINFORCING ON THE INSIDE AND OUTSIDE FACE OF THE FOUNDATION WALL ON EACH SIDE OF THE WINDOW OPENING - BARS TO HAVE MIN. 1" (25) CONC. COVER

- BARS TO EXTEND 2'-0" (610) BEYOND BOTH SIDES OF OPENING

STUD WALL REINFORCEMENT PROVIDE STUD WALL REINFORCEMENT IN MAIN BATHROOM CONFORMING TO O.B.C. (9.5.2.3.(1)) (REFER TO DETAILS)

 \langle 45 angle

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Allan Whiting

WINDOW WELLS WHERE A WINDOW OPENS INTO A WINDOW WELL, A CLEARANCE OF NOT LESS THAN 21 5/8" (550) SHALL BE PROVIDED IN FRONT OF THE WINDOW. EVERY WINDOW WELL SHALL BE DRAINED TO THE FOOTING LEVEL OR OTHER SUITABLE LOCATION WITH A 4" (100) WEEPING TILE C/W A FILTER CLOTH WRAP AND FILLED WITH CRUSHED STONE. (9.9.10.1.(5), 9.14.6.3.)

SLOPED CEILING CONSTRUCTION ([SB-12] 3.1.1.8., 9.23.4.2.) 2"x12" (38x286) ROOF JOISTS @ 16" (406) O.C. MAX. (UNLESS OTHERWISE NOTED) W; 2"x2" (38x38) PURLINS @ 16" (406) O.C. PERPENDICULAR TO ROOF JOIST (PURLINS NOT REQ. W/ SPRAY FOAM), W/ INSULATION BETWEEN JOIST, 6 mil POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH OR APPROVED EQ. INSULATION VALUE DIRECTLY ABOVE THE INNER CHECK OF EXTERIOR WALLS CALLED AND THE LESS THAN 200 (45 EXTERIOR WALLS CALLED AND THE WALLS

SURFACE OF EXTERIOR WALLS SHALL NOT BE LESS THAN R20 (3.52 RSI). FLAT ROOF/BALCONY CONSTRUCTION WATERPROOFING MEMBRANE (9.26.11, 9.26.15, 9.26.16) FULLY ADHERED TO 5/8 (15.9) T&G EXTERIOR GRADE PLYWOOD SHEATHING ON 2"x2" (38x38) PURLINS (15.9) 1&G EXTENIOR GHADE PLYWOOD SHEATHING ON 27% 38X839) PURLINS ANGLED TOWARDS SCUPPER @ 2% MINIMUM LAID PERPENDICULAR TO 2"x8" (38x184) FLOOR JOISTS @ 16" (406) O.C. (UNLESS OTHERWISE NOTED). BUILT UP CURB TO BE 4" (100) MIN. ABOVE FINISHED BALCONY FLOOR. CONTINUOUS "L" TRIM DRIP EDGE TO BE PROVIDED ON OUTSIDE FACE OF CURB. SCUPPER DRAIN TO BE LOCATED 24" (610) MIN. AWAY FROM HOUSE. PREFINISHED ALUMINUM OF PANEL FOR UNDERSIDE OF SOFFIT (9.23.2.3). REMOVE CURB WHERE REQ.

BALCONY CONDITION SEE FLAT ROOF/BALCONY CONSTRUCTION NOTE. INCLUDE 2"x4" (38x89) PT. DECKING W/ 1/4" (6.4) GAPS LAID FLAT PARALLEL TO JOISTS ON 2"x4" (38x89) PT. SLEEPERS @ 12" (305) O.C. LAID FLAT PERPENDICULAR TO JOISTS

BALCONY OVER HEATED SPACE CONDITION SEE FLAT ROOF/BALCONY CONSTRUCTION NOTE FOR ASSEMBLY. REFER TO PLANS FOR FLOOR JOIST SIZE & REFER TO HEX NOTE 9 FOR INSULATION AND

INTERIOR FINISH

BARREL VAULT CONSTRUCTION CANTILEVERED 2"x4" (38x89) SPACERS LAID FLAT ON 2"x10" (38x235) SPR. #2 ROOF JOIST NAILED TO BUILT-UP 3-3/4" (19) PLYWOOD HEADER PROFILED FOR BARREL, SPRAY FOAM INSULATION BETWEEN JOISTS W/ GYPSUM BOARD.

REFER TO SB-12 ENERGY EFFICIENCY DESIGN MATRIX ON THE TITLE PAGE FOR ALL VALUES AS REQUIRED PER 3.1.1., 3.1.2., 3.1.3. OF THE OBC. SECTION 1.1. WALL STUDS

- REFER TO THIS CHART FOR STUD SIZE & SPACING AS REQUIRED FOR EXTERIOR WALLS ONLY. REFER TO SITING & GRADING PLAN OF THIS UNIT FOR CONFIRMATION OF TOP OF FOUNDATION WALL AND ADDITIONAL INFORMATION. - IF STUD WALL HEIGHT EXCEEDS MAX. UNSUPPORTED HEIGHT, WALL NEEDS TO BE REVIEWED AND APPROVED BY ENGINEER.

SIZE & SPACING OF STUDS: (OBC REFERENCE - TABLE 9.23.10.1.)								
MIN.		SUPPORTED LO	ADS (EXTER I OR)					
STUD SIZE.	ROOF w/ OR w/o ATTIC	ROOF w/ OR w/o ATTIC & 1 FLOOR	ROOF w/ OR w/o ATTIC & 2 FLOOR	ROOF w/ OR w/o ATTIC & 3 FLOOR				
in (mm)		MAX. STUD SPAC						
()	MAX. UNSUPPORTED HGT., ft-in (m)							
2"x4"	24" (610)	16" (405)	12" (305)	N/A				
(38x89)	9'-10" (3.0)	9'-10" (3.0)	9'-10" (3.0)	N/A				
2"x6"	-	24" (610)	16" (406)	12" (305)				
(38x140)	-	9'-10" (3.0)	11'-10" (3.6)	5'-11" (1.8)				

SECTION 2.0. GENERAL NOTES

2.1. WINDOWS

1) EXCEPT WHERE A DOOR ON THE SAME FLOOR LEVEL AS THE BEDROOM PROVIDES DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL CONTAINING A BEDROOM IS TO HAVE AT LEAST ONE OUTSIDE WINDOW W/ MIN. 0.35m2 UNOBSTRUCTED OPEN PORTION W/ NO DIMENSION LESS THAN 1-3" (380), CAPABLE OF MAINTAINING THE OPENING WITHOUT THE NEED FOR ADDITIONAL SUPPORT, CONFORMING TO 9.9.10. 2) WINDOW GUARDS: A GUARD OR A WINDOW WITH A MAXIMUM RESTRICTED OPENING WIDTH OF 4" (100) IS REQUIRED WHERE THE TOP OF THE WINDOW SILL IS LOCATED LESS THAN 1'-7" (480) ABOVE FIN. FLOOR AND THE DISTANCE FROM THE FINISHED FLOOR TO THE ADJACENT GRADE IS GREATER THAN 5-11" (1800). (9.8.8.1. 3) WINDOWS IN EXIT STAIRWAYS THAT EXTEND TO LESS THAN 2'-11" (900) [3'-6" (1070) FOR ALL OTHER BUILDINGS] SHALL BE PROTECTED BY GUARDS IN ACCORDANCE WITH NOTE #2 (ABOVE). OR THE WINDOW SHALL BE NON-OPERABLE AND DESIGNED TO WITHSTAND THE SPECIFIED LOADS FOR BALCONY GUARDS AS PROVIDED IN 4.1.5.15 OR 9.8.8.2

4) REFER TO TITLE PAGE FOR MAX. U-VALUE REQUIREMENTS

2.2. CEILING HEIGHTS

THE CEILING HEIGHTS OF ROOMS AND SPACES SHALL CONFORM TO TABLE 9.5.3.1.

ROOM OR SPACE	MINIMUM HEIGHTS
LIVING ROOM, DINING ROOM AND KITCHEN	7'-7" OVER 75% OF REQUIRED FLOOR AREA WITH A CLEAR HEIGHT OF 6'-11" AT ANY POINT
BEDROOM	7'-7" OVER 50% OF REQUIRED FLOOR AREA OR 6'-11" OVER ALL OF THE REQUIRED FLOOR AREA.
BASEMENT	6'-11" OVER AT LEAST 75% OF THE BASEMENT AREA EXCEPT THAT UNDER BEAMS AND DUCTS THE CLEARANCE IS PERMITTED TO BE REDUCED TO 6'-5".
BATHROOM, LAUNDRY AREA ABOVE GRADE	6'-11" IN ANY AREA WHERE A PERSON WOULD NORMALLY BE STANDING
FINISHED ROOM NOT MENTIONED ABOVE	6-11"
MEZZAN I NES	6'-11" ABOVE & BELOW FLOOR ASSEMBLY (9.5.3.2.)
STORAGE GARAGE	6'-7" (9.5.3.3.)

2.3. MECHANICAL / PLUMBING

1) MECHANICAL VENTILATION IS REQUIRED TO PROVIDE 0.7 AIR CHANGE PER HOUR IF NOT AIR CONDITIONED 1 PER HOUR IF AIR CONDITIONED AVERAGED OVER 24 HOURS, WHEN A VENTILATION FAN (PRINCIPAL EXHAUST) IS REQUIRED, CONFORM TO OBC 9.32.3.4. WHEN A HRV IS REQUIRED, CONFORM TO 9.32.3.11. REFER TO MECHANICAL DRAWINGS.

2) REFER TO HOT WATER TANK MANUFACTURER SPECS, CONFORM TO OBC 9.31.6. 3) REFER TO TITLE PAGE FOR SPACE HEATING EQUIPMENT, HRV AND DOMESTIC HOT WATER HEATER MINIMUM EFFICIENCIES.

4) DRAIN WATER HEAT RECOVERY UNIT(S) WILL BE INSTALLED CONFORMING TO THE REQUIREMENTS OF SB12 - 3.1.1.12. OF THE O.B.C.

1) ALL LUMBER SHALL BE SPRUCE No.2 GRADE OR BETTER, UNLESS NOTED OTHERWISE 2) STUDS SHALL BE STUD GRADE SPRUCE, UNLESS NOTED OTHERWISE,

3) LUMBER EXPOSED TO THE EXTERIOR TO BE SPRUCE No. 2 GRADE PRESSURE TREATED OR CEDAR, UNLESS NOTED OTHERWISE.

4) ALL LAMINATED VENEER LUMBER (LVL) BEAMS, GIRDER TRUSSES, AND METAL HANGER CONNECTIONS SUPPORTING ROOF FRAMING TO BE DESIGNED & CERTIFIED BY FLOOR AND ROOF TRUSS MANUFACTURER. JOIST HANGERS: PROVIDE APPROVED METAL HANGERS FOR ALL JOISTS AND

BUILT-UP WOOD MEMBERS INTERSECTING WITH FLUSH BUILT-UP WOOD MEMBERS. 6) WOOD FRAMING NOT TREATED WITH A WOOD PRESERVATIVE, IN CONTACT WITH CONCRETE, SHALL BE SEPARATED FROM THE CONC. BY AT LEAST 2 mil POLYETHYL FILM, No.50 (45lbs) ROLL ROOFING OR OTHER DAMPPROOFING MATERIAL, EXCEPT WHERE THE WOOD MEMBER IS AT LEAST 6" (152) ABOVE THE GROUND

2.5. STEEL (9.23.4.3.)

1) STRUCTURAL STEEL SHALL CONFORM TO CAN/CSA-G40-21 GRADE 350W. HOLLOW STRUCT. SECTIONS SHALL CONFORM TO CAN/CSA-G40-21 GRADE 350W CLASS "H". 2) REINFORCING STEEL SHALL CONFORM TO CSA-G30-18M GRADE 400R.

2.6. FLAT ARCHES

1) FOR 8-0" (2440) CEILINGS, FLAT ARCHES SHALL BE 6'-10" (2080) A.F.F. 2) FOR 9-0" (2740) CEILINGS, FLAT ARCHES SHALL BE 7'-10" (2400) A.F.F. 3) FOR 10'-0" (3040) CEILINGS, FLAT ARCHES SHALL BE 8'-6" (2600) A.F.F.

2.7. ROOF OVERHANGS

1) ALL ROOF OVERHANGS SHALL BE 1'-0" (305), UNLESS NOTED OTHERWISE.

2.8. FLASHING (9.20.13., 9.26.4. & 9.27.3.)

1) FLASHING MATERIALS & INSTALLATION SHALL CONFORM TO O.B.C.

1) THE BUILDING SHALL BE LOCATED OR THE BUILDING SITE GRADED SO THE WATER WILL NOT ACCUMULATE AT OR NEAR THE BUILDING AND WILL NOT ADVERSELY AFFECT ADJACENT PROPERTIES. CONFORM TO 9.14.6.

2.10. ULC SPECIFIED ASSEMBLIES

ALL REQUIRED INDIMDUAL COMPONENTS THAT FORM PART OF ANY 'ULC USTED ASSEMBLY', SPECIFIED WITHIN THESE DRAWNINGS, CANNOT BE ALTERED OR SUBSTITUTED FOR ANY OTHER MATERIAL/PRODUCT OR SPECIFIED MANUFACTURER THAT IS IDENTIFIED IN THAT SPECIFIED ULC USTING: THERE SHALL BE NO DEVIATIONS UNDER ANY CIRCUMSTANCES IN ANY 'ULC LISTED ASSEMBLY' IDENTIFIED IN THESE DRAWINGS

SECTION 3.0. LEGEND

3.1. WOOD LINTELS AND BUILT-UP WOOD (DIVISION B PART 9. TABLES A8 TO A10 AND A12, A15 & A16) /ING PART OF SENTENCE 9.23.4.2.(3), 9.23.4.2.(4), 9.23.12.3.(1),(3), 9.23.13.8.(2

	2"x8" SPRUCE #2		E #2 2"x10" SPRUCE #2		2"x12" SPRUCE #2
L1	2/2"x8" (2/38x184)	L3	2/2"x10" (2/38x235)	L5	2/2"x12" (2/38x286)
B1	3/2"x8" (3/38x184)	ВЗ	3/2"x10" (3/38x235)	B5	3/2"x12" (3/38x286)
B2	4/2"x8" (4/38x184)	B4	4/2"x10" (4/38x235)	B6	4/2"x12" (4/38x286)
B7	B7 5/2"x8" (5/38x184)		5/2"x10" (5/38x235)	В9	5/2"x12" (5/38x286)
	ENGINEERED LUMBI	ER SC	CHEDULE - GRADE 2.0E (U	NLES	S NOTE OTHERWISE)
	1 3/4" x 9 1/2" LVL	1 3/4" x 11 7/8" LVL		1 3/4" x 14" LVL	
LVL2	1-1 3/4"x9 1/2"	LVL3	1-1 3/4"x11 7/8"	LVL10	1-1 3/4"x14"
LVL4	2-1 3/4"x9 1/2"	LVL6	2-1 3/4"x11 7/8"	LVL11	2-1 3/4"x14"
LVL5	3-1 3/4"x9 1/2"	LVL7	3-1 3/4"x11 7/8"	LVL12	3-1 3/4"x14"
LVL8	4-1 3/4"x9 1/2"	LVL9	4-1 3/4"x11 7/8"	LVL13	4-1 3/4"x14"

3.2. STEEL LINTELS SUPPORTING MASONRY VENEER (DIVISION B PART 9. TABLE 9.20.5.2.B.) FORMING PART OF SENTENCE 9.20.5.2.(2) & 9.20.5.2

STONE L7 3 1/2" x 3 1/2" x 1/4" (89 x 89 x 6.4) 8'-1" (2.47m) 7'-6" (2.30m) L8 4" x 3 1/2" x 1/4" (102 x 89 x 6.4) 8'-9" (2.66m) 8'-1" (2.48m) 4 7/8" x 3 1/2" x 5/16" (127 x 89 x 7.9) 10'-10" (3.31m) 10'-1" (3.03m) L9 11'-5" (3.48m) L10 4 7/8" x 3 1/2" x 3/8" (127 x 89 x 11) 10'-7" (3.24m) 5 7/8" x 3 1/2" x 3/8" (152 x 89 x 11) 12'-6" (3.82m) 11'-7" (3.54m) L11 13'-1" (3.99m)

3.3. DOOR SCHEDULE

CONFORMING TO SECTIONS 9.5.11, 9.6., 9.7.2.1, 9.7.5.2, & 9.10.13.10 EXTERIOR | 2'-8" x 6'-8" x 1-3/4" (815 x 2030 x 45) INSULATED MIN. R4 (RSI 0.7) 1A EXTERIOR 2'-10" x 6'-8" x 1-3/4" (865 x 2030 x 45) INSULATED MIN. R4 (RSI 0.7) 1B | EXTERIOR | 3'-0" x 6'-8" x 1-3/4" (915 x 2030 x 45) INSULATED MIN. R4 (RSI 0.7) 1C EXTERIOR 2'-6" x 6'-8" x 1-3/4" (760 x 2030 x 45) INSULATED MIN. R4 (RSI 0.7) 1D EXTERIOR 2'-8" x 6'-8" x 1-3/4" (815 x 2030 x 45) INS. MIN. R4 (RSI 0.7) (SEE HEX NOTE 20) EXTERIOR 1E 3'-0" x 8'-0" x 1-3/4" (915 x 2440 x 45) INSULATED MIN. R4 (RSI 0.7) 1F EXTER**I**OR 2'-8" x 8'-0" x 1-3/4" (815 x 2440 x 45) INSULATED MIN. R4 (RSI 0.7) 2'-8" x 6'-8" x 1-3/4" (815 x 2030 x 45) 20 MIN. F.R.R. DOOR/FRAME WITH APP. SELF CLOSING DEVICE 2A **EXTERIOR**

2 INTERIOR | 2'-8" x 6'-8" x 1-3/8" (815 x 2030 x 35) 3 INTERIOR | 2'-6" x 6'-8" x 1-3/8" (760 x 2030 x 35) 3A INTERIOR 2'-4" x 6'-8" x 1-3/8" (710 x 2030 x 35) 4 INTERIOR 2'-0" x 6'-8" x 1-3/8" (610 x 2030 x 35) 4A | INTERIOR | 2'-2" x 6'-8" x 1-3/8" (660 x 2030 x 35)

5 INTERIOR 1'-6" x 6'-8" x 1-3/8" (460 x 2030 x 35)

PROVIDE 8'-0" HIGH INTERIOR DOORS FOR ALL 10' CEILING CONDITIONS

3.4. ACRONYMS JST L**I**N

ABOVE FINISHED FLOOR JOIST BEAM BY FLOOR MANUFACTURER LINEN CLOSET BBFM LAMINATED VENEER LUMBER FIXED GLASS W/ BLACK BACKING ВG LVL BM | BEAM OTB/A OPEN TO BELOW/ABOVE BBRM BEAM BY ROOF MANUFACTURER POINT LOAD PL CONVENTIONAL ROOF FRAMING PLT PLATE C/W | COMPLETE WITH PΤ PRESSURE TREATED DJ/TJ DOUBLE JOIST/ TRIPLE JOIST PTD PAINTED PWD DO POWDER ROOM DO OVER DRP DROPPED RWL RAIN WATER LEADER **ENG ENGINEERED** SB SOLID BEARING WOOD POST EST | ESTIMATED SBFA SB FROM ABOVE FA | FLAT ARCH SJ SINGLE JOIST FD | FLOOR DRAIN SPR SPRUCE STL FG | FIXED GLASS STEEL T/O FL FLUSH TOP OF FLR FLOOR TYP **TYPICAL** UNDERSIDE GIRDER TRUSS U/S GT HΒ HOSE BIE WD WOOD HRV | HEAT RETURN VENTILATION UNIT WIC WALK IN CLOSET WP WEATHER PROOF HWT HOT WATER TANK

3.5. SYMBOLS ALL ELECTRICAL FACILITIES SHALL BE INSTALLED IN ACCORDANCE WITH SECTION 9.34. • CLASS 'B' VENT (2) EXHAUST VENT DUPLEX OUTLET (12" HIGH) - 0 DUPLEX OUTLET (HEIGHT AS NOTED A.F.F.) ♦ § HEAVY DUTY OUTLET SWITCH (2/3/4 WAY) \oplus POT LIGHT LIGHT FIXTURE (CEILING MOUNTED) \Diamond LIGHT FIXTURE (PULL CHAIN) Z4c LIGHT FIXTURE (WALL MOUNTED) CABLE T.V. JACK (LD) TELEPHONE JACK VAC CENTRAL VACUUM OUTLET CHANDELIER (CEILING MOUNTED)

■ SA **SMOKE ALARM** (9.10.19.)

PROVIDE ONE PER FLOOR, NEAR THE STAIRS CONNECTING THE FLOOR LEVEL. ALARMS ARE TO BE INSTALLED IN EACH SLEEPING ROOM AND IN A LOCATION BETWEEN SLEEPING ROOMS AND CONNECTING HALLWAYS AND WIRED TO BE INTERCONNECTED TO ACTIVATE ALL ALARMS IF ONE SOUNDS. ALARMS ARE TO BE CONNECTED TO AN ELECTRICAL CIRCUIT AND WITH A BATTERY BACKUP. ALARM SIGNAL SHALL MEET TEMPORAL SOUND PATTERNS MIN. ALARMS SHALL HAVE A VISUAL SIGNALLING COMPONENT AS PER THE "NATIONAL FIRE ALARM AND SIGNALING CODE 72"

CMD CARBON MONOXIDE ALARM (9.33.4.)

**CHECK LOCAL BY-LAWS FOR REQUIREMENTS ** A CARBON MONOXIDE ALARM(S) CONFORMING TO CAN/CGA-6.19 SHALL BE INSTALLED ON OR NEAR THE CEILING IN EACH DWELLING UNIT ADJACENT TO EACH SLEEPING AREA. CARBON MONOXIDE ALARM(S) SHALL BE PERMANENTLY WIRED WITH NO DISCONNECT SWITCH, WITH AN ALARM THAT IS AUDIBLE WITHIN SLEEPING ROOMS WHEN THE INTERVENING DOORS ARE CLOSED.

⊠ SB SOLID BEARING (BUILT-UP WOOD COLUMNS AND STUD POSTS) THE WIDTH OF A WOOD COLUMN SHALL NOT BE LESS THAN THAN THE WIDTH OF SUPPORTED MEMBER. BUILT-UP WOOD COLUMNS SHALL BE NAILED TOGETHER WITH NOT LESS THAN 3" (76) NAILS SPACED NOT MORE THAN 11 3/4" (300) O.C. THE NUMBER

OF STUDS IN A WALL DIRECTLY BELOW A GIRDER TRUSS OR ROOF BEAM SHALL CONFORM TO TABLES A-34 TO A-37. (9.17.4., 9.23.10.7.)

TWO STOREY VOLUME SPACE. SEE CONSTRUCTION NOTE 39.

VARYING PLATES, BUILT-OUT FLOORS, BEARING WALLS, ICE & WATER SHIELD

EXPOSED BUILDING FACE - O.B.C. 9.10.14. OR 9.10.15.

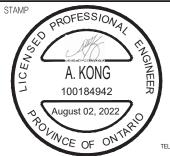
REFER TO HEX NOTE 35. & DETAILS FOR TYPE AND SPECIFICATIONS.

1 HR PARTY WALL REFER TO HEX NOTE 40.

2 HR. FIREWAL REFER TO HEX NOTE 40A.

SECTION 4.0. CLIMATIC DATA

DESIGN SNOW LOAD (9.4.2.2.): WIND PRESSURE (a50) (SB-1.2.): 1.01 kPa 0.44 **kPa**





FOR STRUCTURAL ONLY. EXCLUDING ENGINEERED ROOF TRUSS, FLOOR JOIST, AND FLOOR LVL BEAM DESIGN.

ONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB. REPORT ANY DISCREPANCIES TO HUNT ESIGN ASSOCIATES INC. (H.D.A.I.) BEFORE PROCEEDING WITH THE WORK. ALL THE DRAWINGS & PECIFICATIONS ARE THE INSTRUMENTS OF SERVICE AND ARE THE PROPERTY OF H.D.A.I. LL CONSTRUCTION TO ADHERE TO THESE PLANS AND SPECIFICATIONS AND TO CONFORM TO THE NTARIO BUILDING CODE AND ALL OTHER APPLICABLE CODES AND AUTHORITIES HAVING JURISDICT HESS REQUIREMENTS ARE TO BE TAKEN AS MINIMUM SPECIFICATIONS. ONT. REG. 332/12. CONSTRUCTION NOTE REVISION DATE: DECEMBER 15, 2021

File Numbe

CONSTRUCTION NOTES 2

REV.2022.07.25

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UNIT 4204 - THE BROOKVALLEY

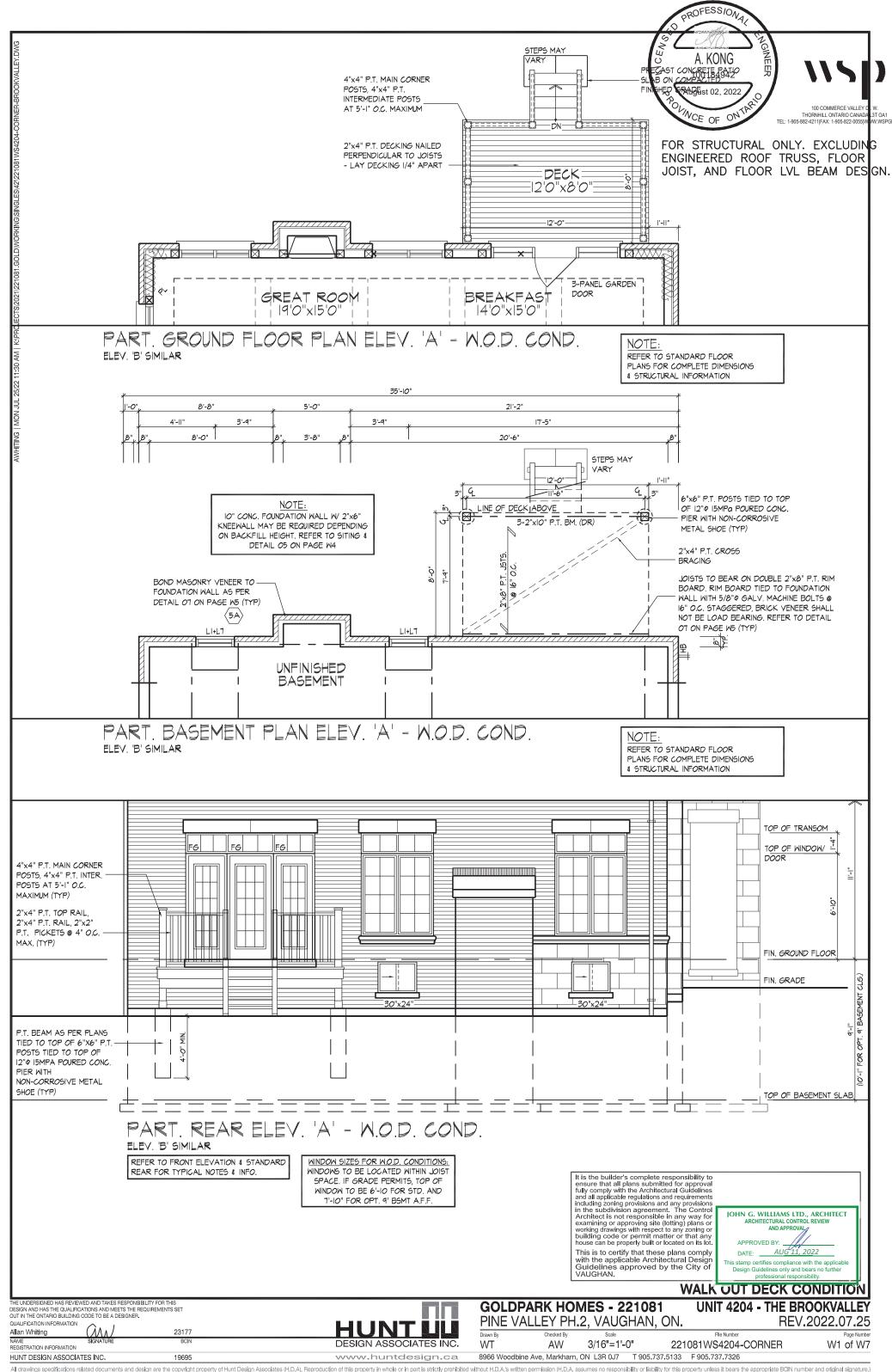
Drawn By Checked By WT AW 3/16"=1'-0"

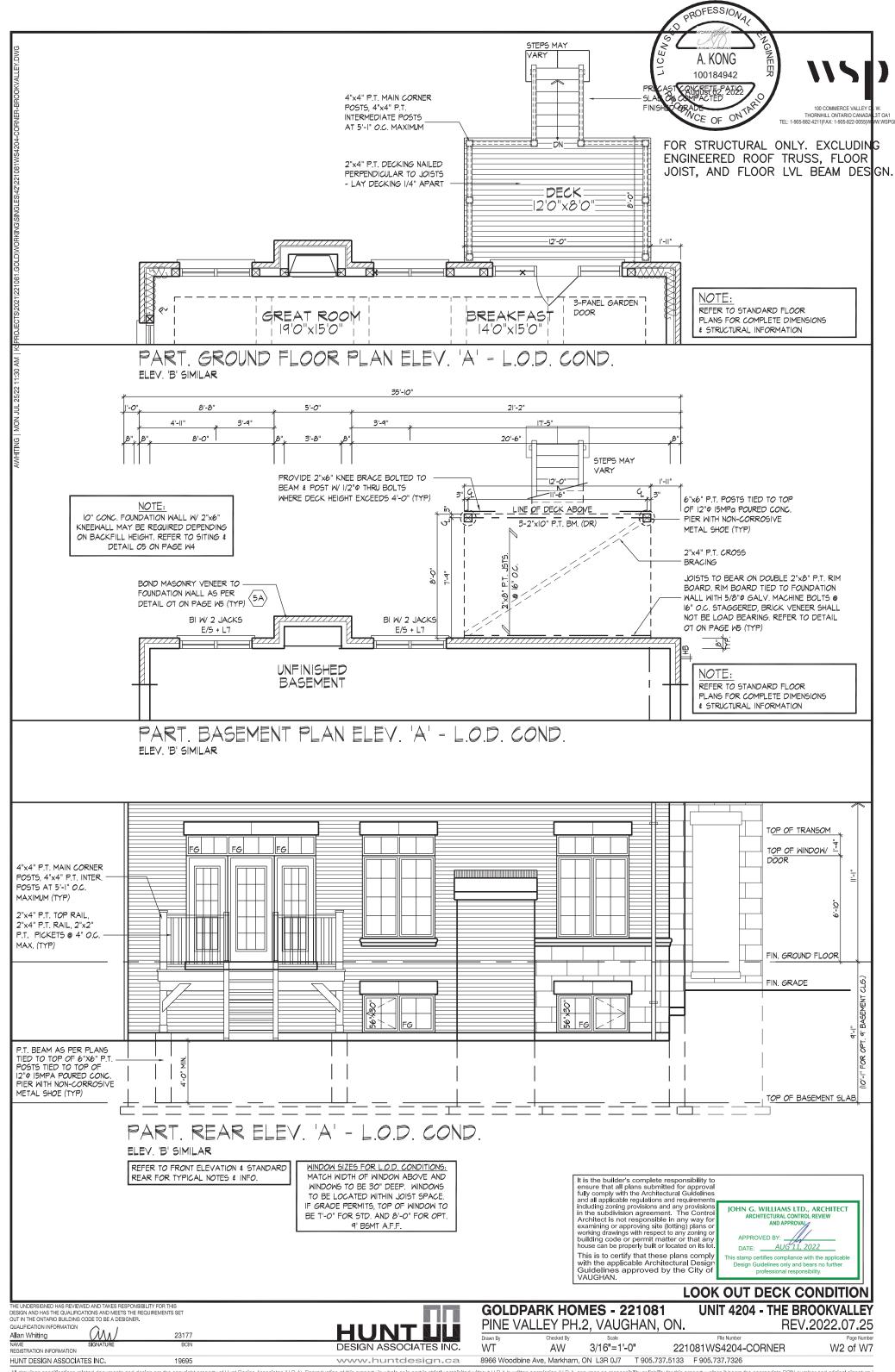
GOLDPARK HOMES - 221081

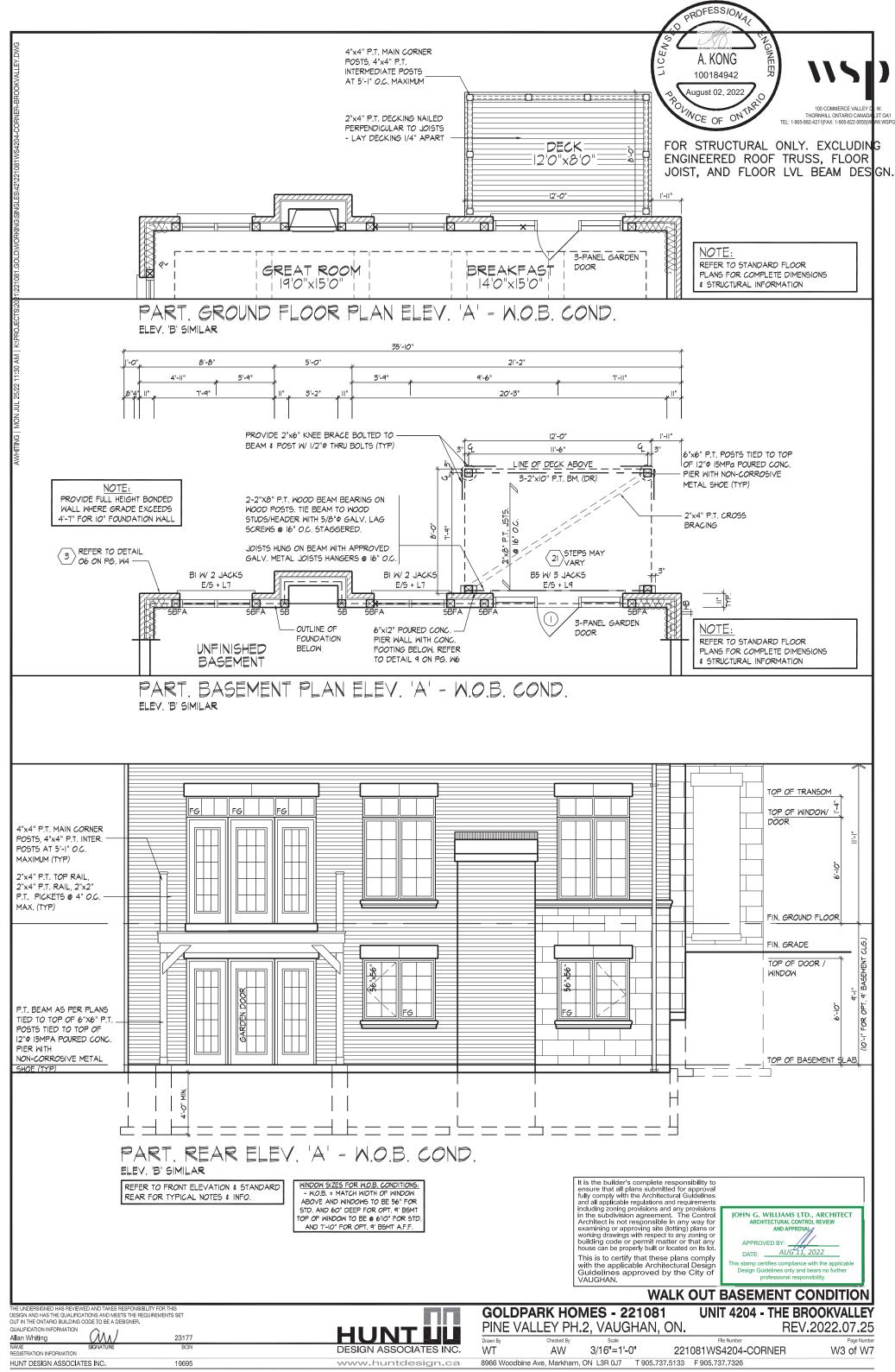
PINE VALLEY PH.2, VAUGHAN, ON.

QUALIFICATION INFORMATION 23177

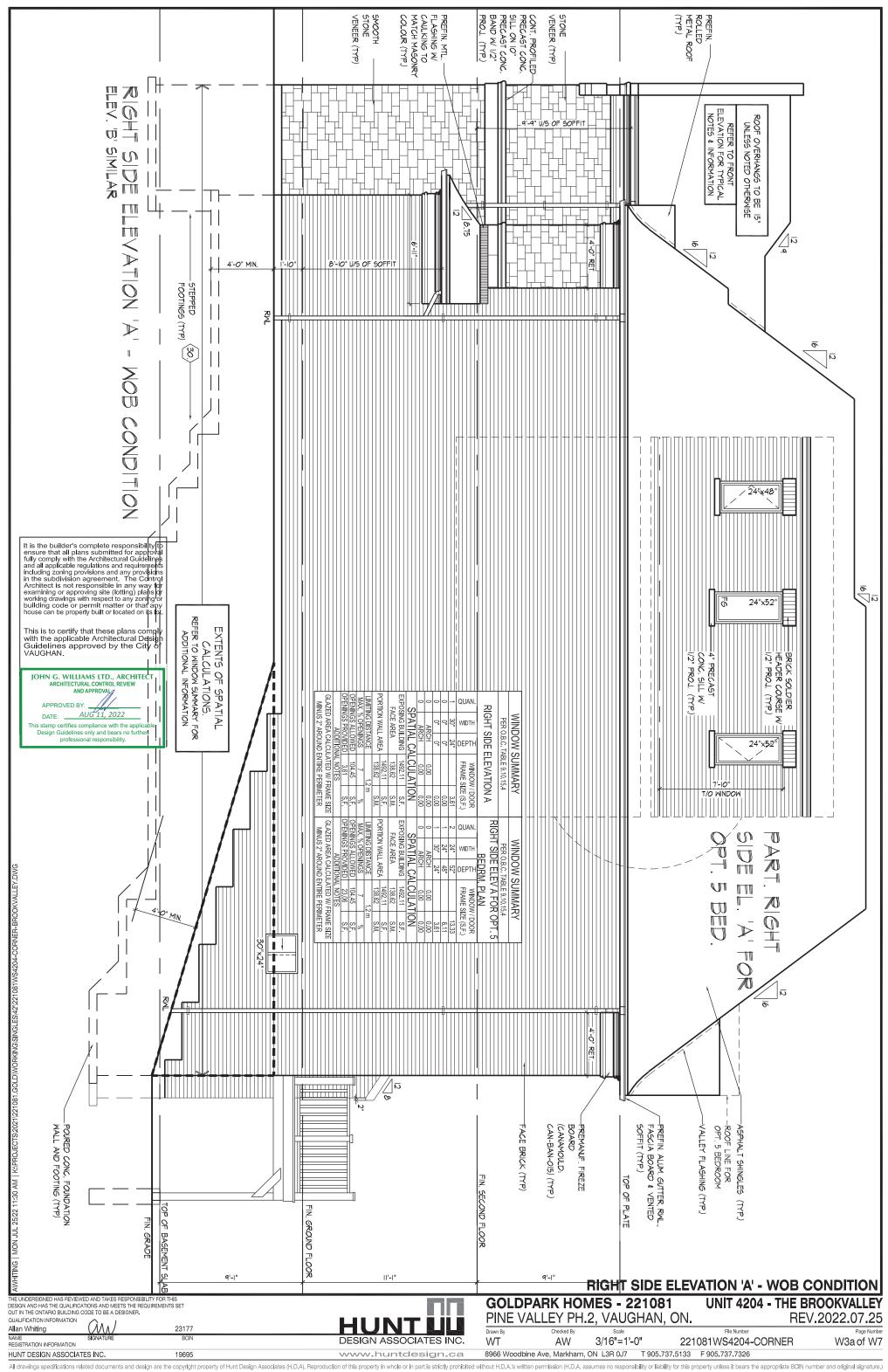
> DESIGN ASSOCIATES INC. 221081WS4204-CORNER 8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326 www.huntdesign.ca







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SPATIAL CALCULATIONS FOR THE DECK CONDITIONS

WALK OUT DECK CONDITION

	WINDOW SUMMARY				WINDOW SUMMARY				
	PER C	D.B.C. TA	ABLE 9.10.15	.4	PER O.B.C. TABLE 9.10.15.4				
REAR ELEV. A					REAR ELEV. A - 5 BDRM				RM
QUAN.	WIDTH	DEPTH	WINDOV FRAME S	//DOOR IZE (S.F.)	QUAN.	WIDTH	DEPTH		//DOOR IZE (S.F.)
2	24"	60"		15.56	3	24"	60"		23.33
1	60"	60"		21.78	1	60"	60"		21.78
1	24"	48"		6.11	0	0"	0"		0.00
0	0"	0"		0.00	1	48"	64"		18.33
2	56"	64"		43.33	2	56"	64"		43.33
2	56"	16"		8.67	2	56"	18"		10.11
1	100"	98"		62.67	1	100"	98"		62.67
2	30"	24"		7.22	2	30"	24"		7.22
0	0"	0"		0.00	0	0"	0"		0.00
0	0"	0"		0.00	0	0"	0"		0.00
0	AR		0.00	0.00	0	AR		0.00	0.00
0	AR		0.00	0.00	0	AR		0.00	0.00
0	AR		0.00	0.00	0	AR		0.00	0.00
0	AR		0.00	0.00	0	AR		0.00	0.00
_	PATI/				SPATIAL CALCULATION				
EXPOS	ING BU	LDING	829.33	S.F.				S.F.	
F/	ACE ARE	Α	77.05	S.M.	F/	ACE ARE	ΕA	77.05	S.M.
DODTIO	ON WALI	VDE V	829.33	S.F.	DODTI/	ON WALI	VDE V	829.33	S.F.
			77.05	S.M.				77.05	S.M.
	NG D i ST			0 m		NG D i ST			0 m
	% OPEN		50.50	%		% OPEN		50.50	%
		418.81	S.F.		NGS ALL		418.81	S.F.	
OPENINGS PROVIDED 165.33 S.F.				OPENIN	NGS PRO		186.78	S.F.	
ADDITIONAL NOTES				ADDITIONAL NOTES					
GLAZE	D AREA	CALCU	LATED W/ FI	RAME S I ZE	GLAZE	D AREA	CALCU	LATED W/ FF	RAME SIZE
MIN	MINUS 2" AROUND ENTIRE PERIMETER				MINUS 2" AROUND ENTIRE PERIMETER				

	WIND	OW S	SUMMAF	RY	WINDOW SUMMARY							
	PER C	B.C. TA	BLE 9.10.15	i.4	PER O.B.C. TABLE 9.10.15.4							
	R	EAR E	LEV. B		REAR ELEV. B - 5 BDRM							
QUAN.	МІРТН	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)		QUAN.	МОТН DEPTH		WINDOW / DOOR FRAME SIZE (S.F.				
2	24"	60"		15.56	3	24"	60"		23.33			
1	60"	60"		21.78	1	60"	60"		21.78			
1	24"	48"		6.11	0	0"	0"		0.00			
0	0"	0"		0.00	1	48"	60"		17.11			
2	56"	64"		43.33	2	56"	64"		43.33			
2	56"	18"		10.11	2	56"	18"		10.11			
1	100"	98"		62.67	1	100"	98"		62.67			
2	30"	24"		7.22	2	30"	24"		7.22			
0	0"	0"		0.00	0	0"	0"		0.00			
0	0"	0"		0.00	0	0"	0"		0.00			
0	ARCH		0.00	0.00	0	ARCH		0.00	0.00			
0	AR		0.00	0.00	0	ARCH		0.00	0.00			
0	AR		0.00	0.00	0			0.00	0.00			
0	AR		0.00	0.00	0	AR	:CH	0.00	0.00			
S	PATIA	AL CA	LCULAT	ION	SPATIAL CALCULATION							
EXPOS	ING BU	LDING	829.33	S.F.	EXPOSING BUILDING 829.33				S.F.			
F/	CE ARE	A	77.05	S.M.	FACE AREA		77.05	S.M.				
DODTIO	ON WALI	VDEV	829.33	S.F.	DODTI/	ON WAL	\DE\	829.33	S.F.			
			77.05	S.M.				77.05	S.M.			
	LIMITING DISTANCE 7.50 m				NG DIST		0 m					
	% OPEN		50.50	%		% OPEN		50.50	%			
	OPENINGS ALLOWED 418.81 S.F.				NGS ALI		418.81	S.F.				
OPENIN	IGS PRO		166.78	S.F.	OPENI	NGS PRO		185.56	S.F.			
			AL NOTES		ADDITIONAL NOTES							
GLAZE	GLAZED AREA CALCULATED W/ FRAME SIZE						GLAZED AREA CALCULATED W/ FRAME SIZE					
MIN	JS 2" AF	MINUS 2" AROUND ENTIRE PERIMETER						MINUS 2" AROUND ENTIRE PERIMETER				

LOOK OUT DECK CONDITION

	WINE	OOW S	Summaf	₹Y	WINDOW SUMMARY							
	PER C).B.C. T/	BLE 9.10.15	.4	PER O.B.C. TABLE 9.10.15.4							
	REAR ELEV. A						REAR ELEV. A - 5 BDRM					
QUAN.	МІОТН	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)		QUAN.	WIDTH DEPTH		WINDOW / DOOR FRAME SIZE (S.F.)				
2	24"	60"	1101012	15.56	3	24"	60"	1104012	23.33			
1	60"	60"		21.78	1	60"	60"		21.78			
1	24"	48"		6.11	0	0"	0"		0.00			
0	0"	0"		0.00	1	48"	64"		18.33			
2	56"	64"		43.33	2	56"	64"		43.33			
2	56"	16"		8.67	2	56"	16"		8.67			
1	100"	98"		62.67	1	100"	98"		62.67			
2	56"	30"		18.78	2	56"	30"		18.78			
0	0"	0"		0.00	0	0"	0"		0.00			
0	0"	0"		0.00	0	0"	0"		0.00			
0	AR		0.00	0.00	0		CH	0.00	0.00			
0	AR		0.00	0.00	0	AR		0.00	0.00			
0	AR		0.00	0.00	0	ARCH		0.00	0.00			
0	AR		0.00	0.00	0	ARCH		0.00	0.00			
	PATI		LCÜLAT		SPATIAL CALCULATION							
	SING BU		879.33	S.F.	_			879.33	S.F.			
	ACF ARE		81.69	S.M.	EXPOSING BUILDING							
F.F	ACE ARE	:A			FACE AREA			81.69	S.M.			
PORTIC	ON WALI	AREA	879.33	S.F.	PORTION WALL AREA			879.33	S.F.			
1.15.4171	UO DIOT	ANOF	81.69	S.M.	LIMITING DISTANCE		81.69	S.M.				
	LIMITING DISTANCE MAX. % OPENINGS			0 m					0 m			
			50.50	%		% OPEN		50.50	%			
	OPENINGS ALLOWED 444.06 S.F. OPENINGS PROVIDED 176.89 S.F.					NGS ALI		444.06	S.F.			
OPENIN			176.89	S.F.	OPENII	NGS PR		196.89	S.F.			
L	ADDITIONAL NOTES						ADDITIONAL NOTES					
			_ATED W/ FF		GLAZED AREA CALCULATED W/ FRAME SIZE							
MIN	US 2" AF	ROUND E	ENTIRE PER	IMETER	MINUS 2" AROUND ENTIRE PERIMETER							

	\A/INIF		SUMMAF	ov .	WINDOW SUMMARY						
	PER C	D.B.C. TA	BLE 9.10.15	i.4	PER O.B.C. TABLE 9.10.15.4						
	R	EAR E	ELEV. B		F	REAR ELEV. B - 5 BDRM					
QUAN.	WIDTH	DEPTH	WINDOV	//DOOR	QUAN.	MIDOW / DOO FRAME SIZE (S.I					
	8	DEF	FRAME S	IZE (S.F.)		×	DEPTH	FRAME SIZE (S.F.)			
2	24"	60"		15.56	3	24"	60"		23.33		
1	60"	60"		21.78	1	60"	60"		21.78		
1	24"	48"		6.11	0	0"	0"		0.00		
0	0"	0"		0.00	1	48"	60"		17.11		
2	56"	64"		43.33	2	56"	64"		43.33		
2	56"	18"		10.11	2	56"	18"		10.11		
1	100"	98"		62.67	1	100"	98"		62.67		
2	56"	30"		18.78	2	56"	30"		18.78		
0	0"	0"		0.00	0	0"	0"		0.00		
0	0"	0"		0.00	0	0"	0"		0.00		
0	AR	CH	0.00	0.00	0	AR	CH	0.00	0.00		
0	AR		0.00	0.00	0	ARCH		0.00	0.00		
0	AR		0.00	0.00	0	ARCH		0.00	0.00		
0	AR	CH	0.00	0.00	0	0 ARCH		0.00	0.00		
S	PATI	AL CA	LCULAT	ION	S	PATI	AL CA	LCULAT	ION		
EXPOS	ING BU	LDING	879.33	S.F.	EXPOS	ING BU	LDING	879.33	S.F.		
F/	ACE ARE	Α	81.69	S.M.	FACE AREA 8°			81.69	S.M.		
DODTI	ON WALI	VDEV	879.33	S.F.	PORTION WALL AREA			879.33	S.F.		
FUNI	JIN WALI	ANEA	81.69	S.M.	FURIN	JIN WAL	ANEA	81.69	S.M.		
LIMIT	LIMITING DISTANCE 7.50 m				LIMIT	LIMITING DISTANCE			0 m		
MAX.	% OPEN	INGS	50.50	%	MAX.	% OPEN	INGS	50.50	%		
OPENI	OPENINGS ALLOWED 444.06				OPENI	NGS ALI	.OWED	444.06	S.F.		
OPENI	OPENINGS PROVIDED 178.33 S.F.						OVIDED	197.11	S.F.		
	ΑI	DITION	AL NOTES			ΑI	DITION	AL NOTES			
GLAZE	D AREA	CALCU	LATED W/ FI	RAME SIZE	GLAZED AREA CALCULATED W/ FRAME SIZE						
MIN	US 2" AF	ROUND E	ENT I RE PER	IMETER	MINUS 2" AROUND ENTIRE PERIMETER						

WALK OUT BASEMENT CONDITION

	WINE	OW S	SUMMAR	RY	WINDOW SUMMARY					
	,		ABLE 9.10.15	• •	PER O.B.C. TABLE 9.10.15.4					
			LEV. A		REAR ELEV. A - 5 BDRM					
ż	프	픋	WINDOV	//DOOR						
QUAN.	WIDTH	DEPTH	FRAME S	IZE (S.F.)	QUAN. MDTH MEPTH DEPTH			FRAME S	AME SIZE (S.F.)	
2	24"	60"		15.56	3	24"	60"		23.33	
1	60"	60"		21.78	1	60"	60"		21.78	
1	24"	48"		6.11	0	0"	0"		0.00	
0	0"	0"		0.00	1	48"	64"		18.33	
2	56"	64"		43.33	2	56"	64"		43.33	
2	56"	16"		8.67	2	56"	16"		8.67	
1	100"	98"		62.67	1	100"	98"		62.67	
2	56"	56"		37.56	2	56"	56"		37.56	
1	100"	82"		52.00	1	100"	82"		52.00	
0	0"	0"		0.00	0	0"	0"		0.00	
0	AR	CH	0.00	0.00	0	AR	CH	0.00	0.00	
0	AR		0.00	0.00	0		CH	0.00	0.00	
0	AR	CH	0.00	0.00	0	ARCH		0.00	0.00	
0	AR	CH	0.00	0.00	0	ARCH 0.		0.00	0.00	
S	PATI	AL CA	LCULAT	ION	S	PATI	<u> 4L CA</u>	LCULAT	ION	
EXPOS	SING BU	LDING	1053.33	S.F.	EXPOS	SING BU	LDING	1053.33	S.F.	
FA	ACE ARE	A	97.86	S.M.	F/	ACE ARE	ΕA	97.86	S.M.	
DODTI	ON WALI	ADE A	1053.33	S.F.	DODII	ON WALI	ADEA	1053.33	S.F.	
PURI	JIN WALI	AREA	97.86	S.M.	PORTIC	JIN WALI	AKEA	97.86	S.M.	
LIMIT	NG DIST	ANCE		0 m	LIMITING DISTANCE			7.50 m		
MAX. % OPENINGS		45.00	%		% OPEN		45.00	%		
OPENINGS ALLOWED			474.00	S.F.		NGS ALL		474.00	S.F.	
OPENI	NGS PRO	OVIDED	247.67	S.F.	OPENINGS PROVIDED 267.67 S.F.					
	A	DITION	AL NOTES			ΑI	DITION.	AL NOTES		
GLAZE	D AREA	CALCU	LATED W/ FI	RAME SIZE	GLAZE	D AREA	CALCUI	ATED W/ FI	RAME SIZI	
MIN	US 2" AF	ROUND	ENT I RE PER	IMETER	MINUS 2" AROUND ENTIRE PERIMETER					

	WIND	OW S	SUMMAF	RY	WINDOW SUMMARY						
	PER C	D.B.C. TA	BLE 9.10.15	i.4	PER O.B.C. TABLE 9.10.15.4						
	R	_,	LEV. B		REAR ELEV. B - 5 BDRM						
QUAN.	Мртн	DEPTH	WINDOV FRAME S	/ / DOOR IZE (S.F.)	QUAN.	МПТН	DEPTH		/ / DOOR IZE (S.F.)		
2	24"	60"		15.56	3	24"	60"		23.33		
1	60"	60"		21.78	1	60"	60"		21.78		
1	24"	48"		6.11	0	0"	0"		0.00		
0	0"	0"		0.00	1	48"	60"		17.11		
2	56"	64"		43.33	2	56"	64"		43.33		
2	56"	18"		10.11	2	56"	18"		10.11		
1	100"	98"		62.67	1	100"	98"		62.67		
2	56"	56"		37.56	2	56"	56"		37.56		
1	100"	82"		52.00	1	100"	82"		52.00		
0	0"	0"		0.00	0	0"	0"		0.00		
0	AR		0.00	0.00	0	ARCH		0.00	0.00		
0	AR		0.00	0.00	0	ARCH		0.00	0.00		
0	AR		0.00	0.00	0	AR		0.00	0.00		
0	AR	CH	0.00	0.00	0	AR	CH	0.00	0.00		
S	PATI	<u> </u>	LCULAT		S	PATI	<u> </u>	LCULAT	ION		
EXPOS	ING BU	LDING	1053.33	S.F.	EXPOS	SING BU	LDING	1053.33	S.F.		
F/	ACE ARE	:A	97.86	S.M.	FACE AREA			97.86	S.M.		
DODTIO	ON WALI	VDEV	1053.33	S.F.	PORTION WALL AREA			1053.33	S.F.		
			97.86	S.M.				97.86	S.M.		
	ng dist		7.5 45.00	0 m		NG D I ST			0 m		
	MAX. % OPENINGS			%		% OPEN		45.00	%		
	OPENINGS ALLOWED 474.00 S.F.					NGS ALL		474.00	S.F.		
OPENIN	OPENINGS PROVIDED 249.11 S.F.						DVIDED	267.89	S.F.		
	ADDITIONAL NOTES						ADDITIONAL NOTES				
GLAZE	D AREA	CALCU	LATED W/FI	RAME SIZE	GLAZED AREA CALCULATED W/ FRAME SIZE						
MIN	US 2" AF	ROUND E	ENT I RE PER	IMETER	MINUS 2" AROUND ENTIRE PERIMETER						

SPATIAL CALCULATIONS - DECK CONDITIONS

DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION

Allan Whiting 23177

NAME SIGNATURE BCIN
REGISTRATION INFORMATION

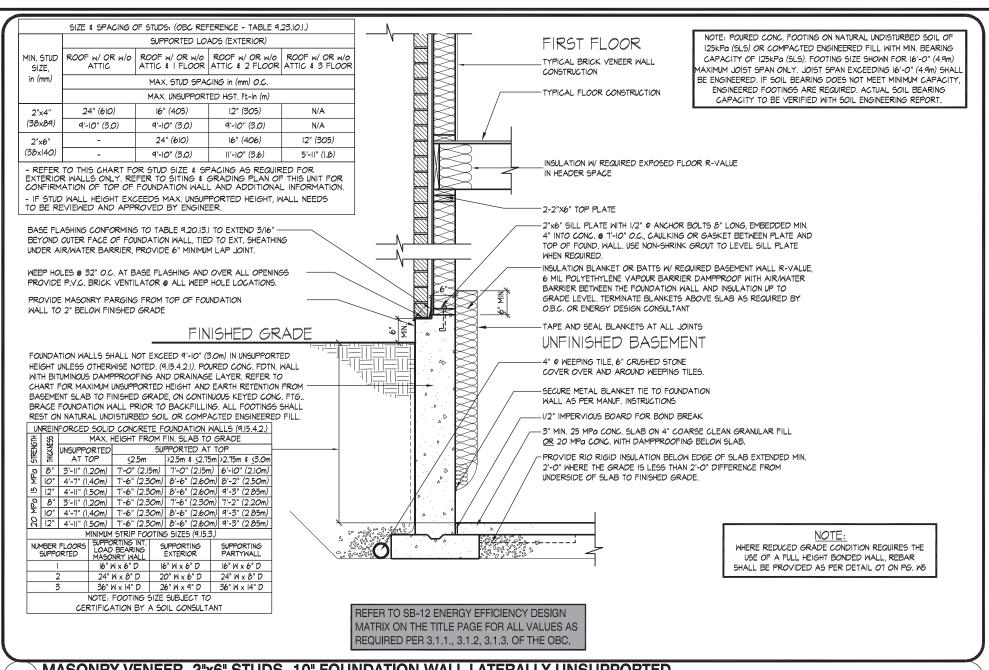
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GOLDPARK HOMES - 221081 PINE VALLEY PH.2, VAUGHAN, ON. UNIT 4204 - THE BROOKVALLEY REV.2022.07.25

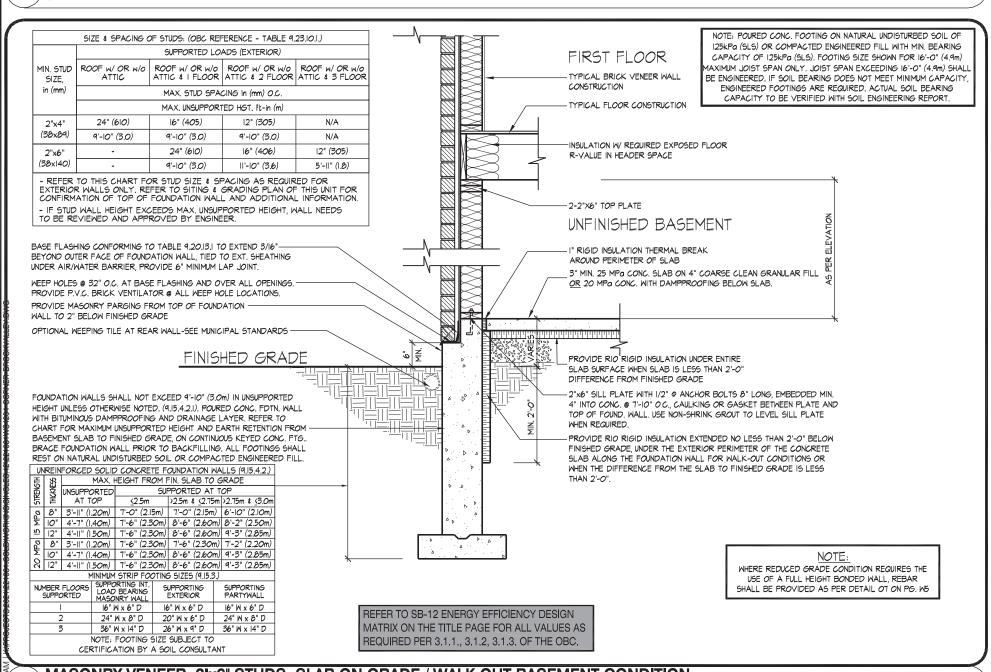
W3b of W7

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 Scale
 File Number

 WT
 AW
 3/16"=1'-0"
 221081WS4204-CORNER







MASONRY VENEER, 2'x6" STUDS, SLAB ON GRADE / WALK OUT BASEMENT CONDITION

PROFESSIONAL ENGINEER A. KONG 100184942 POLINCE OF ONTAR QUALIFICATION INFORMATION Allan Whiting 23177

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GOLDPARK HOMES - 221081

UNIT 4204 - THE BROOKVALLEY

DECK DETAILS 1

W4 of W7

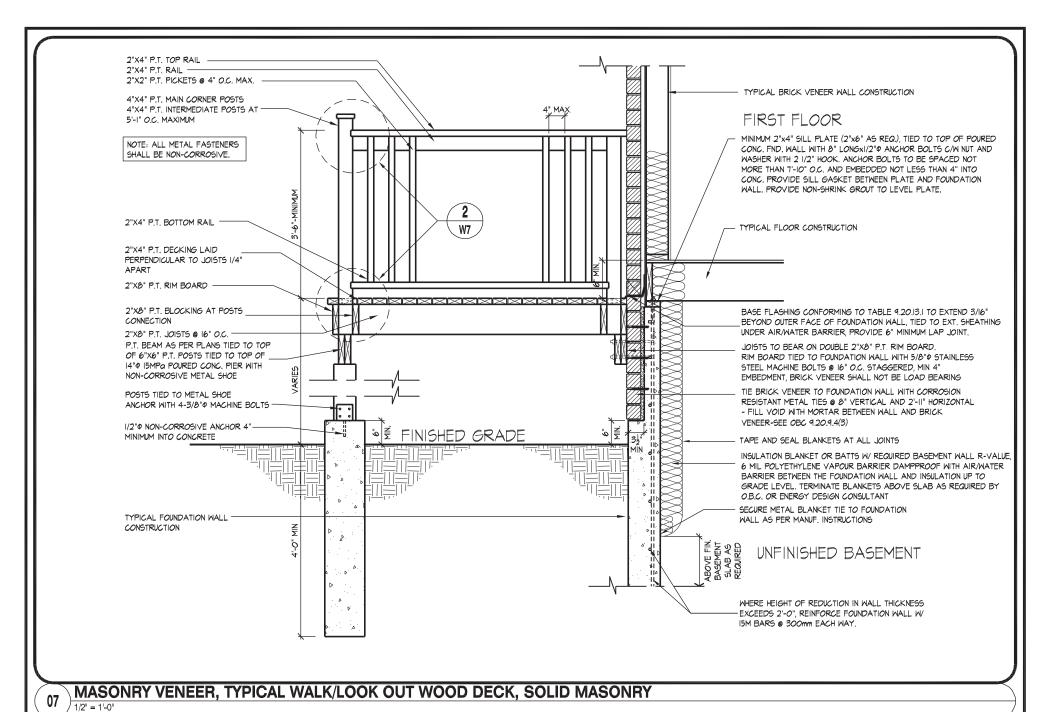
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Drawn By

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JOISTS TO BEAR ON DOUBLE 2"X8" P.T. RIM BOARD RIM BOARD TIED TO FOUNDATION WALL WITH 5/8 $^{\circ}\phi$ STAINLESS NOTE: ALL METAL FASTENERS STEEL MACHINE BOLTS @ 16" O.C. STAGGERED, MIN 4 SHALL BE NON-CORROSIVE. EMBEDMENT, BRICK VENEER SHALL NOT BE LOAD BEARING VARIES - REFER TO FLOOR PLAN POST SPACING AS PER PLANS 2"X8" P.T. RIM JOIST TIED TO 4"X4" P.T POSTS WITH 4-#9X3" SCREWS PER SIDE (DO TYPICAL) (O.B.C. SB-7 DETAIL EB-2) 린 R AS 2"X4" P.T. CROSS BRACING WITH 2-3" SPIRAL NAILS AT EACH JOIST 8 2"X8" P.T. BLOCKING BETWEEN JOISTS SPAC REFER TO FLOOR PLANS DOUBLE 2"X8"\P.T. RIM BOARD BELOW Post PT. BEAM AS PER PLANS 2"X8" P.T. BLOCKING \ 4-#9X3" SCREWS EACH SIDE (O.B.C. SB-7 DETAIL \$8-2) VARIES 4"X4" P.T. INTERMEDIATE POST 2"X8" P.T. RIM JOIST TIED TO 3"x8" P.T. FLOOR JOISTS @ 16" O.C WITH 344" \ SPIRAL NAILS (DO TYPICAL) 2"X4" P.T. DECKING NAILED PERPENDIQULAR TO JOISTS WITH 2-3" SPIRAL NAILS AT BACHY JOISTS-LAY DECKING 1/4" APART TYPICAL BRICK VENEER WALL PLAN CONSTRUCTION GENERAL NOTES SALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE O.B.C AND SB-1 OF THE SUPPLEMENTARY STANDARD 2. LUMBER GRADES SHALL NOT BE LESS THAN NO. 2 SPF. LUMBER SHALL BE FREE OF LOOSE KNOTS AND ALL CUT ENDS OF PRESERVATIVE TREATED LUMBER SHALL BE TREATED TO PREVENT DECAY SPECIES FOR POSTS, PICKETS AND RAILS SHALL BE DOUGLAS FIR-LARCH HEM-FIR, SPRUCE-PINE-FIR

3. ALL FASTENERS, SCREWS AND NAILS SHALL BE RESISTANT TO CORROSION - NAILS TO BE COMMON SPIRAL

TYP. DECK FRAMING ON WOOD LEDGER, BRICK VENEER

23177



100 COMMERCE VALLEY Dr. W.
THORNHILL ONTARIO CANADA LST OA1
TEL: 1-905-882-4211|FAX: 1-905-822-0055|WWW.WSPGROUP.CA

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DECK DETAILS 2

W5 of W7

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Allan Whiting

1/2" = 1'-0"

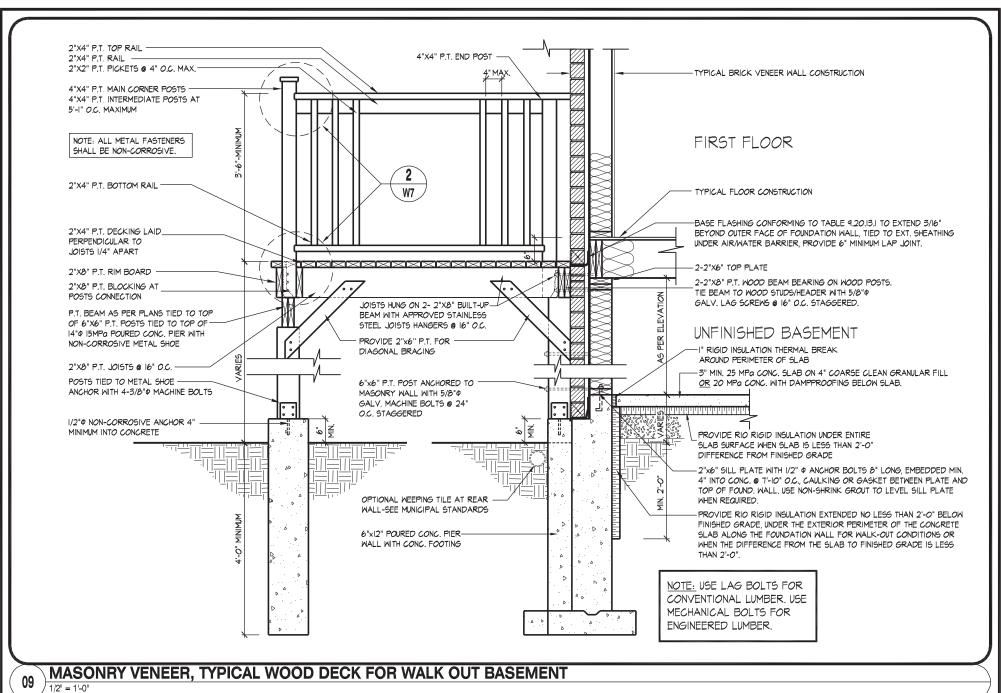
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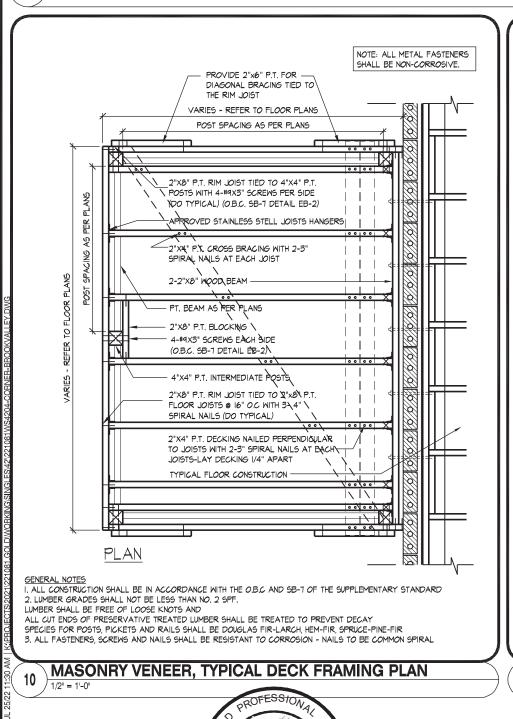
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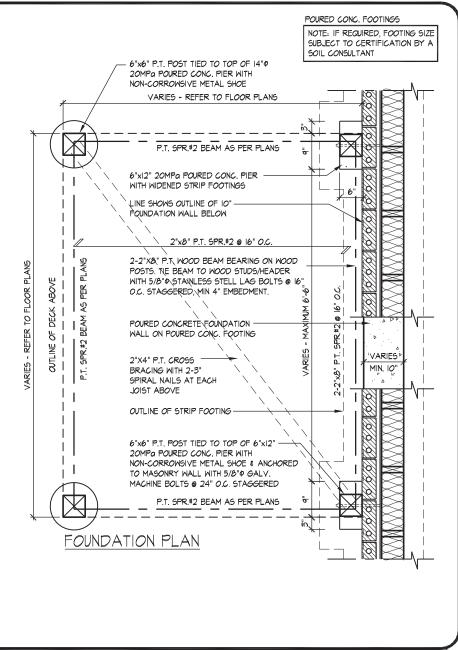
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MASONRY VENEER, TYPICAL DECK FOUNDATION PLAN

1/2" = 1'-0"

A. KONG
100184942

August 02, 2022
TS SET

23177

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GOLDPARK HOMES - 221081 UNIT 4204 - THE BROOKVALLEY

PINE VALLEY PH.2, VAUGHAN, ON.

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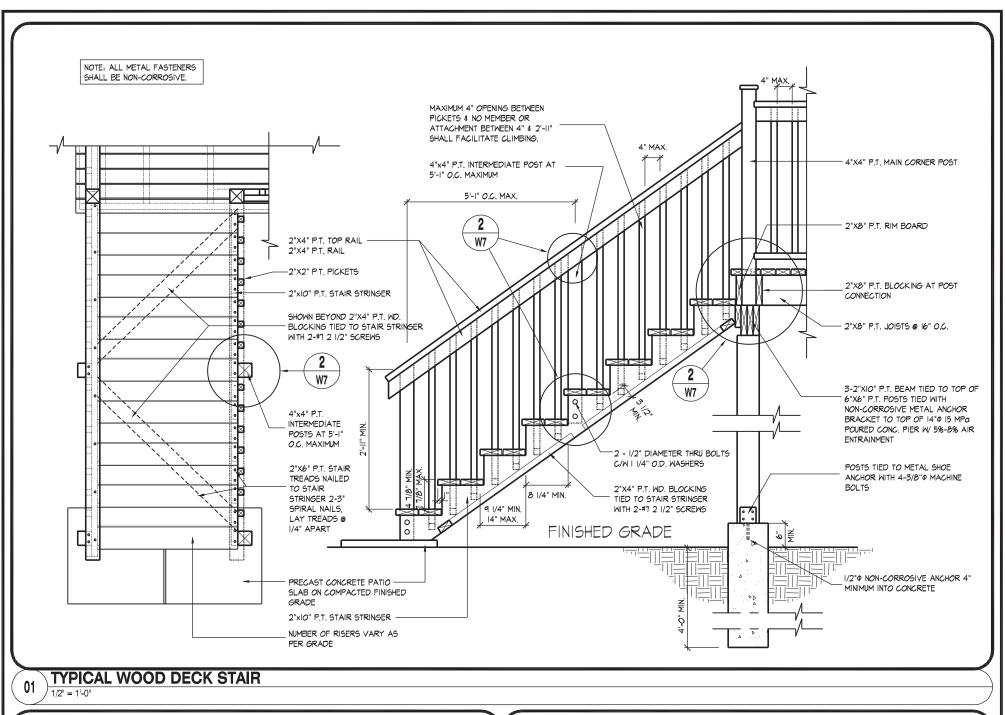
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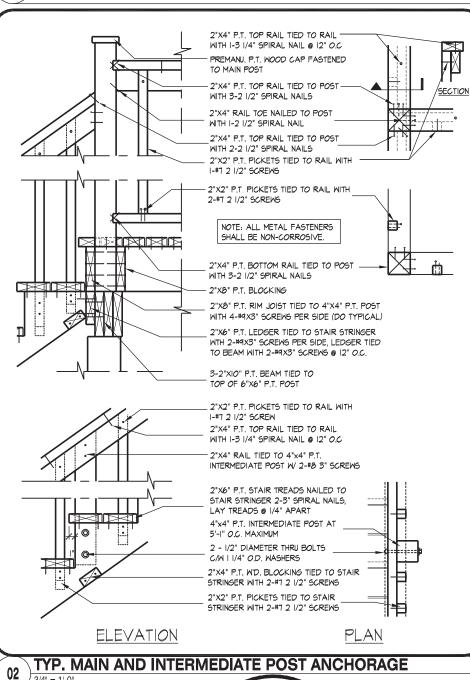
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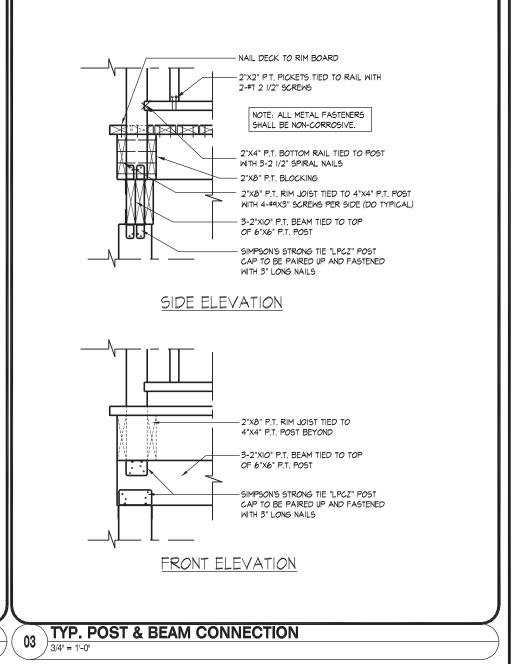
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DECK DETAILS 4

W7 of W7

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UNIT 4204 - THE BROOKVALLEY REV.2022.07.25

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