

WINDOW / WALL AREA CALCULATIONS	EL. 'A' STD. PLAN	EL. 'A' OPT. 5 BED	EL. 'A' OPT. GRND	EL. 'A' OPT. 5 BED & GRND	EL. 'A' OPT. SERVICE STAIRS
GROSS WALL AREA	4565.11 sq. ft. (424.11 sq. m.)	4565.11 sq. ft. (424.11 sq. m.)	4565.11 sq. ft. (424.11 sq. m.)	4565.11 sq. ft. (424.11 sq. m.)	4565.51 sq. ft. (424.15 sq. m.)
GROSS WINDOW AREA (INCL. GLASS DOORS & SKYLIGHTS)	499.09 sq. ft. (46.37 sq. m.)	497.65 sq. ft. (46.23 sq. m.)	521.76 sq. ft. (48.47 sq. m.)	516.98 sq. ft. (48.03 sq. m.)	499.09 sq. ft. (46.37 sq. m.)
TOTAL WINDOW %	10.93 %	10.90 %	11.43 %	11.32 %	10.93 %
GROSS WALL AREA	EL. 'A' - WOD STD. PLAN 4596.89 sq. ft. (427.07 sq. m.)	EL. 'A' - WOD OPT. 5 BED 4596.89 sq. ft. (427.07 sq. m.)	EL. 'A' - WOD OPT. GRND 4596.89 sq. ft. (427.07 sq. m.)	EL. 'A' - WOD OPT. 5 BED & GRND 4596.89 sq. ft. (427.07 sq. m.)	
GROSS WINDOW AREA (INCL. GLASS DOORS & SKYLIGHTS)	499.09 sq. ft. (46.37 sq. m.)	497.65 sq. ft. (46.23 sq. m.)	521.76 sq. ft. (48.47 sq. m.)	520.31 sq. ft. (48.34 sq. m.)	
TOTAL WINDOW %	10.86 %	10.83 %	11.35 %	11.32 %	
GROSS WALL AREA	EL. 'A' - LOD STD. PLAN 4686.26 sq. ft. (435.37 sq. m.)	EL. 'A' - LOD OPT. 5 BED 4686.26 sq. ft. (435.37 sq. m.)	EL. 'A' - LOD OPT. GRND 4686.26 sq. ft. (435.37 sq. m.)	EL. 'A' - LOD OPT. 5 BED & GRND 4686.26 sq. ft. (435.37 sq. m.)	
GROSS WINDOW AREA (INCL. GLASS DOORS & SKYLIGHTS)	501.76 sq. ft. (46.62 sq. m.)	500.31 sq. ft. (46.48 sq. m.)	524.42 sq. ft. (48.72 sq. m.)	522.98 sq. ft. (48.59 sq. m.)	
TOTAL WINDOW %	10.71 %	10.68 %	11.19 %	11.16 %	
GROSS WALL AREA	EL. 'A' - WOB STD. PLAN 4970.35 sq. ft. (461.76 sq. m.)	EL. 'A' - WOB OPT. 5 BED 4970.35 sq. ft. (461.76 sq. m.)	EL. 'A' - WOB OPT. GRND 4970.35 sq. ft. (461.76 sq. m.)	EL. 'A' - WOB OPT. 5 BED & GRND 4970.35 sq. ft. (461.76 sq. m.)	
GROSS WINDOW AREA (INCL. GLASS DOORS & SKYLIGHTS)	559.71 sq. ft. (52.00 sq. m.)	558.26 sq. ft. (51.86 sq. m.)	582.37 sq. ft. (54.10 sq. m.)	580.93 sq. ft. (53.97 sq. m.)	
TOTAL WINDOW %	11.26 %	11.23 %	11.72 %	11.69 %	
GROSS WALL AREA	EL. 'B' STD. PLAN 4577.69 sq. ft. (425.28 sq. m.)	EL. 'B' OPT. 5 BED 4577.69 sq. ft. (425.28 sq. m.)	EL. 'B' OPT. GRND 4577.69 sq. ft. (425.28 sq. m.)	EL. 'B' OPT. 5 BED & GRND 4577.69 sq. ft. (425.28 sq. m.)	EL. 'B' OPT. SERVICE STAIRS 4577.69 sq. ft. (425.28 sq. m.)
GROSS WINDOW AREA (INCL. GLASS DOORS & SKYLIGHTS)	492.02 sq. ft. (45.71 sq. m.)	437.11 sq. ft. (40.61 sq. m.)	461.22 sq. ft. (42.85 sq. m.)	459.77 sq. ft. (42.71 sq. m.)	492.02 sq. ft. (45.71 sq. m.)
TOTAL WINDOW %	10.75 %	9.55 %	10.08 %	10.04 %	10.75 %
GROSS WALL AREA	EL. 'B' - WOD STD. PLAN 4609.47 sq. ft. (428.23 sq. m.)	EL. 'B' - WOD OPT. 5 BED 4609.47 sq. ft. (428.23 sq. m.)	EL. 'B' - WOD OPT. GRND 4609.47 sq. ft. (428.23 sq. m.)	EL. 'B' - WOD OPT. 5 BED & GRND 4609.47 sq. ft. (428.23 sq. m.)	
GROSS WINDOW AREA (INCL. GLASS DOORS & SKYLIGHTS)	441.88 sq. ft. (41.05 sq. m.)	440.44 sq. ft. (40.92 sq. m.)	464.55 sq. ft. (43.16 sq. m.)	463.11 sq. ft. (43.02 sq. m.)	
TOTAL WINDOW %	9.59 %	9.56 %	10.08 %	10.05 %	
GROSS WALL AREA	EL. 'B' - LOD STD. PLAN 4698.84 sq. ft. (436.54 sq. m.)	EL. 'B' - LOD OPT. 5 BED 4698.84 sq. ft. (436.54 sq. m.)	EL. 'B' - LOD OPT. GRND 4698.84 sq. ft. (436.54 sq. m.)	EL. 'B' - LOD OPT. 5 BED & GRND 4698.84 sq. ft. (436.54 sq. m.)	
GROSS WINDOW AREA (INCL. GLASS DOORS & SKYLIGHTS)	503.69 sq. ft. (46.79 sq. m.)	502.25 sq. ft. (46.66 sq. m.)	526.36 sq. ft. (48.90 sq. m.)	524.91 sq. ft. (48.77 sq. m.)	
TOTAL WINDOW %	10.72 %	10.69 %	11.20 %	11.17 %	
GROSS WALL AREA	EL. 'B' - WOB STD. PLAN 4961.01 sq. ft. (460.89 sq. m.)	EL. 'B' - WOB OPT. 5 BED 4961.01 sq. ft. (460.89 sq. m.)	EL. 'B' - WOB OPT. GRND 4961.01 sq. ft. (460.89 sq. m.)	EL. 'B' - WOB OPT. 5 BED & GRND 4961.01 sq. ft. (460.89 sq. m.)	
GROSS WINDOW AREA (INCL. GLASS DOORS & SKYLIGHTS)	605.54 sq. ft. (56.26 sq. m.)	604.10 sq. ft. (56.12 sq. m.)	628.21 sq. ft. (58.36 sq. m.)	626.76 sq. ft. (58.23 sq. m.)	
TOTAL WINDOW %	12.21 %	12.18 %	12.66 %	12.63 %	
GROSS WALL AREA	EL. 'C' STD. PLAN 4463.10 sq. ft. (414.64 sq. m.)	EL. 'C' OPT. 5 BED 4463.10 sq. ft. (414.64 sq. m.)	EL. 'C' OPT. GRND 4463.10 sq. ft. (414.64 sq. m.)	EL. 'C' OPT. 5 BED & GRND 4463.10 sq. ft. (414.64 sq. m.)	EL. 'C' OPT. SERVICE STAIRS 4463.10 sq. ft. (414.64 sq. m.)
GROSS WINDOW AREA (INCL. GLASS DOORS & SKYLIGHTS)	469.05 sq. ft. (43.58 sq. m.)	467.60 sq. ft. (43.44 sq. m.)	491.71 sq. ft. (45.68 sq. m.)	490.27 sq. ft. (45.55 sq. m.)	469.05 sq. ft. (43.58 sq. m.)
TOTAL WINDOW %	10.51 %	10.48 %	11.02 %	10.98 %	11.61 %
GROSS WALL AREA	EL. 'C' - WOD STD. PLAN 4494.88 sq. ft. (417.59 sq. m.)	EL. 'C' - WOD OPT. 5 BED 4494.88 sq. ft. (417.59 sq. m.)	EL. 'C' - WOD OPT. GRND 4494.88 sq. ft. (417.59 sq. m.)	EL. 'C' - WOD OPT. 5 BED & GRND 4494.88 sq. ft. (417.59 sq. m.)	
GROSS WINDOW AREA (INCL. GLASS DOORS & SKYLIGHTS)	518.38 sq. ft. (48.16 sq. m.)	470.94 sq. ft. (43.75 sq. m.)	495.05 sq. ft. (45.99 sq. m.)	493.60 sq. ft. (45.86 sq. m.)	
TOTAL WINDOW %	11.53 %	10.48 %	11.01 %	10.98 %	
GROSS WALL AREA	EL. 'C' - LOD STD. PLAN 4584.25 sq. ft. (425.89 sq. m.)	EL. 'C' - LOD OPT. 5 BED 4584.25 sq. ft. (425.89 sq. m.)	EL. 'C' - LOD OPT. GRND 4584.25 sq. ft. (425.89 sq. m.)	EL. 'C' - LOD OPT. 5 BED & GRND 4584.25 sq. ft. (425.89 sq. m.)	
GROSS WINDOW AREA (INCL. GLASS DOORS & SKYLIGHTS)	530.04 sq. ft. (49.24 sq. m.)	528.60 sq. ft. (49.11 sq. m.)	552.71 sq. ft. (51.35 sq. m.)	551.27 sq. ft. (51.21 sq. m.)	
TOTAL WINDOW %	11.56 %	11.53 %	12.06 %	12.03 %	
GROSS WALL AREA	EL. 'C' - WOB STD. PLAN 4880.18 sq. ft. (453.38 sq. m.)	EL. 'C' - WOB OPT. 5 BED 4880.18 sq. ft. (453.38 sq. m.)	EL. 'C' - WOB OPT. GRND 4880.18 sq. ft. (453.38 sq. m.)	EL. 'C' - WOB OPT. 5 BED & GRND 4880.18 sq. ft. (453.38 sq. m.)	
GROSS WINDOW AREA (INCL. GLASS DOORS & SKYLIGHTS)	631.89 sq. ft. (58.70 sq. m.)	630.45 sq. ft. (58.57 sq. m.)	654.56 sq. ft. (60.81 sq. m.)	653.12 sq. ft. (60.68 sq. m.)	
TOTAL WINDOW %	12.95 %	12.92 %	13.41 %	13.38 %	



FRONT ELEVATION 'A'



FRONT ELEVATION 'B'



FRONT ELEVATION 'C'

UNIT 4202 - 'THE ROSEDALE'

SB-12 ENERGY EFFICIENCY DESIGN MATRIX

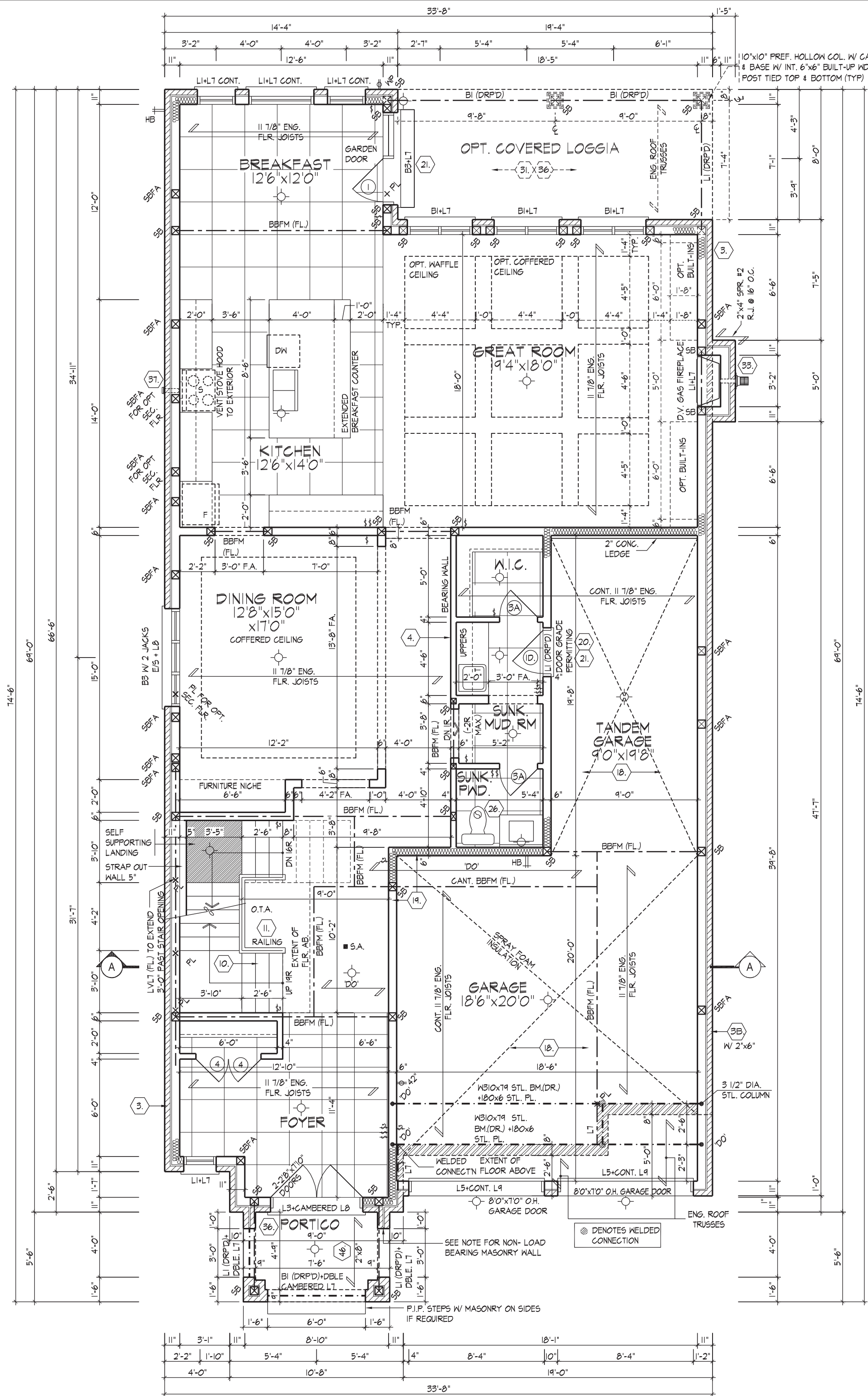
PRESCRIPTIVE COMPLIANCE		SB-12 (SECTION 3.1.1) TABLE 3.1.1.2.A	
PACKAGE A1		SPACE HEATING FUEL	
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		<input type="checkbox"/> ELECTRIC	<input type="checkbox"/> PROPANE
		<input type="checkbox"/> EARTH	<input type="checkbox"/> SOLID FUEL
BUILDING COMPONENT	REQUIRED	PROPOSED	
INSULATION RSI (R) VALUE			
CEILING W/ ATTIC SPACE	10.56 (R60)	10.56 (R60)	
CEILING W/O ATTIC SPACE	5.46 (R31)	5.46 (R31)	
EXPOSED FLOOR	5.46 (R31)	5.46 (R31)	
WALLS ABOVE GRADE	3.87 (R22)	3.87 (R22)	
BASEMENT WALLS	3.52 ci (R20 ci) *	3.52 ci (R20 ci) *	
* PROPOSED VALUES MAY BE SUBSTITUTED W/ 2.11+1.76ci (R12+R10ci)			
BELOW GRADE SLAB ENTIRE SURFACE > 600mm BELOW GRADE	-	-	
EDGE OF BELOW GRADE SLAB ≤ 600mm BELOW GRADE	1.76 (R10)	1.76 (R10)	
HEATED SLAB OR SLAB ≤ 600mm BELOW GRADE	1.76 (R10)	1.76 (R10)	
WINDOWS & DOORS			
WINDOWS/SLIDING GLASS DOORS (MAX U-VALUE)	1.6	1.6	
SKYLIGHTS (MAX. U-VALUE)	2.8	2.8	
APPLIANCE EFFICIENCY			
SPACE HEATING EQUIP. (AFUE%)	96%	96%	
HRV EFFICIENCY (%)	75%	75%	
DHW HEATER (EF)	0.8	0.8	

AREA CALCULATIONS	EL. 'A'	EL. 'B'	EL. 'C'	EL. 'A'	EL. 'B'	EL. 'C'	EL. 'A'	EL. 'B'	EL. 'C'
	STD. PLAN	STD. PLAN	STD. PLAN	OPT. SERVICE STAIRS	OPT. SERVICE STAIRS	OPT. SERVICE STAIRS	OPT. LIBRARY	OPT. LIBRARY	OPT. LIBRARY
GROUND FLOOR AREA	1548 sq. ft. (143.63 sq. m.)	1513 sq. ft. (140.56 sq. m.)	1516 sq. ft. (140.84 sq. m.)	1648 sq. ft. (153.10 sq. m.)	1616 sq. ft. (150.13 sq. m.)	1619 sq. ft. (150.41 sq. m.)	1741 sq. ft. (161.74 sq. m.)	1709 sq. ft. (158.77 sq. m.)	1711 sq. ft. (158.96 sq. m.)
SECOND FLOOR AREA	2076 sq. ft. (192.87 sq. m.)	2059 sq. ft. (191.29 sq. m.)	2039 sq. ft. (189.43 sq. m.)	2076 sq. ft. (192.87 sq. m.)	2059 sq. ft. (191.29 sq. m.)	2039 sq. ft. (189.43 sq. m.)	2076 sq. ft. (192.87 sq. m.)	2059 sq. ft. (191.29 sq. m.)	2039 sq. ft. (189.43 sq. m.)
SUBTOTAL	3622 sq. ft. (336.49 sq. m.)	3572 sq. ft. (331.85 sq. m.)	3555 sq. ft. (330.27 sq. m.)	3724 sq. ft. (345.97 sq. m.)	3675 sq. ft. (341.42 sq. m.)	3658 sq. ft. (339.84 sq. m.)	3817 sq. ft. (354.61 sq. m.)	3768 sq. ft. (350.06 sq. m.)	3750 sq. ft. (348.39 sq. m.)
DEDUCT ALL OPEN AREAS	24 sq. ft. (2.23 sq. m.)	24 sq. ft. (2.23 sq. m.)	24 sq. ft. (2.23 sq. m.)	24 sq. ft. (2.23 sq. m.)	24 sq. ft. (2.23 sq. m.)	24 sq. ft. (2.23 sq. m.)	24 sq. ft. (2.23 sq. m.)	24 sq. ft. (2.23 sq. m.)	24 sq. ft. (2.23 sq. m.)
TOTAL NET AREA	3598 sq. ft. (334.27 sq. m.)	3548 sq. ft. (329.62 sq. m.)	3531 sq. ft. (328.04 sq. m.)	3700 sq. ft. (343.74 sq. m.)	3651 sq. ft. (339.19 sq. m.)	3634 sq. ft. (337.61 sq. m.)	3793 sq. ft. (352.38 sq. m.)	3744 sq. ft. (347.83 sq. m.)	3726 sq. ft. (346.16 sq. m.)
FINISHED 8 FT. BASEMENT AREA	86 sq. ft. (7.99 sq. m.)	86 sq. ft. (7.99 sq. m.)	86 sq. ft. (7.99 sq. m.)	86 sq. ft. (7.99 sq. m.)	86 sq. ft. (7.99 sq. m.)	86 sq. ft. (7.99 sq. m.)	86 sq. ft. (7.99 sq. m.)	86 sq. ft. (7.99 sq. m.)	86 sq. ft. (7.99 sq. m.)
FINISHED 9 FT. BASEMENT AREA	80 sq. ft. (7.43 sq. m.)	80 sq. ft. (7.43 sq. m.)	80 sq. ft. (7.43 sq. m.)	80 sq. ft. (7.43 sq. m.)	80 sq. ft. (7.43 sq. m.)	80 sq. ft. (7.43 sq. m.)	80 sq. ft. (7.43 sq. m.)	80 sq. ft. (7.43 sq. m.)	80 sq. ft. (7.43 sq. m.)
COVERAGE W/OUT PORCH	2146 sq. ft. (199.37 sq. m.)	2116 sq. ft. (196.58 sq. m.)	2118 sq. ft. (196.77 sq. m.)	2146 sq. ft. (199.37 sq. m.)	2116 sq. ft. (196.58 sq. m.)	2118 sq. ft. (196.77 sq. m.)	2146 sq. ft. (199.37 sq. m.)	2116 sq. ft. (196.58 sq. m.)	2118 sq. ft. (196.77 sq. m.)
COVERAGE W/ PORCH	2196 sq. ft. (204.02 sq. m.)	2174 sq. ft. (201.97 sq. m.)	2166 sq. ft. (201.23 sq. m.)	2196 sq. ft. (204.02 sq. m.)	2174 sq. ft. (201.97 sq. m.)	2166 sq. ft. (201.23 sq. m.)	2196 sq. ft. (204.02 sq. m.)	2174 sq. ft. (201.97 sq. m.)	2166 sq. ft. (201.23 sq. m.)
COVERAGE W/ OPT. LOGGIA	2351 sq. ft. (218.42 sq. m.)	2329 sq. ft. (216.37 sq. m.)	2321 sq. ft. (215.63 sq. m.)	2351 sq. ft. (218.42 sq. m.)	2329 sq. ft. (216.37 sq. m.)	2321 sq. ft. (215.63 sq. m.)	2351 sq. ft. (218.42 sq. m.)	2329 sq. ft. (216.37 sq. m.)	2321 sq. ft. (215.63 sq. m.)

- 1 - TITLE PAGE
- 2 - BASEMENT & GROUND FLOOR PLANS - ELEV. 'A'
- 3 - OPT. 9FT. BASEMENT COND. & OPT. FLR. PLANS
- 4 - SECOND & OPT. SECOND FLOOR PLANS - ELEV. 'A'
- 5 - PARTIAL FLOOR PLANS - ELEV. 'B'
- 6 - PARTIAL FLOOR PLANS - ELEV. 'C'
- 7 - PARTIAL BASEMENT & GROUND FLOOR PLAN W/ LIBRARY - ELEV. 'A'
- 8 - FRONT ELEVATION 'A'
- 9 - LEFT SIDE ELEVATION 'A'
- 10 - RIGHT SIDE ELEVATION 'A'
- 11 - REAR ELEVATION 'A/B/C'
- 12 - FRONT ELEVATION 'B'
- 13 - LEFT SIDE ELEVATION 'B'
- 14 - RIGHT SIDE ELEVATION 'B'
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- 18 - CROSS SECTION A-A
- 19 - CONSTRUCTION NOTES
- W1 - DECK CONDITIONS
- W2 - DECK CONDITIONS
- W3 - DECK DETAILS
- W4 - DECK DETAILS

7. -	-	-
6. -	-	-
5. -	-	-
4. -	-	-
3. -	-	-
2. REVISED AS PER STRUCTURAL COMMENTS & ISSUED FOR PERMIT	2022/05/16	WT
1. REVISED TO STANDARD 9FT BSMT & UPDATED CONSTRUCTION NOTES	2022/03/08	WT
REVISIONS	DATE (YYYYMMDD)	BY

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.		GOLDPARK HOMES - 221081		UNIT 4202 - THE ROSEDALE	
NAME	SIGNATURE	23177	BCN	RAAM	SB
REGISTRATION INFORMATION	19695	DESIGN ASSOCIATES INC.	8966 Woodbine Ave, Markham, ON L3R 0J7	3/16"=1'-0"	221081WS4202
Scale	8966 Woodbine Ave, Markham, ON L3R 0J7	T 905.737.5133	F 905.737.7326	1	of 19
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GROUND FLOOR PLAN, EL. 'A'

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.
QUALIFICATION INFORMATION:
Name: Allan Whiting
Registration Number: 23177
HUNT DESIGN ASSOCIATES INC.
19695



GOLDPARK HOMES - 221081
PINE VALLEY PH. 2, VAUGHAN, ON.



100 COMMERCIAL VALLEY DR. W.
THORNHILL, ONTARIO CANADA L3T 0A1
TEL: 1-855-882-4211 FAX: 1-855-822-0355 WWW.WSPGROUP.CA

WSP

FOR STRUCTURAL ONLY. EXCLUDING
ENGINEERED ROOF TRUSS, FLOOR
JOIST, AND FLOOR LVL BEAM DESIGN.

GROUND FLOOR PLAN, EL. 'A'
UNIT 4202 - THE ROSEDALE
REV. 2022.05.16

- SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.
- PROVIDE SOLID WOOD BLOCKING @ 24" O.C. FOR FIRST JOIST SPAN WHEN PARALLEL W/ EXTERIOR WALL
- REFER TO FLOOR JOIST MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, BLOCKING & STRAPPING REQUIREMENTS, INSTALLATION DETAILS AND HANGER SIZES, & SUBFLOOR THICKNESS
- SOLID MASONRY WALL W/ 4-10M VERT. REBARS (LAP 1'-6" GROUTED INTO BRICK JOINT)
- MASONRY WALL TO BE TIED TO THE BOTTOM OF PORTICO ROOF W/ CORROSION RESISTANT METAL TIES @ 24" O.C. USING 3-3 1/2" NAILS EACH
- MASONRY VENEER TIED TO MASONRY VENEER WITH GALV. METAL TIES @ 16" O.C. AND 24" VERTICAL. FILL VOID BETWEEN MASONRY VENEER WITHES SOLID W/ MORTAR

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: MAY 27, 2022
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.



JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

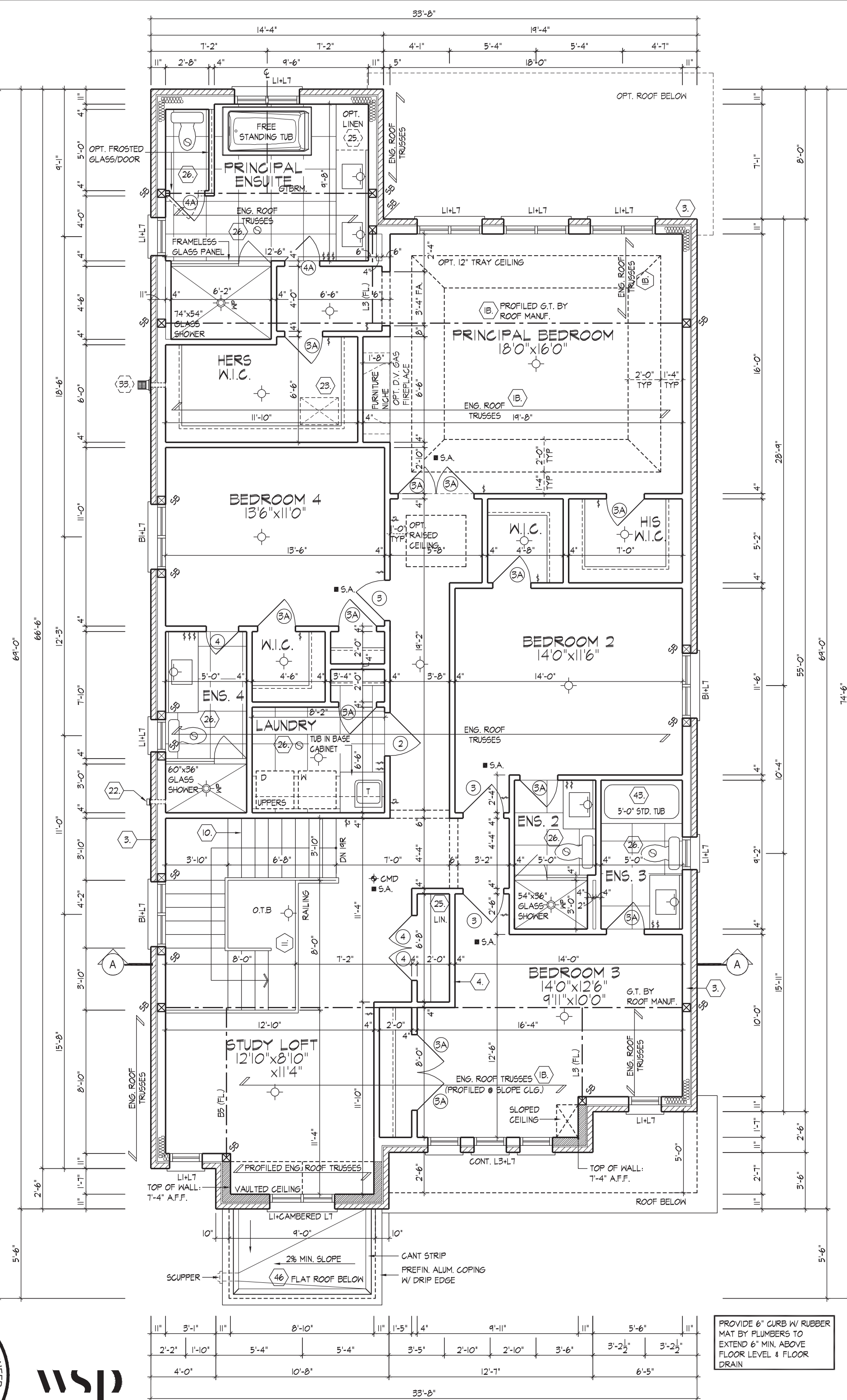
APPROVED BY: 
DATE: MAY 27, 2022

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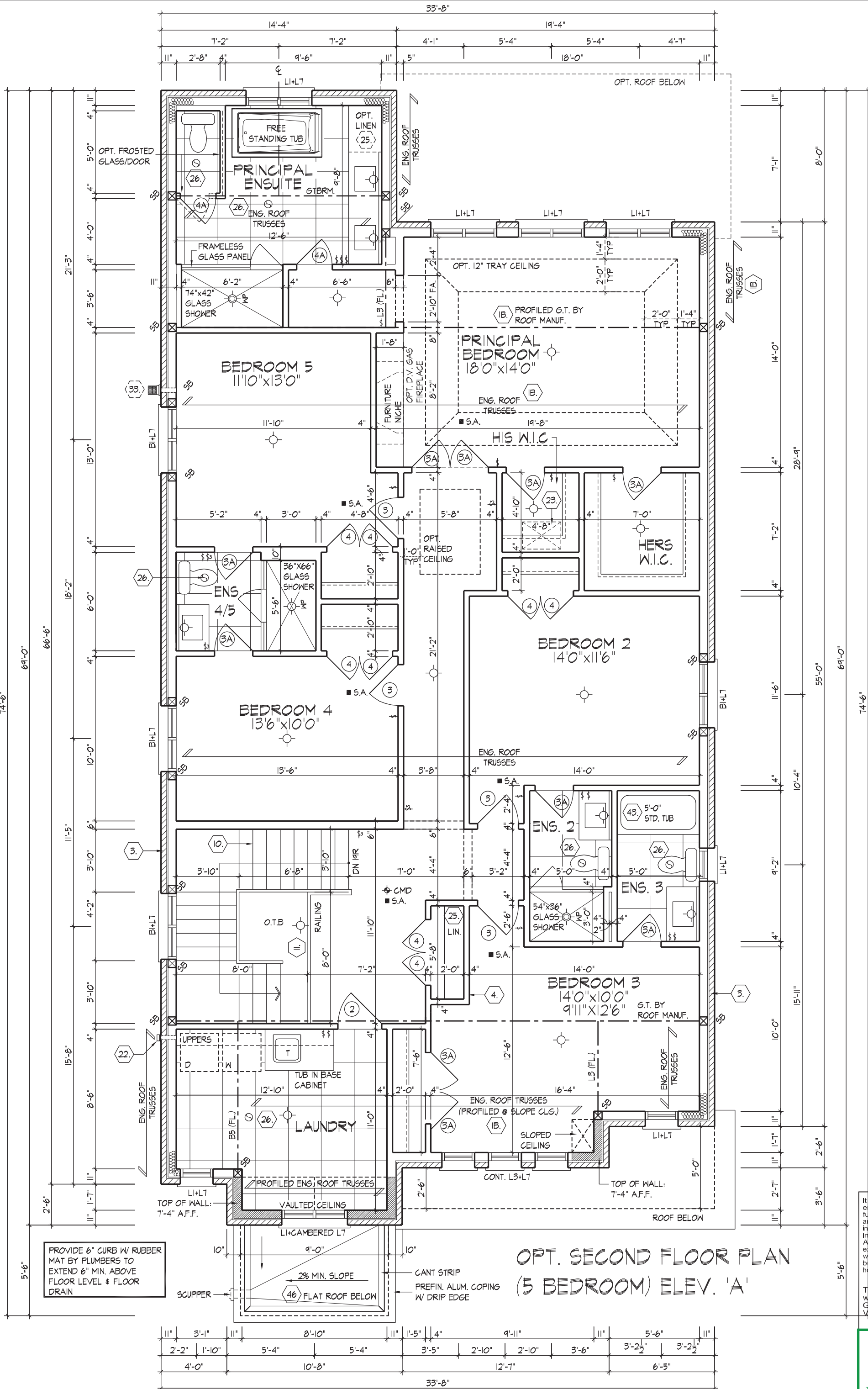


FOR STRUCTURAL ONLY. EXCLUDING
ENGINEERED ROOF TRUSS, FLOOR
JOIST, AND FLOOR LVL BEAM DESIGN.



SECOND FLOOR PLAN ELEV. 'A'

REFER TO ROOF TRUSS
MANUFACTURER'S DRAWINGS FOR
LAYOUT, SPACING, INSTALLATION
DETAILS AND HANGER SIZES.



OPT. SECOND FLOOR PLAN
(5 BEDROOM) ELEV. 'A'

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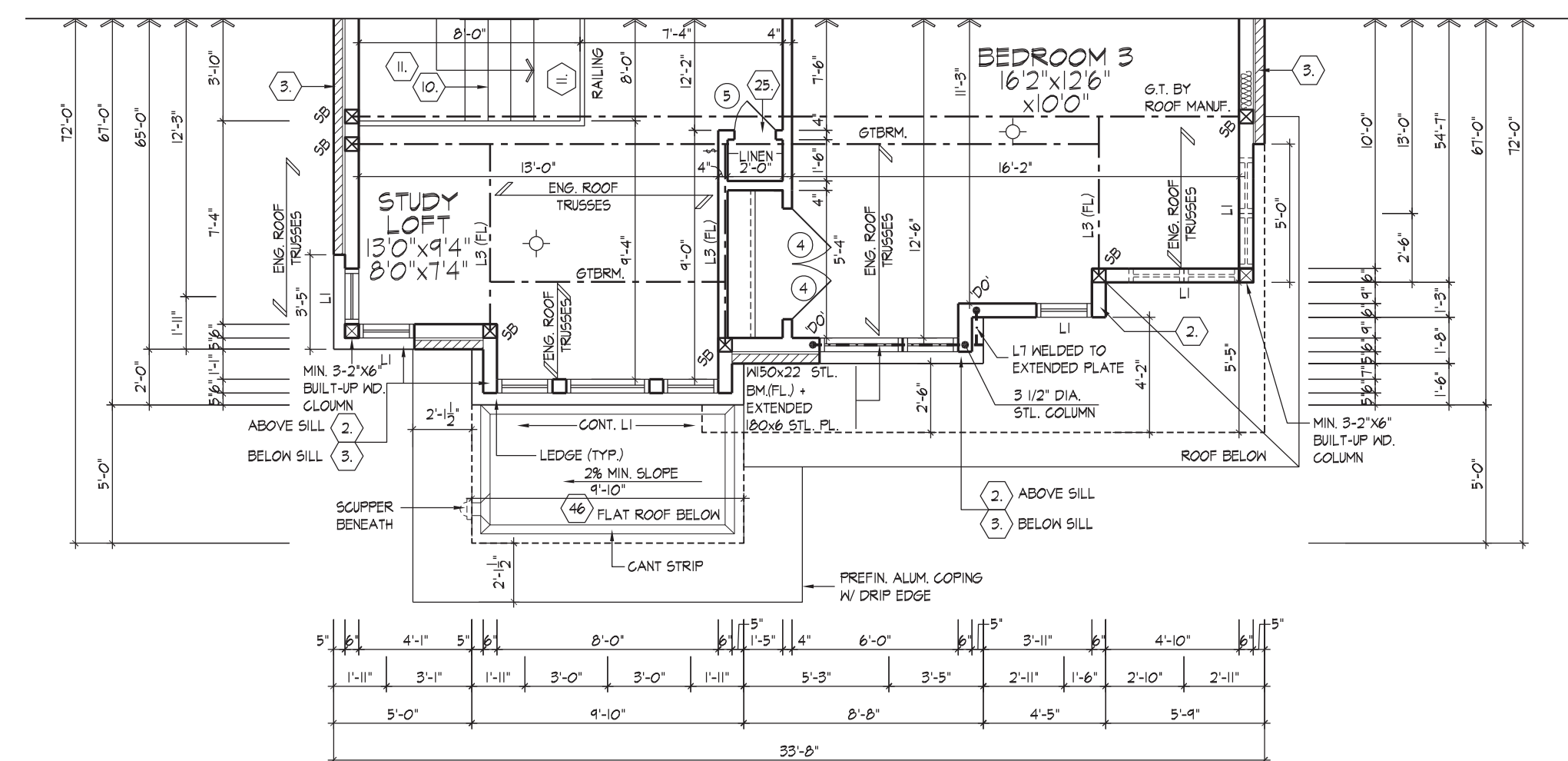
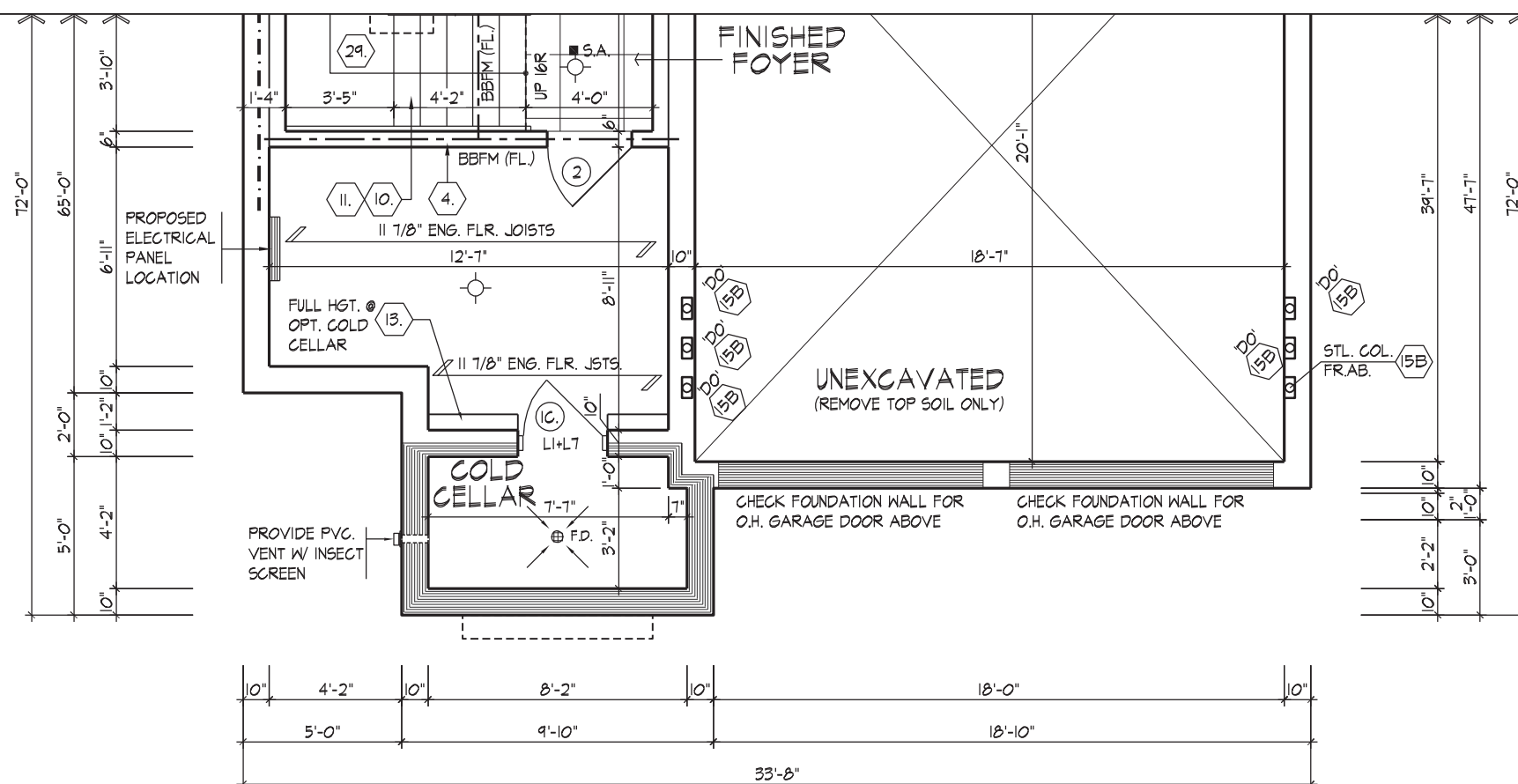
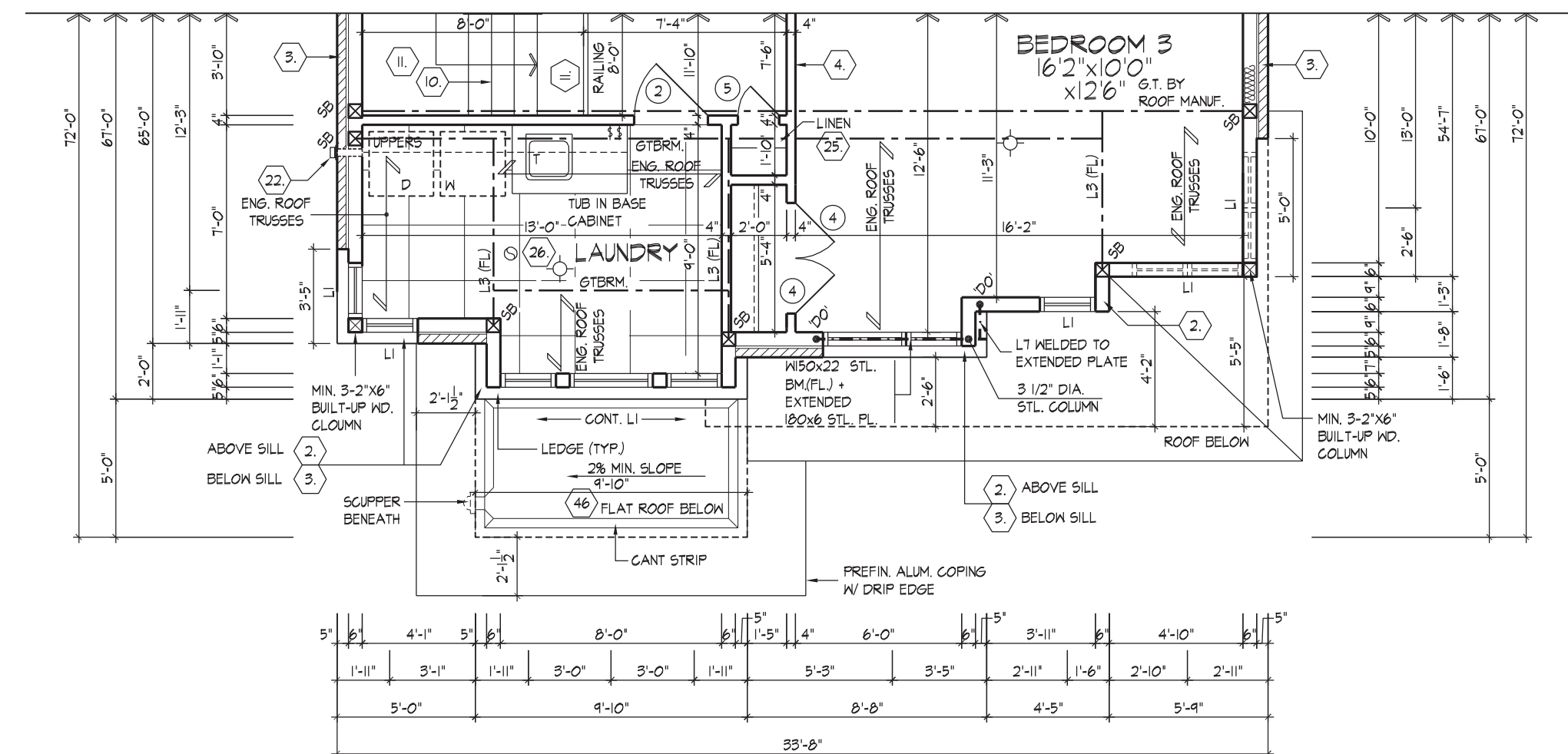
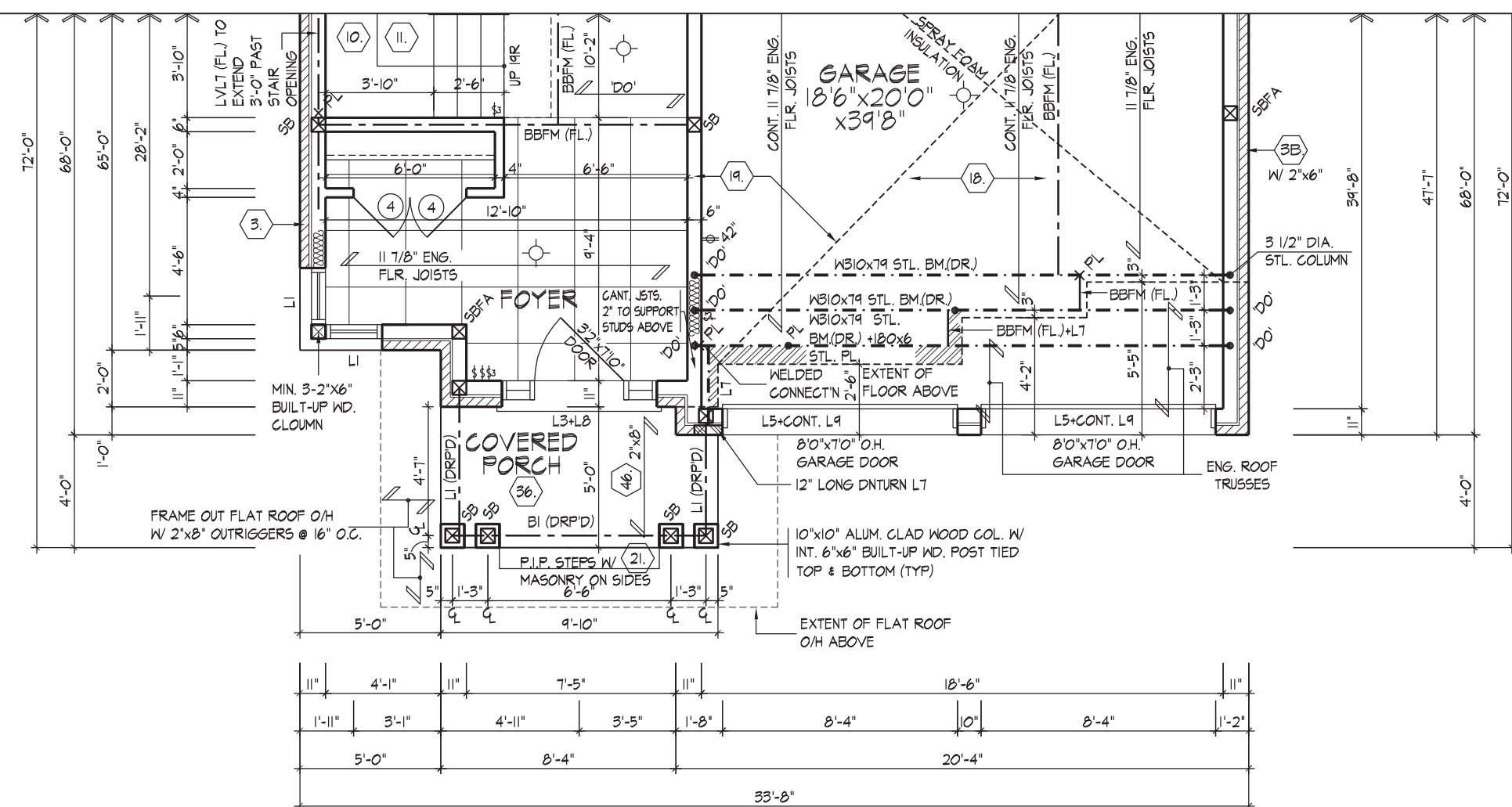
JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: MAY 27, 2022
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THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

Qualification Information
Signature: [Signature] 23177
Name: ALAN WHITING
Registration Information
HUNT DESIGN ASSOCIATES INC. 19695

HUNT DESIGN ASSOCIATES INC.
www.huntdesign.ca

SECOND & OPT. SECOND FLOOR PLANS - ELEV. 'A'
GOLDPARK HOMES - 221081
PINE VALLEY PH. 2, VAUGHAN, ON.
UNIT 4202 - THE ROSEDALE
REV. 2022.05.16
Down By: RAAM SB 3/16"=1'-0"
8966 Woodbine Ave., Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326
File Number: 221081WS4202
Page Number: 4 of 19



SPACE ALL FLOOR JOISTS @
12" O.C. UNDER ALL CERAMIC
TILE AREAS.

PROVIDE SOLID WOOD BLOCKING @
24" O.C. FOR FIRST JOIST SPAN
WHEN PARALLEL W/ EXTERIOR WALL

REFER TO FLOOR JOIST
MANUFACTURER'S DRAWINGS FOR
LAYOUT, SPACING, BLOCKING &
STRAPPING REQUIREMENTS,
INSTALLATION DETAILS AND HANGER
SIZES, & SUBFLOOR THICKNESS

REFER TO STANDARD PLAN FOR
COMPLETE CONSTRUCTION NOTES
& DIMENSIONS

REFER TO ROOF TRUSS
MANUFACTURER'S DRAWINGS FOR
LAYOUT, SPACING, INSTALLATION
DETAILS AND HANGER SIZES.



FOR STRUCTURAL ONLY. EXCLUDING
ENGINEERED ROOF TRUSS, FLOOR
JOIST, AND FLOOR LVL BEAM DESIGN.

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: 
 DATE: MAY 27, 2022

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION		
Allan Whiting		23177
NAME	SIGNATURE	BCIN
REGISTRATION INFORMATION		
HUNT DESIGN ASSOCIATES INC.		19699

22137

2317
BCR

19695

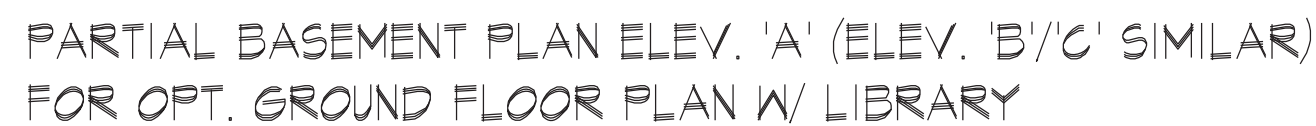
HUNT 
DESIGN ASSOCIATES INC
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GOLDPARK HOMES - 221081
PINE VALLEY PH. 2, VAUGHAN, ON.

Drawn By	Checked By	Scale
RAAM	SB	3/16"=1'-0"
8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133		

TIAL FLOOR PLANS - ELEV. 'C'
UNIT 4202 - THE ROSEDALE
REV.2022.05.16

File Number	Page Number
221081WS4202	6 of 19
F 905.737.7326	



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or wetland drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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wsp

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ENGINEERED ROOF TRUSS, FLOOR
JOIST, AND FLOOR LVL BEAM DESIGN.

PARTIAL BASEMENT & GROUND FLOOR PLAN W/ LIBRARY - ELEV. 'A'
GOLDPARK HOMES - 221081 UNIT 4202 - THE ROSEDALE
 PINE VALLEY PH. 2, VAUGHAN, ON. REV.2022.05.16

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION

Allan Whiting

NAME

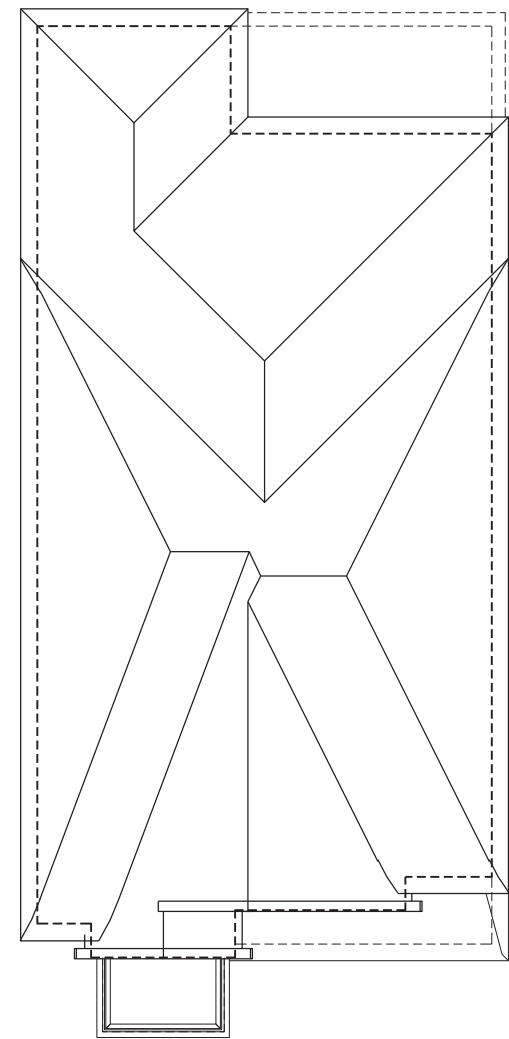
REGISTRATION INFORMATION

HUNT DESIGN ASSOCIATES INC.

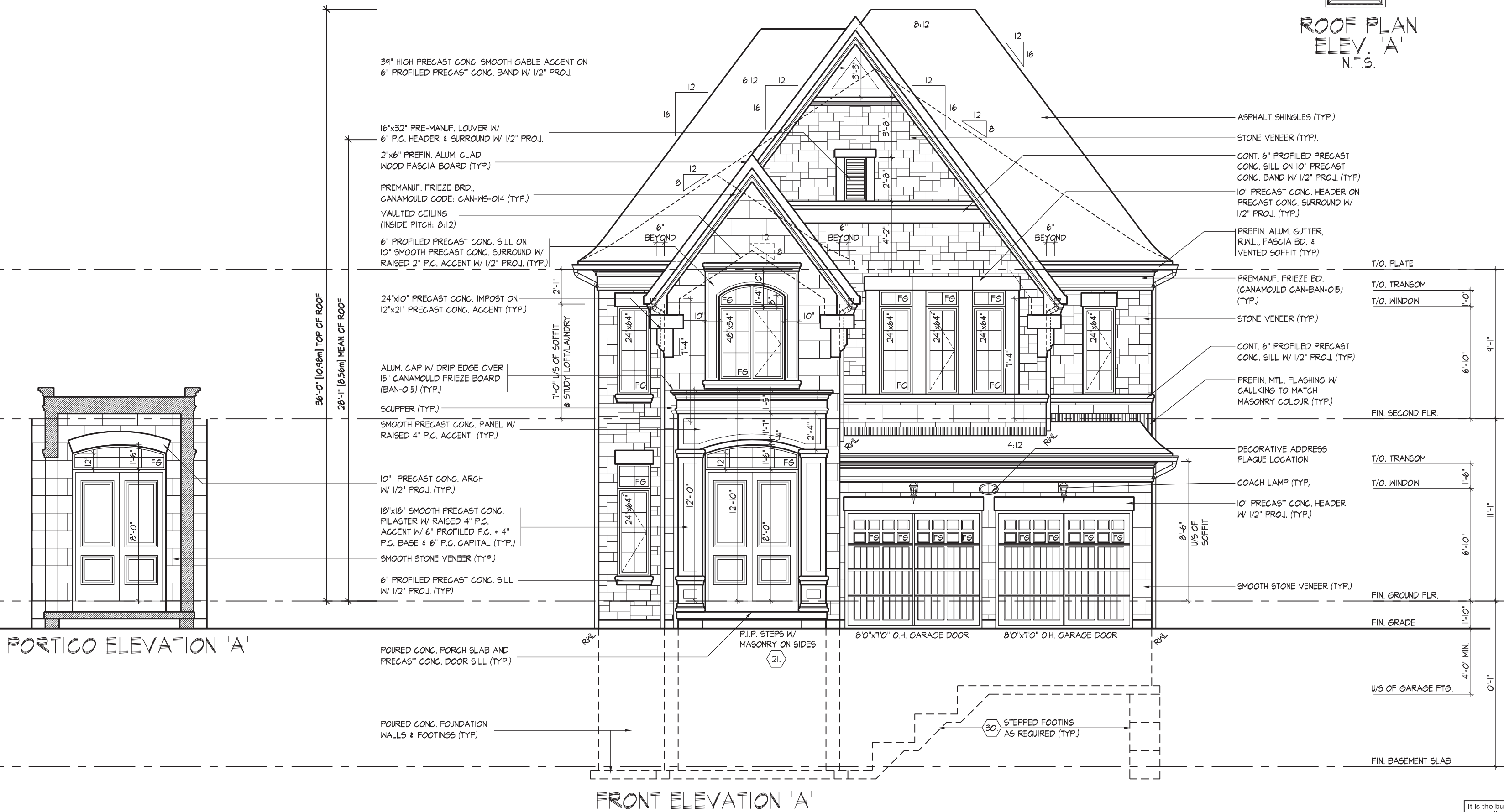
HUNT
DESIGN ASSOCIATES INC.
www.huntdesign.ca

Drawn By	Checked By	Scale	File Number	Page Number
RAAM	SB	3/16"=1'-0"	221081WS4202	7 of 19
8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326				

ROOF OVERHANGS ARE TO BE 15" UNLESS NOTED OTHERWISE



ROOF PLAN
ELEV. 'A'
N.T.S.



PORTICO ELEVATION 'A'

FRONT ELEVATION 'A'

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
DATE: MAY 22, 2022
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QUAIFICATION INFORMATION:
NAME: Allan Whiting
REGISTRATION NUMBER: 23177
HUNT DESIGN ASSOCIATES INC.
19695

HUNT DESIGN ASSOCIATES INC.
8966 Woodbine Ave, Markham, ON L3R 0J7
www.hunt-design.ca

GOLDPARK HOMES - 221081
PINE VALLEY PH. 2, VAUGHAN, ON.

Drawn By: RAAM
Checked By: SB
Scale: 3/16"=1'-0"
File Number: 221081WS4202
Page Number: 8 of 19

FRONT ELEVATION 'A'
UNIT 4202 - THE ROSEDALE
REV.2022.05.16

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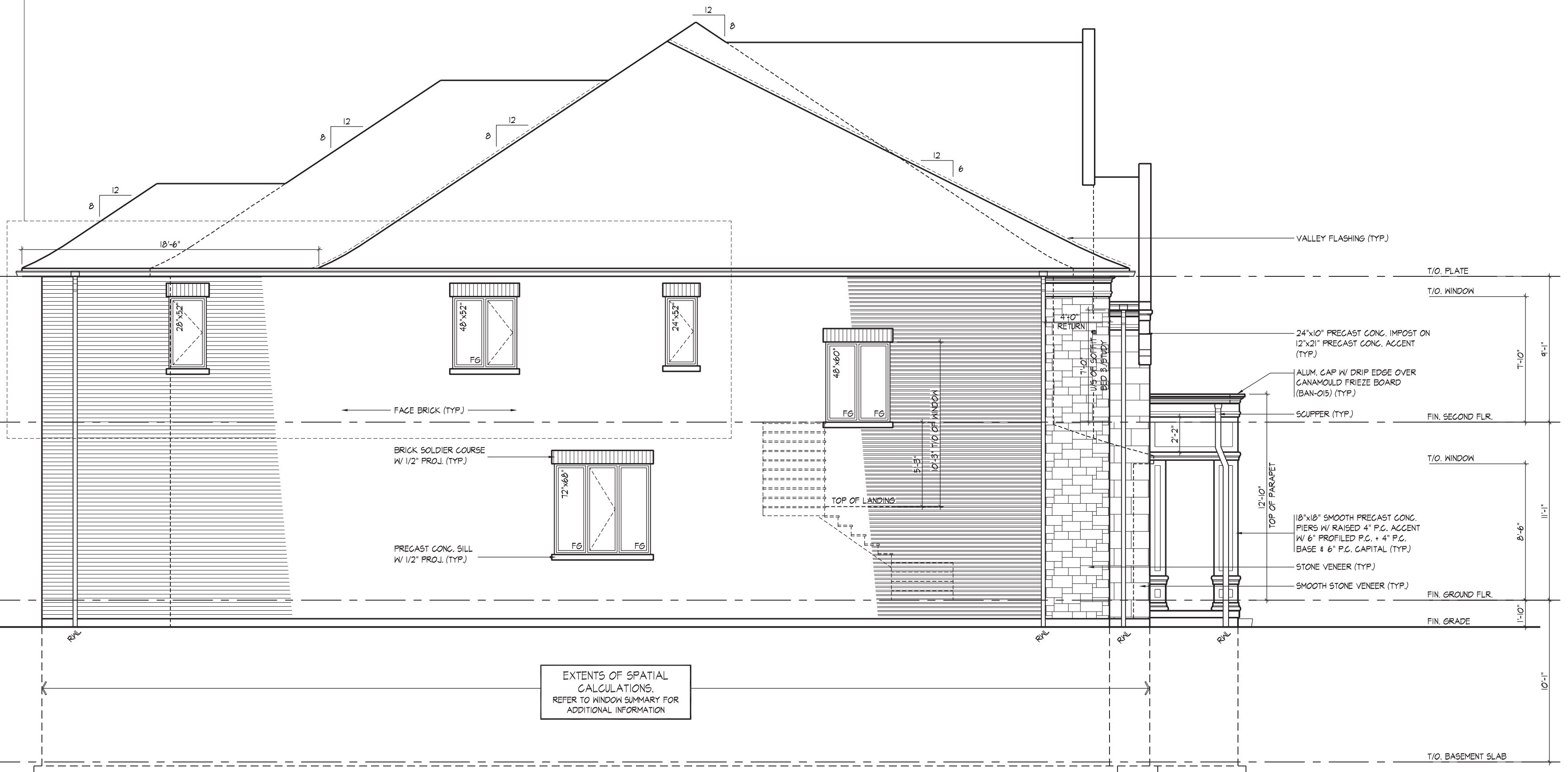
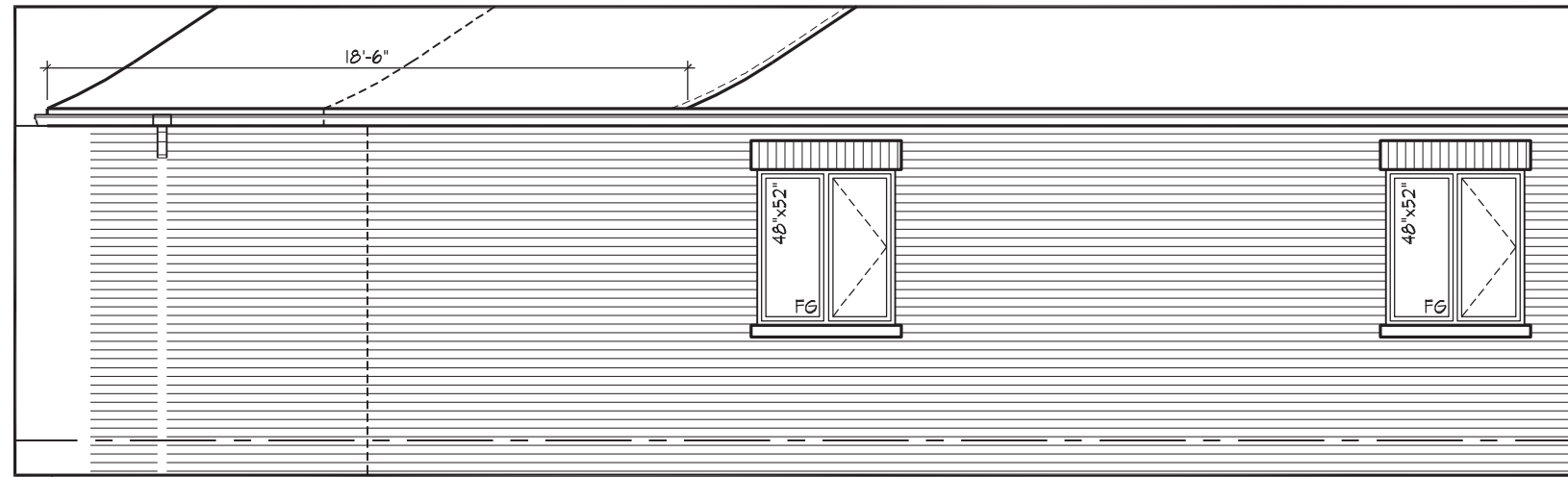
ROOF OVERHANGS ARE TO
BE 15" UNLESS NOTED
OTHERWISE

REFER TO FRONT ELEVATION
FOR TYPICAL NOTES & INFO.

WINDOW SUMMARY				
PER O.B.C. TABLE 9.10.15.4				
LEFT SIDE ELEVATION 'A'				
(& OPT. GROUND FLOOR)				
QUANT.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	
1	28	52	14.56	
1	48	52	8.00	
1	24	52	6.62	
1	72	68	30.27	
1	48	60	17.11	
0	0	0	0.00	
0	0	0	0.00	
0	0	0	0.00	
0	0	0	0.00	
0	0	0	0.00	
0	0	0	0.00	
0	ARCH	0.00	0.00	
0	ARCH	0.00	0.00	
0	ARCH	0.00	0.00	
0	ARCH	0.00	0.00	
SPATIAL CALCULATION				
EXPOSING BUILDING			1510.58	S.F.
FACE AREA			140.34	S.F.
PORTION WALL AREA			1461.92	S.F.
PORTION WALL AREA			134.89	S.F.
LIMITING DISTANCE			7	1/2 m
MAX. SLOPE PERCENT			10	%
OPENINGS ALLOWED			101.83	S.F.
OPENINGS PROVIDED			76.67	S.F.
ADDITIONAL NOTES				
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER				

WINDOW SUMMARY				
PER O.B.C. TABLE 5.10.15.4				
LEFT SIDE ELEV. 'A' (OFT 5 BED				
& OPT. GROUND FLOOR)				
QUAN.	WIDTH	DEPTH	WINDOW/DOOR FRAME SIZE (S.F.)	
0	0	0		
2	48	52		29.33
0	0	0		
1	72	68		30.22
1	48	60		17.11
0	0	0		
0	0	0		
0	0	0		
0	0	0		
0	0	0		
0	0	0		
0	ARCH	0.00		0.00
0	ARCH	0.00		0.00
0	ARCH	0.00		0.00
0	ARCH	0.00		0.00
ADDITIONAL NOTES				
LIMITING DISTANCE			7	1.2 m
MAX. GLAZED AREA				
OPENINGS ALLOWED			101.63	S.F.
OPENINGS PROVIDED			76.67	S.F.
GLAZED AREA CALCULATED BY WINDOW SIZE				
MINUS 2' AROUND ENTIRE PERIMETER				

PART. LEFT SIDE ELEVATION 'A'
FOR OPT. 5 BEDROOM



LEFT SIDE ELEVATION 'A'

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: 
DATE: MAY 27, 2022

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QUALIFICATION INFORMATION	
Allan Whitting	231
NAME	SIGNATURE
REGISTRATION INFORMATION	
HUNT DESIGN ASSOCIATES INC.	196

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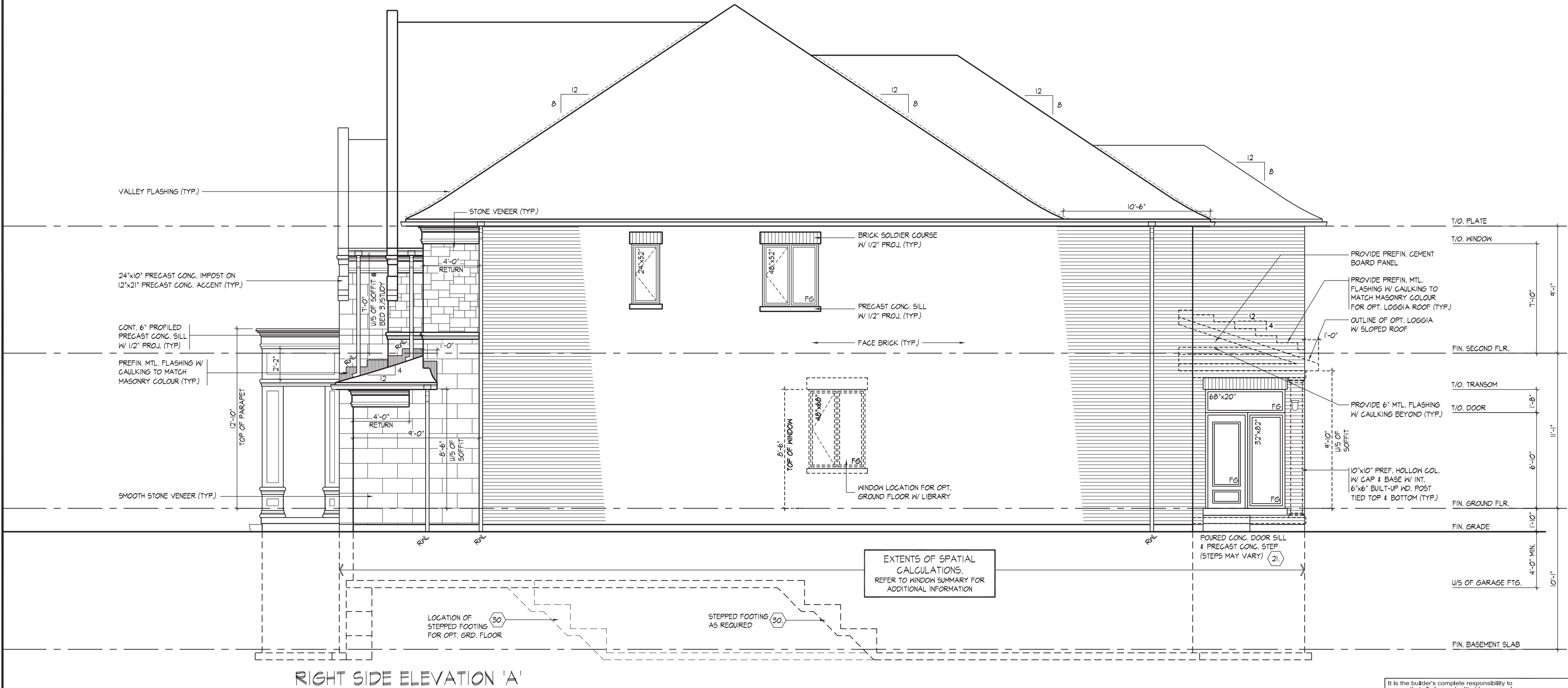
GOLDPARK HOMES - 221081
PINE VALLEY PH. 2, VAUGHAN, ON.

LEFT SIDE ELEVATION 'A'
UNIT 4202 - THE ROSEDALE
REV.2022.05.16

ROOF OVERHANGS ARE TO BE 15" UNLESS NOTED OTHERWISE
REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFO.

WINDOW SUMMARY				
PER O.B.C. TABLE 9.10.15.4				
RIGHT SIDE ELEVATION 'A' (& OPT. 2ND FLOOR)				
QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	
1	24	52	6.67	
1	48	52	14.67	
1	32	82	15.17	
1	68	20	7.11	
0	0	0	0.00	
0	0	0	0.00	
0	0	0	0.00	
0	0	0	0.00	
0	0	0	0.00	
0	0	0	0.00	
1	DOOR	7.60	7.60	
0	ARCH	0.00	0.00	
0	ARCH	0.00	0.00	
0	ARCH	0.00	0.00	
SPATIAL CALCULATION				
EXPOSING BUILDING	1510.58		S.F.	
FACE AREA	140.34		S.M.	
PORTION WALL AREA	1251.67		S.F.	
PORTION WALL AREA	116.26		S.M.	
LIMITING DISTANCE	12 m			
MAX. % OPENINGS	7		%	
OPENINGS ALLOWED	87.62		S.F.	
OPENINGS PROVIDED	51.21		S.F.	
ADDITIONAL NOTES				
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER				

WINDOW SUMMARY				
PER O.B.C. TABLE 9.10.15.4				
RIGHT SIDE ELEVATION 'A' W/ OPT. GROUND FLOOR & OPT. 2ND FLOOR				
QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	
1	24	52	6.67	
1	48	52	14.67	
1	48	68	19.56	
1	32	82	15.17	
1	68	20	7.11	
0	0	0	0.00	
0	0	0	0.00	
0	0	0	0.00	
0	0	0	0.00	
0	0	0	0.00	
1	DOOR	7.60	7.60	
0	ARCH	0.00	0.00	
0	ARCH	0.00	0.00	
0	ARCH	0.00	0.00	
SPATIAL CALCULATION				
EXPOSING BUILDING	1510.58	S.F.		
FACE AREA	140.34	S.M.		
PORTION WALL AREA	1251.67	S.F.		
PORTION WALL AREA	116.26	S.M.		
LIMITING DISTANCE	12 m			
MAX. % OPENINGS	7	%		
OPENINGS ALLOWED	87.62	S.F.		
OPENINGS PROVIDED	70.77	S.F.		
ADDITIONAL NOTES				
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER				



RIGHT SIDE ELEVATION 'A'

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ARCHITECTURAL CONTROL REVIEW
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DATE: MAY 22, 2022
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QUALIFICATION INFORMATION
NAME: Allan Whiting
REGISTRATION INFORMATION: 19695
HUNT DESIGN ASSOCIATES INC.

HUNT DESIGN ASSOCIATES INC.
www.hunt-design.ca

GOLDPARK HOMES - 221081
PINE VALLEY PH. 2, VAUGHAN, ON.

Down By: RAAM
Checked By: SB
Scale: 3/16"=1'-0"
File Number: 221081WS4202
Page Number: 10 of 19

RIGHT SIDE ELEVATION 'A'
UNIT 4202 - THE ROSEDALE
REV.2022.05.16

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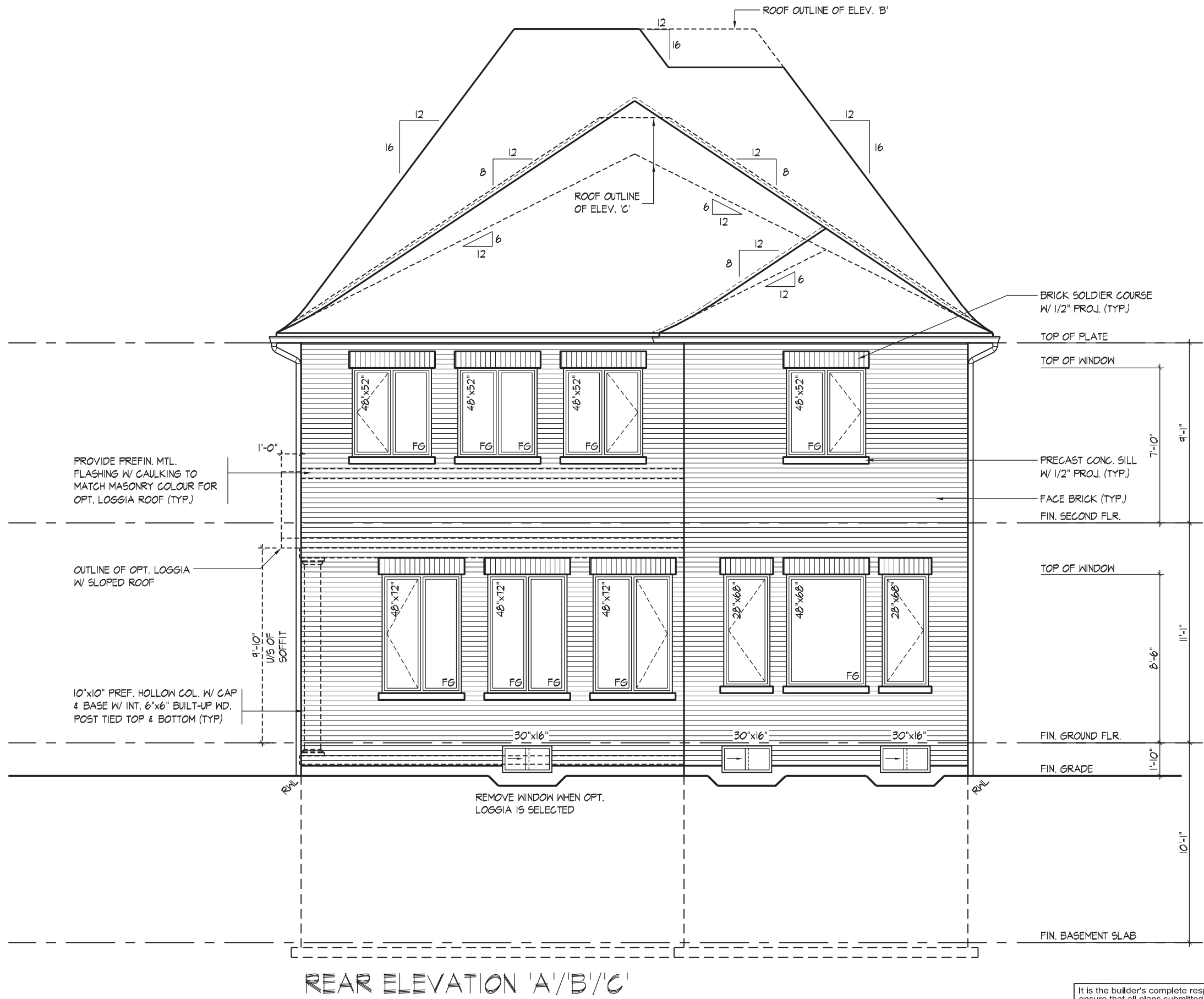
ROOF OVERHANGS ARE TO
BE 15" UNLESS NOTED
OTHERWISE

REFER TO FRONT ELEVATION
FOR TYPICAL NOTES & INFO.

WINDOW SUMMARY					WINDOW SUMMARY					WINDOW SUMMARY					WINDOW SUMMARY				
PER O.B.C. TABLE 9.10.15.4					PER O.B.C. TABLE 9.10.15.4					PER O.B.C. TABLE 9.10.15.4					PER O.B.C. TABLE 9.10.15.4				
REAR ELEV. 'A' - STD.					REAR ELEV. 'A' - L.O.D.					REAR ELEV. 'A' - W.O.D.					REAR ELEV. 'A' - W.O.B.				
QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)		QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)		QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)		QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	
3	48"	60"	28.80		3	48"	60"	28.80		3	48"	60"	28.80		3	48"	60"	28.80	
3	48"	72"	62.33		1	48"	30"	7.54		3	48"	72"	62.33		2	28"	56"	17.33	
2	28"	68"	21.33		3	48"	72"	62.33		2	28"	68"	21.33		2	28"	68"	21.33	
0	0"	0"	0.00		0	0"	0"	0.00		0	0"	0"	0.00		0	0"	0"	0.00	
0	0"	0"	0.00		0	0"	0"	0.00		0	0"	0"	0.00		0	0"	0"	0.00	
4	48"	52"	58.67		1	48"	68"	19.56		4	48"	52"	58.67		4	48"	52"	58.67	
0	0"	0"	0.00		4	48"	52"	58.67		0	0"	0"	0.00		0	0"	0"	0.00	
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0	0"	0"	0.00		0	0"	0"	0.00		0	0"	0"	0.00		0	0"	0"	0.00	
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0	ARCH	0.00	0.00		0	ARCH	0.00	0.00		0	ARCH	0.00	0.00		0	ARCH	0.00	0.00	
SPATIAL CALCULATION					SPATIAL CALCULATION					SPATIAL CALCULATION					SPATIAL CALCULATION				
EXPOSING BUILDING FACE AREA 735.05 S.F.					EXPOSING BUILDING FACE AREA 906.05 S.F.					EXPOSING BUILDING FACE AREA 858.05 S.F.					EXPOSING BUILDING FACE AREA 1057.05 S.F.				
PORTION WALL AREA 86.29 S.F.					PORTION WALL AREA 84.17 S.M.					PORTION WALL AREA 79.72 S.F.					PORTION WALL AREA 86.29 S.F.				
LIMITING DISTANCE 7.50 m					LIMITING DISTANCE 7.50 m					LIMITING DISTANCE 7.50 m					LIMITING DISTANCE 7.50 m				
MAX % OPENINGS 50.50 %					MAX % OPENINGS 50.50 %					MAX % OPENINGS 50.50 %					MAX % OPENINGS 50.50 %				
OPENINGS ALLOWED 371.20 S.F.					OPENINGS ALLOWED 457.58 S.F.					OPENINGS ALLOWED 433.34 S.F.					OPENINGS ALLOWED 533.81 S.F.				
OPENINGS PROVIDED 183.39 S.F.					OPENINGS PROVIDED 176.57 S.F.					OPENINGS PROVIDED 169.11 S.F.					OPENINGS PROVIDED 160.44 S.F.				
ADDITIONAL NOTES					ADDITIONAL NOTES					ADDITIONAL NOTES					ADDITIONAL NOTES				
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2' AROUND INTER PERIMETER					GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2' AROUND INTER PERIMETER					GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2' AROUND INTER PERIMETER					GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2' AROUND INTER PERIMETER				

WINDOW SUMMARY PER O.B.C. TABLE 9.10.1.5.4				WINDOW SUMMARY PER O.B.C. TABLE 9.10.1.5.4				WINDOW SUMMARY PER O.B.C. TABLE 9.10.1.5.4				WINDOW SUMMARY PER O.B.C. TABLE 9.10.1.5.4			
REAR ELEV. 'B' - STD.				REAR ELEV. 'B' - I.O.D.				REAR ELEV. 'B' - W.O.D.				REAR ELEV. 'B' - W.O.B.			
QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)
3	30"	16"	5.30	2	28"	30"	8.67	2	30"	24"	7.22	4	48"	58"	83.36
3	48"	72"	74.23	4	72"	72"	7.24	3	48"	72"	62.33	3	48"	72"	62.33
2	28"	68"	21.33	3	48"	72"	62.33	2	28"	68"	21.33	2	28"	68"	21.33
1	48"	68"	19.56	2	28"	68"	21.33	1	48"	68"	19.56	1	48"	68"	19.56
4	48"	52"	18.67	4	48"	52"	18.67	4	48"	52"	18.67	4	48"	52"	18.67
0	0"	0"	0.00	0	0"	0"	0.00	0	0"	0"	0.00	0	0"	0"	0.00
0	0"	0"	0.00	0	0"	0"	0.00	0	0"	0"	0.00	0	0"	0"	0.00
0	0"	0"	0.00	0	0"	0"	0.00	0	0"	0"	0.00	0	0"	0"	0.00
0	0"	0"	0.00	0	0"	0"	0.00	0	0"	0"	0.00	0	0"	0"	0.00
0	0"	0"	0.00	0	0"	0"	0.00	0	0"	0"	0.00	0	0"	0"	0.00
0	0"	0"	0.00	0	0"	0"	0.00	0	0"	0"	0.00	0	0"	0"	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00	0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00	0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00	0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00	0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00	0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
SPATIAL CALCULATION				SPATIAL CALCULATION				SPATIAL CALCULATION				SPATIAL CALCULATION			
EXPOSING BUILDING FACE AREA 73.05 S.F. 68.29 S.M.				EXPOSING BUILDING FACE AREA 90.05 S.F. 84.17 S.M.				EXPOSING BUILDING FACE AREA 85.05 S.F. 79.72 S.M.				EXPOSING BUILDING FACE AREA 1057.05 S.F. 98.20 S.M.			
PORTION WALL AREA 73.05 S.F. 68.29 S.M.				PORTION WALL AREA 90.05 S.F. 84.17 S.M.				PORTION WALL AREA 85.05 S.F. 79.72 S.M.				PORTION WALL AREA 1057.05 S.F. 98.20 S.M.			
LIMITING DISTANCE 7.50 m				LIMITING DISTANCE 7.50 m				LIMITING DISTANCE 7.50 m				LIMITING DISTANCE 7.50 m			
MAX. % OPENINGS 50.50 %				MAX. % OPENINGS 50.50 %				MAX. % OPENINGS 50.50 %				MAX. % OPENINGS 50.50 %			
OPENINGS PROVIDED 168.39 S.F.				OPENINGS PROVIDED 168.39 S.F.				OPENINGS PROVIDED 168.39 S.F.				OPENINGS PROVIDED 168.39 S.F.			
ADDITIONAL NOTES				ADDITIONAL NOTES				ADDITIONAL NOTES				ADDITIONAL NOTES			
GLAZED AREA CALCULATED BY FRAME SIZE MINUS 2' AROUND ENTIRE PERIMETER				GLAZED AREA CALCULATED BY FRAME SIZE MINUS 2' AROUND ENTIRE PERIMETER				GLAZED AREA CALCULATED BY FRAME SIZE MINUS 2' AROUND ENTIRE PERIMETER				GLAZED AREA CALCULATED BY FRAME SIZE MINUS 2' AROUND ENTIRE PERIMETER			

WINDOW SUMMARY				WINDOW SUMMARY				WINDOW SUMMARY				WINDOW SUMMARY			
PER O.B.C. TABLE 9.10.15.4				PER O.B.C. TABLE 9.10.15.4				PER O.B.C. TABLE 9.10.15.4				PER O.B.C. TABLE 9.10.15.4			
REAR ELEV. 'C' - STD.				REAR ELEV. 'C' - L.O.D.				REAR ELEV. 'C' - W.O.D.				REAR ELEV. 'C' - W.O.B.			
Q.UAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	Q.UAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	Q.UAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	Q.UAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)
0	0"	0"	0.00	0	0"	0"	0.00	0	0"	0"	0.00	0	0"	0"	0.00
2	28'	68"	19.56	2	28'	68"	19.56	2	28'	68"	19.56	2	28'	68"	19.56
1	48'	68"	15.36	1	48'	68"	15.36	1	48'	68"	15.36	1	48'	68"	15.36
0	0"	0"	0.00	0	0"	0"	0.00	0	0"	0"	0.00	0	0"	0"	0.00
0	0"	0"	0.00	0	0"	0"	0.00	0	0"	0"	0.00	0	0"	0"	0.00
0	0"	0"	0.00	0	0"	0"	0.00	0	0"	0"	0.00	0	0"	0"	0.00
0	0"	0"	0.00	0	0"	0"	0.00	0	0"	0"	0.00	0	0"	0"	0.00
0	0"	0"	0.00	0	0"	0"	0.00	0	0"	0"	0.00	0	0"	0"	0.00
0	0"	0"	0.00	0	0"	0"	0.00	0	0"	0"	0.00	0	0"	0"	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00	0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00	0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00	0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00	0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
Spatial Calculation				Spatial Calculation				Spatial Calculation				Spatial Calculation			
Exposing Building Face Area 735.05 S.F.				Exposing Building Face Area 906.05 S.F.				Exposing Building Face Area 869.05 S.F.				Exposing Building Face Area 1087.05 S.F.			
Portion Wall Area 735.05 S.F.				Portion Wall Area 906.05 S.F.				Portion Wall Area 735.05 S.F.				Portion Wall Area 1087.05 S.F.			
Limiting Distance 7.50 m				Limiting Distance 7.50 m				Limiting Distance 7.50 m				Limiting Distance 7.50 m			
Openings Allowed 50.50 S.F.				Max. X-Openings 50.50 S.F.				Openings Allowed 43.33 S.F.				Max. X-Openings 50.50 S.F.			
Openings Provided 183.39 S.F.				Openings Allowed 47.56 S.F.				Openings Provided 169.11 S.F.				Openings Allowed 180.44 S.F.			
Glazed Area Calculated by Frame Size Minus 2' Around Entire Perimeter				Glazed Area Calculated by Frame Size Minus 2' Around Entire Perimeter				Glazed Area Calculated by Frame Size Minus 2' Around Entire Perimeter				Glazed Area Calculated by Frame Size Minus 2' Around Entire Perimeter			



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions of a special use or conditional use agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: 
DATE: MAY 27, 2022

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Design Guidelines only and bears no further
professional responsibility.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION		
Allan Whiting		231
NAME	SIGNATURE	

REGISTRATION INFORMATION	
HUNT DESIGN ASSOCIATES INC.	196

GOLDPARK HOMES - 221081
PINE VALLEY PH. 2, VAUGHAN, ON.

REAR ELEVATION 'A'/'B'/'C'
UNIT 4202 - THE ROSEDALE
REV.2022.05.16



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Drawn By	Checked By	Scale	File Number	Page Number
RAAM	SB	3/16"=1'-0"	221081WS4202	11 of 19

8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

1 of 19

NTANG | WED MAY 18/22 08:44 AM | KIPROJECTS/2021/221081 GOI NIWOBKINGISINGI ESI421221081WS4202-BONSENALE NIWIS



Diagram illustrating the elevation of the exterior wall of the second floor, showing window and transom dimensions and levels.

Key dimensions and levels indicated:

- TOP OF PLATE
- TOP OF WINDOW
- 6'-10"
- 9'-1"
- FIN. SECOND FLR.
- TO
- TOP OF TRANSOM
- TOP OF WINDOW
- 1'-6"
- 6'-10"
- 11'-1"
- FIN. GROUND FLR.
- FIN. GRADE
- 1'-0"
- 4'-0" MIN.
- 10'-1"
- U/S OF GARAGE FTG.
- FIN. BASEMENT SLAB

POURED CONG. PORCH SLAB AND
PRECAST CONG. DOOR SILL (TYP.)

POURED CONG. FOUNDATION
WALLS & FOOTINGS (TYP.)

PORTICO ELEVATION 'B'

FRONT ELEVATION 'B'

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: [Signature]

DATE: MAY 27, 2022

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Drawn By	Checked By	Scale	File Number
RAAM	SB	3/16"=1'-0"	221081WS

8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

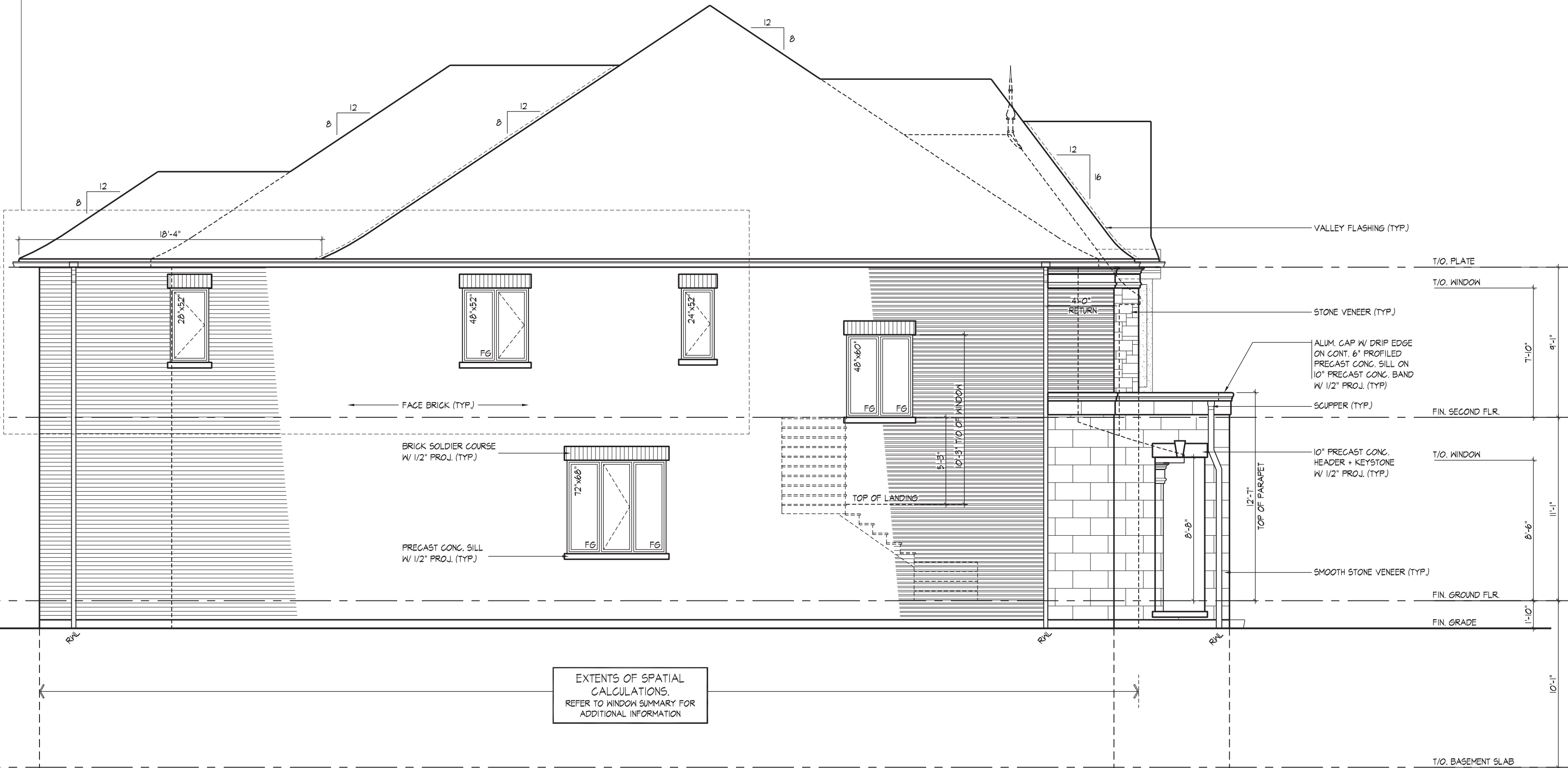
Page Number
12 of 19

ROOF OVERHANGS ARE TO BE 15" UNLESS NOTED OTHERWISE
REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFO.

WINDOW SUMMARY				
PER O.B.C. TABLE 9.10.15.4				
LEFT SIDE ELEVATION 'B' (8 OPT. GROUND FLOOR)				
QTY	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	
1	28	52	8.00	
1	48	52	14.67	
1	24	52	6.67	
1	72	68	30.22	
1	48	60	17.11	
0	0	0	0.00	
0	0	0	0.00	
0	0	0	0.00	
0	0	0	0.00	
0	0	0	0.00	
0	ARCH		0.00	
0	ARCH		0.00	
0	ARCH		0.00	
0	ARCH		0.00	
SPATIAL CALCULATION				
EXPOSING BUILDING	1495.45		S.F.	
FACE AREA	138.93		S.M.	
PORTION WALL AREA	1419.17		S.F.	
LIMITING DISTANCE	131.85		S.M.	
MAX. % OPENINGS	7		12 m	
OPENINGS ALLOWED	99.34		S.F.	
OPENINGS PROVIDED	76.67		S.F.	
ADDITIONAL NOTES				
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER				

WINDOW SUMMARY				
PER O.B.C. TABLE 9.10.15.4				
LEFT SIDE ELEV. 'B' (OPT 5 BED & OPT. GROUND FLOOR)				
QTY	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	
0	0	0	0.00	
2	48	52	29.33	
0	0	0	0.00	
1	72	68	30.22	
1	48	60	17.11	
0	0	0	0.00	
0	0	0	0.00	
0	0	0	0.00	
0	0	0	0.00	
0	0	0	0.00	
0	ARCH		0.00	0.00
0	ARCH		0.00	0.00
0	ARCH		0.00	0.00
0	ARCH		0.00	0.00
SPATIAL CALCULATION				
EXPOSING BUILDING	FACE AREA		1495.45	S.F.
			138.93	S.M.
PORTION WALL AREA			1419.17	S.F.
LIMITING DISTANCE			131.85	S.M.
MAX. % OPENINGS			7	%
OPENINGS ALLOWED			99.34	S.F.
OPENINGS PROVIDED			76.67	S.F.
ADDITIONAL NOTES				
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER				

PART. LEFT SIDE ELEVATION 'B'
FOR OPT. 5 BEDROOM



LEFT SIDE ELEVATION 'B'

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
DATE: MAY 22, 2022
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THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.
QUALIFICATION INFORMATION
NAME: Allan Whiting
REGISTRATION INFORMATION: 23177
HUNT DESIGN ASSOCIATES INC. 19695

HUNT DESIGN ASSOCIATES INC.
www.huntdesign.ca

GOLDPARK HOMES - 221081
PINE VALLEY PH. 2, VAUGHAN, ON.
Down By: RAAM
Checked By: SB
Scale: 3/16"=1'-0"
T 905.737.5133 F 905.737.7326

LEFT SIDE ELEVATION 'B'
UNIT 4202 - THE ROSEDALE
REV.2022.05.16

File Number: 221081WS4202
Page Number: 13 of 19

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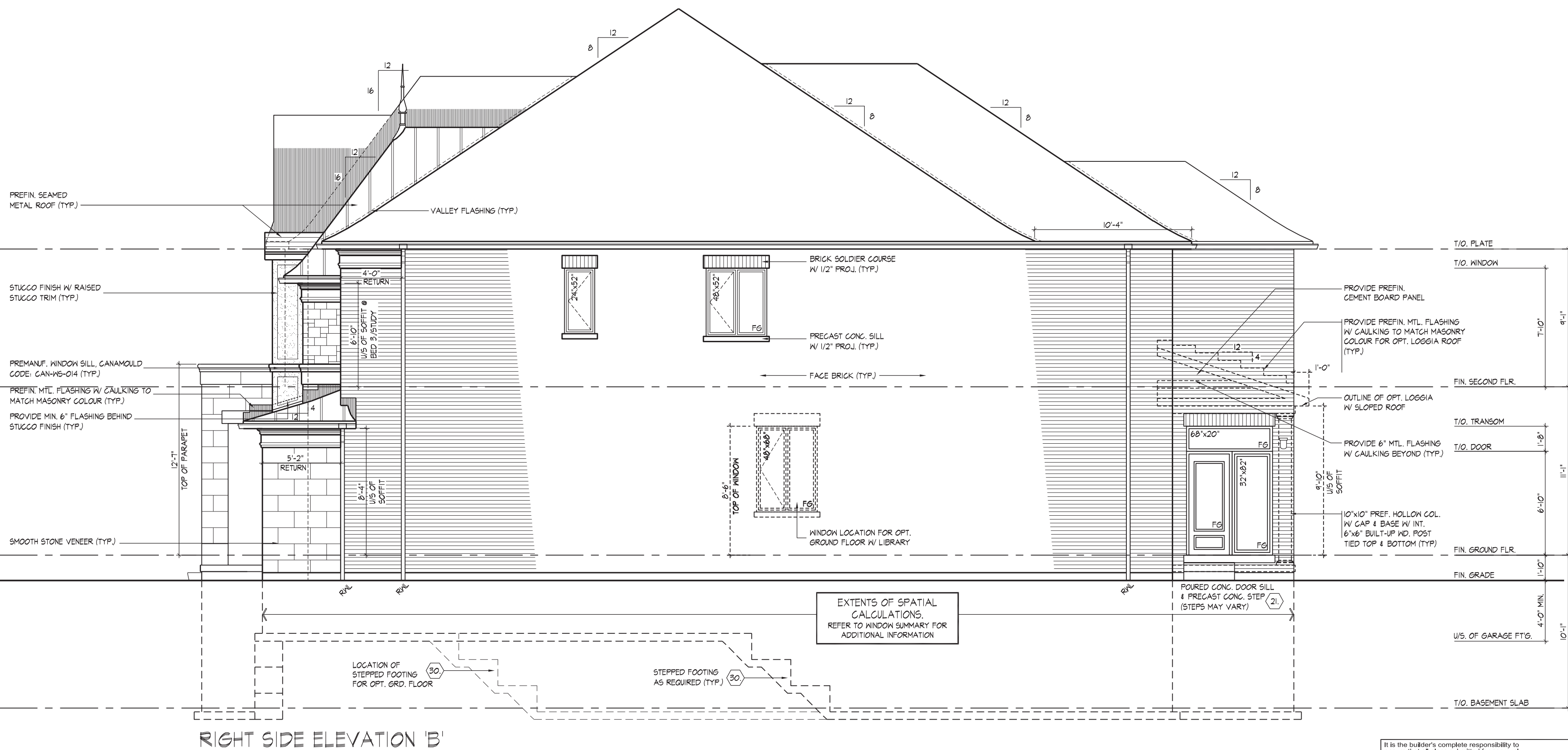
WTANG | WED MAY 1 19:22:09:44 AM | K:\PROJECTS\2021\021-081-GOLDWORKINGS\UNITS\4202\081WS4202-ROSEDALE.DWG

ROOF OVERHANGS ARE TO
BE 15" UNLESS NOTED
OTHERWISE

REFER TO FRONT ELEVATION
FOR TYPICAL NOTES & INFO.

WINDOW SUMMARY					
PER CIRC. TABLE 9.10.15.4					
RIGHT SIDE ELEVATION 'B'					
(& OPT. 2ND FLOOR)					
QUAN.	WIDTH	DEPTH	WINDOW/DOR	FRAME SIZE (S.)	
1	24	52		6.67	
1	48	52		14.87	
1	32	82		0.00	
1	68	20		7.11	
0	0	0		0.00	
0	0	0		0.00	
0	0	0		0.00	
0	0	0		0.00	
1	DOOR	7.60	7.60		
0	ARCH	0.00	0.00		
0	ARCH	0.00	0.00		
0	ARCH	0.00	0.00		
SPATIAL CALCULATION					
EXPOSING BUILDING	1435.5	S.F.			
FACE AREA	138.93	S.F.			
PORTION WALL AREA	120.72	S.F.			
PORTION WALL AREA	116.10	S.F.			
LISTING DISTANCE	7	12 m			
GLAZ. & JOINTS	7	%			
OPENINGS ALLOWED	87.48	S.F.			
OPENINGS PROVIDED	51.21	S.F.			
ADDITIONAL NOTES					
GLAZED AREA PERCENTAGE OF FRAME SIZE					
MINUS 2' AROUND ENTIRE PERIMETER					

WINDOW SUMMARY			
PER O.C.T. TABLE 3/10/154			
RIGHT SIDE ELEVATION 'R' W/ OPT. GROUND FLOOR & BT.			
2ND FLOOR			
QUAN.	WIDTH	DEPTH	WINDOW/DOOR FRAME SIZE (S.F.)
1	24	52	6.7
1	48	52	14.67
1	48	68	10.86
1	32	62	15.17
1	68	20	7.11
0	0	0	0.00
0	0	0	0.00
0	0	0	0.00
0	0	0	0.00
1	DOOR	7.80	7.60
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00
SPATIAL CALCULATION			
EXPOSING AREA		148.45	S.F.
FIXED BUILDING		136.80	S.M.
PORTING WALL AREA		126.87	S.F.
LIMITATION WALL AREA		116.10	S.M.
LIFTING AREA		7	S.F.
BOX 3 MINIMUMS		7	S.F.
OPENINGS ALLOWED		87.48	S.F.
OPENINGS PROVIDED		70.77	S.F.
ADDITIONAL NOTES			
GLAZED AREA CALCULATED BY FRAME SIZE			
MINUS 2'4" AROUND ENTIRE PERIMETER			



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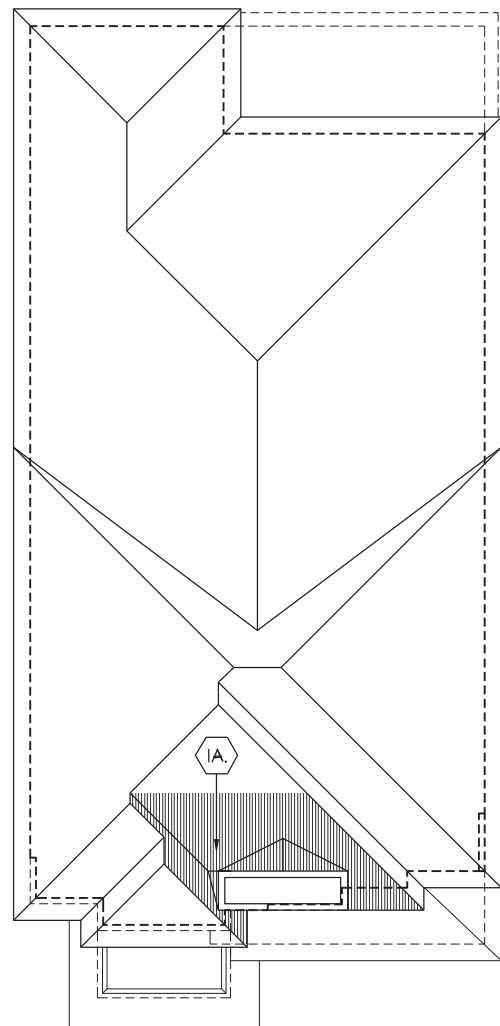
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: 
DATE: MAY 27, 2022

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Design Guidelines only and bears no further
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ROOF OVERHANGS ARE TO BE 15" UNLESS NOTED OTHERWISE



ROOF PLAN
ELEV. 'C'
N.T.S.

ROOF AREA TO HAVE ADDITIONAL
ICE & WATER SHIELD (TYP.)

VALLEY FLASHING (TYP.)

ALUM. CLAD WOOD TRIM (TYP.)

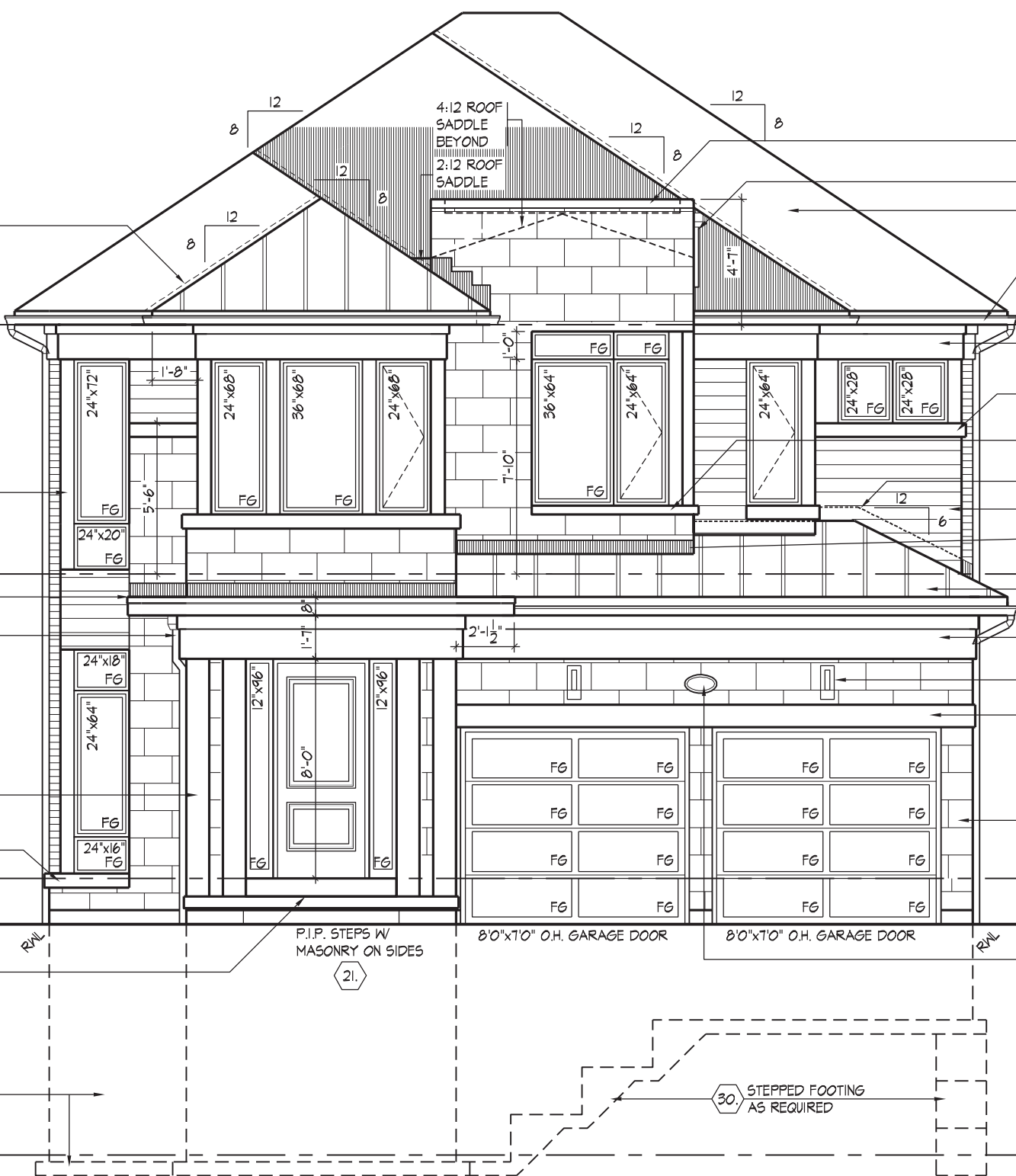
8" ALUM. CLAD WOOD
TRIM W/ DRIP EDGE (TYP.)
SCUPPER (TYP.)

10"x10" ALUM. CLAD WOOD COL. W/
INT. 6"x6" BUILT-UP WD. POST TIED
TOP & BOTTOM (TYP.)

6" CONT. PRECAST CONG. SILL
W/ 1/2" PROJ. (TYP.)

POURED CONG. PORCH SLAB AND
PRECAST CONG. DOOR SILL (TYP.)

POURED CONG. FOUNDATION
WALLS & FOOTINGS (TYP.)



FRONT ELEVATION 'C'

ALUM. CAP W/ DRIP EDGE ON
TOP OF PARAPET WALL
SCUPPER (TYP.)

ASPHALT SHINGLES (TYP.)

PREFIN. ALUM. GUTTER,
R.A.L., FASCIA BD. &
VENTED SOFFIT (TYP.)

4"x11" ALUM. CLAD WOOD
FRIEZE BRD. (TYP.)

CONT. 6" ALUM. CLAD
WOOD SILL (TYP.)

4" CONT. PRECAST CONG. SILL
W/ 1/2" PROJ. (TYP.)

6" MTL. FLASHING W/ CAULKING BEYOND (TYP.)

PREMANUF. LONGBOARD SIDING (TYP.)

PREFIN. MTL. FLASHING W/ CAULKING TO
MATCH MASONRY COLOUR (TYP.)

PREFIN. SEALED METAL ROOF (TYP.)

6"x13" ALUM. CLAD WOOD
FRIEZE BRD. (TYP.)
COACH LAMP (TYP.)

10" CONT. PRECAST
CONG. HEADER W/ 1/2"
PROJ. (TYP.)

SMOOTH STONE VENEER (TYP.)

DECORATIVE ADDRESS
PLAQUE LOCATION

T/O. PLATE

T/O. WINDOW

FIN. SECOND FLR.

T/O. TRANSOM

T/O. WINDOW

FIN. GROUND FLR.

FIN. GRADE

FIN. GRADE

FIN. GRADE

FIN. GRADE

FIN. GRADE

FIN. GRADE

FIN. GRADE

FIN. GRADE

FIN. GRADE

FIN. GRADE

FIN. GRADE

FIN. GRADE

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FIN. GRADE

FIN. GRADE

FIN. GRADE

FIN. GRADE

FIN. GRADE

FIN. GRADE

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: _____

DATE: MAY 22, 2022

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THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION

NAME: Allan Whiting

REGISTRATION INFORMATION: BCIN 23177

HUNT DESIGN ASSOCIATES INC. 19695

HUNT DESIGN ASSOCIATES INC.

8966 Woodbine Ave, Markham, ON L3R 0J7

905.737.5133 F 905.737.7326

GOLDPARK HOMES - 221081
PINE VALLEY PH. 2, VAUGHAN, ON.

Scale: 3/16"=1'-0"

File Number: 221081WS4202

Page Number: 15 of 19

FRONT ELEVATION 'C'
UNIT 4202 - THE ROSEDALE
REV.2022.05.16

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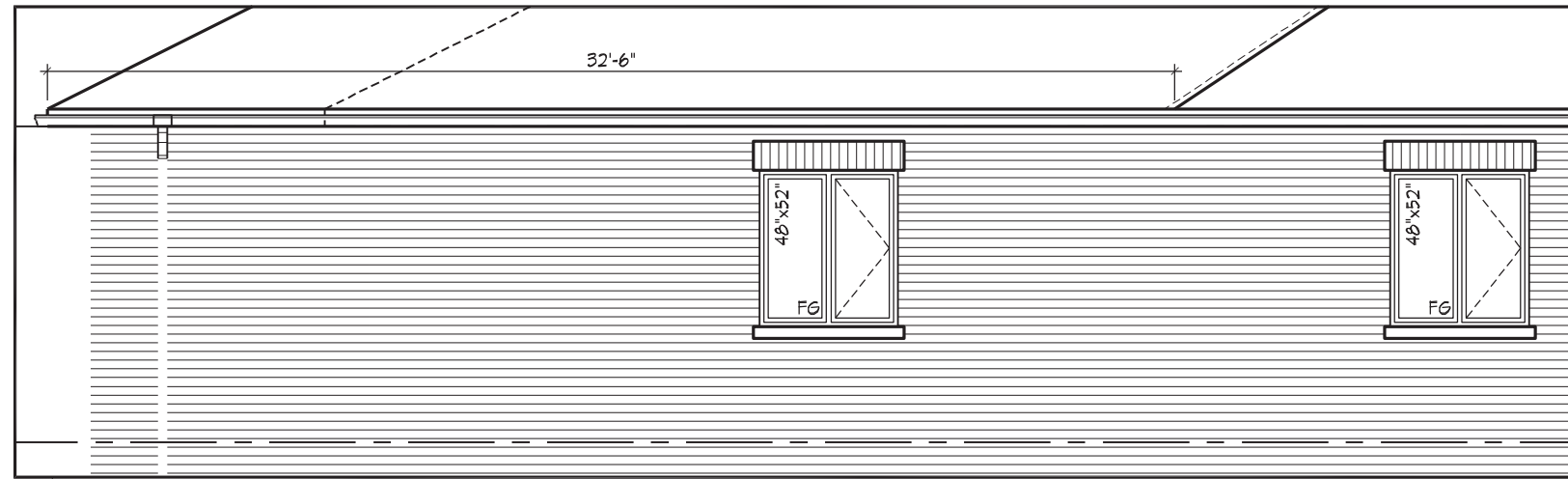
ROOF OVERHANGS ARE TO
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FOR TYPICAL NOTES & INFO.

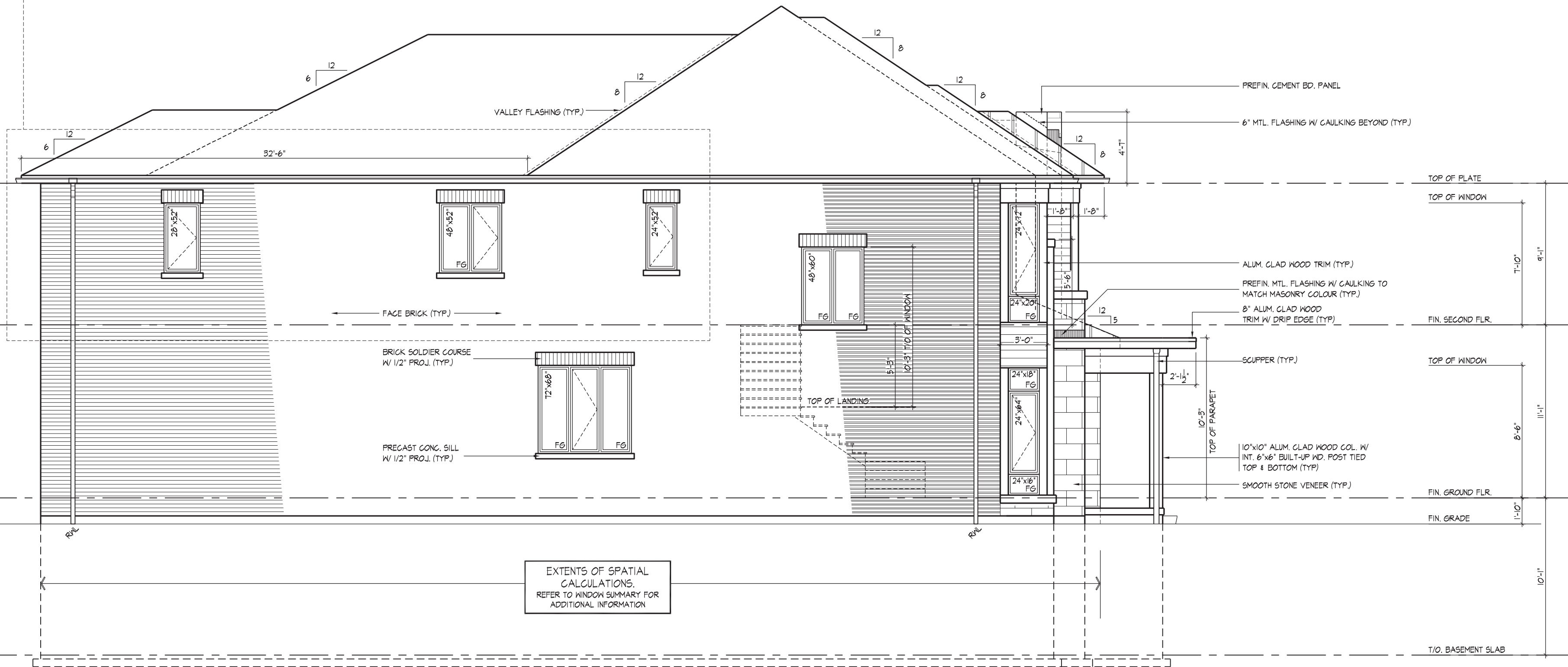
WINDOW SUMMARY				
PER O.B.C. TABLE 3.10.15.4				
LEFT SIDE ELEVATION 'C'				
(& OPT. GROUND FLOOR)				
QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	
1	28	52	14.60	
1	48	52	8.87	
1	72	68	30.22	
1	48	60	9.11	
1	24	72	17.44	
1	24	20	2.22	
1	24	64	8.38	
1	24	18	1.94	
1	24	16	1.67	
0	ARCH	0.00	0.00	
0	ARCH	0.00	0.00	
0	ARCH	0.00	0.00	
0	ARCH	0.00	0.00	
SPATIAL CALCULATION				
EXPOSING BUILDING	1471.20	S.F.		
FACE AREA	136.68	S.F.		
PORTION WALL AREA	1471.20	S.F.		
PORTION WALL AREA	136.68	S.F.		
LIMITING DISTANCE		7	1.2 m	
MAX. PERMISSIBLE		7	%	
OPENINGS ALLOWED	102.98	S.F.		
OPENINGS PROVIDED	1471.20	S.F.		
ADDITIONAL NOTES				
GLAZED AREA EXCEEDS PERMITTED BY FRAME SIZE				
MINUS 2' AROUND ENTIRE PERIMETER				

WINDOW SUMMARY				
PER O.B.C. TABLE 9.10.15.4				
LEFT SIDE ELEV. 'C' (OPT. 5 BE				
& OPT. GROUND FLOOR				
QUAN.	WIDTH	DEPTH	WINDOW / FRAME SIZE (S.F.)	
0	0	0	0	0.00
2	48	52	0.00	29.33
0	0	0	0.00	0.00
1	42	68	0.00	30.22
1	48	60	0.00	17.00
1	24	72	0.00	9.44
1	24	20	0.00	2.22
1	24	64	0.00	8.33
1	24	18	0.00	1.94
1	24	16	0.00	1.67
0	ARCH	0.00	0.00	0.00
0	ARCH	0.00	0.00	0.00
0	ARCH	0.00	0.00	0.00
0	ARCH	0.00	0.00	0.00

SPATIAL CALCULATION		
EXPOSING BUILDING	1471.20	S.F.
FACE AREA	136.68	S.M.
PORTRION WALL AREA	1471.20	S.F.
	136.68	S.M.
LIMITING DISTANCE		
MAX. SPACING	7	1.2 m
OPENINGS ALLOWED	102.58	%
OPENINGS PROVIDED	100.28	S.F.
ADDITIONAL NOTES		
GLAZED AREA CALCULATED BY FRAME SIZE		
MINUS 2' AROUND ENTIRE PERIMETER		



PART. LEFT SIDE ELEVATION 'C'
FOR OPT. 5 BEDROOM



LEFT SIDE ELEVATION 'C'

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: 
DATE: MAY 27, 2022

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QUALIFICATION INFORMATION	
Allan Whiting	23
NAME	SIGNATURE
REGISTRATION INFORMATION	
HUNT DESIGN ASSOCIATES INC.	19

HUNT 
DESIGN ASSOCIATES INC.
www.huntdesign.com

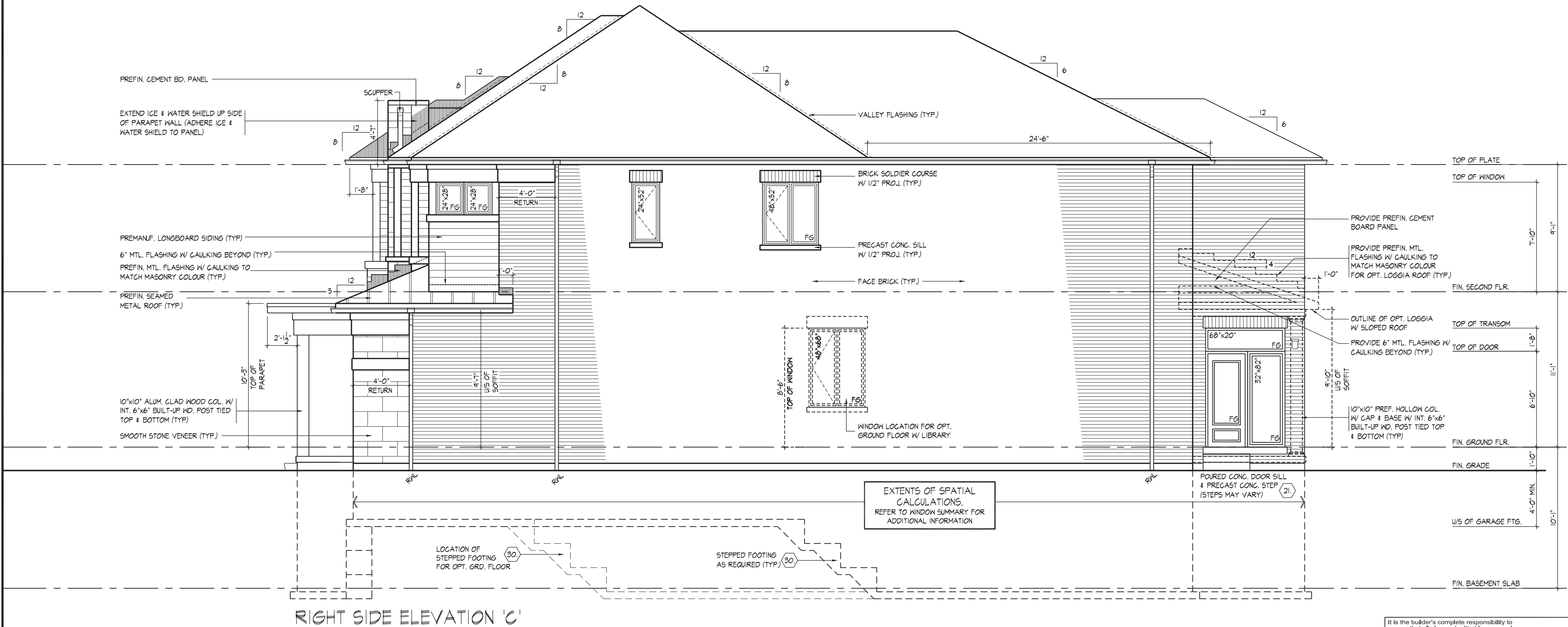
GOLDPARK HOMES - 221081
PINE VALLEY PH. 2, VAUGHAN, ON.

LEFT SIDE ELEVATION 'C'
UNIT 4202 - THE ROSEDALE
REV.2022.05.16

ROOF OVERHANGS ARE TO BE 15" UNLESS NOTED OTHERWISE
REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFO.

WINDOW SUMMARY				
PER O.B.C. TABLE 8.10.15.4				
RIGHT SIDE ELEVATION 'C' (& OPT. 2ND FLOOR)				
QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	
1	24	52	6.67	
1	48	52	14.67	
1	32	82	15.17	
1	68	20	7.11	
2	24	28	6.67	
0	0	0	0.00	
0	0	0	0.00	
0	0	0	0.00	
0	0	0	0.00	
0	0	0	0.00	
1	DOOR	7.60	7.60	
0	ARCH	0.00	0.00	
0	ARCH	0.00	0.00	
0	ARCH	0.00	0.00	
SPATIAL CALCULATION				
EXPOSING BUILDING	1471.20	S.F.		
FACE AREA	136.68	S.M.		
PORTION WALL AREA	1252.67	S.F.		
	116.38	S.M.		
LIMITING DISTANCE	12 m			
MAX. % OPENINGS	7	%		
OPENINGS ALLOWED	97.89	S.F.		
OPENINGS PROVIDED	97.89	S.F.		
ADDITIONAL NOTES				
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER				

WINDOW SUMMARY				
PER O.B.C. TABLE 8.10.15.4				
RIGHT SIDE ELEVATION 'B' W/ OPT. GROUND FLOOR & OPT. 2ND FLOOR				
QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	
1	24	52	6.67	
1	48	52	14.67	
1	48	68	19.56	
1	32	82	15.17	
1	68	20	7.11	
2	24	28	6.67	
0	0	0	0.00	
0	0	0	0.00	
0	0	0	0.00	
1	DOOR	7.60	7.60	
0	ARCH	0.00	0.00	
0	ARCH	0.00	0.00	
0	ARCH	0.00	0.00	
SPATIAL CALCULATION				
EXPOSING BUILDING	1471.20	S.F.		
FACE AREA	136.68	S.M.		
PORTION WALL AREA	1252.67	S.F.		
	116.38	S.M.		
LIMITING DISTANCE	12 m			
MAX. % OPENINGS	7	%		
OPENINGS ALLOWED	87.89	S.F.		
OPENINGS PROVIDED	77.43	S.F.		
ADDITIONAL NOTES				
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER				



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot. This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY:
DATE: MAY 22, 2022
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.
QUALIFICATION INFORMATION:
NAME: Allan Whiting
REGISTRATION INFORMATION: BCIN 23177
HUNT DESIGN ASSOCIATES INC. 19695

HUNT DESIGN ASSOCIATES INC.
www.huntdesign.ca
8966 Woodbine Ave, Markham, ON L3R 0J7
T 905.737.5133 F 905.737.7326

GOLDPARK HOMES - 221081
PINE VALLEY PH. 2, VAUGHAN, ON.
RIGHT SIDE ELEVATION 'C'
UNIT 4202 - THE ROSEDALE
REV.2022.05.16
17 of 19

A circular professional engineer seal for the Province of Ontario. The outer ring contains the text "LICENSED PROFESSIONAL ENGINEER" at the top and "PROVINCE OF ONTARIO" at the bottom. The center of the seal features a stylized signature, the name "A. KONG", the license number "100184942", and the expiration date "May 20, 2022".

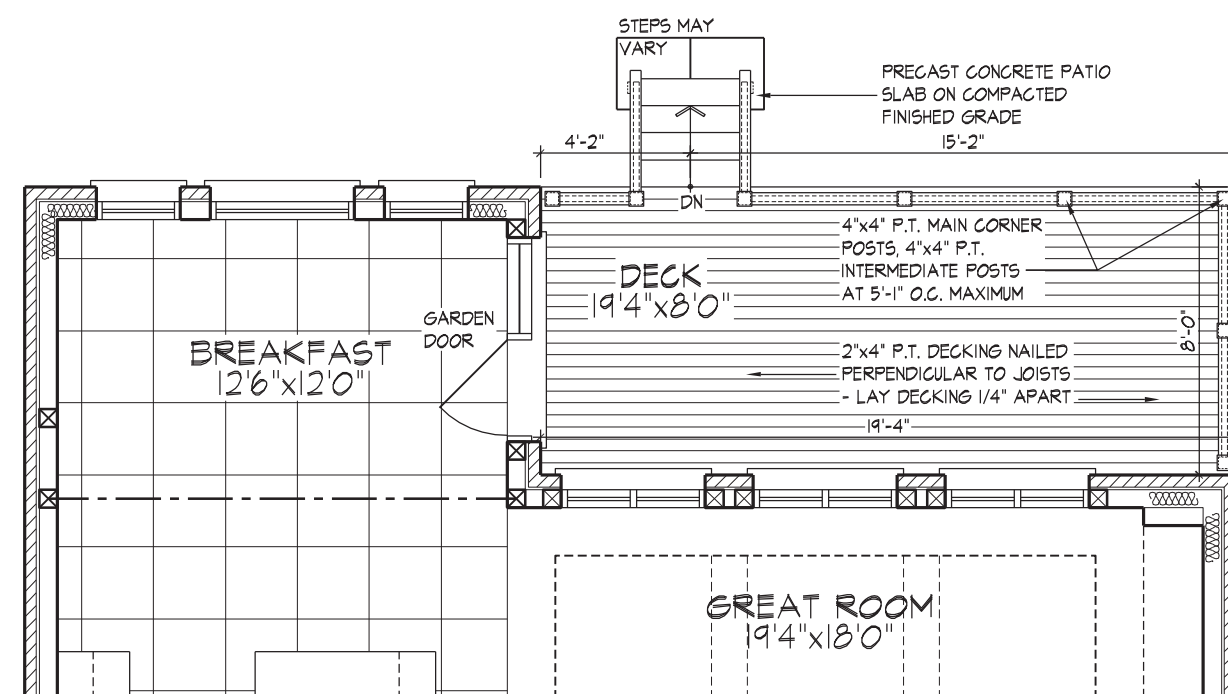
wsp |

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

HUNT 
DESIGN ASSOCIATES INC.
www.hunt-design.com

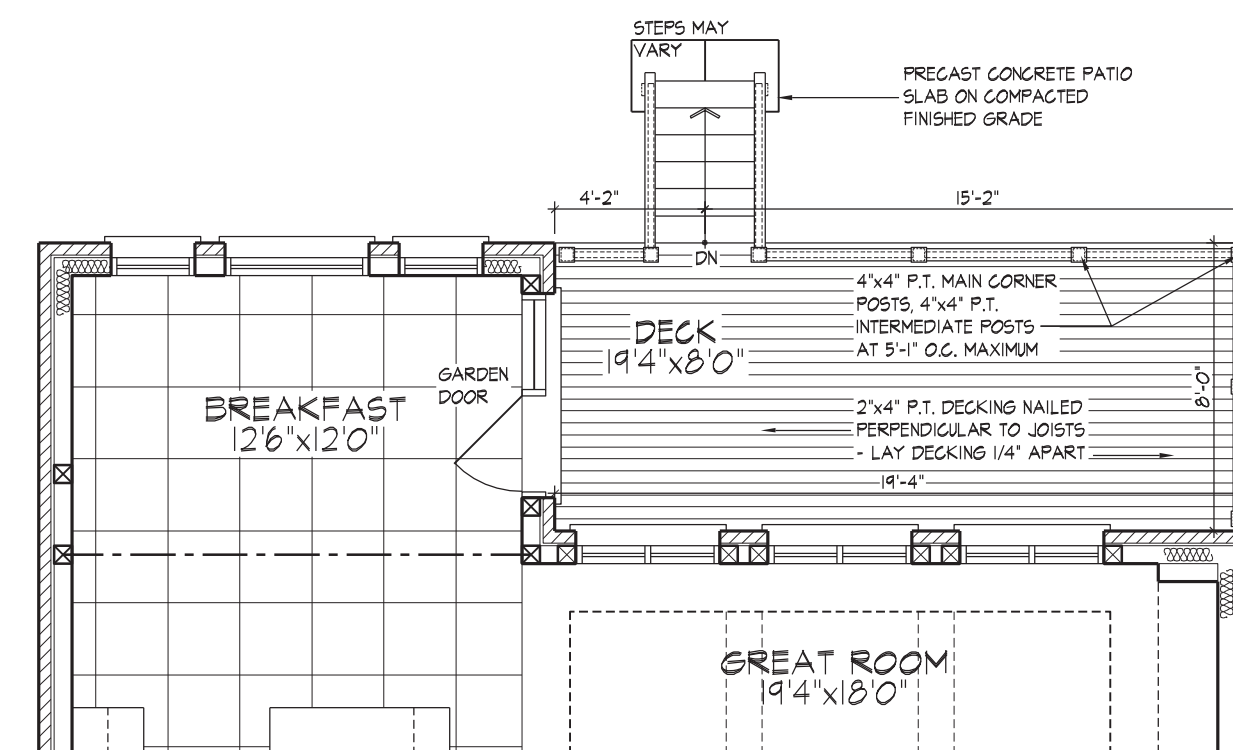
CROSS SECTION A-A
UNIT 4202 - THE ROSEDALE
REV.2022.05.16

Drawn By	Checked By	Scale	File Number	Page Number
RAAM	SB	3/16"=1'-0"	221081WS4202	18 of 19
8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326				



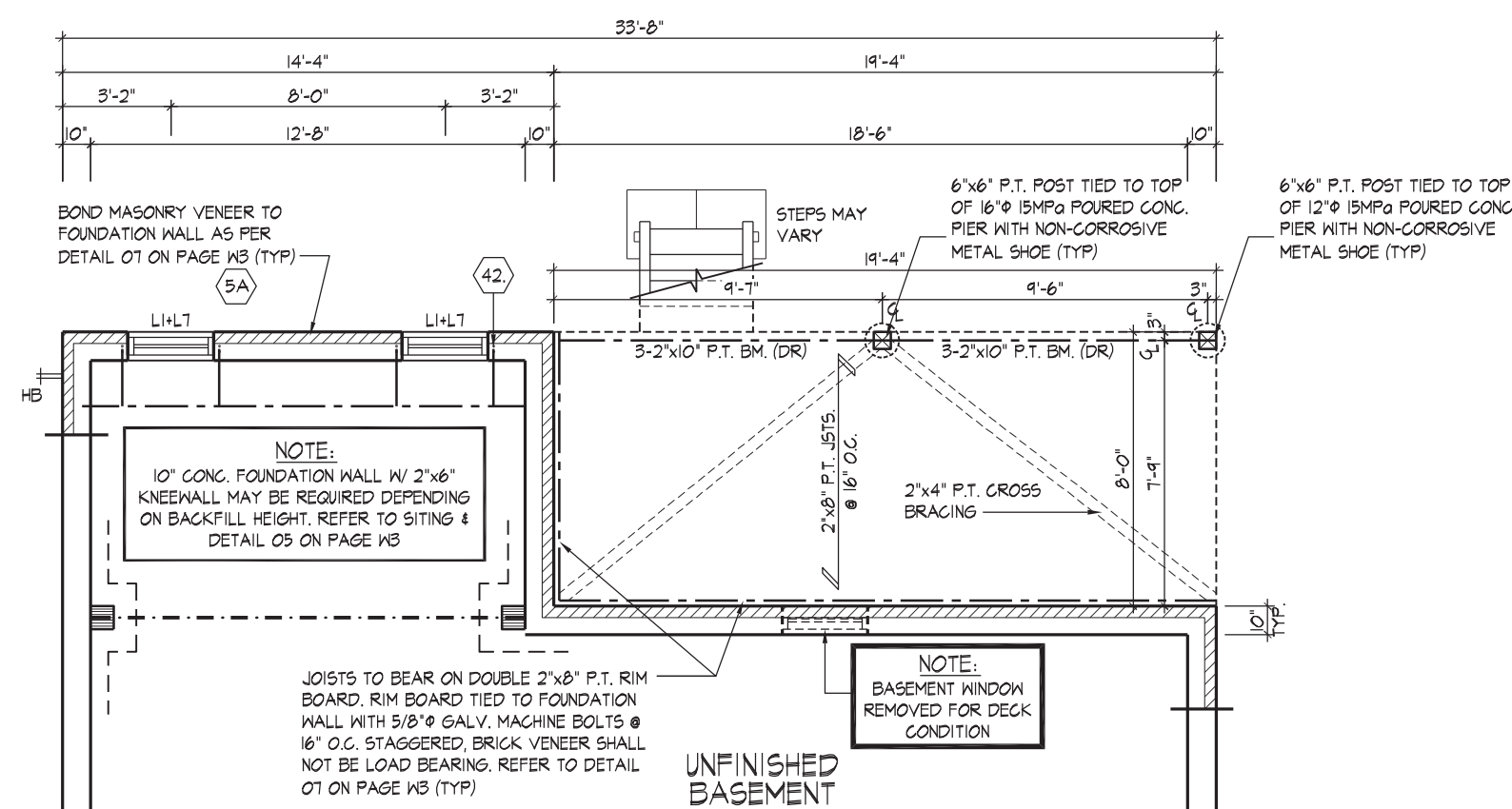
PART. GROUND FLOOR PLAN ELEV. 'A', 'B' & 'C' - W.O.D. COND.

NOTE:
REFER TO STANDARD FLOOR
PLANS FOR COMPLETE DIMENSIONS
& STRUCTURAL INFORMATION



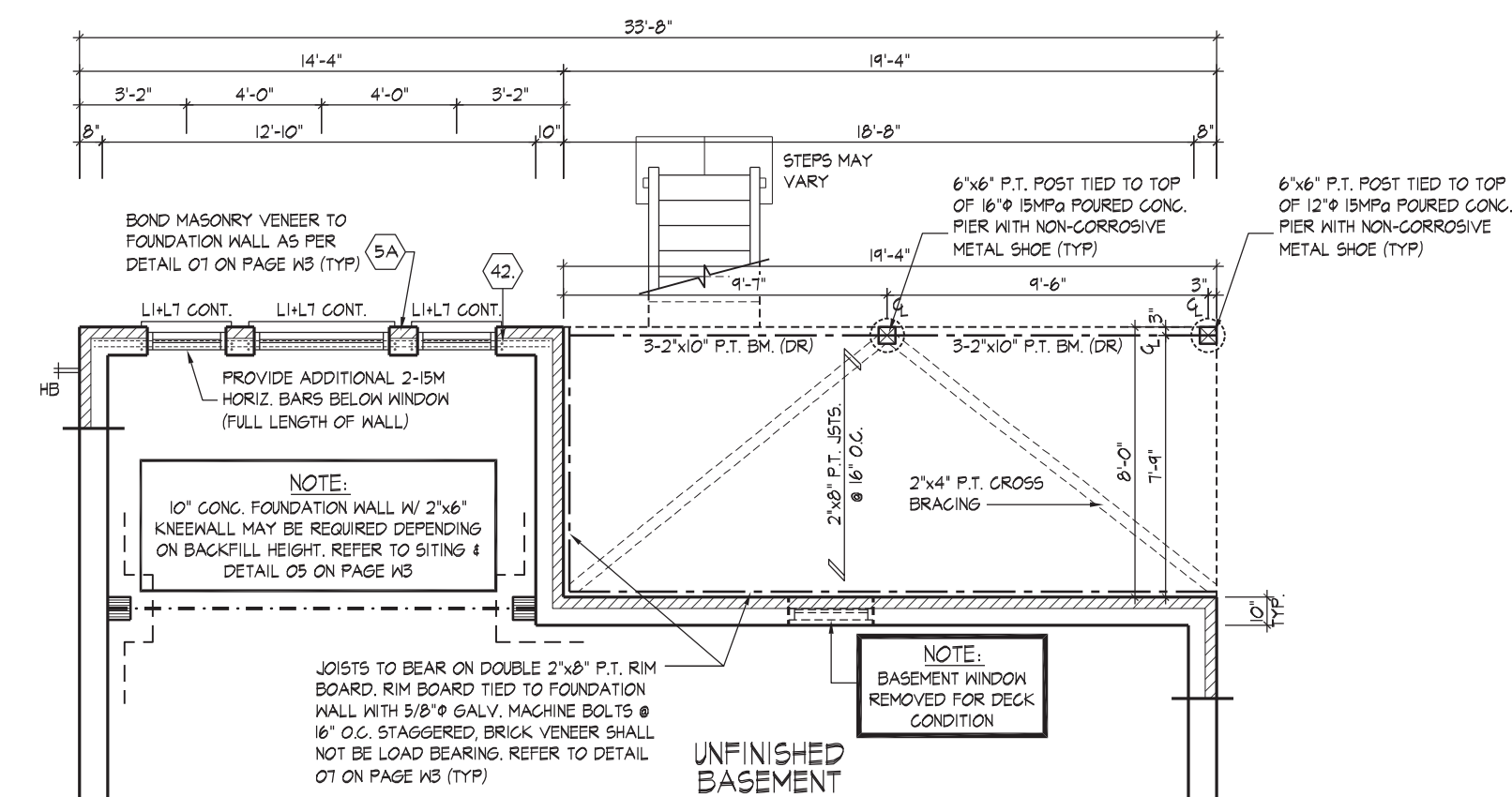
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NOTE:
REFER TO STANDARD FLOOR
PLANS FOR COMPLETE DIMENSIONS
& STRUCTURAL INFORMATION



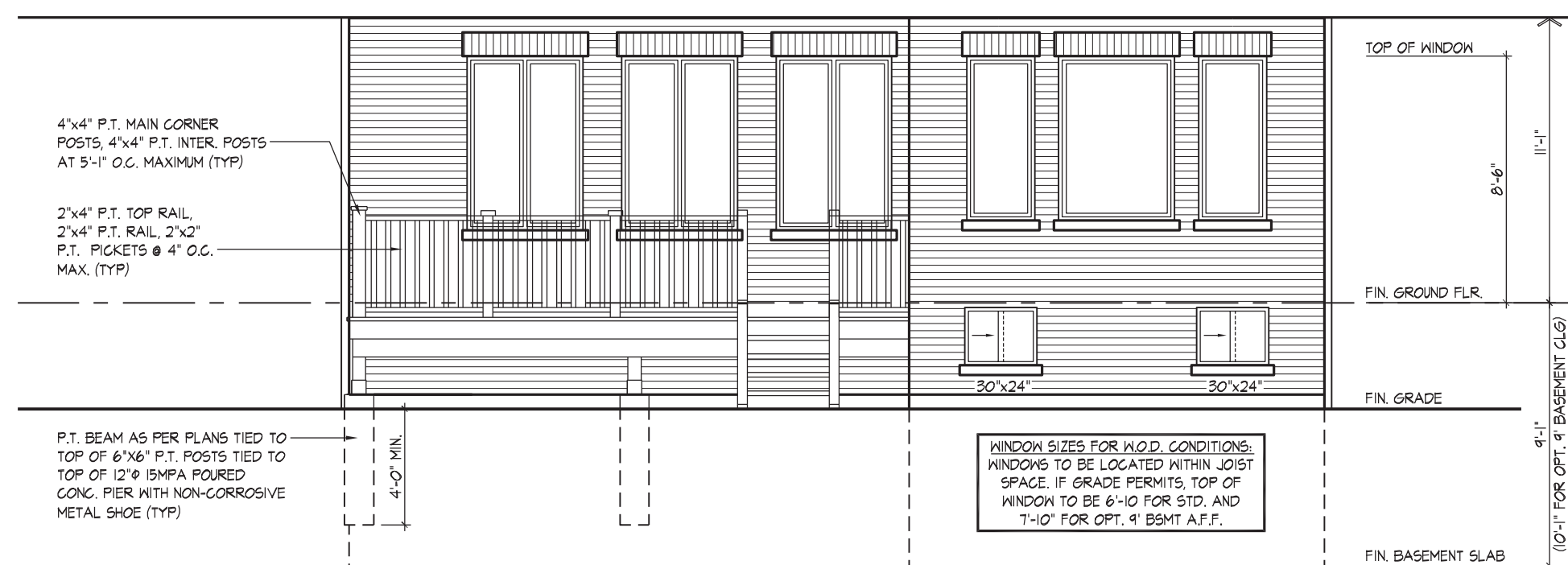
PART, BASEMENT PLAN ELEV. 'A', 'B' & 'C' - W.O.D. COND

NOTE:
REFER TO STANDARD FLOOR
PLANS FOR COMPLETE DIMENSIONS
& STRUCTURAL INFORMATION



PART, BASEMENT PLAN ELEV. 'A', 'B' & 'C' - L.O.D. COND.

NOTE:
REFER TO STANDARD FLOOR
PLANS FOR COMPLETE DIMENSIONS
& STRUCTURAL INFORMATION



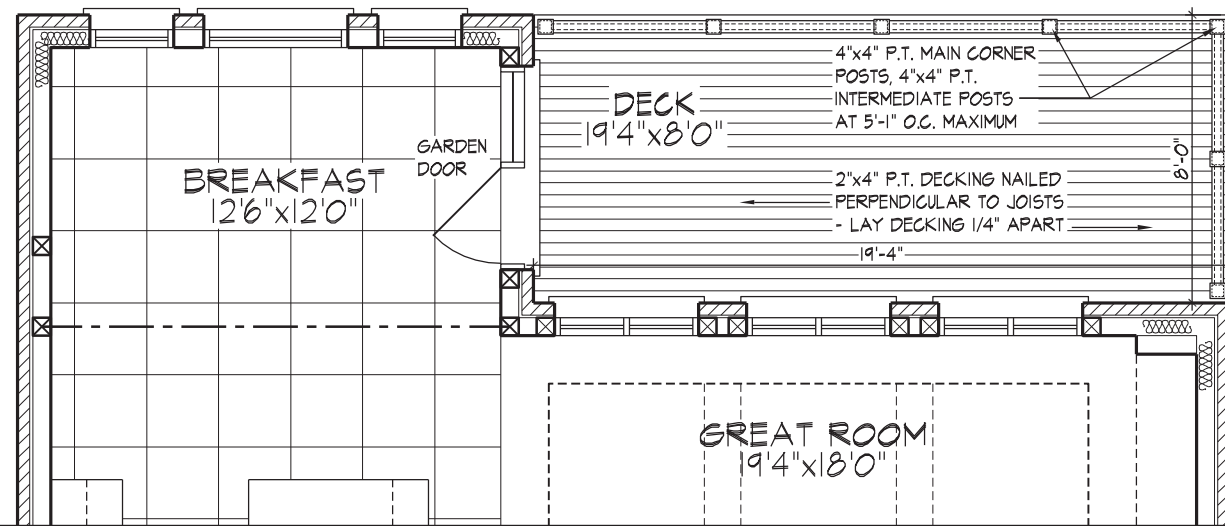
PART, REAR ELEVATION 'A', 'B' & 'C' - W.O.D. CONDITION

REFER TO FRONT ELEVATION & STANDARD
REAR FOR TYPICAL NOTES & INFO.



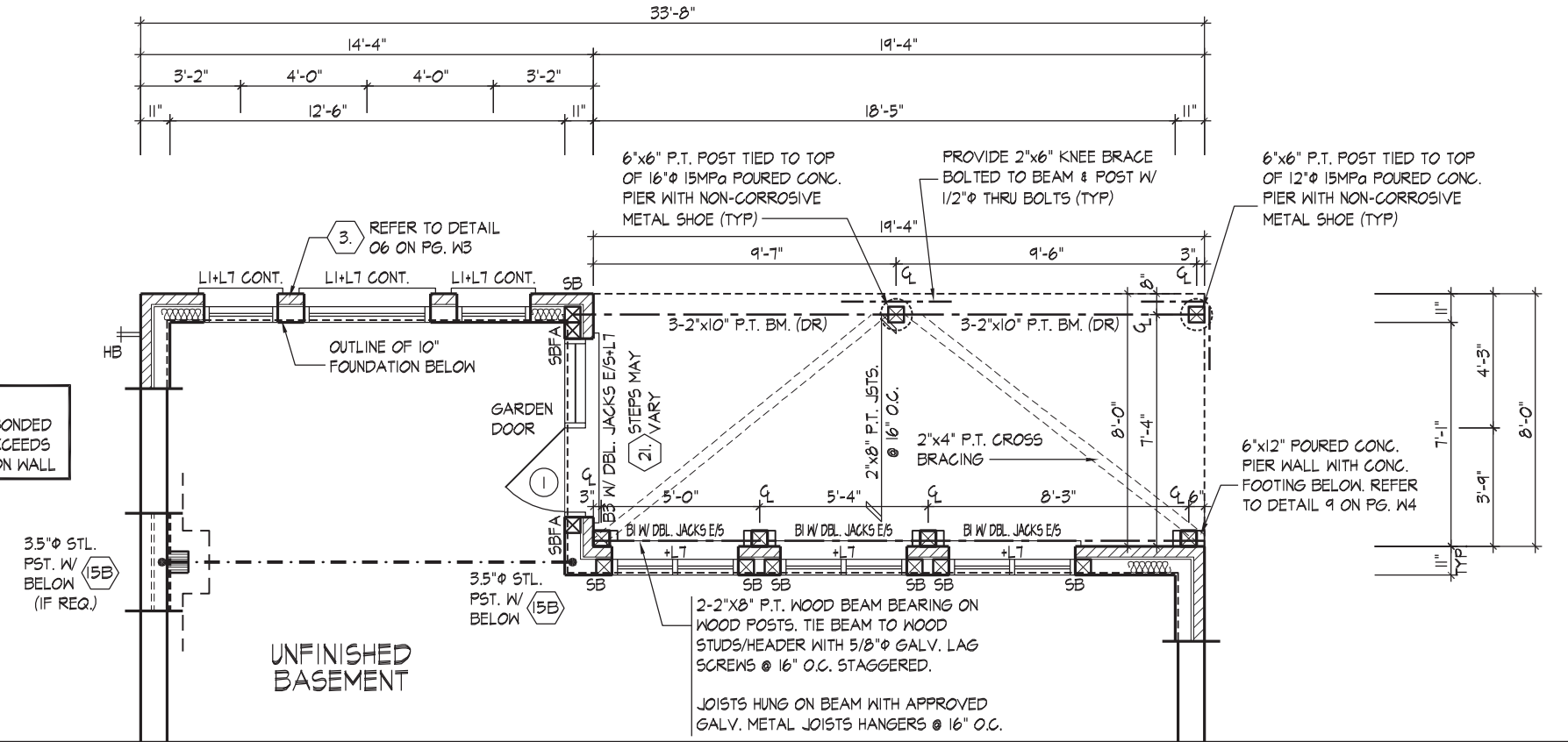
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REFER TO FRONT ELEVATION & STANDARD
REAR FOR TYPICAL NOTES & INFO.



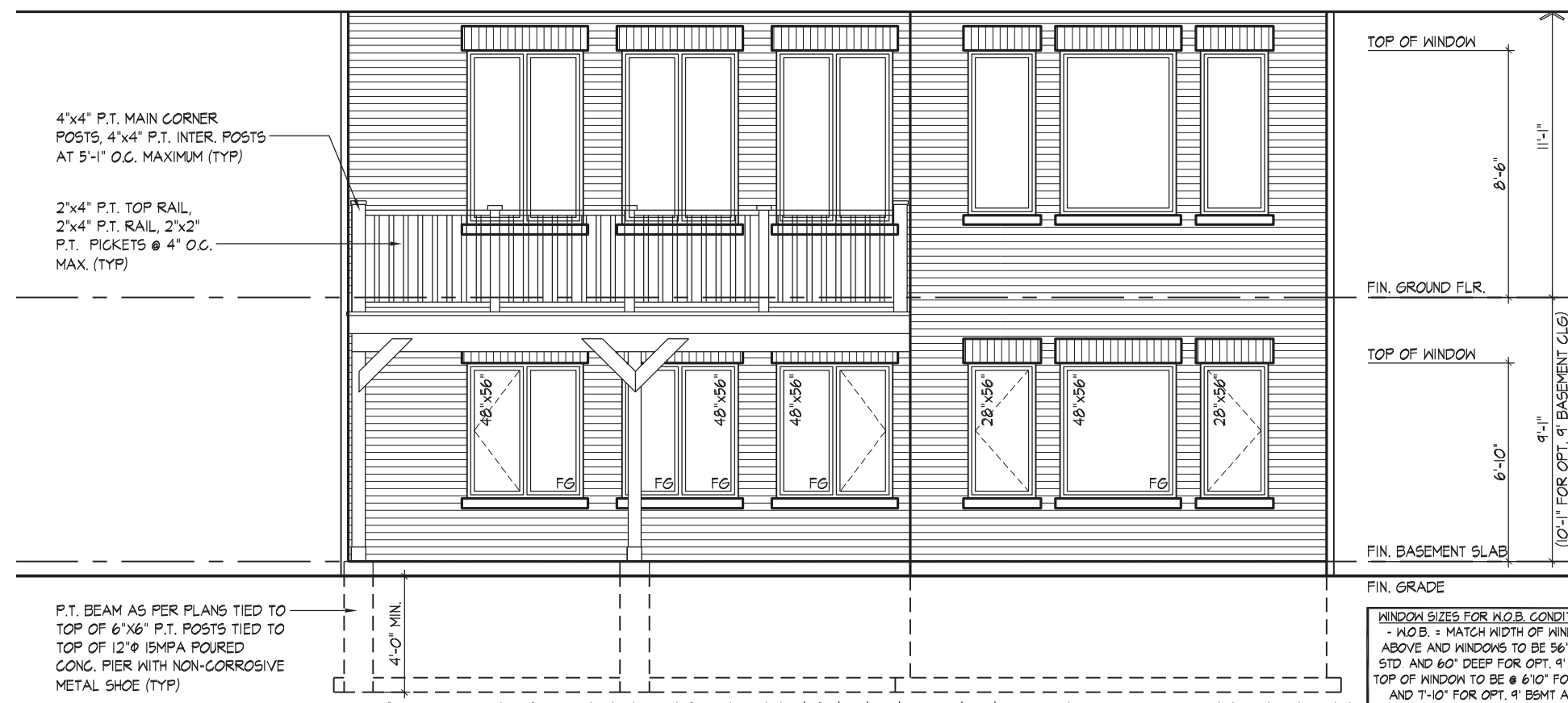
PART. GROUND FLOOR PLAN ELEV. 'A', 'B' & 'C' - W.O.B. COND.

NOTE:
REFER TO STANDARD FLOOR
PLANS FOR COMPLETE DIMENSIONS
& STRUCTURAL INFORMATION



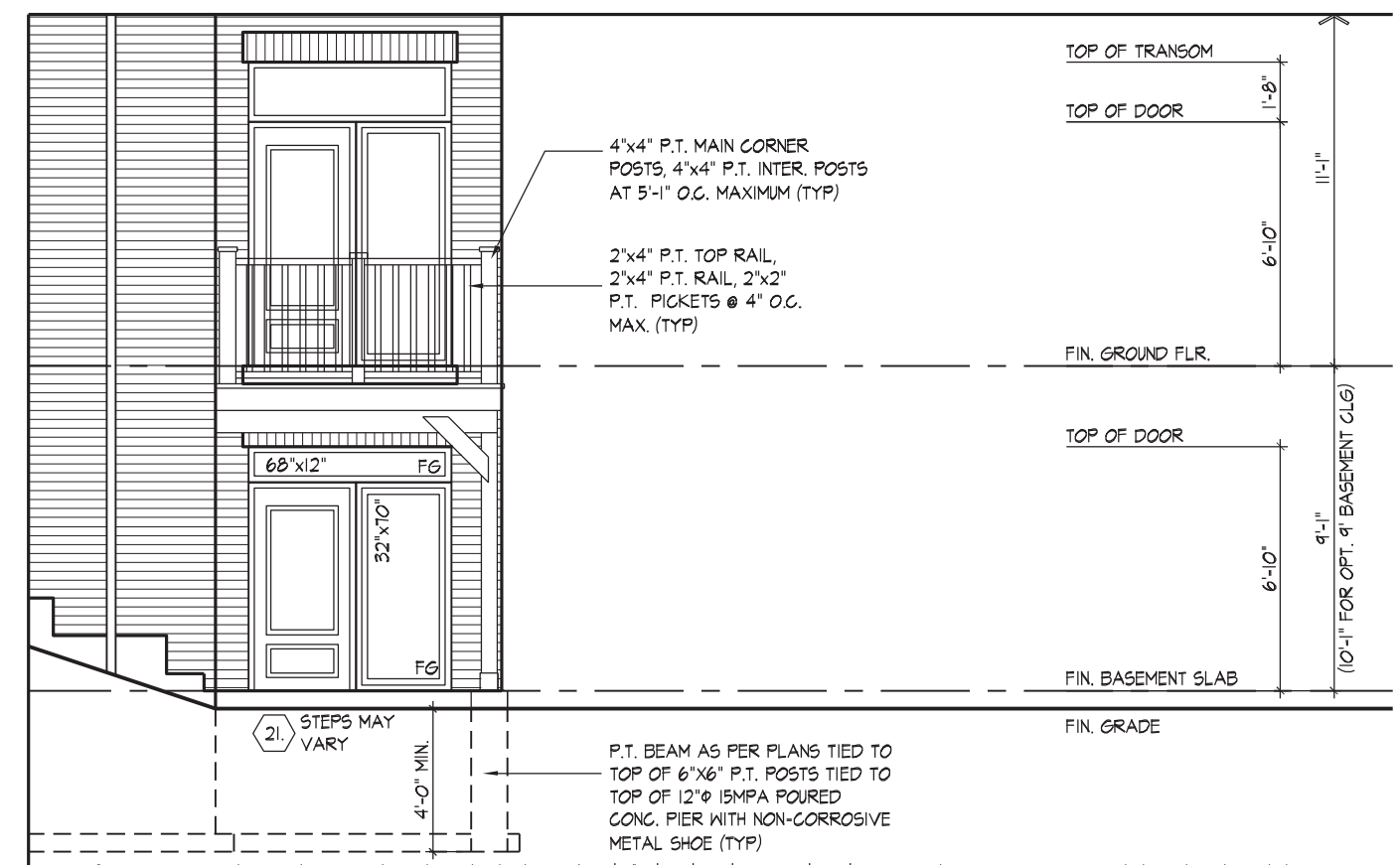
PART. BASEMENT PLAN ELEV. 'A', 'B' & 'C' - W.O.B. COND.

NOTE:
REFER TO STANDARD FLOOR
PLANS FOR COMPLETE DIMENSIONS
& STRUCTURAL INFORMATION



PART. REAR ELEVATION 'A', 'B' & 'C' - W.O.B. CONDITION

REFER TO FRONT ELEVATION & STANDARD
REAR FOR TYPICAL NOTES & INFO.



PART. RIGHT SIDE ELEV. 'A', 'B' & 'C' - W.O.B. CONDITION

REFER TO FRONT ELEVATION & STANDARD
REAR FOR TYPICAL NOTES & INFO.



100 COMMERCE VALLEY DR. W.
THORNHILL, ONTARIO CANADA L3T 0A1
TEL: 1-905-882-4211 FAX: 1-905-882-0059 WWW.WSPGROUP.CA

FOR STRUCTURAL ONLY. EXCLUDING
ENGINEERED ROOF TRUSS, FLOOR
JOIST, AND FLOOR LVL BEAM DESIGN.

DECK CONDITIONS
UNIT 4202 - THE ROSEDALE
REV.2022.05.16

GOLDPARK HOMES - 221081
PINE VALLEY PH. 2, VAUGHAN, ON.

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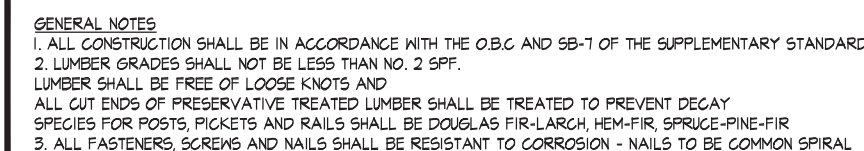
Drawn By: HDAL SB 3/16"=1'-0" File Number: 221081WS4202 Page Number: W2 of W4
Checked By: Scale: T 905.737.5133 F 905.737.7326

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: MAY 17, 2022
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.
QUALIFICATION INFORMATION: [Signature] 23177
NAME: ALAN WHITING
REGISTRATION INFORMATION: BCIN
HUNT DESIGN ASSOCIATES INC. 19695

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10 MASONRY VENEER, TYPICAL DECK FRAMING PLAN

