WINDOW / WALL AREA	EL. 'A'	EL. 'A'	EL. 'A'	EL. 'A'	EL. 'A'
CALCULATIONS	STD. PLAN	OPT. 5 BED	OPT. GRND	OPT. 5 BED & GRND	OPT. SERVICE STAIRS
	4565.11 sq. ft.	4565.11 sq. ft.	4565.11 sq. ft.	4565.11 sq. ft.	4565.51 sq. ft.
GROSS WALL AREA	(424.11 sq. m.)	(424.11 sq. m.)	(424.11 sq. m.)	(424.11 sq. m.)	(424.15 sq. m.)
GROSS WINDOW AREA	499.09 sq. ft.	497.65 sq. ft.	521.76 sq. ft.	516.98 sq. ft.	499.09 sq. ft.
(INCL. GLASS DOORS & SKYLIGHTS)	(46.37 sq. m.)	(46.23 sq. m.)	(48.47 sq. m.)	(48.03 sq. m.)	(46.37 sq. m.)
TOTAL WINDOW %	10.93 %	10.90 %	11.43 %	11.32 %	10.93 %
					. 0.00 70
	EL. 'A' - WOD				
	STD. PLAN	OPT. 5 BED	OPT. GRND	OPT. 5 BED & GRND	
GROSS WALL AREA	4596.89 sq. ft.	4596.89 sq. ft.	4596.89 sq. ft.	4596.89 sq. ft.	
GROSS WALL AREA	(427.07 sq. m.)	(427.07 sq. m.)	(427.07 sq. m.)	(427.07 sq. m.)	
GROSS WINDOW AREA	499.09 sq. ft.	497.65 sq. ft.	521.76 sq. ft.	520.31 sq. ft.	
(INCL. GLASS DOORS & SKYLIGHTS)	(46.37 sq. m.)	•			
		(46.23 sq. m.)	(48.47 sq. m.)	(48.34 sq. m.)	
TOTAL WINDOW %	10.86 %	10.83 %	11.35 %	11.32 %	
	EL. 'A' - LOD				
	STD PLAN	OPT. 5 BED	OPT GRND	OPT. 5 BED & GRND	
	4686.26 sq. ft.	4686.26 sq. ft.	4686.26 sq. ft.	4686.26 sq. ft.	
GROSS WALL AREA		•		•	
	(435.37 sq. m.)	(435.37 sq. m.)	(435.37 sq. m.)	(435.37 sq. m.)	
GROSS WINDOW AREA	501.76 sq. ft.	500.31 sq. ft.	524.42 sq. ft.	522.98 sq. ft.	
(INCL. GLASS DOORS & SKYLIGHTS)	(46.62 sq. m.)	(46.48 sq. m.)	(48.72 sq. m.)	(48.59 sq. m.)	
TOTAL MUNICOMA OF		10.60.0/			
TOTAL WINDOW %	10.71 %	10.68 %	11.19 %	11.16 %	
	EL. 'A' - WOB				
	STD. PLAN	OPT. 5 BED	OPT. GRND	OPT. 5 BED & GRND	
	4970.35 sq. ft.	4970.35 sq. ft.	4970.35 sq. ft.	4970.35 sq. ft.	
GROSS WALL AREA	(461.76 sq. m.)	(461.76 sq. m.)	(461.76 sq. m.)	(461.76 sq. m.)	
000000000000000000000000000000000000000		558.26 sq. ft.	582.37 sq. ft.	580.93 sq. ft.	
GROSS WINDOW AREA	559.71 sq. ft.			•	
(INCL. GLASS DOORS & SKYLIGHTS)	(52.00 sq. m.)	(51.86 sq. m.)	(54.10 sq. m.)	(53.97 sq. m.)	
TOTAL WINDOW %	11.26 %	11.23 %	11.72 %	11.69 %	
	EL. 'B'	EL. 'B'	EL. 'B'	EL. 'B'	EL. 'B'
	STD. PLAN	OPT. 5 BED	OPT. GRND	OPT. 5 BED & GRND	
GROSS WALL AREA	4577.69 sq. ft.	4577.69 sq. ft.	4577.69 sq. ft.	4577.69 sq. ft.	4577.69 sq. ft.
arrood writer riner	(425.28 sq. m.)	(425.28 sq. m.)	(425.28 sq. m.)	(425.28 sq. m.)	(425.28 sq. m.)
GROSS WINDOW AREA	492.02 sq. ft.	437.11 sq. ft.	461.22 sq. ft.	459.77 sq. ft.	492.02 sq. ft.
(INCL. GLASS DOORS & SKYLIGHTS)	(45.71 sq. m.)	(40.61 sq. m.)	(42.85 sq. m.)	(42.71 sq. m.)	(45.71 sq. m.)
		,			
TOTAL WINDOW %	10.75 %	9.55 %	10.08 %	10.04 %	10.75 %
	EL. 'B' - WOD				
	STD. PLAN	OPT. 5 BED	OPT. GRND	OPT. 5 BED & GRND	
	4609.47 sq. ft.	4609.47 sq. ft.	4609.47 sq. ft.	4609.47 sq. ft.	
GROSS WALL AREA	(428.23 sq. m.)	(428.23 sq. m.)	(428.23 sq. m.)	(428.23 sq. m.)	
GROSS WINDOW AREA	441.88 sq. ft.	440.44 sq. ft.	464.55 sq. ft.	463.11 sq. ft.	
(INCL. GLASS DOORS & SKYLIGHTS)	(41.05 sq. m.)	(40.92 sq. m.)	(43.16 sq. m.)	(43.02 sq. m.)	
TOTAL WINDOW %	9.59 %	9.56 %	10.08 %	10.05 %	
	EL. 'B' - LOD				
	STD. PLAN	OPT. 5 BED	OPT. GRND	OPT. 5 BED & GRND	
GROSS WALL AREA	4698.84 sq. ft.	4698.84 sq. ft.	4698.84 sq. ft.	4698.84 sq. ft.	
	(436.54 sq. m.)	(436.54 sq. m.)	(436.54 sq. m.)	(436.54 sq. m.)	
GROSS WINDOW AREA	503.69 sq. ft.	502.25 sq. ft.	526.36 sq. ft.	524.91 sq. ft.	
(INCL. GLASS DOORS & SKYLIGHTS)	(46.79 sq. m.)	(46.66 sq. m.)	(48.90 sq. m.)	(48.77 sq. m.)	
TOTAL VAUNDOVALO					
TOTAL WINDOW %	10.72 %	10.69 %	11.20 %	11.17 %	
	EL. 'B' - WOB				
	STD, PLAN	OPT, 5 BED	OPT. GRND	OPT. 5 BED & GRND	
	4961.01 sq. ft.	4961.01 sq. ft.	4961.01 sq. ft.	4961.01 sq. ft.	
GROSS WALL AREA	(460.89 sq. m.)	(460.89 sq. m.)	(460.89 sq. m.)	(460.89 sq. m.)	
GROSS WINDOW AREA	605.54 sq. ft.	604.10 sq. ft.	628.21 sq. ft.	626.76 sq. ft.	
(INCL. GLASS DOORS & SKYLIGHTS)	(56.26 sq. m.)	(56.12 sq. m.)	(58.36 sq. m.)	(58.23 sq. m.)	
TOTAL WINDOW %	12.21 %	12.18 %	12.66 %	12.63 %	
<u>_</u> /0	EL. 'C'	EL. 'C'	EL. 'C'	EL. 'C'	EL. 'C'
	STD, PLAN	OPT, 5 BED	OPT, GRND	OPT. 5 BED & GRND	
GROSS WALL AREA	4463.10 sq. ft.	4463.10 sq. ft.	4463.10 sq. ft.	4463.10 sq. ft.	4463.10 sq. ft.
	(414.64 sq. m.)	(414.64 sq. m.)	(414.64 sq. m.)	(414.64 sq. m.)	(414.64 sq. m.)
GROSS WINDOW AREA	469.05 sq. ft.	467.60 sq. ft.	491.71 sq. ft.	490.27 sq. ft.	518.38 sq. ft.
(INCL. GLASS DOORS & SKYLIGHTS)	(43.58 sq. m.)	(43.44 sq. m.)	(45.68 sq. m.)	(45.55 sq. m.)	(48.16 sq. m.)
TOTAL MAINDOMA OF				, , ,	
TOTAL WINDOW %	10.51 %	10.48 %	11.02 %	10.98 %	11.61 %
	EL. 'C' - WOD				
	STD. PLAN	OPT. 5 BED	OPT. GRND	OPT. 5 BED & GRND	
CDOCC WALL ADEA	4494.88 sq. ft.	4494.88 sq. ft.	4494.88 sq. ft.	4494.88 sq. ft.	
GROSS WALL AREA	(417.59 sq. m.)	(417.59 sq. m.)	(417.59 sq. m.)	(417.59 sq. m.)	
GDOSS WINDOW ADEA	518.38 sq. ft.	470.94 sq. ft.	495.05 sq. ft.	493.60 sq. ft.	
GROSS WINDOW AREA (INCL. GLASS DOORS & SKYLIGHTS)	(48.16 sq. m.)	(43.75 sq. m.)	(45.99 sq. m.)	(45.86 sq. m.)	
	,			, , ,	
TOTAL WINDOW %	11.53 %	10.48 %	11.01 %	10.98 %	
	EL. 'C' - LOD				
	STD. PLAN	OPT. 5 BED	OPT GRND	OPT. 5 BED & GRND	
	4584.25 sq. ft.	4584.25 sq. ft.	4584.25 sq. ft.	4584.25 sq. ft.	
GROSS WALL AREA					
	(425.89 sq. m.)	(425.89 sq. m.)	(425.89 sq. m.)	(425.89 sq. m.)	
GROSS WINDOW AREA	530.04 sq. ft.	528,60 sq. ft.	552.71 sq. ft.	551,27 sq. ft.	
(INCL. GLASS DOORS & SKYLIGHTS)	(49.24 sq. m.)	(49.11 sq. m.)	(51.35 sq. m.)	(51.21 sq. m.)	
TOTAL WINDOW %	11.56 %	11.53 %	12.06 %	12.03 %	
	EL, 'C' - WOB	EL. 'C' - WOB	EL. 'C' - WOB	EL. 'C' - WOB	
	STD. PLAN	OPT. 5 BED	OPT. GRND	OPT. 5 BED & GRND	
GROSS WALL AREA	4880.18 sq. ft.	4880.18 sq. ft.	4880,18 sq. ft.	4880.18 sq. ft.	
S. 1000 VVILL ALLA	(453.38 sq. m.)	(453.38 sq. m.)	(453.38 sq. m.)	(453.38 sq. m.)	
GROSS WINDOW AREA	631.89 sq. ft.	630.45 sq. ft.	654,56 sq. ft.	653.12 sq. ft.	
(INCL. GLASS DOORS & SKYLIGHTS)	(58 70 sg m)	(58.57 sq. m.)	(60.81 sa. m.)	(60.68 sg. m.)	

(INCL. GLASS DOORS & SKYLIGHTS) (58.70 sq. m.) (58.57 sq. m.) (60.81 sq. m.) (60.68 sq. m.) TOTAL WINDOW % 12.95 % 12.92 % 13.41 % 13.38 %







FRONT ELEVATION 'B'



FRONT ELEVATION 'C'

UNIT 4202 - 'THE ROSEDALE'

SB-12 ENERGY EFFICIENCY DESIGN MATRIX									
PRESCRIPTIVE COMPLIANCE SB-12 (SECTION 3.1.1) TABLE 3.1.1.2.A									
	SPACE HEA	ATING FUEL							
PACKAGE A1	■ GAS	□ OIL							
FAUNAGE AT	□ ELECTRIC	☐ PROPANE							
-	□ EARTH	□ SOLID FUEL							
BUILDING COMPONENT	REQUIRED	PROPOSED							
INSULATION RSI (R) VALUE									
CEILING W/ ATTIC SPACE	10.56 (R60)	10.56 (R60)							
CEILING W/O ATTIC SPACE	5.46 (R31)	5.46 (R31)							
EXPOSED FLOOR	5.46 (R31)	5.46 (R31)							
WALLS ABOVE GRADE	3.87 (R22)	3.87 (R22)							
BASEMENT WALLS	3.52 ci	3.52 ci							
* PROPOSED VALUES MAY BE SUBSTITUTED W/ 2.11+1.76ci (R12+R10ci)	(R20 ci) *	(R20 ci) *							
BELOW GRADE SLAB ENTIRE SURFACE > 600mm BELOW GRADE	-	-							
EDGE OF BELOW GRADE SLAB ≤ 600mm BELOW GRADE	1.76 (R10)	1.76 (R10)							
HEATED SLAB OR SLAB ≤ 600mm BELOW GRADE	1.76 (R10)	1.76 (R10)							
WINDOWS & DOORS									
WINDOWS/SLIDING GLASS DOORS (MAX U-VALUE)	1.6	1.6							
SKYLIGHTS (MAX. U-VALUE)	2.8	2.8							
APPLIANCE EFFICIENCY									
SPACE HEATING EQUIP. (AFUE%)	96%	96%							
HRV EFFICIENCY (%)	75%	75%							
DHW HEATER (EF)	0.8	0.8							

1 - TITLE PAGE

2 - BASEMENT & GROUND FLOOR PLANS - ELEV. 'A'

3 - OPT. 9FT. BASEMENT COND. & OPT. FLR. PLANS

4 - SECOND & OPT. SECOND FLOOR PLANS - ELEV. 'A'

5 - PARTIAL FLOOR PLANS - ELEV. 'B'

6 - PARTIAL FLOOR PLANS - ELEV. 'C'

7 - PARTIAL BASEMENT & GROUND FLOOR PLAN W/ LIBRARY - ELEV. 'A'

8 - FRONT ELEVATION 'A'

9 - LEFT SIDE ELEVATION 'A'

10 - RIGHT SIDE ELEVATION 'A'

11 - REAR ELEVATION 'A'/B'/C'

12 - FRONT ELEVATION 'B'

13 - LEFT SIDE ELEVATION 'B'

14 - RIGHT SIDE ELEVATION 'B'

15 - FRONT ELEVATION 'C' 16 - LEFT SIDE ELEVATION 'C'

17 - RIGHT SIDE ELEVATION 'C'

18 - CROSS SECTION A-A

19 - CONSTRUCTION NOTES

W1 - DECK CONDITIONS

W2 - DECK CONDITIONS

W3 - DECK DETAILS

W4 - DECK DETAILS

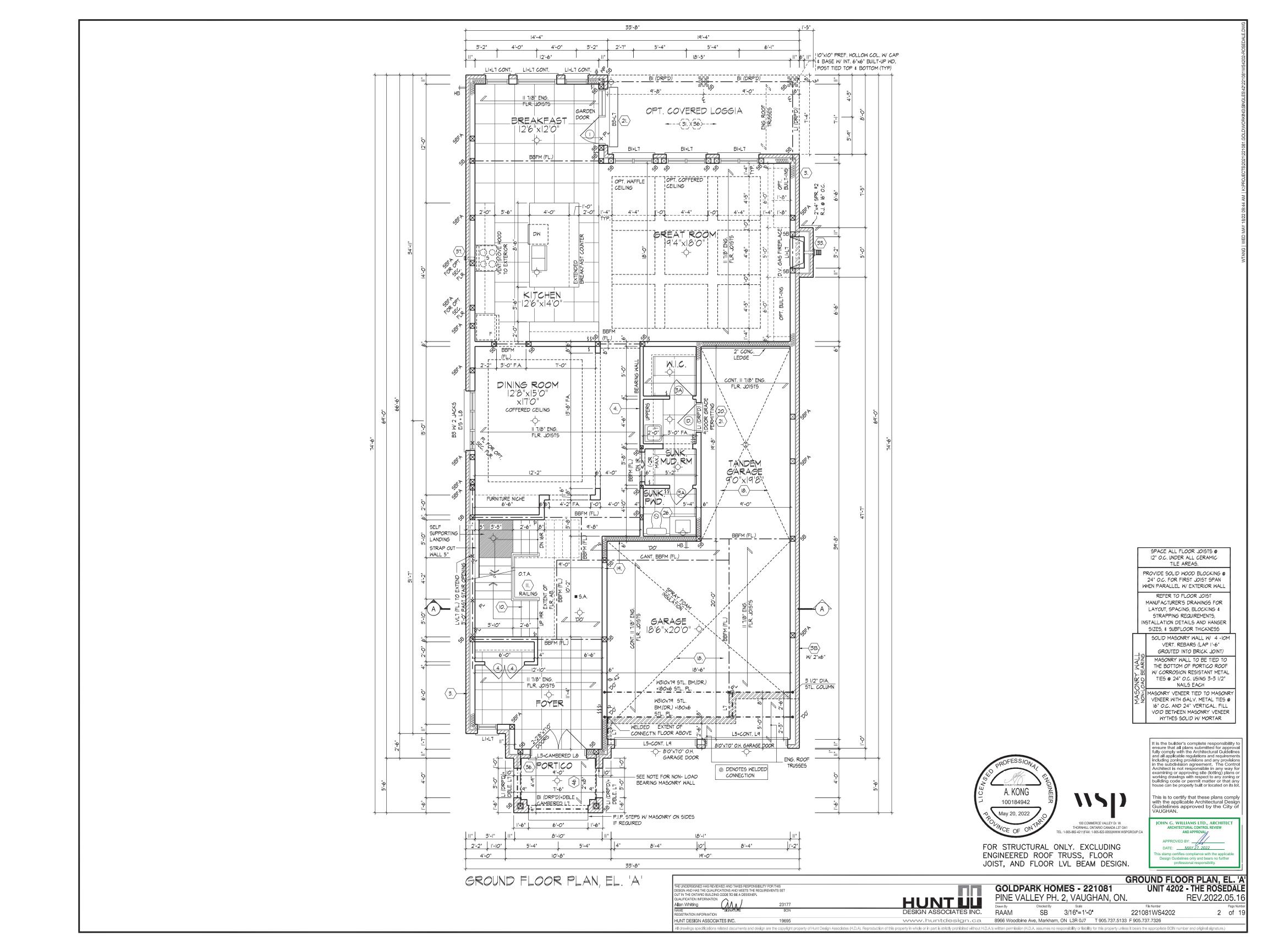
AREA CALCULATIONS	EL. 'A'	EL. 'B'	EL. 'C'	EL. 'A'	EL. 'B'	EL. 'C'	EL. 'A'	EL. 'B'	EL. 'C'
	STD. PLAN	STD. PLAN	STD. PLAN	OPT. SERVICE STAIRS	OPT. SERVICE STAIRS	OPT. SERVICE STAIRS	OPT. LIBRARY	OPT. LIBRARY	OPT. LIBRARY
GROUND FLOOR AREA	1546 sq. ft.	1513 sq. ft.	1516 sq. ft.	1648 sq. ft.	1616 sq. ft.	1619 sq. ft.	1741 sq. ft.	1709 sq. ft.	1711 sq. ft.
	(143.63 sq. m.)	(140.56 sq. m.)	(140.84 sq. m.)	(153.10 sq. m.)	(150.13 sq. m.)	(150.41 sq. m.)	(161.74 sq. m.)	(158.77 sq. m.)	(158.96 sq. m.)
SECOND FLOOR AREA	2076 sq. ft.	2059 sq. ft.	2039 sq. ft.	2076 sq. ft.	2059 sq. ft.	2039 sq. ft.	2076 sq. ft.	2059 sq. ft.	2039 sq. ft.
	(192.87 sq. m.)	(191.29 sq. m.)	(189.43 sq. m.)	(192.87 sq. m.)	(191.29 sq. m.)	(189.43 sq. m.)	(192.87 sq. m.)	(191.29 sq. m.)	(189.43 sq. m.)
SUBTOTAL	3622 sq. ft.	3572 sq. ft.	3555 sq. ft.	3724 sq. ft.	3675 sq. ft.	3658 sq. ft.	3817 sq. ft.	3768 sq. ft.	3750 sq. ft.
	(336.49 sq. m.)	(331.85 sq. m.)	(330.27 sq. m.)	(345.97 sq. m.)	(341.42 sq. m.)	(339.84 sq. m.)	(354.61 sq. m.)	(350.06 sq. m.)	(348.39 sq. m.)
DEDUCT ALL OPEN AREAS	24 sq. ft.	24 sq. ft.	24 sq. ft.	24 sq. ft.	24 sq. ft.	24 sq. ft.	24 sq. ft.	24 sq. ft.	24 sq. ft.
	(2.23 sq. m.)	(2.23 sq. m.)	(2.23 sq. m.)	(2.23 sq. m.)	(2.23 sq. m.)	(2.23 sq. m.)	(2.23 sq. m.)	(2.23 sq. m.)	(2.23 sq. m.)
TOTAL NET AREA	3598 sq. ft.	3548 sq. ft.	3531 sq. ft.	3700 sq. ft.	3651 sq. ft.	3634 sq. ft.	3793 sq. ft.	3744 sq. ft.	3726 sq. ft.
	(334.27 sq. m.)	(329.62 sq. m.)	(328.04 sq. m.)	(343.74 sq. m.)	(339.19 sq. m.)	(337.61 sq. m.)	(352.38 sq. m.)	(347.83 sq. m.)	(346.16 sq. m.)
FINISHED 8 FT.	86 sq. ft.	86 sq. ft.	86 sq. ft.	86 sq. ft.	86 sq. ft.	86 sq. ft.	86 sq. ft.	86 sq. ft.	86 sq. ft.
BASEMENT AREA	(7.99 sq. m.)	(7.99 sq. m.)	(7.99 sq. m.)	(7.99 sq. m.)	(7.99 sq. m.)	(7.99 sq. m.)	(7.99 sq. m.)	(7.99 sq. m.)	(7.99 sq. m.)
FINISHED 9 FT.	80 sq. ft.	80 sq. ft.	80 sq. ft.	80 sq. ft.	80 sq. ft.	80 sq. ft.	80 sq. ft.	80 sq. ft.	80 sq. ft.
BASEMENT AREA	(7.43 sq. m.)	(7.43 sq. m.)	(7.43 sq. m.)	(7.43 sq. m.)	(7.43 sq. m.)	(7.43 sq. m.)	(7.43 sq. m.)	(7.43 sq. m.)	(7.43 sq. m.)
COVERAGE	2146 sq. ft.	2116 sq. ft.	2118 sq. ft.	2146 sq. ft.	2116 sq. ft.	2118 sq. ft.	2146 sq. ft.	2116 sq. ft.	2118 sq. ft.
W/OUT PORCH	(199.37 sq. m.)	(196.58 sq. m.)	(196.77 sq. m.)	(199.37 sq. m.)	(196.58 sq. m.)	(196.77 sq. m.)	(199.37 sq. m.)	(196.58 sq. m.)	(196.77 sq. m.)
COVERAGE	2196 sq. ft.	2174 sq. ft.	2166 sq. ft.	2196 sq. ft.	2174 sq. ft.	2166 sq. ft.	2196 sq. ft.	2174 sq. ft.	2166 sq. ft.
W/ PORCH	(204.02 sq. m.)	(201.97 sq. m.)	(201.23 sq. m.)	(204.02 sq. m.)	(201.97 sq. m.)	(201.23 sq. m.)	(204.02 sq. m.)	(201.97 sq. m.)	(201.23 sq. m.)
COVERAGE	2351 sq. ft.	2329 sq. ft.	2321 sq. ft.	2351 sq. ft.	2329 sq. ft.	2321 sq. ft.	2351 sq. ft.	2329 sq. ft.	2321 sq. ft.
W/ OPT, LOGGIA	(218.42 sq. m.)	(216.37 sq. m.)	(215.63 sq. m.)	(218.42 sq. m.)	(216.37 sq. m.)	(215.63 sq. m.)	(218.42 sq. m.)	(216.37 sq. m.)	(215.63 sq. m.)

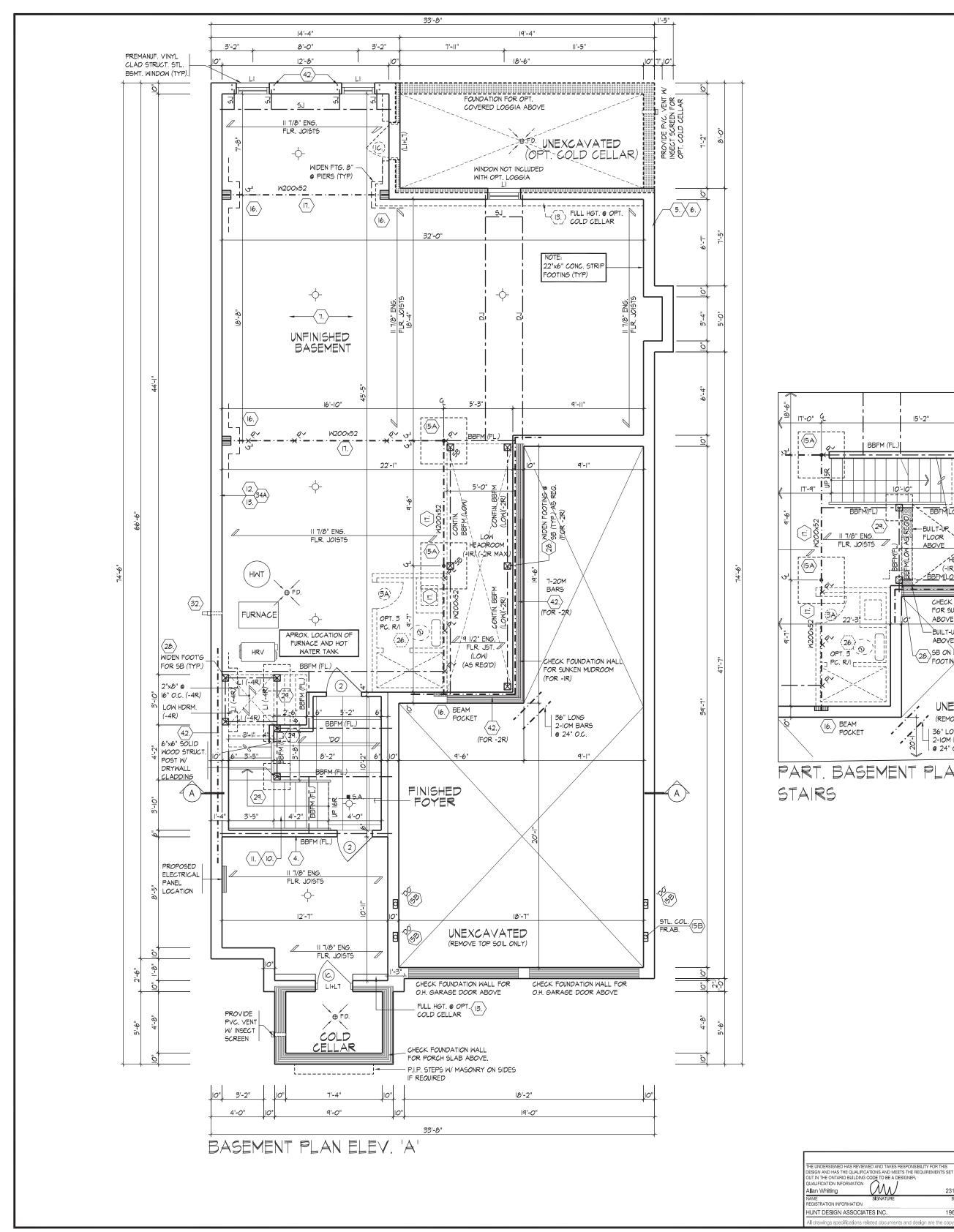


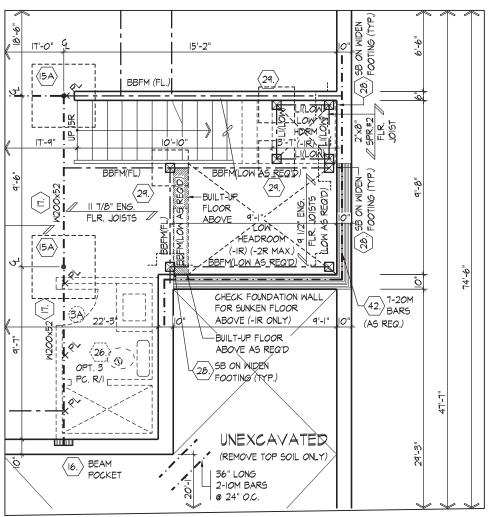


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3	-	-
2. REVISED AS PER STRUCTURAL COMMENTS & ISSUED FOR PERMIT	2022/05/16	WT
1. REVISED TO STANDARD 9FT BSMT & UPDATED CONSTRUCTION NOTES	2022/03/08	WT
REVISIONS	DATE (YYYY/MM/DD)	BY

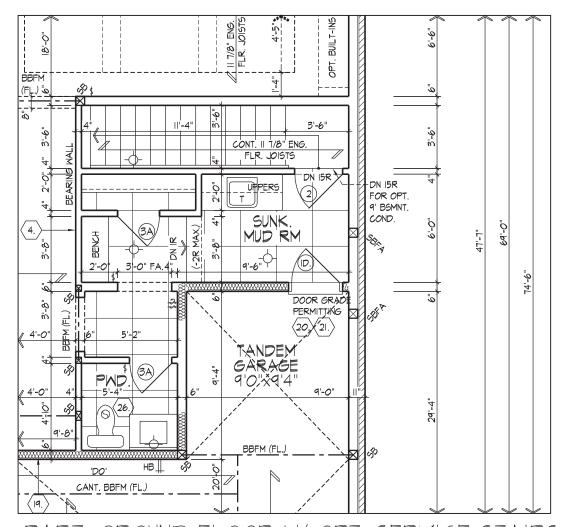
						TITLE	PAGE
THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET		GOLDP	PARK HOI	MES - 221	I 081 UNIT 4202	- THE ROS	EDALE
OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER. QUALIFICATION INFORMATION	HUNTUU	PINE VA	ALLEY PH.	. 2, VAUGH	łAN, ON.	REV.2022	.05.16
Allan Whiting VVVV 23177 NAME SIGNATURE BCIN REGISTRATION INFORMATION	DESIGN ASSOCIATES INC.	Drawn By RAAM	Checked By	Scale 3/16"=1'-0"	File Number 221081WS4202	1	Page Number of 19
HUNT DESIGN ASSOCIATES INC. 19695	www.huntdesign.ca		ne Ave, Markham	, ON L3R 0J7	T 905.737.5133 F 905.737.7326	·	<u> </u>
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PART. BASEMENT PLAN W/ OPT. SERVICE STAIRS



PART. GROUND FLOOR W/ OPT. SERVICE STAIRS

COMPLETE CONSTRUCTION NOTES & DIMENSIONS SPACE ALL FLOOR JOISTS @

REFER TO STANDARD PLAN FOR

TILE AREAS. PROVIDE SOLID WOOD BLOCKING @

24" O.C. FOR FIRST JOIST SPAN

WHEN PARALLEL W/ EXTERIOR WALL REFER TO FLOOR JOIST MANUFACTURER'S DRAWINGS FOR

LAYOUT, SPACING, BLOCKING & STRAPPING REQUIREMENTS, INSTALLATION DETAILS AND HANGER SIZES, & SUBFLOOR THICKNESS

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT AND APPROVAL

3 of 19

FOR STRUCTURAL ONLY. EXCLUDING ENGINEERED ROOF TRUSS. FLOOR JOIST,

erty in whole or in part is strictly prohibited without H.D.A.'s written permission (H.D.A. assumes no responsibility or liability for this property unless it bears the appropriate BCIN

SB 3/16"=1'-0"

8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

A. KONG

100184942

May 20, 2022

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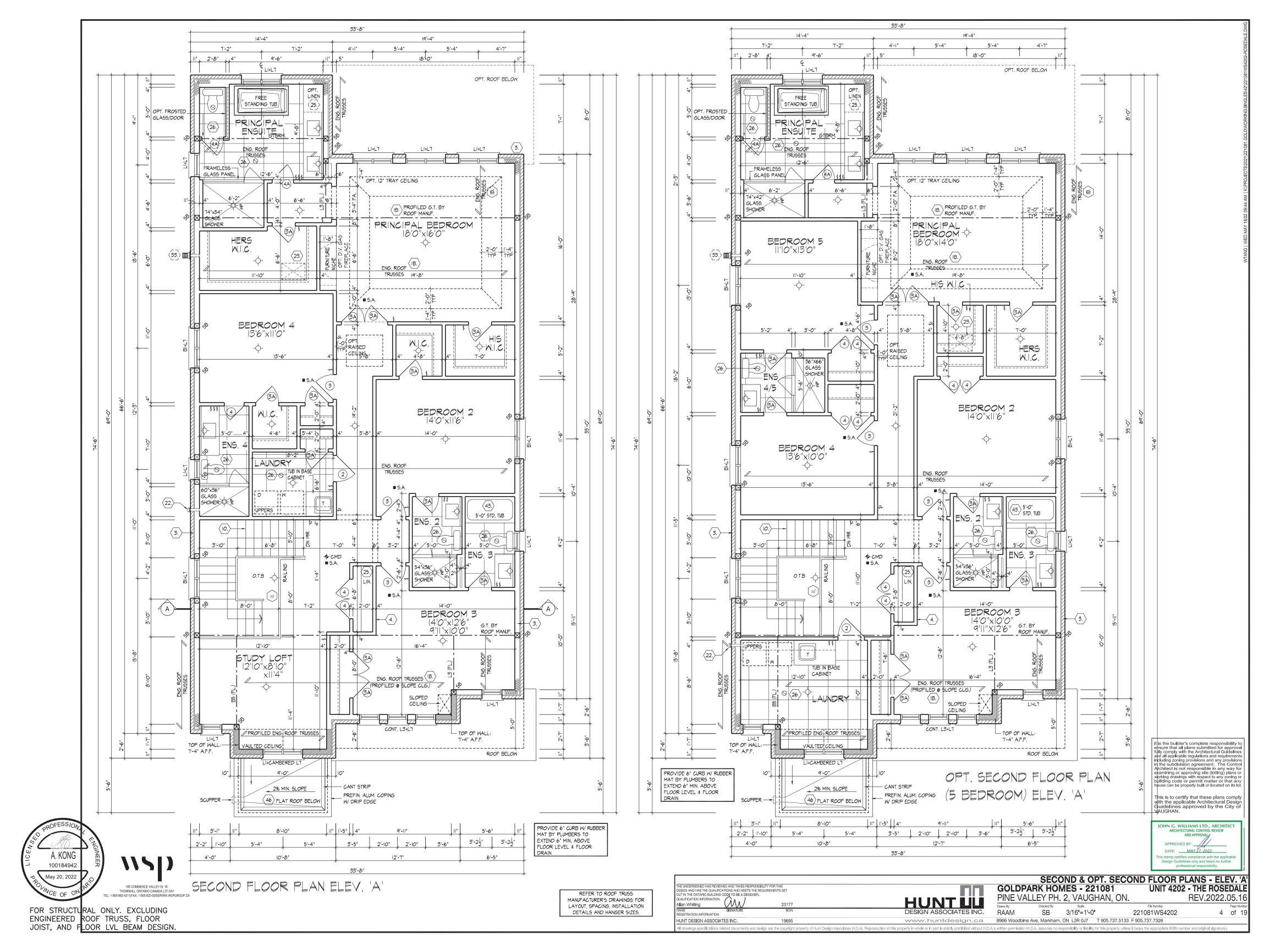
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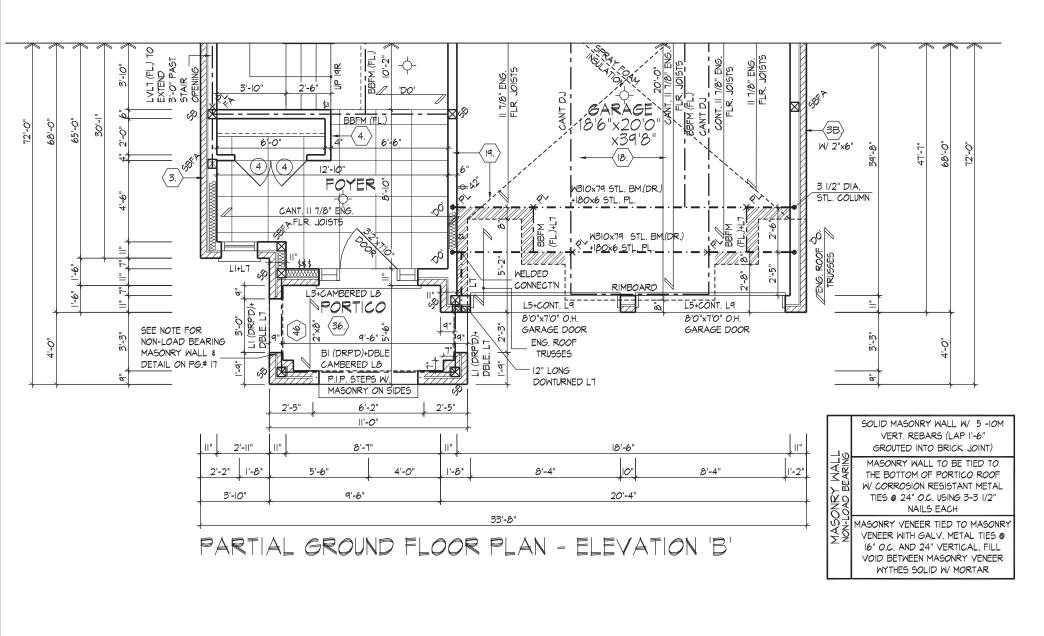
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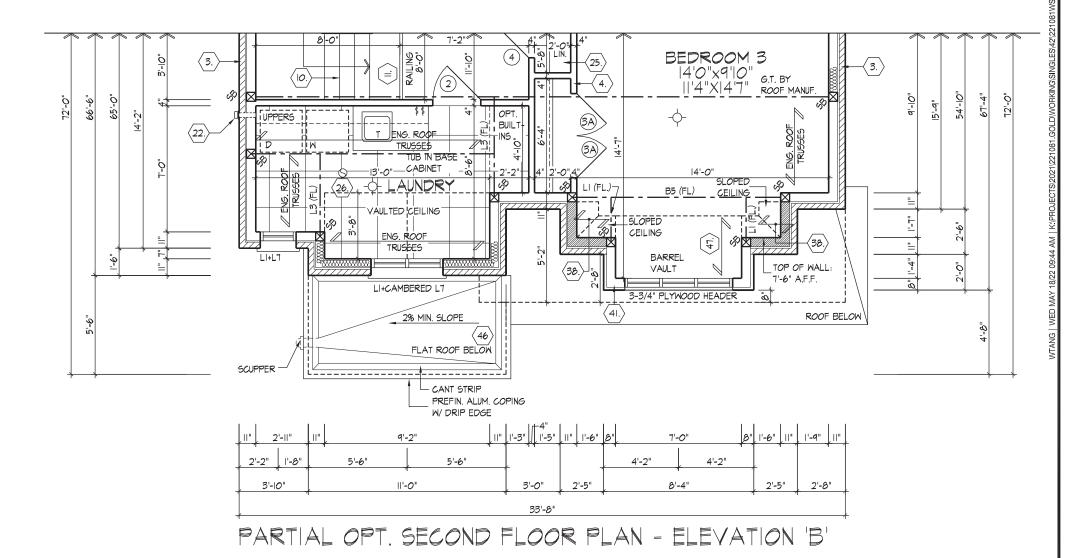
T, AND FLOOR LVL BEAM DESIGN.	This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.
BASEMENT GOLDPARK HOMES - 221081 PINE VALLEY PH. 2, VAUGHAN, ON.	PLAN & OPT. FLR. PLANS UNIT 4202 - THE ROSEDALE REV.2022.05.16
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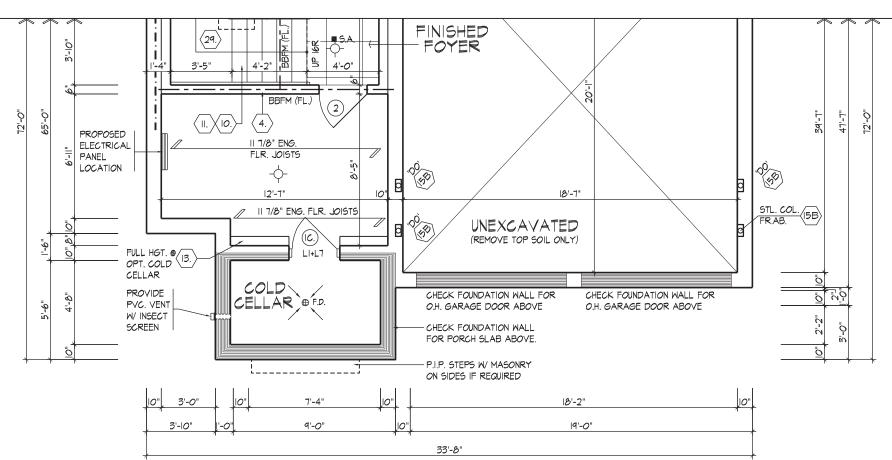
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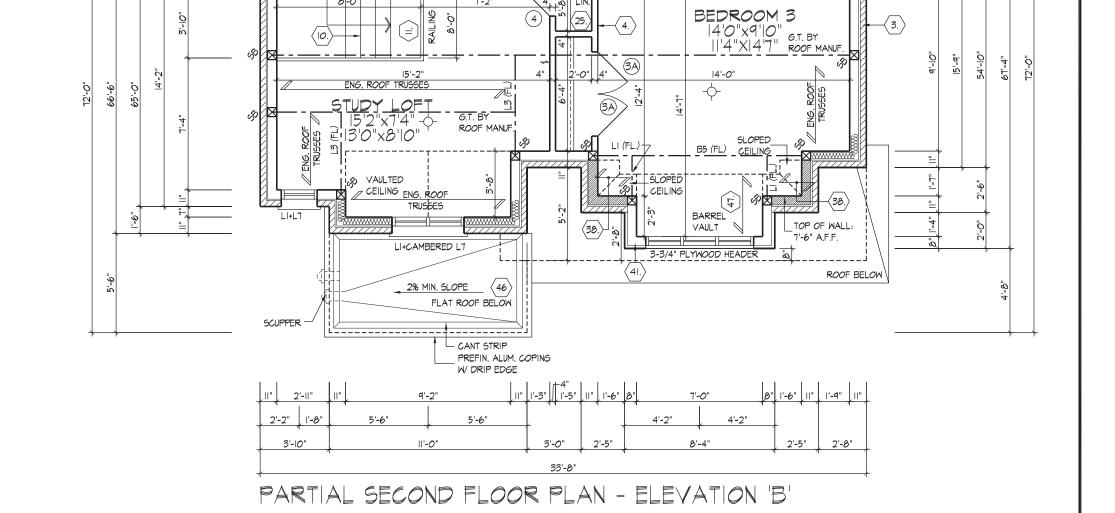


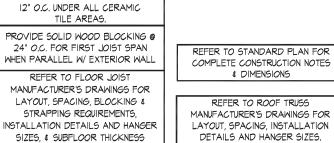






PARTIAL BASEMENT PLAN - ELEVATION B





SPACE ALL FLOOR JOISTS @



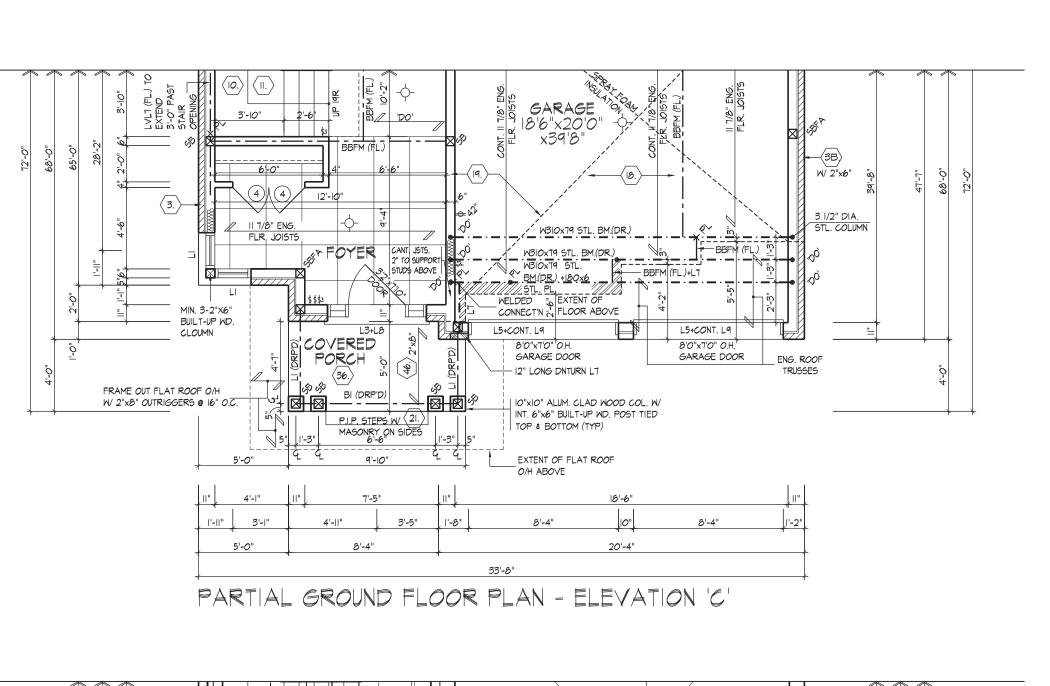
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot. This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of

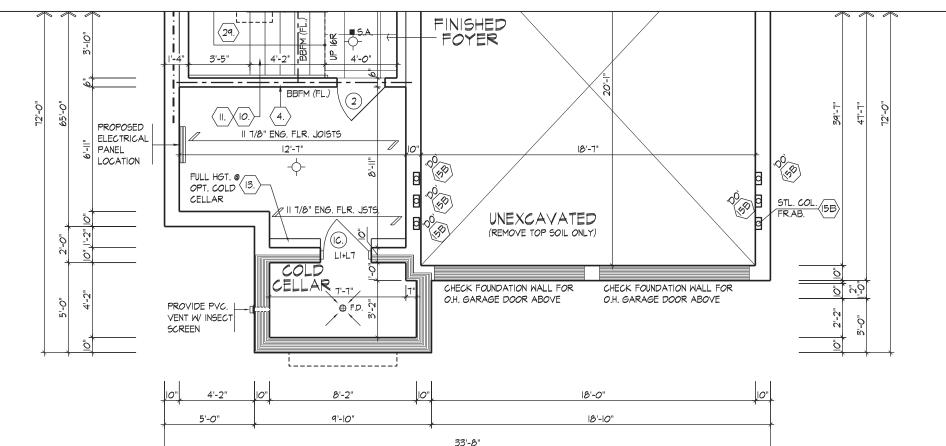
VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT ARCHITECTURAL CONTROL REVIEW
AND APPROVAL APPROVED BY: DATE: <u>MAY 27, 2022</u> his stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

FOR STRUCTURAL ONLY. EXCLUDING ENGINEERED ROOF TRUSS, FLOOR JOIST, AND FLOOR LVL BEAM DESIGN.

PARTIAL FLOOR PLANS - ELEV. 'B' THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS **GOLDPARK HOMES - 221081 UNIT 4202 - THE ROSEDALE** The Universidate In an Settlewed Aud Lakes Resolvability Throther Inits DeSign And HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.
QUALIFICATION INFORMATION
Allan Whitting 231 PINE VALLEY PH. 2, VAUGHAN, ON. REV.2022.05.16 **HUNT UU** SB 3/16"=1'-0" 221081WS4202 5 of 19 RAAM REGISTRATION INFORMATION 8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326 HUNT DESIGN ASSOCIATES INC. www.huntdesign.ca





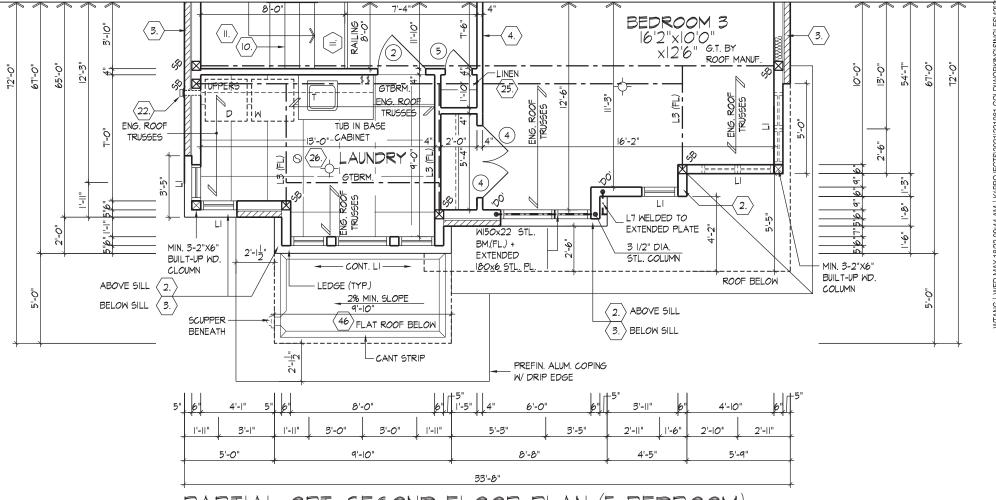




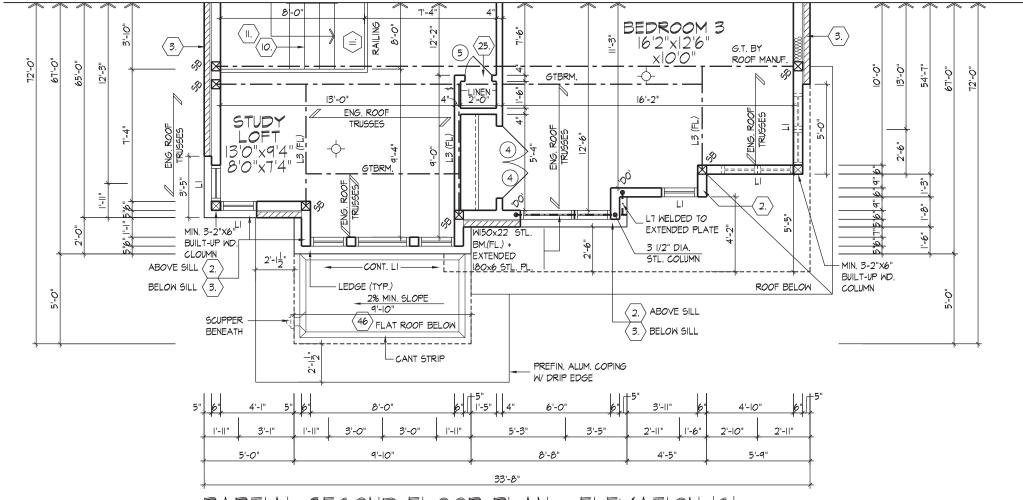
INSTALLATION DETAILS AND HANGER SIZES, & SUBFLOOR THICKNESS REFER TO ROOF TRUSS

MANUFACTURER'S DRAWINGS FOR
LAYOUT, SPACING, INSTALLATION
DETAILS AND HANGER SIZES.

REFER TO STANDARD PLAN FOR COMPLETE CONSTRUCTION NOTES & DIMENSIONS



PARTIAL OPT. SECOND FLOOR PLAN (5 BEDROOM)
ELEV. 'C'



PARTIAL SECOND FLOOR PLAN - ELEVATION 'C'



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ENGINEERED ROOF TRUSS, FLOOR
JOIST, AND FLOOR LVL BEAM DESIGN.

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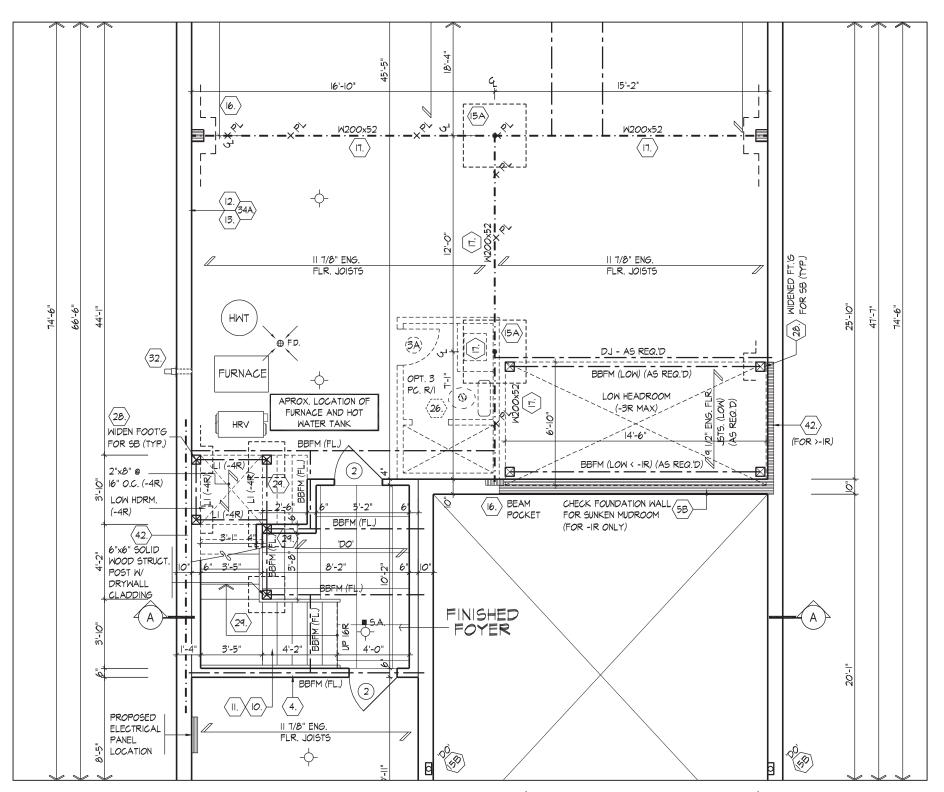
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for "examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot. This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

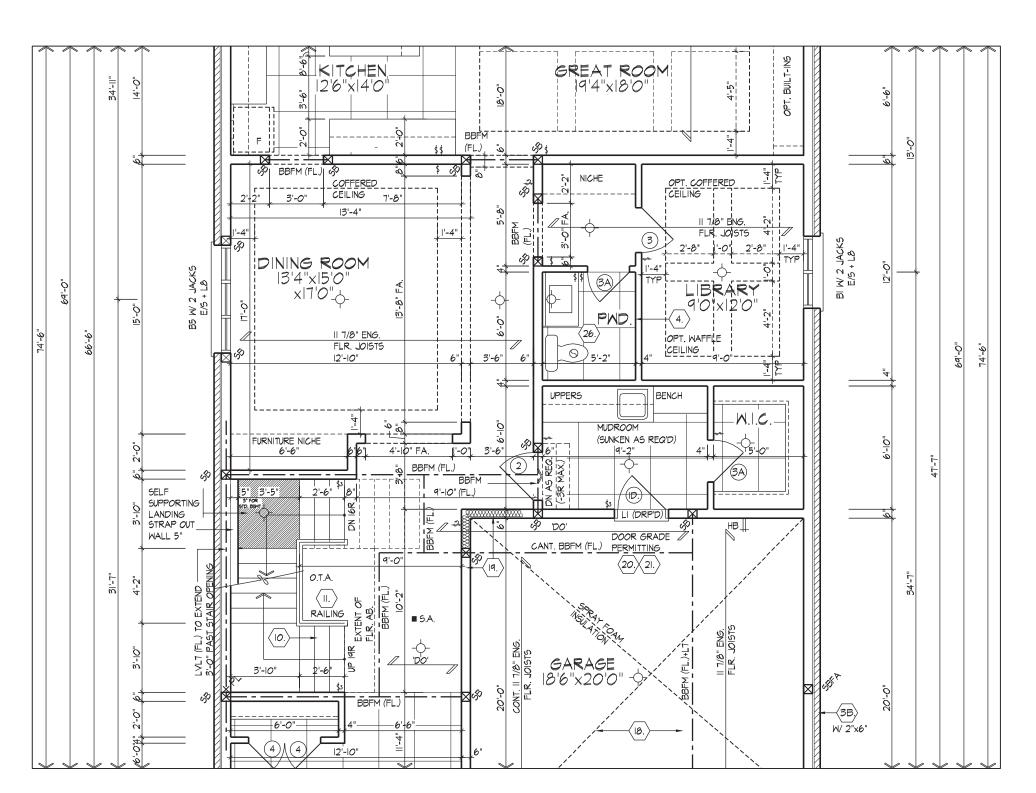
APPROVED BY:
DATE: MAY 27. 2022

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PARTIAL FLOOR PLANS - ELEV. 'C' THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS **GOLDPARK HOMES - 221081 UNIT 4202 - THE ROSEDALE** DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER. PINE VALLEY PH. 2, VAUGHAN, ON. UT IN THE ONTARIO BUILDING COSE TO LIVE INJURIES AND INFORMATION Allan Whiting REV.2022.05.16 **HUNT UU** Allan Whiting SB 3/16"=1'-0" 221081WS4202 RAAM 6 of 19 NAME REGISTRATION INFORMATION 8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326 HUNT DESIGN ASSOCIATES INC. www.huntdesign.ca



PARTIAL BASEMENT PLAN ELEV. 'A' (ELEV. 'B'/'C' SIMILAR) FOR OPT. GROUND FLOOR PLAN W/ LIBRARY



PARTIAL OPT. GROUND FLOOR PLAN ELEV. 'A' (ELEV. 'B'/'C' SIMILAR) W/ LIBRARY



FOR STRUCTURAL ONLY. EXCLUDING ENGINEERED ROOF TRUSS, FLOOR JOIST, AND FLOOR LVL BEAM DESIGN.

REFER TO STANDARD PLAN FOR COMPLETE CONSTRUCTION NOTES & DIMENSIONS

SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

PROVIDE SOLID WOOD BLOCKING @ 24" O.C. FOR FIRST JOIST SPAN WHEN PARALLEL W EXTERIOR WALL

REFER TO FLOOR JOIST

MANUFACTURER'S DRAWINGS FOR
LAYOUT, SPACING, BLOCKING &
STRAPPING REQUIREMENTS,
INSTALLATION DETAILS AND HANGER
SIZES, & SUBFLOOR THICKNESS

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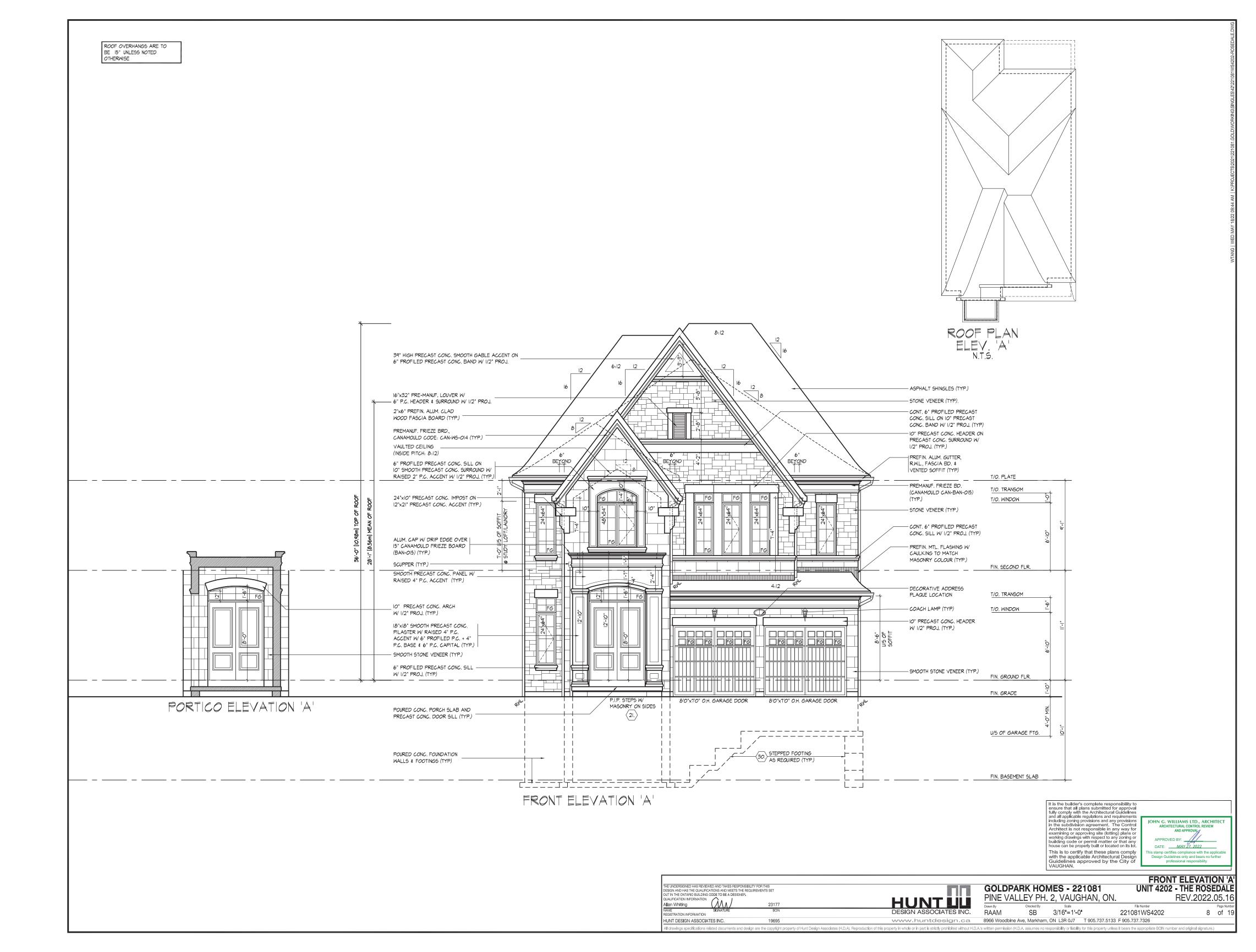
JOHN G. WILLIAMS LTD., ARCHITECT ARCHITECTURAL CONTROL REVIEW AND APPROVAL

APPROVED BY:

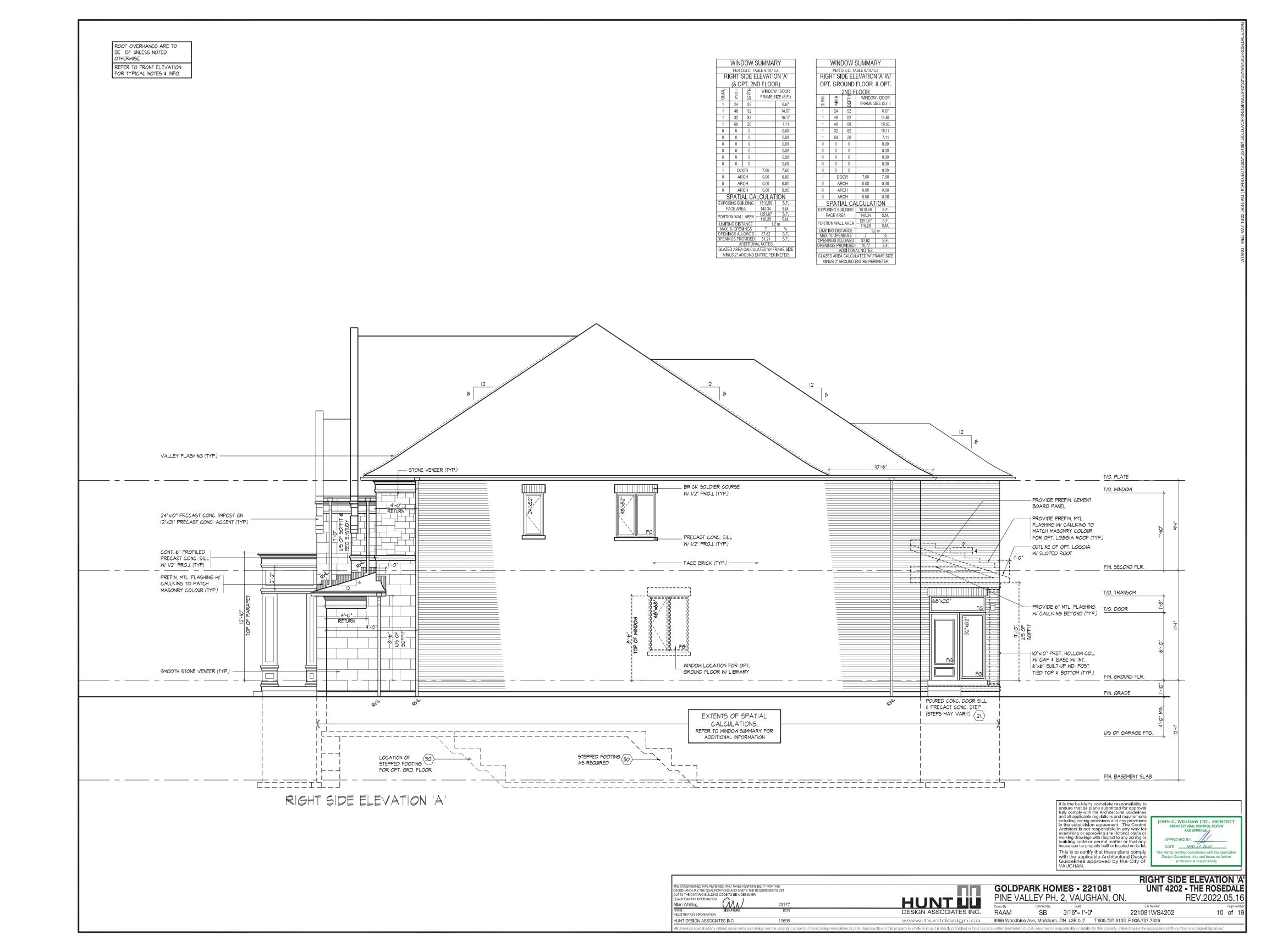
DATE: MAY 27. 2022

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PARTIAL BASEMENT & GROUND FLOOR PLAN W/ LIBRARY - ELEV. 'A'
GOLDPARK HOMES - 221081 UNIT 4202 - THE ROSEDALE THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER. PINE VALLEY PH. 2, VAUGHAN, ON. REV.2022.05.16 **HUNT LU** JALIFICATION INFORMATION (A) Allan Whiting NAME REGISTRATION INFORMATION SB 3/16"=1'-0" 221081WS4202 RAAM 7 of 19 8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326 www.huntdesign.ca HUNT DESIGN ASSOCIATES INC.



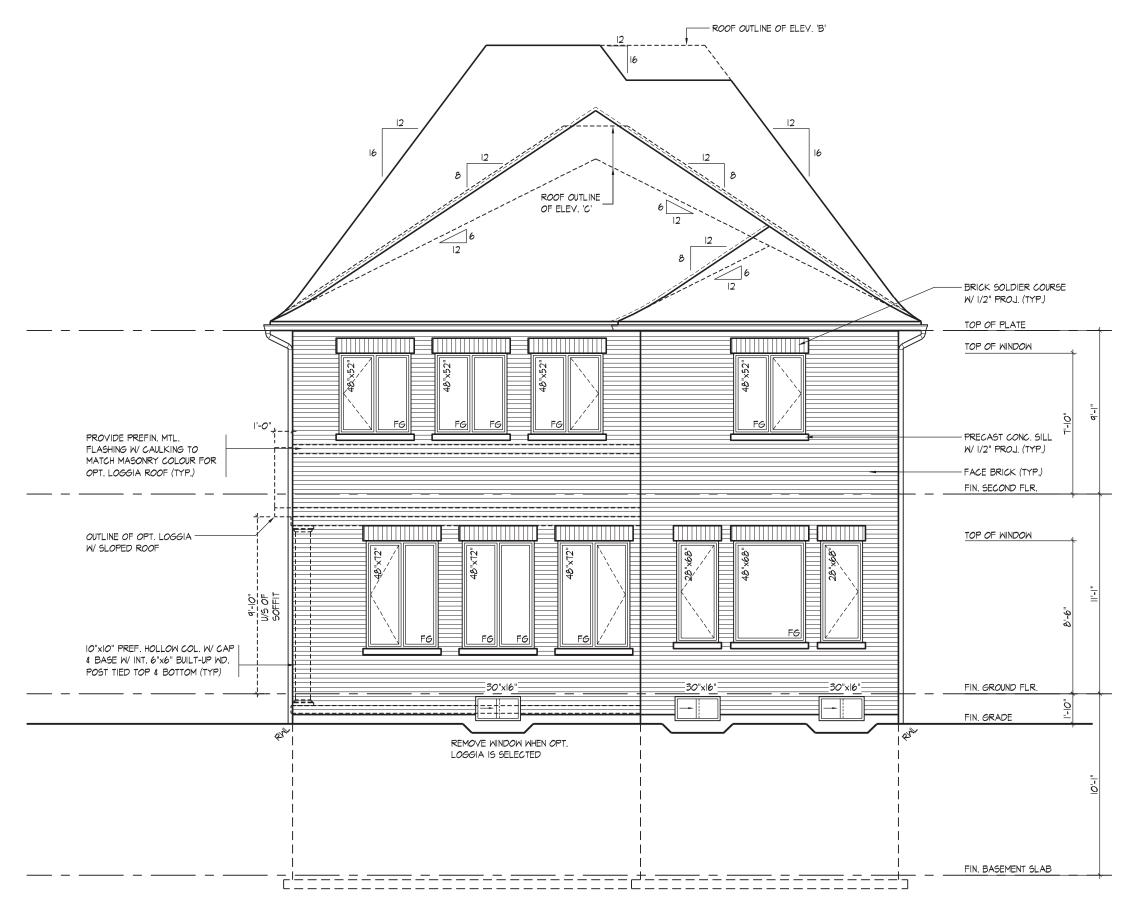




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QUAN.	WIDTH	DEPTH	WINDOW FRAME S		QUAN.	WIDTH	DEPTH	WINDOV FRAME S		QUAN.	WIDTH	DEPTH	WINDOV FRAME S		QUAN.	WIDTH	DEPTH	WINDOV FRAME S	
3	30"	16"		6.50	2	28"	30"		8.67	2	30"	24"		7.22	4	48"	56"		63.56
3	48"	72"		62.33	1	48"	30"		7.94	3	48"	72"		62.33	2	28"	56"		17.33
2	28"	68"		21.33	3	48"	72"		62.33	2	28"	68"		21.33	2	28"	68"		21.33
1	48"	68"		19.56	2	28"	68"		21.33	1	48"	68"		19.56	1	48"	68"		19.56
4	48"	52"		58.67	1	48"	68"		19.56	4	48"	52"		58.67	4	48"	52"		58.67
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F/	ACE ARE	EA	68.29	S.M.	F/	ACE ARE	ΕA	84.17	S.M.	F/	ACE ARE	EΑ	79.72	S.M.] F/	ACE ARE	EΑ	98.20	S.M.
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			68.29	S.M.				84.17	S.M.				79.72	S.M.				98.20	S.M.
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	NGS ALI		371.20	S.F.		NGS ALI		457.56	S.F.		NGS ALI		433.32	S.F.		NGS ALI		533.81	S.F.
OPENI			168.39	S.F.	OPENI	NGS PRO		178.50	S.F.	OPENI	NGS PRO		169.11	S.F.	OPENI	NGS PRO		180.44	S.F.
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	WINDOW SUMMARY WINDOW SUMMARY						₹Y		WINL	DOW S	SUMMAF	₹Y		WINL	DOW S	Summaf	₹Y		
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QUAN.	WIDTH	DEPTH	WINDOW FRAME S		QUAN.	WIDTH	DEPTH	WINDOW FRAME S		QUAN.	WIDTH	DEPTH	WINDOW FRAME S		QUAN.	WIDTH	DEPTH	WINDOV FRAME S	
3	30"	16"		6.50	2	28"	30"		8.67	2	30"	24"		7.22	4	48"	56"		63.56
3	48"	72"		62.33	1	48"	30"		7.94	3	48"	72"		62.33	2	28"	56"		17.33
2	28"	68"		21.33	3	48"	72"		62.33	2	28"	68"		21.33	2	28"	68"		21.33
1	48"	68"		19.56	2	28"	68"		21.33	1	48"	68"		19.56	1	48"	68"		19.56
4	48"	52"		58.67	1	48"	68"		19.56	4	48"	52"		58.67	4	48"	52"		58.67
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										4					4				
F.F	ACE ARE	:A	68.29	S.M.	F/	ACE ARE	:A	84.17	S.M.	F/	ACE ARE	:A	79.72	S.M.	F/	ACE ARE	:A	98.20	S.M.
PORTIC	ON WALI	AREA	735.05 68.29	S.F. S.M.	PORTIC	ON WAL	L AREA	906.05 84.17	S.F. S.M.	PORTI	ON WAL	AREA	858.05 79.72	S.F. S.M.	PORTIC	ON WAL	AREA	1057.05 98.20	S.F. S.M.
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	VGS ALL		371.20	S.F.	MAX. % OPENINGS 50.50 % OPENINGS ALLOWED 457.56 S.F.			NGS ALI		433.32	S.F.	MAX. % OPENINGS OPENINGS ALLOWED		533.81	S.F.				
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3	48"	72"		62.33	1	48"	30"		7.94	3	48"	72"		62.33	2	28"	56"		17.33
2	28"	68"		21.33	3	48"	72"		62.33	2	28"	68"		21.33	2	28"	68"		21.33
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EXPOS	ING BU	LDING	735.05	S.F.	EXPOS	ING BU	LDING	906.05	S.F.	EXPOS	SING BU	LDING	858.05	S.F.	EXPOS	SING BU	ILDING	1057.05	S.F.
FA	CE ARE	A	68.29	S.M.] F/	ACE ARE	A	84.17	S.M.] F/	ACE ARE	A	79.72	S.M.] F/	ACE ARE	EΑ	98.20	S.M.
PORTIC	NI WATE	ADEA	735.05	S.F.	DODTI	ON WALI	ADEA	906.05	S.F.	DODTI	ON WAL	ADEA	858.05	S.F.	DODTI	ON WAL	I ADEA	1057.05	S.F.
			68.29	S.M.				84.17	S.M.				79.72	S.M.				98.20	S.M.
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REAR ELEVATION 'A'/'B'/'C'

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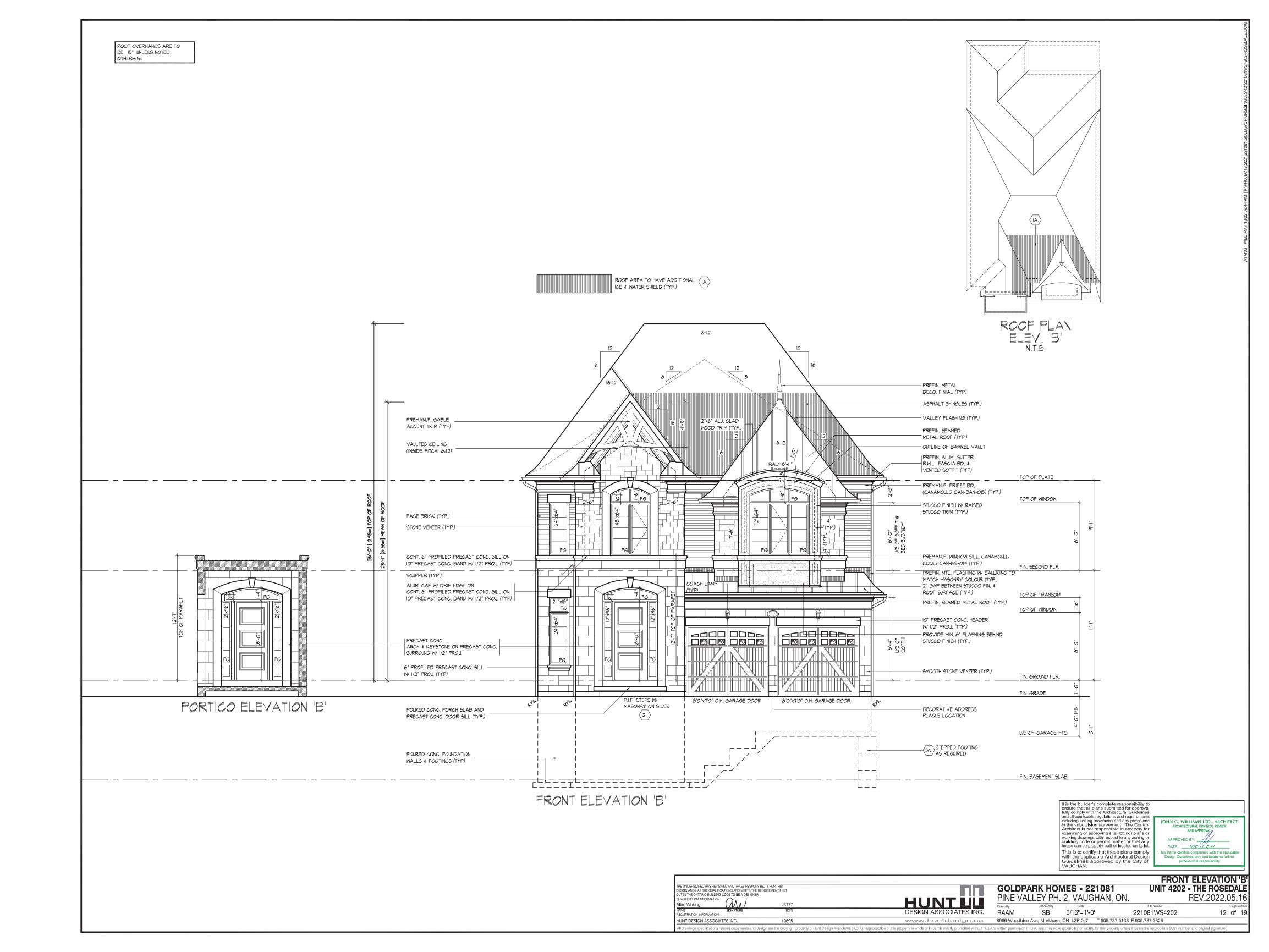
JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY:

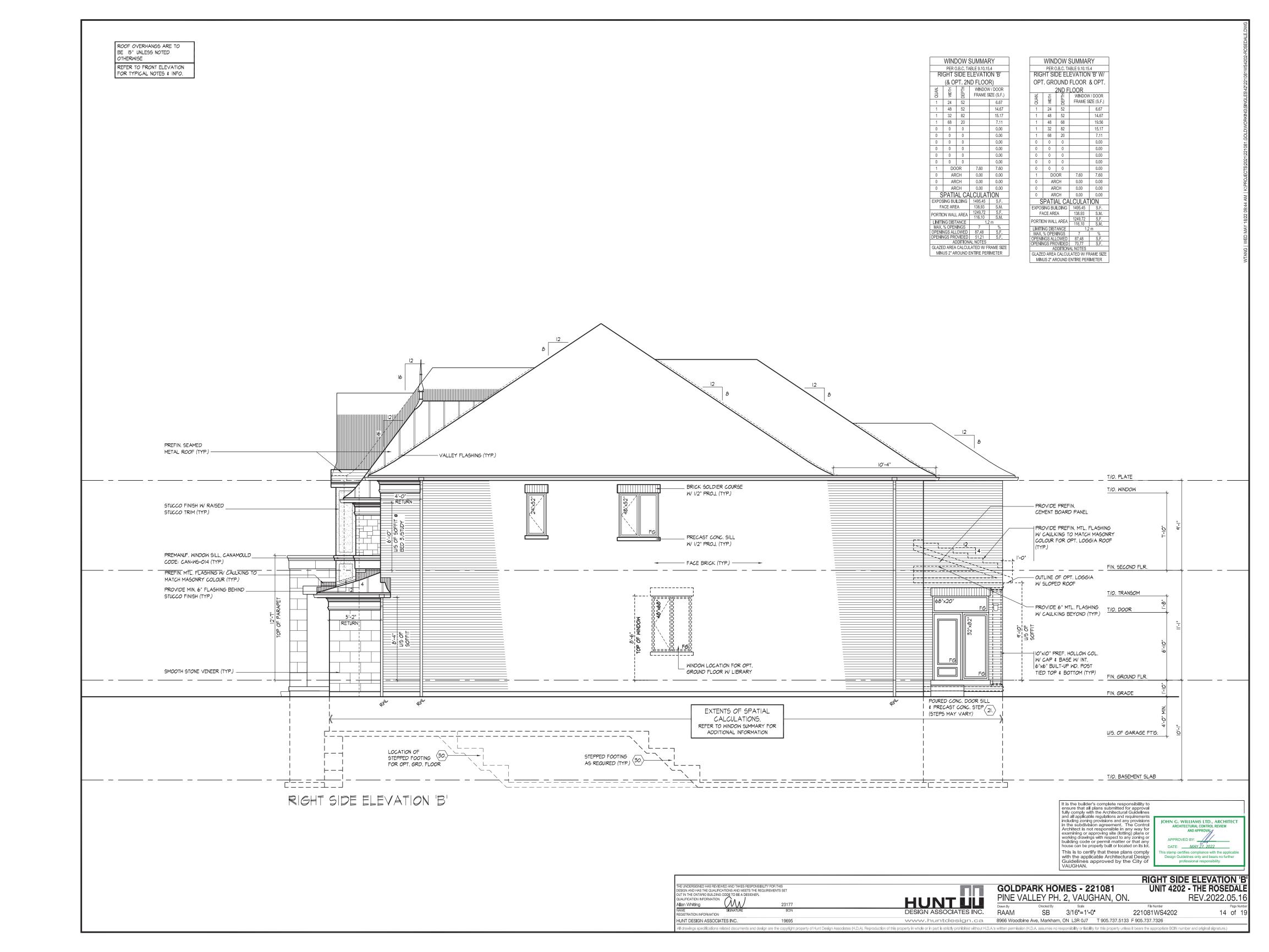
DATE: MAY 27, 2022

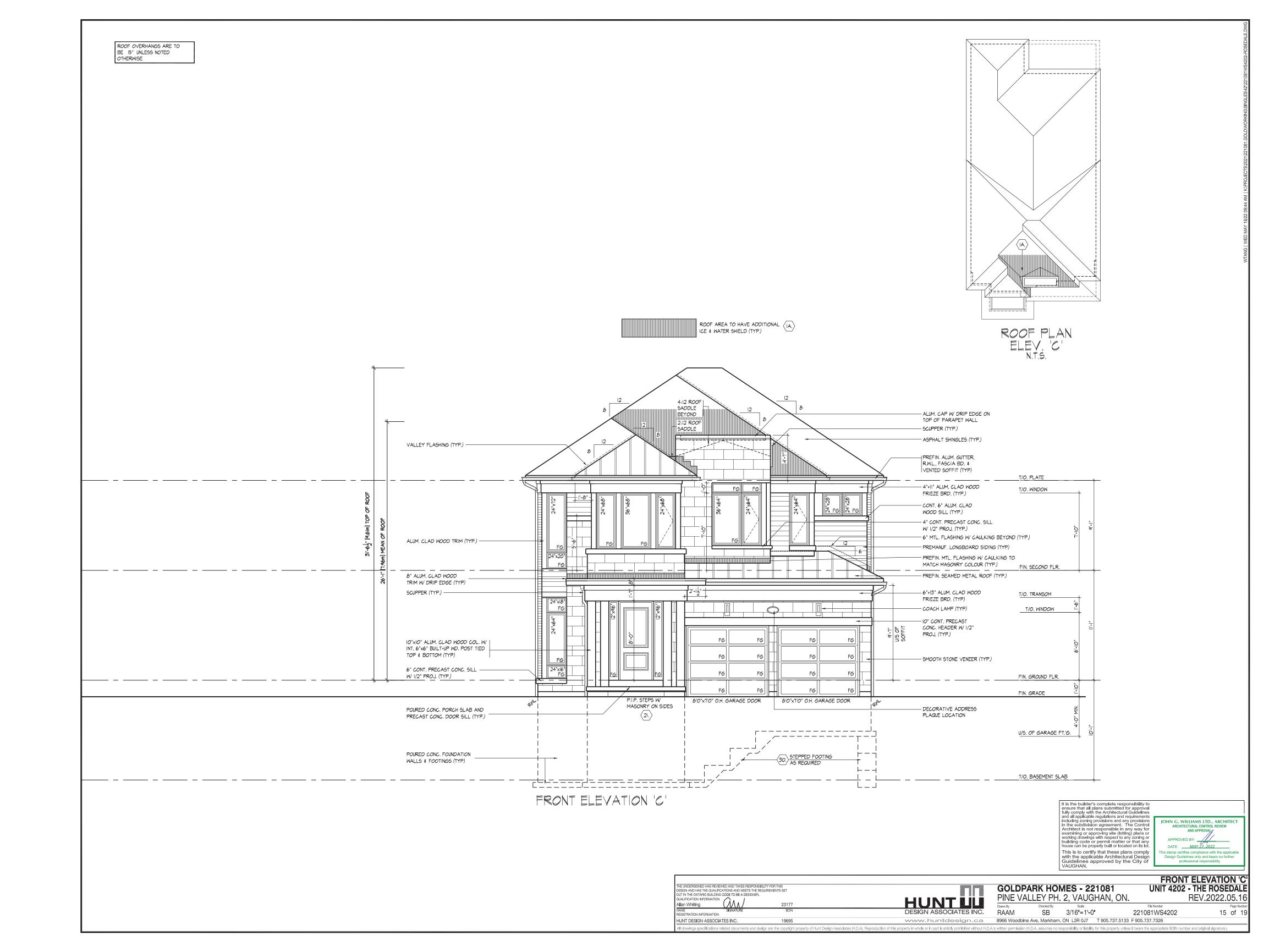
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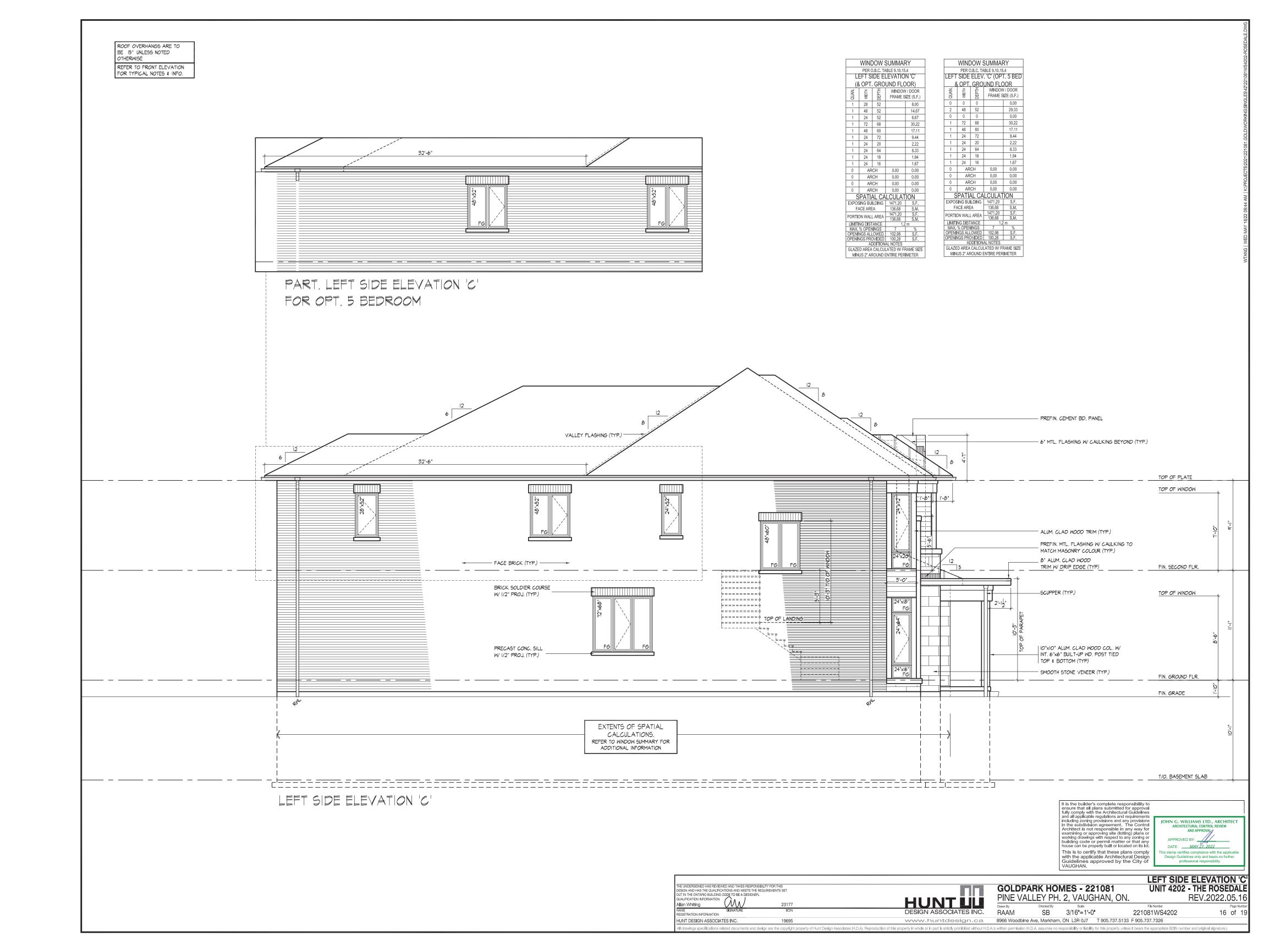
THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET	nn	GOLDP/	ARK HON	MES - 22108		EVATION 'A'/B'/' 2 - THE ROSEDAI
OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER. QUALIFICATION INFORMATION	LII INIT ÜÜÜ			2, VAUGHAN		REV.2022.05.
Allan Whiting 23177		Drawn By	Checked By	Scale	File Number	Page Nu
NAME SIGNATURE BCIN REGISTRATION INFORMATION	DESIGN ASSOCIATES INC.	RAAM	SB	3/16"=1'-0 "	221081WS4202	11 of
HUNT DESIGN ASSOCIATES INC. 19695	www.huntdesign.ca	8966 Woodbine	Ave, Markham,	ON L3R 0J7 T 905.	737.5133 F 905.737.7326	

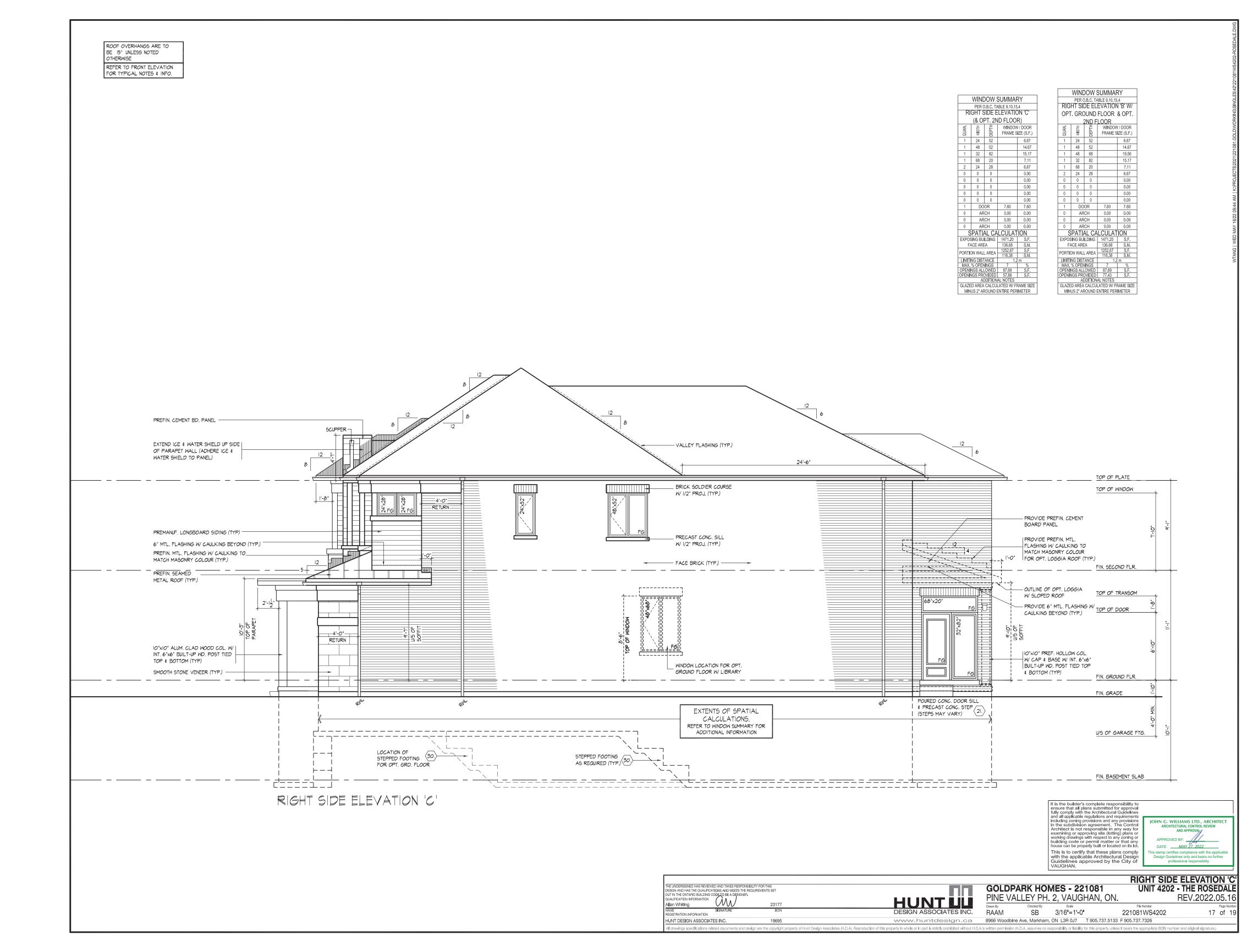


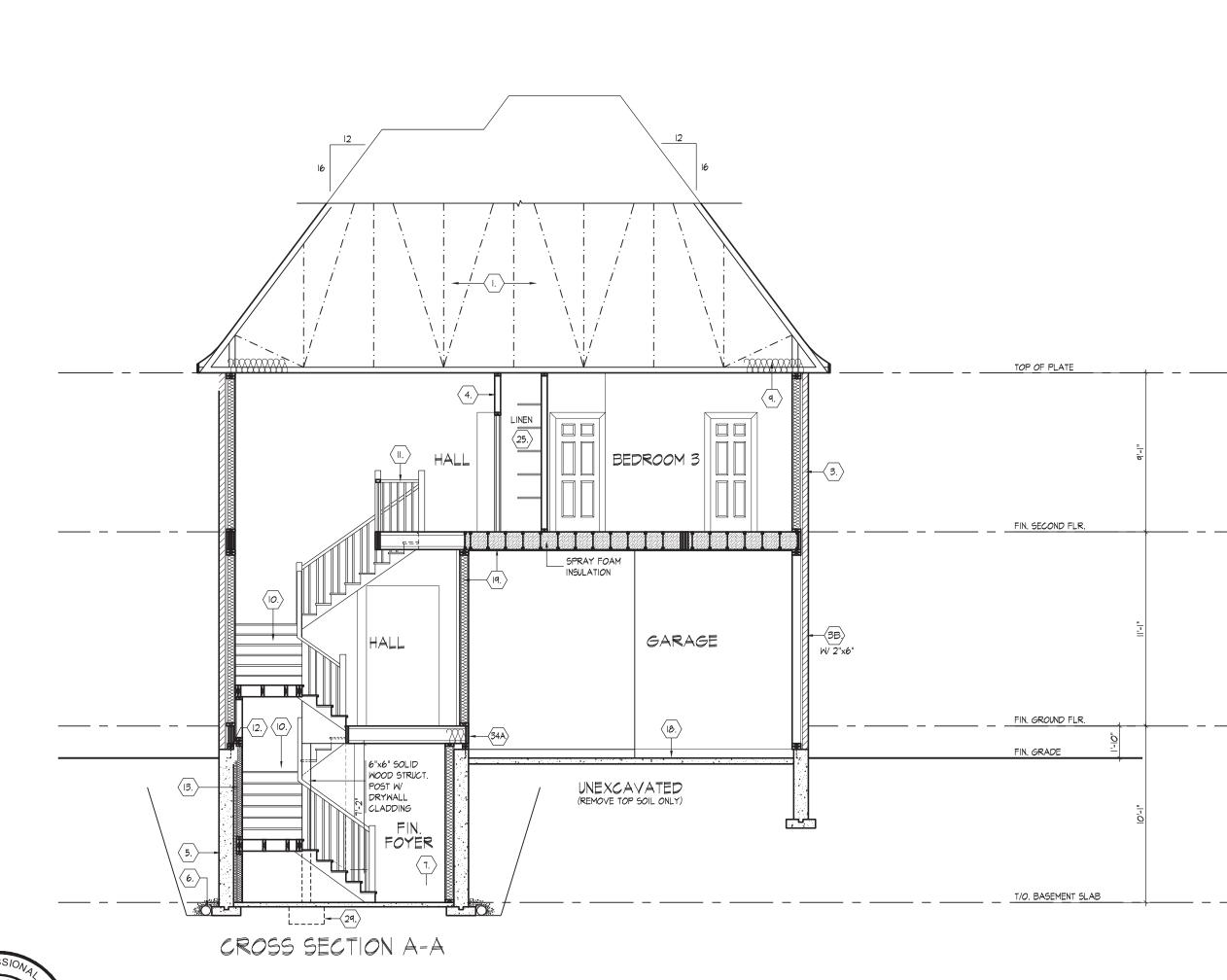














FOR STRUCTURAL ONLY. EXCLUDING ENGINEERED ROOF TRUSS, FLOOR JOIST, AND FLOOR LVL BEAM DESIGN.

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QUALIFICATION INFORMATION

Allan Whiting

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NAME

REGISTRATION INFORMATION

HUNT DESIGN ASSOCIATES INC.

19695

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REV.2022.05.16

DESIGN ASSOCIATES INC.

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1A) ICE AND WATER SHIELD

PROVIDE ICE AND WATER SHIELD IN THE AREAS INDICATED. THE ICE AND WATER SHIELD SHALL BE A SELF ADHERING AND SELF SEALING MEMBRANE. SIDE LAPS MUST BE A MINIMUM 3 1/2" (90) AND END LAPS A MINIMUM 6" (152). AND TO EXTEND UP DORMER WALLS A MINIMUM 12" (305).

TO HAVE 5" MIN. EAVESTROUGH WITH ELEC. TRACED HEATER CABLE ALONG

1B PROFILED ROOF TRUSSES

ROOF TRUSSES SHALL BE PROFILED AND/OR STEPPED AT RAISED COFFER/TRAY CEILINGS. ANGLED TRAY CEILINGS WILL BE SHEATHED W/ 3/8" (9.5) PLYWOOD.

2 SIDING WALL CONSTRUCTION (2"x6")

SIDING MATERIAL AS PER ELEVATION ATTACHED TO FRAMING MEMBERS, FURRING MEMBERS OR BLOCKING BETWEEN THE FRAMING MEMBERS ON APPROVED SHEATHING PAPER ON 3/8" (9.5) EXT. GRADE SHEATHING ON STUDS APPROVED SHEATHING FOR SIDES (9.23) EAT. GRADE SHEATHING ON STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1., INSULATION, APPROVED 6 MIL POLYETHYLENE AIR/VAPOUR BARRIER, ON 1/2" (12.7) GYPSUM WALLBOARD INT. FIN. (GYPSUM SHEATHING, RIGID INSULATION, AND FIBERBOARD SHALL NOT BE USED FOR THE ATTACHMENT OF SIDING (9.23.16.3.(1.)) (REFER TO 35 NOTE AS REQ.)

SIDING WALL CONSTRUCTION (2'x6') W/ CONTIN. INSULATION SIDING MATERIAL AS PER ELEVATION ATTACHED TO FURRING MEMBERS ON APPROVED AIR/WATER BARRIER AS PER O.B.C. 9.27.3. ON EXTERIOR TYPE RIGID INSULATION (JOINTS UNTAPED) MECHANICALLY FASTENED AS PER MANUFACTURER'S SPECIFICATIONS ON 3/8" (9.5) EXT. GRADE SHEATHING ON STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1., INSULATION, APPROVED 6 MIL POLYETHYLENE AIR/VAPOUR BARRIER, ON 1/2" (12.7) GYPSUM WALLBOARD INT. FIN. (GYPSUM SHEATHING, RIGID INSULATION, AND FIBERBOARD SHALL NOT BE USED FOR THE ATTACHMENT OF SIDING (9.23.16.3.(1.)) (REFER TO 35 NOTE AS REQ.)

SIDING WALL @ GARAGE CONSTRUCTION

SIDING MATERIAL AS PER ELEVATION ATTACHED TO FRAMING MEMBERS, FURRING MEMBERS OR BLOCKING BETWEEN THE FRAMING MEMBERS OF APPROVED SHEATHING PAPER ON 3/8" (9.5) EXTERIOR TYPE SHEATHING ON STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1.,1/2" (12.7) GYPSU WALLBOARD INTERIOR FINISH. (GYPSUM SHEATHING, RIGID INSULATION AND FIBERBOARD SHALL NOT BE USED FOR THE ATTACHMENT OF SIDING (9.23.16.3.(1.)) (REFER TO 35 NOTE AS REQ.)

BRICK VENEER WALL CONSTRUCTION (2"x6")

3 1/2" (90) BRICK VENEER 1" (25) AIR SPACE, 7/8"x7"x0.03" (22x180x0.76) GALV. METAL TIES @ 16" (400) O.C. HORIZ. 24" (600) O.C. VERT. BONDING AND FASTENING FOR TIES TO CONFORM WITH 9.20.9. ON APPROVED SHEATHING PAPER, 3/8" (9.5) EXTERIOR TYPE SHEATHING, STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1., INSULATION AND 6 mil POLYETHYLENE VAPOUR BARRIER WITH APPROVED CONTIN. AIR BARRIER. 1 (12.7) GYPSUM WALLBOARD INTERIOR FINISH. PROVIDE WEEP HOLES @ 32" (800) O.C. SOTTOM COURSE AND OVER OPENINGS. PROVIDE BASE FLASHING UP MIN. 6" (150) BEHIND BUILDING PAPER (9.20.13.6.) (REFER TO 35 NOTE AS REQUIRED)

3A BRICK VENEER WALL CONSTRUCTION (2"x6") W/ CONTIN. INSULATION 1/2" (90) BRICK VENEER 1" (25) AIR SPACE, 7/8"x7"x0.03" (22x180x0.76) GALV. METAL ES @ 16" (400) O.C. HORIZ. 24" (600) O.C. VERT. BONDING AND FASTENING FOR ES TO CONFORM WITH 9.20.9. ON APPROVED AIR,WATER BARRIER AS PER O.B.C. 27.3. ON EXTERIOR TYPE RIGID INSULATION (JOINTS UNTAPED) MECHANICALL 9.27.3. ON EXTENDENT FOR INITIAL INITIAL STATE OF MEDITARION (SOUTH SOUTH) MEDITARIO ALL INITIAL INITI AND 6 mil POLYETHYLENE VAPOUR BARRIER WITH APPROVED CONTIN. AIR BARRIER. 1/2" (12.7) GYPSUM WALLBOARD INTERIOR FINISH. PROVIDE WEEP HOLES @ 32" (800 O.C. BOTTOM COURSE AND OVER OPENINGS, PROVIDE BASE FLASHING UP MIN. 6" (150) OVER RIGID INSULATION (9.20.13.6.) (REFER TO 35 NOTE AS REQUIRED)

(3B) BRICK VENEER WALL @ GARAGE CONSTRUCTION

3 1/2" (90) BRICK VENEER, MIN. 1" (25) AIR SPACE, 7/8"X7"X0.03" (22x180x0.76) GALV. METAL TIES @ 16" (400) O.C. HORIZ. 24" (600) O.C. VERT. BONDING AND FASTENING FOR TIES TO CONFORM WITH 9.20.9. ON APPROVED SHEATHING PAPER, 3/8" (9.5) EXTERIOR TYPE SHEATHING ON STUDS CONFORMING TO O.B.C (9.23. SECTION 1.1., 1/2" (12.7) GYPSUM WALLBOARD INTERIOR FINISH, PROVIDE WEEP HOLES @ 32" (800) O.C. AT BOTTOM COURSE AND OVER OPENINGS, PROVIDE BASE FLASHING UP 6" (150) MIN. BEHIND BUILDING PAPER (9.20.13.6.) (REFER TO

INTERIOR STUD PARTITIONS (9.23.9.8., 9.23.10)

BEARING PARTITIONS SHALL BE A MINIMUM 2"x4" (38x89) @ 16" (406) O.C. FOR 2 STOREY AND 12" (305) O.C. FOR 3 STOREY, NON-BEARING PARTITIONS 2"x4" (38x89) @ 24" (610) O.C. PROVIDE 2"x4" (38x89) BOTTOM PLATE AND 2-2"x4" (23x89) TOP PLATE. 1/2" (12.7) INT. DRYWALL BOTH SIDES OF STUDS, PROVIDE 2"x6" (38x140) STUDS WHERE NOTED, PROVIDE 2"x4" (38x89) @ 24" (610) O.C. LADDER FRAMING WHERE WALLS INTERSECT PERPENDICULAR TO ONE ANOTHER. PROVIDE 2"x4" (38x89) WOOD BLOCKING ON FLAT @ 3'-11" (1194) O.C. MAX. BETWEEN FLOOR JOISTS WHEN NON-LOADBEARING WALLS ARE PARALLEL TO FLOOR JOISTS.

(4A) EXT. LOFT WALL CONSTRUCTION (2"x6") - NO CLADDING

3/8" (9.5) EXTERIOR TYPE SHEATHING, STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1., INSULATION AND 6 mil POLYETHYLENE VAPOUR BARRIER WITH APPROVED CONT. AIR BARRIER. 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (9.23.)

APPROVED AIR/WATER BARRIER AS PER O.B.C. 9.27.3. ON NSULATION (JOINTS UNTAPED) MECHANICALLY FASTEN 9 27.3. ON EXTERIOR TYPE RIGID MANUFACTURER'S SPECIFICATIONS, ON 3/8" (9.5) EXTERIOR TYPE SHEATHING, STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1., INSULATION AND 6 mil POLYETHYLENE VAPOUR BARRIER WITH APPROVED CONT. AIR BARRIER. 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (9.23.)

FOUNDATION WALL/FOOTINGS

POURED CONC. FOUNDATION WALL AS PER CHART BELOW ON CONTINUOUS EYED CONCRETE FOOTING. FOUNDATION WALLS SHALL EXTEND NOT LESS HAN 6" (150) ABOVE FINISHED GRADE. THE OUTSIDE OF THE FOUNDATION SHALL BE DAMPROOFED FROM THE TOP OF THE FOOTING TO FINISHED GRAD AND BRUSH COAT FROM THE TOP TO 2" BELOW GRADE, PROVIDE A DRAINAGE LAYER ON THE OUTSIDE OF THE FOUNDATION WALL, SEAL THE DRAINAGE LAYER AT THE TOP. THE TOP OF THE CONC. FOOTING SHALL BE DAMPROOFED. CONCRETE FOOTINGS SUPPORTING JOIST SPANS GREATER THAN 16-1" (4900) SHALL BE SIZED IN ACCORDANCE WITH 9.15.3.4 (1),(2) OF THE O.B.C. (REFER TO CHART BELOW FOR RESPECTIVE SIZE). BRACE FOUNDATION WALL PRIOR TO BACKFILLING, ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OF 125kPa S.L.S. OR COMPACTED ENGINEERED FILL WITH MIN. BEARING CAPACITY OF 125kPa S.L.S. IF SOIL BEARING DOES NOT MEET MINIMUM CAPACITY, ENGINEERED FOOTINGS ARE REQUIRED. ACTUAL SOIL BEARING CAPACITY TO BE VERIFIED WITH SOIL ENGINEERING REPORT.
REFER TO CONSTRUCTION DRAWINGS AND DETAILS FOR FOUNDATION

VALL STRENGTH AND THICKNESS AND 9.15.4. FOUNDATION WALLS SHALL NOT EXCEED 9'-10" (3.0m) IN UNSUPPORTED HEIGHT LINI ESS OTHERWISE NOTED, 19 15 4 2 (1.1)

HEIGHT UNLESS OTHERWISE NOTED. [9.13.4.2.(1.)]												
UNREINFORCED SOLID CONCRETE FOUNDATION WALLS (9.15.4.2.)												
II.	MAX. HEIGHT FROM FIN. SLAB TO GRADE SUPPORTED SUPPORTED AT TOP AT TOP ≤2.5m >2.5m &≤2.75m >2.75m &≤3.0m											
STRENGTH	Į Š	UNSUPPORTED SUPPORTED AT TOP										
S	置 AT TOP ≤2.5m >2.5m & ≤2.75m >2.75m & ≤3.0m											
МРа	* 8"	3'-11" (1.20m)	7'-0" (2.15m)	7'-0" (2.15m)	6'-10" (2.10m)							
	10"	4'-7" (1.40m)	7'-6" (2.30m)	8'-6" (2.60m)	8'-2" (2.50m)							
15	12"	4'-11" (1.50m)	7'-6" (2.30m)	8'-6" (2.60m)	9'-3" (2.85m)							
MPa	ूठ 🖈 8" 3'-11" (1.20m) 7'-6" (2.30m) 7'-6" (2.30m) 7'-2" (2.20m)											
¥	10"	4'-7" (1.40m)	7'-6" (2.30m)	8'-6" (2.60m)	9'-3" (2.85m)							
8	12" 4'-11" (1.50m) 7'-6" (2.30m) 8'-6" (2.60m) 9'-3" (2.85m)											

★ 9" MIN. THICK FOUNDATION WALL IS REQUIRED FOR MASONRY VENEER FINISHED EXTERIOR WALLS WITH CONTINUOUS INSULATION CONDITION, TO PROVIDE MIN. BEARING FOR SILL PLATES, BEAMS AND FLOOR JOIST AS PER 9.23.7.2., 9.23.8.1., & 9.23.9.1. OF THE O.B.C.

MINIMUM STRIP FOOTING SIZES (9.15.3.) UNLESS NOTED OTHERWISE ON PLANS											
NUMBER FLOORS SUPPORTED	SUPPORTING INT. LOAD BEARING MASONRY WALLS	SUPPORTING EXTERIOR	SUPPORTING PARTYWALL								
1	16' WIDE x 6" THICK	16" WIDE x 6" THICK	16" WIDE x 6" THICK								
2	24' WIDE x 8" THICK	20" WIDE x 6" THICK	24" WIDE x 8" THICK								
3	36" WIDE x 14" THICK	26" WIDE x 9" THICK	36" WIDE x 14" THICK								

REFER TO SB-12 ENERGY EFFICIENCY DESIGN MATRIX ON THE TITLE PAGE FOR ALL VALUES AS REQUIRED PER 3.1.1., 3.1.2., 3.1.3. OF THE OBC.

FOUNDATION REDUCTION IN THICKNESS FOR MASONRY HERE THE TOP OF THE FOUNDATION WALL IS REDUCED IN THICKNESS PERMIT THE INSTALLATION OF MASONRY EXTERIOR FACING, TH SECTION SHALL BE NOT LESS THAN 3 1/2" (90) THICK. THE BRICK VENEER SHALL BE TIED TO THE FOUNDATION WALL WITH CORROSION RESISTANT METAL TIES @ 7 7/8" (200) VERTICAL AND 2-11" (889) HORIZONTAL FILL VOID WITH MORTAR BETWEEN WALL AND BRICK VENEER (9.15.4.7(2)(3) & 9.20.9.4(3))

5B FOUNDATION REDUCTION IN THICKNESS FOR JOISTS WHERE THE TOP OF THE FOUNDATION WALL IS REDUCED IN THICKNESS TO PERMIT THE INSTALLATION OF FLOOR JOISTS, THE REDUCED SECTION SHALL BE NOT MORE THAN 13 3/4" (350) HIGH & NOT LESS THAN 3 1/2" (90) THICK (9.15.4.7(1))

WEEPING TILE (9.14.3.) 4" (100) Ø WEEPING TILE W/ FILTER CLOTH WRAP & 6" (152) CRUSHED STONE COVER

BASEMENT SLAB OR SLAB ON GRADE (9.16.4.) (9.13.) 3" (80) MIN. 25MPa (3600psi) CONC. SLAB ON 4" (100) COARSE GRANULAR FILL, OR 20MPa (2900psi) CONC. WITH DAMPPROOFING BELOW SLAB. PROVIDE 1/2" (12.7) IMPERVIOUS BOARD FOR BOND BREAK AT EDGE. WHERE A BASEMENT SLAB IS WITHIN 24" (610) OF THE EXTERIOR GRADE PROVIDE RIGID INSUL. AROUND THE PERIMETER EXTENDING MIN. 24" (610) BELOW GRADE. FOR SLAB ON GRADE CONDITIONS RIGID INSULATION SHALL BE APPLIED TO THE UNDERSIDE OF THE ENTIRE SLAB. ([SB-12] 3.1.1.7.(5) & (6))

EXPOSED FLOOR TO EXTERIOR (9.10.17.10 , & CAN/ULC-S705.2) PROVIDE SPRAY FOAM INSULATION BETWEEN CANT. JOIST AND INSTALL OSB CONFIRMING TO 9.29.9. FIN. SOFFIT OR CLADDING AS PER ELEVATION TO U/S OF EXPOSED CANT. JOIST.

EXPOSED CEILING TO EXTERIOR w/ ATTIC (9.25.2.4) INSULATION, 6 mil POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM BOARD INTERIOR FINISH OR APPROVED EQ.

EXPOSED CEILING TO EXTERIOR w/o ATTIC

JOISTS/TRUSSES AS PER PLANS W/ 2"x2" (38x38) PURLINS @ 16" (406) O.C. PERPENDICULAR TO JOISTS (PURLINS NOT REQ. W/ SPRAY FOAM OR ROOF TRUSSES), W/ INSULATION BETWEEN JOIST, 6 mil POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM BOARD INT. FINISH OR APPROVED EQ. (CAN/ULC-S705.2, 9.19.1, 9.10.17.10)

((10)	<u>AĽL</u>	STAIF	S/E	XŤEŘI	OR ST	AIRS (9.8	3.1.2., 9	3.8.2.,	9.8.
=/)\IO/		MAX, RISE	MIN. F	RISE MAX, RU	N MIN, RUN	ALL STAIR	RS	l	
),	>	PRIVATE	7 7/8 (200)	5" (12	25) 14° (355	10" (255)	MAX, NOSING	1* (25)		
(PUBLIC	7 (180)	5" (12	25) NO LIMI	11" (280)	111111111111111111111111111111111111111	. (60)		
1	,		MIN, STAIR	WIDTH	TAPERED	TREADS]	
1	>	PRIVATE	2'-10" (8	sm.	MIN. RUN	5 7/8" (150)]	
(`	FRIVATE	2-10 (0	JUJ	MIN. AVG. RU	N 10" (255)]	
(PUBLIC	2-11 (9	00)	MIN. RUN	5 7/8" (150)]	
ì	>	LOPPIC	2 11 (0	00)	MIN. AVG. RU	N 11" (280)			1	
1			AGE RUI				MEASURED	AT A F	OINT	100E

** HFIGHT OVER STAIRS (HEADROOM) IS MEASURED VERTICALLY ACROSS WIDTH O STARS FROM A STRAIGHT LINE TO THE TREAD & LANDING NOSING TO LOWEST POINT ABOVE AND NOT LESS THAN 6'-5" (1950) FOR SINGLE DWELLING UNIT & 6'-8 3/4" (2050) FOR EVERYTHING ELSE. (9.8.2.2.)

REQUIRED LANDING IN GARAGE - O.B.C. 9.8.6.2.(3.)
FOR AN EXTERIOR STAIR SERVING A GARAGE W/ MORE THAN 3 RISERS GUARDS, HANDRAILS & STEPS AS PER CONSTRUCTION HEX NOTE 10 & 11.

GUARDS/RAILINGS (9.8.7., 9.8.8.) GUARDS TO BE DESIGNED NOT TO FACILITATE CLIMBING AND PROVIDING MAX. OPENING CONFORMING TO O.B.C. 9.8.8.5. & 9.8.8.6. AND BE ABLE TO RESIST LOADS AS PER TABLE 9.8.8.2. GUARD HEIGHTS - O.B.C. 9.8.8.

GUARD HEIGHTS - O.B.C. 9-8.8,
INTERIOR GUARDS: 2:-11" (900) MIN.
EXTERIOR GUARDS: 2:-11" (900) MIN. (LESS THAN 5'-11" (1800) TO GRADE)
3'-6" (1070) MIN. (MORE THAN 5'-11" (1800) TO GRADE)
GUARDS FOR EXIT STAIRS: 3'-6" (1070) MIN.
GUARDS FOR LANDINGS @ EXIT STAIRS: 3'-6" (1070) MIN.
GUARDS FOR FLOORS & RAMPS IN GARAGES (SERVICE STAIRS)
FLOOR OR RAMP W/O EXTERIOR WALLS THAT IS 23 5/8" (600) OR MORE ABOVE
ADJACENT SURFACE REQUIRES CONT. CURB MIN. 6" (150) HIGH, AND GUARD
MIN. 3'-4" (1070) HIGH MIN. 3'-6" (1070) HIGH. REQUIRED GUARDS

ETWEEN WALKING SURFACE & ADJACENT SURFACE WITH A DIFFERENCE IN ELEVATION MORE THAN 23 5/8' (600) OR ADJACENT SURFACE WITHIN 3'-11" (1200) & WALKING SURFACE W/ A SLOPE MORE THAN 1 IN 12 SHALL BE PROTECTED WITH GUARDS PER CONSTRUCTION HEX NOTE 11 HANDRAIL HEIGHTS - O.B.C. 9.8.7. - REQUIRED AS PER 9.8.7.1.(3) MIN. HEIGHT AT STAIRS, RAMP AND LANDINGS: 2'-10" (865)

MAX. HEIGHT AT STAIRS, RAMP AND LANDING: 3'-6" (1070)

2"x4" (38x89) SILL PLATE WITH 1/2" (12.7)Ø ANCHOR BOLTS 8" (200) LONG, EMBEDDED MIN. 4" (100) INTO CONC. @ 4-0" (1220) O.C., CAULKING OR GASKET BETWEEN PLATE AND TOP OF FOUNDATION WALL. USE NON-SHRINK GROUT TO LEVEL SILL PLATE WHEN REQUIRED (9.23.7.) BASEMENT INSULATION ([SB-12] 3.1.1.7.)

PROVIDE CONTINUOUS BLANKET INSULATION W/ BUILT IN 6 mil POLYETHYLENE VAPOUR BARRIER. INSULATION TO EXTEND NO MORE THAN 8" (200) ABOVE FINISHED BASEMENT FLOOR. DAMPROOFED WITH BUILDING PAPER BETWEEN THE FOUNDATION WALL AND INSULATION UP TO GRADE LEVEL.

BEARING STUD PARTITION IN BASEMENT (9.15.3.6., 9.23.10.1.) 2"x4" (38x89) STUDS @ 16" (406) O.C., 2"x4" (38x89) SILL PLATE (2"x6" (38x140) AS REQUIRED) ON DAMPPROOFING MATERIAL OR 2 mil POLYETHYLENE FILM, 1/2" (12.7) Ø ANCHOR BOLTS 8" (200) LONG, EMBEDDED 4" (100) MIN. INTO CONC. @ 7"-10" (2390) O.C. 4" (100) HIGH CONC. CURB ON CONC. FOOTING, FOR SIZE REFER TO HEX NOTE 5. ADD HORIZ. BLOCKING AT MID-HEIGHT IF WALL IS UNFINISHED.

ADJUSTABLE STEEL BASEMENT COLUMN (9.15.3.4.) 9-10" (3000) MAX. SPAN BETWEEN COLUMNS. 3 1/2" (90) Ø SINGLE TUBE ADJUSTABLE STEEL COLUMN CONFORMING TO CAN/CGSB-7.2M, AND WITH 6'x6'x3/8" (152x152x9.5) STEEL PLATE TOP & BOTTOM. FIELD WELD BASEMENT COLUMN CONNECTION. POURED CONCRETE FOOTING ON NATURAL UNDISTURBED SOIL OF 125KPA S.L.S. OR COMPACTED ENGINEERED FILL WITH MIN. BEARING CAPACITY OF 125KPA S.L.S. AS PER SOILS REPORT.

SUPPORTING 3 STOREY FLR. LOAD PROVIDE 40"x40"x19" (1060x1060x480) CONC. FOOTI

NON-ADJUSTABLE STEEL BASEMENT COLUMN

3 1/2" (90)Ø x 0.188" (4.78) NON-ADJUSTABLE STEEL COLUMN WITH 6"x6"x3/8" (152x152x9.5) STEEL PLATE TOP & BOTTOM. BOTTOM PLATE CW 2 1/2"Ø X 12" LONGX2" HOOK RAL UNDISTURBED SOIL OF 125KPA S.L.S. OR COMPAC ENGINEERED FILL WITH MIN. BEARING CAPACITY OF 125KPA S.L.S. AS PER SOILS REPORT. SUPPORTING 2 STOREY FLR. LOAD PROVIDE 42"x42"x18" (1070x1070x460) CONC. FOOTING SUPPORTING 3 STOREY FLR. LOAD PROVIDE 48"x48"x24" (1220x1220x610) CONC. FOOTING

NON-ADJUSTABLE STL. COLUMN AT FOUNDATION WALL 3 1/2" (90)Ø x 0.188" (4.78) NON-ADJUSTABLE STEEL COLUMN WITH 6"x6"x3/8" (152x152x9.5) STEEL TOP PLATE & 6"x4"x3/8" (152x100x9.5) BOTTOM PLATE. BASE PLATE 4-1/2'x10'x1/2" (120x250x12.7) WTH 2- 1/2"Ø x 12" LONG x 2" HOOK ANCHORS (2- 12.7Øx305x50). FIELD WELD COLUMN TO BASE PLATE & STEEL BM.

STEEL BEAM BEARING AT FOUNDATION WALL (9.23.8.1.) BEAM POCKET OR 8"x8" (200x200) POURED CONC. NIB WALLS, MIN. BEARING 3 1/2" (90). CONC. NIB WALLS TO HAVE EXTENDED FOOTINGS

WOOD STRAPPING AT STEEL BEAMS (9.23.4.3.(3.), 9.23.9.3.)

1"x3" (19x64) CONTIN. WOOD STRAPPING BOTH SIDES OF STEEL BEAM. GARAGE SLAB (9.16., 9.35.) 4" (100) 32MPa (4640psi) CONC. SLAB WITH 5-8% AIR ENTRAINMENT ON OPT.
4" (100) COARSE GRANULAR FILL WITH COMPACTED SUB-BASE OR
COMPACTED NATIVE FILL. SLOPE TO FRONT @ 1% MIN.

GARAGE TO HOUSE WALLS/CEILING (9.10.9.16.) 1/2" (12.7) GYPSUM BOARD ON WALL AND CEILING BETWEEN HOUSE AND GARAGE, PLUS REQUIRED INSULATION IN WALLS AND SPRAY FOAM FOR CEILINGS. TAPE AND SEAL ALL JOINTS GAS TIGHT. (9.10.17.10, CAN/ULC-S705.2

GARAGE TO HOUSE WALLS/CEILING W/ CONTIN. INSULATION 1/2" (12.7) GYPSUM BOARD ON CEILING AND ON WALLS INSTALLED OVER EXTERIOR TYPE RIGID INSULATION (JOINTS UNTAPED) MECHANICALLY FASTENED AS PER MANUFACTURER'S SPECIFICATIONS ON 3/8" EXTERIOR GRADE SHEATHING ON STUDS BETWEEN HOUSE AND GARAGE, PLUS REQUIRED INSULATION IN WALLS & SPRAY FOAM FOR CEILINGS. TAPE AND SEAL ALL JOINTS GAS TIGHT. (9.10.9.16., 9.10.17.10, CAN/ULC-S705.2)

GARAGE DOOR TO HOUSE (9.10.9.16., 9.10.13.10., 9.10.13.15.) S-PROOF DOOR AND FRAME. DOOR EQUIPPED WITH SELF CLOSING DEVICE AND WEATHER STRIPPING.

EXTERIOR AND GARAGE STEPS

PRECAST CONC. STEP OR WOOD STEP WHERE NOT EXPOSED TO WEATHER MAX RISE 7 7/8" (200), MIN. TREAD 9 1/4" (235). FOR THE REQUIRED NUMBER OF STEPS REFER TO SITING AND GRADING DRAWINGS. EXTERIOR CONCRETE STAIRS WITH MORE THAN 2 RISERS AND 2 TREADS SHALL BE PROVIDED WITH FOUNDATION AS REQUIRED BY ARTICLE 9.8.9.2. OR SHALL BE CANTILEVERED AS PER SUBSECTION 9.8.10.

DRYER EXHAUST

 \langle 22 \rangle CAPPED DRYER EXHAUST VENTED TO EXT. CONFORMING TO PART 6, OBC 9.32.

ATTIC ACCESS (9.19.2.1.) ATTIC ACCESS HATCH WITH MIN. AREA OF 0.32m2 AND NO DIM. LESS THAN 21 1/2" (545) WITH WEATHER STRIPPING. HATCHWAYS TO THE ATTIC OR ROOF SPACE WILL BE FITTED WITH DOORS OR COVERS AND WILL BE INSULATED WITH MIN. R20 (RSI 3.52) ([SB-12] 3.1.1.8.(1))

FIREPLACE CHIMNEYS (9.21.)

TOP OF FIREPLACE CHIMNEY SHALL BE 2-11" (889) ABOVE THE HIGHEST POINT AT WHICH IT COMES IN CONTACT WITH THE ROOF AND 2-0" (610) ABOVE THE ROOF SURFACE WITHIN A HORIZ. DISTANCE OF 10-0" (3048) FROM THE CHIMNEY.

LINEN CLOSET ROVIDE 4 SHELVES MIN. 14" (356) DEEP.

MECHANICAL VENTILATION (9.32.1.3.)
MECHANICAL EXHAUST FAN, VENTED TO EXTERIOR, TO PROVIDE AT LEAST ONE AIR CHANGE PER HOUR. SEE GENERAL NOTE 2.3.

PARTY WALL BEARING (9.23.8)

12"x12"x5/8" (305x305x15.9) STEEL PLATE FOR STEEL BEAMS AND 12"x12"x1/2" (305x305x12.7) STEEL PLATE FOR WOOD BEAMS BEARING (MIN. 3-1/2" (89)) ON CONC. BLOCK PARTY WALL, ANCHORED WITH 2-3/4" (2-19) x 8" (200) LONG GALV. ANCHORS WITHIN SOLID BLOCK COURSE. LEVEL W/ NON-SHRINK GROUT. REFER TO NOTE SOLID BEARING (SECTION 3.0) FOR WD. STUD PARTY WALL.

WOOD FRAMING IN CONTACT TO CONCRETE WOOD BEARING WALLS, THE UNDERSIDE OF BUILT-UP WOOD POSTS AND SILLS SHALL BE WRAPPED WITH 2 mil POLY. STRIP FOOTINGS SUPPORTING THE FOUNDATION WALL SHALL BE WIDENED 6" (152) BELOW THE BEARING WALL AND/OR WOOD POST. (9.17.4.3.)

BUILT-UP WOOD POST AND FOOTING (9.17.4.1., 9.15.3.7.) 3-2"x6" (3-38x140) BUILT-UP WOOD POST (UNLESS OTHERWISE NOTED) ON METAL BASE SHOE ANCHORED TO CONC. WITH 1/2" (12.7) \emptyset BOLT, 24"x24"x12" (610x610x305) CONC. FOOTING OR AS PROVIDED ON PLAN. REFER TO NOTE 28

STEP FOOTINGS (9.15.3.9.) MIN. HORIZ. STEP = 23 5/8" (600). MAX. VERT. STEP = 23 5/8" (600).

CONC. PORCH SLAB (9.16.4.) MIN. 4" (100) CONCRETE SLAB ON GRADE ON 4" (100) COARSE GRANULAR FILL, REINFORCED WITH 6x6xW2.9xW2.9 MESH PLACED NEAR MID-DEPTH OF SLAB. CONC. STRENGTH 32MPa (4640psi) WITH 5-8% AIR ENTRAINMENT ON COMPACTED CUID COMPA

FURNACE VENTING (9.32.) DIRECT VENT FURNACE TERMINAL MIN. 3-0" (915) FROM A GAS REGULATOR. MIN. 12" (305) ABOVE FIN. GRADE, FROM ALL OPENINGS, EXHAUST AND INTAKE VENTS. HRV INTAKE TO BE A MIN. OF 6-0" (1830) FROM ALL EXHAUST TERMINAL PETERS OF GAS LETTATION FOR THE STATE OF T

FIREPLACE VENTING (9.32.3.) DIRECT VENT GAS FIREPLACE VENT TO BE A MIN. 12" (305) FROM ANY OPENING AND ABOVE FIN. GRADE. REFER TO GAS UTILIZÁTION CODE.

TERMINALS. REFER TO GAS UTILIZATION CODE.

FLOOR FRAMING (9.23.3.5., 9.23.9.4., 9.23.14.) T&G SUBFLOOR ON WOOD FLOOR JOISTS. FOR CERAMIC TILE APPLICATION SEE O.B.C. 9.30.6. ALL JOISTS WHERE REQUIRED TO BE BRIDGED WITH 2"x2" (38x38) CROSS BRACING OR SOLID BLOCKING @ 6-11" (2108) O.C. MAX. ALI JOISTS TO BE STRAPPED WITH 1"x3" (19x64) @ 6-11" (2108) O.C. UNLESS A PANEL TYPE CEILING FINISH IS APPLIED.

HEADER CONSTRUCTION

PROVIDE CONTINUOUS APPROVED AIR/VAPOUR BARRIER (HEADER WRAP) UNDER THE SILL PLATE, AROUND THE RIM BOARD AND UNDER THE BOTTOM PLATE. THE HEADER WRAP SHALL EXTEND 6" (152) BELOW THE TOP OF FOUNDATION WALL AND WILL BE SEALED TO THE CONCRETE FOUNDATION WALL. EXTEND HEADER WRAP 6" (152) UP THE INTERIOR SIDE OF THE STUD WALL AND OVERLAP WITH THE VAPOUR BARRIER AND SEAL

THE JOINT. ALL EDGES/JOINTS MUST BE MECHANICALLY CLAMPED. EXPOSED BUILDING FACE w/ LIMITING DISTANCE <= 3'-11" (1.20m) WALL ASSEMBLY CONTAINS INSULATION CONFORMING TO CANJULC-S702 & HAVING A MASS OF NOT LESS THAN 1.22 KG/M2 OF WALL SURFAGE AND 1/2* (12.7) TYPE X GYPSUM WALLBOARD INTERIOR FINISH, EXTERIOR CLADDING MUST BE NON-COMBUSTIBLE WHEN LIMITING DISTANCE IS 23 5/8* (0.60m) OR LESS. WALL ASSEMBLY REQUIRES TO HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN 45 MINUTES & CONFORMING TO O.B.C. (9.10.14. OR 9.10.15.). REFER TO DETAILS FOR TYPE & SPECS. ** AN OPENING IN AN EXPOSING BUILDING FACE NOT MORE THAN 0.012 KG/M2/15 LAW LOVED BE CONFORMED TO THAN 1.5 P.C. (1.50.15).

0 in² (130cm²) SHALL NOT BE CONSIDERED AN UNPROTECTED OPENING AS PER COLD CELLAR PORCH SLAB (9.39.) FOR MAX. 8'-2" (2500) PORCH DEPTH, 5" (127) 32 MPa (4640psi) CONC. SLAB W/5-8% AIR ENTRAINMENT. REINF. WITH 10M BARS @ 7 7/8" (200) O.C. EACH DIRECTION, W/ 1 1/4" (32) CLEAR COVER FROM BOTTOM OF SLAB TO FIRST LAYER OF BARS & SECOND LAYER OF BARS LAID DIRECTLY ON TOP OF LOWER LAYER IN OPPOSITE DIR. 24"x24" (610x610) 10M DOWELS @ 23 5/8" (600) O.C.,

ANCHORED IN PERIMETER FND. WALLS. SLOPE SLAB 1.0% FROM DOOR.

RANGE HOODS AND RANGE-TOP FANS COOKING APPLIANCE EXHAUST FANS VENTED TO EXTERIOR MUST CONFORM TO OBC 9.10.22, 9.32.3.9. & 9.32.3.10.

CONVENTIONAL ROOF FRAMING (9.23.13., 9.23.15.) 2"x6" (38x140) RAFTERS @ 16" (406) O.C., 2"x8" (38x184) RIDGE BOARD. 2"x4" (38x89) COLLAR TIES AT MID-SPAN. CEILING JOISTS TO BE 2"x4" (38x89) @ 16" (406) O.C. FOR MAX. 9'-3" (2819) SPAN & 2"x6" (38x140) @ 16" (406) O.C. FOR MAX. SPAN 14'-7" (4450). RAFTERS FOR BUILT UP ROOF OVER PRE-ENGINEERED ROOF TRUSSES AND OR CONVENTIONAL FRAMING TO BE 2"x4" (38x89) @ 24" (610) O.C. UNLESS OTHERWISE SPECIFIED.

cont. SECTION 1.0. CONSTRUCTION NOTES

TWO STOREY VOLUME SPACES (9.23.10.1., 9.23.11., 9.23.16.)

***	JOLIVIDE	11110 201 100							
EXTERIOR	STUDS	<= 0.5	kPA (q50)	> 0.5 kPa (q50)					
EXIENION	31003	SPACING	MAX HEIGHT	SPACING	MAX HEIGHT				
BRICK	2-2"x6" (2-38x140)	12" (305) O.C.	18'-4" (5588)	8" (200) O.C.	18'-4" (5588)				
SIDING	SPR.#2	16" (406) O.C.	18'-4" (5588)	12" (305) O.C.	18'-4" (5588)				
BRICK	2-2"x8" (2-38x184)	12" (305) O.C.	21'-0" (6400)	12" (305) O.C.	21'-0" (6400)				
SIDING	SPR.#2	16" (406) O.C.	21'-0" (6400)	16" (406) O.C.	21'-0" (6400)				
** STUD SIZE & SPACING TO BE VERIFIED BY STRUCTURAL ENGINEER **									
STUDS ARE TO BE CONTINUOUS, C/W 3/8" (9.5) THICK EXTERIOR PLYWOOD									

SHEATHING. PROVIDE SOLID WOOD BLOCKING BETWEEN WOOD STUDS @ 4-0" (1220) O.C. VERTICALLY. - FOR HORIZ. DISTANCES LESS THAN 9-6' (2896) PROVIDE 2"x6' (38x140) STUDS @
16' (406) O.C. WITH CONTIN. 2-2"x6" (2-38x140) TOP PLATE + 1-2"x6" (1-38x140)
BOTTOM PLATE & MIN. OF 3-2"x6" (3-38x184) CONT. HEADER AT GROUND FLOOR
CEILING LEVEL TOE-NAILED & GLUED AT TOP, BOTTOM PLATES & HEADERS.

1 HR. PARTY WALL (CONC. BLOCK) ([SB-3] WALL TYPE 'B6e' & 'B1b') 1/2" (12.7) GYPSUM SHEATHING ON EACH SIDE ON 2"x2" (38x38) VERTICAL WD. STRAPPING @ 24" (610) O.C. ON 8" (200) CONC. BLOCK FILL STRAPPING CAVITY EACH SIDE WITH AT LEAST 30% OF ABSORPTIVE MATERIAL PROCESSED FROM ROCK, SLAG OR GLASS. TAPE, FILL & SAND ALL GYPSUM JOINTS. EXPOSED BLOCK MUST BE SEALED W/2 COATS OF PAINT OR FURRED WITH 2"x2" (38x38) WD. STRAPPING & 1/2" (12.7) GYPSUM SHEATHING.

40 1 HR. PARTY WALL (DOUBLE STUD) ([SB-3] WALL TYPE W13c) 5/8" (15.9) TYPE 'X' GYPSUM SHEATHING ON EXTERIOR SIDE OF 2 ROWS OF 2"x4" (38x89) STUDS @ 16" (406) O.C., MIN. 1" (25) APART ON SEPARATE 2"x4" (38x89) SILL PLATES. (2*x6" (38x140) AS REQUIRED FILL ONE SIDE OF STUD CAVITY WITH AT LEAST 90% OF ABSORPTIVE MATERIAL PROCESSED FROM ROCK, SLAG OR GLASS. TAPE FILL AND SAND ALL GYPSUM JOINTS.

2 HR. FIREWALL ([SB-3] WALL TYPE 'B6e' & 'B1b') 1/2" (12.7) GYPSUM SHEATHING ON EACH SIDE ON 2"x2" (38x38) VERTICAL WOOD STRAPPING @ 24" (610) O.C ON 8" (200) CONC. BLOCK 75% SOLID. FILL STRAPPING @ 24" (610) O.C ON 8" (200) CONC. BLOCK 75% SOLID. FILL STRAPPING CAVITY EACH SIDE WITH AT LEAST 90% OF ABSORPTIVE MATERIAL PROCESSED FROM ROCK, SLAG OR GLASS. TAPE, FILL & SAND ALL GYPSUM JOINTS. AT UNFINISHED AREAS, EXTERIOR FACE OF CONC. BLOCK TO BE SEALED WITH 2 COATS OF PAINT. GYPSUM SHEATHING TO BE ATTACHED TO CONC. BLOCK. (REFER TO DETAILS)

41 STUCCO WALL CONSTRUCTION (2'x6') STUCCO FINISH CONFORMING TO O.B.C. SECTION 9.28. AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1 1/2" (38) E.I.F.S. (MINIMUM) ON APPROVED DRAINAGE MAT ON 1/2" (12.7) DENSGLASS GOLD GYPSUM BOARD ON STUDS CONFORMING TO 0.B.C (9.23.10.1.) & SECTION 1.1., INSULATION, APPROVED 6 MIL. POLYETHYLENE VAPOUR BARRIER, 1/2º (12.7) GYPSUM WALLBOARD INT. FINISH. (REFER TO 35 NOTE AS REQUIRED)

STUCCO WALL CONSTRUCTION (2°x6°) W/ CONTIN. INSUL. STUCCO FINISH CONFORMING TO O.B.C. SECTION 9.28. AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1 1/2" (38) E.I.F.S. (MINIMUM) ON APPROVED DRAINAGE MAT ON APPROVED AIRWATER BARRIER AS PER O. APPROVED DRAINAGE MAI ON APPROVED AIRWALED BARRIER AS FED OLD C. 9.27.3. ON EXTERIOR TYPE RIGID INSULATION (JOINTS UNTAPED) MECHANICAL FASTENED AS PER MANUFACTURER'S SPECIFICATIONS, ON 7/16" EXTERIOR TY SHEATHING ON STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1., INSULATION, APPROVED 6 MILL POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (REFER TO 35 NOTE AS REQUIRED)

41B STUCCO WALL @ GARAGE CONST. STUCCO FINISH CONFORMING TO O.B.C. SECTION 9.28. AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1 1/2" (38) E.F.I.S. (MINIMUM) ON APPROVED DRAINAGE MAT ON 1/2" (12.7) DENSGLASS GOLD GYPSUM BRD. ON STUDS CONFORMING TO O.B.C. (9.23.10.1.) & SECTION 1.1., 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (REFER TO 35 NOTE AS REQ.) ** FOR DWELLINGS USING CONTIN. INSULATION CONSTRUCTION PROVIDE APPROVED DRAINAGE MAT ON 7/16" (11) EXTERIOR TYPE SHEATHING OVER FURRING (AS REQ.) AND STUDS IN LIEU OF 1 1/2" (38) E.F.I.S (MINIMUM) ON APPROVED DRAINAGE MAT ON 1/2" (12.7) DENSGLASS GOLD GYPSUM BRD UNSUPPORTED FOUNDATION WALLS (9.15.4.2.)

REINFORCING AT STAIRS AND SUNKEN FLOOR AREAS 2-20M BARS IN TOP PORTION OF WALL (UP TO 8-0" OPENING) 3-20M BARS IN TOP PORTION OF WALL (8-0" TO 10-0" OPENING) 4-20M BARS IN TOP PORTION OF WALL (10'-0" TO 15'-0" OPENING - BARS STACKED VERTICALLY AT INTERIOR FACE OF WALL @ 6" O.C. REINFORCING AT BASEMENT WINDOWS 2-15M HORIZ. REINFORCING ON THE INSIDE AND OUTSIDE FACE OF THE FOUNDATION WALL BELOW THE WIN. SILL. EXTEND BARS 24" (610) BEYOND THE OPENING. 2-15M VERTICAL REINFORCING ON THE INSIDE AND OUTSIDE FACE OF THE FOUNDATION WALL ON EACH SIDE OF THE WINDOW OPENING

- BARS TO HAVE MIN. 1" (25) CONC. COVER - BARS TO EXTEND 2'-0" (610) BEYOND BOTH SIDES OF OPENING STUD WALL REINFORCEMENT
PROVIDE STUD WALL ST PROVIDE STUD WALL REINFORCEMENT IN MAIN BATHROOM CONFORMING TO O.B.C. (9.5.2.3.(1)) (REFER TO DETAILS)

WINDOW WELLS

WHERE A WINDOW OPENS INTO A WINDOW WELL, A CLEARANCE OF NOT LESS THAN 21 5/8" (550) SHALL BE PROVIDED IN FRONT OF THE WINDOW. EVERY WINDOW WELL SHALL BE DRAINED TO THE FOOTING LEVEL OR OTHER SUITABLE LOCATION WITH A 4" (100) WEEPING TILE CW A FILTER CLOTH WRAP AND FILLED WITH CRUSHED STONE. (9.9.10.1.(5), 9.14.6.3.)

SLOPED CEILING CONSTRUCTION ([SB-12] 3.1.1.8., 9.23.4.2.) 2"x12" (38x286) ROOF JOISTS @ 16" (406) O.C. MAX. (UNLESS OTHERWISE NOTED) W/ 2"x2" (38x38) PURLINS @ 16" (406) O.C. PERPENDICULAR TO ROOF JOIST (PURLINS NOT REQ. W/ SPRAY FOAM), W/ INSULATION BETWEEN JOIST 6 mil POLYETHYLENE VAPOUR BARRIER. 1/2" (12.7) GYPSUM WALLBOARD INT FINISH OR APPROVED EQ. INSULATION VALUE DIRECTLY ABOVE THE INNER PURPENDED OF EXTERIOR WALLS (14.1) NOTE LIESCETTLY ABOVE THE INNER SUBFACE OF EXTERIOR WALLS SHALL NOT BE LESS THAN B20 (3.52 BSI)

FLAT ROOF/BALCONY CONSTRUCTION

WATERPROOFING MEMBRANE (9.26.11, 9.26.15, 9.26.16) FULLY ADHERED T (15.9) T&G EXTERIOR GRADE PLYWOOD SHEATHING ON 2"x2" (38x38) PUBLINS (38x184) FLOOR JOISTS @ 16" (406) O.C. (UNLESS OTHERWISE NOTED). BUILT UP CURB TO BE 4" (100) MIN. ABOVE FINISHED BALCONY FLOOR. CONTINUOUS "L' TRIM DRIP EDGE TO BE PROVIDED ON OUTSIDE FACE OF CURB. SCUPPER DRAIN TO BE LOCATED 24" (610) MIN. AWAY FROM HOUSE. PREFINISHED ALUMINUM OR PANEL FOR UNDERSIDE OF SOFFIT (9.23.2.3). REMOVE CURB WHERE REQ. **BALCONY CONDITION**

SEE FLAT ROOF/BALCONY CONSTRUCTION NOTE. INCLUDE 2"x4" (38x89) PT. DECKING W/ 1/4" (6.4) GAPS LAID FLAT PARALLEL TO JOISTS ON 2"x4" (38x89) PT. SLEEPERS @ 12" (305) O.C. LAID FLAT PERPENDICULAR TO JOISTS BALCONY OVER HEATED SPACE CONDITION SEE FLAT ROOF/BALCONY CONSTRUCTION NOTE FOR ASSEMBLY, REFER TO

PLANS FOR FLOOR JOIST SIZE & REFER TO HEX NOTE 9 FOR INSULATION AND BARREL VAULT CONSTRUCTION

STRATION INFORMATION

HUNT DESIGN ASSOCIATES INC

CANTILEVERED 2"X4" (38X89) SPACERS LAID FLAT ON 2"X10" (38X235) SPR. #2 ROOF JOIST NAILED TO BUILT-UP 3-3/4" (19) PLYWOOD HEADER PROFILED FOR BARREL. SPRAY FOAM INSULATION BETWEEN JOISTS W/ GYPSUM BOARD. INTERIOR FIN. (REFER TO DETAILS)

REFER TO SB-12 ENERGY EFFICIENCY DESIGN MATRIX ON THE TITLE PAGE FOR ALL VALUES AS REQUIRED PER 3.1.1., 3.1.2., 3.1.3. OF THE OBC.

SECTION 1.1. WALL STUDS

REFER TO THIS CHART FOR STUD SIZE & SPACING AS REQUIRED FOR EXTERIOR VALLS ONLY. REFER TO SITING & GRADING PLAN OF THIS UNIT FOR CONFIRMATION OF TOP OF FOUNDATION WALL AND ADDITIONAL INFORMATION. - IF STUD WALL HEIGHT EXCEEDS MAX. UNSUPPORTED HEIGHT, WALL NEEDS TO BE REVIEWED AND APPROVED BY ENGINEER.

SIZE & SPACING OF STUDS: (OBC REFERENCE - TABLE 9.23.10.1.)									
MIN.	SUPPORTED LOADS (EXTER I OR)								
STUD SIZE,	ROOF w/ OR w/o ATT I C	ROOF w/ OR w/o ATTIC & 1 FLOOR	ROOF w/ OR w/o ATTIC & 2 FLOOR	ROOF w/ OR w/o ATTIC & 3 FLOOR					
in (mm)	MAX. STUD SPACING, in (mm) O.C.								
111 (111111)	MAX. UNSUPPORTED HGT., ft-in (m)								
2"x4"	24" (610)	16" (405)	12" (305)	N/A					
(38x89)	9'-10" (3.0)	9'-10" (3.0)	9'-10" (3.0)	N/A					
2"x6"	-	24" (610)	16" (406)	12" (305)					
(38x140)	-	9'-10" (3.0)	11'-10" (3.6)	5'-11" (1.8)					

SECTION 2.0. GENERAL NOTES

EPT WHERE A DOOR ON THE SAME FLOOR LEVEL AS THE BEDROOM PROVIDE: DIRECT ACCESS TO THE EXTERIOR. EVERY FLOOR LEVEL CONTAINING A BEDROOM IS HAVE AT LEAST ONE OUTSIDE WINDOW W/ MIN. 0.35m2 UNOBS PORTION W/ NO DIMENSION LESS THAN 1'-3" (380), CAPABLE OF MAINTAINING THE OPENING WITHOUT THE NEED FOR ADDITIONAL SUPPORT, CONFORMING TO 9.9.10. 2) WINDOW GUARDS: A GUARD OR A WINDOW WITH A MAXIMUM RESTRICTED OPENING WIDTH OF 4" (100) IS REQUIRED WHERE THE TOP OF THE WINDOW SILL IS OCATED LESS THAN 1'-7" (480) ABOVE FIN. FLOOR AND THE DISTANCE FROM THE FINISHED FLOOR TO THE ADJACENT GRADE IS GREATER THAN 5'-11" (1800). (9.8.8.1. 3) WINDOWS IN EXIT STAIRWAYS THAT EXTEND TO LESS THAN 2:-11" (900) (3:-6" (1070) FOR ALL OTHER BUILDINGS] SHALL BE PROTECTED BY GUARDS IN ACCORDANCE WITH NOTE #2 (ABOVE). OR THE WINDOW SHALL BE NON-OPERABLE AND DESIGNED O WITHSTAND THE SPECIFIED LOADS FOR BALCONY GUARDS AS PROVIDED IN 4.1.5.15 OR 9.8.8.2

4) REFER TO TITLE PAGE FOR MAX. U-VALUE REQUIREMENTS

2.2. CEILING HEIGHTS

THE CEILING HEIGHTS OF ROOMS AND SPACES SHALL CONFORM TO TABLE 9.5.3.1						
ROOM OR SPACE	MINIMUM HEIGHTS					
LIVING ROOM, DINING ROOM AND KITCHEN	7'-7" OVER 75% OF REQUIRED FLOOR AREA WITH A CLEAR HEIGHT OF 6'-11" AT ANY POINT					
BEDROOM	7'-7" OVER 50% OF REQUIRED FLOOR AREA OR 6'-11" OVER ALL OF THE REQUIRED FLOOR AREA.					
BASEMENT	6'-11" OVER AT LEAST 75% OF THE BASEMENT AREA EXCEPT THAT UNDER BEAMS AND DUCTS THE CLEARANCE IS PERMITTED TO BE REDUCED TO 6'-5".					
BATHROOM, LAUNDRY AREA ABOVE GRADE	6'-11" IN ANY AREA WHERE A PERSON WOULD NORMALLY BE STANDING					
FINISHED ROOM NOT MENTIONED ABOVE	6'-11"					
MEZZANINES	6'-11" ABOVE & BELOW FLOOR ASSEMBLY (9.5.3.2.)					
STORAGE GARAGE	6'-7" (9.5.3.3.)					
2.3 MECHANICAL / DILIMBING						

2.3. MECHANICAL / PLUMBING

1) MECHANICAL VENTILATION IS REQUIRED TO PROVIDE 0.7 AIR CHANGE PER HOUR
IF NOT AIR CONDITIONED 1 PER HOUR IF AIR CONDITIONED AVERAGED OVER 24 HOURS. WHEN A VENTILATION FAN (PRINCIPAL EXHAUST) IS REQUIRED, CONFORM TO OBC 9.32.3.4, WHEN A HRV IS REQUIRED, CONFORM TO 9.32.3.11. REFER TO MECHANICAL DRAWINGS.

2) REFER TO HOT WATER TANK MANUFACTURER SPECS. CONFORM TO OBC 9.31.6. 3) REFER TO TITLE PAGE FOR SPACE HEATING EQUIPMENT, HRV AND DOMESTIC HOT WATER HEATER MINIMUM EFFICIENCIES. 4) DRAIN WATER HEAT RECOVERY UNIT(S) WILL BE INSTALLED CONFORMING TO THE REQUIREMENTS OF SB12 - 3.1.1.12. OF THE O.B.C.

2.4. LUMBER1) ALL LUMBER SHALL BE SPRUCE No.2 GRADE OR BETTER, UNLESS NOTED OTHERWISE. 2) STUDS SHALL BE STUD GRADE SPRUCE, UNLESS NOTED OTHERWISE.

3) LUMBER EXPOSED TO THE EXTERIOR TO BE SPRUCE No. 2 GRADE PRESSURE TREATED OR CEDAR, UNLESS NOTED OTHERWISE. 4) ALL LAMINATED VENEER LUMBER (LVL) BEAMS, GIRDER TRUSSES, AND METAL HANGER CONNECTIONS SUPPORTING ROOF FRAMING TO BE DESIGNED & CERTIFIED BY FLOOR AND ROOF TRUSS MANUFACTURER.

5) JOIST HANGERS: PROVIDE APPROVED METAL HANGERS FOR ALL JOISTS AND BUILT-UP WOOD MEMBERS INTERSECTING WITH FLUSH BUILT-UP WOOD MEMBERS. 6) WOOD FRAMING NOT TREATED WITH A WOOD PRESERVATIVE, IN CONTACT WITH CONCRETE, SHALL BE SEPARATED FROM THE CONC. BY AT LEAST 2 mil POLYETHYLF FILM, No.50 (45lbs) ROLL ROOFING OR OTHER DAMPPROOFING MATERIAL, EXCEPT HERE THE WOOD MEMBER IS AT LEAST 6" (152) ABOVE THE GROUND.

2.5. STEEL (9.23.4.3.) T) STRUCTURAL STEEL SHALL CONFORM TO CAN/CSA-G40-21 GRADE 350W. HOLLOW STRUCT. SECTIONS SHALL CONFORM TO CAN/CSA-G40-21 GRADE 350W CLASS "H". 2) REINFORCING STEEL SHALL CONFORM TO CSA-G30-18M GRADE 400R.

2.6. FLAT ARCHES1) FOR 8'-0" (2440) CEILINGS, FLAT ARCHES SHALL BE 6'-10" (2080) A.F.F.
2) FOR 9'-0" (2740) CEILINGS, FLAT ARCHES SHALL BE 7'-10" (2400) A.F.F.
3) FOR 10'-0" (3040) CEILINGS, FLAT ARCHES SHALL BE 8'-6" (2600) A.F.F. 2.7. ROOF OVERHANGS
1) ALL ROOF OVERHANGS SHALL BE 1-0" (305). UNLESS NOTED OTHERWISE.

2.8. FLASHING (9.20.13., 9.26.4. & 9.27.3.) FLASHING MATERIALS & INSTALLATION SHALL CONFORM TO O.B.C.

THE BUILDING SHALL BE LOCATED OR THE BUILDING SITE GRADED SO THE WATER IILL NOT ACCUMULATE AT OR NEAR THE BUILDING AND WILL NOT ADVERSELY FFECT ADJACENT PROPERTIES. CONFORM TO 9.14.6.

2.10. ULC SPECIFIED ASSEMBLIES
ALL REQUIRED INDMDUAL COMPONENTS THAT FORM PART OF ANY 'ULC LISTED ASSEMBLY', SPECIFIED WITHIN THESE DRAWINGS, CANNOT BE ALTERED OR SUBSTITUTE! FOR ANY OTHER MATERIAL/PRODUCT OR SPECIFIED MANUFACTURER THAT IS IDENTIFIED IN THAT 'SPECIFIED ULC LISTING'. THERE SHALL BE NO DEVIATIONS UNDER ANY CIRCUMSTANCES IN ANY 'ULC LISTED ASSEMBLY' IDENTIFIED IN THESE DRAWINGS

3.1. WOOD LINTELS AND BUILT-UP WOOD (DIVISION B PART 9, TABLES AS TO A10 AND A12, A15 & A16) FORMING PART OF SENTENCE 9.23.4.2.(3), 9.23.4.2.(4), 9.23.12.3.(1),(3), 9.23.13.8.(2), 9.37.3.1

	2.2 CTEEL LINTEL C CURROPTING MACONDY VENEER								
	LVL8 4-1 3/4"x9 1/2"		LVL9	VL9 4-1 3/4"x11 7/8"		4-1 3/4"x14"			
	LVL5 3-1 3/4"x9 1/2"		LVL7			3-1 3/4"x14"			
	LVL4	LVL4 2-1 3/4"x9 1/2"				2-1 3/4"x14"			
	LVL2	LVL2 1-1 3/4"x9 1/2"		_VL3		1-1 3/4"x14"			
		1 3/4" x 9 1/2" LVL	1 3/4" x 11 7/8" LVL			1 3/4" x 14" LVL			
R	ENGINEERED LUMBER SCHEDULE - GRADE 2.0E (UNLESS NOTE OTHERWISE)								
	B7	5/2"x8" (5/38x184)	B8	5/2"x10" (5/38x235)	В9	5/2"x12" (5/38x286)			
	B2	B2 4/2"x8" (4/38x184)		4/2"x10" (4/38x235)		4/2"x12" (4/38x286)			
,	B1	B1 3/2"x8" (3/38x184)		B3 3/2"x10" (3/38x235)		3/2"x12" (3/38x286)			
٦	L1	2/2"x8" (2/38x184)		L3 2/2"x10" (2/38x235)		2/2"x12" (2/38x286)			
	2"x8" SPRUCE #2		2"x10" SPRUCE #2			2"x12" SPRUCE #2			

3.2. STEEL LINTELS SUPPORTING MASONRY VENEER (DIVISION B PART 9, TABLE 9,20,5,2,B,)

FORMING PART OF SENTENCE 9.20.5.2.(2) & 9.20.5.2.(3)								
CODE	SIZE	BRICK	STONE					
L7	3 1/2" x 3 1/2" x 1/4" (89 x 89 x 6.4)	8'-1" (2.47m)	7'-6" (2.30m)					
L8	4" x 3 1/2" x 1/4" (102 x 89 x 6.4)	8'-9" (2.66m)	8'-1" (2.48m)					
L9	4 7/8" x 3 1/2" x 5/16" (127 x 89 x 7.9)	10'-10" (3.31m)	10'-1" (3.03m)					
L10	4 7/8" x 3 1/2" x 3/8" (127 x 89 x 11)	11'-5" (3.48m)	10'-7" (3.24m)					
L11	5 7/8" x 3 1/2" x 3/8" (152 x 89 x 11)	12'-6" (3.82m)	11'-7" (3.54m)					
L12	7 1/8" x 4" x 3/8" (178 x 102 x 11)	14'-1" (4.30m)	13'-1" (3.99m)					

3.3. DOOR SCHEDULE CONFORMING TO SECTIONS 9.5.11, 9.6., 9.7.2.1, 9.7.5.2, & 9.10.13.10 EXTERIOR | 2"-8" x 6'-8" x 1-3/4" (815 x 2030 x 45) INSULATED MIN. R4 (RSI 0.7) EXTERIOR | 2'-10" x 6'-8" x 1-3/4" (865 x 2030 x 45) INSULATED MIN. R4 (RSI 0.7) EXTERIOR | 3'-0" x 6'-8" x 1-3/4" (915 x 2030 x 45) INSULATED MIN. R4 (RSI 0.7) EXTERIOR | 2'-6" x 6'-8" x 1-3/4" (760 x 2030 x 45) INSULATED MIN. R4 (RSI 0.7) EXTERIOR | 2'-8" x 6'-8" x 1-3/4" (815 x 2030 x 45) INS. MIN. R4 (RSI 0.7) (SEE HEX NOTE 20 EXTERIOR | 3'-0" x 8'-0" x 1-3/4" (915 x 2440 x 45) INSULATED MIN. R4 (RSI 0.7) EXTERIOR | 2'-8" x 8'-0" x 1-3/4" (815 x 2440 x 45) INSULATED MIN. R4 (RSI 0.7) XTERIOR | 2-8" x 6-8" x 1-3/4" (815 x 2030 x 45) 20 MIN. F.R.R. DOOR/FRAME WITH APP. SELF CLOSING DEVIC INTERIOR | 2'-8" x 6'-8" x 1-3/8" (815 x 2030 x 35) INTERIOR | 2'-6" x 6'-8" x 1-3/8" (760 x 2030 x 35) PROVIDE 8'-0" HIGH

	INTERIOR	2'-4" x 6'-8" x 1-3/8" (710 x 2	INTERIOR DOORS							
1	INTERIOR	2'-0" x 6'-8" x 1-3/8" (610 x 2	FOR ALL 10' CEILING							
	INTERIOR	2'-2" x 6'-8" x 1-3/8" (660 x 2	CONDITIONS							
	INTERIOR	1'-6" x 6'-8" x 1-3/8" (460 x 2	030 x 3	5)						
	3.4. ACRONYMS									
=	ABOVE FIN	ISHED FLOOR	JST	JO I ST						
М	BEAM BY F	LOOR MANUFACTURER	LIN	L I NEN CL	IEN CLOSET					
	FIXED GLA	SS W/ BLACK BACKING	LVL	LAMINATED VENEER LUMBER						
	BEAM		OTB/A	OPEN TO BELOW/ABOVE						
M	BEAM BY F	OOF MANUFACTURER	PL	POINT LC)AD					
=	CONVENT	ONAL ROOF FRAMING	PLT	PLATE						
/	COMPLETE	WITH	PT	PRESSUF	PRESSURE TREATED					
ΓJ	DOUBLE JO	DIST/ TRIPLE JOIST	PTD	PAINTED						
,	DO OVER		PWD	POWDER ROOM						
0	DROPPED		RWL	RAIN WATER LEADER						
ż	ENGINEER	ED	SB	SOLID BEARING WOOD POST						
Г	EST I MATED)	SBFA	SB FROM ABOVE						
	FLAT ARCH	1	SJ	SINGLE JOIST						

DJ/TJ	DOUBLE JOIST/ TRIPLE JOIST	PTD	PAINTED
DO	DO OVER	PWD	POWDER ROOM
DRP	DROPPED	RWL	RAIN WATER LEADER
ENG	ENGINEERED	SB	SOLID BEARING WOOD POST
EST	ESTIMATED	SBFA	SB FROM ABOVE
FA	FLAT ARCH	SJ	SINGLE JOIST
FD	FLOOR DRAIN	SPR	SPRUCE
FG	FIXED GLASS	STL	STEEL
FL	FLUSH	T/O	TOP OF
FLR	R FLOOR		TYPICAL
GT	GIRDER TRUSS	U/S	UNDERSIDE
НВ	HOSE BIB	WD	WOOD
HRV	HEAT RETURN VENTILATION UNIT	WIC	WALK IN CLOSET
HWT	HOT WATER TANK	WP	WEATHER PROOF
ALL	3.5. SY ELECTRICAL FACILITIES SHALL BE INSTA		
•	CLASS 'B' VENT	0	EXHAUST VENT
	DUPLEX OUTLET (12" HIGH)	₩	DUPLEX OUTLET (HEIGHT AS NOTED A.F.F.
	HEAVY DUTY OUTLET	\$	SWITCH (2/3/4 WAY)
\Diamond	POT LIGHT	ф	LIGHT FIXTURE (CEILING MOUNTED)
X4	LIGHT FIXTURE (PULL CHAIN)	ф-	LIGHT FIXTURE (WALL MOUNTED)
	CABLE T.V. JACK		TELEPHONE JACK

SMOKE ALARM (9.10.19.) PROVIDE ONE PER FLOOR, NEAR THE STAIRS CONNECTING THE FLOOR LEVEL. ALARMS ARE TO BE INSTALLED IN EACH SLEEPING ROOM AND IN A LOCATION BETWEEN SLEEPING ROOMS AND CONNECTING HALLWAYS AND WIRED TO BE INTERCONNECTED TO ACTIVATE ALL ALARMS IF ONE SOUNDS. ALARMS ARE TO BE CONNECTED TO AN ECTRICAL CIRCUIT AND WITH A BATTERY BACKUP, ALARM SIGNAL SHALL MEET MPORAL SOUND PATTERNS MIN. ALARMS SHALL HAVE A VISUAL SIGNALLING

CHANDELIER (CEILING MOUNTE

CMD CARBON MONOXIDE ALARM (9.33.4.)

CENTRAL VACUUM OUTLET

"CHECK LOCAL BY-LAWS FOR REQUIREMENTS ** A CARBON MONOXIDE ALARM(S)
CONFORMING TO CAN/CGA-6.19 SHALL BE INSTALLED ON OR NEAR THE CEILING IN EACH
DWELLING UNIT ADJACENT TO EACH SLEEPING AREA. CARBON MONOXIDE ALARM(S)
SHALL BE PERMANENTLY WIRED WITH NO DISCONNECT SWITCH, WITH AN ALARM THAT IS AUDIBLE WITHIN SLEEPING ROOMS WHEN THE INTERVENING DOORS ARE CLOSED.

OMPONENT AS PER THE "NATIONAL FIRE ALARM AND SIGNALING CODE 72"

SB SOLID BEARING (BUILT-UP WOOD COLUMNS AND STUD POSTS) THE WIDTH OF A WOOD COLUMN SHALL NOT BE LESS THAN THAN THE WIDTH OF SUPPORTED MEMBER. BUILT-UP WOOD COLUMNS SHALL BE NAILED TOGETHER WITH NOT LESS THAN 3" (76) NAILS SPACED NOT MORE THAN 11 3/4" (300) O.C. THE NUMBER OF STUDS IN A WALL DIRECTLY BELOW A GIRDER TRUSS OR ROOF BEAM SHALL CONFORM TO TABLES A-34 TO A-37. (9.17.4., 9.23.10.7.)

TWO STOREY VOLUME SPACE. SEE CONSTRUCTION NOTE 39.

VARYING PLATES, BUILT-OUT FLOORS, BEARING WALLS, ICE & WATER SHIELD

EXPOSED BUILDING FACE - O.B.C. 9.10.14. OR 9.10.15.
REFER TO HEX NOTE 35. & DETAILS FOR TYPE AND SPECIFICATIONS. 1 HR. PARTY WALL REFER TO HEX NOTE 40. 2 HR. FIREWALL REFER TO HEX NOTE 40A.

SECTION 4.0. CLIMATIC DATA

DESIGN SNOW LOAD (9.4.2.2.) WIND PRESSURE (q50) (SB-1.2.)

1.01 **kPa** 0.44 **kPa**



****\$[] 100 COMMERCE VALLEY Dr. W. : 1-905-882-4211|FAX: 1-905-822-0055|WWW.WSPGROUP.C.

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ISTRUCTION NOTE REVISION DATE: DECEMBER 15, 2021

HE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE DUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER LIFICATION INFORMATION HUNTUU Allan Whiting

GOLDPARK HOMES - 221081 PINE VALLEY PH. 2, VAUGHAN, ON.

UNIT 4202 - THE ROSEDALE REV.2022.05.16

221081WS4202

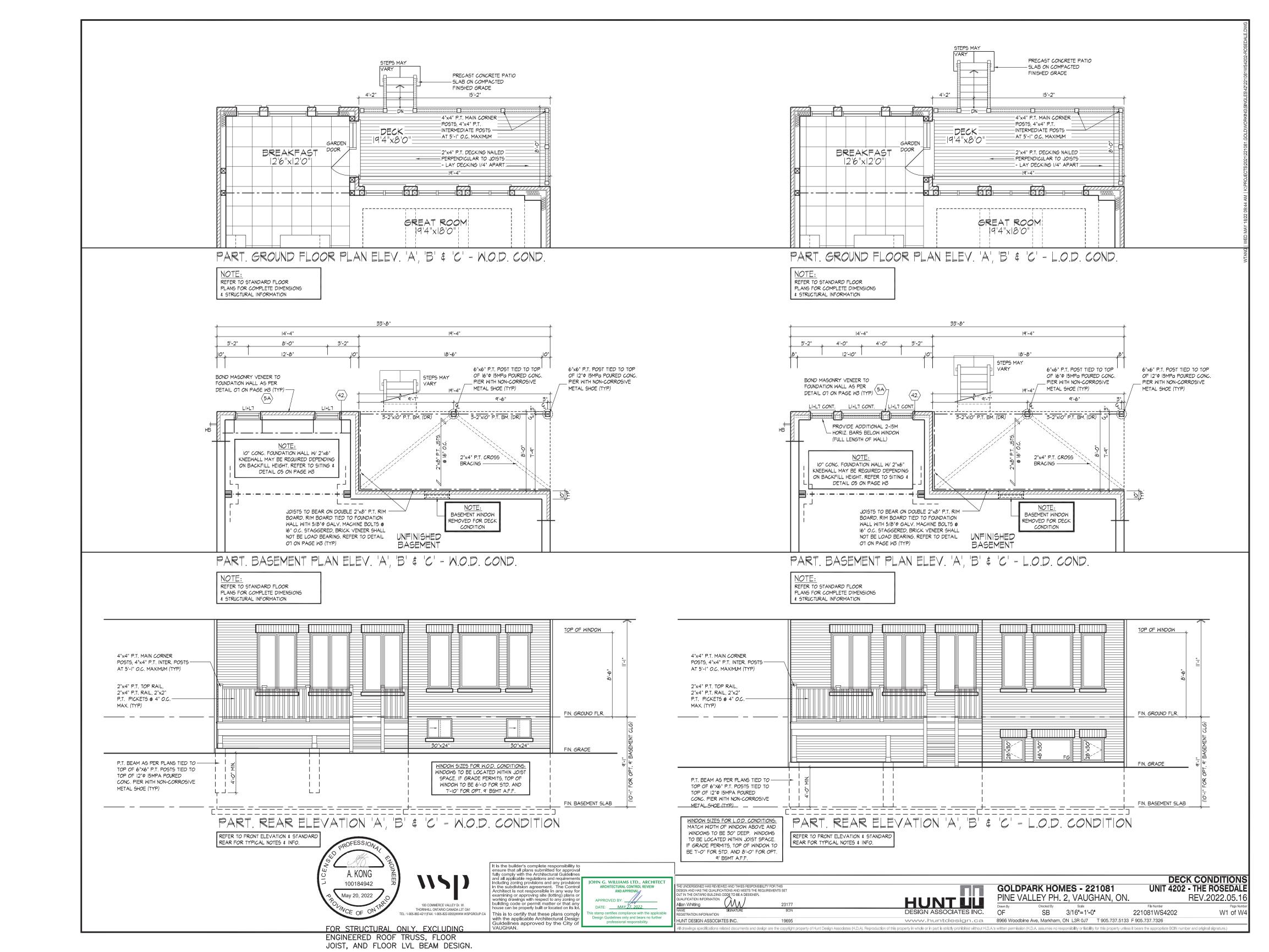
CONSTRUCTION NOTES

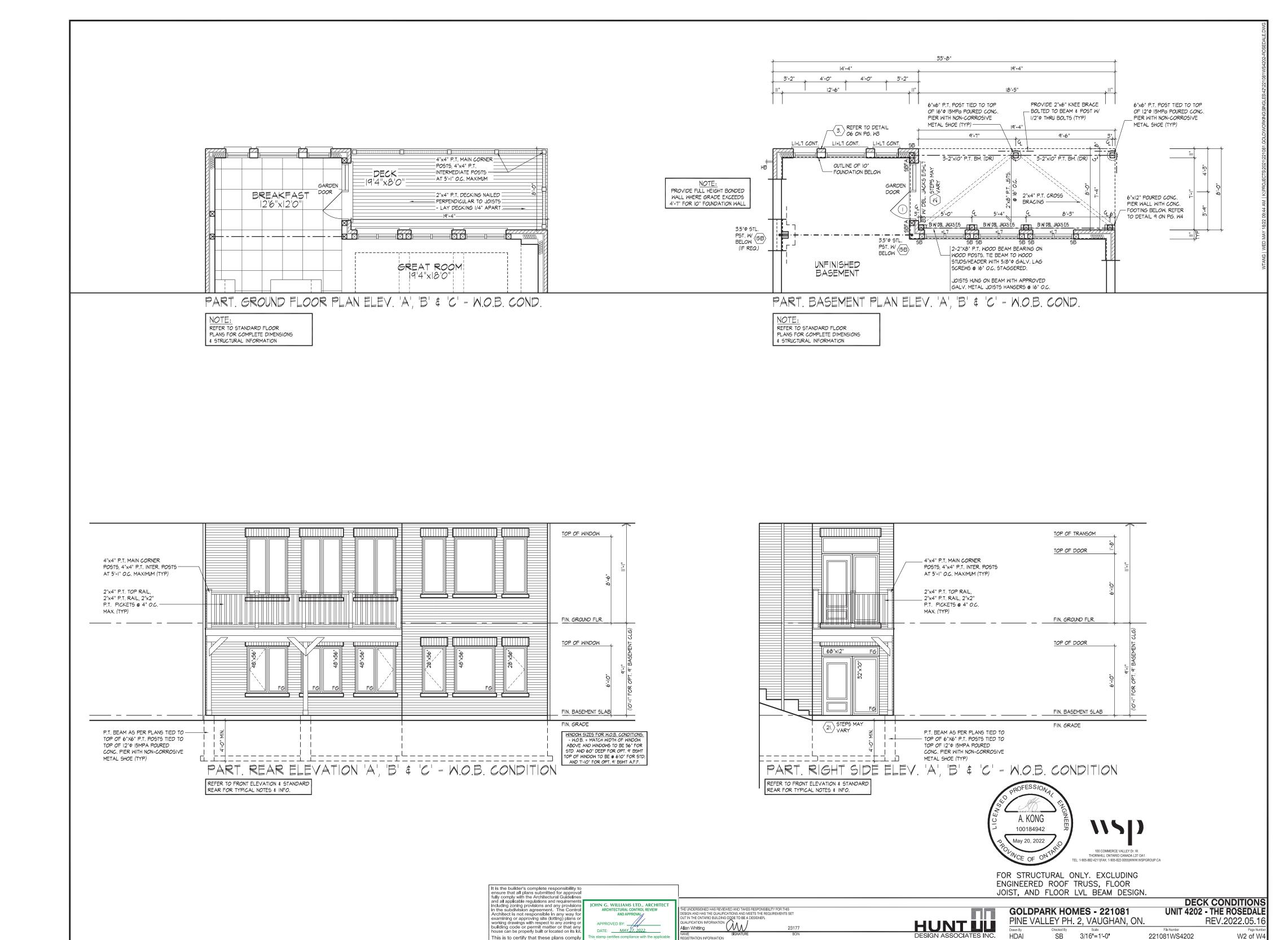
19 of 1

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RAAM SB 3/16"=1'-0**"**

8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326



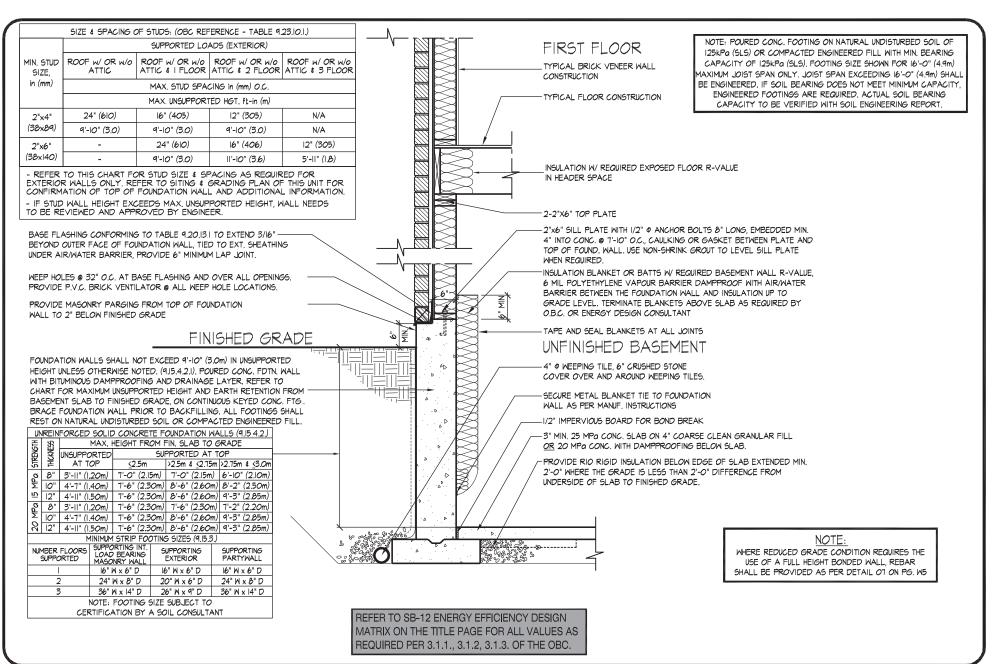


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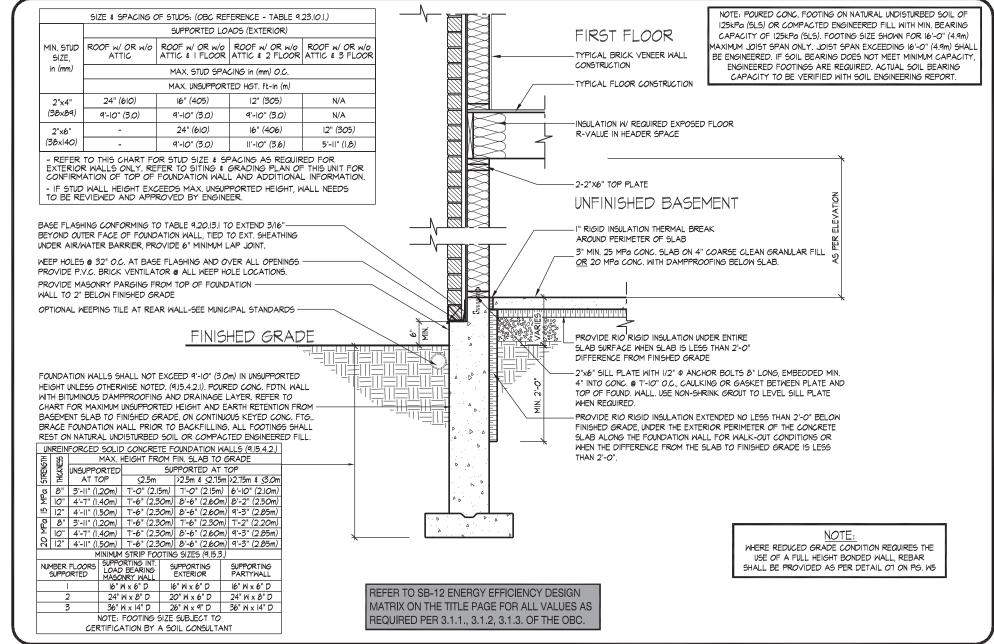
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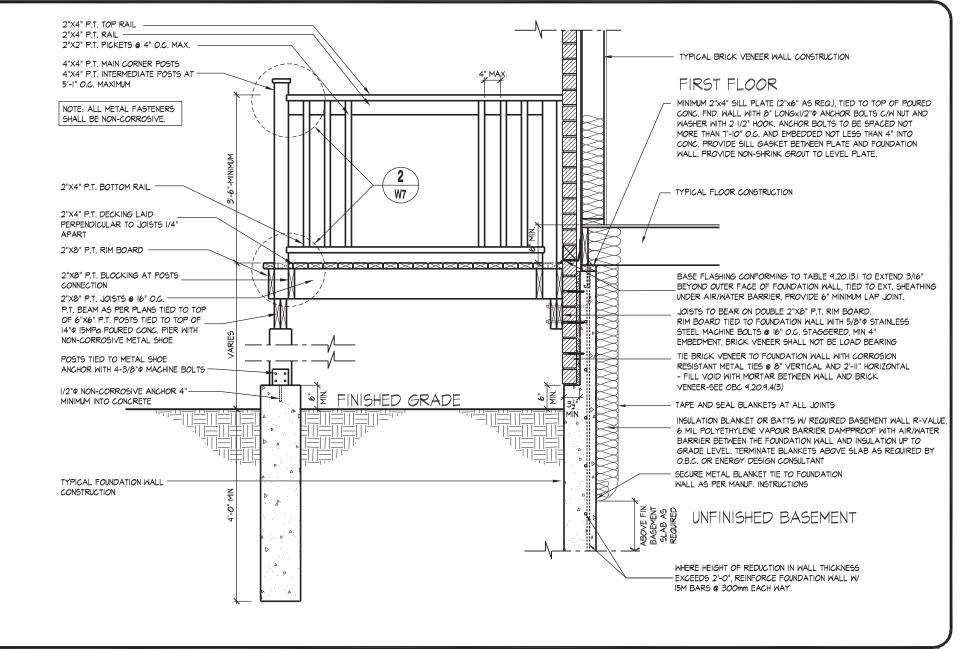
with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.



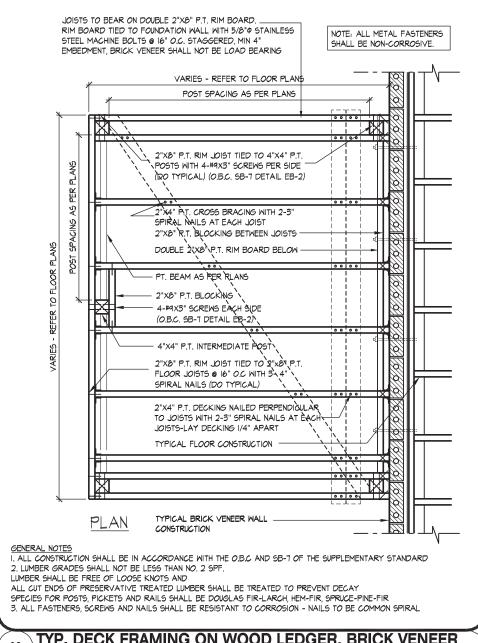
MASONRY VENEER, 2'x6" STUDS, 10" FOUNDATION WALL LATERALLY UNSUPPORTED



MASONRY VENEER, 2"x6" STUDS, SLAB ON GRADE / WALK OUT BASEMENT CONDITION



MASONRY VENEER, TYPICAL WALK/LOOK OUT WOOD DECK, SOLID MASONRY



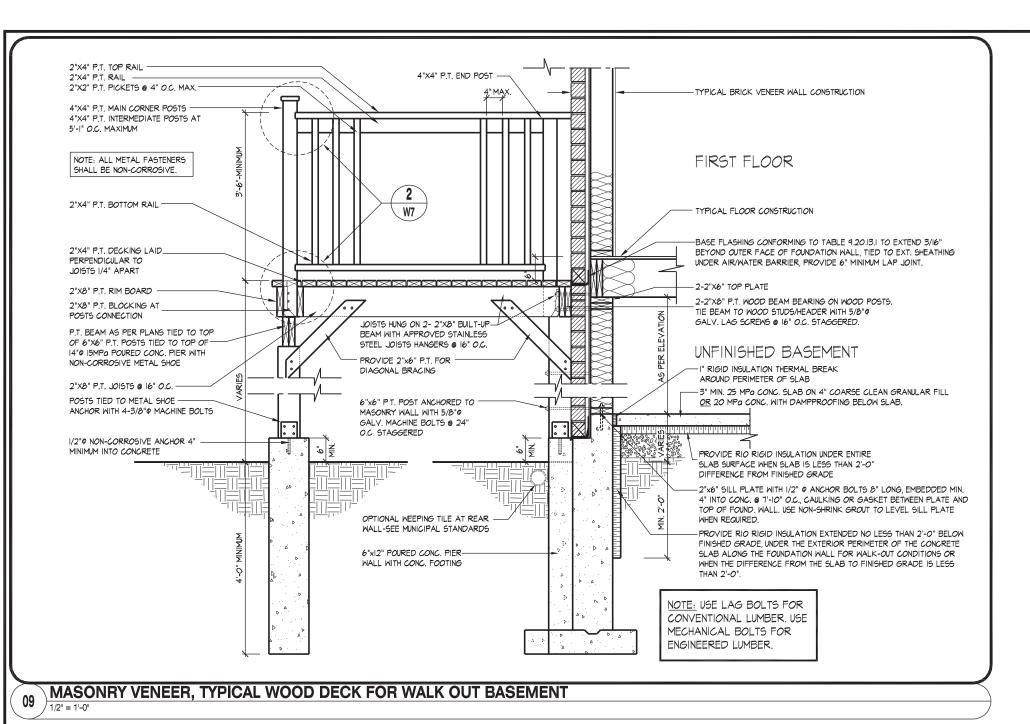
TYP. DECK FRAMING ON WOOD LEDGER, BRICK VENEER



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DEOK DETAIL (

							DECK DETAILS
THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBIL			COLD	PARK HON	MFG - 22	1081 LINIT 420	2 - THE ROSEDALE
DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQ	UIREMENTS SET	N 11 N					2 - IIIL NOOLDALL
OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.		= 1.	DIVIE /	'ALLEY PH.	2 \/\\\	HANI ONI	REV.2022.05.16
QUALIFICATION INFORMATION () A A		HUNTRIIR		ALLET FIL.	Z, VAUG	MAIN, OIN.	DEV.2022.03.10
Allan Whiting	23177		Drawn By	Checked By	Scale	File Number	Page Number
NAME SIGNATURE	BCIN	DESIGN ASSOCIATES INC.	HDAI	SB	3/16"=1'-0"	2 21081WS4202	W3 of W4
REGISTRATION INFORMATION			ПОЛ	00	0/10 - 1 0	2210010007202	VVO 01 VV 1
HUNT DESIGN ASSOCIATES INC.	19695	www.huntdesign.ca	8966 Woodl	oine Ave, Markham,	ON L3R 0J7	T 905.737.5133 F 905.737.7326	
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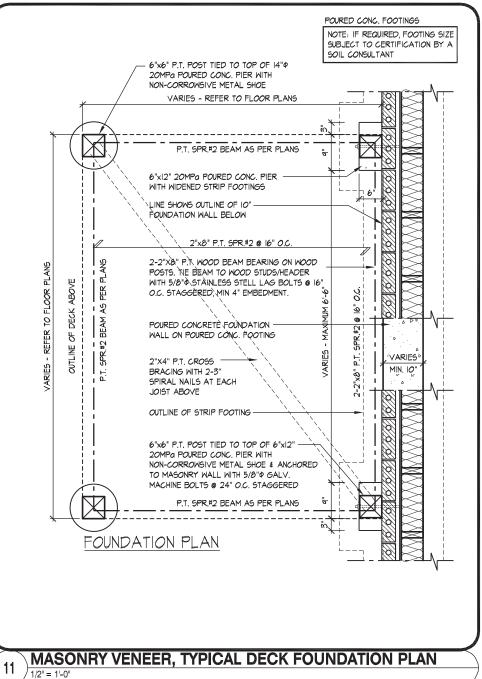


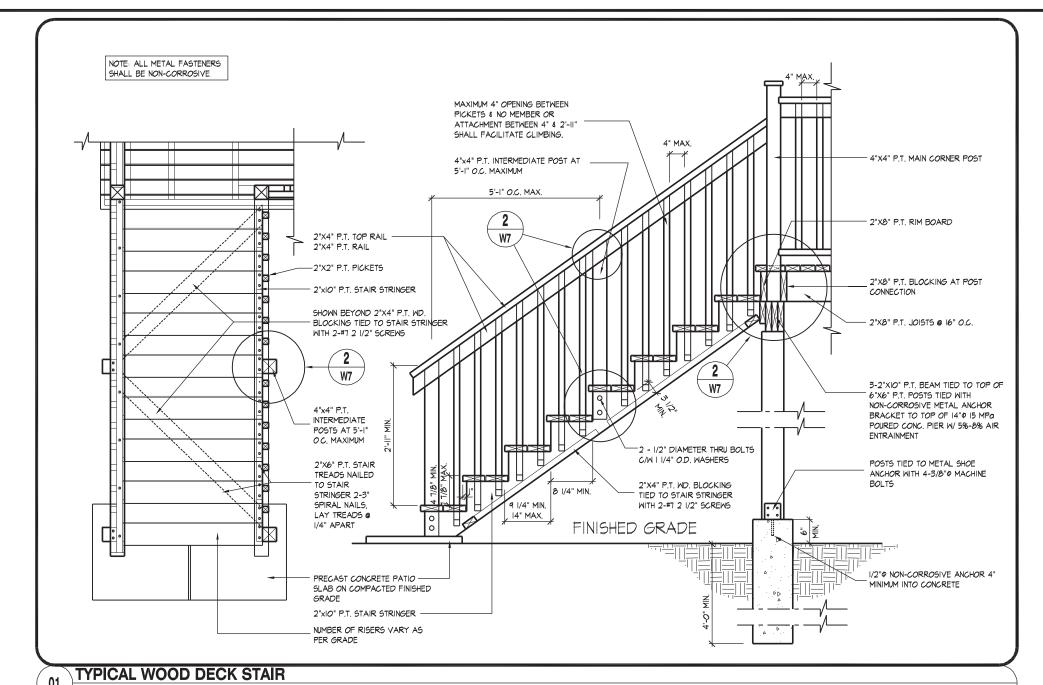
NOTE: ALL METAL FASTENERS SHALL BE NON-CORROSIVE. PROVIDE 2"x6" P.T. FOR — DIAGONAL BRACING TIED TO THE RIM JOIST VARIES - REFER TO FLOOR PLANS POST SPACING AS PER PLANS 2"X8" P.T. RIM JOIST TIED TO 4"X4" P.T. POSTS WITH 4-#9X3" SCREWS PER SIDE (DO TYPICAL) (O.B.C. SB-7 DETAIL EB-2) APPROVED STAINLESS STELL JOISTS HANGERS 2"X4" P.T. CROSS BRACING WITH 2-3" 2-2"X8" NOOD BEAM — PT. BEAM AS PER RLANS 2"X8" P.T. BLOCKING ` 4-#9X3" SCREWS EACH SIDE (O.B.C. 5B-7 DETAIL EB-2) 4"X4" P.T. INTERMEDIATE POST 2"X8" P.T. RIM JOIST TIED TO 2"X8",P. FLOOR JOISTS @ 16" O.C WITH 3-4" SPIRAL NAILS (DO TYPICAL) 2"X4" P.T. DECKING NAILED PERPENDIQULAR TO JOISTS WITH 2-3" SPIRAL NAILS AT EACH JOISTS-LAY DECKING 1/4" APART TYPICAL FLOOR CONSTRUCTION <u>PLAN</u> <u>GENERAL NOTES</u>

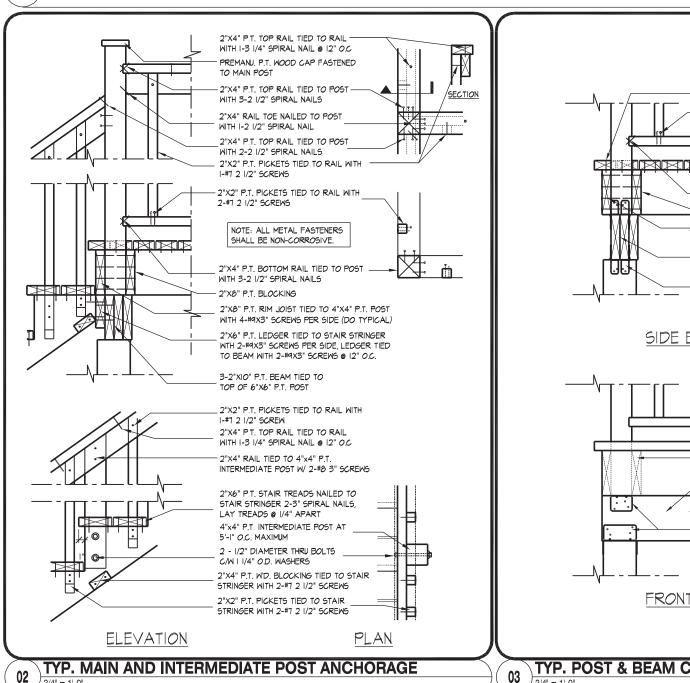
I. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE O.B.C AND SB-7 OF THE SUPPLEMENTARY STANDARD

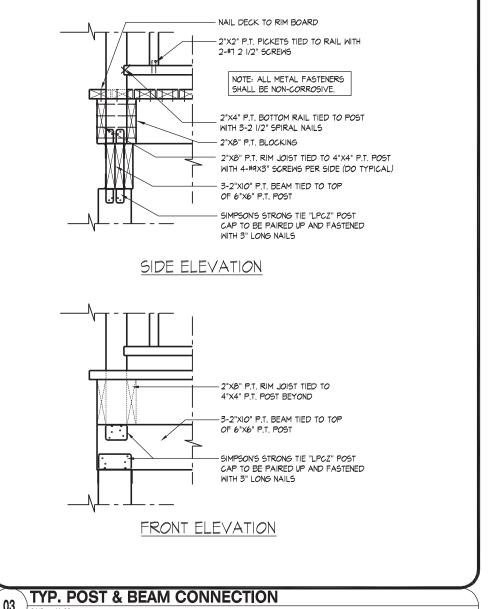
2. LUMBER GRADES SHALL NOT BE LESS THAN NO. 2 SPF. LUMBER SHALL BE FREE OF LOOSE KNOTS AND ALL CUT ENDS OF PRESERVATIVE TREATED LUMBER SHALL BE TREATED TO PREVENT DECAY SPECIES FOR POSTS, PICKETS AND RAILS SHALL BE DOUGLAS FIR-LARCH, HEM-FIR, SPRUCE-PINE-FIR
3. ALL FASTENERS, SCREWS AND NAILS SHALL BE RESISTANT TO CORROSION - NAILS TO BE COMMON SPIRAL MASONRY VENEER, TYPICAL DECK FRAMING PLAN

/ 1/2" = 1'-0"











100 COMMERCE VALLEY Dr. W.

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DECK DETAILS HE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS **GOLDPARK HOMES - 221081 UNIT 4202 - THE ROSEDALE** ESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SE UT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER. PINE VALLEY PH. 2, VAUGHAN, ON. REV.2022.05.16 **HUNT LU** LIFICATION INFORMATION (A) A) Allan Whiting 3/16"=1'-0" HDA SB 221081WS4202 W4 of W4 ISTRATION INFORMATION 8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326 HUNT DESIGN ASSOCIATES INC www.huntdesign.ca