



ELEVATION 'A'

ELEVATION 'B'

ELEVATION 'C'

UNIT 4203 - 'THE FORESTCREST'

SB-12 ENERGY EFFICIENCY DESIGN MATRIX

PRESCRIPTIVE COMPLIANCE	SB-12 (SECTION 3.1.1) TABLE 3.1.1.2.A
PACKAGE A1	SPACE HEATING FUEL
	<input checked="" type="checkbox"/> GAS <input type="checkbox"/> OIL
	<input type="checkbox"/> ELECTRIC <input type="checkbox"/> PROPANE
	<input type="checkbox"/> EARTH <input type="checkbox"/> SOLID FUEL



BUILDING COMPONENT	REQUIRED	PROPOSED
INSULATION RSI (R) VALUE		
CEILING W/ ATTIC SPACE	10.56 (R60)	10.56 (R60)
CEILING W/O ATTIC SPACE	5.46 (R31)	5.46 (R31)
EXPOSED FLOOR	5.46 (R31)	5.46 (R31)
WALLS ABOVE GRADE	3.87 (R22)	3.87 (R22)
BASEMENT WALLS	3.52 ci (R20 ci) *	3.52 ci (R20 ci) *
* PROPOSED VALUES MAY BE SUBSTITUTED W/ 2.11+1.76ci (R12+R10ci)		
BELOW GRADE SLAB ENTIRE SURFACE > 600mm BELOW GRADE	-	-
EDGE OF BELOW GRADE SLAB ≤ 600mm BELOW GRADE	1.76 (R10)	1.76 (R10)
HEATED SLAB OR SLAB ≤ 600mm BELOW GRADE	1.76 (R10)	1.76 (R10)
WINDOWS & DOORS		
WINDOWS/SLIDING GLASS DOORS (MAX U-VALUE)	1.6	1.6
SKYLIGHTS (MAX. U-VALUE)	2.8	2.8
APPLIANCE EFFICIENCY		
SPACE HEATING EQUIP. (AFUE%)	96%	96%
HRV EFFICIENCY (%)	75%	75%
DHW HEATER (EF)	0.8	0.8

AREA CALCULATIONS

* SEE PAGE 2 FOR AREA & WINDOW / WALL CALCULATIONS

- 1 - TITLE PAGE
- 2 - AREA CALCULATIONS
- 3 - BASEMENT PLAN ELEV. 'A'
- 4 - GROUND FLOOR PLAN ELEV. 'A'
- 5 - SECOND FLOOR PLAN ELEV. 'A'
- 6 - PART. OPT. 5 BEDROOM PLAN
- 7 - PART. OPT. MASTER ENSUITE SECOND FL. PLAN
- 8 - BASEMENT PLAN ELEV. 'B'
- 9 - GROUND FLOOR PLAN ELEV. 'B'
- 10 - SECOND FLOOR PLAN ELEV. 'B'
- 11 - OPT. 9' BASEMENT PLAN ELEV. 'C'
- 12 - GROUND FLOOR PLAN ELEV. 'C'
- 13 - SECOND FLOOR PLAN ELEV. 'C'
- 14 - FRONT ELEVATION 'A'
- 15 - LEFT SIDE ELEVATION 'A'
- 16 - LEFT SIDE ELEVATION 'A' - OPT. 5 BEDROOM PLAN
- 17 - RIGHT SIDE ELEVATION 'A'
- 18 - REAR ELEVATION 'A'
- 19 - UPGRADED REAR ELEVATION 'A'
- 20 - FRONT ELEVATION 'B'
- 21 - LEFT SIDE ELEVATION 'B'
- 22 - LEFT SIDE ELEVATION 'B' - OPT. 5 BEDROOM PLAN
- 23 - RIGHT SIDE ELEVATION 'B'
- 24 - FRONT ELEVATION 'C'
- 25 - LEFT SIDE ELEVATION 'C'
- 26 - LEFT SIDE ELEVATION 'C' - OPT. 5 BEDROOM PLAN
- 27 - RIGHT SIDE ELEVATION 'C'
- 28 - CROSS SECTION 'A-A'
- 29 - PART. FLOOR PLANS - OPT. LOGGIA COND.
- 30 - PART. ELEVATIONS - OPT. LOGGIA COND.
- 31 - DETAILS
- 32 - CONSTRUCTION NOTES 1
- 33 - CONSTRUCTION NOTES 2
- 34 - WALK OUT DECK CONDITION
- 35 - LOOK OUT DECK CONDITION
- 36 - WALK OUT BASEMENT CONDITION

WTWANG | WED MAY 18/22 09:45 AM | K:\PROJECTS\2021\221081.GOLDWORKING\SINGLES\42\221081\WS4203-FORESTCREST.DWG

		7. -	-	-
		6. -	-	-
		5. -	-	-
		4. -	-	-
		3. -	-	-
		2. REVISED AS PER STRUCTURAL COMMENTS & ISSUED FOR PERMIT	2022/05/16	WT
		1. REVISED TO STANDARD 9FT BSMT & ISSUED FOR PH2 PERMIT	2022/03/25	WT
		REVISIONS	DATE (YYYY/MM/DD)	BY
		TITLE PAGE		

All drawings specifications related documents and design are the copyright property of Hunt Design Associates (H.D.A). Reproduction of this property in whole or in part is strictly prohibited without H.D.A.'s written permission (H.D.A. assumes no responsibility or liability for this property unless it bears the appropriate BCIN number and original signature.)

WTANG | WED MAY 18/22 09:45 AM | K:\PROJECTS\2021\221081.GOLDWORKING\SINGLES\42\221081\WS4203-FORESTCREST.DWG

AREA CALCULATIONS	EL. 'A'		EL. 'B'		EL. 'C'	
	STD. PLAN	OPT. PLAN	STD. PLAN	OPT. PLAN	STD. PLAN	OPT. PLAN
GROUND FLOOR AREA	1755 sq. ft.	1755 sq. ft.	1758 sq. ft.	1758 sq. ft.	1756 sq. ft.	1756 sq. ft.
	(163.04 sq. m.)	(163.04 sq. m.)	(163.32 sq. m.)	(163.32 sq. m.)	(163.14 sq. m.)	(163.14 sq. m.)
SECOND FLOOR AREA	2130 sq. ft.	2130 sq. ft.	2112 sq. ft.	2112 sq. ft.	2129 sq. ft.	2129 sq. ft.
	(197.88 sq. m.)	(197.88 sq. m.)	(196.21 sq. m.)	(196.21 sq. m.)	(197.79 sq. m.)	(197.79 sq. m.)
SUBTOTAL	3885 sq. ft.	3885 sq. ft.	3870 sq. ft.	3870 sq. ft.	3885 sq. ft.	3885 sq. ft.
	(360.93 sq. m.)	(360.93 sq. m.)	(359.53 sq. m.)	(359.53 sq. m.)	(360.93 sq. m.)	(360.93 sq. m.)
DEDUCT ALL OPEN AREAS	143 sq. ft.	28 sq. ft.	143 sq. ft.	28 sq. ft.	143 sq. ft.	28 sq. ft.
	(13.29 sq. m.)	(2.60 sq. m.)	(13.29 sq. m.)	(2.60 sq. m.)	(13.29 sq. m.)	(2.60 sq. m.)
TOTAL NET AREA	3742 sq. ft.	3857 sq. ft.	3727 sq. ft.	3842 sq. ft.	3742 sq. ft.	3857 sq. ft.
	(347.64 sq. m.)	(358.33 sq. m.)	(346.25 sq. m.)	(356.93 sq. m.)	(347.64 sq. m.)	(358.33 sq. m.)
FINISHED BASEMENT AREA	61 sq. ft.	61 sq. ft.	61 sq. ft.	61 sq. ft.	61 sq. ft.	61 sq. ft.
	(5.67 sq. m.)	(5.67 sq. m.)	(5.67 sq. m.)	(5.67 sq. m.)	(5.67 sq. m.)	(5.67 sq. m.)
COVERAGE W/OUT PORCH	2159 sq. ft.		2162 sq. ft.		2160 sq. ft.	
	(200.58 sq. m.)		(200.86 sq. m.)		(200.67 sq. m.)	
COVERAGE W/ PORCH	2222 sq. ft.		2228 sq. ft.		2230 sq. ft.	
	(206.43 sq. m.)		(206.99 sq. m.)		(207.17 sq. m.)	
COVERAGE W/ OPT. LOGGIA	2397 sq. ft.		2403 sq. ft.		2405 sq. ft.	
	(222.69 sq. m.)		(223.25 sq. m.)		(223.43 sq. m.)	
WINDOW / WALL AREA CALCULATIONS	EL. 'A'	EL. 'A'	EL. 'B'	EL. 'B'	EL. 'C'	EL. 'C'
	STD. PLAN	OPT. PLAN	STD. PLAN	OPT. PLAN	STD. PLAN	OPT. PLAN
GROSS WALL AREA	4633.30 sq. ft.	4633.30 sq. ft.	4610.26 sq. ft.	4610.26 sq. ft.	4683.20 sq. ft.	4683.20 sq. ft.
	(430.45 sq. m.)	(430.45 sq. m.)	(428.31 sq. m.)	(428.31 sq. m.)	(435.08 sq. m.)	(435.08 sq. m.)
GROSS WINDOW AREA (INCL. GLASS DOORS & SKYLIGHTS)	471.19 sq. ft.	445.19 sq. ft.	466.26 sq. ft.	440.26 sq. ft.	526.17 sq. ft.	500.17 sq. ft.
	(43.77 sq. m.)	(41.36 sq. m.)	(43.32 sq. m.)	(40.90 sq. m.)	(48.88 sq. m.)	(46.47 sq. m.)
TOTAL WINDOW %	10.17 %	9.61 %	10.11 %	9.55 %	11.24 %	10.68 %

	EL. 'A' - WOD	EL. 'A' - WOD	EL. 'B' - WOD	EL. 'B' - WOD	EL. 'C' - WOD	EL. 'C' - WOD
	STD. PLAN	OPT. PLAN	STD. PLAN	OPT. PLAN	STD. PLAN	OPT. PLAN
GROSS WALL AREA	4659.74 sq. ft.	4659.74 sq. ft.	4636.71 sq. ft.	4636.71 sq. ft.	4709.64 sq. ft.	4709.64 sq. ft.
	(432.90 sq. m.)	(432.90 sq. m.)	(430.76 sq. m.)	(430.76 sq. m.)	(437.54 sq. m.)	(437.54 sq. m.)
GROSS WINDOW AREA (INCL. GLASS DOORS & SKYLIGHTS)	474.52 sq. ft.	448.52 sq. ft.	469.60 sq. ft.	443.60 sq. ft.	529.50 sq. ft.	503.50 sq. ft.
	(44.08 sq. m.)	(41.67 sq. m.)	(43.63 sq. m.)	(41.21 sq. m.)	(49.19 sq. m.)	(46.78 sq. m.)
TOTAL WINDOW %	10.18 %	9.63 %	10.13 %	9.57 %	11.24 %	10.69 %
	EL. 'A' - LOD	EL. 'A' - LOD	EL. 'B' - LOD	EL. 'B' - LOD	EL. 'C' - LOD	EL. 'C' - LOD
	STD. PLAN	OPT. PLAN	STD. PLAN	OPT. PLAN	STD. PLAN	OPT. PLAN
GROSS WALL AREA	4734.12 sq. ft.	4734.12 sq. ft.	4711.08 sq. ft.	4711.08 sq. ft.	4784.02 sq. ft.	4784.02 sq. ft.
	(439.81 sq. m.)	(439.81 sq. m.)	(437.67 sq. m.)	(437.67 sq. m.)	(444.45 sq. m.)	(444.45 sq. m.)
GROSS WINDOW AREA (INCL. GLASS DOORS & SKYLIGHTS)	499.52 sq. ft.	473.52 sq. ft.	494.60 sq. ft.	468.60 sq. ft.	554.50 sq. ft.	528.50 sq. ft.
	(46.41 sq. m.)	(43.99 sq. m.)	(45.95 sq. m.)	(43.53 sq. m.)	(51.51 sq. m.)	(49.10 sq. m.)
TOTAL WINDOW %	10.55 %	10.00 %	10.50 %	9.95 %	11.59 %	11.05 %
	EL. 'A' - WOB	EL. 'A' - WOB	EL. 'B' - WOB	EL. 'B' - WOB	EL. 'C' - WOB	EL. 'C' - WOB
	STD. PLAN	OPT. PLAN	STD. PLAN	OPT. PLAN	STD. PLAN	OPT. PLAN
GROSS WALL AREA	4940.71 sq. ft.	4940.71 SQ. FT.	4917.68 sq. ft.	4917.68 sq. ft.	4990.61 sq. ft.	4990.61 sq. ft.
	(459.01 sq. m.)	(459.01 sq. m.)	(456.87 sq. m.)	(456.87 sq. m.)	(463.64 sq. m.)	(463.64 sq. m.)
GROSS WINDOW AREA (INCL. GLASS DOORS & SKYLIGHTS)	568.58 sq. ft.	542.58 sq. ft.	563.65 sq. ft.	537.65 sq. ft.	623.56 sq. ft.	597.56 sq. ft.
	(52.82 sq. m.)	(50.41 sq. m.)	(52.36 sq. m.)	(49.95 sq. m.)	(57.93 sq. m.)	(55.52 sq. m.)
TOTAL WINDOW %	11.51 %	10.98 %	11.46 %	10.93 %	12.49 %	11.97 %
	EL. 'A' - WOB	EL. 'A' - WOB	EL. 'B' - WOB	EL. 'B' - WOB	EL. 'C' - WOB	EL. 'C' - WOB
	STD. PLAN	OPT. PLAN	STD. PLAN	OPT. PLAN	STD. PLAN	OPT. PLAN
GROSS WALL AREA	9' OPT. BSMT 4980.38 sq. ft.	9' OPT. BSMT 4980.38 sq. ft.	9' OPT. BSMT 4957.35 sq. ft.	9' OPT. BSMT 4957.35 sq. ft.	9' OPT. BSMT 5030.28 sq. ft.	9' OPT. BSMT 5030.28 sq. ft.
	(462.69 sq. m.)	(462.69 sq. m.)	(460.55 sq. m.)	(460.55 sq. m.)	(467.33 sq. m.)	(467.33 sq. m.)
GROSS WINDOW AREA (INCL. GLASS DOORS & SKYLIGHTS)	574.24 sq. ft.	548.24 sq. ft.	569.32 sq. ft.	543.32 sq. ft.	629.22 sq. ft.	603.22 sq. ft.
	(53.35 sq. m.)	(50.93 sq. m.)	(52.89 sq. m.)	(50.48 sq. m.)	(58.46 sq. m.)	(56.04 sq. m.)
TOTAL WINDOW %	11.53 %	11.01 %	11.48 %	10.96 %	12.51 %	11.99 %

AREA CALCULATIONS

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION

Allan Whiting	23177
NAME	BCIN
SIGNATURE	

REGISTRATION INFORMATION

HUNT DESIGN ASSOCIATES INC.	19695
-----------------------------	-------



GOLDPARK HOMES - 221081 UNIT 4203 - THE FORESTCREST
PINE VALLEY PH. 2, VAUGHAN, ON. REV.2022.05.16

Drawn By	Checked By	Scale	File Number	Page Number
OF/BB	VS	3/16"=1'-0"	221081WS4203.dwg	2 of 36
8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326				

All drawings specifications related documents and design are the copyright property of Hunt Design Associates (H.D.A). Reproduction of this property in whole or in part is strictly prohibited without H.D.A.'s written permission (H.D.A. assumes no responsibility or liability for this property unless it bears the appropriate BCIN number and original signature.)

WTANG | WED MAY 18/22 09:45 AM | K:\PROJECTS\2021\221081.GOLDWORKING\SINGLES\42\221081\WS4203-FORESTCREST.DWG

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION

Allan Whiting

NAME

REGISTRATION INFORMATION

HUNT DESIGN ASSOCIATES INC.

23177

BCIN

19695

HUNT DESIGN ASSOCIATES INC.

www.huntdesign.ca

GOLDPARK HOMES - 221081

PINE VALLEY PH. 2, VAUGHAN, ON.

UNIT 4203 - THE FORESTCREST

REV.2022.05.16

Drawn By

O FAIRBARN VS

3/16"=1'-0"

8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

UNIT 4203 - THE FORESTCREST

REV.2022.05.16

File Number

221081WS4203.dwg

Page Number

4 of 36

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

905.737.7326

WTANG | WED MAY 18/22 09:45 AM | K:\PROJECTS\2021\221081.GOLDWORKING\SINGLES\42\221081\WS4203-FORESTCREST.DWG

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION

Allan Whiting
NAME
REGISTRATION INFORMATION

HUNT DESIGN ASSOCIATES INC.

23177
BCIN

19695

HUNT
DESIGN ASSOCIATES INC.
www.huntdesign.ca

GOLDPARK HOMES - 221081
PINE VALLEY PH. 2, VAUGHAN, ON.

Drawn By
O FAIRBARN

Checked By
VS

Scale
3/16"=1'-0"

8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

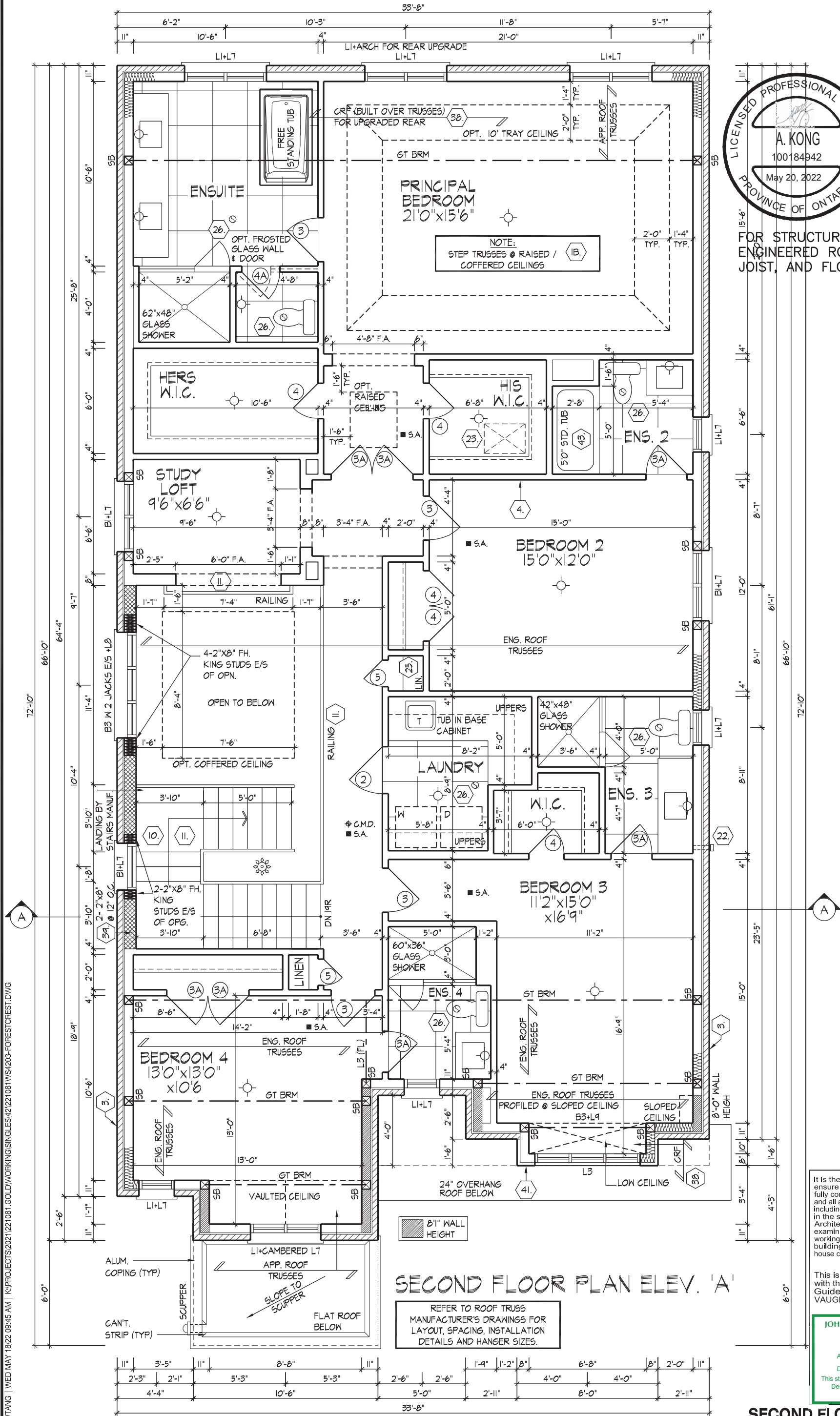
UNIT 4203 - THE FORESTCREST
REV.2022.05.16

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY:
DATE: MAY 27, 2022

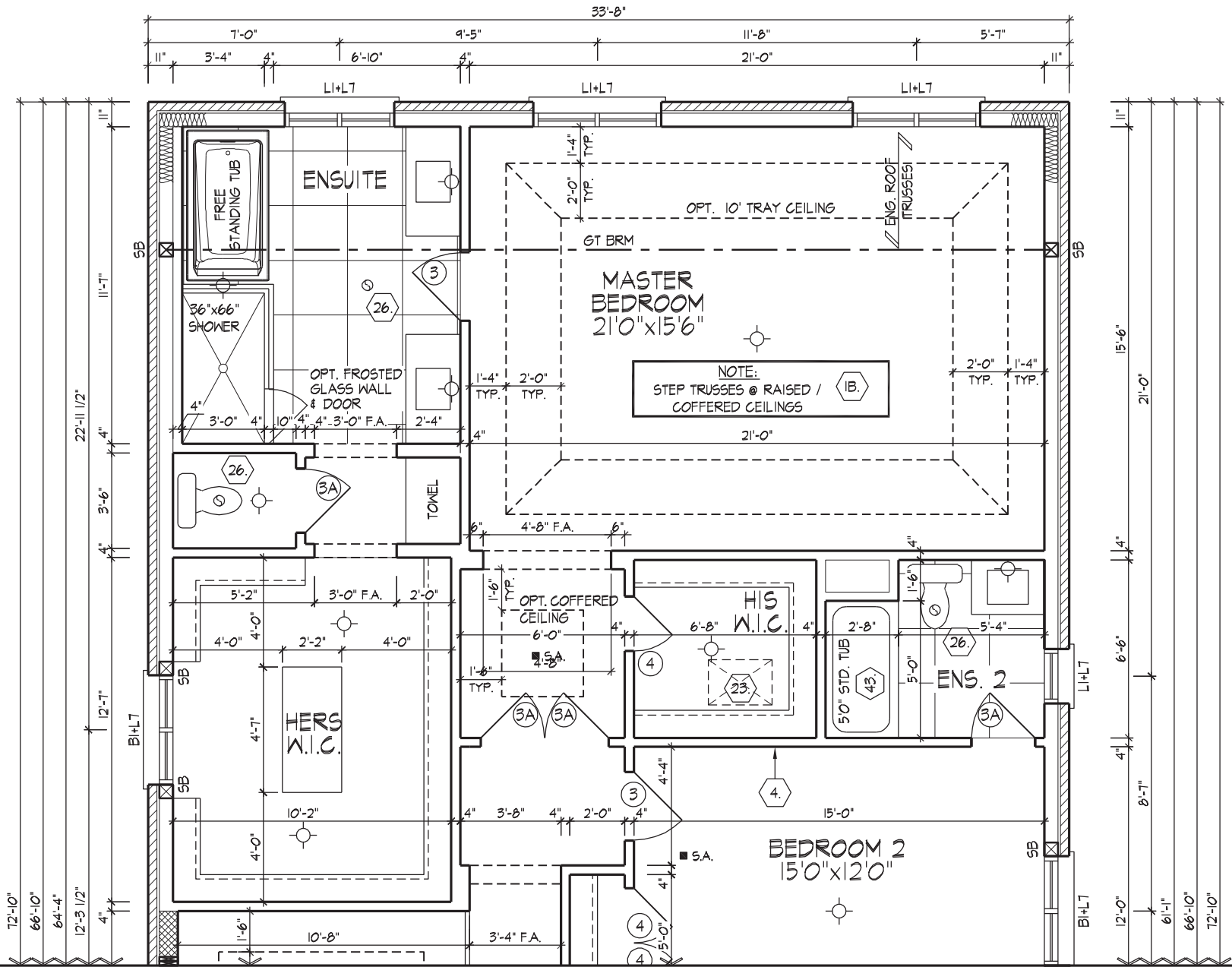
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

SECOND FLOOR PLAN ELEV. 'A'



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.



PART. SECOND FLOOR PLAN ELEV. 'A' - OPT. MASTER ENSUITE
(ELEV. 'B' & 'C' SIMILAR)

REFER TO STANDARD PLAN FOR
COMPLETE CONSTRUCTION NOTES
& DIMENSIONS



100 COMMERCE VALLEY DR. W.
THORNHILL, ONTARIO CANADA L3T 0A1
TEL: 1-905-882-4211 FAX: 1-905-822-0055 WWW.WSPGROUP.CA

FOR STRUCTURAL ONLY. EXCLUDING
ENGINEERED ROOF TRUSS, FLOOR
JOIST, AND FLOOR LVL BEAM DESIGN.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY:
DATE: MAY 27, 2022
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

PART. OPT. MASTER ENSUITE SECOND FL. PLAN

GOLDPARK HOMES - 221081 UNIT 4203 - THE FORESTCREST
PINE VALLEY PH. 2, VAUGHAN, ON. REV.2022.05.16

Drawn By: O FAIRBARN Checked By: VS Scale: 3/16"=1'-0" File Number: 221081WS4203.dwg Page Number: 7 of 36
8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

WTANG | WED MAY 18 22 09:45 AM | K:\PROJECTS\2021\221081.GOLDWORKING\SINGLES\42\221081\WS4203-FORESTCREST.DWG

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION

Allan Whiting
SIGNATURE

23177
BCIN

REGISTRATION INFORMATION

HUNT DESIGN ASSOCIATES INC.

19695

HUNT
DESIGN ASSOCIATES INC.
www.huntdesign.ca

All drawings specifications related documents and design are the copyright property of Hunt Design Associates (H.D.A). Reproduction of this property in whole or in part is strictly prohibited without H.D.A.'s written permission (H.D.A. assumes no responsibility or liability for this property unless it bears the appropriate BCIN number and original signature.)

WTANG | WED MAY 18 22 09:45 AM | K:\PROJECTS\2021\221081.GOLDWORKING\SINGLES\42\221081\WS4203-FORESTCREST.DWG

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION

NAME
Allan Whiting

REGISTRATION INFORMATION

HUNT DESIGN ASSOCIATES INC.

23177

BCIN

19695

HUNT
DESIGN ASSOCIATES INC.
www.huntdesign.ca

GOLDPARK HOMES - 221081
PINE VALLEY PH. 2, VAUGHAN, ON.

Drawn By
OF/BB

Checked By
VS

Scale
3/16"=1'-0"

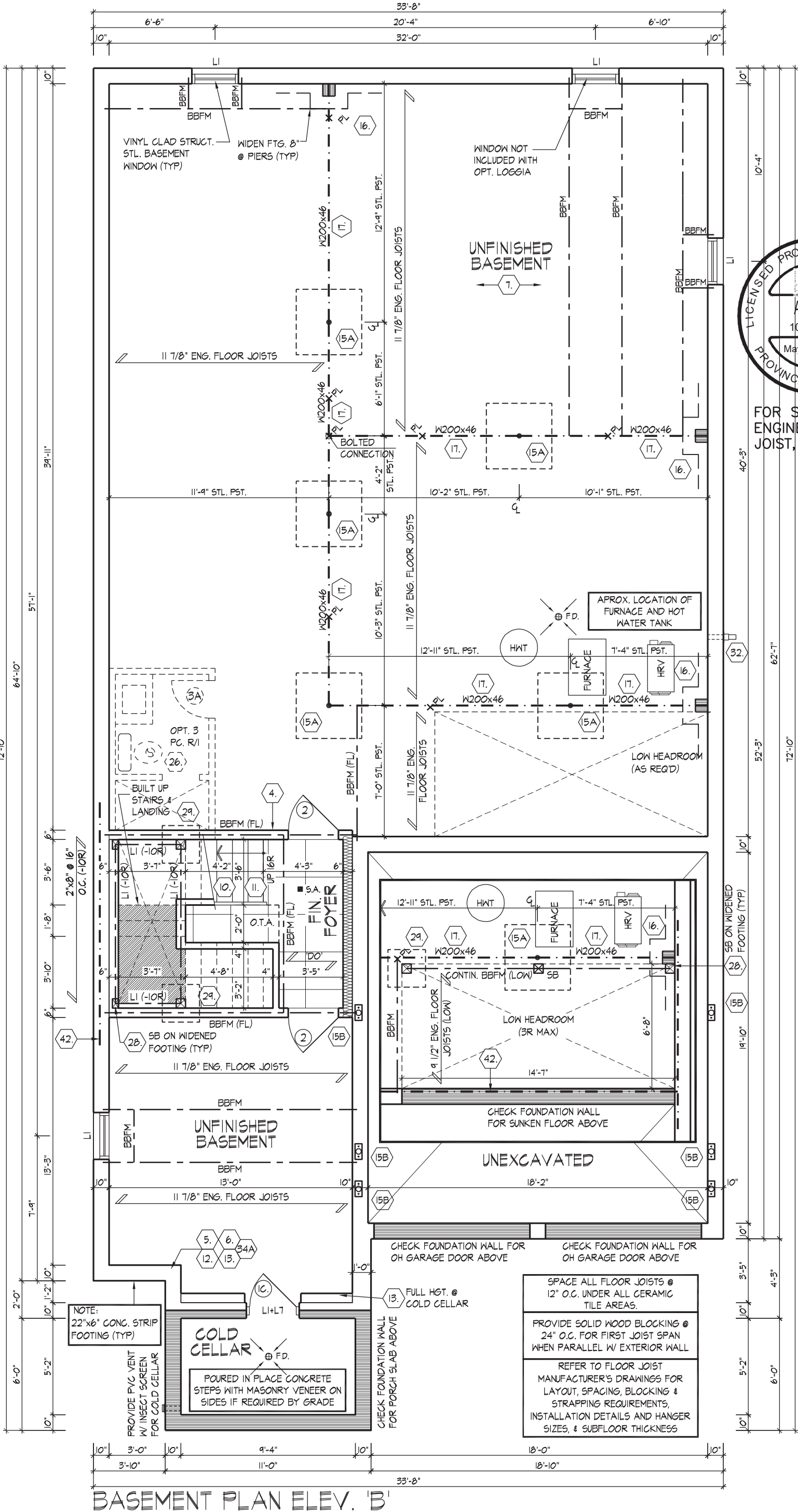
UNIT 4203 - THE FORESTCREST
REV.2022.05.16

File Number
221081WS4203.dwg

Page Number
8 of 36

8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

All drawings specifications related documents and design are the copyright property of Hunt Design Associates (H.D.A). Reproduction of this property in whole or in part is strictly prohibited without H.D.A.'s written permission (H.D.A. assumes no responsibility or liability for this property unless it bears the appropriate BCIN number and original signature.)



100 COMMERCE VALLEY DR. W.
THORNHILL, ONTARIO CANADA L3T 0A1
TEL: 1-905-882-4211/FAX: 1-905-822-0055/WWW.WSPGROUP.COM

FOR STRUCTURAL ONLY. EXCLUDING
ENGINEERED ROOF TRUSS, FLOOR
JOIST, AND FLOOR LVL BEAM DESIGN.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: _____

DATE: MAY 27, 2022

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

BASEMENT PLAN ELEV. 'B'

WTANG | WED MAY 18 22 09:45 AM | K:\PROJECTS\2021\221081.GOLDWORKING\SINGLES\42\221081\WS4203-FORESTCREST.DWG

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION

NAME

REGISTRATION INFORMATION

HUNT DESIGN ASSOCIATES INC.

Signature

Signature

Signature

Signature

23177

BCIN

19695

19695

HUNT DESIGN ASSOCIATES INC.

www.huntdesign.ca

GOLDPARK HOMES - 221081

PINE VALLEY PH. 2, VAUGHAN, ON.

Drawn By

O FAIRBARN VS

8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

Checked By

VS

Scale

3/16"=1'-0"

File Number

221081WS4203.dwg

UNIT 4203 - THE FORESTCREST

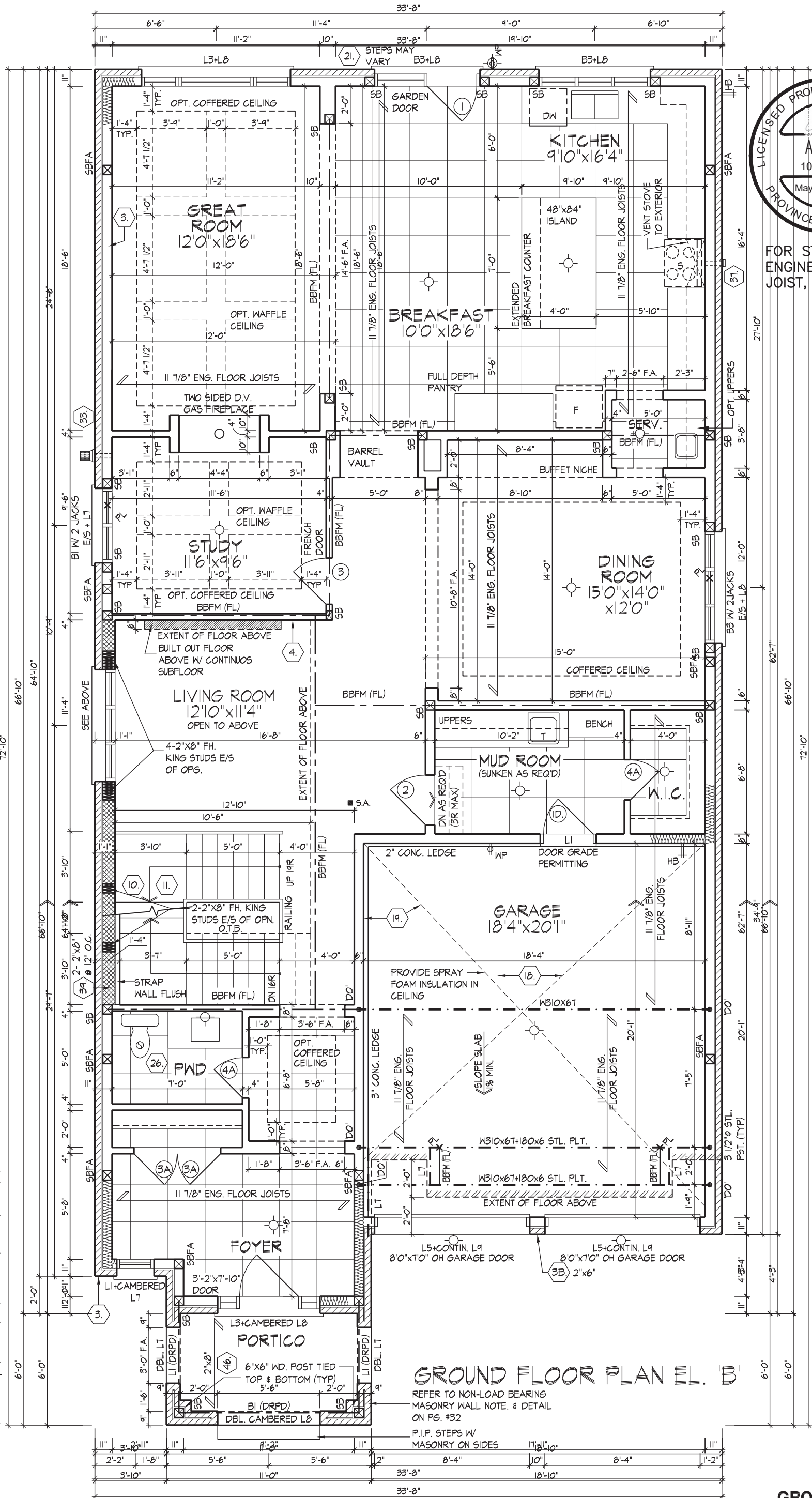
REV.2022.05.16

Page Number

9 of 36

9 of 36

9 of 36



100 COMMERCE VALLEY DR. V.
THORNHILL ONTARIO CANADA L3T 0A1
TEL: 1-905-882-4211 FAX: 1-905-822-0055 WWW.WSPGROUP.COM

FOR STRUCTURAL ONLY. EXCLUDING
ENGINEERED ROOF TRUSS, FLOOR
JOIST, AND FLOOR LVL BEAM DESIGN.

MASONRY WALL NON-LOAD BEARING	SOLID MASONRY WALL W/ 4-10M VERT. REBARS (LAP 1'-6") GROUTED INTO BRICK JOINT)
	MASONRY WALL TO BE TIED TO THE BOTTOM OF PORTICO ROOF W/ CORROSION RESISTANT METAL TIES @ 24" O.C. USING 3-3 1/2" NAILS EACH
	MASONRY VENEER TIED TO MASONRY VENEER WITH GALV. METAL TIES @ 16" O.C. AND 24" VERTICAL. FILL VOID BETWEEN MASONRY VENEER WYTHES SOLID W/ MORTAR
REFER TO FLOOR JOIST MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, BLOCKING & STRAPPING REQUIREMENTS, INSTALLATION DETAILS AND HANGER SIZES, & SUBFLOOR THICKNESS	
SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.	
PROVIDE SOLID WOOD BLOCKING @ 24" O.C. FOR FIRST JOIST SPAN WHEN PARALLEL W/ EXTERIOR WALL	

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: [Signature]

DATE: MAY 22, 2022

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

GROUND FLOOR PLAN ELEV. 'B'

WTANG | WED MAY 18 22 09:45 AM | K:\PROJECTS\2021\221081.GOLDWORKING\SINGLES\42\221081\WS4203-FORESTCREST.DWG

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION

NAME
Allan Whiting

REGISTRATION INFORMATION

HUNT DESIGN ASSOCIATES INC.

23177

BCIN

19695

HUNT
DESIGN ASSOCIATES INC.

www.huntdesign.ca

GOLDPARK HOMES - 221081
PINE VALLEY PH. 2, VAUGHAN, ON.

Drawn By
O FAIRBARN

Checked By
VS

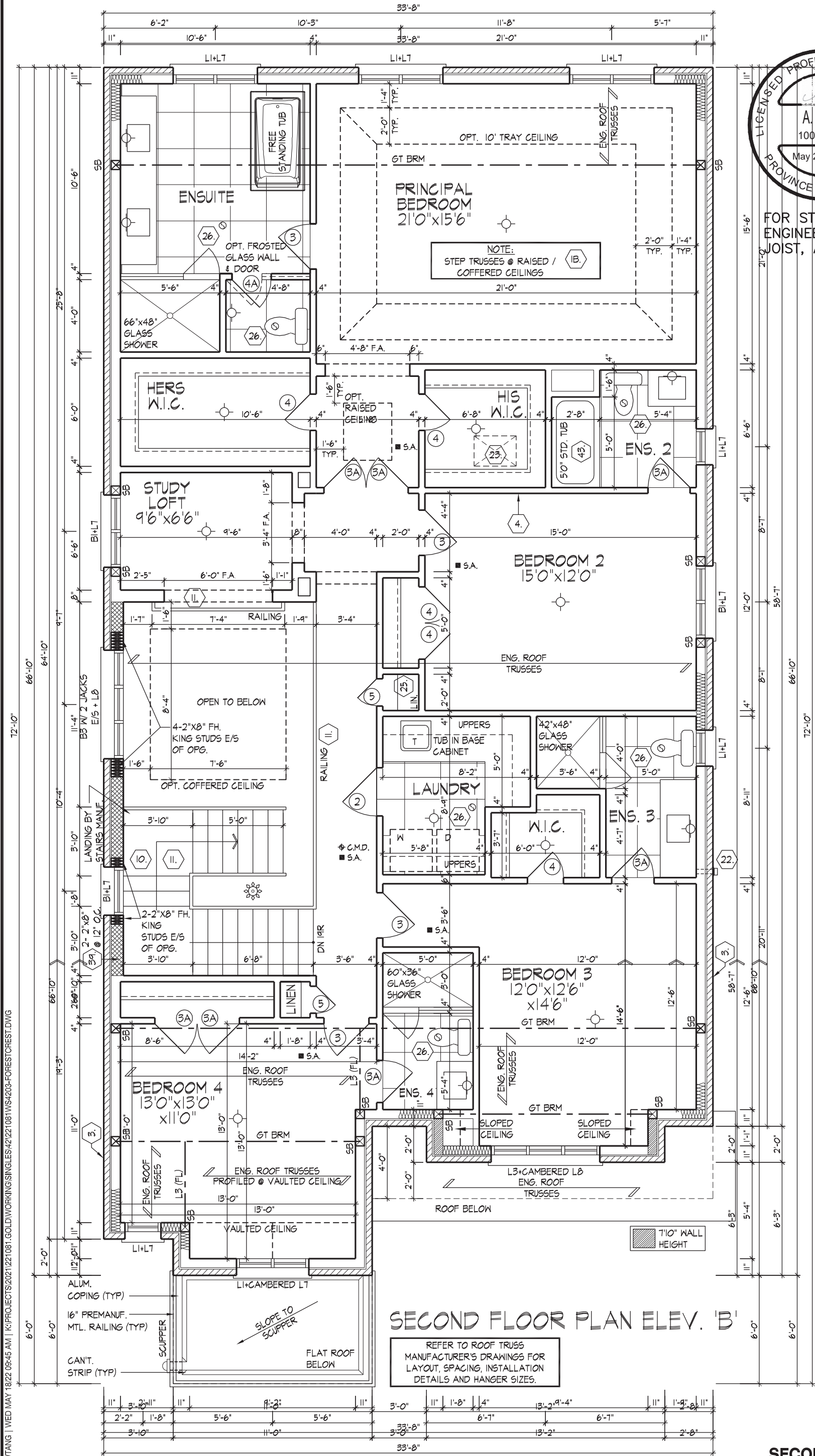
Scale
3/16"=1'-0"

8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

UNIT 4203 - THE FORESTCREST
REV.2022.05.16

File Number
221081WS4203.dwg

Page Number
10 of 36



100 COMMERCE VALLEY DR. W.
THORNHILL ONTARIO CANADA L3T 0A1
TEL: 1-905-882-4211 FAX: 1-905-822-0055 WWW.WSPGR

FOR STRUCTURAL ONLY. EXCLUDING
ENGINEERED ROOF TRUSS, FLOOR
JOIST, AND FLOOR LVL BEAM DESIGN.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY:

DATE: MAY 27, 2022

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

SECOND FLOOR PLAN ELEV. 'B'

All drawings specifications related documents and design are the copyright property of Hunt Design Associates (H.D.A). Reproduction of this property in whole or in part is strictly prohibited without H.D.A.'s written permission (H.D.A. assumes no responsibility or liability for this property unless it bears the appropriate BCIN number and original signature.)

WTANG | WED MAY 18 22 09:45 AM | K:\PROJECTS\2021\221081.GOLDWORKING\SINGLES\42\221081WS4203-FORESTCREST.DWG

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION

Allan Whiting

NAME

REGISTRATION INFORMATION

HUNT DESIGN ASSOCIATES INC.

23177

BCIN

19695

HUNT DESIGN ASSOCIATES INC.

www.huntdesign.ca

GOLDPARK HOMES - 221081
PINE VALLEY PH. 2, VAUGHAN, ON.

Drawn By

O FAIRBARN

Checked By

VS

Scale

3/16"=1'-0"

File Number

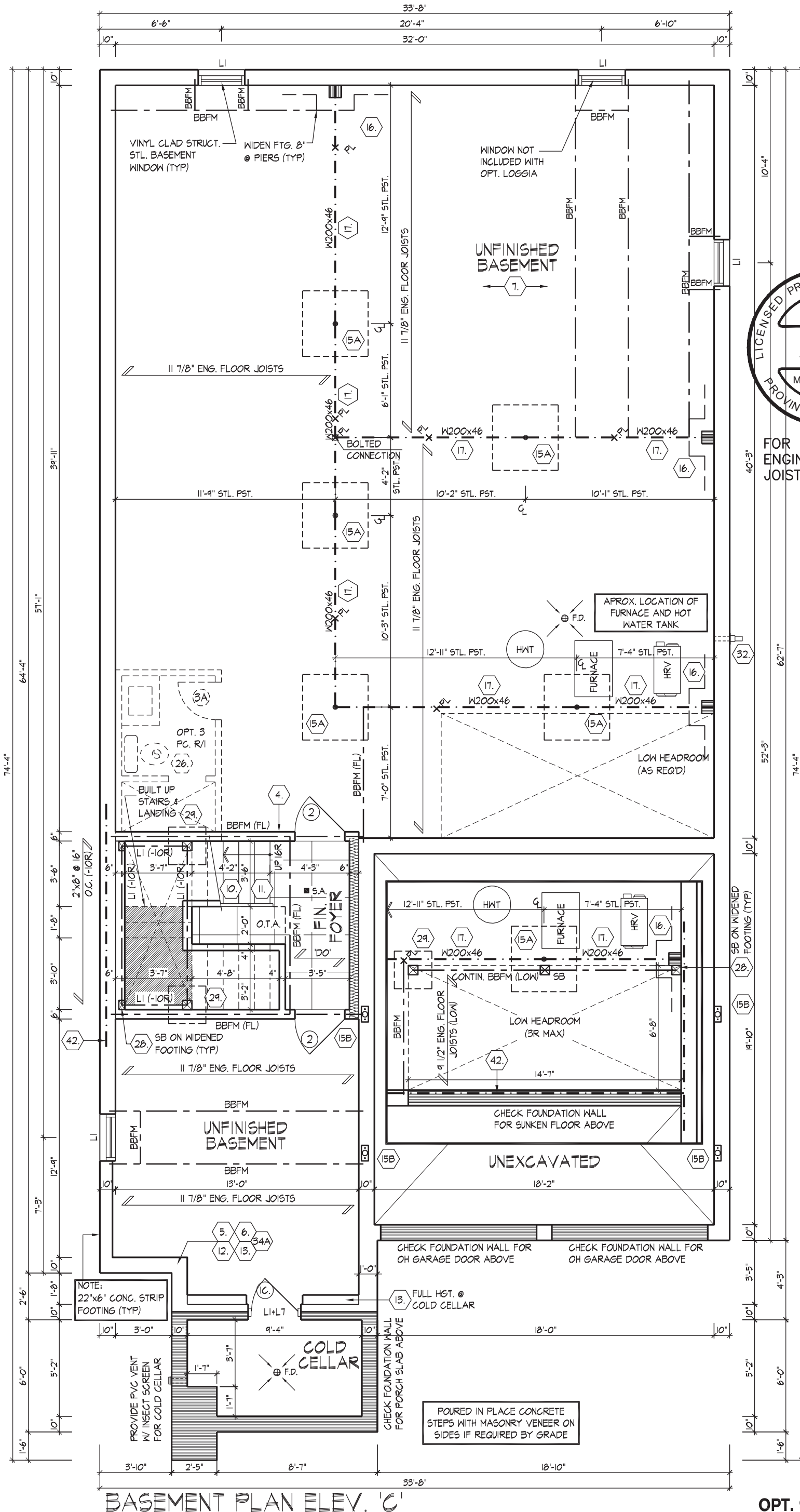
221081WS4203.dwg

Page Number

11 of 36

8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

All drawings specifications related documents and design are the copyright property of Hunt Design Associates (H.D.A.). Reproduction of this property in whole or in part is strictly prohibited without H.D.A.'s written permission (H.D.A. assumes no responsibility or liability for this property unless it bears the appropriate BCIN number and original signature.)



wsp

100 COMMERCE VALLEY DR. W.
THORNHILL, ONTARIO CANADA L3T 0A1
TEL: 1-905-882-4211 (FAX: 1-905-822-0055) WWW.WSPGROUP.COM

FOR STRUCTURAL ONLY. EXCLUDING
ENGINEERED ROOF TRUSS, FLOOR
JOIST, AND FLOOR LVL BEAM DESIGN.

SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.
PROVIDE SOLID WOOD BLOCKING @ 24" O.C. FOR FIRST JOIST SPAN WHEN PARALLEL W/ EXTERIOR WALL
REFER TO FLOOR JOIST MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, BLOCKING & STRAPPING REQUIREMENTS, INSTALLATION DETAILS AND HANGER SIZES, & SUBFLOOR THICKNESS

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY:
DATE: MAY 27, 2022
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

OPT. 9' BASEMENT PLAN ELEV. 'C'

WTANG | WED MAY 18/22 09:45 AM | K:\PROJECTS\2021\221081.GOLDWORKING\SINGLES\42\221081\WS4203-FORESTCREST.DWG

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION

NAME
Allan Whiting

REGISTRATION INFORMATION

HUNT DESIGN ASSOCIATES INC.

23177

BCIN

19695

HUNT
DESIGN ASSOCIATES INC.

www.huntdesign.ca

GOLDPARK HOMES - 221081
PINE VALLEY PH. 2, VAUGHAN, ON.

Drawn By
O FAIRBARN

Checked By
VS

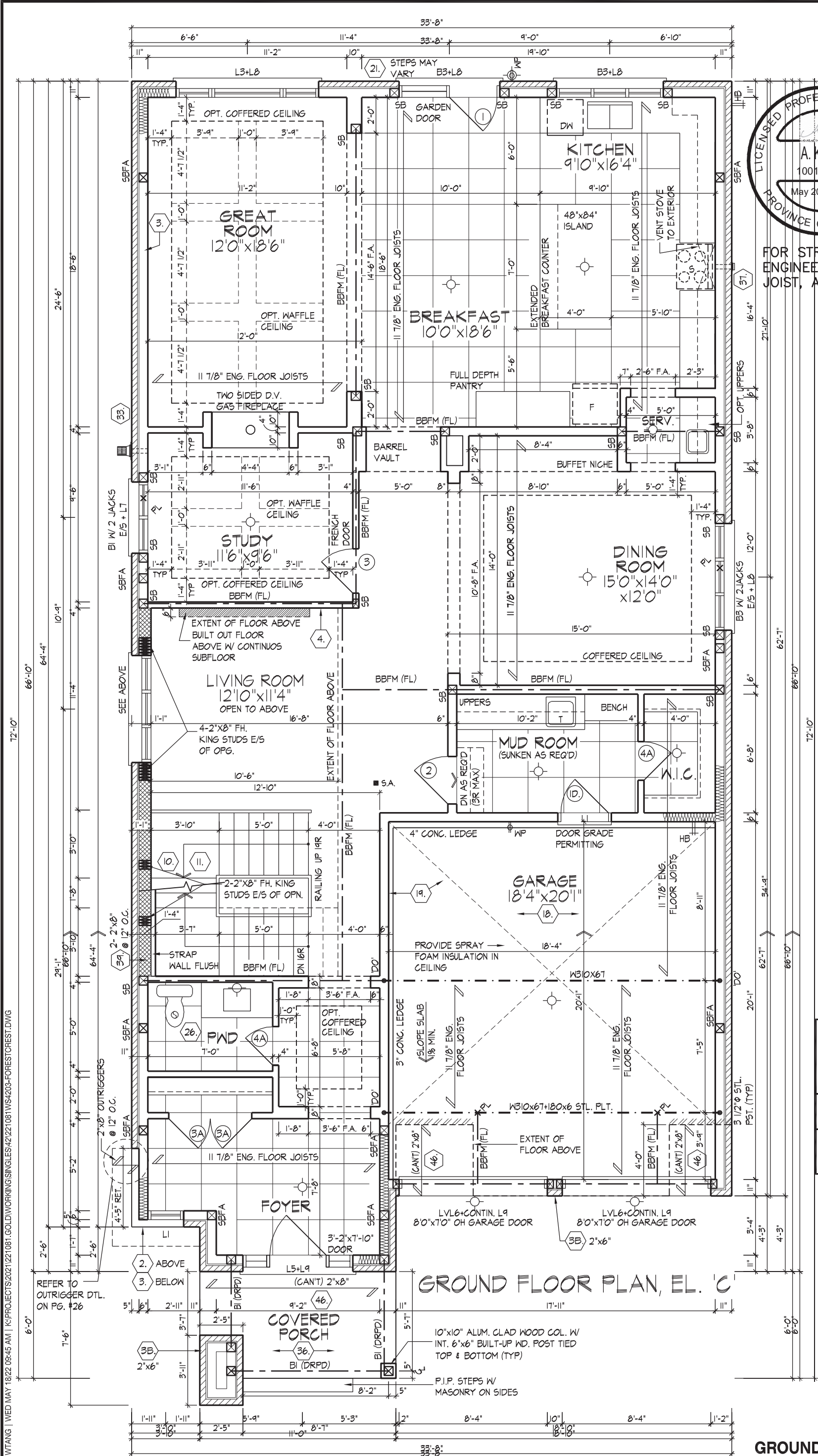
Scale
3/16"=1'-0"

8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

UNIT 4203 - THE FORESTCREST
REV.2022.05.16

File Number
221081WS4203.dwg

Page Number
12 of 36



100 COMMERCE VALLEY DR. W.
THORNHILL, ONTARIO CANADA L3T 0A1
TEL: 1-905-882-4211 FAX: 1-905-822-0055 WWW.WSP

FOR STRUCTURAL ONLY. EXCLUDING
ENGINEERED ROOF TRUSS, FLOOR
JOIST, AND FLOOR LVL BEAM DESIGN

REFER TO FLOOR JOIST
MANUFACTURER'S DRAWINGS FOR
LAYOUT, SPACING, BLOCKING &
STRAPPING REQUIREMENTS,
INSTALLATION DETAILS AND HANGER
SIZES, & SUBFLOOR THICKNESS

SPACE ALL FLOOR JOISTS @
12" O.C. UNDER ALL CERAMIC
TILE AREAS.

PROVIDE SOLID WOOD BLOCKING @
24" O.C. FOR FIRST JOIST SPAN
WHEN PARALLEL W/ EXTERIOR WALL

It is the builder's complete responsibility to
ensure that all plans submitted for approval
fully comply with the Architectural Guidelines
and all applicable regulations and requirements
including zoning provisions and any provisions
in the subdivision agreement. The Control
Architect is not responsible in any way for
examining or approving site (lotting) plans or
working drawings with respect to any zoning or
building code or permit matter or that any
house can be properly built or located on its lot.

This is to certify that these plans comply with
the applicable Architectural Design
Guidelines approved by the City of
VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: _____
DATE: MAY 27, 2022

This stamp certifies compliance with the applicable
Design Guidelines only and bears no further
professional responsibility.

GROUND FLOOR PLAN ELEV. 'C'

All drawings specifications related documents and design are the copyright property of Hunt Design Associates (H.D.A). Reproduction of this property in whole or in part is strictly prohibited without H.D.A.'s written permission (H.D.A. assumes no responsibility or liability for this property unless it bears the appropriate BCIN number and original signature.)

WTANG | WED MAY 18 22 09:45 AM | K:\PROJECTS\2021\221081.GOLDWORKING\SINGLES\42\221081\WS4203-FORESTCREST.DWG

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION

Allan Whiting

NAME

REGISTRATION INFORMATION

HUNT DESIGN ASSOCIATES INC.

23177

BCIN

19695

HUNT DESIGN ASSOCIATES INC.

www.huntdesign.ca

GOLDPARK HOMES - 221081
PINE VALLEY PH. 2, VAUGHAN, ON.

Drawn By

O FAIRBARN VS

Checked By

3/16"=1'-0"

8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

UNIT 4203 - THE FORESTCREST
REV.2022.05.16

File Number

221081WS4203.dwg

Page Number

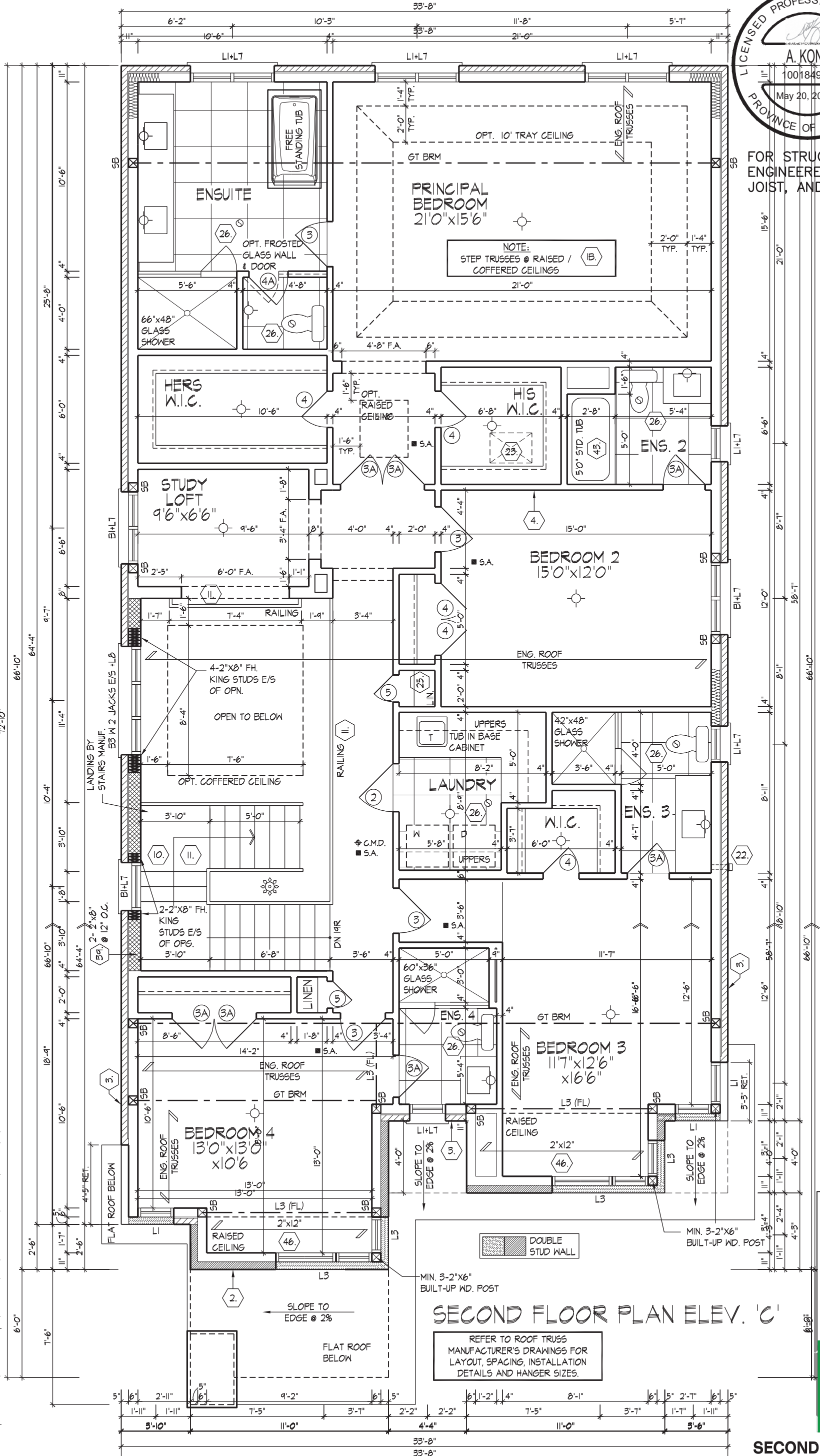
13 of 36



wsp

100 COMMERCE VALLEY C.W.
THORNHILL, ONTARIO CANADA L3T 0A1
TEL: 1-905-882-4211 FAX: 1-905-822-0055 WWW.WSPGR.COM

FOR STRUCTURAL ONLY. EXCLUDING
ENGINEERED ROOF TRUSS, FLOOR
JOIST, AND FLOOR LVL BEAM DESIGN.



SECOND FLOOR PLAN ELEV. 'C'

REFER TO ROOF TRUSS
MANUFACTURER'S DRAWINGS FOR
LAYOUT, SPACING, INSTALLATION
DETAILS AND HANGER SIZES.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

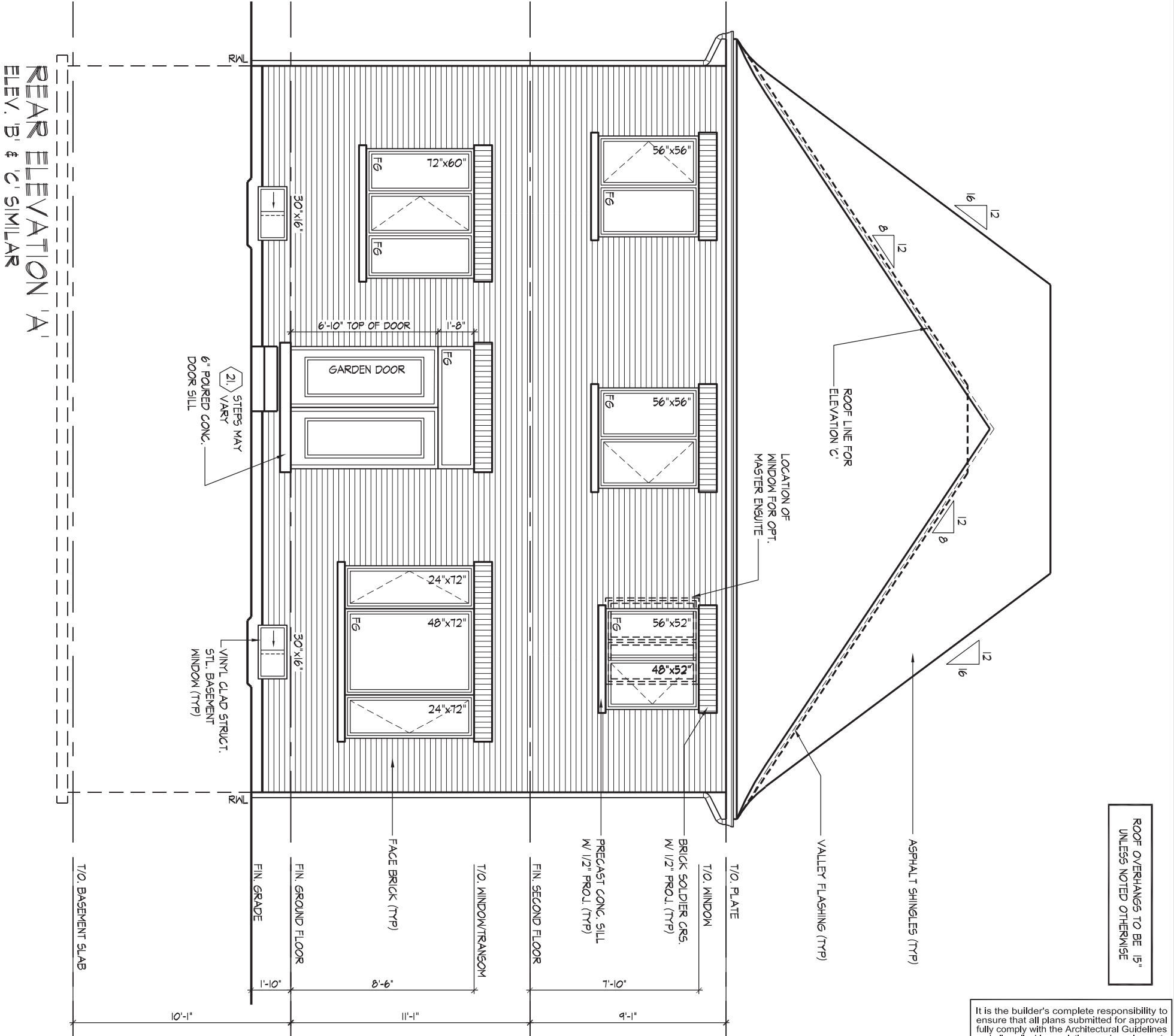
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: MAY 27, 2022
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

SECOND FLOOR PLAN ELEV. 'C'

All drawings specifications related documents and design are the copyright property of Hunt Design Associates (H.D.A). Reproduction of this property in whole or in part is strictly prohibited without H.D.A.'s written permission (H.D.A. assumes no responsibility or liability for this property unless it bears the appropriate BCIN number and original signature).

WINDOW SUMMARY			
PER O.B.C. TABLE 9.10.13.4			
REAR ELEVATION A			
QUAN.	WIDTH	HT. DEPT.	WINDOW / DOOR FRAME SIZE (S.F.)
2	56"	56"	37.56
1	56"	52"	17.33
1	72"	60"	26.44
2	24"	72"	18.89
1	48"	72"	20.78
2	30"	16"	4.33
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
1	DOOR	29.60	29.60
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00
SPATIAL CALCULATION			
EXPOSING BUILDING	746.02	S.F.	
FACE AREA	68.31	S.M.	
PORTION WALL AREA	746.02	S.F.	
	69.31	S.M.	
LIMITING DISTANCE	7.50 m		
MAX. % OPENINGS	50.50	%	
OPENINGS ALLOWED	376.74	S.F.	
OPENINGS PROVIDED	154.93	S.F.	
ADDITIONAL NOTES			
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER			



WTANG | WED MAY 18 22 09:45 AM | K:\PROJECTS\2021\221081\GOLDWORKING\SHINGLES\42\221081\WS4203-FORESTCREST.DWG

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION

NAME: Allan Whiting
SIGNATURE: [Signature]
REGISTRATION INFORMATION: 23177 BCIN

HUNT DESIGN ASSOCIATES INC.

19695

HUNT DESIGN ASSOCIATES INC.
www.huntdesign.ca

GOLDPARK HOMES - 221081
PINE VALLEY PH. 2, VAUGHAN, ON.

Drawn By: O FAIRBARN
Checked By: VS
Scale: 3/16"=1'-0"

UNIT 4203 - THE FORESTCREST
REV.2022.05.16

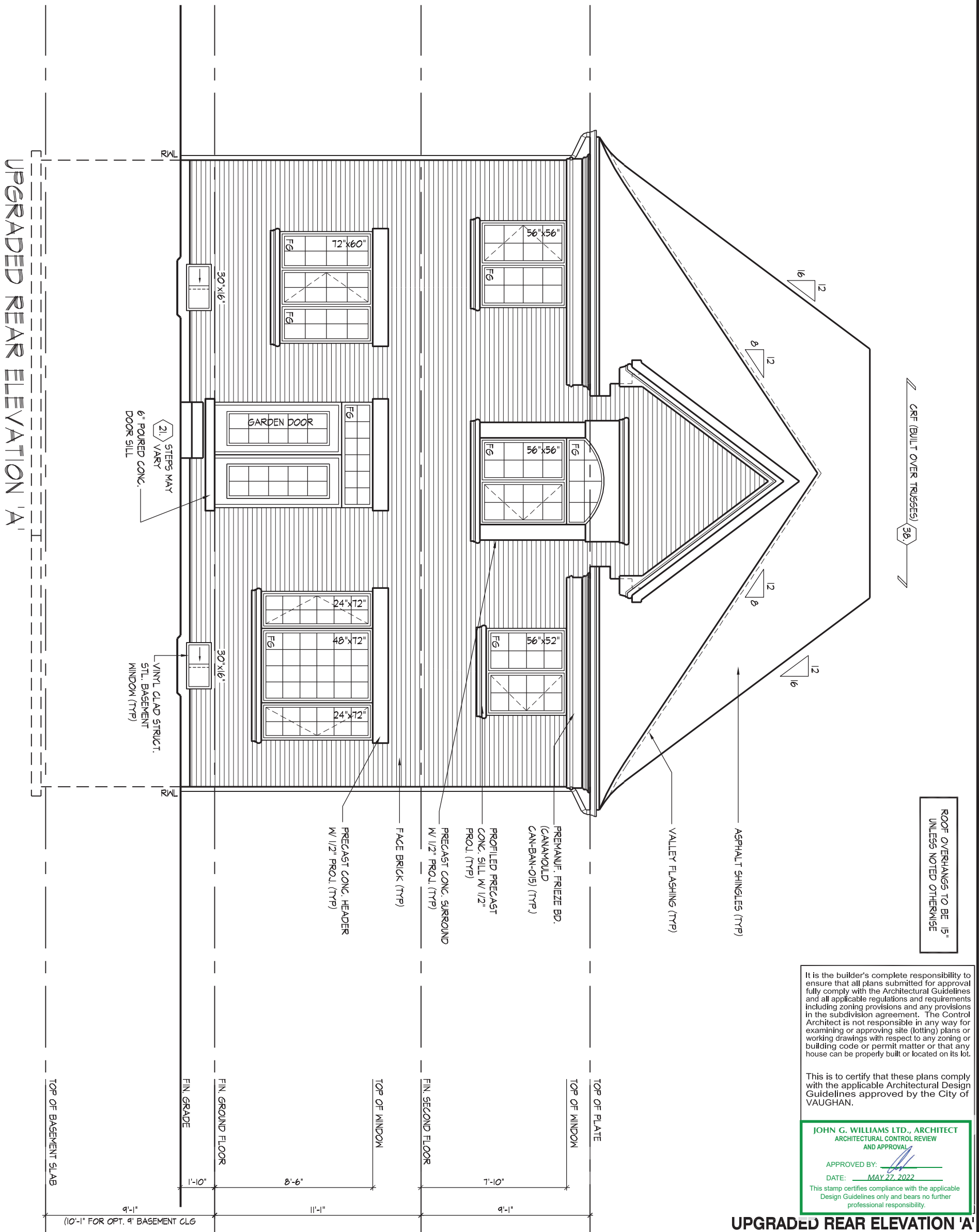
File Number: 221081WS4203.dwg

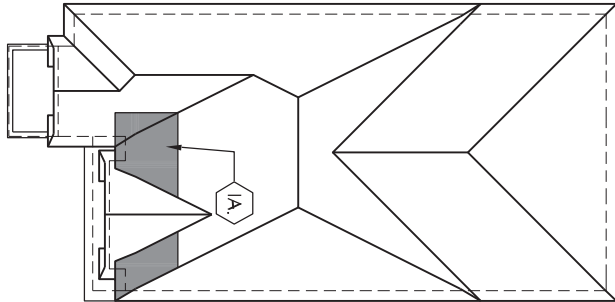
Page Number: 18 of 36

8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

All drawings specifications related documents and design are the copyright property of Hunt Design Associates (H.D.A). Reproduction of this property in whole or in part is strictly prohibited without H.D.A.'s written permission (H.D.A. assumes no responsibility or liability for this property unless it bears the appropriate BCIN number and original signature.)

WINDOW SUMMARY			
PER O.B.C. TABLE 9.10.15.4			
REAR ELEVATION A		WINDOW / DOOR FRAME SIZE (S.F.)	
QUAN.	THICKNESS	HEIGHT	WIDTH
2	56"	56"	37.56
1	56"	52"	17.33
1	72"	60"	26.44
2	24"	72"	18.89
1	48"	72"	20.78
2	30"	16"	4.33
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
1	DOOR	29.60	29.60
1	ARCH	7.90	7.90
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00
SPATIAL CALCULATION			
EXPRESS BUILDING		746.02	S.F.
FACE AREA		69.31	S.M.
PORTION WALL AREA		746.02	S.F.
LIMITING DISTANCE		7.50 m	%
MAX. # OPENINGS		50.50	S.F.
OPENINGS ALLOWED		376.74	S.F.
OPENINGS PROVIDED		162.83	S.F.
ADDITIONAL NOTES			
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER			





ROOF PLAN ELEV. 'B' N.T.S.

PORTICO ELEVATION 'B'

POURED CONC.
DOOR SILL &
PORCH SLAB (TYP.)

POURED CONC.
FOUNDATION WALLS
& FOOTINGS (TYP.)

FRONT ELEVATION 'B'

ROOF OVERHANGS TO BE '15"
UNLESS NOTED OTHERWISE

WINDOW SUMMARY				
PER O.B.C. TABLE 9.10.15.4				
FRONT ELEVATION B				
QUAN.	WIDTH	DEPTH	WINDOW / DOOR	FRAME SIZE (S.F.)
2	24"	64"		18.67
1	48"	64"		18.33
1	72"	64"		28.33
0	0"	0"		0.00
0	0"	0"		0.00
0	0"	0"		0.00
0	0"	0"		0.00
0	0"	0"		0.00
0	0"	0"		0.00
0	0"	0"		0.00
1	ARCH	5.15	5.15	0.00
1	ARCH	7.70	7.70	0.00
1	ARCH	2.70	2.70	0.00
1	DOOR	21.82	21.82	0.00
SPATIAL CALCULATION				
EXPOSING BUILDING	754.67	S.F.		
FACE AREA	70.11	S.M.		
PORTION WALL AREA	754.67	S.F.		
PORTION WALL AREA	70.11	S.M.		
LIMITING DISTANCE	14.00	m		
MAX. % OPENINGS	100.00	%		
OPENINGS ALLOWED	754.67	S.F.		
OPENINGS PROVIDED	100.70	S.F.		
ADDITIONAL NOTES				
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER				

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY:

DATE: MAY 27, 2022

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

FRONT ELEVATION 'B'

WTANG | WED MAY 18 22 09:45 AM | K:\PROJECTS\2021\221081\GOLDWORKING\SINGLES\42\221081\WS4203-FORESTCREST.DWG

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION

Allan Whiting

SIGNATURE

23177

BCIN

REGISTRATION INFORMATION

HUNT DESIGN ASSOCIATES INC.

19695

HUNT
DESIGN ASSOCIATES INC.

www.huntdesign.ca

GOLDPARK HOMES - 221081
PINE VALLEY PH. 2, VAUGHAN, ON.

Drawn By
O FAIRBARN

Checked By

VS

Scale

3/16"=1'-0"

File Number

221081WS4203.dwg

Page Number

20 of 36

8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

All drawings specifications related documents and design are the copyright property of Hunt Design Associates (H.D.A). Reproduction of this property in whole or in part is strictly prohibited without H.D.A.'s written permission (H.D.A. assumes no responsibility or liability for this property unless it bears the appropriate BCIN number and original signature).

LEFT SIDE ELEVATION 'B'

T/O. BASEMENT SLAB

EXTENTS OF SPATIAL
CALCULATIONS.
REFER TO WINDOW SUMMARY FOR
ADDITIONAL INFORMATION

WINDOW SUMMARY				
PER O.B.C. TABLE 9.10.15.4				
LEFT SIDE ELEVATION B				
QUAN.	WIDTH	HT. D	WINDOW / DOOR FRAME SIZE (S.F.)	
1	48"	52"	13.62	
1	32"	72"	14.67	
1	48"	60"	17.11	
1	72"	52"	22.67	
1	72"	64"	28.33	
1	30"	16"	2.17	
0	0"	0"	0.00	
0	0"	0"	0.00	
0	0"	0"	0.00	
0	ARCH	0.00	0.00	
0	ARCH	0.00	0.00	
SPATIAL CALCULATION				
EXPOSING BUILDING				
FACE AREA		149.25	S.F.	
PORTION WALL AREA		137.43	S.M.	
		149.25	S.F.	
		137.43	S.M.	
LIMITING DISTANCE		1.20 m		
MAX. % OPENINGS		7.00	%	
OPENINGS ALLOWED		103.65	S.F.	
OPENINGS PROVIDED		98.17	S.F.	
ADDITIONAL NOTES				
GLAZED AREA CALCULATED W/ FRAME SIZE				
MINUS 2" AROUND ENTIRE PERIMETER				

RW

FIN. GRADE

FIN. GROUND FLOOR

T/O. WINDOW

FIN. SECOND FLOOR

T/O. WINDOW

LOCATION OF WINDOW FOR
OPT. MASTER ENSUITE

BRICK SOLDIER CRS.
W/ 1/2" PROJ. (TYP)

PRECAST CONC. SILL
W/ 1/2" PROJ. (TYP)

STAIR LANDING

—FACE BRICK (TYP) —→

—SMOOTH STONE
—VENEER (TYPE)

- VINYL CLAD STRUCT.
STL. BASEMENT
WINDOW (TYP)

RW

RW

23177
BCIN

19695

HUNT 
DESIGN ASSOCIATES INC.
www.huntdesign.ca

GOLDPARK HOMES - 221081
PINE VALLEY PH. 2, VAUGHAN, ON.

UNIT 4203 - THE FORESTCREST
REV.2022.05.16

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: 

DATE: MAY 27, 2022

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

LEFT SIDE ELEVATION 'B'

WTANG | WED MAY 18 22 09:45 AM | K:\PROJECTS\2021\221081.GOLD\WORKING\SINGLES\421221081WS4203-FORESTCREST.DWG

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION

NAME

REGISTRATION INFORMATION

HUNT DESIGN ASSOCIATES INC.

23177
BCIN

19695

www.huntdesign.ca

Drawn By	Checked By	Scale
G. E. BARN	VS	0.1" = 1'-0"

O FAIRBARN VS 3/16"=1-0"

8966 Woodbine Ave. Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

File Number
001001W04000 - 1000

221081VWS4203.dwg

Page Number
01 of 00

21 of 36

All drawings specifications related documents and design are the copyright property of Hunt Design Associates (H.D.A). Reproduction of this property in whole or in part is strictly prohibited without H.D.A.'s written permission (H.D.A. assumes no responsibility or liability for this property unless it bears the appropriate BCIN number and original signature.)

RIGHT SIDE ELEVATION 'B'

WINDOW SUMMARY				
PER O.B.C. TABLE 9.10.15.4				
RIGHT SIDE ELEVATION B				
QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	
2	24"	48"	12.22	
1	48"	52"	14.67	
1	72"	64"	28.33	
1	30"	16"	2.17	
0	0"	0"	0.00	
0	0"	0"	0.00	
0	0"	0"	0.00	
0	0"	0"	0.00	
0	0"	0"	0.00	
0	0"	0"	0.00	
0	ARCH	0.00	0.00	
0	ARCH	0.00	0.00	
0	ARCH	0.00	0.00	
0	ARCH	0.00	0.00	
SPATIAL CALCULATION				
EXPOSING BUILDING			S.F.	
FACE AREA				
PORTION WALL AREA	131.43	S.M.	149.25	
LIMITING DISTANCE	149.25	S.F.		
MAX. % OPENINGS	120"	%		
OPENINGS ALLOWED	7.00	%		
OPENINGS PROVIDED	103.65	S.F.		
	57.39	S.F.		
ADDITIONAL NOTES				
GLAZED AREA CALCULATED W/ FRAME SIZE				
MINUS 2" AROUND ENTIRE PERIMETER				

EXTENTS OF SPATIAL
CALCULATIONS.
REFERR TO WINDOW SUMMARY FOR
ADDITIONAL INFORMATION

ROOF OVERHANGS TO BE 15"
UNLESS NOTED OTHERWISE

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: 
DATE: MAY 27, 2022

This stamp certifies compliance with the applicable
Design Guidelines only and bears no further
professional responsibility.

RIGHT SIDE ELEVATION 'B'

GOLDPARK HOMES - 221081
PINE VALLEY PH. 2, VAUGHAN, ON.

UNIT 4203 - THE FORESTCREST
REV.2022.05.16

Drawn By	Checked By	Scale	File Number	Page Number
O FAIRBARN	VS	3/16"=1'-0"	221081WS4203.dwg	23 of 36
8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326				

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION
Allan Whiting

Allan Whiting
 NAME

 SIGNATURE

NAME
REGISTRATION INFORMATION

HUNT DESIGN ASSOCIATES INC.

23177
BCIN

BCIN

19695



HUNT 
DESIGN ASSOCIATES INC.

www.huntdesign.ca

All drawings specifications related documents and design are the copyright property of Hunt Design Associates (H.D.A). Reproduction of this property in whole or in part is strictly prohibited without H.D.A.'s written permission (H.D.A. assumes no responsibility or liability for this property unless it bears the appropriate BCIN number and original signature).

LEFT SIDE ELEVATION'S

TOP OF BASEMENT SLAB

EXTENTS OF SPATIAL
CALCULATIONS.
REFER TO WINDOW SUMMARY FOR
ADDITIONAL INFORMATION

WINDOW SUMMARY				
PER O.E.C. TABLE 9.10.15.4				
LEFT SIDE ELEVATION C			WINDOW / DOOR FRAME SIZE (S.F.)	
QUAN.	WIDTH	DEPTH		
1	48"	52"	13.67	14.62
1	32"	72"	2.32	3.12
1	48"	60"	17.11	
1	72"	52"	22.67	
1	32"	64"	28.33	
1	72"	16"	2.17	
0	0"	0"	0.00	
0	0"	0"	0.00	
0	0"	0"	0.00	
0	0"	0"	0.00	
0	ARCH	0.00	0.00	
0	ARCH	0.00	0.00	
0	ARCH	0.00	0.00	
SPATIAL CALCULATION				
EXPOSING BUILDING				
FACE AREA		1477.67	S.F.	
PORTION WALL AREA		137.28	S.U.M.	
LIMITING DISTANCE		1.20 m		
MAX. # OPENINGS		7.00	%	
OPENINGS ALLOWED		103.44	S.F.	
OPENINGS PROVIDED		98.17	S.F.	
ADDITIONAL NOTES				
GLAZED AREA CALCULATED W/ FRAME SIZE				
MINUS 2' AROUND ENTIRE PERIMETER				

271-q

LOCATION OF WINDOW FOR OPT.

BRICK SOLDIER CRS.
W/ 1/2" PROJ. (TYP)

PRECAST CONC. SILL
W/ 1/2" PROJ. (TYP)

TOP OF WINDOW

-FIN. SECOND FLOOR

FIN. GROUND FLOOR

FIN. GRADE

RW

10-1"

ROOF OVERHANGS TO BE 15"
UNLESS NOTED OTHERWISE

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: 
DATE: MAY 27, 2022

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

LEFT SIDE ELEVATION 'C'

PROVIDE ICE
& WATER

ALUM. CAP SLOPED 2%

ROOF SADDLE

6" MTL. FLASHING W/ CAULKING
BEHIND CLADDING (TYP.)

-CAULKING TO MATCH
MASONRY COLOR (TYP.)

STAIR LANDING

—ALUM. CLAD —
—WOOD TRIM (TYP)

-VINYL CLAD STRUCT

WINDOW (TYPE)

ASSESSMENT

WTANG | WED MAY 18 22 09:45 AM | K:\PROJECTS\2021\221081.GOLD\WORKING\SINGLES\42\221081\WS4203-FORESTCREST.DWG

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION
Allan Whiting

NAME
REGISTRATION INFORMATION

HUNT DESIGN ASSOCIATES INC.


SIGNATURE

23177
BCIN

BCIN

19695



HUNT 
DESIGN ASSOCIATES INC.

www.huntdesign.ca

GOLDPARK HOMES - 221081
PINE VALLEY PH. 2, VAUGHAN, ON.

Drawn By O FAIRBARN Checked By VS Scale 3/16"=1'-0"

8966 Woodbine Ave. Markham, ON L3R 0J7

UNIT 4203 - THE FORESTCREST
REV.2022.05.16

File Number
1081WS4203.dwc

F 905,737,7326

Page Number
25 of 36

All drawings specifications related documents and design are the copyright property of Hunt Design Associates (H.D.A.). Reproduction of this property in whole or in part is strictly prohibited without H.D.A.'s written permission (H.D.A. assumes no responsibility or liability for this property unless it bears the appropriate BCIN number and original signature.)

T/O. BASEMENT SLAB

EXTENTS OF SPATIAL
CALCULATIONS.
REFER TO WINDOW SUMMARY FOR
ADDITIONAL INFORMATION

ROOF OVERHANGS TO BE 15"
UNLESS NOTED OTHERWISE

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY:  _____

DATE: MAY 27, 2022

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

WINDOW SUMMARY					
PER O.B.C. TABLE 9.10.15.4					
LEFT SIDE ELEV. A - 5 BDRM.					
QUAN.	WIDTH	H.T.	WINDOW / DOOR FRAME SIZE (S.F.)		
1	48"	52"	14.67	S.F.	
1	24"	48"	6.11	S.F.	
1	32"	72"	13.22	S.F.	
6	48"	60"	17.11	S.F.	
1	72"	64"	28.33	S.F.	
1	30"	16"	2.17	S.F.	
0	0"	0"	0.00	S.F.	
0	0"	0"	0.00	S.F.	
0	0"	0"	0.00	S.F.	
0	0"	0"	0.00	S.F.	
0	ARCH		0.00	S.M.	
0	ARCH		0.00	S.M.	
0	ARCH		0.00	S.M.	
0	ARCH		0.00	S.M.	
SPATIAL CALCULATION					
EXPOSING BUILDING FACE AREA		1477.67	S.F.		
PORTION WALL AREA		137.28	S.M.		
LIMITING DISTANCE MAX. OPENINGS ALLOWED		1477.67	S.F.		
OPENINGS PROVIDED		137.28	S.M.		
ADDITIONAL NOTES		1.20 m	%		
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2' AROUND ENTIRE PERIMETER		7.00	%		
		103.44	S.F.		
		81.61	S.F.		

LEFT SIDE ELEVATION 'C' - OPT. 5 BEDROOM PLAN

WTANG | WED MAY 18/22 09:45 AM | K:\PROJECTS\2021\221081.GOLD\WORKING\SINGLES\42'221081\WS4203-FORESTCREST.DWG

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION
Allan Whiting

NAME _____

REGISTRATION INFORMATION _____

HUNT DESIGN ASSOCIATES INC.

23177
BCIN

BCIN



HUNT
DESIGN ASSOCIATES INC.

www.huntdesign.ca

GOLDPARK HOMES - 221081
PINE VALLEY PH. 2, VAUGHAN, ON.

UNIT 4203 - THE FORESTCREST
REV.2022.05.16

Drawn By	Checked By	Scale
O FAIRBARN	VS	3/16"=1'-0"
8966 Woodbine Ave, Markham, ON L3R 0J7		

File Number
221081WS4203.dwg

01091\MS42

F 905.737.7326

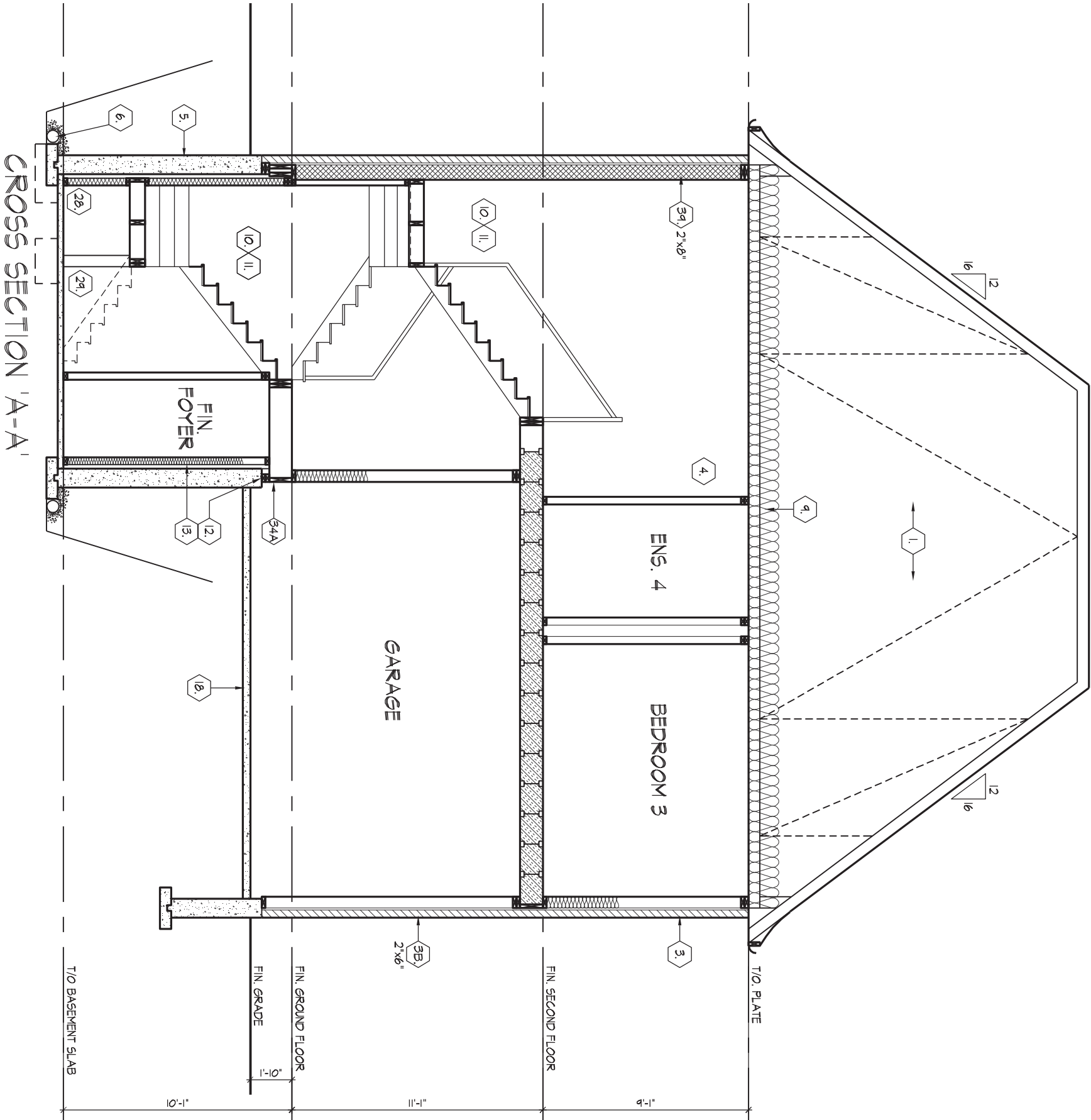
Page Number
26 of 36

All drawings specifications related documents and design are the copyright property of Hunt Design Associates (H.D.A.). Reproduction of this property in whole or in part is strictly prohibited without H.D.A.'s written permission (H.D.A. assumes no responsibility or liability for this property unless it bears the appropriate BCIN number and original signature).



100 COMMERCE VALLEY Dr. W.
THORNHILL, ONTARIO CANADA L3T 0A1
TEL: 1-905-882-4211 FAX: 1-905-822-0055 WWW.WSPGROUP.CA

FOR STRUCTURAL ONLY. EXCLUDING
ENGINEERED ROOF TRUSS, FLOOR
JOIST, AND FLOOR LVL BEAM DESIGN.



CROSS SECTION 'A-A'

WTANG | WED MAY 18 22 09:45 AM | K:\PROJECTS\2021\221081.GOLDWORKING\SINGLES\42\221081\WS4203-FORESTCREST.DWG

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS
DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET
OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION

Allan Whiting
SIGNATURE

23177
BCIN

REGISTRATION INFORMATION

HUNT DESIGN ASSOCIATES INC.

19695

HUNT
DESIGN ASSOCIATES INC.
www.huntdesign.ca

GOLDPARK HOMES - 221081
PINE VALLEY PH. 2, VAUGHAN, ON.

Drawn By
O FAIRBARN
Checked By
VS
Scale
3/16"=1'-0"

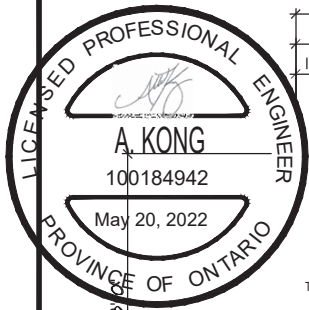
UNIT 4203 - THE FORESTCREST
REV.2022.05.16

File Number
221081WS4203.dwg

Page Number
28 of 36

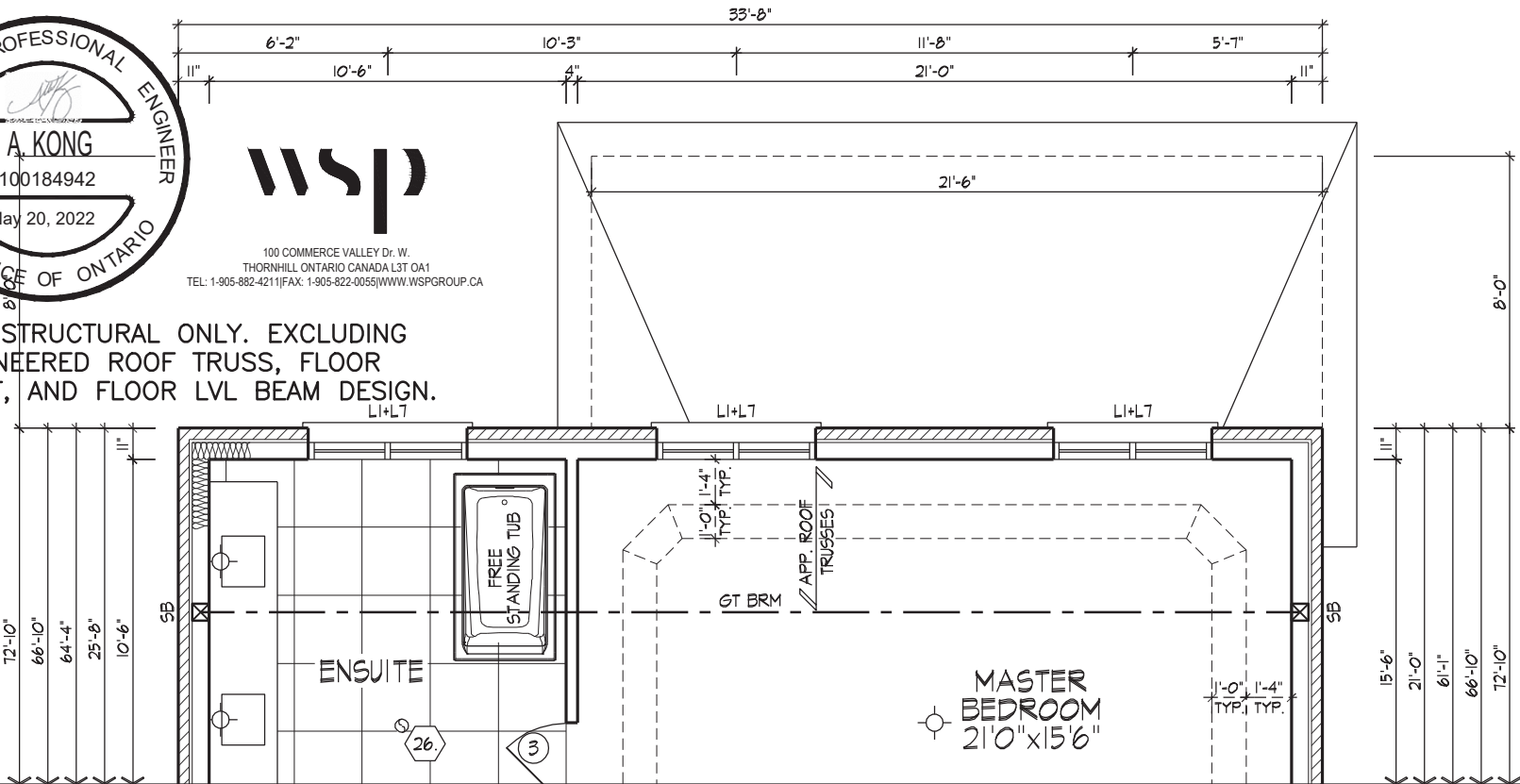
8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

All drawings specifications related documents and design are the copyright property of Hunt Design Associates (H.D.A). Reproduction of this property in whole or in part is strictly prohibited without H.D.A.'s written permission (H.D.A. assumes no responsibility or liability for this property unless it bears the appropriate BCIN number and original signature.)

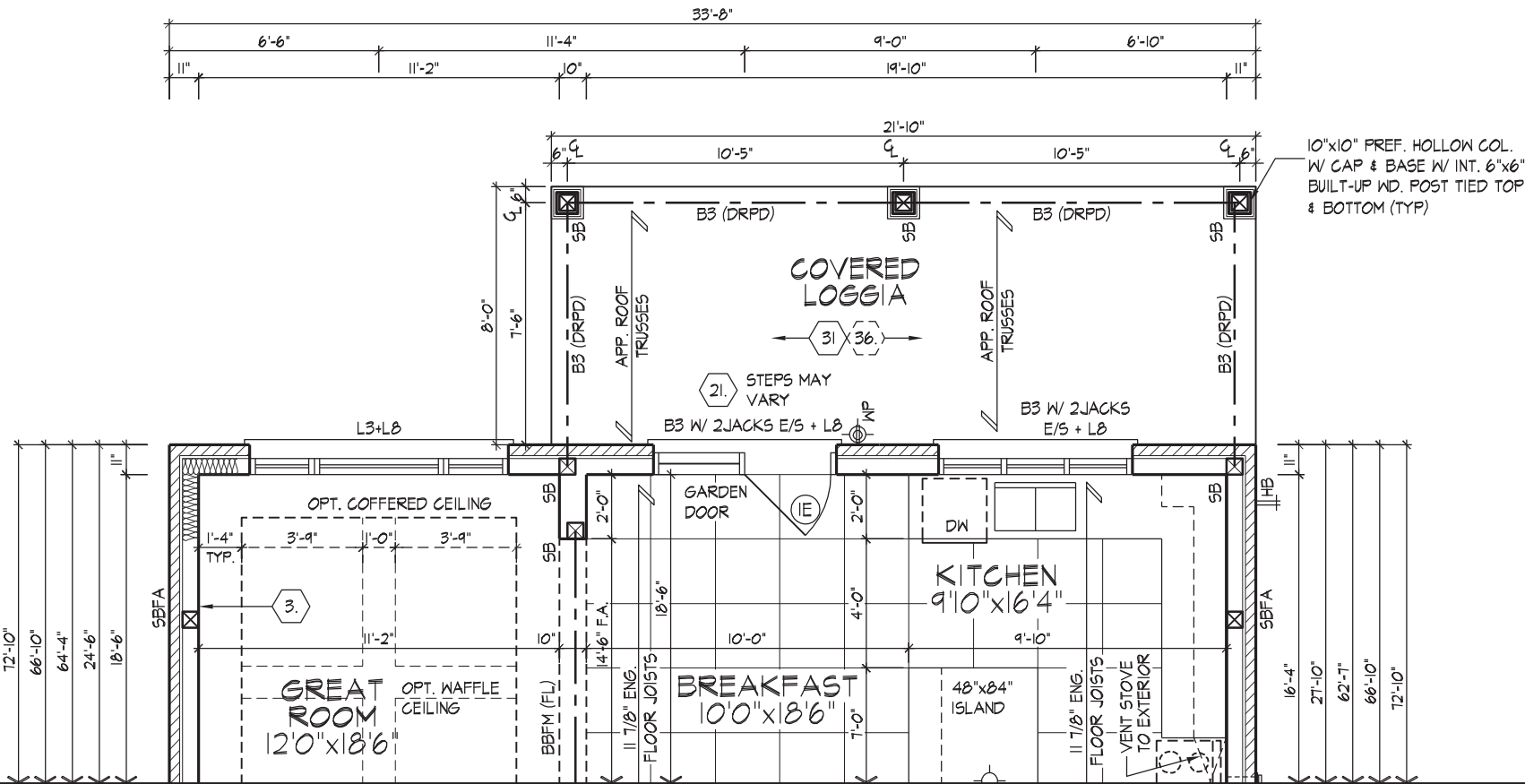


100 COMMERCE VALLEY DR. W.
THORNHILL, ONTARIO CANADA L3T 0A1
TEL: 1-905-882-4211 FAX: 1-905-822-0055 WWW.WSPGROUP.CA

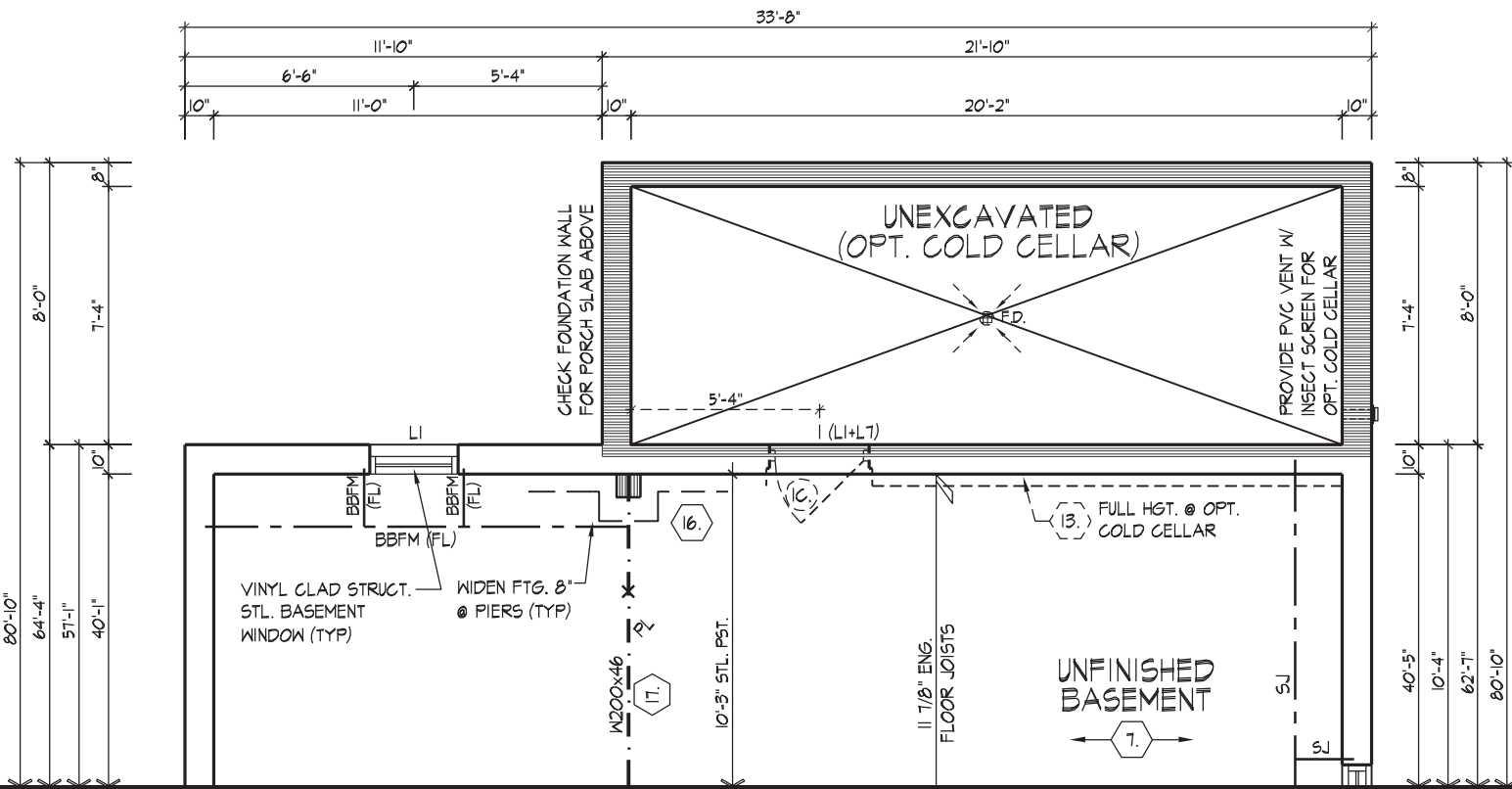
FOR STRUCTURAL ONLY. EXCLUDING
ENGINEERED ROOF TRUSS, FLOOR
JOIST, AND FLOOR LVL BEAM DESIGN.



PART. SECOND FLOOR PLAN ELEV. 'A' - OPT. LOGGIA COND.
(ELEV. 'B' & 'C' SIMILAR)



PART. GROUND FLOOR PLAN ELEV. 'A' - OPT. LOGGIA COND.
(ELEV. 'B' & 'C' SIMILAR)



PART. BASEMENT PLAN ELEV. 'A' - OPT. LOGGIA COND.
(ELEV. 'B' & 'C' SIMILAR)

PART. FLOOR PLANS - OPT. LOGGIA COND.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: MAY 27, 2022
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

WTANG | WED MAY 18 22 09:45 AM | K:\PROJECTS\2021\221081.GOLDWORKING\SINGLES\42\221081WS4203-FORESTCREST.DWG

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION

Allan Whiting
NAME SIGNATURE

23177
BCIN

REGISTRATION INFORMATION

HUNT DESIGN ASSOCIATES INC.

19695

HUNT DESIGN ASSOCIATES INC.
www.huntdesign.ca

GOLDPARK HOMES - 221081
PINE VALLEY PH. 2, VAUGHAN, ON.

UNIT 4203 - THE FORESTCREST
REV.2022.05.16

Drawn By O FAIRBARN

Checked By VS

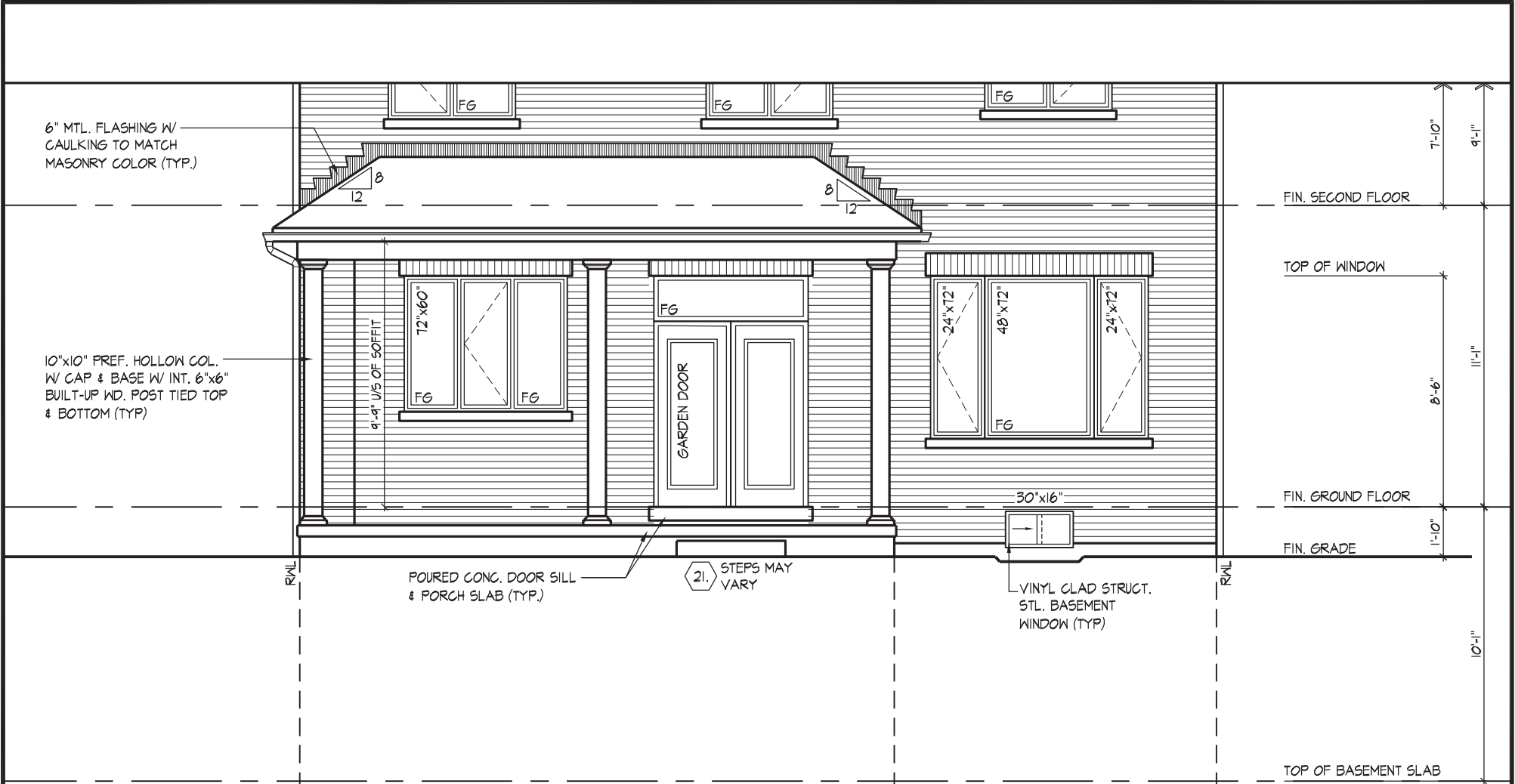
Scale 3/16"=1'-0"

File Number 221081WS4203.dwg

Page Number 29 of 36

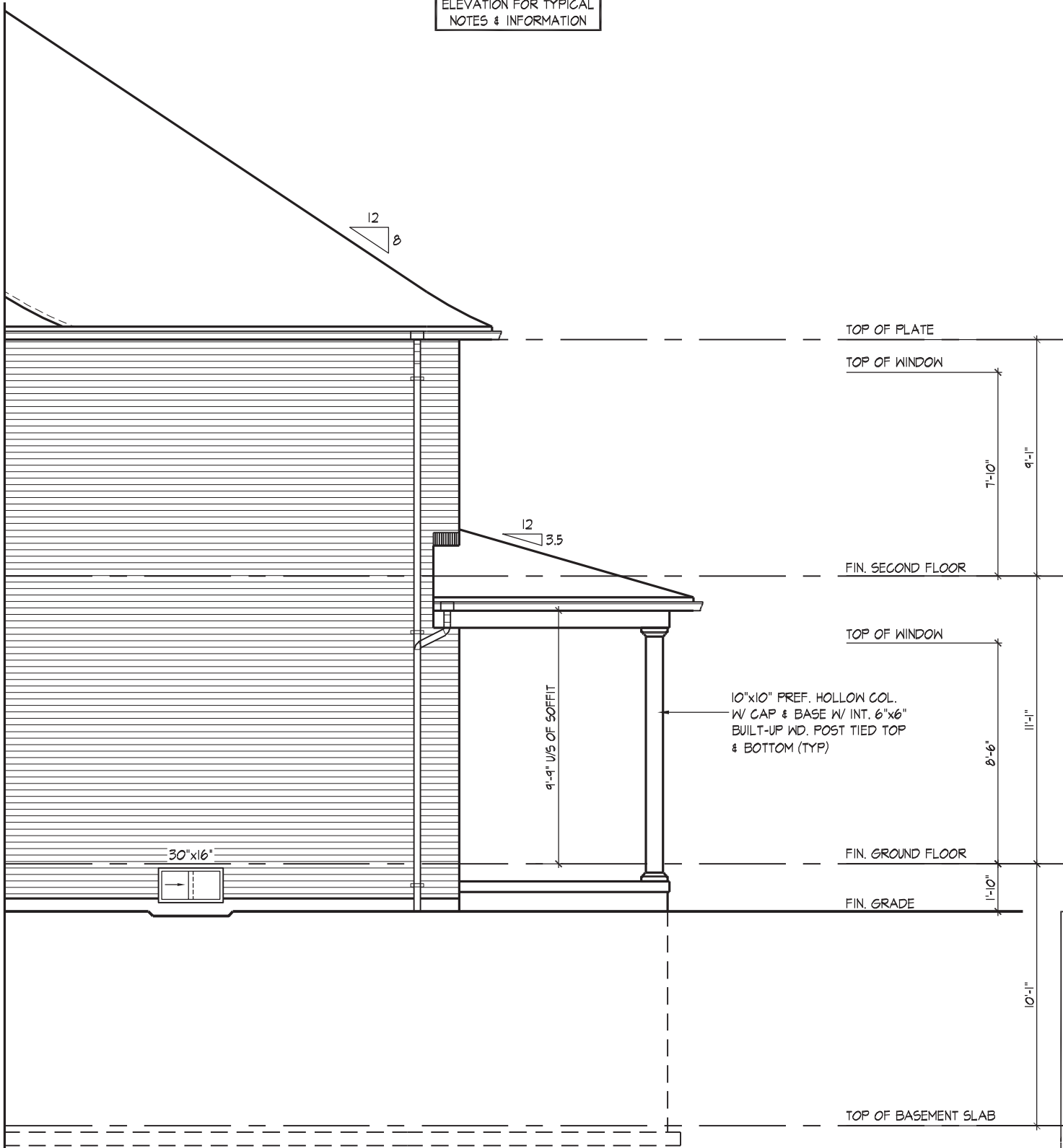
8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

All drawings specifications related documents and design are the copyright property of Hunt Design Associates (H.D.A). Reproduction of this property in whole or in part is strictly prohibited without H.D.A.'s written permission (H.D.A. assumes no responsibility or liability for this property unless it bears the appropriate BCIN number and original signature.)



PART. REAR ELEVATION 'A' - OPT. LOGGIA COND.
(ELEV. 'B' & 'C' SIMILAR)

REFER TO STANDARD
ELEVATION FOR TYPICAL
NOTES & INFORMATION



PART. RIGHT SIDE ELEVATION 'A' - OPT. LOGGIA COND.
(ELEV. 'B' & 'C' SIMILAR)

REFER TO STANDARD
ELEVATION FOR TYPICAL
NOTES & INFORMATION

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY:
DATE: MAY 27, 2022
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

PART. ELEVATIONS - OPT. LOGGIA COND.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION

NAME: Allan Whiting
SIGNATURE:

23177
BCIN

REGISTRATION INFORMATION

HUNT DESIGN ASSOCIATES INC.

19695

HUNT
DESIGN ASSOCIATES INC.

www.huntdesign.ca

GOLDPARK HOMES - 221081
PINE VALLEY PH. 2, VAUGHAN, ON.

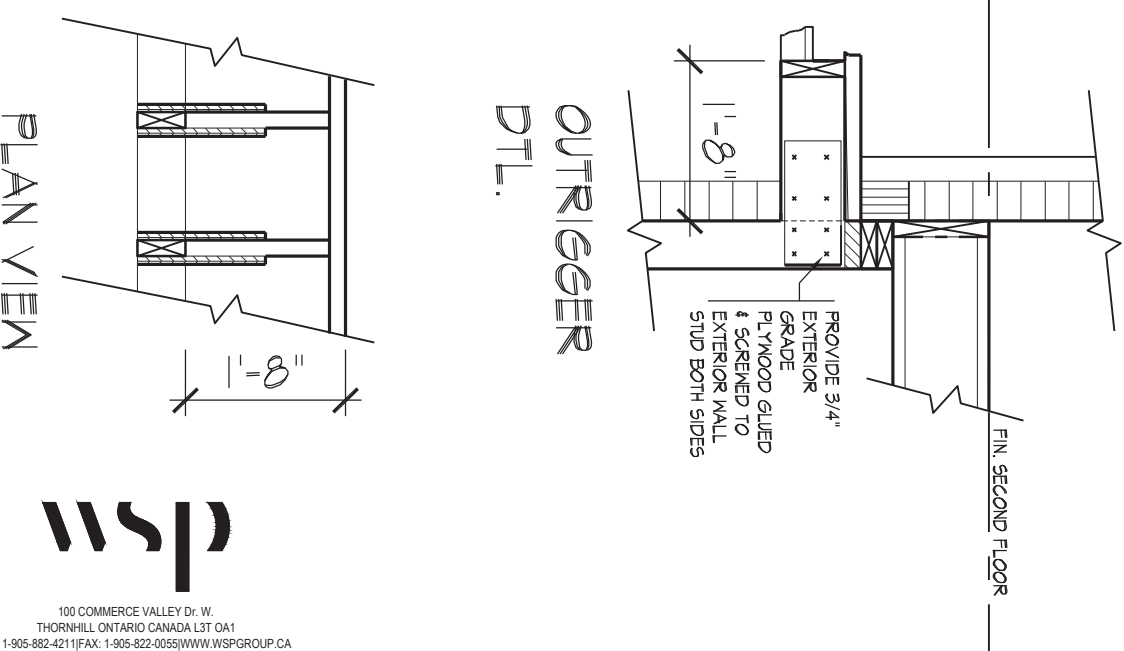
Drawn By: O FAIRBARN
Checked By: VS
Scale: 3/16"=1'-0"

UNIT 4203 - THE FORESTCREST
REV.2022.05.16

File Number: 221081WS4203.dwg

Page Number: 30 of 36

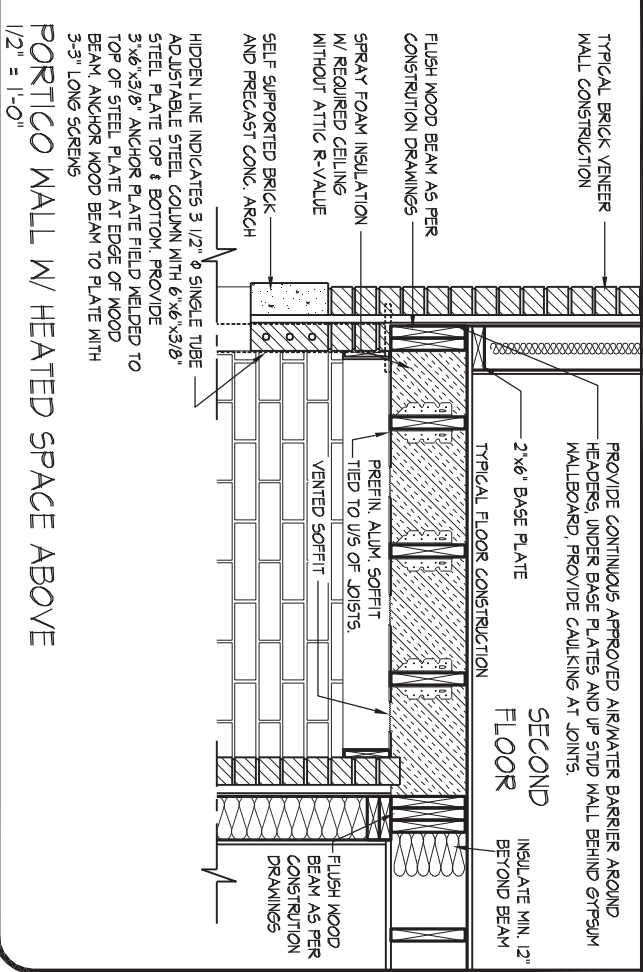
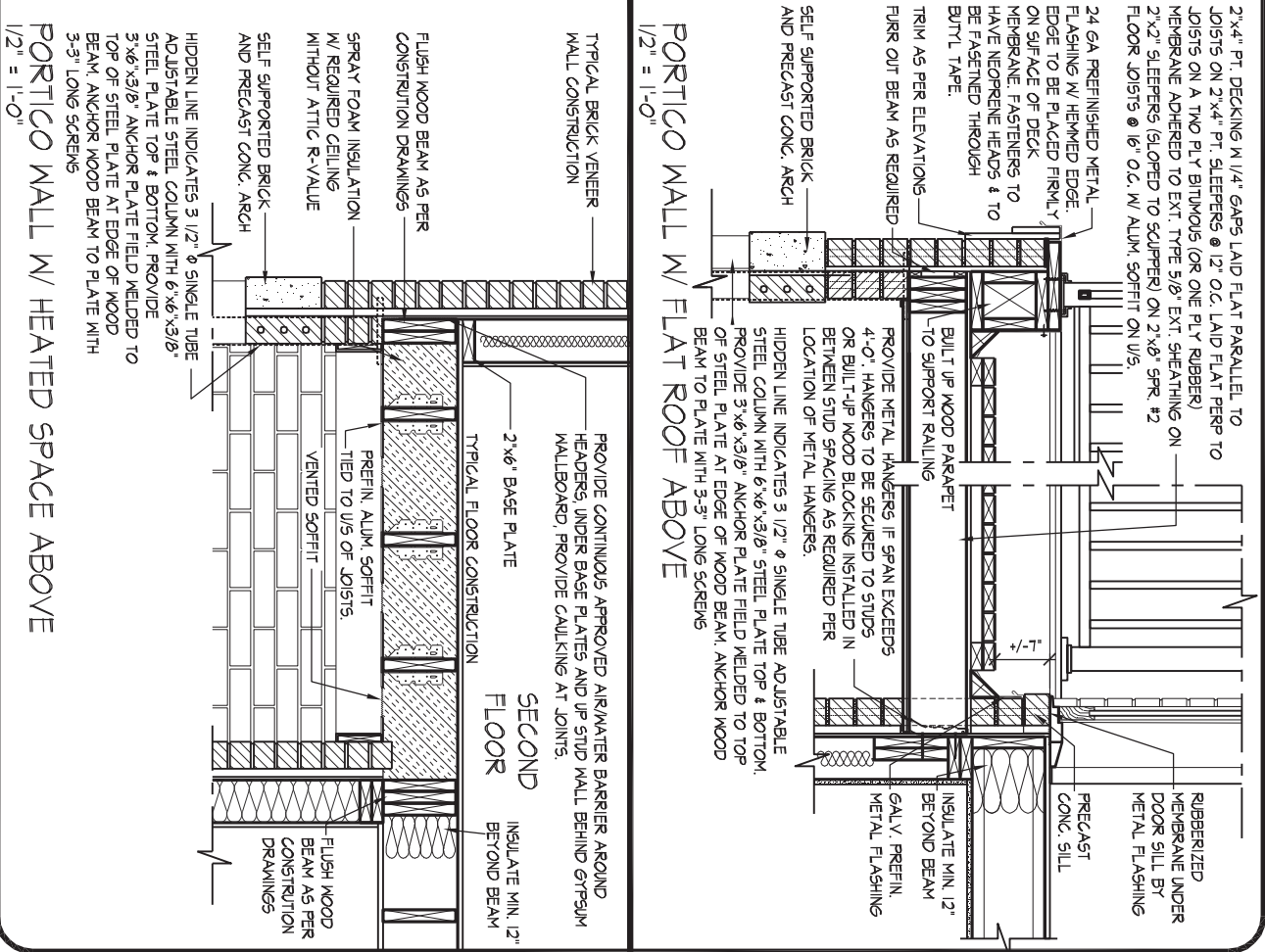
8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326



100 COMMERCE VALLEY Dr. W.
THORNHILL ONTARIO CANADA L3T 0A1
TEL: 1-905-882-4211/FAX: 1-905-822-0055/WWW.WSPGROUP.CA



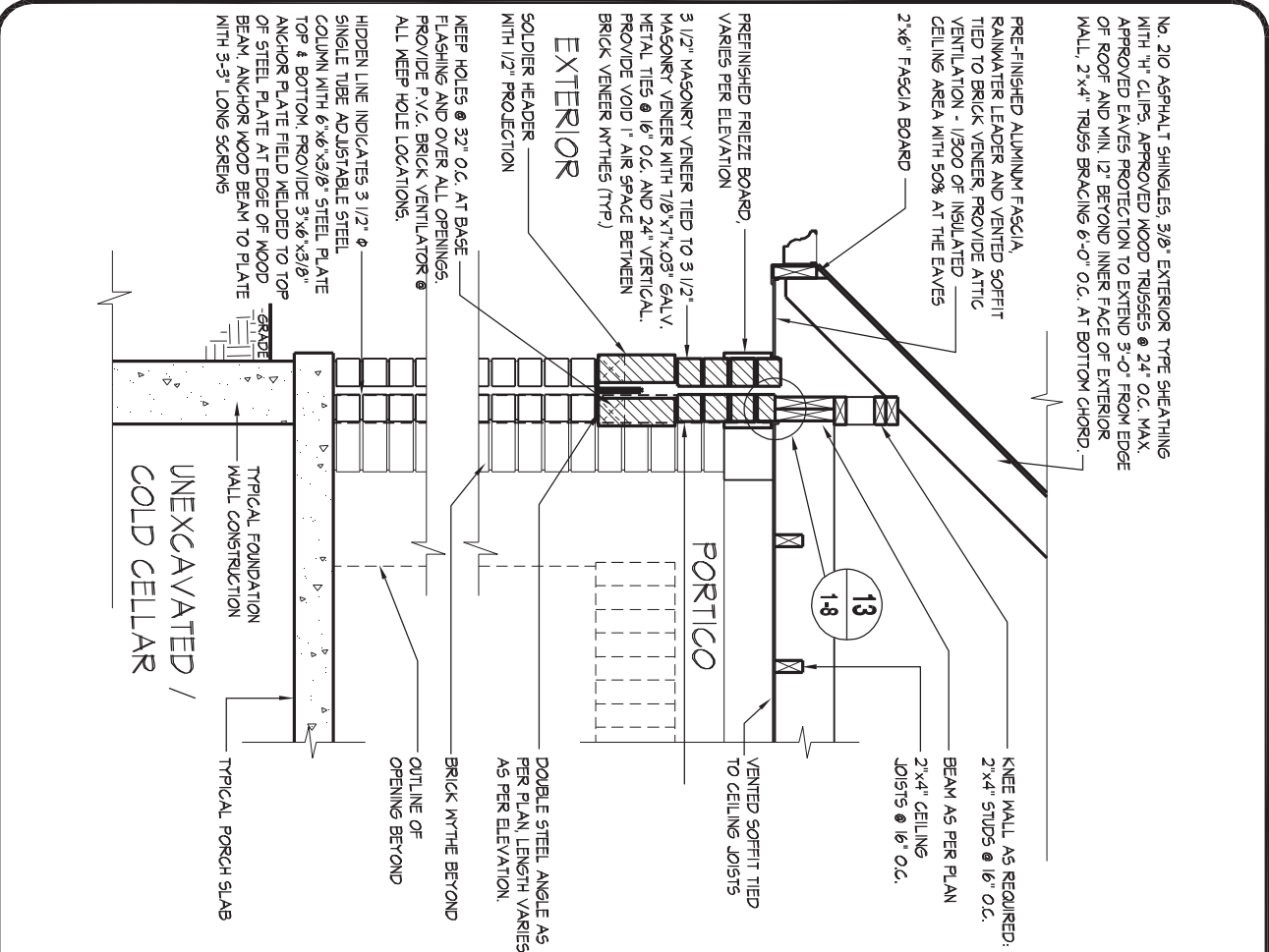
FOR STRUCTURAL ONLY. EXCLUDING
ENGINEERED ROOF TRUSS, FLOOR
JOIST, AND FLOOR LVL BEAM DESIGN.



PORTICO WALL W/ HEATED SPACE ABOVE
1/2" = 1'-0"

TYPICAL BRICK PORTICO WALL (DOUBLE BRICK VENEER W/THE WALL)

14
1/2" = 1'-0"



TYPICAL BRICK PORTICO WALL (DOUBLE BRICK VENEER W/THE WALL)
1/2" = 1'-0"

cont. SECTION 1.0. CONSTRUCTION NOTES

39

TWO STOREY VOLUME SPACES

(9.23.10.1., 9.23.11., 9.23.16.)

WALL ASSEMBLY		WIND LOADS			
EXTERIOR	STUDS	<= 0.5 kPa (q50)		> 0.5 kPa (q50)	
		SPACING	MAX HEIGHT	SPACING	MAX HEIGHT
BRICK	2-2"x6" (2-38x140) SPR. #2	12" (305) O.C.	18'-4" (5588)	8" (200) O.C.	18'-4" (5588)
SIDING	2-2"x6" (2-38x140) SPR. #2	16" (406) O.C.	18'-4" (5588)	12" (305) O.C.	18'-4" (5588)
BRICK	2-2"x8" (2-38x184) SPR. #2	12" (305) O.C.	21'-0" (6400)	12" (305) O.C.	21'-0" (6400)
SIDING	2-2"x8" (2-38x184) SPR. #2	16" (406) O.C.	21'-0" (6400)	16" (406) O.C.	21'-0" (6400)
** STUD SIZE & SPACING TO BE VERIFIED BY STRUCTURAL ENGINEER **					

STUDS ARE TO BE CONTINUOUS, C/W 3/8" (9.5) THICK EXTERIOR PLYWOOD SHEATHING, PROVIDE SOLID WOOD BLOCKING BETWEEN WOOD STUDS @ 4'-0" (1220) O.C. VERTICALLY.

- FOR HORIZ. DISTANCES LESS THAN 9'-6" (2896) PROVIDE 2"x6" (38x140) STUDS @ 16" (406) O.C. WITH CONTIN. 2-2"x6" (2-38x140) TOP PLATE + 1-2"x6" (1-38x140) BOTTOM PLATE & MIN. OF 3-2"x8" (3-38x184) CONT. HEADER AT GROUND FLOOR CEILING LEVEL TOE-NAILED & GLUED AT TOP, BOTTOM PLATES & HEADERS.

40

1 HR. PARTY WALL (CONC. BLOCK)

((SB-3] WALL TYPE 'B6e' & 'B1b')

1/2" (12.7) GYPSUM SHEATHING ON EACH SIDE ON 2"x2" (38x38) VERTICAL WD. STRAPPING @ 24" (610) O.C. ON 8" (200) CONC. BLOCK FILL STRAPPING CAVITY EACH SIDE WITH AT LEAST 90% OF ABSORPTIVE MATERIAL PROCESSED FROM ROCK, SLAG OR GLASS, TAPE, FILL & SAND ALL GYPSUM JOINTS. EXPOSED BLOCK MUST BE SEALED W/ 2 COATS OF PAINT OR FURRED WITH 2"x2" (38x38) WD. STRAPPING & 1/2" (12.7) GYPSUM SHEATHING.

40

DBL. STUD

1 HR. PARTY WALL (DOUBLE STUD)

((SB-3] WALL TYPE 'W13c')

5/8" (15.9) TYPE 'X' GYPSUM SHEATHING ON EXTERIOR SIDE OF 2 ROWS OF 2"x4" (38x89) STUDS @ 16" (406) O.C., MIN. 1" (25) APART ON SEPARATE 2"x4" (38x89) SILL PLATES. (2"x6" (38x140) AS REQUIRED) FILL ONE SIDE OF STUD CAVITY WITH AT LEAST 90% OF ABSORPTIVE MATERIAL PROCESSED FROM ROCK, SLAG OR GLASS, TAPE FILL AND SAND ALL GYPSUM JOINTS.

40A

2 HR. FIREWALL

((SB-3] WALL TYPE 'B6e' & 'B1b')

1/2" (12.7) GYPSUM SHEATHING ON EACH SIDE ON 2"x2" (38x38) VERTICAL WOOD STRAPPING @ 24" (610) O.C ON 8" (200) CONC. BLOCK 75% SOLID. FILL STRAPPING CAVITY EACH SIDE WITH AT LEAST 90% OF ABSORPTIVE MATERIAL PROCESSED FROM ROCK, SLAG OR GLASS, TAPE, FILL & SAND ALL GYPSUM JOINTS. AT UNFINISHED AREAS, EXTERIOR FACE OF CONC. BLOCK TO BE SEALED WITH 2 COATS OF PAINT. GYPSUM SHEATHING TO BE ATTACHED TO CONC. BLOCK. (REFER TO DETAILS)

41

STUCCO WALL CONSTRUCTION (2"x6")

STUCCO FINISH CONFORMING TO O.B.C. SECTION 9.28, AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1 1/2" (38) E.I.F.S. (MINIMUM) ON APPROVED DRAINAGE MAT ON 1/2" (12.7) DENSGLASS GOLD GYPSUM BOARD ON STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1., INSULATION, APPROVED 6 MIL. POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (REFER TO 35 NOTE AS REQUIRED)

41A

STUCCO WALL CONSTRUCTION (2"x6") W/ CONTIN. INSUL.

STUCCO FINISH CONFORMING TO O.B.C. SECTION 9.28, AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1 1/2" (38) E.I.F.S. (MINIMUM) ON APPROVED DRAINAGE MAT ON APPROVED AIR/WATER BARRIER AS PER O.B.C. 9.27.3. ON EXTERIOR TYPE RIGID INSULATION (JOINTS UNTAPED) MECHANICALLY FASTENED AS PER MANUFACTURERS SPECIFICATIONS, ON 7/16" EXTERIOR TYPE SHEATHING ON STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1., INSULATION, APPROVED 6 MIL. POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (REFER TO 35 NOTE AS REQUIRED)

41B

STUCCO WALL @ GARAGE CONST.

STUCCO FINISH CONFORMING TO O.B.C. SECTION 9.28, AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1 1/2" (38) E.F.I.S (MINIMUM) ON APPROVED DRAINAGE MAT ON 1/2" (12.7) DENSGLASS GOLD GYPSUM BRD. ON STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1., 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (REFER TO 35 NOTE AS REQ.)

*** FOR DWELLINGS USING CONTIN. INSULATION CONSTRUCTION, PROVIDE APPROVED DRAINAGE MAT ON 7/16" (11) EXTERIOR TYPE SHEATHING OVER FURRING (AS REQ.) AND STUDS IN LIEU OF 1 1/2" (38) E.F.I.S (MINIMUM) ON APPROVED DRAINAGE MAT ON 1/2"(12.7) DENSGLASS GOLD GYPSUM BRD.

42

UNSUPPORTED FOUNDATION WALLS

(9.15.4.2.)

REINFORCING AT STAIRS AND SUNKEN FLOOR AREAS

2-20M BARS IN TOP PORTION OF WALL (UP TO 8'-0" OPENING)

3-20M BARS IN TOP PORTION OF WALL (8'-0" TO 10'-0" OPENING)

4-20M BARS IN TOP PORTION OF WALL (10'-0" TO 15'-0" OPENING)

- BARS STACKED VERTICALLY AT INTERIOR FACE OF WALL @ 6" O.C.

REINFORCING AT BASEMENT WINDOWS

2-15M HORIZ. REINFORCING ON THE INSIDE AND OUTSIDE FACE OF THE FOUNDATION WALL BELOW THE WIN. SILL. EXTEND BARS 24" (610) BEYOND THE OPENING. 2-15M VERTICAL REINFORCING ON THE INSIDE AND OUTSIDE FACE OF THE FOUNDATION WALL ON EACH SIDE OF THE WINDOW OPENING.

- BARS TO HAVE MIN. 1" (25) CONC. COVER

- BARS TO EXTEND 2'-0" (610) BEYOND BOTH SIDES OF OPENING

43

STUD WALL REINFORCEMENT

PROVIDE STUD WALL REINFORCEMENT IN MAIN BATHROOM CONFORMING TO O.B.C. (9.5.2.3.(1)) (REFER TO DETAILS)

44

WINDOW WELLS

WHERE A WINDOW OPENS INTO A WINDOW WELL, A CLEARANCE OF NOT LESS THAN 21 5/8" (550) SHALL BE PROVIDED IN FRONT OF THE WINDOW. EVERY WINDOW WELL SHALL BE DRAINED TO THE FOOTING LEVEL OR OTHER SUITABLE LOCATION WITH A 4" (100) WEEPING TILE C/W A FILTER CLOTH WRAP AND FILLED WITH CRUSHED STONE. (9.9.10.1.(5), 9.14.6.3.)

45

SLOPED CEILING CONSTRUCTION

((SB-12] 3.1.1.8., 9.23.4.2.)

2"x12" (38x286) ROOF JOISTS @ 16" (406) O.C. MAX. (UNLESS OTHERWISE NOTED) W/ 2"x2" (38x38) PURLINS @ 16" (406) O.C. PERPENDICULAR TO ROOF JOIST (PURLINS NOT REQ. W/ SPRAY FOAM), W/ INSULATION BETWEEN JOIST, 6 mil POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH OR APPROVED EQ. INSULATION VALUE DIRECTLY ABOVE THE INNER SURFACE OF EXTERIOR WALLS SHALL NOT BE LESS THAN R20 (3.52 RSI).

46

FLAT ROOF/BALCONY CONSTRUCTION

WATERPROOFING MEMBRANE (9.26.11, 9.26.15, 9.26.16) FULLY ADHERED TO 5/8" (15.9) T&G EXTERIOR GRADE PLYWOOD SHEATHING ON 2"x2" (38x38) PURLINS ANGLED TOWARDS SCUPPER @ 2% MINIMUM LAID PERPENDICULAR TO 2"x8" (38x184) FLOOR JOISTS @ 16" (406) O.C. (UNLESS OTHERWISE NOTED). BUILT UP CURB TO BE 4" (100) MIN. ABOVE FINISHED BALCONY FLOOR. CONTINUOUS 'I' TRIM DRIP EDGE TO BE PROVIDED ON OUTSIDE FACE OF CURB. SCUPPER DRAIN TO BE LOCATED 24" (610) MIN. AWAY FROM HOUSE. PREFINISHED ALUMINUM OR PANEL FOR UNDERSIDE OF SOFFIT (9.23.2.3). REMOVE CURB WHERE REQ.

BALCONY CONDITION

SEE FLAT ROOF/BALCONY CONSTRUCTION NOTE. INCLUDE 2"x4" (38x89) PT. DECKING W/ 1/4" (6.4) GAPS LAID FLAT PARALLEL TO JOISTS ON 2"x4" (38x89) PT. SLEEPERS @ 12" (305) O.C. LAID FLAT PERPENDICULAR TO JOISTS

BALCONY OVER HEATED SPACE CONDITION

SEE FLAT ROOF/BALCONY CONSTRUCTION NOTE FOR ASSEMBLY. REFER TO PLANS FOR FLOOR JOIST SIZE & REFER TO HEX NOTE 9 FOR INSULATION AND INTERIOR FINISH

47

BARREL VAULT CONSTRUCTION

CANTILEVERED 2"x4" (38x89) SPACERS LAID FLAT ON 2"x10" (38x235) SPR. #2 ROOF JOIST NAILED TO BUILT-UP 3-3/4" (19) PLYWOOD HEADER PROFILED FOR BARREL. SPRAY FOAM INSULATION BETWEEN JOISTS W/ GYPSUM BOARD. INTERIOR FIN. (REFER TO DETAILS)

REFER TO SB-12 ENERGY EFFICIENCY DESIGN MATRIX ON THE TITLE PAGE FOR ALL VALUES AS REQUIRED PER 3.1.1., 3.1.2., 3.1.3. OF THE OBC.

SECTION 1.1. WALL STUDS

- REFER TO THIS CHART FOR STUD SIZE & SPACING AS REQUIRED FOR EXTERIOR WALLS ONLY. REFER TO SITING & GRADING PLAN OF THIS UNIT FOR CONFIRMATION OF TOP OF FOUNDATION WALL AND ADDITIONAL INFORMATION.
- IF STUD WALL HEIGHT EXCEEDS MAX. UNSUPPORTED HEIGHT, WALL NEEDS TO BE REVIEWED AND APPROVED BY ENGINEER.

SIZE & SPACING OF STUDS: (OBC REFERENCE - TABLE 9.23.10.1.)					
MIN. STUD SIZE, in (mm)	SUPPORTED LOADS (EXTERIOR)				
	ROOF w/ OR w/o ATTIC	ROOF w/ OR w/o ATTIC & 1 FLOOR	ROOF w/ OR w/o ATTIC & 2 FLOOR	ROOF w/ OR w/o ATTIC & 3 FLOOR	
	MAX. STUD SPACING, in (mm) O.C.				
	MAX. UNSUPPORTED HGT., ft-in (m)				
2"x4" (38x89)	24" (610)	16" (405)	12" (305)	N/A	
	9'-10" (3.0)	9'-10" (3.0)	9'-10" (3.0)	N/A	
2"x6" (38x140)	-	24" (610)	16" (406)	12" (305)	
	-	9'-10" (3.0)	11'-10" (3.6)	5'-11" (1.8)	

SECTION 2.0. GENERAL NOTES

- 2.1. WINDOWS**
- 1) EXCEPT WHERE A DOOR ON THE SAME FLOOR LEVEL AS THE BEDROOM PROVIDES DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL CONTAINING A BEDROOM IS TO HAVE AT LEAST ONE OUTSIDE WINDOW W/ MIN. 0.35m2 UNOBSTRUCTED OPEN PORTION W/ NO DIMENSION LESS THAN 1'-3" (380), CAPABLE OF MAINTAINING THE OPENING WITHOUT THE NEED FOR ADDITIONAL SUPPORT, CONFORMING TO 9.9.10.
- 2) WINDOW GUARDS: A GUARD OR A WINDOW WITH A MAXIMUM RESTRICTED OPENING WIDTH OF 4" (100) IS REQUIRED WHERE THE TOP OF THE WINDOW SILL IS LOCATED LESS THAN 1'-7" (480) ABOVE FIN. FLOOR AND THE DISTANCE FROM THE FINISHED FLOOR TO THE ADJACENT GRADE IS GREATER THAN 5'-11" (1800). (9.8.8.1.)
- 3) WINDOWS IN EXIT STAIRWAYS THAT EXTEND TO LESS THAN 2'-11" (900) [3'-6" (1070) FOR ALL OTHER BUILDINGS] SHALL BE PROTECTED BY GUARDS IN ACCORDANCE WITH NOTE #2 (ABOVE), OR THE WINDOW SHALL BE NON-OPERABLE AND DESIGNED TO WITHSTAND THE SPECIFIED LOADS FOR BALCONY GUARDS AS PROVIDED IN 4.1.5.15 OR 9.8.8.2
- 4) REFER TO TITLE PAGE FOR MAX. U-VALUE REQUIREMENTS
- 2.2. CEILING HEIGHTS**
- THE CEILING HEIGHTS OF ROOMS AND SPACES SHALL CONFORM TO TABLE 9.5.3.1.

ROOM OR SPACE	MINIMUM HEIGHTS
LIVING ROOM, DINING ROOM AND KITCHEN	7'-7" OVER 75% OF REQUIRED FLOOR AREA WITH A CLEAR HEIGHT OF 6'-11" AT ANY POINT
BEDROOM	7'-7" OVER 50% OF REQUIRED FLOOR AREA OR 6'-11" OVER ALL OF THE REQUIRED FLOOR AREA.
BASEMENT	6'-11" OVER AT LEAST 75% OF THE BASEMENT AREA EXCEPT THAT UNDER BEAMS AND DUCTS THE CLEARANCE IS PERMITTED TO BE REDUCED TO 6'-5".
BATHROOM, LAUNDRY AREA ABOVE GRADE	6'-11" IN ANY AREA WHERE A PERSON WOULD NORMALLY BE STANDING
FINISHED ROOM NOT MENTIONED ABOVE	6'-11"
MEZZANINES	6'-11" ABOVE & BELOW FLOOR ASSEMBLY (9.5.3.2.)
STORAGE GARAGE	6'-7" (9.5.3.3.)

- 2.3. MECHANICAL / PLUMBING**
- 1) MECHANICAL VENTILATION IS REQUIRED TO PROVIDE 0.7 AIR CHANGE PER HOUR IF NOT AIR CONDITIONED 1 PER HOUR IF AIR CONDITIONED AVERAGED OVER 24 HOURS, WHEN A VENTILATION FAN (PRINCIPAL EXHAUST) IS REQUIRED, CONFORM TO OBC 9.32.3.4. WHEN A HRV IS REQUIRED, CONFORM TO 9.32.3.11. REFER TO MECHANICAL DRAWINGS.
- 2) REFER TO HOT WATER TANK MANUFACTURER SPECS. CONFORM TO OBC 9.31.6.
- 3) REFER TO TITLE PAGE FOR SPACE HEATING EQUIPMENT, HRV AND DOMESTIC HOT WATER HEATER MINIMUM EFFICIENCIES.
- 4) DRAIN WATER HEAT RECOVERY UNIT(S) WILL BE INSTALLED CONFORMING TO THE REQUIREMENTS OF SB12 - 3.1.1.12. OF THE O.B.C.
- 2.4. LUMBER**
- 1) ALL LUMBER SHALL BE SPRUCE No.2 GRADE OR BETTER, UNLESS NOTED OTHERWISE.
- 2) STUDS SHALL BE STUD GRADE SPRUCE, UNLESS NOTED OTHERWISE.
- 3) LUMBER EXPOSED TO THE EXTERIOR TO BE SPRUCE No. 2 GRADE PRESSURE TREATED OR CEDAR, UNLESS NOTED OTHERWISE.
- 4) ALL LAMINATED VENEER LUMBER (LVL) BEAMS, GIRDER TRUSSES, AND METAL HANGER CONNECTIONS SUPPORTING ROOF FRAMING TO BE DESIGNED & CERTIFIED BY FLOOR AND ROOF TRUSS MANUFACTURER.
- 5) JOIST HANGERS: PROVIDE APPROVED METAL HANGERS FOR ALL JOISTS AND BUILT-UP WOOD MEMBERS INTERSECTING WITH FLUSH BUILT-UP WOOD MEMBERS.
- 6) WOOD FRAMING NOT TREATED WITH A WOOD PRESERVATIVE. IN CONTACT WITH CONCRETE, SHALL BE SEPARATED FROM THE CONC. BY AT LEAST 2 mil POLYETHYLENE FILM. No.50 (45lbs) ROLL ROOFING OR OTHER DAMPPROOFING MATERIAL, EXCEPT WHERE THE WOOD MEMBER IS AT LEAST 6" (152) ABOVE THE GROUND.

- 2.5. STEEL** (9.23.4.3.)
- 1) STRUCTURAL STEEL SHALL CONFORM TO CAN/CSA-G40-21 GRADE 350W. HOLLOW STRUCT. SECTIONS SHALL CONFORM TO CAN/CSA-G40-21 GRADE 350W CLASS "H".
- 2) REINFORCING STEEL SHALL CONFORM TO CSA-G30-18M GRADE 400R.

- 2.6. FLAT ARCHES**
- 1) FOR 8'-0" (2440) CEILINGS, FLAT ARCHES SHALL BE 6'-10" (2080) A.F.F.
- 2) FOR 9'-0" (2740) CEILINGS, FLAT ARCHES SHALL BE 7'-10" (2400) A.F.F.
- 3) FOR 10'-0" (3040) CEILINGS, FLAT ARCHES SHALL BE 8'-6" (2600) A.F.F.

- 2.7. ROOF OVERHANGS**
- 1) ALL ROOF OVERHANGS SHALL BE 1'-0" (305). UNLESS NOTED OTHERWISE.

- 2.8. FLASHING** (9.20.13., 9.26.4. & 9.27.3.)
- 1) FLASHING MATERIALS & INSTALLATION SHALL CONFORM TO O.B.C.

- 2.9. GRADING**
- 1) THE BUILDING SHALL BE LOCATED OR THE BUILDING SITE GRADED SO THE WATER WILL NOT ACCUMULATE AT OR NEAR THE BUILDING AND WILL NOT ADVERSELY AFFECT ADJACENT PROPERTIES. CONFORM TO 9.14.6.

- 2.10. ULC SPECIFIED ASSEMBLIES**
- ALL REQUIRED INDIVIDUAL COMPONENTS THAT FORM PART OF ANY 'ULC LISTED ASSEMBLY'. SPECIFIED WITHIN THESE DRAWINGS, CANNOT BE ALTERED OR SUBSTITUTED FOR ANY OTHER MATERIAL/PRODUCT OR SPECIFIED MANUFACTURER THAT IS IDENTIFIED IN THAT 'SPECIFIED ULC LISTING'. THERE SHALL BE NO DEVIATIONS UNDER ANY CIRCUMSTANCES IN ANY 'ULC LISTED ASSEMBLY' IDENTIFIED IN THESE DRAWINGS.

SECTION 3.0. LEGEND

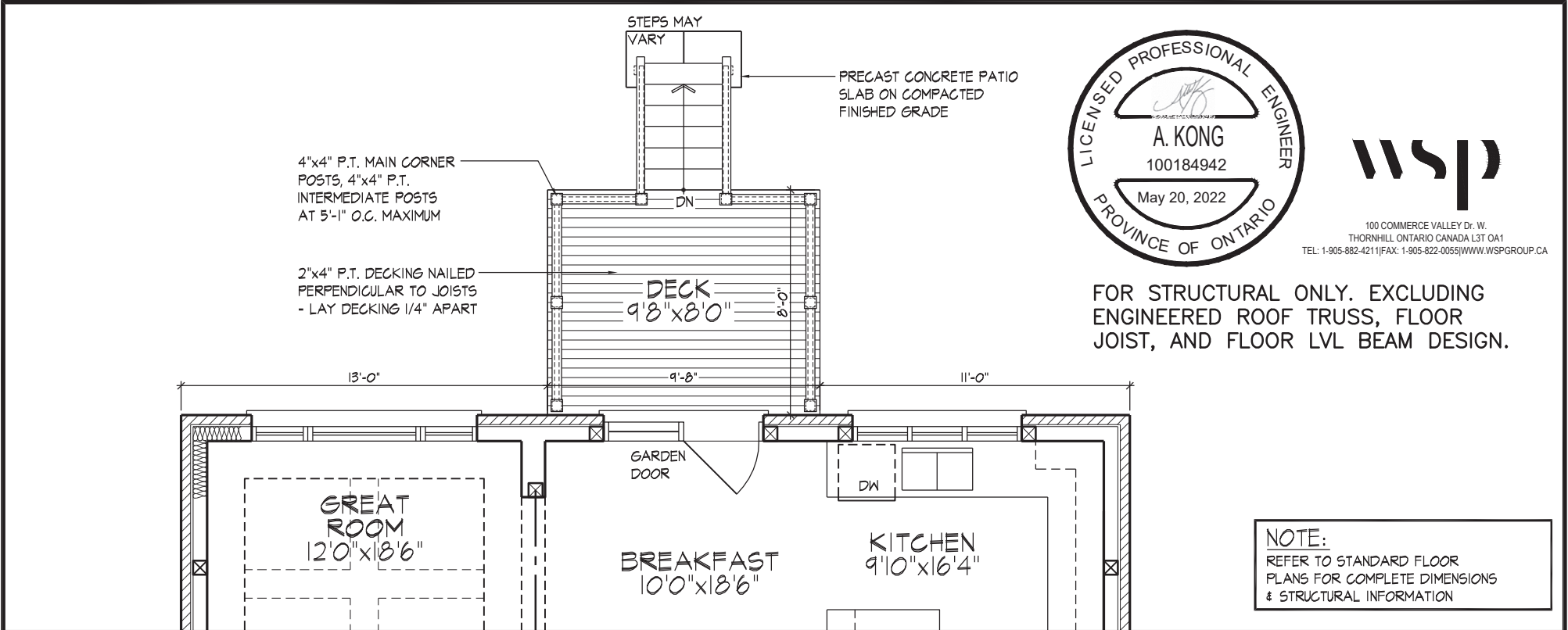
3.1. WOOD LINTELS AND BUILT-UP WOOD (DIVISION B PART 9. TABLE A8 TO A10 AND A12, A15 & A16) FORMING PART OF SENTENCE 9.23.4.2.(3), 9.23.4.2.(4), 9.23.12.3.(1),(3), 9.23.13.8.(2), 9.37.3.1.(1)					
2"x8" SPRUCE #2		2"x10" SPRUCE #2		2"x12" SPRUCE #2	
L1	2/2"x8" (2/38x184)	L3	2/2"x10" (2/38x235)	L5	2/2"x12" (2/38x286)
B1	3/2"x8" (3/38x184)	B3	3/2"x10" (3/38x235)	B5	3/2"x12" (3/38x286)
B2	4/2"x8" (4/38x184)	B4	4/2"x10" (4/38x235)	B6	4/2"x12" (4/38x286)
B7	5/2"x8" (5/38x184)	B8	5/2"x10" (5/38x235)	B9	5/2"x12" (5/38x286)
ENGINEERED LUMBER SCHEDULE - GRADE 2.0E (UNLESS NOTE OTHERWISE)					
1 3/4" x 9 1/2" LVL		1 3/4" x 11 7/8" LVL		1 3/4" x 14" LVL	
LVL2	1-1 3/4"x9 1/2"	LVL3	1-1 3/4"x11 7/8"	LVL10	1-1 3/4"x14"
LVL4	2-1 3/4"x9 1/2"	LVL6	2-1 3/4"x11 7/8"	LVL11	2-1 3/4"x14"
LVL5	3-1 3/4"x9 1/2"	LVL7	3-1 3/4"x11 7/8"	LVL12	3-1 3/4"x14"
LVL8	4-1 3/4"x9 1/2"	LVL9	4-1 3/4"x11 7/8"	LVL13	4-1 3/4"x14"
3.2. STEEL LINTELS SUPPORTING MASONRY VENEER (DIVISION B PART 9. TABLE 9.20.5.2.B.) FORMING PART OF SENTENCE 9.20.5.2.(2) & 9.20.5.2.(3)					
CODE	SIZE	BRICK		STONE	
L7	3 1/2" x 3 1/2" x 1/4" (89 x 89 x 6.4)	8'-1" (2.47m)		7'-6" (2.30m)	
L8	4" x 3 1/2" x 1/4" (102 x 89 x 6.4)	8'-9" (2.66m)		8'-1" (2.48m)	
L9	4 7/8" x 3 1/2" x 5/16" (127 x 89 x 7.9)	10'-10" (3.31m)		10'-1" (3.03m)	
L10	4 7/8" x 3 1/2" x 3/8" (127 x 89 x 11)	11'-5" (3.48m)		10'-7" (3.24m)	
L11	5 7/8" x 3 1/2" x 3/8" (152 x 89 x 11)	12'-6" (3.82m)		11'-7" (3.54m)	
L12	7 1/8" x 4" x 3/8" (178 x 102 x 11)	14'-1" (4.30m)		13'-1" (3.99m)	

3.3. DOOR SCHEDULE					
CONFORMING TO SECTIONS 9.5.11, 9.6., 9.7.2.1, 9.7.5.2, & 9.10.13.10					
1	EXTERIOR	2'-8" x 6'-8" x 1-3/4" (815 x 2030 x 45)	INSULATED MIN. R4 (RSI 0.7)		
1A	EXTERIOR	2'-10" x 6'-8" x 1-3/4" (865 x 2030 x 45)	INSULATED MIN. R4 (RSI 0.7)		
1B	EXTERIOR	3'-0" x 6'-8" x 1-3/4" (915 x 2030 x 45)	INSULATED MIN. R4 (RSI 0.7)		
1C	EXTERIOR	2'-6" x 6'-8" x 1-3/4" (760 x 2030 x 45)	INSULATED MIN. R4 (RSI 0.7)		
1D	EXTERIOR	2'-8" x 6'-8" x 1-3/4" (815 x 2030 x 45)	INS. MIN. R4 (RSI 0.7) (SEE HEX NOTE 20)		
1E	EXTERIOR	3'-0" x 8'-0" x 1-3/4" (915 x 2440 x 45)	INSULATED MIN. R4 (RSI 0.7)		
1F	EXTERIOR	2'-8" x 8'-0" x 1-3/4" (815 x 2440 x 45)	INSULATED MIN. R4 (RSI 0.7)		
2A	EXTERIOR	2'-8" x 6'-8" x 1-3/4" (815 x 2030 x 45)	20 MIN. F.R.R. DOOR/FRAME WITH APP. SELF CLOSING DEVICE.		
2	INTERIOR	2'-8" x 6'-8" x 1-3/8" (815 x 2030 x 35)	PROVIDE 8'-0" HIGH INTERIOR DOORS FOR ALL 10' CEILING CONDITIONS		
3	INTERIOR	2'-6" x 6'-8" x 1-3/8" (760 x 2030 x 35)			
3A	INTERIOR	2'-4" x 6'-8" x 1-3/8" (710 x 2030 x 35)			
4	INTERIOR	2'-0" x 6'-8" x 1-3/8" (610 x 2030 x 35)			
4A	INTERIOR	2'-2" x 6'-8" x 1-3/8" (660 x 2030 x 35)			
5	INTERIOR	1'-6" x 6'-8" x 1-3/8" (460 x 2030 x 35)			

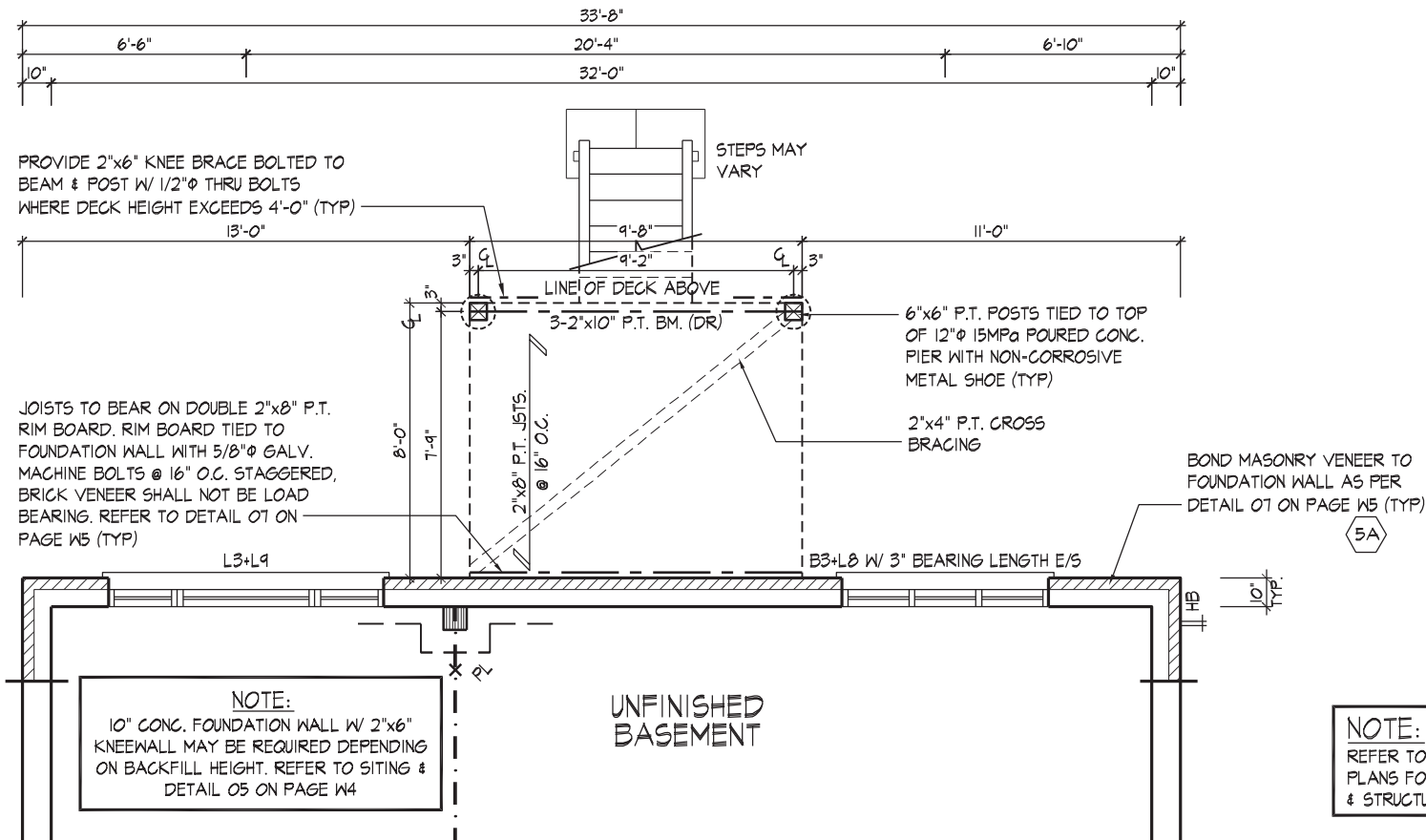
3.4. ACRONYMS			
AFF	ABOVE FINISHED FLOOR	JST	JOIST
BBFM	BEAM BY FLOOR MANUFACTURER	LIN	LINEN CLOSET
BG	FIXED GLASS W/ BLACK BACKING	LVL	LAMINATED VENEER LUMBER
BM	BEAM	OTB/A	OPEN TO BELOW/ABOVE
BBRM	BEAM BY ROOF MANUFACTURER	PL	POINT LOAD
CRF	CONVENTIONAL ROOF FRAMING	PLT	PLATE
C/W	COMPLETE WITH	PT	PRESSURE TREATED
DJ/TJ	DOUBLE JOIST/ TRIPLE JOIST	PTD	PAINTED
DO	DO OVER	PWD	POWDER ROOM
DRP	DROPPED	RWL	RAIN WATER LEADER
ENG	ENGINEERED	SB	SOLID BEARING WOOD POST
EST	ESTIMATED	SBFA	SB FROM ABOVE
FA	FLAT ARCH	SJ	SINGLE JOIST
FD	FLOOR DRAIN	SPR	SPRUCE
FG	FIXED GLASS	STL	STEEL
FL	FLUSH	T/O	TOP OF
FLR	FLOOR	TYP	TYPICAL
GT	GIRDER TRUSS	U/S	UNDERSIDE
HB	HOSE BIB	WD	WOOD
HRV	HEAT RETURN VENTILATION UNIT	WIC	WALK IN CLOSET
HWT	HOT WATER TANK	WP	WEATHER PROOF

3.5. SYMBOLS			
ALL ELECTRICAL FACILITIES SHALL BE INSTALLED IN ACCORDANCE WITH SECTION 9.34.			
	CLASS 'B' VENT		EXHAUST VENT
	DUPLEX OUTLET (12" HIGH)		DUPLEX OUTLET (HEIGHT AS NOTED A.F.F.)
	HEAVY DUTY OUTLET		SWITCH (2/3/4 WAY)
	POT LIGHT		LIGHT FIXTURE (CEILING MOUNTED)
	LIGHT FIXTURE (PULL CHAIN)		LIGHT FIXTURE (WALL MOUNTED)
	CABLE T.V. JACK		TELEPHONE JACK
	CENTRAL VACUUM OUTLET		CHANDELIER (CEILING MOUNTED)

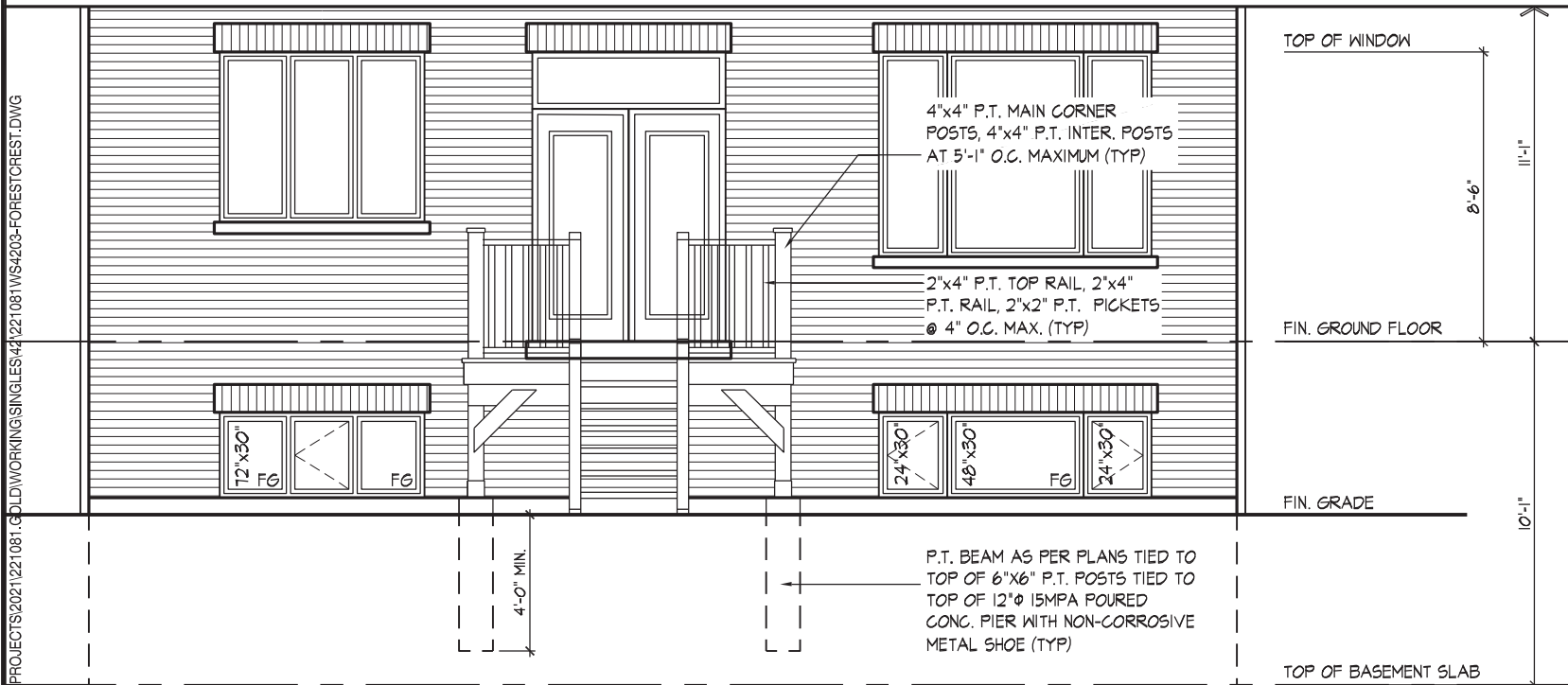
- SA **SMOKE ALARM** (9.10.19.)
- PROVIDE ONE PER FLOOR, NEAR THE STAIRS CONNECTING THE FLOOR LEVEL. ALARMS ARE TO BE INSTALLED IN EACH SLEEPING ROOM AND IN A LOCATION BETWEEN SLEEPING ROOMS AND CONNECTING HALLWAYS AND WIRED TO BE INTER



PART. GROUND FLOOR PLAN ELEV. 'A', 'B' & 'C' - L.O.D. COND.



PART. BASEMENT PLAN ELEV. 'A', 'B' & 'C' - L.O.D. COND.



PART. REAR ELEVATION 'A', 'B' & 'C' - L.O.D. CONDITION

REFER TO FRONT ELEVATION & STANDARD REAR FOR TYPICAL NOTES & INFO.

WINDOW SIZES FOR L.O.D. CONDITIONS:
MATCH WIDTH OF WINDOW ABOVE AND WINDOWS TO BE 30" DEEP. WINDOWS TO BE LOCATED WITHIN JOIST SPACE. IF GRADE PERMITS, TOP OF WINDOW TO BE 8'-0" A.F.F.

WINDOW SUMMARY				
PER O.B.C. TABLE 9.10.15.4				
REAR ELEVATION A-L.O.D.				
QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	
2	56"	56"		37.56
1	56"	52"		17.33
1	72"	60"		26.44
2	24"	72"		18.89
1	48"	72"		20.78
2	24"	30"		7.22
1	48"	30"		7.94
1	72"	30"		12.28
0	0"	0"		0.00
0	0"	0"		0.00
1	DOOR		29.60	29.60
0	ARCH		0.00	0.00
0	ARCH		0.00	0.00
0	ARCH		0.00	0.00
SPATIAL CALCULATION				
EXPOSING BUILDING	850.08	S.F.		
FACE AREA	78.98	S.M.		
PORTION WALL AREA	850.08	S.F.		
	78.98	S.M.		
LIMITING DISTANCE		7.50 m		
MAX. % OPENINGS	50.50	%		
OPENINGS ALLOWED	429.29	S.F.		
OPENINGS PROVIDED	178.04	S.F.		
ADDITIONAL NOTES				
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER				

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY:

DATE: MAY 27, 2022

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

LOOK OUT DECK CONDITION

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION

Allan Whiting

NAME

REGISTRATION INFORMATION

HUNT DESIGN ASSOCIATES INC.

23177

BCIN

19695

HUNT
DESIGN ASSOCIATES INC.

www.huntdesign.ca

GOLDPARK HOMES - 221081
PINE VALLEY PH. 2, VAUGHAN, ON.

Drawn By

O FAIRBARN VS

Checked By

VS

Scale

3/16"=1'-0"

8966 Woodbine Ave, Markham, ON L3R 0J7

T 905.737.5133

File Number

221081WS4203.dwg

F 905.737.7326

UNIT 4203 - THE FORESTCREST
REV.2022.05.16

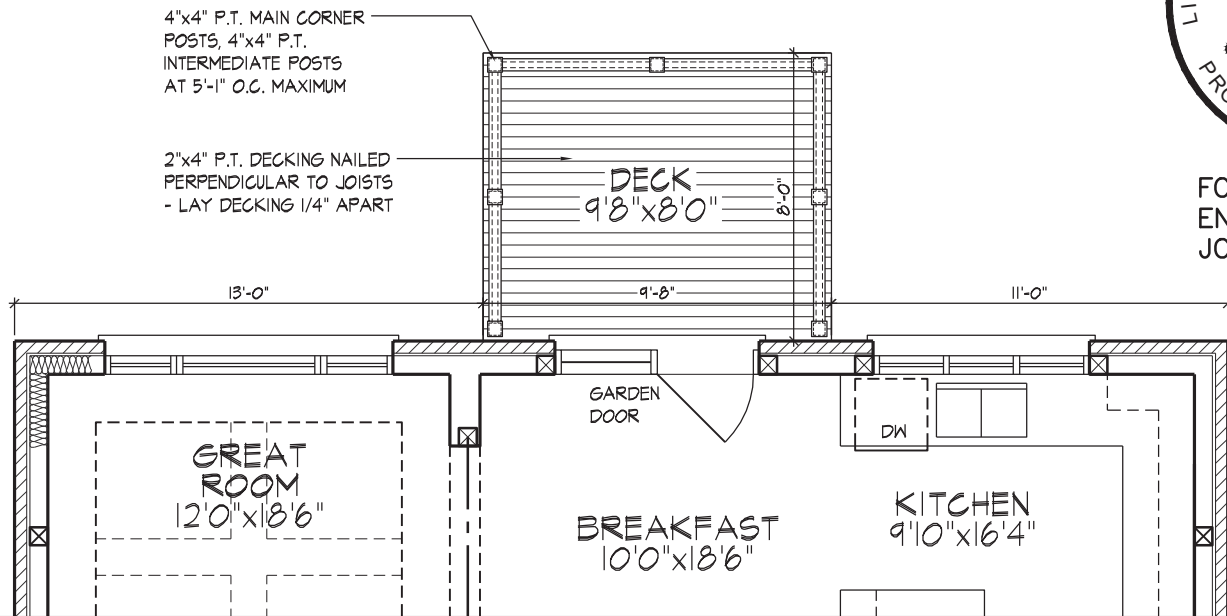
Page Number

35 of W7



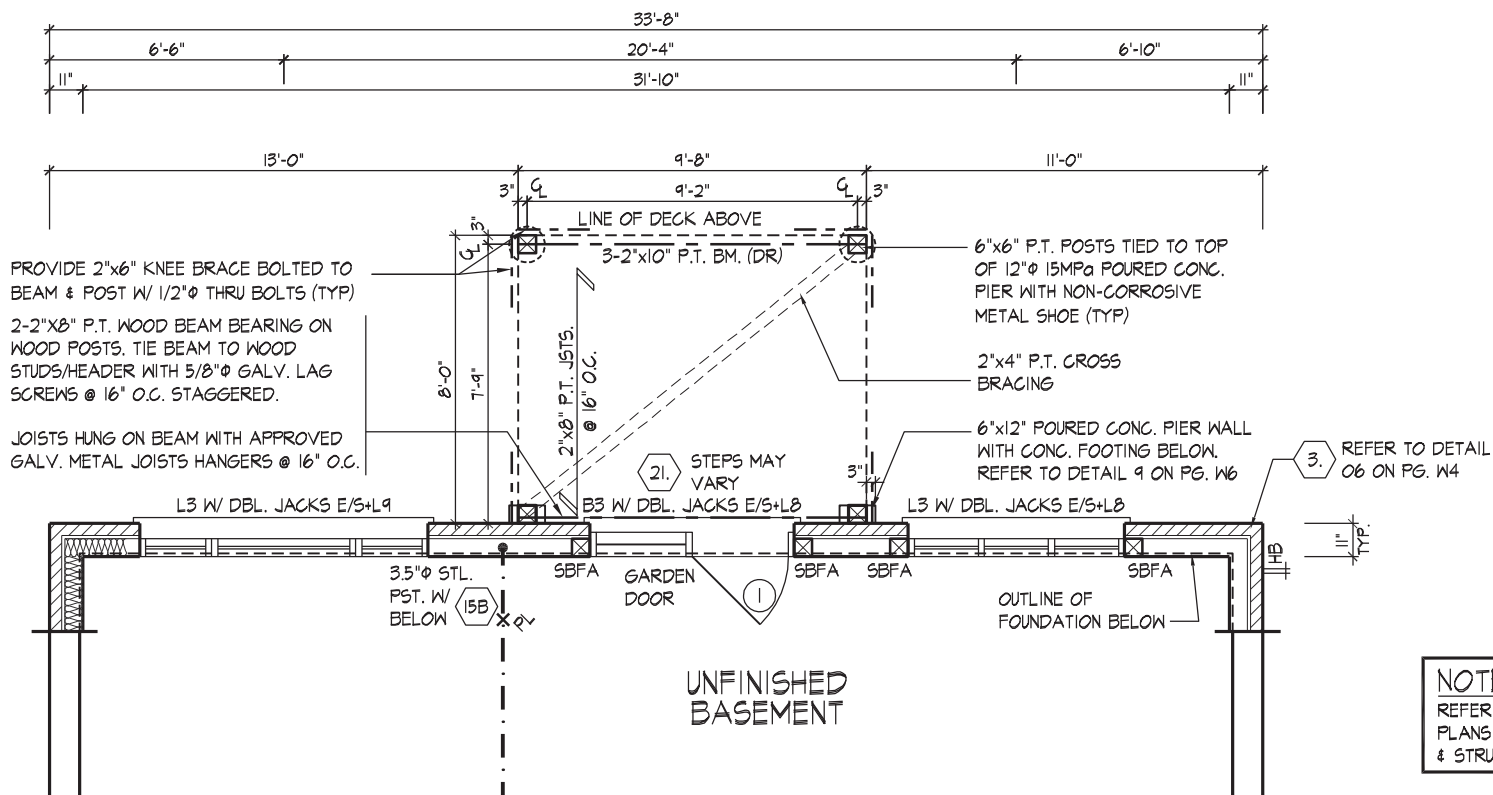
100 COMMERCE VALLEY DR. W.
THORNHILL, ONTARIO CANADA L3T 0A1
TEL: 1-905-882-4211/FAX: 1-905-822-0055/WWW.WSPGROUP.CA

FOR STRUCTURAL ONLY. EXCLUDING
ENGINEERED ROOF TRUSS, FLOOR
JOIST, AND FLOOR LVL BEAM DESIGN.



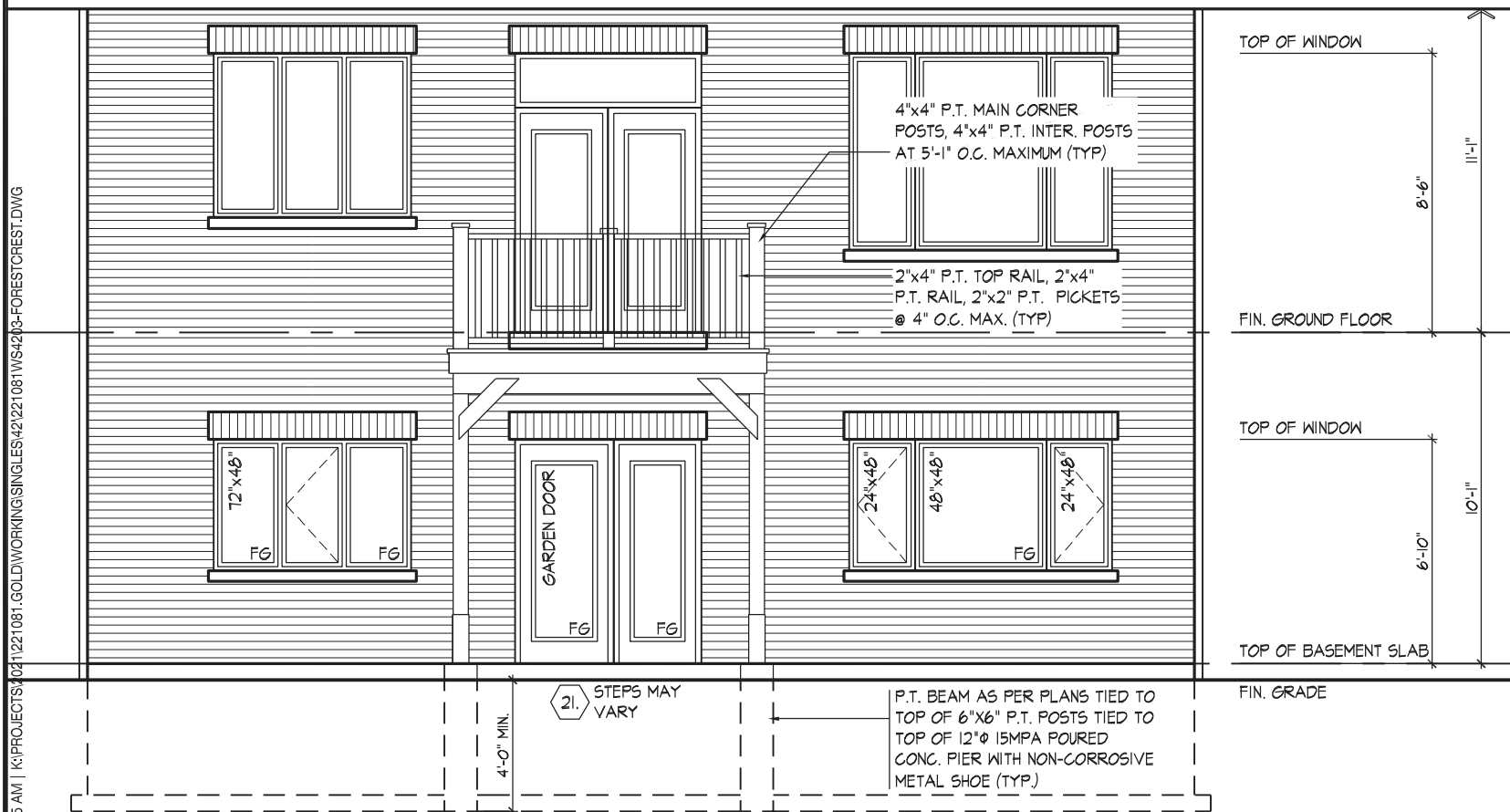
NOTE:
REFER TO STANDARD FLOOR
PLANS FOR COMPLETE DIMENSIONS
& STRUCTURAL INFORMATION

PART. GROUND FLOOR PLAN ELEV. 'A', 'B' & 'C' - W.O.B. COND.



NOTE:
REFER TO STANDARD FLOOR
PLANS FOR COMPLETE DIMENSIONS
& STRUCTURAL INFORMATION

PART. BASEMENT PLAN ELEV. 'A', 'B' & 'C' - W.O.B. CONDITION



PART. REAR ELEVATION 'A', 'B' & 'C' - W.O.B. CONDITION

REFER TO FRONT ELEVATION & STANDARD
REAR FOR TYPICAL NOTES & INFO.

WINDOW SIZES FOR W.O.B. CONDITIONS:
- W.O.B. = MATCH WIDTH OF WINDOW
ABOVE AND WINDOWS TO BE 56" DEEP.
TOP OF WINDOW TO BE @ 7'-10" A.F.F.

WINDOW SUMMARY			
PER O.B.C. TABLE 9.10.15.4			
REAR ELEVATION A-W.O.B.			
QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)
2	56"	56"	37.56
1	56"	52"	17.33
1	72"	60"	26.44
2	24"	72"	18.89
1	48"	72"	20.78
2	24"	48"	12.22
1	48"	48"	13.44
1	72"	48"	20.78
0	0"	0"	0.00
0	0"	0"	0.00
1	DOOR	29.60	29.60
1	DOOR	22.00	22.00
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00
SPATIAL CALCULATION			
EXPOSING BUILDING FACE AREA	1001.58	S.F.	
	93.05	S.M.	
PORTION WALL AREA	1001.58	S.F.	
	93.05	S.M.	
LIMITING DISTANCE	7.50 m		
MAX. % OPENINGS	50.50	%	
OPENINGS ALLOWED	505.80	S.F.	
OPENINGS PROVIDED	219.04	S.F.	
ADDITIONAL NOTES			
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER			

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY:
DATE: MAY 27, 2022

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

WALK OUT BASEMENT CONDITION

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION

NAME: Allan Whiting

REGISTRATION INFORMATION

HUNT DESIGN ASSOCIATES INC.

23177

BCIN

19695

HUNT DESIGN ASSOCIATES INC.

www.huntdesign.ca

GOLDPARK HOMES - 221081
PINE VALLEY PH. 2, VAUGHAN, ON.

Drawn By: O FAIRBARN

Checked By: VS

Scale: 3/16"=1'-0"

8966 Woodbine Ave, Markham, ON L3R 0J7

T 905.737.5133

F 905.737.7326

UNIT 4203 - THE FORESTCREST
REV.2022.05.16

File Number: 221081WS4203.dwg

Page Number: 36 of W7

All drawings specifications related documents and design are the copyright property of Hunt Design Associates (H.D.A). Reproduction of this property in whole or in part is strictly prohibited without H.D.A.'s written permission (H.D.A. assumes no responsibility or liability for this property unless it bears the appropriate BCIN number and original signature).

SIZE & SPACING OF STUDS: (OBC REFERENCE - TABLE 9.23.10.1.)				
MIN. STUD SIZE, in (mm)	SUPPORTED LOADS (EXTERIOR)			
	ROOF w/ OR w/o ATTIC	ROOF w/ OR w/o ATTIC & 1 FLOOR	ROOF w/ OR w/o ATTIC & 2 FLOOR	ROOF w/ OR w/o ATTIC & 3 FLOOR
	MAX. STUD SPACING in (mm) O.C.			
	MAX. UNSUPPORTED HGT. ft-in (m)			
2"x4" (38x89)	24" (610)	16" (405)	12" (305)	N/A
	9'-10" (3.0)	9'-10" (3.0)	9'-10" (3.0)	N/A
2"x6" (38x140)	-	24" (610)	16" (406)	12" (305)
	-	9'-10" (3.0)	11'-10" (3.6)	5'-11" (1.8)

- REFER TO THIS CHART FOR STUD SIZE & SPACING AS REQUIRED FOR EXTERIOR WALLS ONLY. REFER TO SITING & GRADING PLAN OF THIS UNIT FOR CONFIRMATION OF TOP OF FOUNDATION WALL AND ADDITIONAL INFORMATION.
- IF STUD WALL HEIGHT EXCEEDS MAX. UNSUPPORTED HEIGHT, WALL NEEDS TO BE REVIEWED AND APPROVED BY ENGINEER.

BASE FLASHING CONFORMING TO TABLE 9.20.13.1 TO EXTEND 3/16" BEYOND OUTER FACE OF FOUNDATION WALL, TIED TO EXT. SHEATHING UNDER AIR/WATER BARRIER, PROVIDE 6" MINIMUM LAP JOINT.

WEEP HOLES @ 32" O.C. AT BASE FLASHING AND OVER ALL OPENINGS. PROVIDE P.V.C. BRICK VENTILATOR @ ALL WEEP HOLE LOCATIONS.

PROVIDE MASONRY PARGING FROM TOP OF FOUNDATION WALL TO 2" BELOW FINISHED GRADE

FINISHED GRADE

FOUNDATION WALLS SHALL NOT EXCEED 9'-10" (3.0m) IN UNSUPPORTED HEIGHT UNLESS OTHERWISE NOTED. (9.15.4.2.1). POURED CONC. FDTN. WALL WITH BITUMINOUS DAMPPROOFING AND DRAINAGE LAYER. REFER TO CHART FOR MAXIMUM UNSUPPORTED HEIGHT AND EARTH RETENTION FROM BASEMENT SLAB TO FINISHED GRADE, ON CONTINUOUS KEYED CONC. FTG., BRACE FOUNDATION WALL PRIOR TO BACKFILLING. ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OR COMPACTED ENGINEERED FILL.

UNREINFORCED SOLID CONCRETE FOUNDATION WALLS (9.15.4.2.)				
STRENGTH THICKNESS	MAX. HEIGHT FROM FIN. SLAB TO GRADE			
	UNSUPPORTED AT TOP	SUPPORTED AT TOP		
8" 15 MPa	8" 3'-11" (1.20m)	7'-0" (2.15m)	7'-0" (2.15m)	6'-10" (2.10m)
	10" 4'-1" (1.40m)	7'-6" (2.30m)	8'-6" (2.60m)	8'-2" (2.50m)
	12" 4'-11" (1.50m)	7'-6" (2.30m)	8'-6" (2.60m)	9'-3" (2.85m)
10" 20 MPa	8" 3'-11" (1.20m)	7'-6" (2.30m)	7'-6" (2.30m)	7'-2" (2.20m)
	10" 4'-1" (1.40m)	7'-6" (2.30m)	8'-6" (2.60m)	9'-3" (2.85m)
	12" 4'-11" (1.50m)	7'-6" (2.30m)	8'-6" (2.60m)	9'-3" (2.85m)

MINIMUM STRIP FOOTING SIZES (9.15.3.)			
NUMBER FLOORS SUPPORTED	SUPPORTING INT. LOAD BEARING MASONRY WALL	SUPPORTING EXTERIOR	SUPPORTING PARTY WALL
1	16" W x 6" D	16" W x 6" D	16" W x 6" D
2	24" W x 8" D	20" W x 6" D	24" W x 8" D
3	36" W x 14" D	26" W x 9" D	36" W x 14" D

NOTE: FOOTING SIZE SUBJECT TO CERTIFICATION BY A SOIL CONSULTANT

REFER TO SB-12 ENERGY EFFICIENCY DESIGN MATRIX ON THE TITLE PAGE FOR ALL VALUES AS REQUIRED PER 3.1.1., 3.1.2, 3.1.3. OF THE OBC.

FIRST FLOOR

TYPICAL BRICK VENEER WALL CONSTRUCTION

TYPICAL FLOOR CONSTRUCTION

INSULATION W/ REQUIRED EXPOSED FLOOR R-VALUE IN HEADER SPACE

2-2"x6" TOP PLATE

2"x6" SILL PLATE WITH 1/2" Ø ANCHOR BOLTS 8" LONG, EMBEDDED MIN. 4" INTO CONC. @ 7'-10" O.C., CAULKING OR GASKET BETWEEN PLATE AND TOP OF FOUND. WALL. USE NON-SHRINK GROUT TO LEVEL SILL PLATE WHEN REQUIRED.

INSULATION BLANKET OR BATTS W/ REQUIRED BASEMENT WALL R-VALUE, 6 MIL POLYETHYLENE VAPOUR BARRIER DAMPPROOF WITH AIR/WATER BARRIER BETWEEN THE FOUNDATION WALL AND INSULATION UP TO GRADE LEVEL. TERMINATE BLANKETS ABOVE SLAB AS REQUIRED BY O.B.C. OR ENERGY DESIGN CONSULTANT

TAPE AND SEAL BLANKETS AT ALL JOINTS

UNFINISHED BASEMENT

4" Ø WEEPING TILE, 6" CRUSHED STONE COVER OVER AND AROUND WEEPING TILES.

SECURE METAL BLANKET TIE TO FOUNDATION WALL AS PER MANUF. INSTRUCTIONS

1/2" IMPERVIOUS BOARD FOR BOND BREAK

3" MIN. 25 MPa CONC. SLAB ON 4" COARSE CLEAN GRANULAR FILL OR 20 MPa CONC. WITH DAMPPROOFING BELOW SLAB.

PROVIDE RIGID INSULATION BELOW EDGE OF SLAB EXTENDED MIN. 2'-0" WHERE THE GRADE IS LESS THAN 2'-0" DIFFERENCE FROM UNDERSIDE OF SLAB TO FINISHED GRADE.

NOTE:

WHERE REDUCED GRADE CONDITION REQUIRES THE USE OF A FULL HEIGHT BONDED WALL, REBAR SHALL BE PROVIDED AS PER DETAIL 07 ON PG. W5

05

MASONRY VENEER, 2"x6" STUDS, 10" FOUNDATION WALL Laterally UNSUPPORTED

1/2" = 1'-0"

SIZE & SPACING OF STUDS: (OBC REFERENCE - TABLE 9.23.10.1.)				
MIN. STUD SIZE, in (mm)	SUPPORTED LOADS (EXTERIOR)			
	ROOF w/ OR w/o ATTIC	ROOF w/ OR w/o ATTIC & 1 FLOOR	ROOF w/ OR w/o ATTIC & 2 FLOOR	ROOF w/ OR w/o ATTIC & 3 FLOOR
	MAX. STUD SPACING in (mm) O.C.			
	MAX. UNSUPPORTED HGT. ft-in (m)			
2"x4" (38x89)	24" (610)	16" (405)	12" (305)	N/A
	9'-10" (3.0)	9'-10" (3.0)	9'-10" (3.0)	N/A
2"x6" (38x140)	-	24" (610)	16" (406)	12" (305)
	-	9'-10" (3.0)	11'-10" (3.6)	5'-11" (1.8)

- REFER TO THIS CHART FOR STUD SIZE & SPACING AS REQUIRED FOR EXTERIOR WALLS ONLY. REFER TO SITING & GRADING PLAN OF THIS UNIT FOR CONFIRMATION OF TOP OF FOUNDATION WALL AND ADDITIONAL INFORMATION.
- IF STUD WALL HEIGHT EXCEEDS MAX. UNSUPPORTED HEIGHT, WALL NEEDS TO BE REVIEWED AND APPROVED BY ENGINEER.

BASE FLASHING CONFORMING TO TABLE 9.20.13.1 TO EXTEND 3/16" BEYOND OUTER FACE OF FOUNDATION WALL, TIED TO EXT. SHEATHING UNDER AIR/WATER BARRIER, PROVIDE 6" MINIMUM LAP JOINT.

WEEP HOLES @ 32" O.C. AT BASE FLASHING AND OVER ALL OPENINGS. PROVIDE P.V.C. BRICK VENTILATOR @ ALL WEEP HOLE LOCATIONS.

PROVIDE MASONRY PARGING FROM TOP OF FOUNDATION WALL TO 2" BELOW FINISHED GRADE

OPTIONAL WEEPING TILE AT REAR WALL-SEE MUNICIPAL STANDARDS

FINISHED GRADE

FOUNDATION WALLS SHALL NOT EXCEED 9'-10" (3.0m) IN UNSUPPORTED HEIGHT UNLESS OTHERWISE NOTED. (9.15.4.2.1). POURED CONC. FDTN. WALL WITH BITUMINOUS DAMPPROOFING AND DRAINAGE LAYER. REFER TO CHART FOR MAXIMUM UNSUPPORTED HEIGHT AND EARTH RETENTION FROM BASEMENT SLAB TO FINISHED GRADE, ON CONTINUOUS KEYED CONC. FTG., BRACE FOUNDATION WALL PRIOR TO BACKFILLING. ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OR COMPACTED ENGINEERED FILL.

UNREINFORCED SOLID CONCRETE FOUNDATION WALLS (9.15.4.2.)				
STRENGTH THICKNESS	MAX. HEIGHT FROM FIN. SLAB TO GRADE			
	UNSUPPORTED AT TOP	SUPPORTED AT TOP		
8" 15 MPa	8" 3'-11" (1.20m)	7'-0" (2.15m)	7'-0" (2.15m)	6'-10" (2.10m)
	10" 4'-1" (1.40m)	7'-6" (2.30m)	8'-6" (2.60m)	8'-2" (2.50m)
	12" 4'-11" (1.50m)	7'-6" (2.30m)	8'-6" (2.60m)	9'-3" (2.85m)
10" 20 MPa	8" 3'-11" (1.20m)	7'-6" (2.30m)	7'-6" (2.30m)	7'-2" (2.20m)
	10" 4'-1" (1.40m)	7'-6" (2.30m)	8'-6" (2.60m)	9'-3" (2.85m)
	12" 4'-11" (1.50m)	7'-6" (2.30m)	8'-6" (2.60m)	9'-3" (2.85m)

MINIMUM STRIP FOOTING SIZES (9.15.3.)			
NUMBER FLOORS SUPPORTED	SUPPORTING INT. LOAD BEARING MASONRY WALL	SUPPORTING EXTERIOR	SUPPORTING PARTY WALL
1	16" W x 6" D	16" W x 6" D	16" W x 6" D
2	24" W x 8" D	20" W x 6" D	24" W x 8" D
3	36" W x 14" D	26" W x 9" D	36" W x 14" D

NOTE: FOOTING SIZE SUBJECT TO CERTIFICATION BY A SOIL CONSULTANT

REFER TO SB-12 ENERGY EFFICIENCY DESIGN MATRIX ON THE TITLE PAGE FOR ALL VALUES AS REQUIRED PER 3.1.1., 3.1.2, 3.1.3. OF THE OBC.

FIRST FLOOR

TYPICAL BRICK VENEER WALL CONSTRUCTION

TYPICAL FLOOR CONSTRUCTION

INSULATION W/ REQUIRED EXPOSED FLOOR R-VALUE IN HEADER SPACE

2-2"x6" TOP PLATE

UNFINISHED BASEMENT

1" RIGID INSULATION THERMAL BREAK AROUND PERIMETER OF SLAB

3" MIN. 25 MPa CONC. SLAB ON 4" COARSE CLEAN GRANULAR FILL OR 20 MPa CONC. WITH DAMPPROOFING BELOW SLAB.

PROVIDE RIGID INSULATION UNDER ENTIRE SLAB SURFACE WHEN SLAB IS LESS THAN 2'-0" DIFFERENCE FROM FINISHED GRADE

2"x6" SILL PLATE WITH 1/2" Ø ANCHOR BOLTS 8" LONG, EMBEDDED MIN. 4" INTO CONC. @ 7'-10" O.C., CAULKING OR GASKET BETWEEN PLATE AND TOP OF FOUND. WALL. USE NON-SHRINK GROUT TO LEVEL SILL PLATE WHEN REQUIRED.

PROVIDE RIGID INSULATION EXTENDED NO LESS THAN 2'-0" BELOW FINISHED GRADE, UNDER THE EXTERIOR PERIMETER OF THE CONCRETE SLAB ALONG THE FOUNDATION WALL FOR WALK-OUT CONDITIONS OR WHEN THE DIFFERENCE FROM THE SLAB TO FINISHED GRADE IS LESS THAN 2'-0".

NOTE:

WHERE REDUCED GRADE CONDITION REQUIRES THE USE OF A FULL HEIGHT BONDED WALL, REBAR SHALL BE PROVIDED AS PER DETAIL 07 ON PG. W5

06

MASONRY VENEER, 2"x6" STUDS, SLAB ON GRADE / WALK OUT BASEMENT CONDITION

1/2" = 1'-0"



wsp

100 COMMERCE VALLEY Dr. W.
THORNHILL, ONTARIO CANADA L3T 0A7
TEL: 1-905-479-2272 FAX: 1-905-479-2055 WWW.WSPGROUP.COM

DESIGN ASSOCIATES INC.
www.huntdesign.ca

FOR STRUCTURAL ONLY EXCLUDING
ENGINEERED ROOF TRUSS, FLOOR
JOIST, AND FLOOR LVL BEAM DESIGN.

GOLDPARK HOMES - 221081
PINE VALLEY PH. 2, VAUGHAN, ON.

UNIT 4203 - THE FORESTCREST
REV.2022.05.16

Drawn By HDAL Checked By VS Scale 3/16"=1'-0" File Number 221081WS4203.dwg Page Number W4 of W7
8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION
Allan Whiting 23177
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
HUNT DESIGN ASSOCIATES INC. 19695

All drawings specifications related documents and design are the copyright property of Hunt Design Associates (H.D.A.). Reproduction of this property in whole or in part is strictly prohibited without H.D.A.'s written permission (H.D.A. assumes no responsibility or liability for this property unless it bears the appropriate BCIN number and original signature.)

2"x4" P.T. TOP RAIL
2"x4" P.T. RAIL
2"x2" P.T. PICKETS @ 4" O.C. MAX.
4"x4" P.T. MAIN CORNER POSTS
4"x4" P.T. INTERMEDIATE POSTS AT
5'-1" O.C. MAXIMUM

NOTE: ALL METAL FASTENERS
SHALL BE NON-CORROSIVE.

2"x4" P.T. BOTTOM RAIL
2"x4" P.T. DECKING LAID
PERPENDICULAR TO JOISTS 1/4"
APART
2"x8" P.T. RIM BOARD

2"x8" P.T. BLOCKING AT POSTS
CONNECTION
2"x8" P.T. JOISTS @ 16" O.C.
P.T. BEAM AS PER PLANS TIED TO TOP
OF 6"x6" P.T. POSTS TIED TO TOP OF
14"Ø 15MPØ POURED CONC. PIER WITH
NON-CORROSIVE METAL SHOE

POSTS TIED TO METAL SHOE
ANCHOR WITH 4-3/8"Ø MACHINE BOLTS
1/2"Ø NON-CORROSIVE ANCHOR 4"
MINIMUM INTO CONCRETE

TYPICAL FOUNDATION WALL
CONSTRUCTION

TYPICAL BRICK VENEER WALL CONSTRUCTION

FIRST FLOOR

MINIMUM 2"x4" SILL PLATE (2"x6" AS REQ.), TIED TO TOP OF POURED
CONC. FND. WALL WITH 8" LONGx1/2"Ø ANCHOR BOLTS C/W NUT AND
WASHER WITH 2 1/2" HOOK. ANCHOR BOLTS TO BE SPACED NOT
MORE THAN 7'-10" O.C. AND EMBEDDED NOT LESS THAN 4" INTO
CONC. PROVIDE SILL GASKET BETWEEN PLATE AND FOUNDATION
WALL. PROVIDE NON-SHRINK GROUT TO LEVEL PLATE.

TYPICAL FLOOR CONSTRUCTION

BASE FLASHING CONFORMING TO TABLE 9.20.13.1 TO EXTEND 3/16"
BEYOND OUTER FACE OF FOUNDATION WALL, TIED TO EXT. SHEATHING
UNDER AIR/WATER BARRIER, PROVIDE 6" MINIMUM LAP JOINT.

JOISTS TO BEAR ON DOUBLE 2"x8" P.T. RIM BOARD.
RIM BOARD TIED TO FOUNDATION WALL WITH 5/8"Ø STAINLESS
STEEL MACHINE BOLTS @ 16" O.C. STAGGERED, MIN 4"
EMBEDMENT, BRICK VENEER SHALL NOT BE LOAD BEARING
TIE BRICK VENEER TO FOUNDATION WALL WITH CORROSION
RESISTANT METAL TIES @ 8" VERTICAL AND 2'-11" HORIZONTAL
- FILL VOID WITH MORTAR BETWEEN WALL AND BRICK
VENEER-SEE OBC 9.20.9.4(3)

TAPE AND SEAL BLANKETS AT ALL JOINTS

INSULATION BLANKET OR BATTS W/ REQUIRED BASEMENT WALL R-VALUE,
6 MIL POLYETHYLENE VAPOUR BARRIER DAMPPROOF WITH AIR/WATER
BARRIER BETWEEN THE FOUNDATION WALL AND INSULATION UP TO
GRADE LEVEL. TERMINATE BLANKETS ABOVE SLAB AS REQUIRED BY
O.B.C. OR ENERGY DESIGN CONSULTANT

SECURE METAL BLANKET TIE TO FOUNDATION
WALL AS PER MANUF. INSTRUCTIONS

UNFINISHED BASEMENT

WHERE HEIGHT OF REDUCTION IN WALL THICKNESS
EXCEEDS 2'-0", REINFORCE FOUNDATION WALL W/
15M BARS @ 300mm EACH WAY.

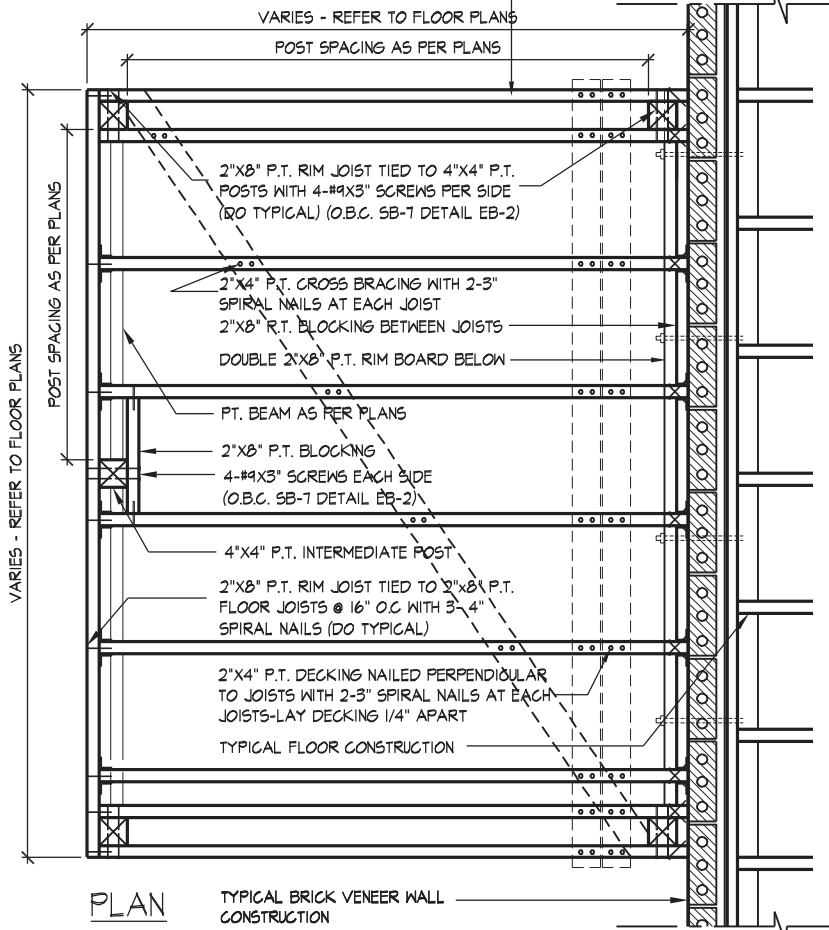
07

MASONRY VENEER, TYPICAL WALK/LOOK OUT WOOD DECK, SOLID MASONRY

1/2" = 1'-0"

JOISTS TO BEAR ON DOUBLE 2"x8" P.T. RIM BOARD.
RIM BOARD TIED TO FOUNDATION WALL WITH 5/8"Ø STAINLESS
STEEL MACHINE BOLTS @ 16" O.C. STAGGERED, MIN 4"
EMBEDMENT, BRICK VENEER SHALL NOT BE LOAD BEARING

NOTE: ALL METAL FASTENERS
SHALL BE NON-CORROSIVE.



GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE O.B.C. AND SB-7 OF THE SUPPLEMENTARY STANDARD
2. LUMBER GRADES SHALL NOT BE LESS THAN NO. 2 SPF. LUMBER SHALL BE FREE OF LOOSE KNOTS AND ALL CUT ENDS OF PRESERVATIVE TREATED LUMBER SHALL BE TREATED TO PREVENT DECAY
3. SPECIES FOR POSTS, PICKETS AND RAILS SHALL BE DOUGLAS FIR-LARCH, HEM-FIR, SPRUCE-PINE-FIR
3. ALL FASTENERS, SCREWS AND NAILS SHALL BE RESISTANT TO CORROSION - NAILS TO BE COMMON SPIRAL

08

TYP. DECK FRAMING ON WOOD LEDGER, BRICK VENEER

1/2" = 1'-0"



wsp

100 COMMERCE VALLEY Dr. W.
THORNHILL ONTARIO CANADA L3T 0A1
TEL: 1-905-882-4211/FAX: 1-905-822-0055/WWW.WSPGROUP.CA

FOR STRUCTURAL ONLY. EXCLUDING
ENGINEERED ROOF TRUSS, FLOOR
JOIST, AND FLOOR LVL BEAM DESIGN.

DECK DETAILS 2

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS
DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET
OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION

Allan Whiting

SIGNATURE

23177

BCIN

REGISTRATION INFORMATION

HUNT DESIGN ASSOCIATES INC.

19695

HUNT
DESIGN ASSOCIATES INC.
www.huntdesign.ca

GOLDPARK HOMES - 221081
PINE VALLEY PH. 2, VAUGHAN, ON.

UNIT 4203 - THE FORESTCREST
REV.2022.05.16

Drawn By

HDAL

Checked By

VS

Scale

3/16"=1'-0"

File Number

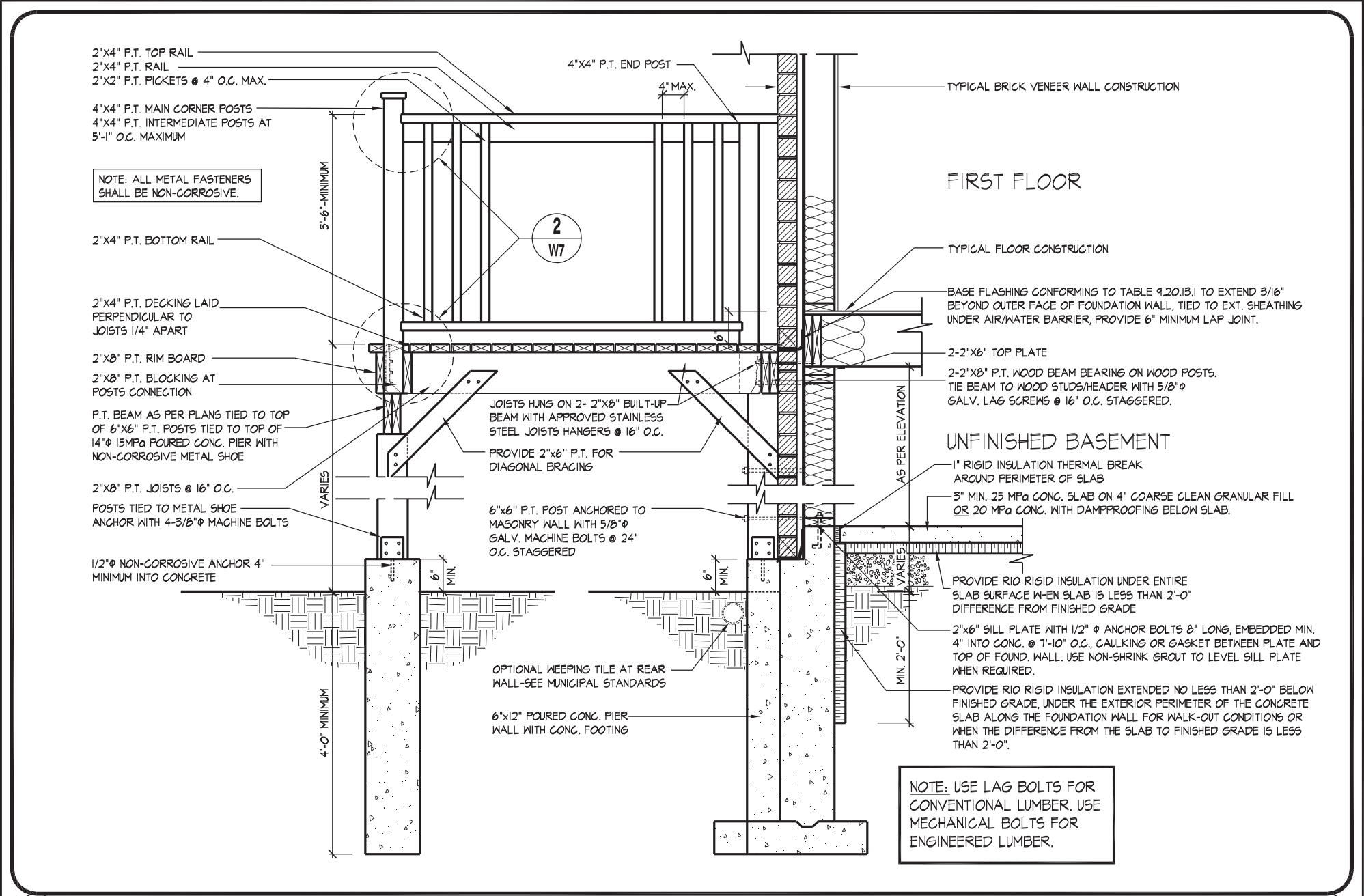
221081WS4203.dwg

Page Number

W5 of W7

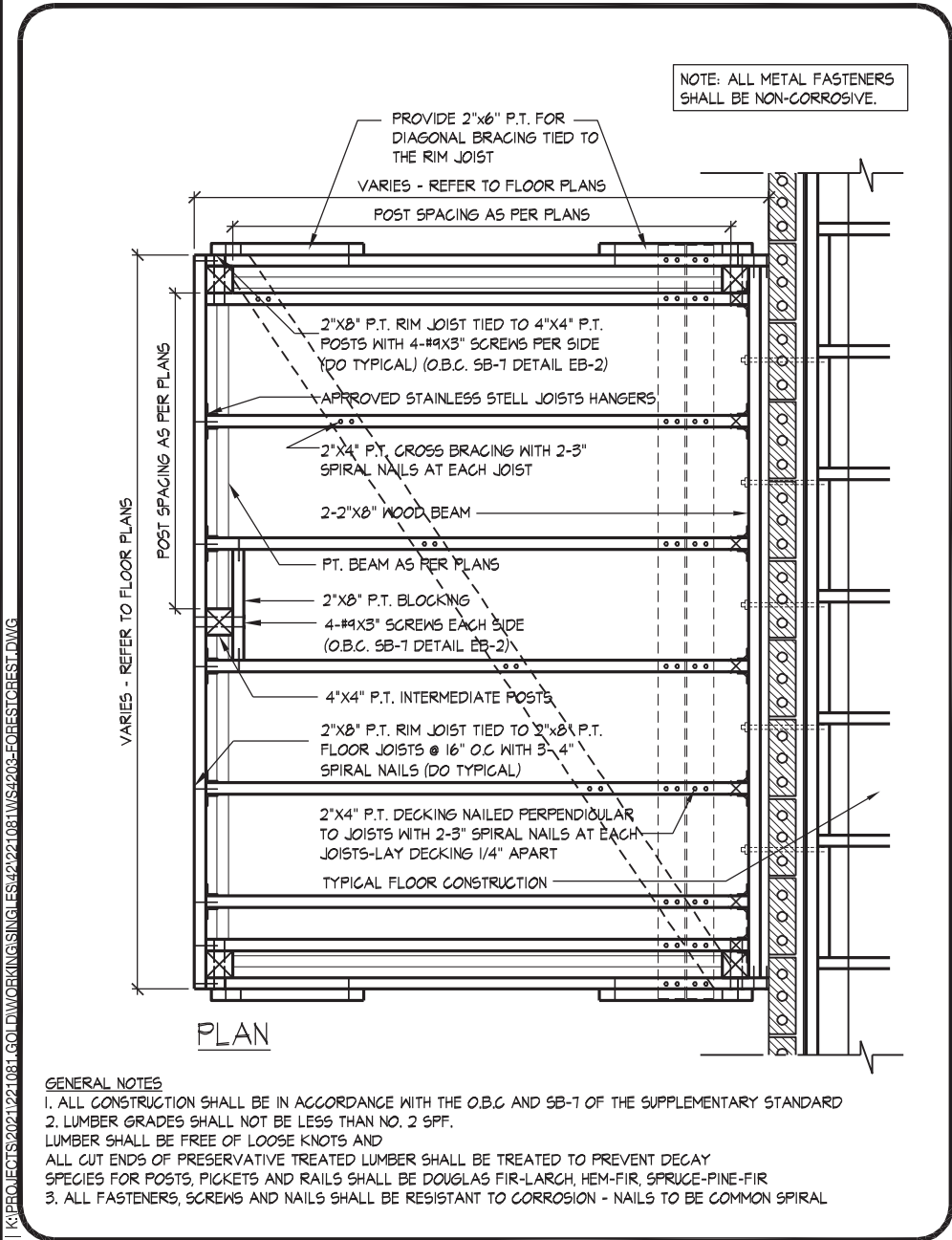
8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

All drawings specifications related documents and design are the copyright property of Hunt Design Associates (H.D.A). Reproduction of this property in whole or in part is strictly prohibited without H.D.A.'s written permission (H.D.A. assumes no responsibility or liability for this property unless it bears the appropriate BCIN number and original signature.)



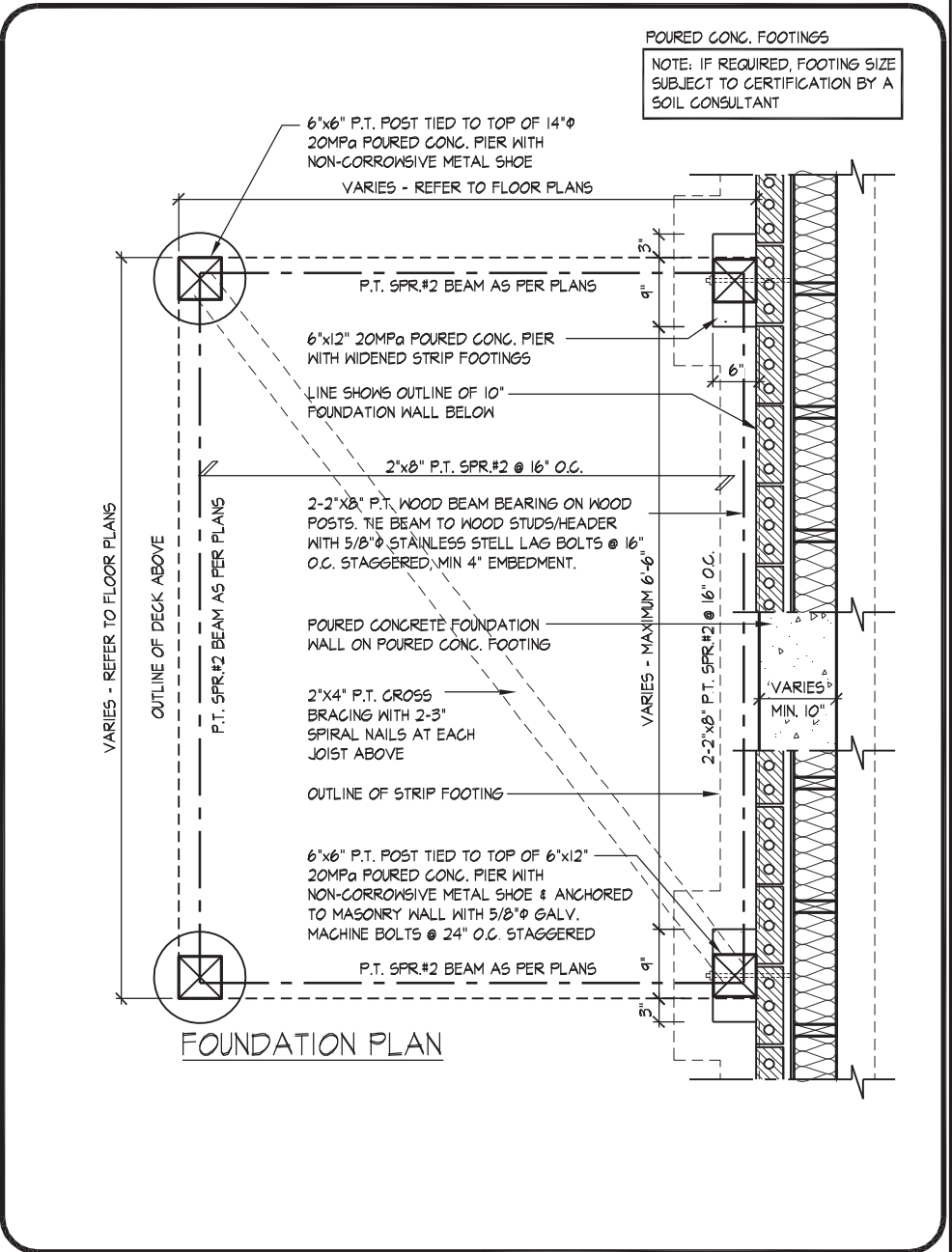
09 MASONRY VENEER, TYPICAL WOOD DECK FOR WALK OUT BASEMENT

1/2" = 1'-0"



10 MASONRY VENEER, TYPICAL DECK FRAMING PLAN

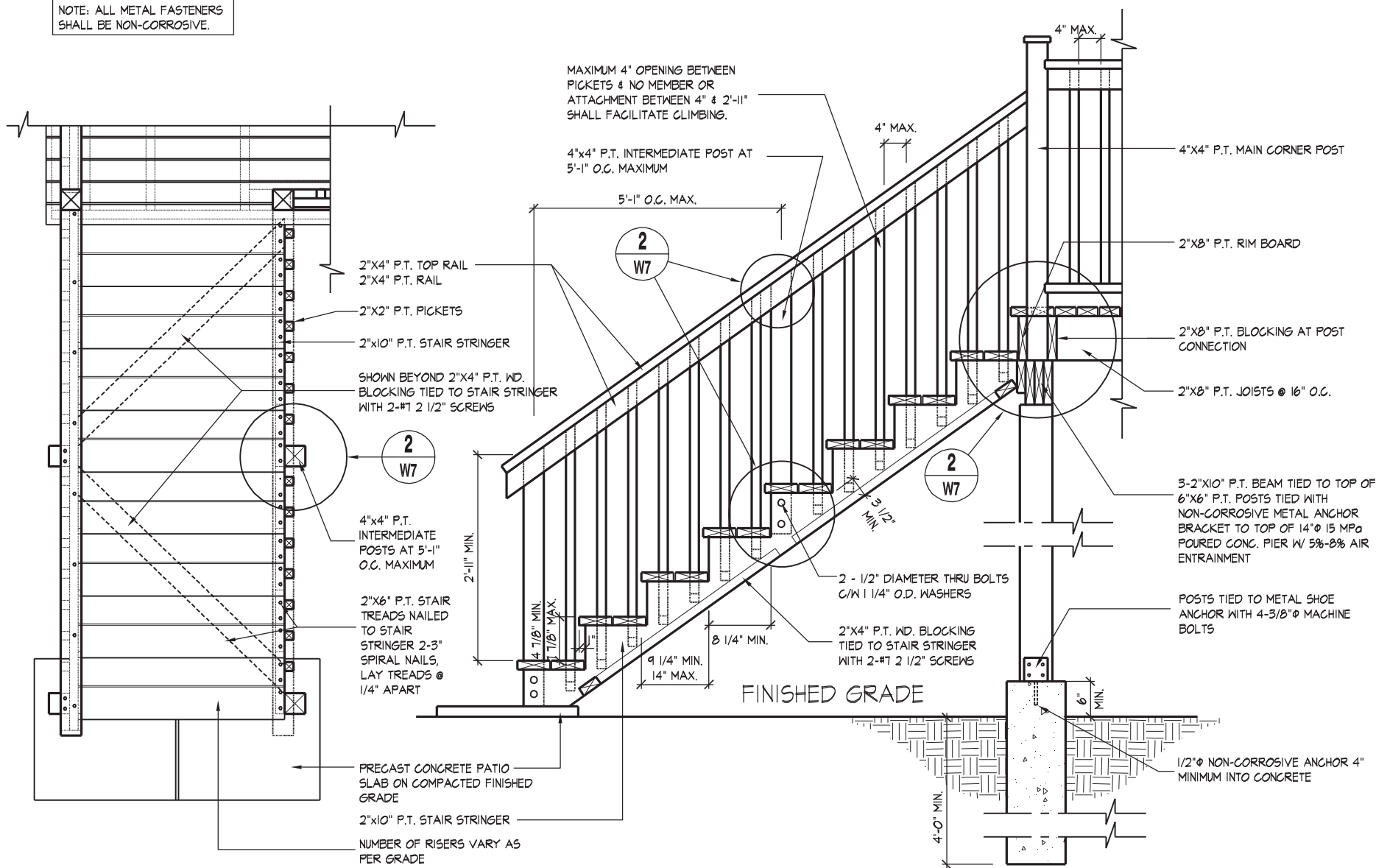
1/2" = 1'-0"



11 MASONRY VENEER, TYPICAL DECK FOUNDATION PLAN

1/2" = 1'-0"

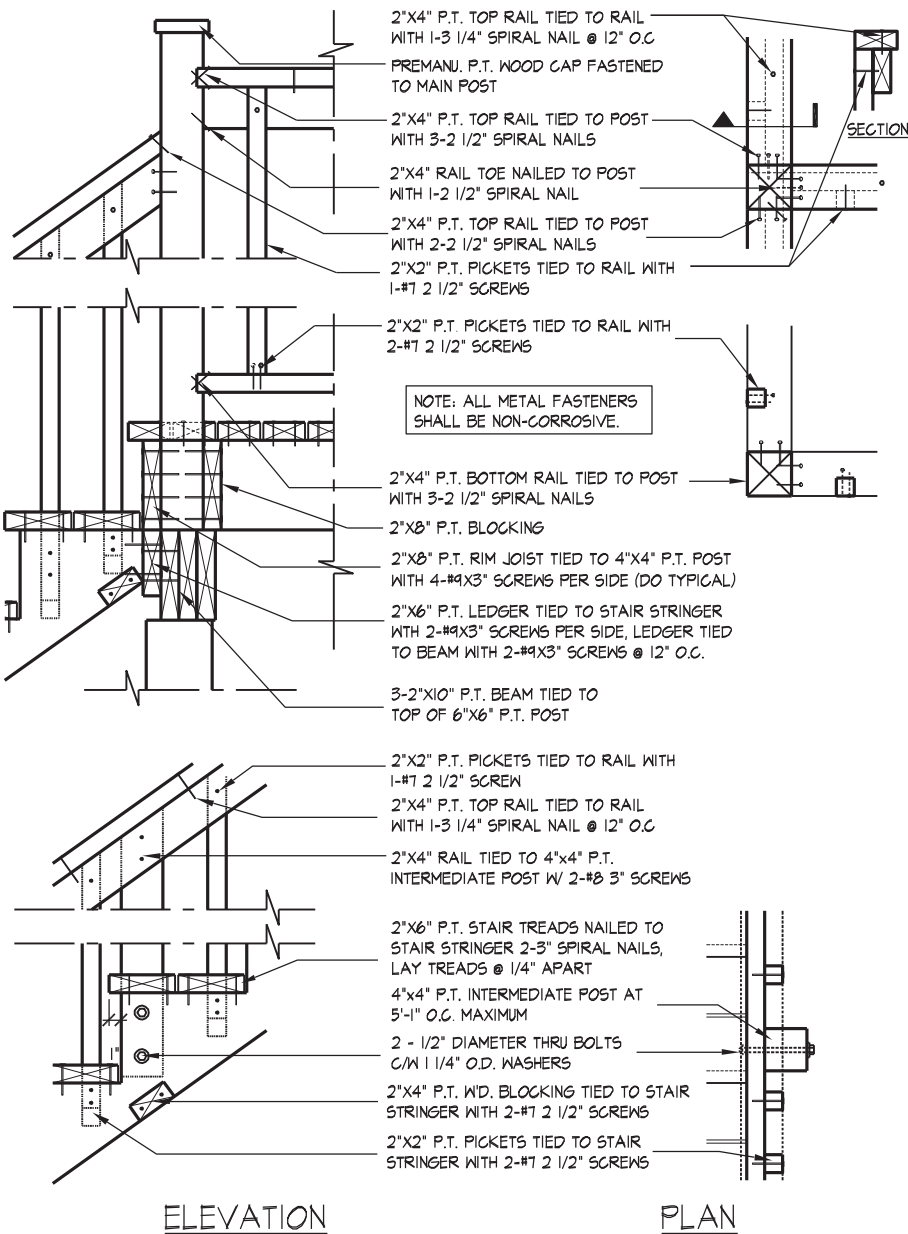
NOTE: ALL METAL FASTENERS SHALL BE NON-CORROSIVE.



01

TYPICAL WOOD DECK STAIR

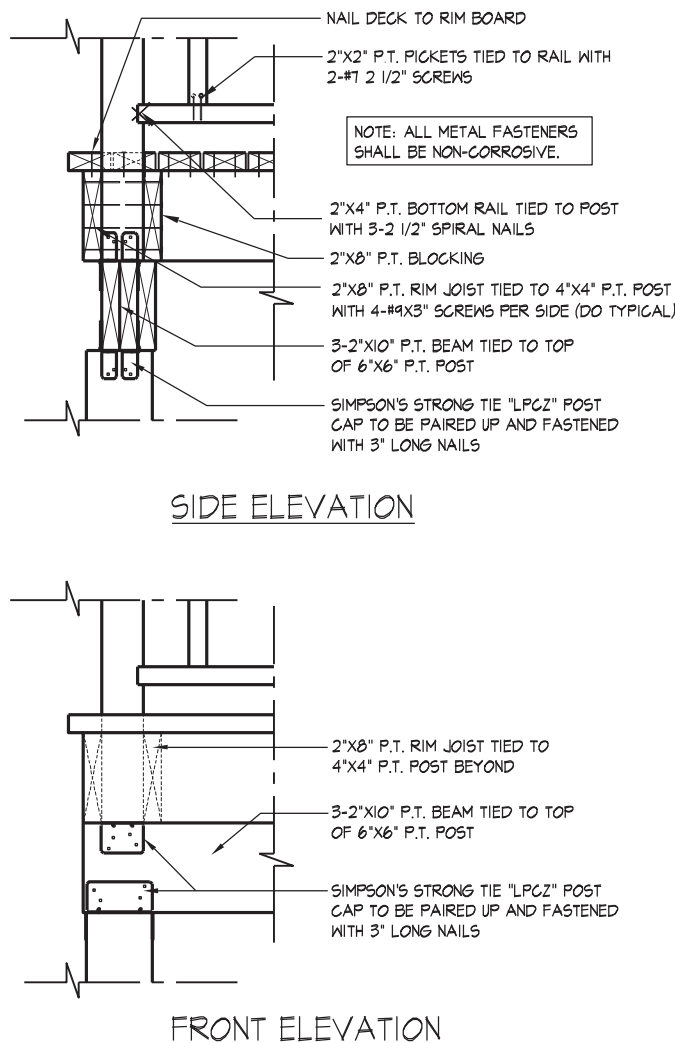
1/2" = 1'-0"



02

TYP. MAIN AND INTERMEDIATE POST ANCHORAGE

3/4" = 1'-0"



03

TYP. POST & BEAM CONNECTION

3/4" = 1'-0"



wsp

HUNT DESIGN ASSOCIATES INC.
100 COMMERCE VALLEY DR. W.
HORN HILL ONTARIO L4A 1B1
TEL: 905.242.1111 FAX: 905.821.0055 WWW.HUNTDESIGN.COM

FOR STRUCTURAL ONLY EXCLUDING
ENGINEERED ROOF TRUSS, FLOOR
JOIST, AND FLOOR LVL BEAM DESIGN.

GOLDPARK HOMES - 221081
PINE VALLEY PH. 2, VAUGHAN, ON.

UNIT 4203 - THE FORESTCREST
REV.2022.05.16

Drawn By HDAL Checked By VS Scale 3/16"=1'-0" File Number 221081WS4203.dwg Page Number W7 of W7
8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION
Allan Whiting
NAME
REGISTRATION INFORMATION
HUNT DESIGN ASSOCIATES INC.

23177
BCIN

19695

All drawings specifications related documents and design are the copyright property of Hunt Design Associates Inc. No reproduction or use of any part is strictly prohibited without H.D.A.'s written permission (H.D.A. assumes no responsibility or liability for this property unless it bears the appropriate BCIN number and original signature.)