



ELEVATION 'A'



ELEVATION 'B'



ELEVATION 'C'

UNIT 4009 - "THE RIDGEVIEW"

SB-12 ENERGY EFFICIENCY DESIGN MATRIX

PRESCRIPTIVE COMPLIANCE

SB-12 (SECTION 3.1.1) TABLE 3.1.1.2.A

PACKAGE A1

SPACE HEATING FUEL	
<input checked="" type="checkbox"/> GAS	<input type="checkbox"/> OIL
<input type="checkbox"/> ELECTRIC	<input type="checkbox"/> PROPANE
<input type="checkbox"/> EARTH	<input type="checkbox"/> SOLID FUEL

BUILDING COMPONENT	REQUIRED	PROPOSED
INSULATION RSI (R) VALUE		
CEILING W/ ATTIC SPACE	10.56 (R60)	10.56 (R60)
CEILING W/O ATTIC SPACE	5.46 (R31)	5.46 (R31)
EXPOSED FLOOR	5.46 (R31)	5.46 (R31)
WALLS ABOVE GRADE	3.87 (R22)	3.87 (R22)
BASEMENT WALLS	3.52 ci (R20 ci) *	3.52 ci (R20 ci) *
* PROPOSED VALUES MAY BE SUBSTITUTED W/ 2.11+1.76ci (R12+R10ci)		
BELOW GRADE SLAB ENTIRE SURFACE > 600mm BELOW GRADE	-	-
EDGE OF BELOW GRADE SLAB ≤ 600mm BELOW GRADE	1.76 (R10)	1.76 (R10)
HEATED SLAB OR SLAB ≤ 600mm BELOW GRADE	1.76 (R10)	1.76 (R10)
WINDOWS & DOORS		
WINDOWS/SLIDING GLASS DOORS (MAX U-VALUE)	1.6	1.6
SKYLIGHTS (MAX. U-VALUE)	2.8	2.8
APPLIANCE EFFICIENCY		
SPACE HEATING EQUIP. (AFUE%)	96%	96%
HRV EFFICIENCY (%)	75%	75%
DHW HEATER (EF)	0.8	0.8

AREA CALCULATIONS	EL. 'A'	EL. 'B'	EL. 'C'
STD. PLAN	STD. PLAN	STD. PLAN	STD. PLAN
GROUND FLOOR AREA	1883 sq. ft.	1883 sq. ft.	1895 sq. ft.
(174.94 sq. m.)	(174.94 sq. m.)	(176.05 sq. m.)	
LOFT FLOOR AREA	1051 sq. ft.	977 sq. ft.	1130 sq. ft.
(97.64 sq. m.)	(90.77 sq. m.)	(104.98 sq. m.)	
SUBTOTAL	2934 sq. ft.	2860 sq. ft.	3025 sq. ft.
(272.58 sq. m.)	(265.70 sq. m.)	(281.03 sq. m.)	
DEDUCT ALL OPEN AREAS	126 sq. ft.	77 sq. ft.	135 sq. ft.
(11.71 sq. m.)	(7.15 sq. m.)	(12.54 sq. m.)	
TOTAL NET AREA	2808 sq. ft.	2783 sq. ft.	2890 sq. ft.
(260.87 sq. m.)	(258.55 sq. m.)	(268.49 sq. m.)	
FINISHED BASEMENT AREA	197 sq. ft.	197 sq. ft.	209 sq. ft.
(18.30 sq. m.)	(18.30 sq. m.)	(19.42 sq. m.)	
COVERARGE W/OUT PORCH	2284 sq. ft.	2284 sq. ft.	2295 sq. ft.
(212.19 sq. m.)	(212.19 sq. m.)	(213.21 sq. m.)	
COVERARGE W/ PORCH	2344 sq. ft.	2363 sq. ft.	2365 sq. ft.
(217.76 sq. m.)	(219.53 sq. m.)	(219.72 sq. m.)	
WINDOW / WALL AREA CALCULATIONS	EL. 'A'	EL. 'B'	EL. 'C'
STD. PLAN	STD. PLAN	STD. PLAN	STD. PLAN
GROSS WALL AREA	4339 sq. ft.	3965 sq. ft.	4169 sq. ft.
(403.11 sq. m.)	(368.36 sq. m.)	(387.31 sq. m.)	(405.27 sq. m.)
GROSS WINDOW AREA (INCL. GLASS DOORS & SKYLIGHTS)	420 sq. ft.	407 sq. ft.	456 sq. ft.
(39.02 sq. m.)	(37.81 sq. m.)	(42.36 sq. m.)	(39.21 sq. m.)
TOTAL WINDOW %	9.68 %	10.26 %	10.94 %

- 1 - TITLE PAGE
- 2 - BASEMENT PLAN, ELEV. 'A'
- 3 - OPT. 'G' BASEMENT PLAN, ELEV. 'A'
- 4 - GROUND FLOOR PLAN, ELEV. 'A'
- 5 - LOFT FLOOR PLAN, ELEV. 'A'
- 6 - BASEMENT PLAN, ELEV. 'B'
- 7 - GROUND FLOOR PLAN, ELEV. 'B'
- 8 - LOFT FLOOR PLAN, ELEV. 'B'
- 9 - BASEMENT PLAN, ELEV. 'C'
- 10 - GROUND FLOOR PLAN, ELEV. 'C'
- 11 - LOFT FLOOR PLAN, ELEV. 'C'
- 12 - FRONT ELEVATION 'A'
- 13 - LEFT SIDE ELEVATION 'A'
- 14 - RIGHT SIDE ELEVATION 'A'
- 15 - REAR ELEVATION 'A', 'B' &, 'C'
- 16 - FRONT ELEVATION 'B'
- 17 - LEFT SIDE ELEVATION 'B'
- 18 - RIGHT SIDE ELEVATION 'B'
- 19 - FRONT ELEVATION 'C'
- 20 - LEFT SIDE ELEVATION 'C'
- 21 - RIGHT SIDE ELEVATION 'C'
- 22 - CROSS SECTION 'A-A'
- 23 - CONSTRUCTION NOTES
- W1 - DECK CONDITIONS
- W2 - DECK CONDITIONS
- W3 - DECK DETAILS
- W4 - DECK DETAILS

EL. 'A'	EL. 'B'	EL. 'C'	EL. 'A'	EL. 'B'	EL. 'C'
L.O.D.	L.O.D.	L.O.D.	W.O.B.	W.O.B.	W.O.B.
4428 sq. ft.	4054 sq. ft.	4259 sq. ft.	4610 sq. ft.	4237 sq. ft.	4440 sq. ft.
(411.37 sq. m.)	(376.63 sq. m.)	(395.67 sq. m.)	(428.28 sq. m.)	(393.63 sq. m.)	(412.49 sq. m.)
437 sq. ft.	424 sq. ft.	473 sq. ft.	454 sq. ft.	441 sq. ft.	490 sq. ft.
(40.60 sq. m.)	(39.39 sq. m.)	(43.94 sq. m.)	(42.18 sq. m.)	(40.97 sq. m.)	(45.52 sq. m.)
9.87 %	10.46 %	11.11 %	9.85 %	10.41 %	11.04 %

7. -	-	-
6. -	-	-
5. -	-	-
4. -	-	-
3. -	-	-
2. REVISED AS PER STRUCTURAL COMMENTS & ISSUED FOR PERMIT	2022/05/16	WT
1. REVISED TO STANDARD 9FT BSMT & UPDATED CONSTRUCTION NOTES	2022/03/25	WT
REVISIONS	DATE (YYYYMMDD)	BY

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION
Allan Whiting
SIGNATURE
BCIN
23177

HUNT DESIGN ASSOCIATES INC.
19695



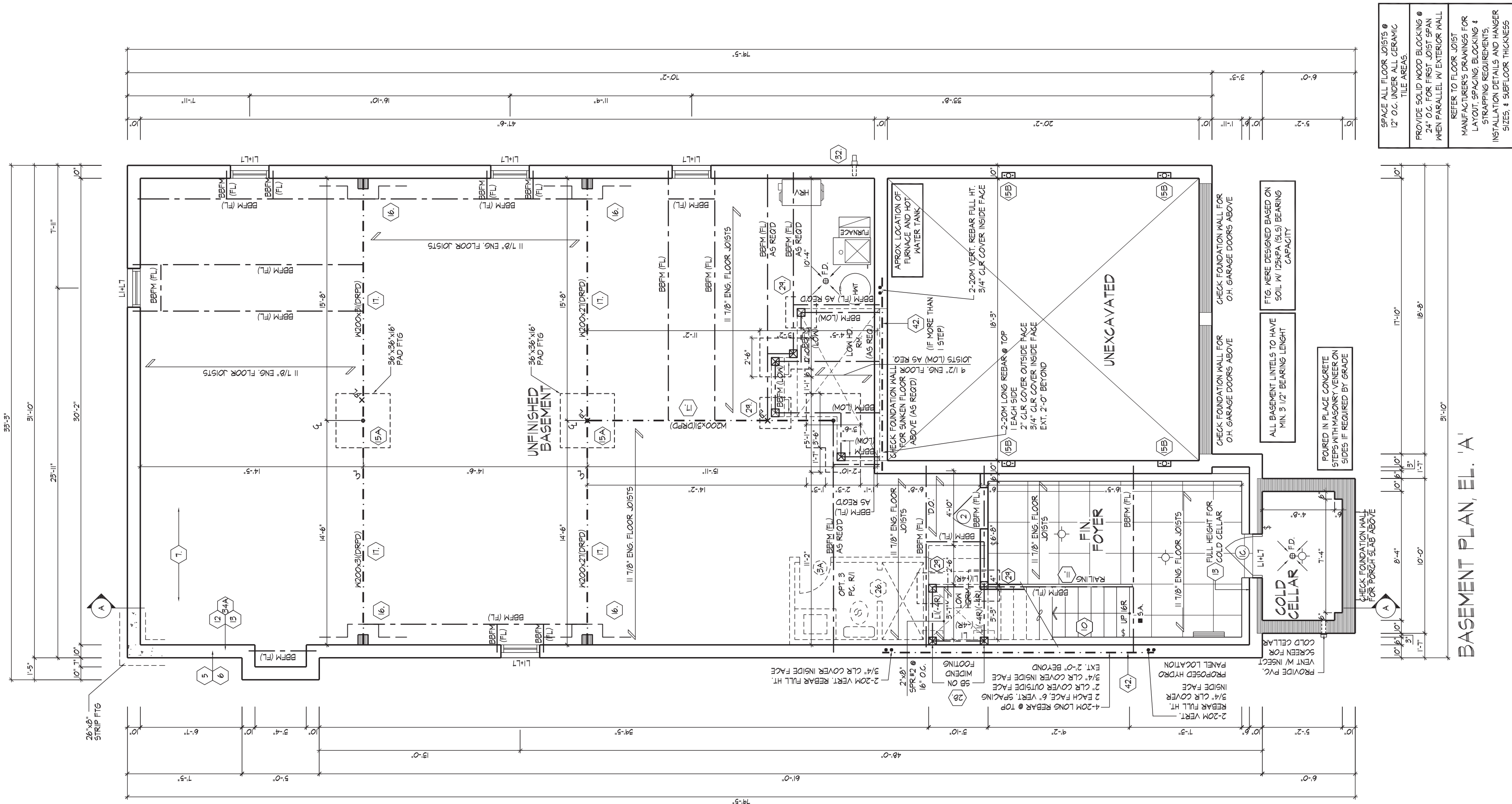
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8966 Woodbine Ave., Markham, ON L3R 0J7
T 905.737.5133 F 905.737.7326
www.huntdesign.ca

GOLDPARK HOMES - 221081
PINE VALLEY PH. 2, VAUGHAN, ON.

UNIT 4009-THE RIDGEVIEW
REV.2022.05.16

Down By JW Scale 3/16"=1'-0" File Number 221081WS4009.dwg Page Number 1 of 23
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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY:
DATE: MAY 22, 2022
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NAME: Allan Whiting
REGISTRATION INFORMATION: BCIN
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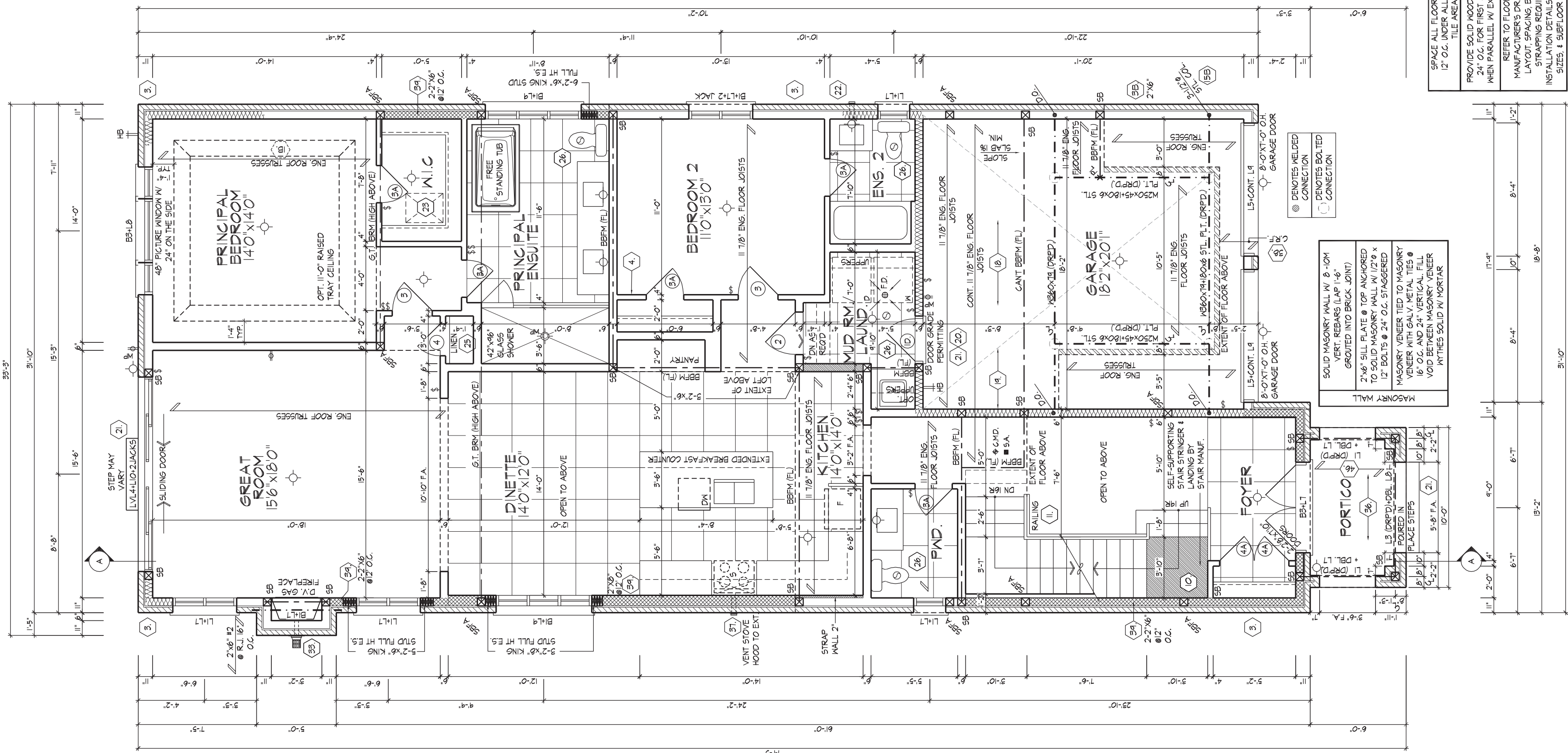
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BASEMENT PLAN, EL. 'A'
UNIT 4009-THE RIDGEVIEW
REV.2022.05.16

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SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

PROVIDE SOLID MOOP BLOCKING @ 24" O.C. FOR FIRST JOIST SPAN WHEN PARALLEL W/ EXTERIOR WALL.

REFERS TO FLOOR JOIST MANUFACTURER'S DRAWINGS FOR LAYOUT SPACING REQUIREMENTS, INSTALLATION DETAILS AND HANGER SIZES & SUBFLOOR THICKNESS.

● DENOTES WELDED CONNECTION

○ DENOTES BOLTED CONNECTION

SOLID MASONRY WALL W/ 8" - 10M VERT. REBAR @ 16" 1-8 GROUTED INTO BRICK JOINT

2"x6" SILL PLATE @ TOP ANCHORED TO SOLID MASONRY WALL W/ 1/2" x 12" BOLTS @ 24" O.C. STAGGERED

MASONRY VENEER TIED TO MASONRY VENEER WITH GALV. METAL TIES @ 16" O.C. AND 24" VERTICAL. FILL VOID BETWEEN MASONRY VENEER WITHES SOLID W/ MORTAR

GROUND FLOOR PLAN, ELEV. 'A'



100 COMMERCE VALLEY DR. W.
THORNHILL, ONTARIO CANADA L3T 0A1
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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: [Signature]
DATE: MAY 27, 2022

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QUALIFICATION INFORMATION:
Allan Whiting 23177
NAME: ALLAN WHITING
REGISTRATION INFORMATION: BCIN
HUNT DESIGN ASSOCIATES INC. 19695



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PINE VALLEY PH. 2, VAUGHAN, ON.

Rev. 2022.05.16

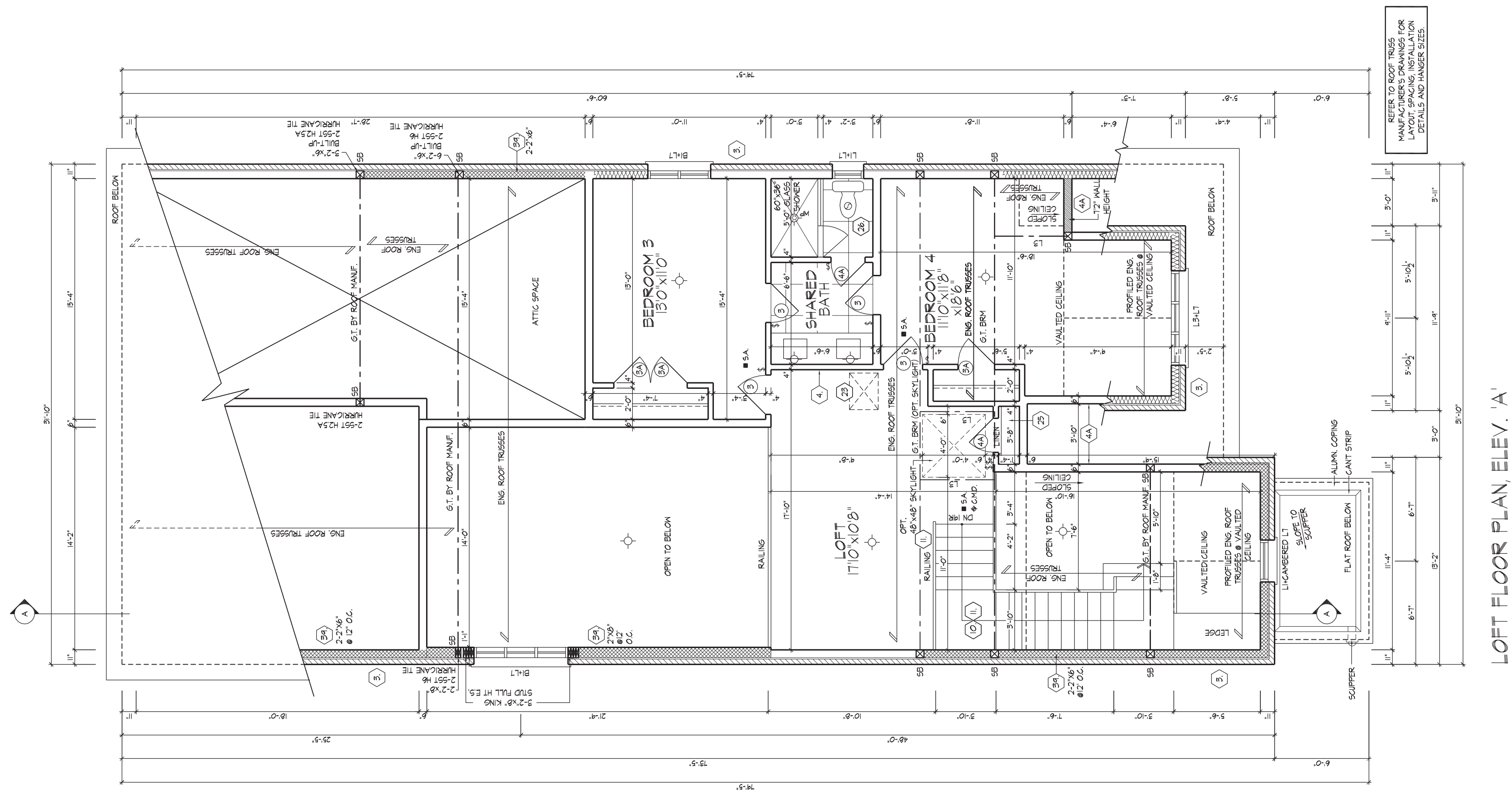
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LOFT FLOOR PLAN, ELEV. A



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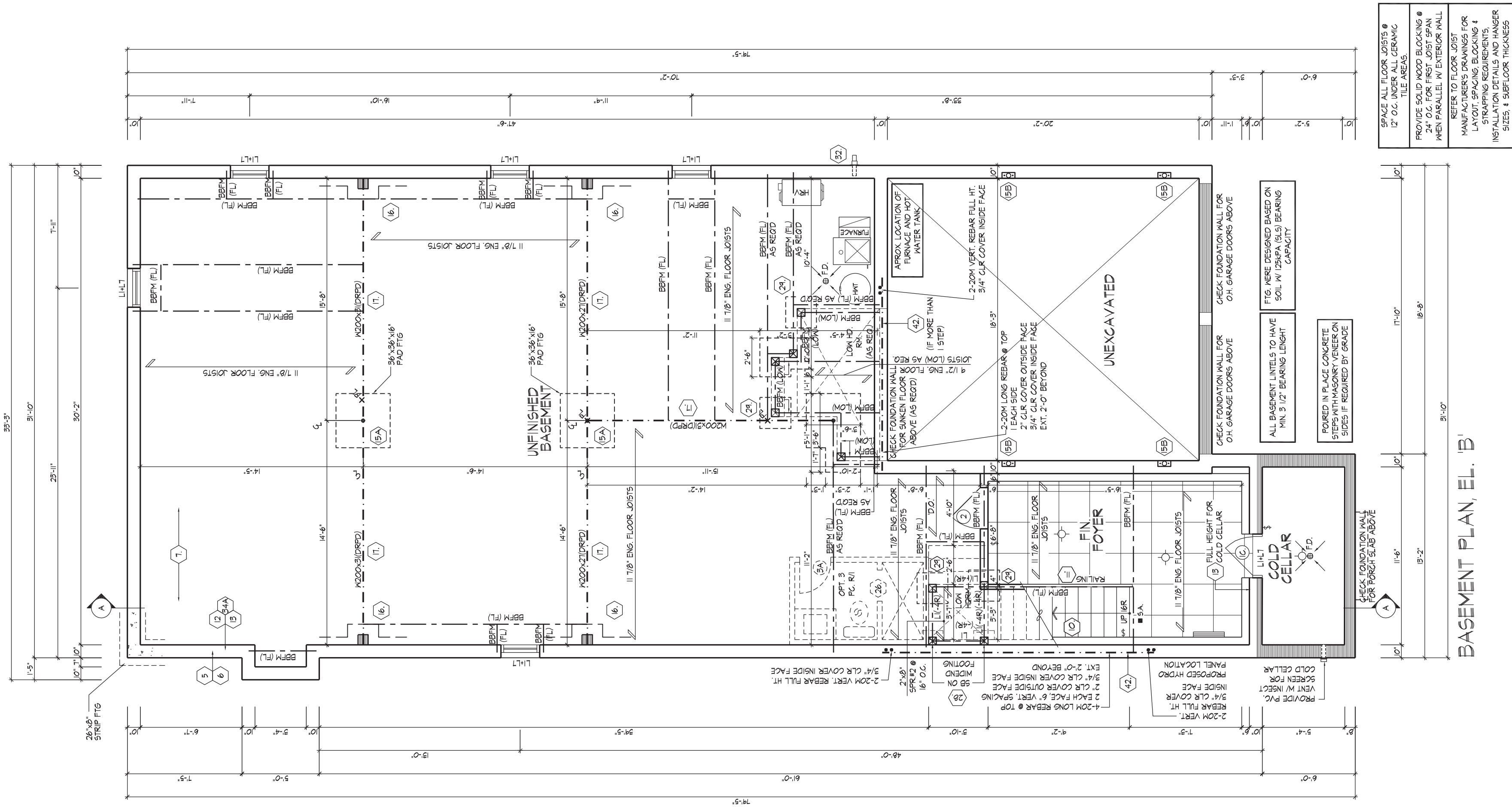
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Allan Whiting		23
NAME	SIGNATURE	8
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LOFT FLOOR PLAN, ELEV. 'A'
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SPACE ALL FLOOR JOISTS @ 12\"/>

PROVIDE SOLID WOOD BLOCKING @ 24\"/>

REFER TO FLOOR JOIST MANUFACTURER'S DRAWINGS FOR LAYOUT, JOIST SPACING, & STRAPPING REQUIREMENTS. INSTALLATION DETAILS AND HANGER SIZES. 4. SUBFLOOR THICKNESS



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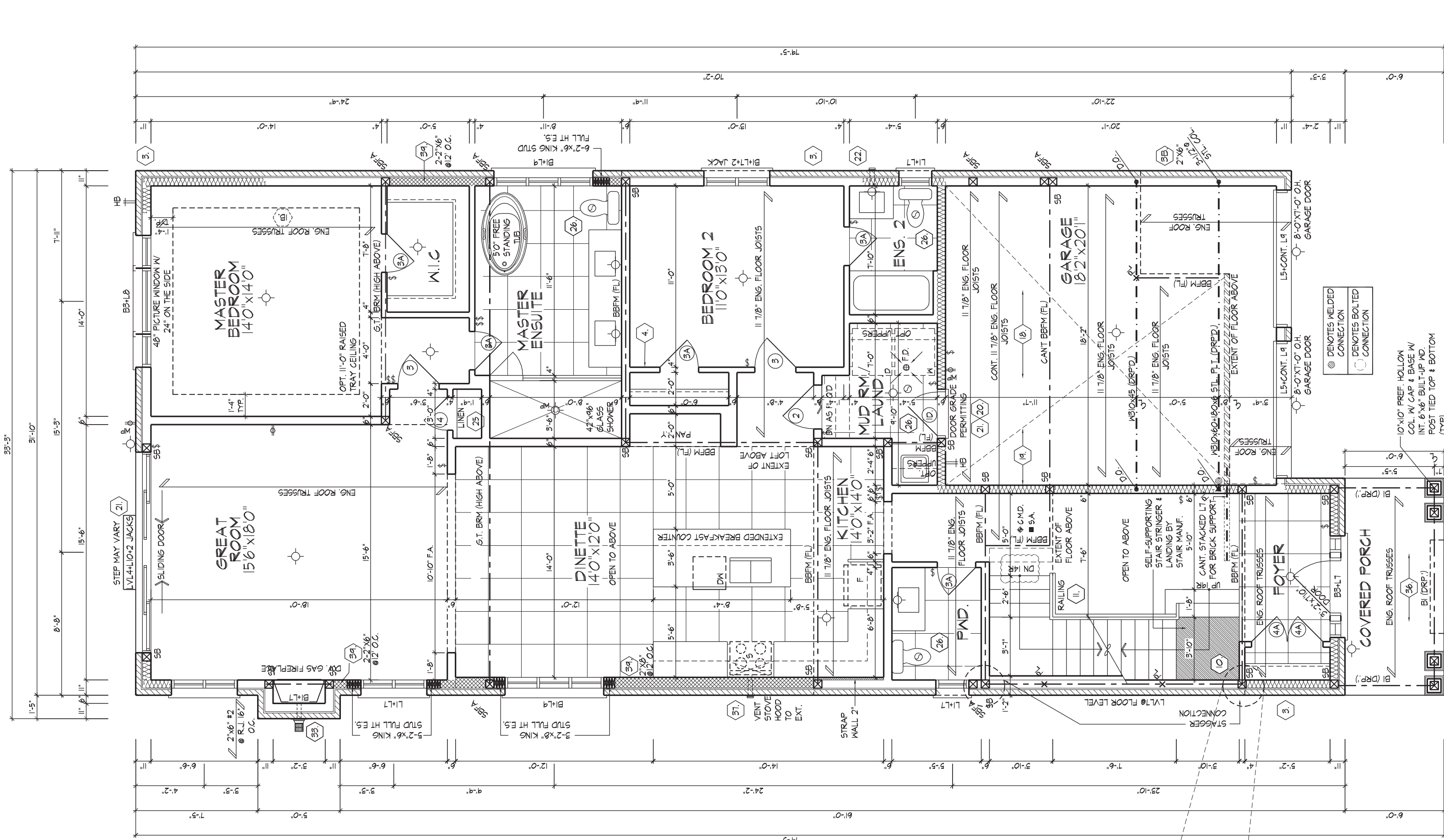
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BASEMENT PLAN, ELEV. 'B'
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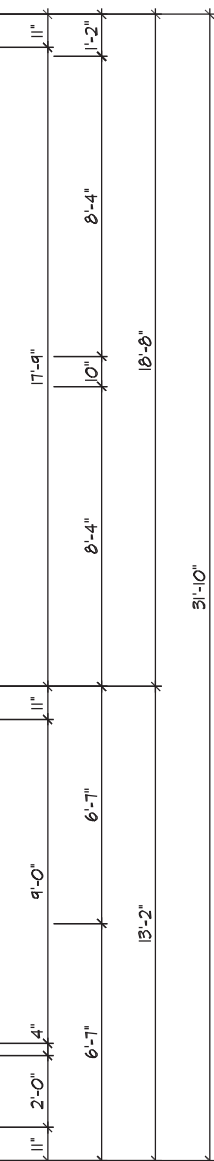
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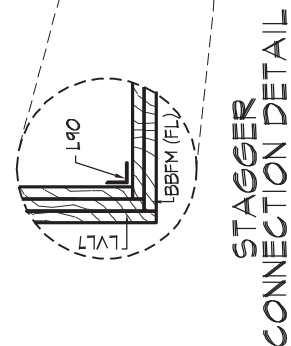
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REFERS TO FLOOR JOIST MANUFACTURER'S DRAWINGS FOR LAYOUT SPACING REQUIREMENTS, STRAPPING DETAILS AND HANGER SIZES & SUBFLOOR THICKNESS.



GROUND FLOOR PLAN, ELEV. 'B'



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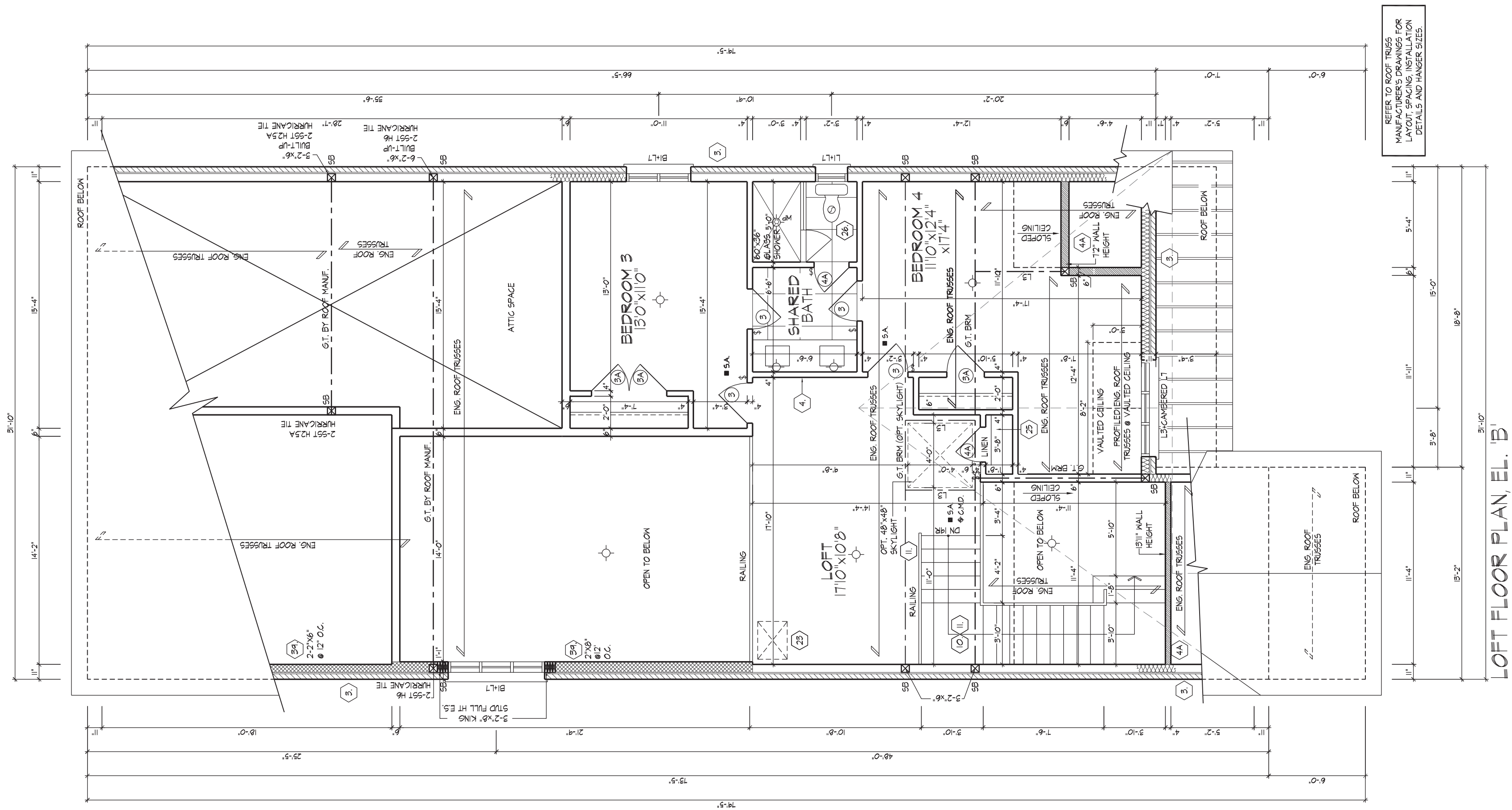
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LOFT FLOOR PLAN, B.B.



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QUALIFICATION INFORMATION

Allan Whitting 23

NAME SIGNATURE

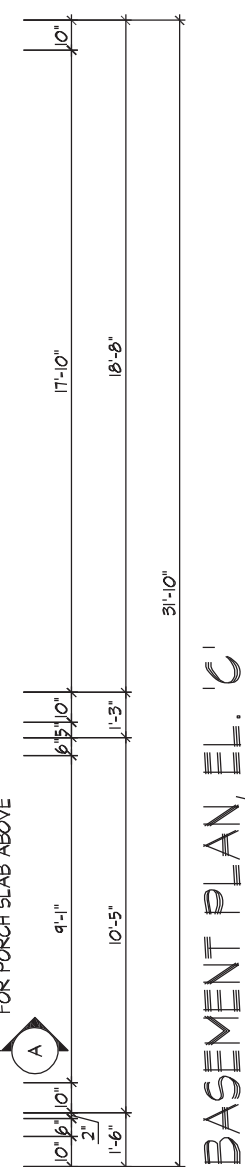
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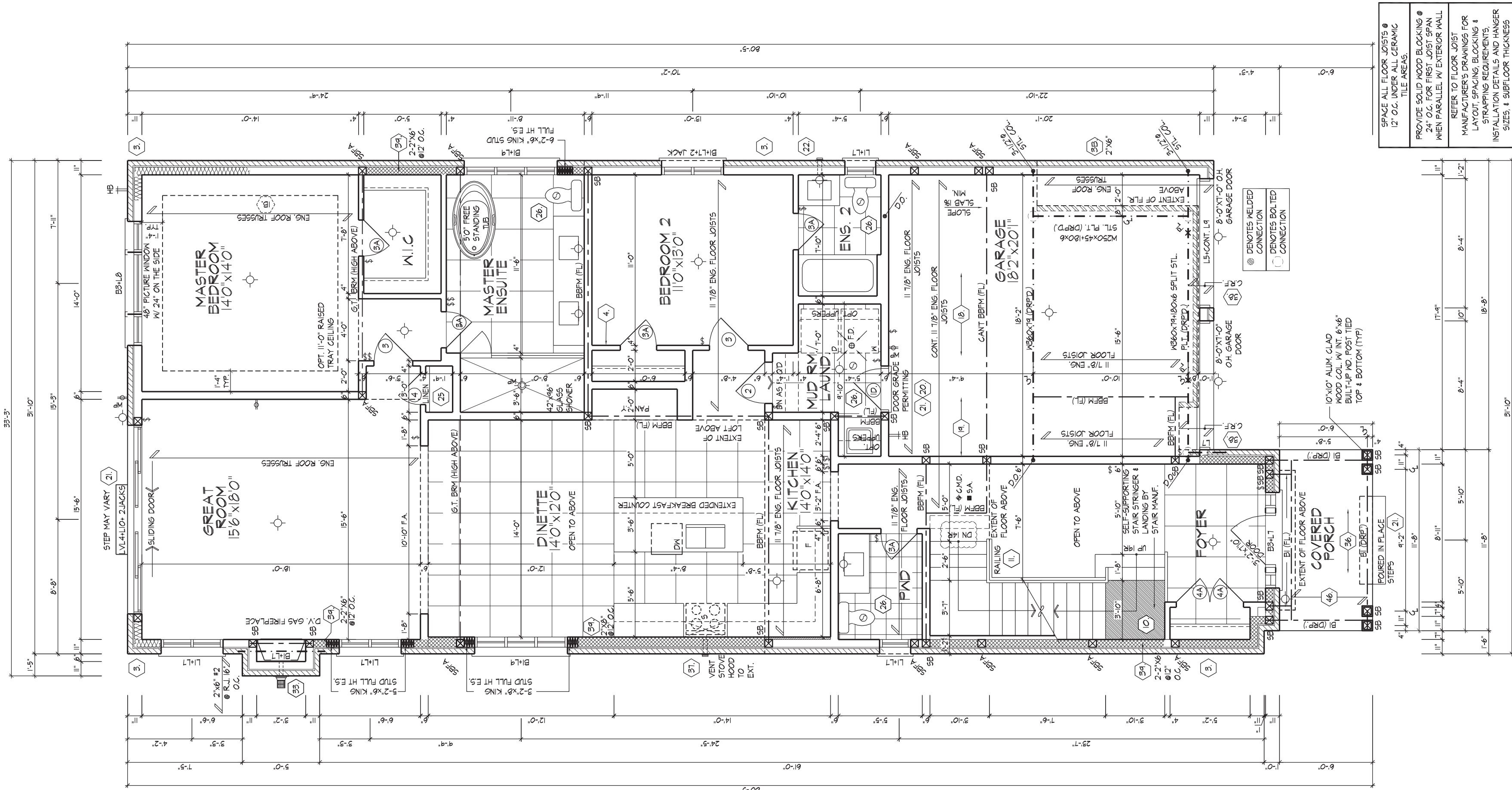
BASMENT PLAN, EL. C.



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- SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.
- PROVIDE SOLID MOOD BLOCKING @ 24" O.C. FOR FIRST JOIST SPAN WHEN PARALLEL W/ EXTERIOR WALL.
- REFERS TO FLOOR JOIST MANUFACTURER'S DRAWINGS FOR LAYOUT SPACING, BLOCKING & STRAPPING REQUIREMENTS. INSTALLATION DETAILS AND HANGER SIZES & SUBFLOOR THICKNESS.

GROUND FLOOR PLAN, ELEV. 'C'



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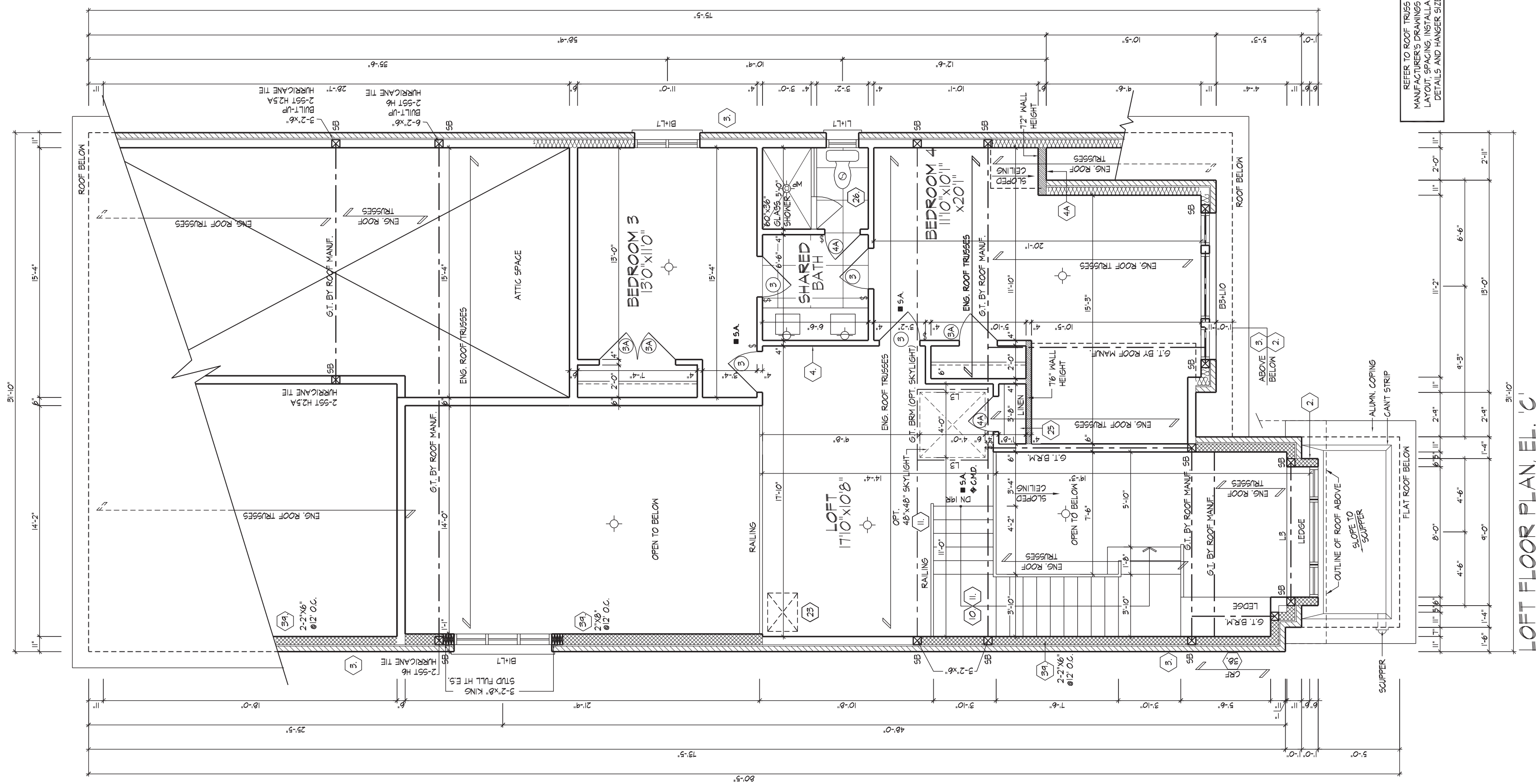
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JOIST, AND FLOOR LVL BEAM DESIGN.

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JOHN G. WILLIAMS LTD., ARCHITECT	
ARCHITECTURAL CONTROL REVIEW AND APPROVAL	
APPROVED BY:	
DATE:	MAY 27, 2022
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THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.
QUALIFICATION INFORMATION:
NAME: Allan Whiting
SIGNATURE:
REGISTRATION INFORMATION: BCIN 23177
HUNT DESIGN ASSOCIATES INC. 19695



GOLDPARK HOMES - 221081
PINE VALLEY PH. 2, VAUGHAN, ON.
Drawn By: JW
Checked By: AW
Scale: 3/16"=1'-0"
8966 Woodbine Ave., Markham, ON L3R 0J7
T 905.737.5133 F 905.737.7326

LOFT FLOOR PLAN, ELEV. 'C'
UNIT 4009-THE RIDGEVIEW
REV.2022.05.16
File Number: 221081WS4009.dwg
Page Number: 11 of 23

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UNLESS NOTED OTHERWISE

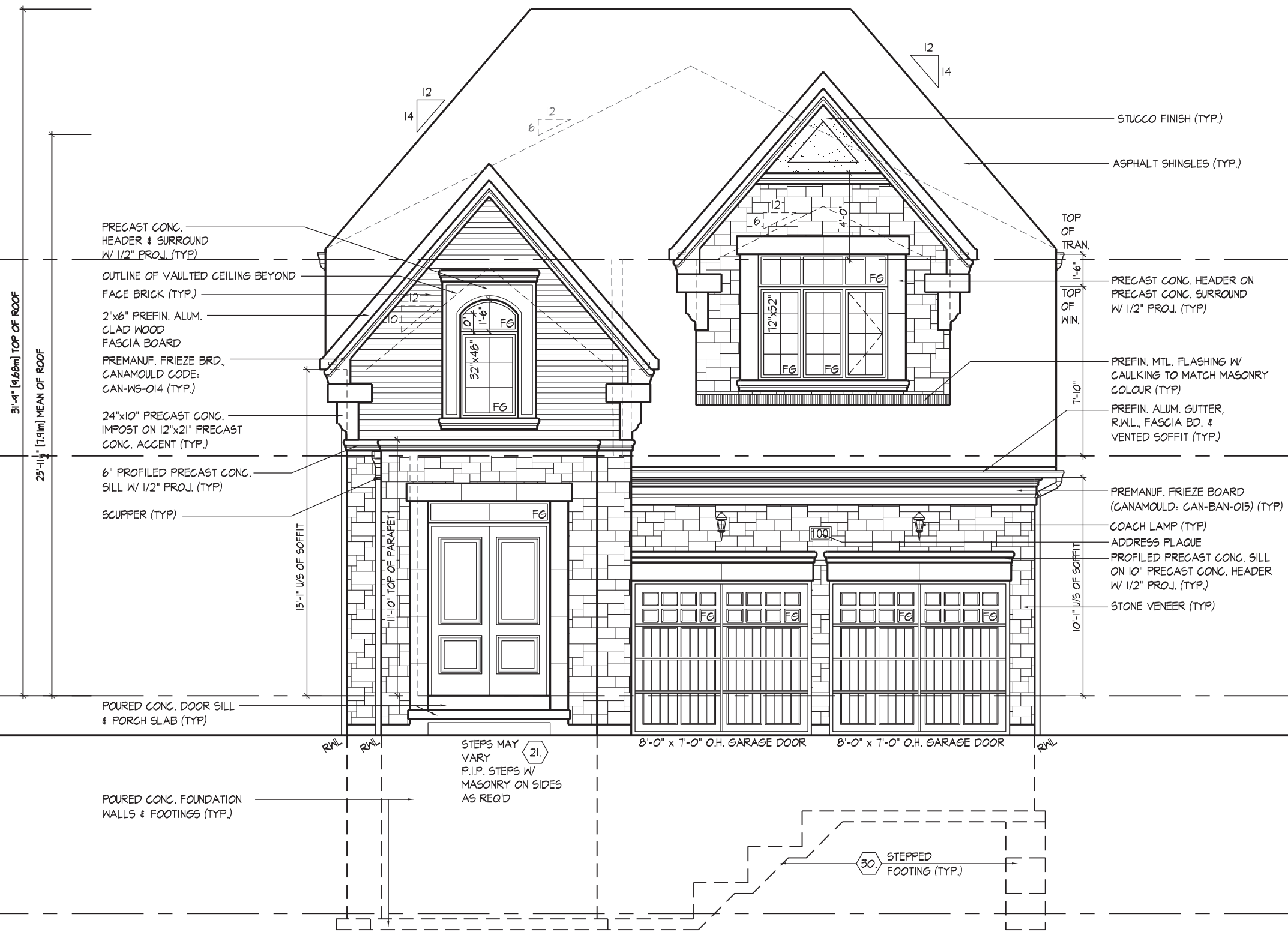
STONE VENEER
INSIDE PORTICO

WINDOW SUMMARY				
PER O.B.C. TABLE 9.10.15.4				
FRONT ELEVATION A				
QTY	WIDTH	DEPTH	WINDOW / DOOR	FRAME SIZE (S.F.)
1	32"	48"		8.36
1	72"	52"		22.61
1	72"	18"		6.61
0	0"	0"		0.00
0	0"	0"		0.00
0	0"	0"		0.00
0	0"	0"		0.00
0	0"	0"		0.00
0	0"	0"		0.00
0	0"	0"		0.00
1	ARCH	3.46		3.46
1	DOOR	5.67		5.67
0	ARCH	0.00		0.00
0	ARCH	0.00		0.00
SPATIAL CALCULATION				
EXPOSING BUILDING	593.48	S.F.		
FACE AREA	55.14	S.M.		
PORTION WALL AREA	593.48	S.F.		
LIMITING DISTANCE	55.14	S.M.		
MAX. % OPENINGS	100.00	%		
OPENINGS ALLOWED	593.48	S.F.		
OPENINGS PROVIDED	48.56	S.F.		
ADDITIONAL NOTES				
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER				

FACE BRICK (TYP.)
PREFIN. MTL. FLASHING W/
CAULKING TO MATCH MASONRY
COLOUR (TYP.)
10' PRECAST CONC. HEADER
W/ 1/2" PROJ.
STONE VENEER (TYP.)

INT. PORTICO ELEV. 'A'

ROOF PLAN
ELEV. 'A'
N.T.S.



FRONT ELEVATION 'A'

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AND APPROVAL
APPROVED BY:
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QUALIFICATION INFORMATION
NAME: Allan Whiting
REGISTRATION INFORMATION: BCIN 23177
HUNT DESIGN ASSOCIATES INC. 19695

HUNT DESIGN ASSOCIATES INC.
www.hunt-design.ca

GOLDPARK HOMES - 221081
PINE VALLEY PH. 2, VAUGHAN, ON.

Drawn By: JW
Checked By: AW
Scale: 3/16"=1'-0"
8966 Woodbine Ave, Markham, ON L3R 0J7
T 905.737.5133 F 905.737.7326

FRONT ELEVATION 'A'
UNIT 4009-THE RIDGEVIEW
REV.2022.05.16

File Number: 221081WS4009.dwg
Page Number: 12 of 23

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REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

ROOF OVERHANGS TO BE 12"
UNLESS NOTED OTHERWISE

SPATIAL CALCULATION			
PER O.B.C. TABLE 9.10.15.4			
LEFT SIDE ELEVATION A			
EXPOSING BUILDING		1492.82	S.F.
FACE AREA		138.69	S.M.
PORTION WALL AREA		1492.82	S.F.
		138.69	S.M.
LIMITING DISTANCE		1.2 m	
MAX. % OPENINGS		7	%
QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)
2	72"	64"	56.67
2	48"	64"	36.67
1	24"	56"	7.22
1	30"	16"	2.17
OPENINGS ALLOWED		104.50	S.F.
OPENINGS PROVIDED		102.72	S.F.
ADDITIONAL NOTES			
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER			



EXTENTS OF SPATIAL
CALCULATIONS.
REFER TO WINDOW SUMMARY FOR
ADDITIONAL INFORMATION

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY:

DATE: MAY 22, 2022

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ROOF OVERHANGS TO BE 12
UNLESS NOTED OTHERWISE

ADDITIONAL NOTES
GLAZED AREA CALCULATED W/ FRAME SIZE
MINUS 2" AROUND ENTIRE PERIMETER



EXTENTS OF SPATIAL
CALCULATIONS.
REFER TO WINDOW SUMMARY FOR
ADDITIONAL INFORMATION

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DATE: MAY 27, 2022

QUALIFICATION INFORMATION *QAW*

NAME	SIGNATURE
REGISTRATION INFORMATION	

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GOLDPARK HOMES - 221081
PINE VALLEY PH. 2, VAUGHAN, ON

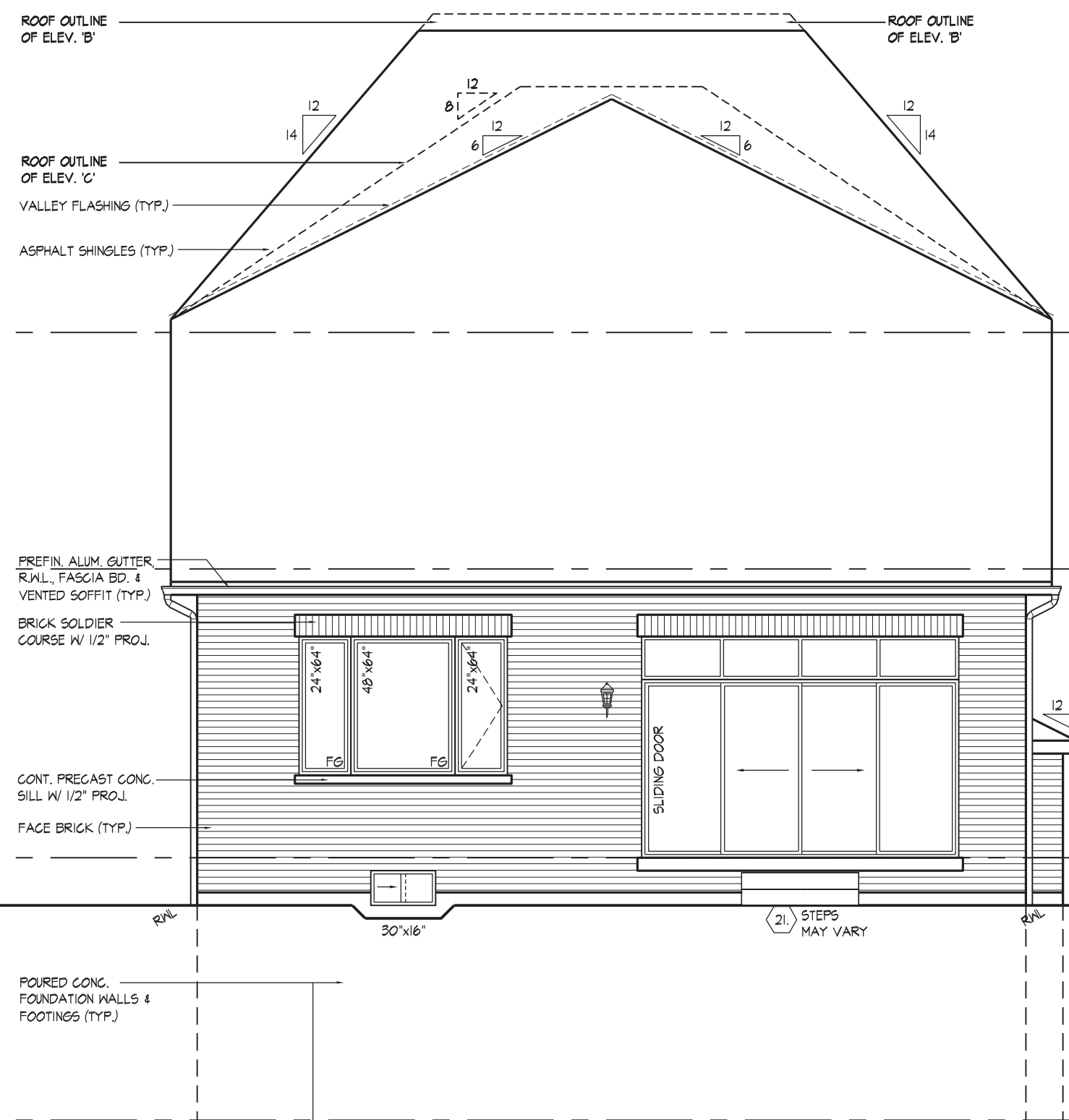
RIGHT SIDE ELEVATION 'A'
UNIT 4009-THE RIDGEVIEW
REV.2022.05.16

JW AW 3/16"=1'-0" 221081WS4009.dwg 14 of 23

unfettered permission (U.D.A.) assumes no responsibility for this research, unless it bears the appropriate DCMI number and official signature.)

ROOF OVERHANGS TO BE 12
UNLESS NOTED OTHERWISE.

WINDOW SUMMARY				
PER O.B.C. TABLE NO.11.5.4				
PER ELEVATION A, B & C				
QUAN.	UNIT	W.D.	H.T.	WINDOW / DOOR FRAME SIZE (S.F.)
2	"48"	24"	18.33"	16.67
1	"30"	16"	2.17"	2.17
0	"1"	0"	0.00"	0.00
0	"1"	0"	0.00"	0.00
0	"0"	0"	0.00"	0.00
0	"0"	0"	0.00"	0.00
0	"0"	0"	0.00"	0.00
0	"0"	0"	0.00"	0.00
0	"0"	0"	0.00"	0.00
0	"0"	0"	0.00"	0.00
0	"0"	0"	0.00"	0.00
0	DOOR	103.42	103.42	103.42
0	ARCH	0.00	0.00	0.00
0	ARCH	0.00	0.00	0.00
0	ARCH	0.00	0.00	0.00
0	ARCH	0.00	0.00	0.00
SPATIAL CALCULATION				
EXPOSING BUILDING FACE AREA		379.35	S.F.	
		35.24	S.F.	
PORTION WALL AREA		379.35	S.F.	
		35.24	S.F.	
LIMITING DISTANCE		7.5 m		
MAX % OPENINGS		50	%	
OPENINGS ALLOWED		189.68	S.F.	
OPENINGS PROVIDED		146.59	S.F.	
ADDITIONAL NOTES				
GLAZED AREA CALCULATED BY FRAME SIZE				
MINUS 2 * ROOM ENTIRE PERIMETER				



REAR ELEVATION 'A', 'B' & 'C'

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: _____
DATE: MAY 27, 2022

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QUALIFICATION INFORMATION

Allan Whiting 23

NAME SIGNATURE

REGISTRATION INFORMATION

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GOLDPARK HOMES - 221081
PINE VALLEY PH. 2, VAUGHAN, ON.

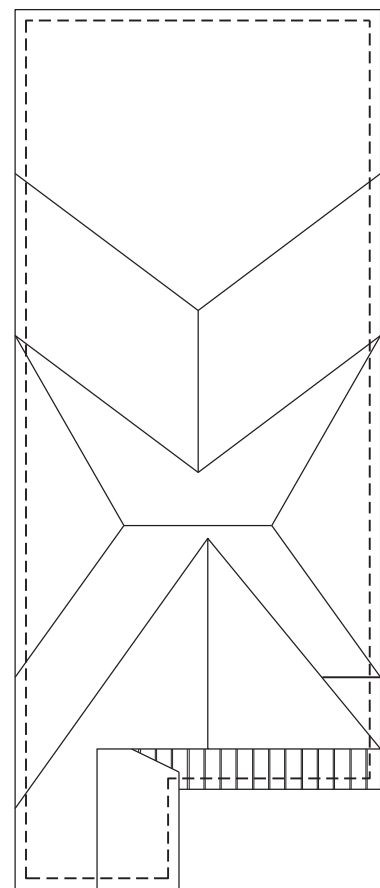
REAR ELEVATION 'A', 'B' &, 'C'
UNIT 4009-THE RIDGEVIEW
N. REV.2022.05.16

Drawn By	Checked By	Scale	File Number	Page Number
JW	AW	3/16"=1'-0"	221081WS4009.dwg	15 of 23
8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326				

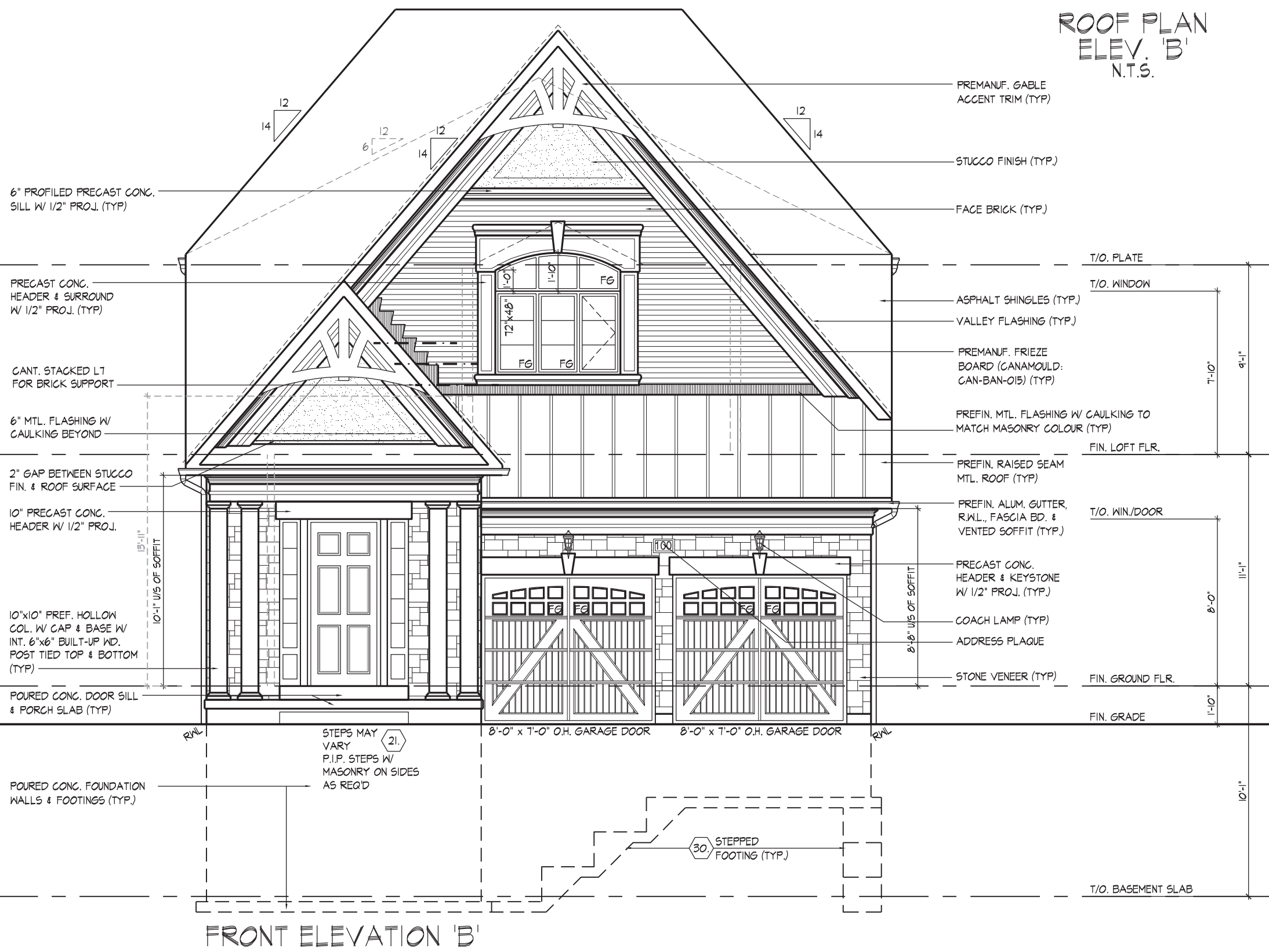
ROOF OVERHANGS TO BE 12"
UNLESS NOTED OTHERWISE

STONE VENEER
INSIDE PORTICO

WINDOW SUMMARY				
PER O.B.C. TABLE 9.10.15.4				
FRONT ELEVATION B				
QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	
1	72"	48"		20.78
0	0"	0"		0.00
0	0"	0"		0.00
0	0"	0"		0.00
0	0"	0"		0.00
0	0"	0"		0.00
0	0"	0"		0.00
0	0"	0"		0.00
0	0"	0"		0.00
0	0"	0"		0.00
1	ARCH	9.38	9.38	
1	DOOR	8.00	8.00	
0	ARCH	0.00	0.00	
0	ARCH	0.00	0.00	
SPATIAL CALCULATION				
EXPOSING BUILDING	501.47	S.F.		
FACE AREA	46.59	S.M.		
PORTION WALL AREA	501.47	S.F.		
	46.59	S.M.		
LIMITING DISTANCE	14.00	m		
MAX. % OPENINGS	100.00	%		
OPENINGS ALLOWED	501.47	S.F.		
OPENINGS PROVIDED	38.16	S.F.		
ADDITIONAL NOTES				
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER				



ROOF PLAN
ELEV. 'B'
N.T.S.



FRONT ELEVATION 'B'

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ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY:

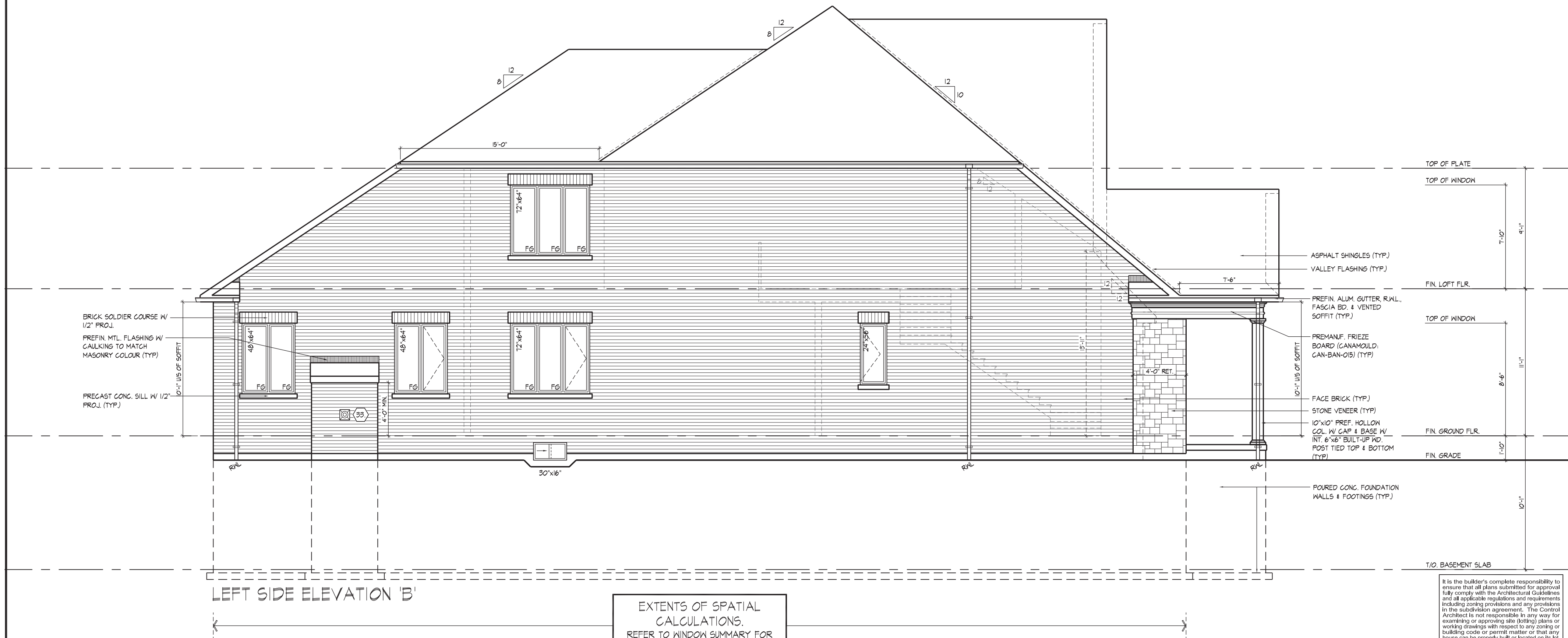
DATE: MAY 17, 2022

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REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

ROOF OVERHANGS TO BE 12"
UNLESS NOTED OTHERWISE

SPATIAL CALCULATION			
PER O.B.C. TABLE 9.10.15.4			
LEFT SIDE ELEVATION B			
EXPOSING BUILDING		1479.35	S.F.
FACE AREA		137.44	S.M.
PORTION WALL AREA		1479.35	S.F.
		137.44	S.M.
LIMITING DISTANCE		1.2 m	
MAX. % OPENINGS		7	%
QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)
2	72"	64"	
2	48"	64"	
1	24"	56"	
1	30"	16"	
OPENINGS ALLOWED		103.55	S.F.
OPENINGS PROVIDED		102.72	S.F.
ADDITIONAL NOTES			
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER			



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APPROVED BY:
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QUALIFICATION INFORMATION:
NAME: Allan Whiting
REGISTRATION INFORMATION: 23177
HUNT DESIGN ASSOCIATES INC. 19695

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www.hunt-design.ca

GOLDPARK HOMES - 221081
PINE VALLEY PH. 2, VAUGHAN, ON.
Drawn By: JW
Checked By: AW
Scale: 3/16"=1'-0"
8966 Woodbine Ave, Markham, ON L3R 0J7
T 905.737.5133 F 905.737.7326

LEFT SIDE ELEVATION 'B'
UNIT 4009-THE RIDGEVIEW
REV.2022.05.16

File Number: 221081WS4009.dwg
Page Number: 17 of 23

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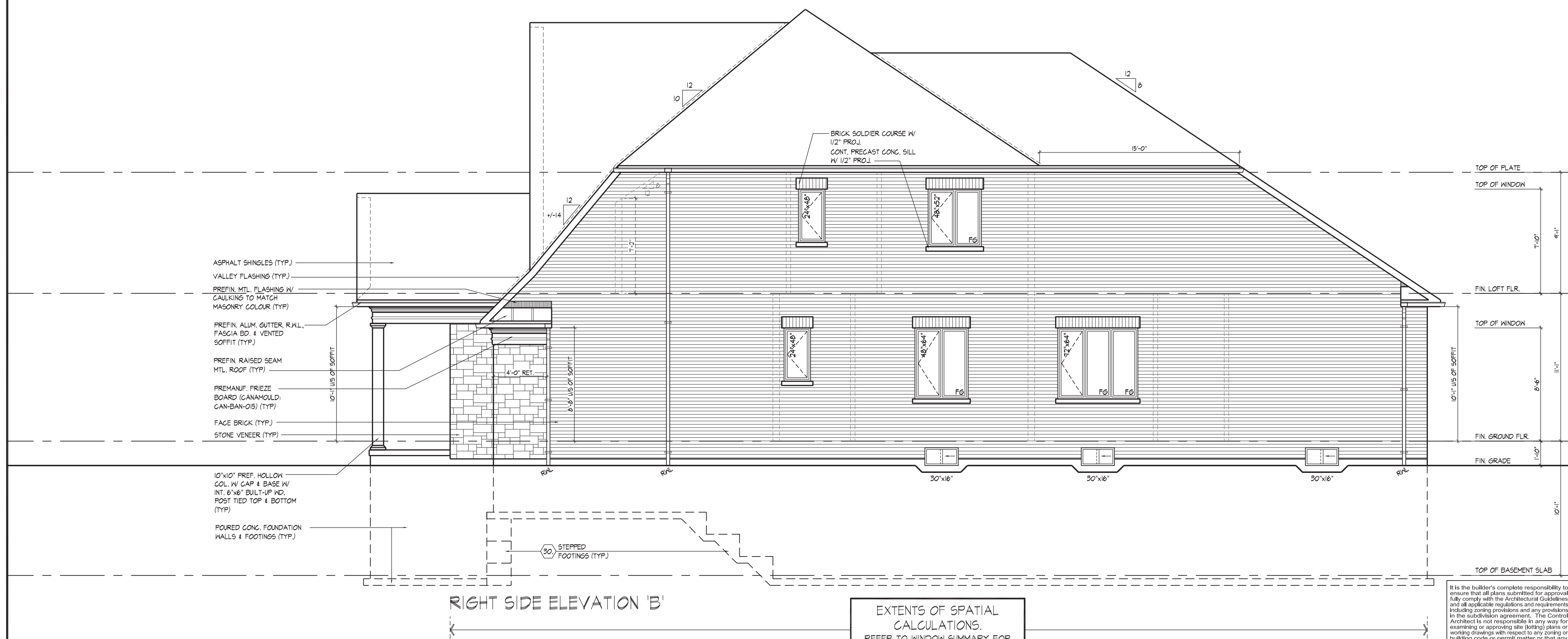
SPATIAL CALCULATION

PER O.B.C. TABLE 9.10.15.4

RIGHT SIDE ELEVATION B

EXPOSING BUILDING			1456.37	S.F.
FACE AREA			135.30	S.M.
PORTION WALL AREA			1456.37	S.F.
			135.30	S.M.
LIMITING DISTANCE			12 m	
MAX. % OPENINGS			7	%
QUAN	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	
2	24"	48"	12.22	
1	48"	52"	14.67	
1	48"	64"	18.33	
1	72"	64"	28.33	
3	30"	16"	6.50	
OPENINGS ALLOWED			101.95	S.F.
OPENINGS PROVIDED			80.06	S.F.

GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER		
--	--	--



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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: _____
DATE: MAY 27, 2022

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QUALIFICATION INFORMATION Allan Whiting		2317
NAME	SIGNATURE	BOE
REGISTRATION INFORMATION HUNT DESIGN ASSOCIATES INC.		1969

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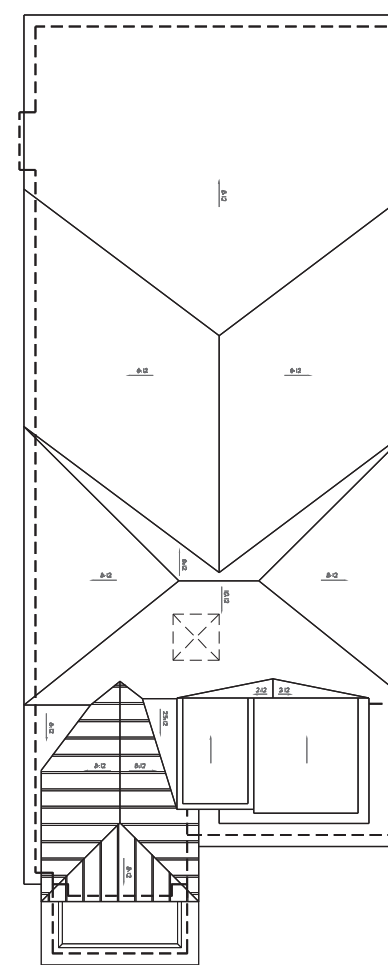
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PINE VALLEY PH. 2, VAUGHAN, ON.

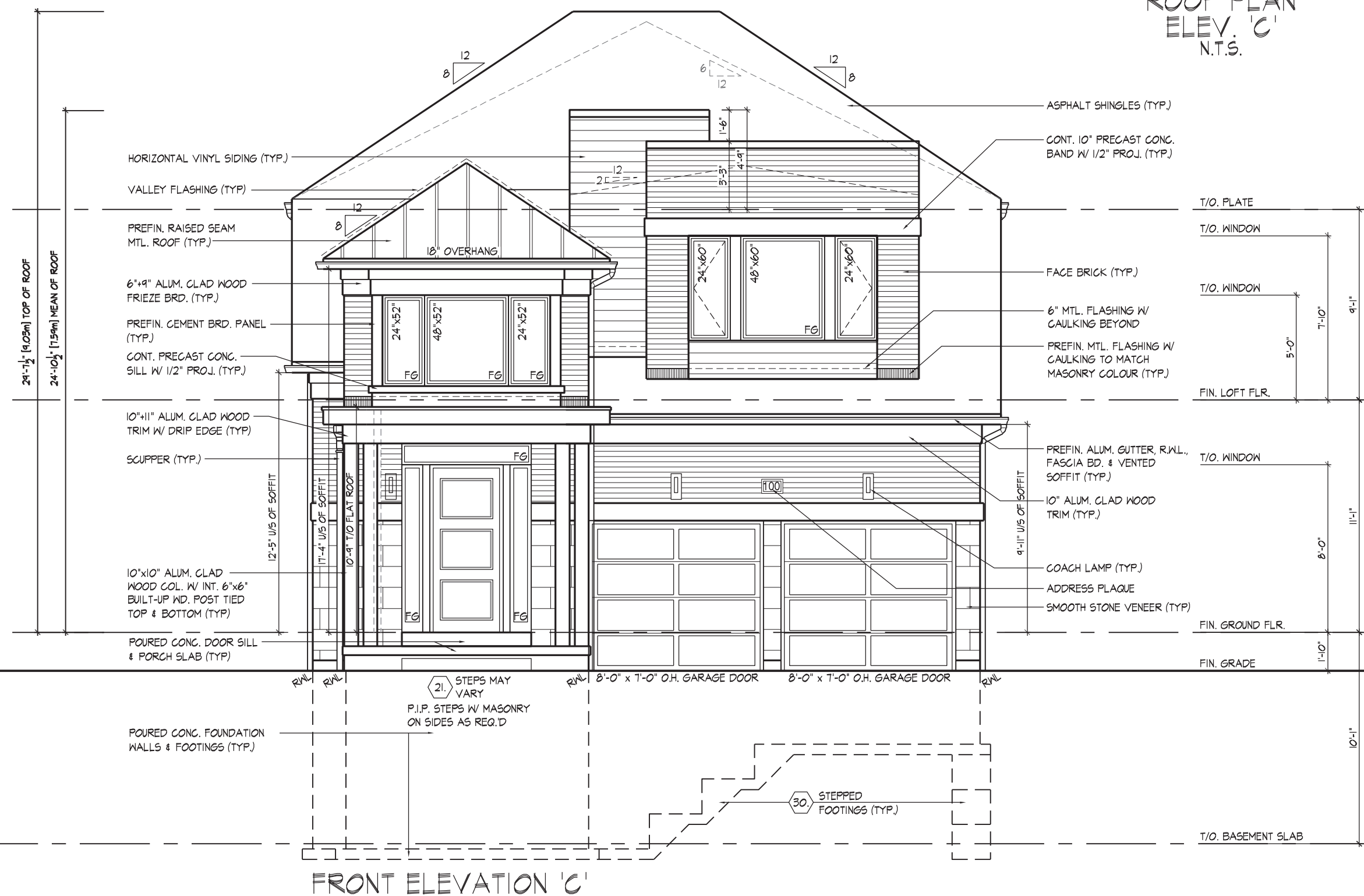
RIGHT SIDE ELEVATION 'B'
UNIT 4009-THE RIDGEVIEW
REV.2022.05.16

STONE VENEER
INSIDE PORTICO

WINDOW SUMMARY		
PER O.B.C. TABLE 10.10.5.4		
FRONT ELEVATION C		
QUANT	UNIT	WINDOW / DOOR FRAME SIZE
2	24" x 36"	13.33
2	24" x 60"	15.67
1	48" x 36"	14.58
1	48" x 60"	17.11
0	0" x 0"	0.00
0	0" x 0"	0.00
0	0" x 0"	0.00
0	0" x 0"	0.00
0	0" x 0"	0.00
0	ARCH	0.00
1	DOOR	15.85
0	ARCH	0.00
0	ARCH	0.00
0	ARCH	0.00
SPATIAL CALCULATION		
EXPOSING BUILDING	62.72	S.F.
FACE AREA	58.13	S.M.
PORITION WALL AREA	62.72	S.F.
	58.13	S.M.
LIMITING DISTANCE		14.00 m
MAX. % OPENINGS	100.00	%
OPENING ALLOWED	62.72	S.F.
OPENINGS PROVIDED	76.82	S.F.
ADDITIONAL NOTES		
GLAZED AREA CALCULATED W/ FRAME SIZE		



ROOF PLAN
ELEV. 'C'
N.T.S.



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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: [Signature]
DATE: MAY 27, 2022

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QUALIFICATION INFORMATION Allan Whiting			2317
NAME	SIGNATURE	BO	
REGISTRATION INFORMATION HUNT DESIGN ASSOCIATES INC.			1969

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DESIGN ASSOCIATES INC.
www.hunt-design.com

GOLDPARK HOMES - 221081
PINE VALLEY PH. 2, VAUGHAN, ON.

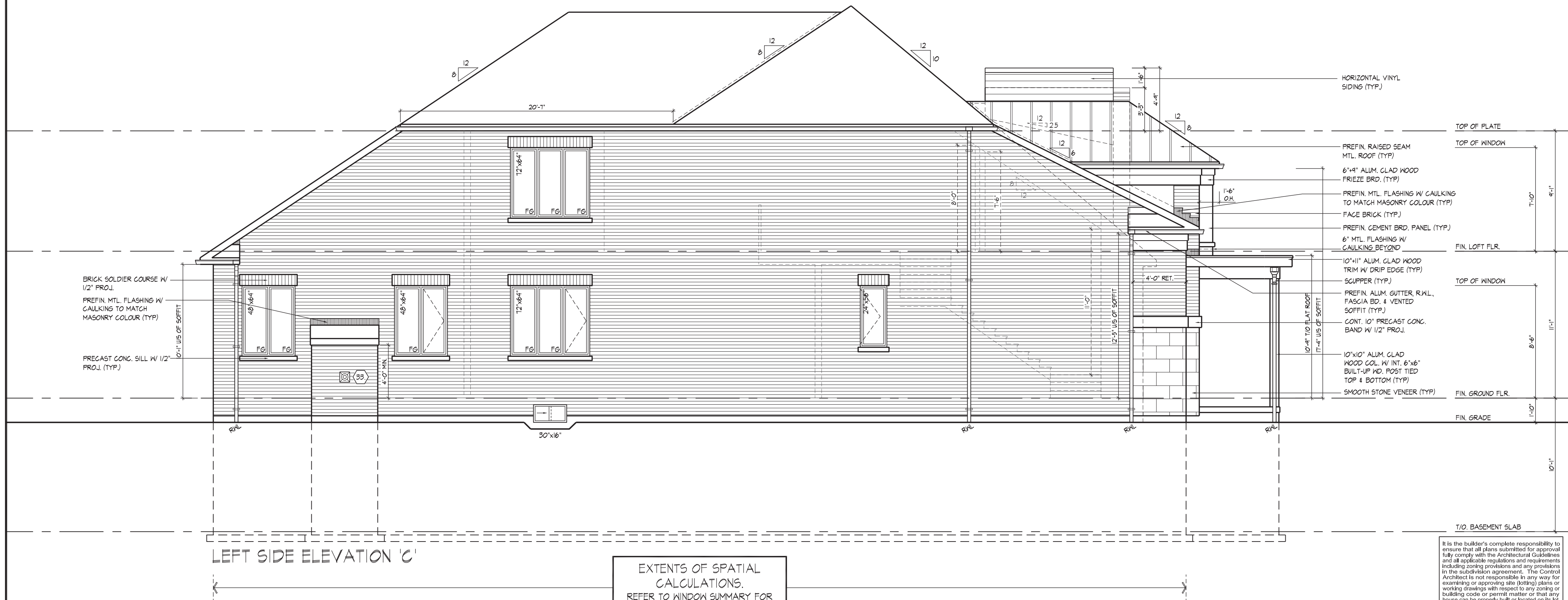
FRONT ELEVATION 'C'
UNIT 4009-THE RIDGEVIEW
REV.2022.05.16

FRONT ELEVATION 'C'
UNIT 4009-THE RIDGEVIEW
REV.2022.05.16

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

ROOF OVERHANGS TO BE 12"
UNLESS NOTED OTHERWISE

SPATIAL CALCULATION		
PER O.B.C. TABLE 9.10.15.4		
LEFT SIDE ELEVATION C		
EXPOSING BUILDING	1540.27	S.F.
FACE AREA	143.10	S.M.
PORTION WALL AREA	1540.27	S.F.
	143.10	S.M.
LIMITING DISTANCE	1.2 m	
MAX. % OPENINGS	7	%
QUAN.	WIDTH	DEPTH
	WINDOW / DOOR	
	FRAME SIZE (S.F.)	
2	72"	64"
2	48"	64"
1	24"	56"
1	30"	16"
OPENINGS ALLOWED	107.82	S.F.
OPENINGS PROVIDED	102.72	S.F.
ADDITIONAL NOTES		
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER		



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ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: *[Signature]*
DATE: MAY 17, 2022

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QUALIFICATION INFORMATION:
NAME: Allan Whiting
REGISTRATION INFORMATION: BCIN 23177
HUNT DESIGN ASSOCIATES INC. 19695

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GOLDPARK HOMES - 221081
PINE VALLEY PH. 2, VAUGHAN, ON.

Drawn By: JW
Checked By: AW
Scale: 3/16"=1'-0"

LEFT SIDE ELEVATION 'C'
UNIT 4009-THE RIDGEVIEW
REV.2022.05.16

File Number: 221081WS4009.dwg
Page Number: 20 of 23

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REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

ROOF OVERHANGS TO BE 12"
UNLESS NOTED OTHERWISE

SPATIAL CALCULATION			
PER O.B.C. TABLE 9.10.15.4			
RIGHT SIDE ELEVATION C			
EXPOSING BUILDING	1560.94	S.F.	
FACE AREA	145.02	S.M.	
PORTION WALL AREA	1560.94	S.F.	
	145.02	S.M.	
LIMITING DISTANCE	1.2 m		
MAX. % OPENINGS	7	%	
QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)
2	24"	48"	12.22
1	48"	52"	14.67
1	48"	64"	18.33
1	72"	64"	28.33
3	30"	16"	6.50
OPENINGS ALLOWED	109.27	S.F.	
OPENINGS PROVIDED	80.06	S.F.	
ADDITIONAL NOTES			
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER			



RIGHT SIDE ELEVATION 'C'

EXTENTS OF SPATIAL
CALCULATIONS.
REFER TO WINDOW SUMMARY FOR
ADDITIONAL INFORMATION

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY:
DATE: MAY 27, 2022
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.
QUALIFICATION INFORMATION:
NAME: Allan Whiting
REGISTRATION INFORMATION: BCIN 23177
HUNT DESIGN ASSOCIATES INC. 19695

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GOLDPARK HOMES - 221081
PINE VALLEY PH. 2, VAUGHAN, ON.
Drawn By: JW
Checked By: AW
Scale: 3/16"=1'-0"
8966 Woodbine Ave, Markham, ON L3R 0J7
T 905.737.5133 F 905.737.7326

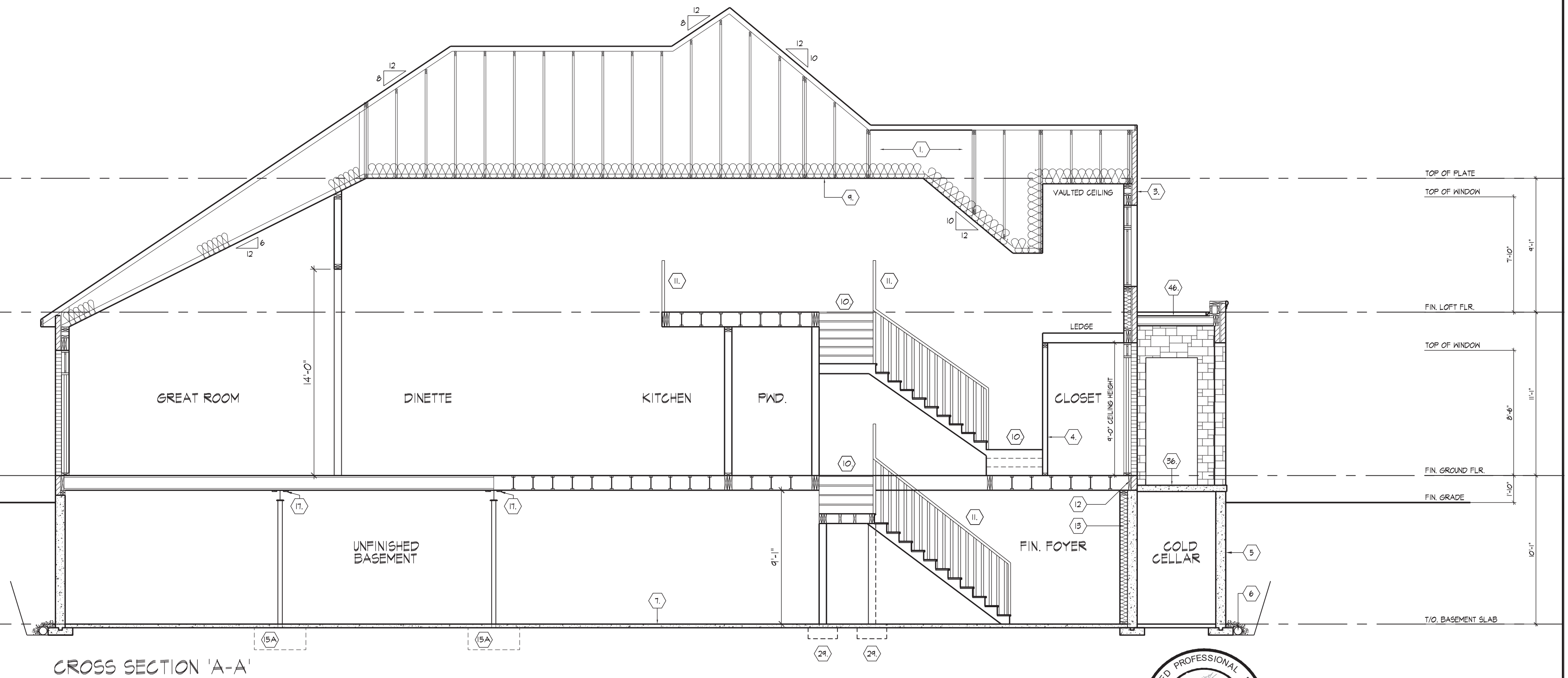
RIGHT SIDE ELEVATION 'C'
UNIT 4009-THE RIDGEVIEW
REV.2022.05.16

File Number: 221081WS4009.dwg
Page Number: 21 of 23

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REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

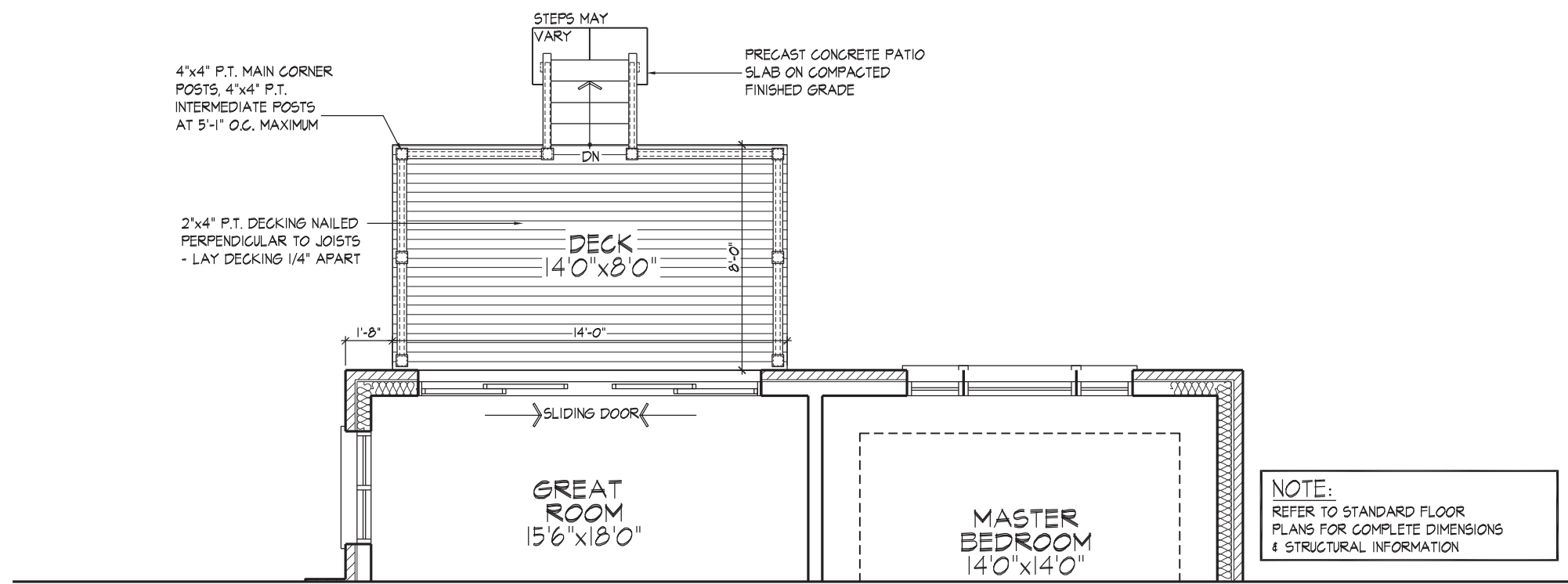
ROOF OVERHANGS TO BE 12"
UNLESS NOTED OTHERWISE



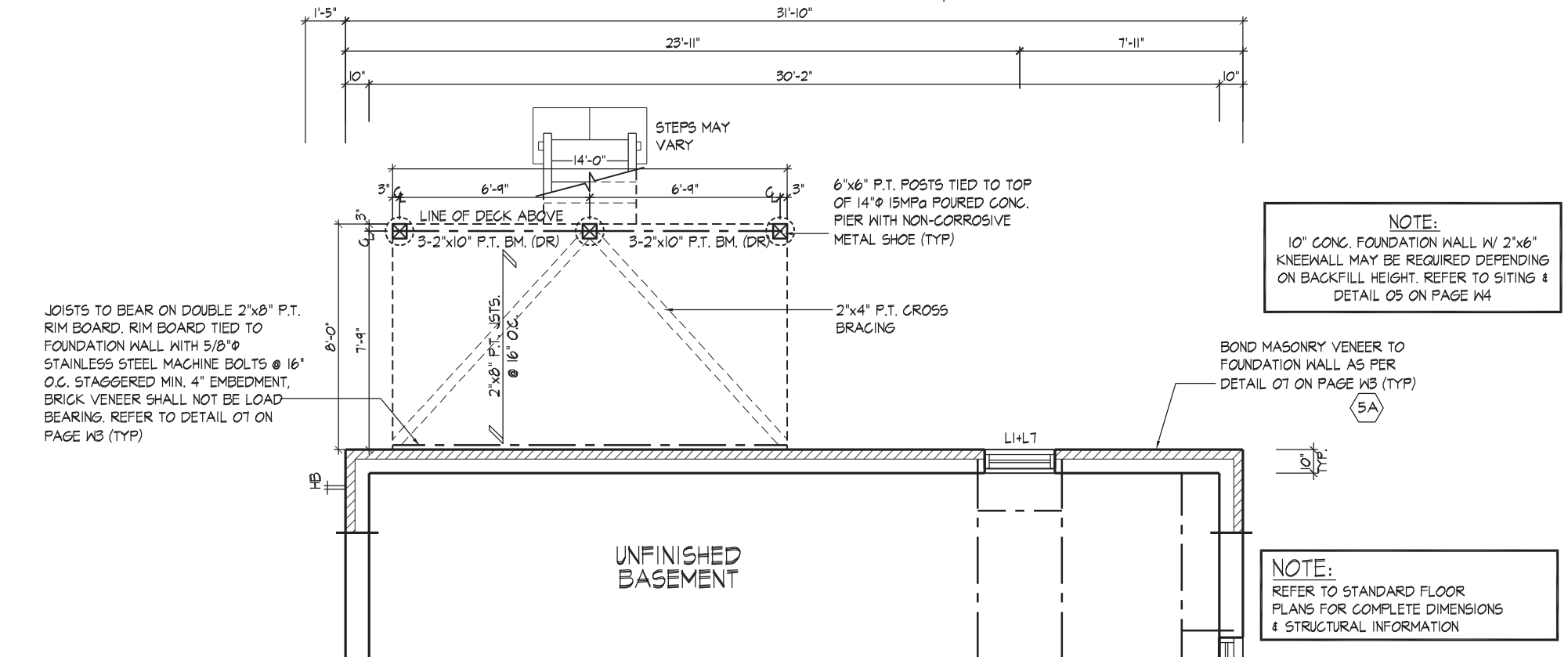
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PART. GROUND FLOOR PLAN ELEV. 'A', 'B' & 'C' - W.O.D. COND.



PART. BASEMENT PLAN ELEV. 'A', 'B' & 'C' - W.O.D. COND.



PART. REAR ELEVATION 'A', 'B' & 'C' - W.O.D. CONDITION

REFER TO FRONT ELEVATION & STANDARD REAR FOR TYPICAL NOTES & INFO.

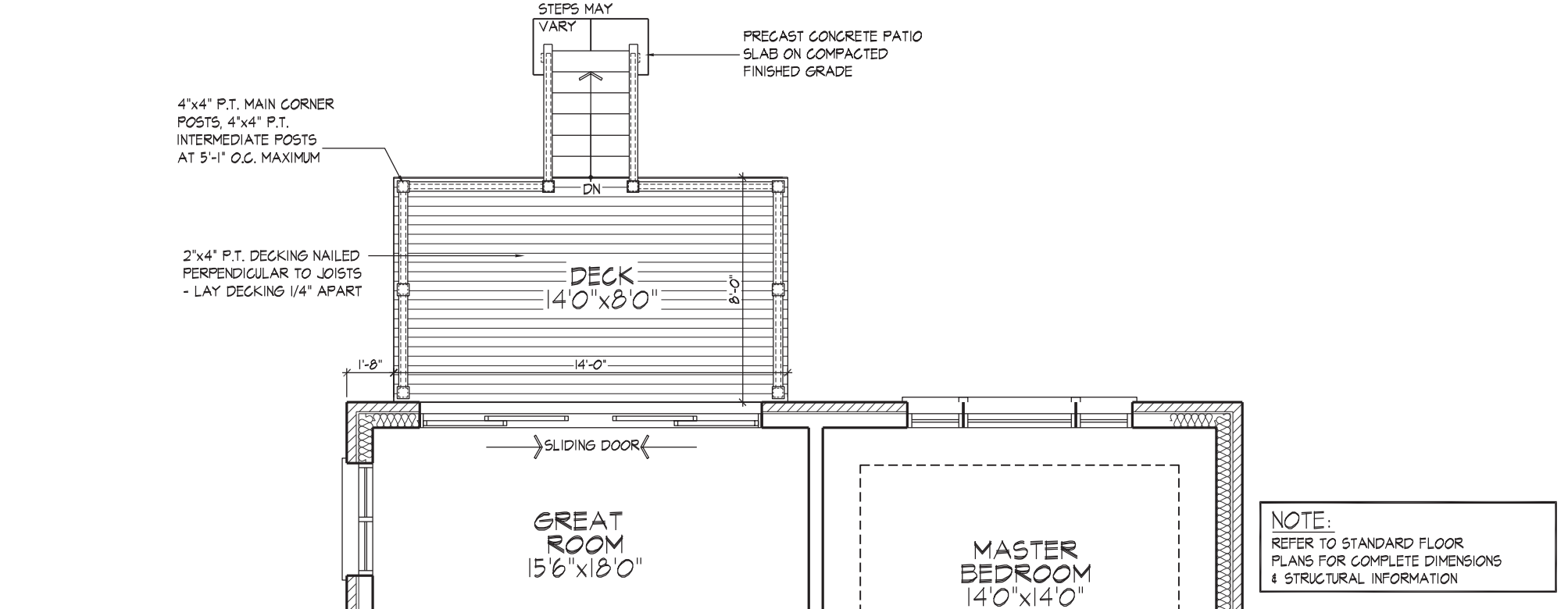
WINDOW SUMMARY				
PER O.B.C. TABLE 9.10.15.4				
REAR ELEVATION A, B & C-WOD				
QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	
2	24"	64"	18.87	
1	48"	64"	18.33	
1	30"	24"	3.51	
0	0"	0"	0.00	
0	0"	0"	0.00	
0	0"	0"	0.00	
0	0"	0"	0.00	
0	0"	0"	0.00	
0	0"	0"	0.00	
1	DOOR	103.42	103.42	
0	ARCH	0.00	0.00	
0	ARCH	0.00	0.00	
0	ARCH	0.00	0.00	
SPATIAL CALCULATION				
EXPOSING BUILDING	443.02	S.F.		
FACE AREA	41.16	S.M.		
PORTION WALL AREA	443.02	S.F.		
PORTION WALL AREA	41.16	S.M.		
LIMITING DISTANCE	7.5 m			
MAX. % OPENINGS	50	%		
OPENINGS ALLOWED	221.51	S.F.		
OPENINGS PROVIDED	142.03	S.F.		
ADDITIONAL NOTES				
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER				



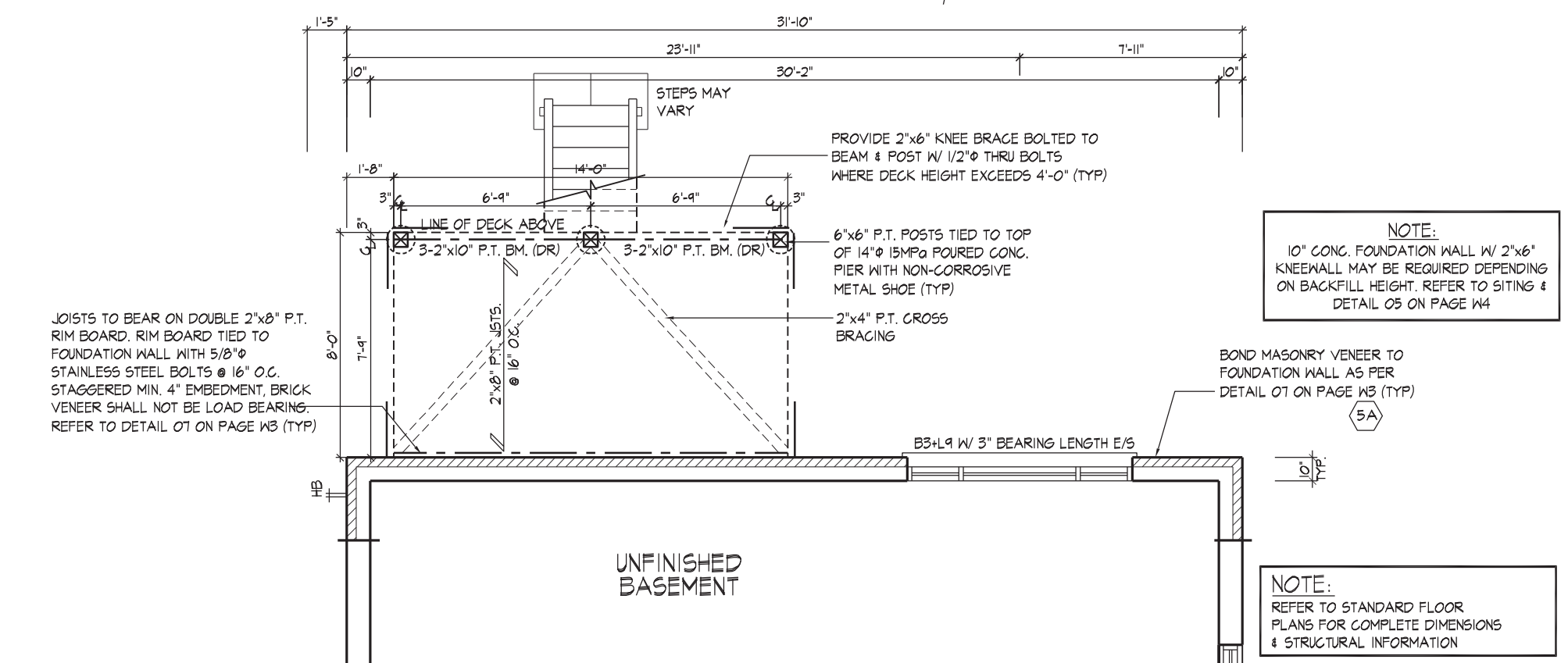
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PART. GROUND FLOOR PLAN ELEV. 'A', 'B' & 'C' - L.O.D. COND.



PART. BASEMENT PLAN ELEV. 'A', 'B' & 'C' - L.O.D. COND.



PART. REAR ELEVATION 'A', 'B' & 'C' - L.O.D. CONDITION

WINDOW SIZES FOR L.O.D. CONDITIONS: MATCH WIDTH OF WINDOW ABOVE AND WINDOWS TO BE 30" DEEP. WINDOWS TO BE LOCATED WITHIN JOIST SPACE. IF GRADE PERMITS, TOP OF WINDOW TO BE 7'-0" FOR STD. AND 8'-0" FOR OPT. 9' BSMT A.F.F.

REFER TO FRONT ELEVATION & STANDARD REAR FOR TYPICAL NOTES & INFO.

WINDOW SUMMARY				
PER O.B.C. TABLE 9.10.15.4				
REAR ELEVATION A, B & C-L.O.D				
QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	
2	24"	64"	18.87	
1	48"	64"	18.33	
2	30"	24"	7.22	
1	48"	30"	7.34	
0	0"	0"	0.00	
0	0"	0"	0.00	
0	0"	0"	0.00	
0	0"	0"	0.00	
0	0"	0"	0.00	
1	DOOR	103.42	103.42	
0	ARCH	0.00	0.00	
0	ARCH	0.00	0.00	
0	ARCH	0.00	0.00	
SPATIAL CALCULATION				
EXPOSING BUILDING	488.11	S.F.		
FACE AREA	45.35	S.M.		
PORTION WALL AREA	488.11	S.F.		
PORTION WALL AREA	45.35	S.M.		
LIMITING DISTANCE	7.5 m			
MAX. % OPENINGS	50	%		
OPENINGS ALLOWED	244.06	S.F.		
OPENINGS PROVIDED	153.59	S.F.		
ADDITIONAL NOTES				
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER				

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY: [Signature]
DATE: MAY 22, 2022
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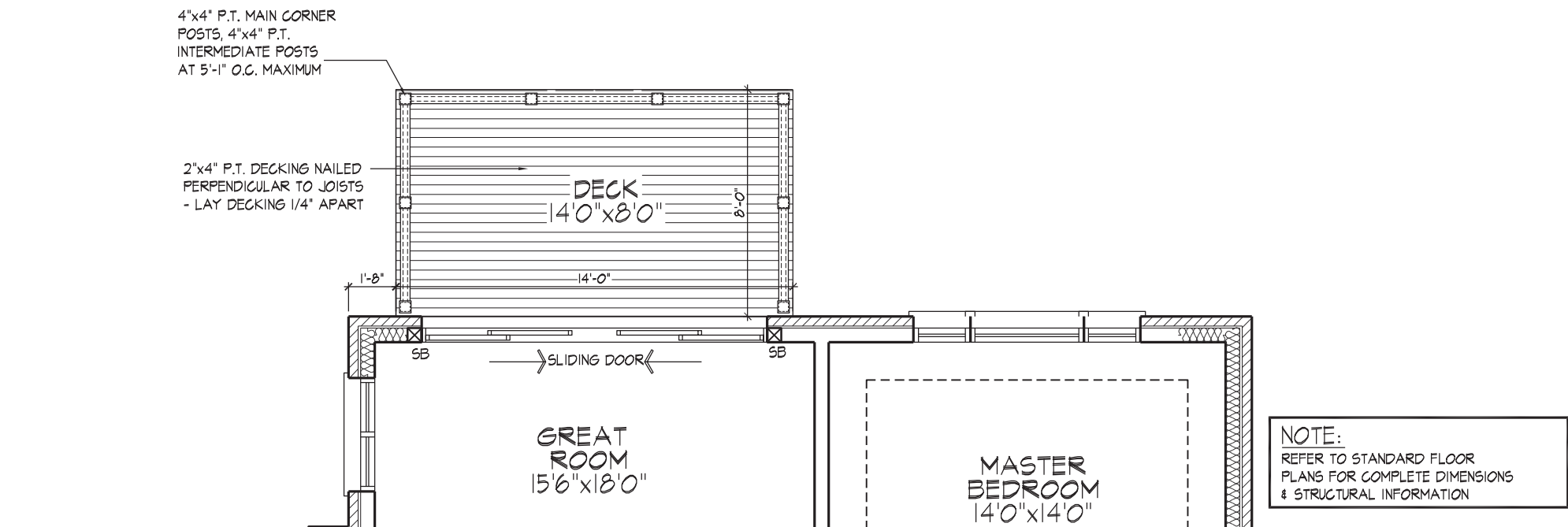
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QUALIFICATION INFORMATION: [Signature]
NAME: Allan Whiting
REGISTRATION INFORMATION: BCIN
HUNT DESIGN ASSOCIATES INC. 19695

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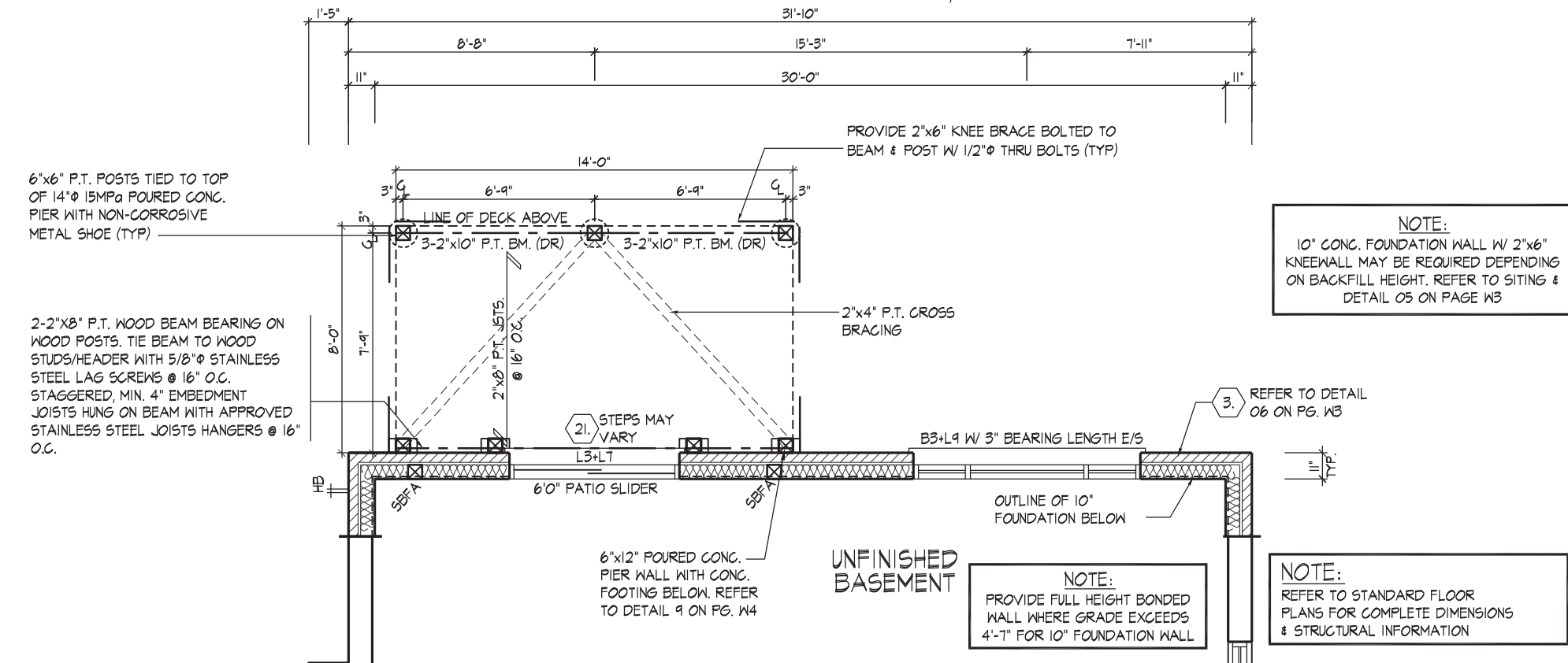
GOLDPARK HOMES - 221081
PINE VALLEY PH. 2, VAUGHAN, ON.
Down By: NEA
Scale: AW
3/16"=1'-0"

DECK CONDITIONS
UNIT 4009-THE RIDGEVIEW
REV.2022.05.16
File Number: 221081WS4009.dwg
Page Number: W1 of W4

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PART. BASEMENT PLAN ELEV. 'A', 'B' & 'C' - W.O.B. COND.



PART. REAR ELEVATION 'A', 'B' & 'C' W.O.B. CONDITION

WINDOW SUMMARY			
PER O.B.C. TABLE 9.10.15.4			
REAR ELEVATION A, B & C-WOB			
QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)
2	24"	84"	16.67
1	48"	84"	18.33
2	24"	58"	14.44
1	48"	58"	15.89
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
1	DOOR	103.42	103.42
1	DOOR	22.00	22.00
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00
SPATIAL CALCULATION			
EXPOSING BUILDING	631.53	S.F.	
FACE AREA	58.67	S.M.	
PORTION WALL AREA	631.53	S.F.	
PORTION WALL AREA	58.67	S.M.	
LIMITING DISTANCE	50	%	
MAX % OPENINGS	315.77	S.F.	
OPENINGS ALLOWED	190.75	S.F.	
OPENINGS PROVIDED			
ADDITIONAL NOTES			
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER			

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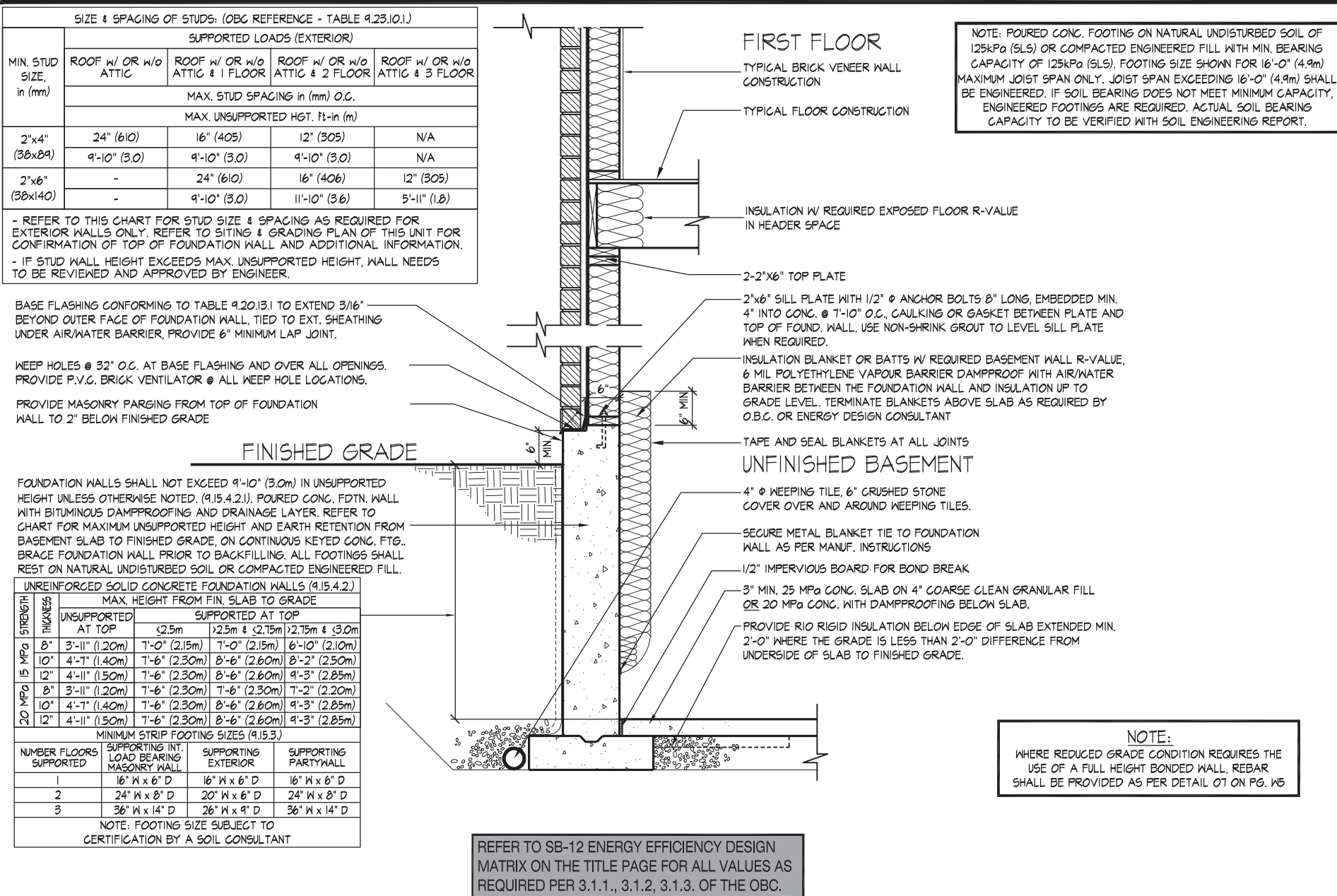
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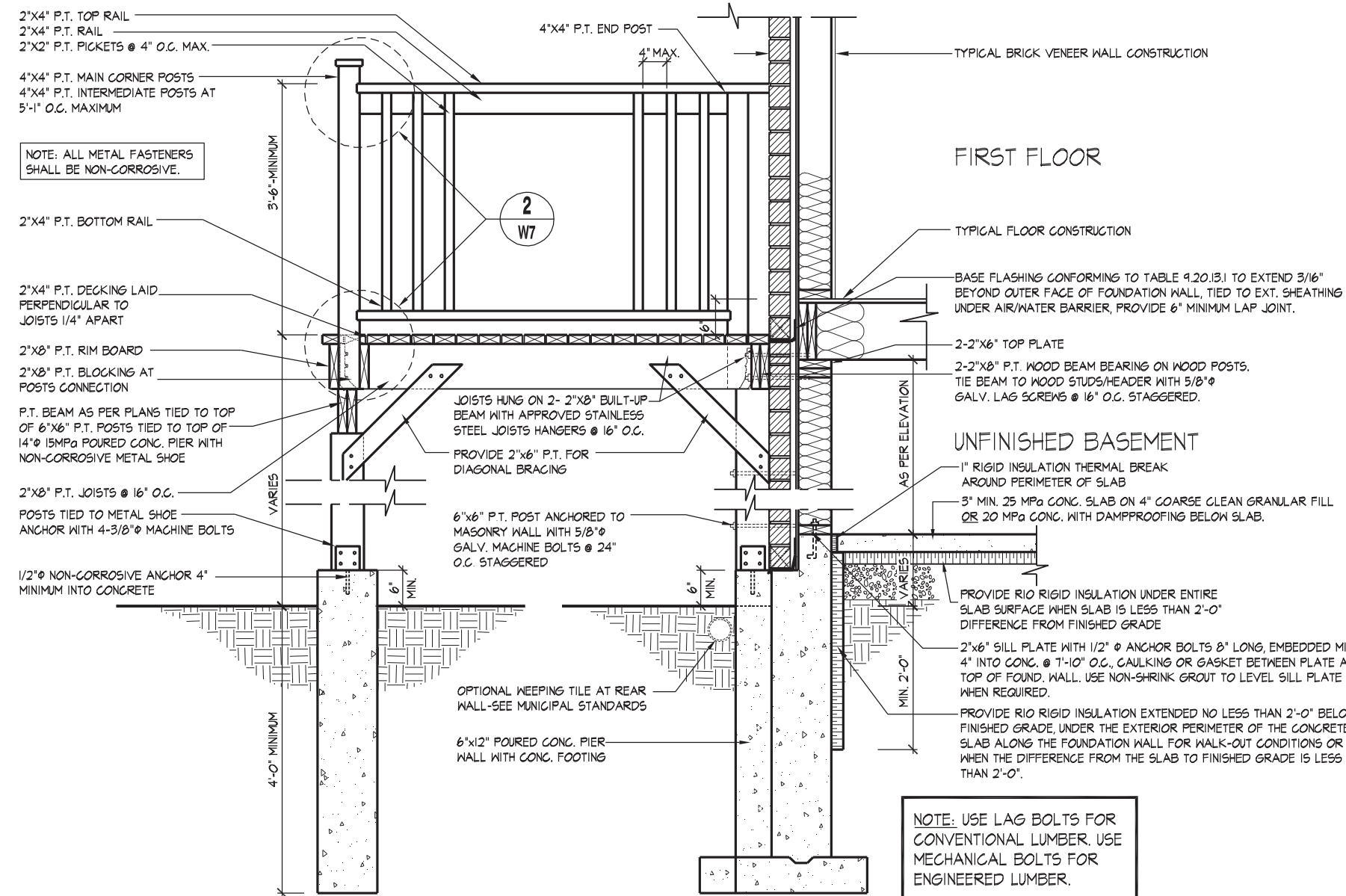
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Scale: 3/16"=1'-0"

DECK CONDITIONS
UNIT 4009-THE RIDGEVIEW
REV.2022.05.16

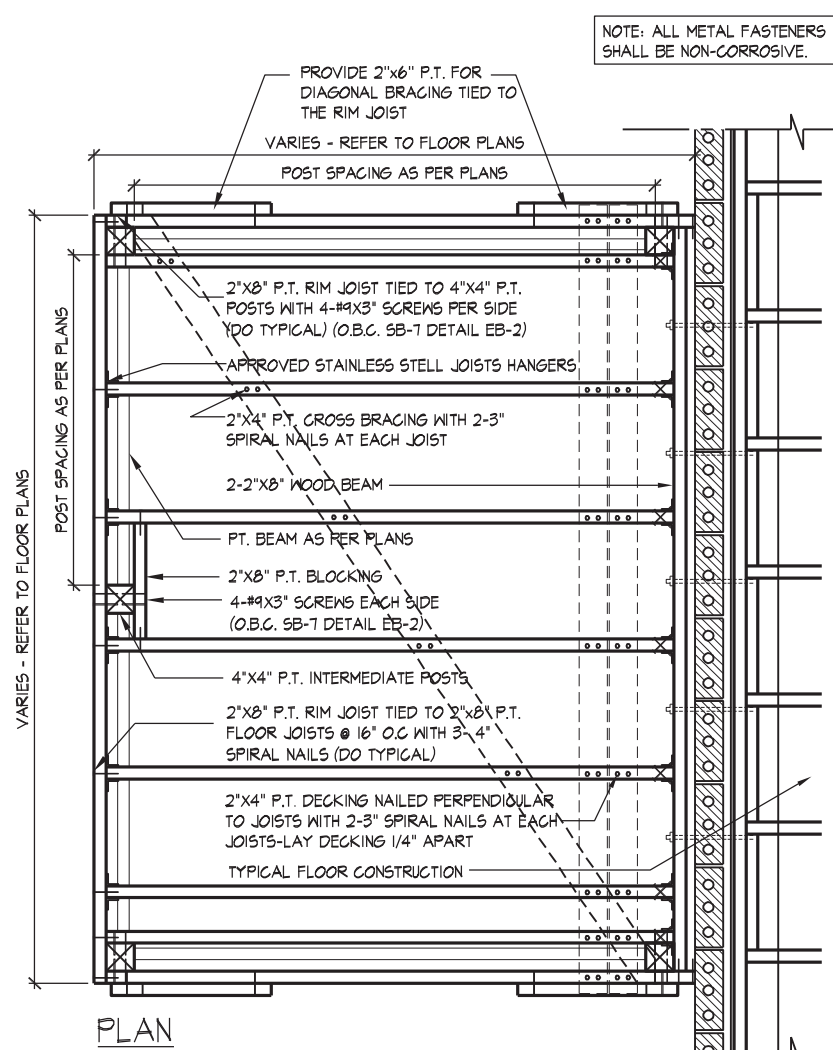
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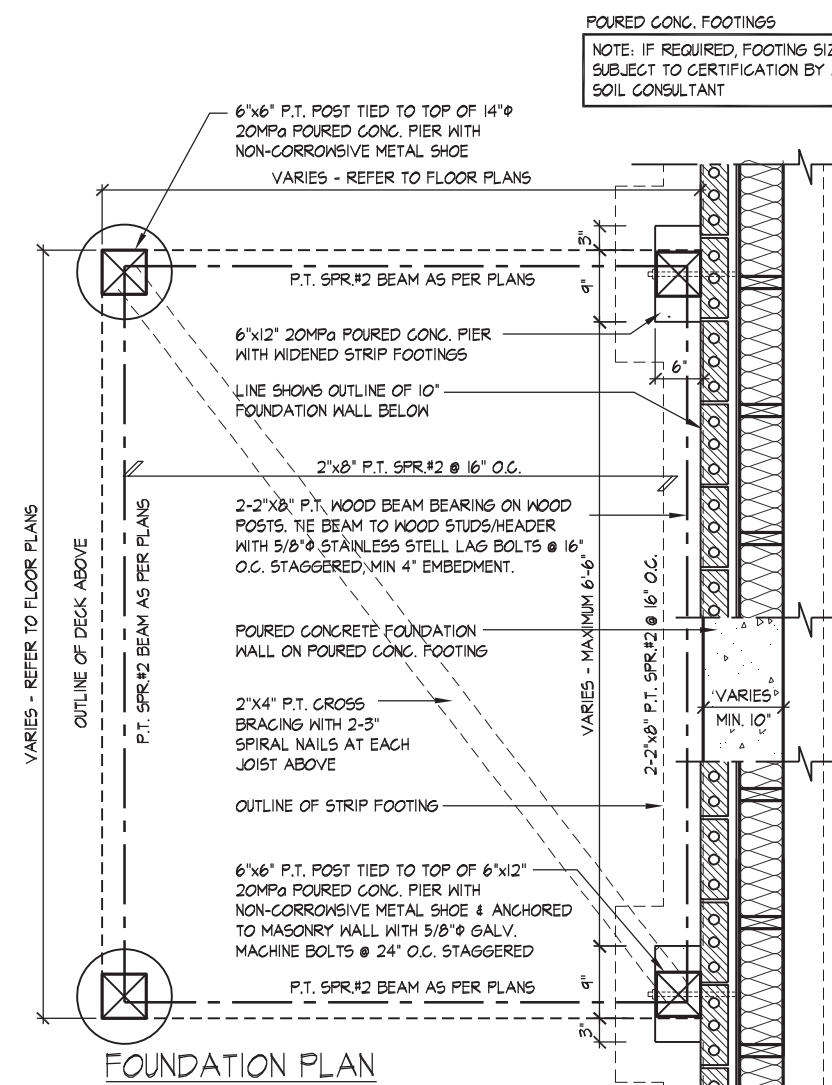


09 MASONRY VENEER, TYPICAL WOOD DECK FOR WALK OUT BASEMENT
1/2" = 1'-0"

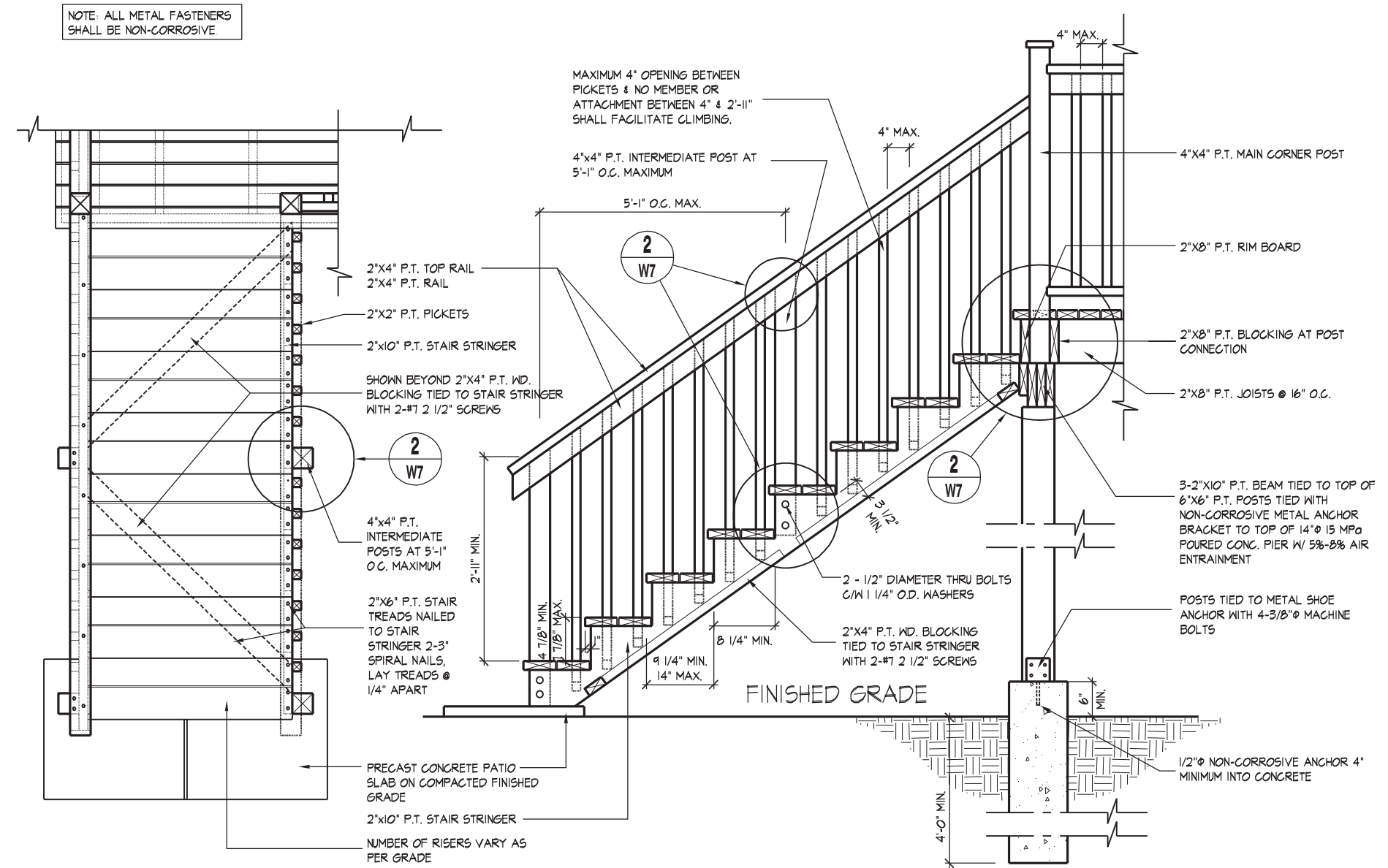


GENERAL NOTES:
1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE O.B.C. AND S.B.-7 OF THE SUPPLEMENTARY STANDARD.
2. LUMBER GRADES SHALL NOT BE LESS THAN NO. 2 S.F.
3. LUMBER SHALL BE FREE OF LOOSE KNOTS AND ALL CUT ENDS OF PRESERVATIVE TREATED LUMBER SHALL BE TREATED TO PREVENT DECAY.
SPECIES FOR POSTS, PICKETS AND RAILS SHALL BE DOUGLAS FIR-LARCH, HEM-FIR, SPRUCE-PINE-FIR.
5. ALL FASTENERS, SCREWS AND NAILS SHALL BE RESISTANT TO CORROSION - NAILS TO BE COMMON SPIRAL.

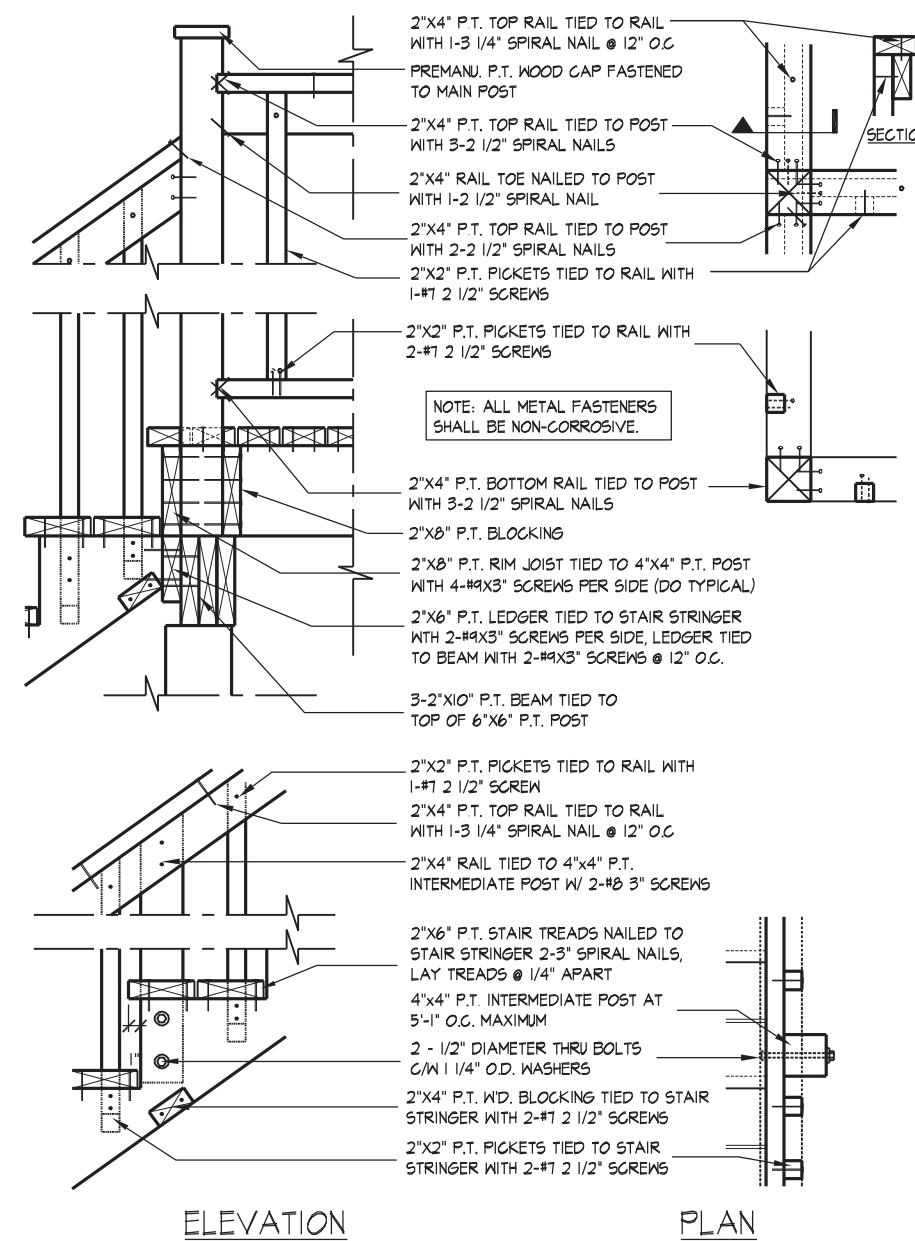
10 MASONRY VENEER, TYPICAL DECK FRAMING PLAN
1/2" = 1'-0"



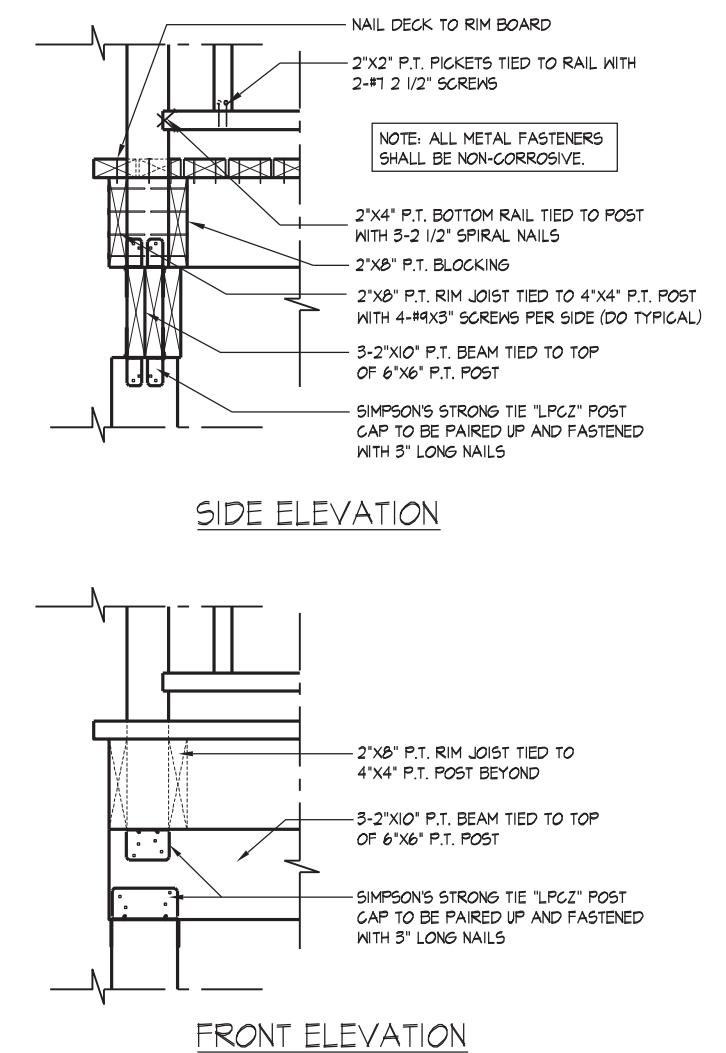
11 MASONRY VENEER, TYPICAL DECK FOUNDATION PLAN
1/2" = 1'-0"



01 TYPICAL WOOD DECK STAIR
1/2" = 1'-0"



02 TYP. MAIN AND INTERMEDIATE POST ANCHORAGE
3/4" = 1'-0"



03 TYP. POST & BEAM CONNECTION
3/4" = 1'-0"



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