



SB-12 ENERGY EFFICIENCY DESIGN MATRIX

PRESCRIPTIVE COMPLIANCE		SB-12 (SECTION 3.1.1.i) TABLE 3.1.1.2.A	
PACKAGE A1		SPACE HEATING FUEL	
		☐ GAS	☐ OIL
		☐ ELECTRIC	☐ PROPANE
		☐ EARTH	☐ SOLID FUEL

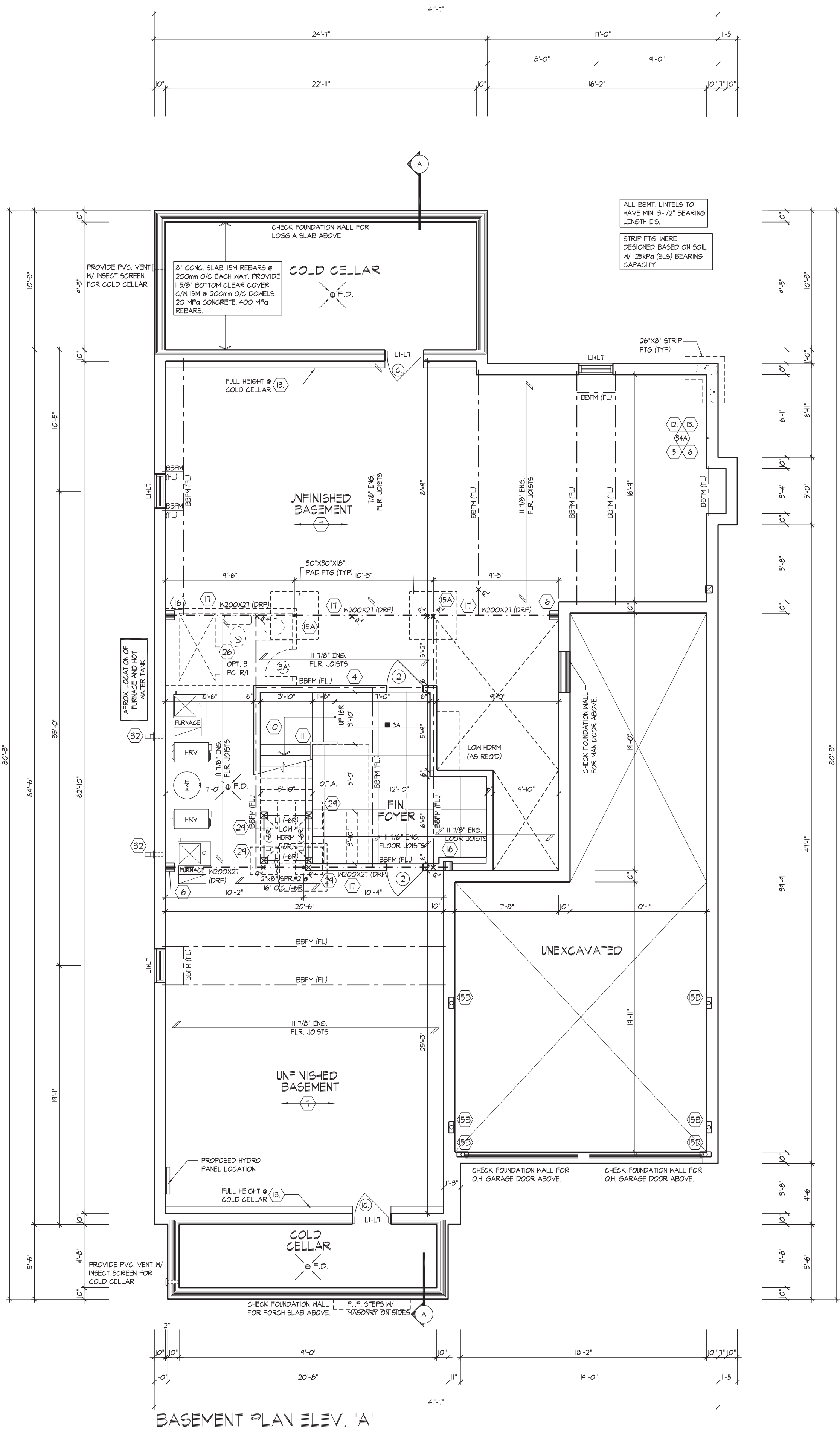
BUILDING COMPONENT	REQUIRED	PROPOSED
INSULATION RSI (R) VALUE		
CEILING W/ ATTIC SPACE	10.56 (R60)	10.56 (R60)
CEILING W/O ATTIC SPACE	5.46 (R31)	5.46 (R31)
EXPOSED FLOOR	5.46 (R31)	5.46 (R31)
WALLS ABOVE GRADE	3.87 (R22)	3.87 (R22)
BASEMENT WALLS	3.52 ci (R20 ci) *	3.52 ci (R20 ci) *
* PROPOSED VALUES MAY BE SUBSTITUTED W/ 2.11+1.76d (R12+R10d)		
BELOW GRADE SLAB ENTIRE SURFACE > 600mm BELOW GRADE	-	-
EDGE OF BELOW GRADE SLAB ≤ 600mm BELOW GRADE	1.76 (R10)	1.76 (R10)
HEATED SLAB OR SLAB ≤ 600mm BELOW GRADE	1.76 (R10)	1.76 (R10)
WINDOWS & DOORS		
WINDOWS/SLIDING GLASS DOORS (MAX U-VALUE)	1.6	1.6
SKYLIGHTS (MAX. U-VALUE)	2.8	2.8
APPLIANCE EFFICIENCY		
SPACE HEATING EQUIP. (AFUE%)	96%	96%
HRV EFFICIENCY (%)	75%	75%
DHW HEATER (EF)	0.8	0.8

<u>AREA CALCULATIONS</u>		<u>EL. 'A'</u>
		STD. PLAN
GROUND FLOOR AREA	1958 sq. ft.	
	(181.90 sq. m.)	
SECOND FLOOR AREA	2544 sq. ft.	
	(236.35 sq. m.)	
SUBTOTAL	4502 sq. ft.	
	(418.25 sq. m.)	
DEDUCT ALL OPEN AREAS	277 sq. ft.	
	(25.73 sq. m.)	
TOTAL NET AREA	4225 sq. ft.	
	(392.52 sq. m.)	
FINISHED BASEMENT AREA	146 sq. ft.	
	(13.56 sq. m.)	
COVERAGE	2586 sq. ft.	
W/OUT PORCH	(240.25 sq. m.)	
COVERAGE	2700 sq. ft.	
W/ PORCH	(250.84 sq. m.)	
COVERAGE	2952 sq. ft.	
W/ OPT. LOGGIA	(274.25 sq. m.)	
<u>WINDOW / WALL AREA</u>	<u>EL. 'A'</u>	
<u>CALCULATIONS</u>		STD. PLAN
	4711.67 sq. ft.	
GROSS WALL AREA	(437.73 sq. m.)	
GROSS WINDOW AREA	598.39 sq. ft.	
(INCL. GLASS DOORS & SKYLIGHTS)	(55.59 sq. m.)	
TOTAL WINDOW %	12.70 %	

- 1 - TITLE PAGE
- 2 - BASEMENT PLAN EL 'A'
- 3 - GROUND FLOOR PLAN EL 'A'
- 4 - SECOND FLOOR PLAN EL. 'A'
- 5 - FRONT ELEVATION 'A'
- 6 - LEFT SIDE ELEVATION 'A'
- 7 - RIGHT SIDE ELEVATION 'A'
- 8 - REAR ELEVATION 'A'
- 9 - CROSS SECTION 'A-A'
- 10 - CONSTRUCTION NOTES

7. -	-	-
6. -	-	-
5. -	-	-
4. -	-	-
3. -	-	-
2. REVISED PER STRUCT. ENG. COMMENTS & ISSUED FOR PERMIT	2022.10.11	AW
1. ISSUED FOR STRUCT. ENG. REVIEW	2022.09.14	AW
REVISIONS	DATE (YYYYMMDD)	BY

PARTIAL BASEMENT PLAN
ELEV. 'A', 'B' & 'C'
(OPT. SUNKEN MUD RM)



BASEMENT PLAN ELEV. 'A'

REFER TO FLOOR JOIST
MANUFACTURER'S DRAWINGS FOR
LAYOUT, SPACING, BLOCKING &
STRAPPING REQUIREMENTS,
INSTALLATION DETAILS AND HANGER
SIZES, & SUBFLOOR THICKNESS

PROVIDE SOLID WOOD BLOCKING @
24" O.C. FOR FIRST JOIST SPAN
WHEN PARALLEL W/ EXTERIOR WALL

SPACE ALL FLOOR JOISTS @
12" O.C. UNDER ALL CERAMIC
TILE AREAS.

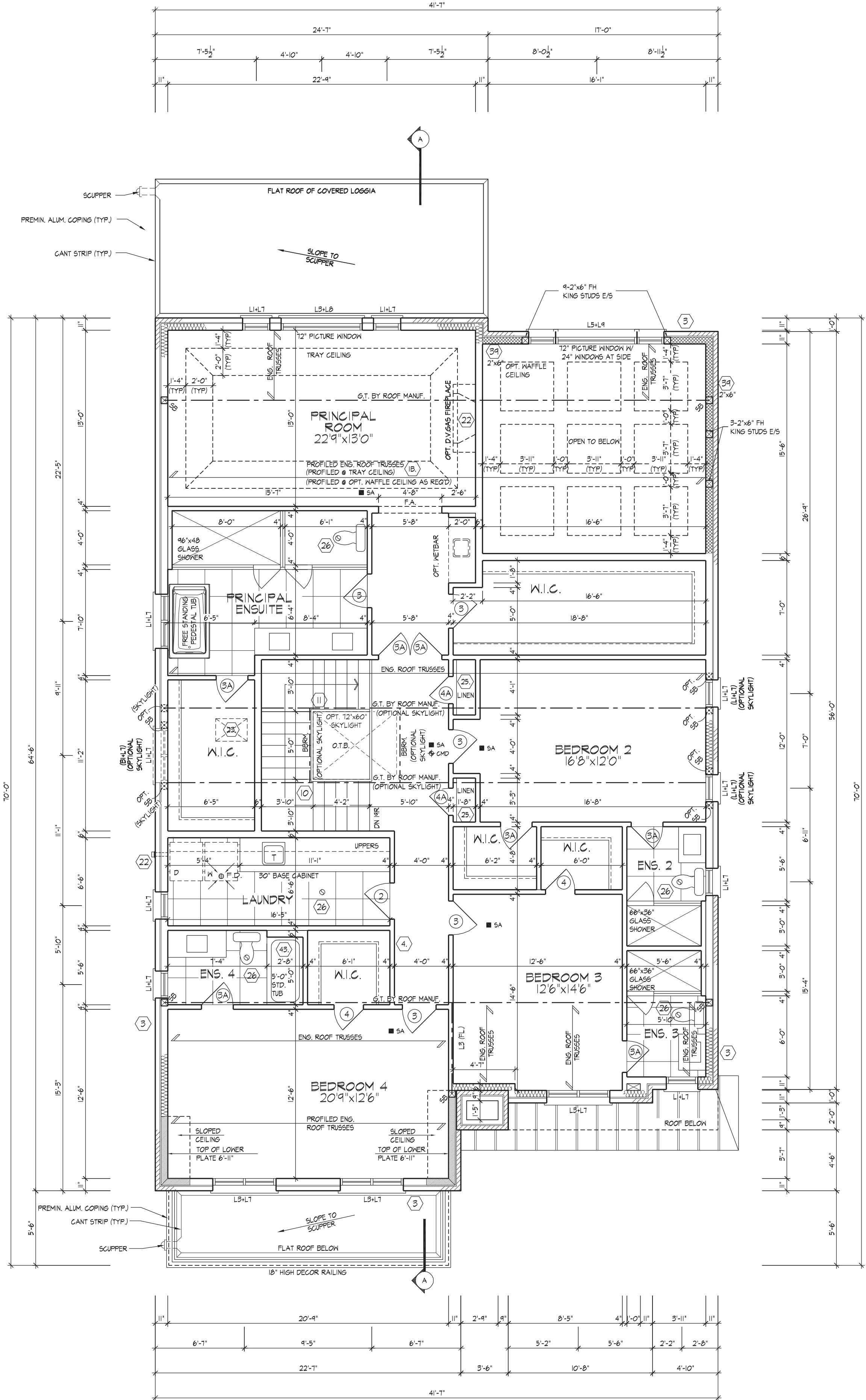
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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: 
DATE: OCT 12, 2022

This stamp certifies compliance with the applicable
Design Guidelines only and bears no further
professional responsibility.



SECOND FLOOR PLAN ELEV. 'A'

REFER TO ROOF TRUSS
MANUFACTURER'S DRAWINGS FOR
LAYOUT, SPACING, INSTALLATION
DETAILS AND HANGER SIZES.

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DATE: OCT 12, 2022
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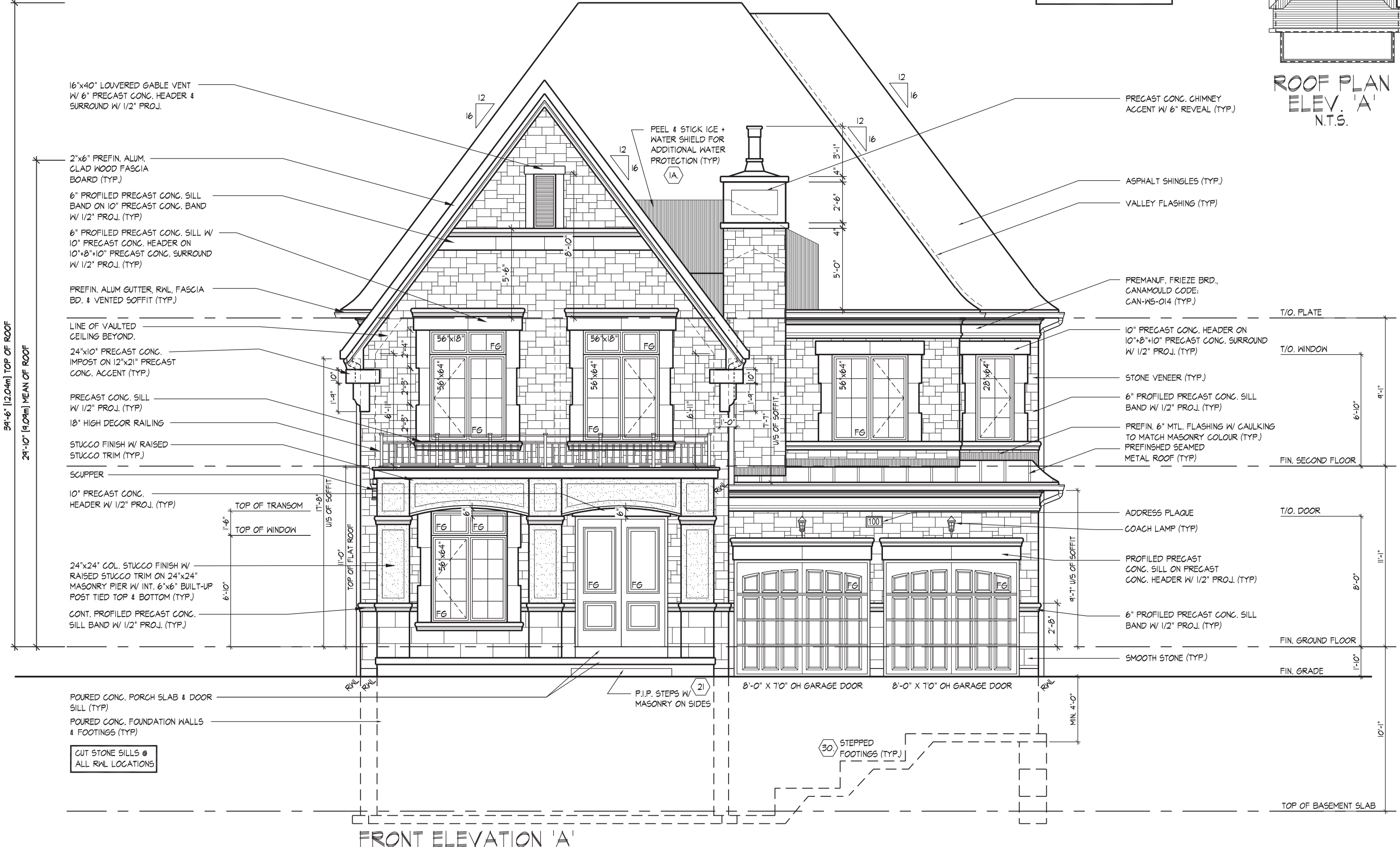
FOR STRUCTURAL ONLY. EXCLUDING
ENGINEERED ROOF TRUSS, FLOOR
JOIST, AND FLOOR LVL BEAM DESIGN.



100 COMMERCE ALLEY STE. 101
THORNHILL, ONTARIO CANADA L3T 0A1
TEL: 905.882.4774 FAX: 905.882.0800 WWW.WSP.CA

ROOF PLAN
ELEV. 'A'
N.T.S.

ROOF OVERHANGS TO BE 15"
UNLESS NOTED OTHERWISE



FRONT ELEVATION 'A'

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AND APPROVAL

APPROVED BY: 
DATE: OCT 12, 2022

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THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS
THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING
CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION		2317
NAME	SIGNATURE	ECN
REGISTRATION INFORMATION		
HUNT DESIGN ASSOCIATES INC.		1969

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GOLDPARK HOMES - 221081 **TIMBERLAND-5011MOD-LOT 30**
PINE VALLEY, PH.2 VAUGHAN ONT. **REV.2022.10.11**

Drawn By	Checked By	Scale	File Number	Page Number
JMC	AW	3/16"= 1'-0"	221081WS011MOD-LOT 30	5 of 10
8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326				

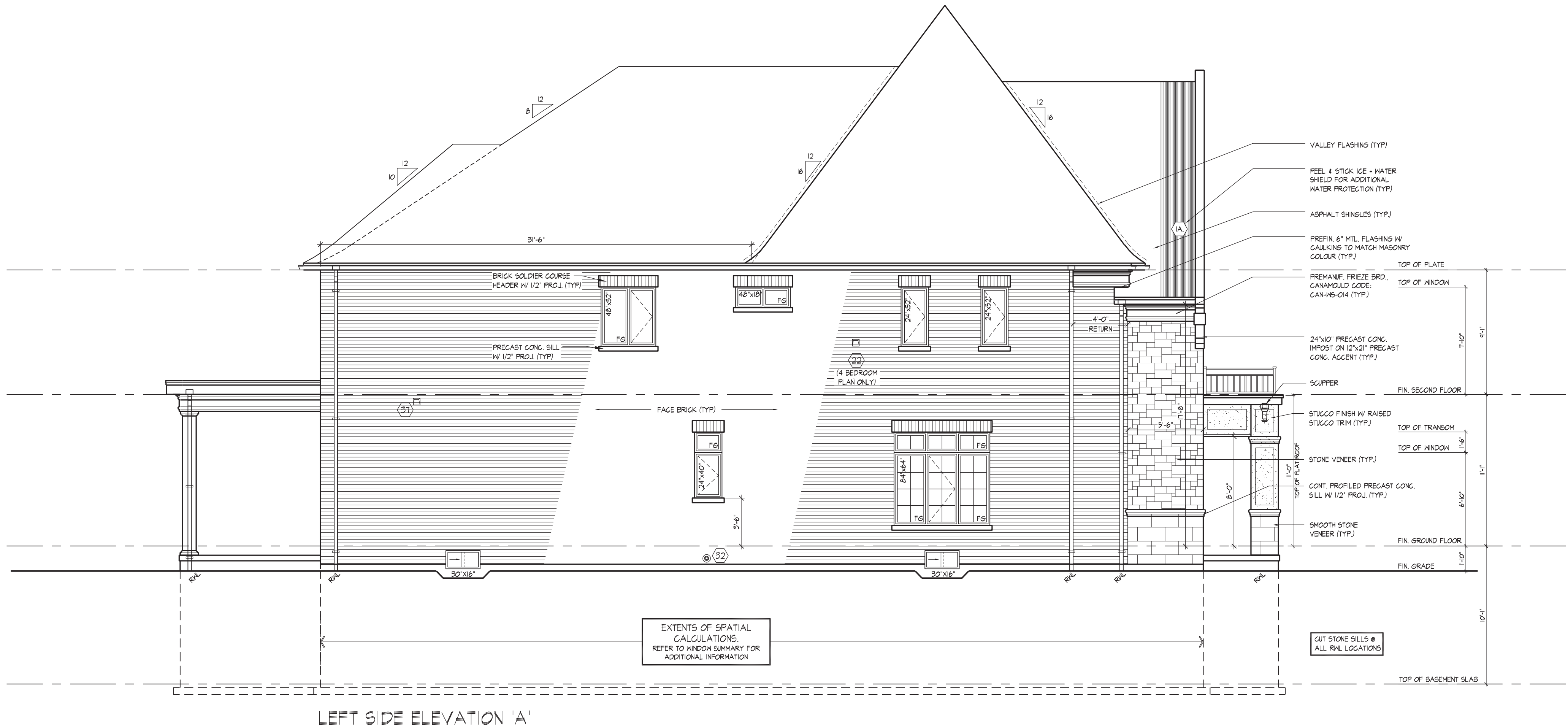
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REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

ROOF OVERHANGS TO BE 15"
UNLESS NOTED OTHERWISE

WINDOW SUMMARY			
PER O.B.C. TABLE 9.10.15.4			
LEFT SIDE ELEVATION A			
QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)
1	48"	52"	14.67
1	48"	18"	4.28
2	24"	52"	13.33
1	24"	40"	5.00
1	24"	18"	1.94
1	84"	64"	33.33
1	84"	18"	7.78
2	30"	18"	4.33
0	0"	0"	0.00
0	0"	0"	0.00
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00
SPATIAL CALCULATION			
EXPOSING BUILDING	1405.25	S.F.	
FACE AREA	130.55	S.M.	
PORTION WALL AREA	1405.25	S.F.	
	130.55	S.M.	
LIMITING DISTANCE	1.2 m		
MAX. % OPENINGS	7	%	
OPENINGS ALLOWED	98.37	S.F.	
OPENINGS PROVIDED	98.41	S.F.	
ADDITIONAL NOTES			
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER			

WINDOW SUMMARY			
PER O.B.C. TABLE 9.10.15.4			
OPT. LEFT SIDE ELEV A (6 BED)			
QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)
1	48"	52"	14.67
1	48"	18"	15.88
2	24"	52"	13.33
1	24"	40"	5.00
1	24"	18"	1.94
1	84"	64"	33.33
1	84"	18"	7.78
2	30"	18"	4.33
0	0"	0"	0.00
0	0"	0"	0.00
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00
SPATIAL CALCULATION			
EXPOSING BUILDING	1405.25	S.F.	
FACE AREA	130.55	S.M.	
PORTION WALL AREA	1405.25	S.F.	
	130.55	S.M.	
LIMITING DISTANCE	1.2 m		
MAX. % OPENINGS	7	%	
OPENINGS ALLOWED	98.37	S.F.	
OPENINGS PROVIDED	98.26	S.F.	
ADDITIONAL NOTES			
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER			



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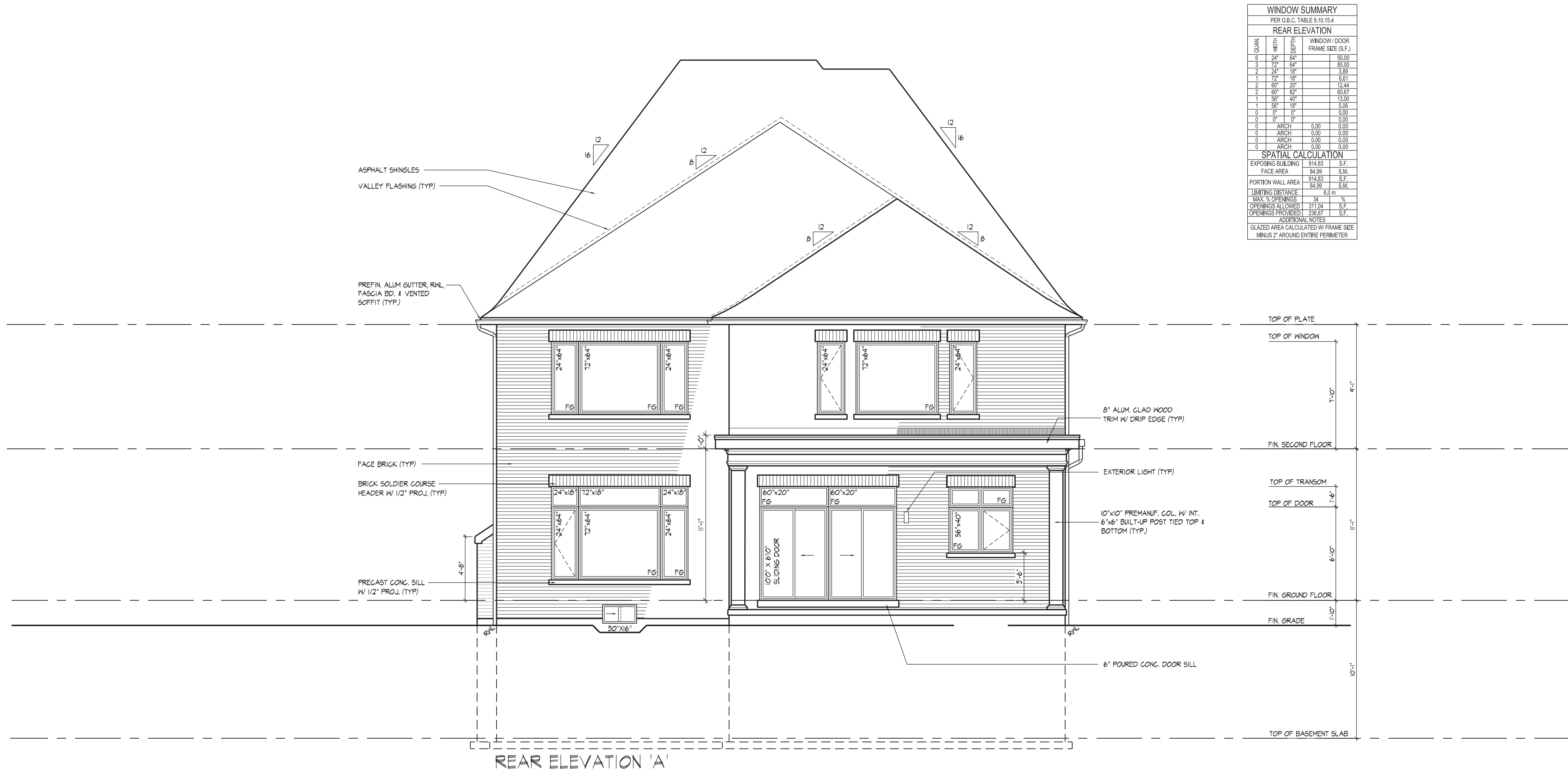
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QUALIFICATION INFORMATION
Albin Whiting
SIGNATURE:
BCIN: 23177
HUNT DESIGN ASSOCIATES INC.
19995

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www.hunt-design.ca

GOLDPARK HOMES - 221081
PINE VALLEY, PH.2 VAUGHAN, ONT.
Down By: JMc
Checked By: AW
Scale: 3/16"=1'-0"
8966 Woodbine Ave, Markham, ON L3R 0J7
T 905.737.5133 F 905.737.7326

LEFT SIDE ELEVATION 'A'
TIMBERLAND-5011MOD-LOT 30
REV.2022.10.11
221081WS5011MOD-LOT 30
6 of 10

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WINDOW SUMMARY				
PER O.B.C. TABLE 9.10.15.4				
REAR ELEVATION				
QTY	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	
6	24"	64"		50.00
3	72"	64"		85.00
2	24"	18"		3.89
1	72"	18"		6.81
2	60"	20"		12.44
2	60"	82"		60.67
1	56"	40"		13.00
1	56"	18"		5.06
0	0"	0"		0.00
0	0"	0"		0.00
0	ARCH			0.00
0	ARCH			0.00
0	ARCH			0.00
0	ARCH			0.00
SPATIAL CALCULATION				
EXPOSING BUILDING	914.83	S.F.		
FACE AREA	84.99	S.M.		
PORTION WALL AREA	914.83	S.F.		
	84.99	S.M.		
LIMITING DISTANCE	5.0 m			
MAX. % OPENINGS	34	%		
OPENINGS ALLOWED	311.04	S.F.		
OPENINGS PROVIDED	236.67	S.F.		
ADDITIONAL NOTES				
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER				

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QUALIFICATION INFORMATION
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SIGNATURE: *AW*
REGISTRATION INFORMATION: BCIN 23177

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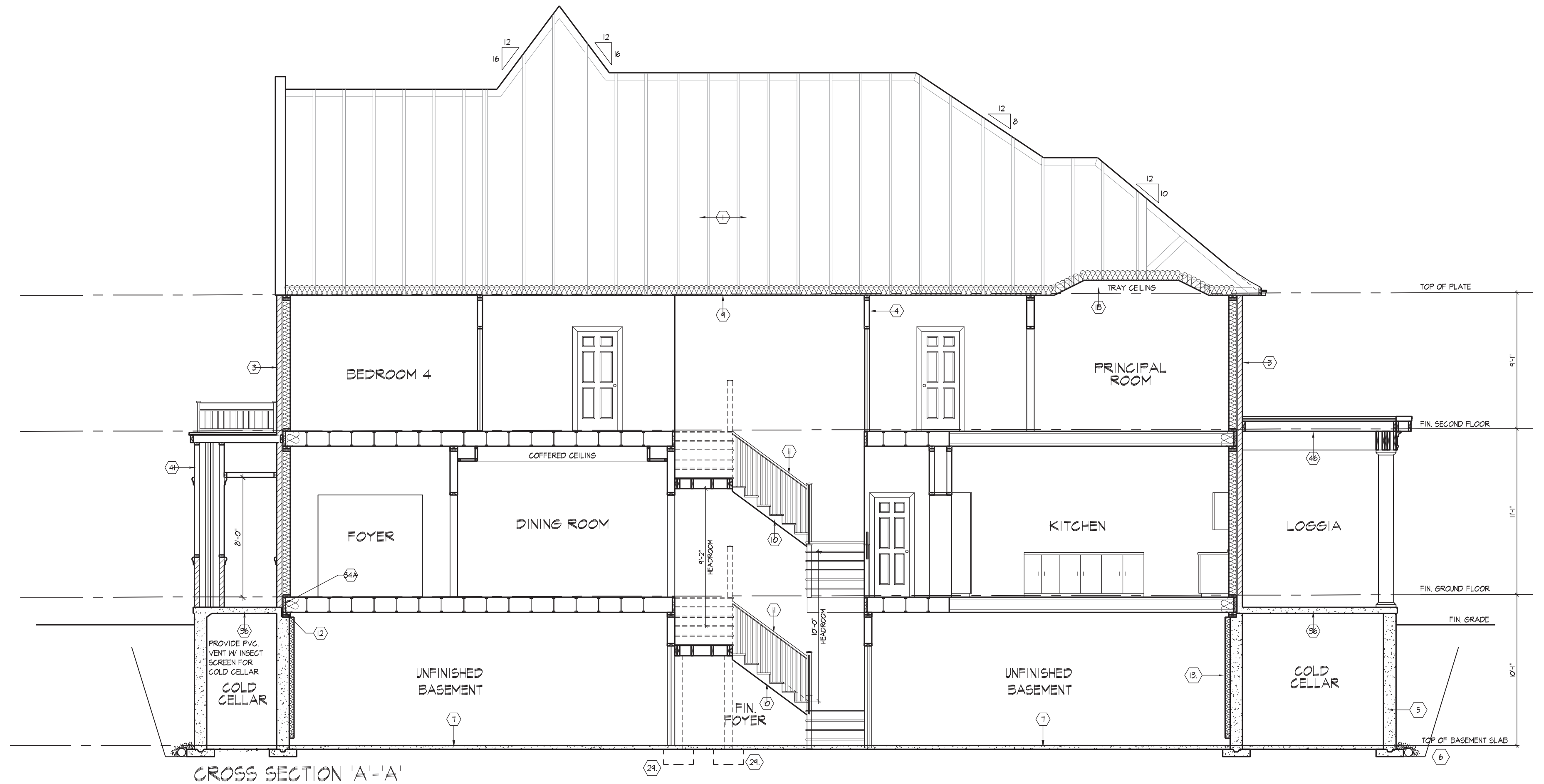
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PINE VALLEY, PH.2 VAUGHAN ONT.
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Albin Whiting
NAME: Albin Whiting
REGISTRATION INFORMATION: BCIN 23177
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PINE VALLEY, PH.2 VAUGHAN ONT.

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CROSS SECTION 'A'-A'
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