





ELEVATION 'A'

ELEVATION 'B'

ELEVATION 'C'

UNIT 4009 - "THE RIDGEVIEW"

SB-12 ENERGY EFFICIENC	Y DESIGN MATRIX
DDECODIDENTE COMPLIANTOE	OD 40 (OEOTION 0.4.4) TABLE 0.4.4.0

PRESCRIPTIVE COMPLIANCE SB-12	(SECTION 3.1.1)	TABLE 3.1.1.2
	SPACE HEA	ATING FUEL
PACKAGE A1	■ GAS	□ OIL
FAUNAGE AT	□ ELECTRIC	☐ PROPANE
	□ EARTH	□ SOLID FUE
BUILDING COMPONENT	REQUIRED	PROPOSEI
INSULATION RSI (R) VALUE		
CEILING W/ ATTIC SPACE	10.56 (R60)	10.56 (R60)
CEILING W/O ATTIC SPACE	5.46 (R31)	5.46 (R31)
EXPOSED FLOOR	5.46 (R31)	5.46 (R31)
WALLS ABOVE GRADE	3.87 (R22)	3.87 (R22)
BASEMENT WALLS	3.52 ci	3.52 ci
* PROPOSED VALUES MAY BE SUBSTITUTED W/ 2.11+1.76ci (R12+R10c	i) (R20 ci) ^	(R20 ci)
BELOW GRADE SLAB ENTIRE SURFACE > 600mm BELOW GRADE	-	-
EDGE OF BELOW GRADE SLAB \leq 600mm BELOW GRADE	1.76 (R10)	1.76 (R10)
HEATED SLAB OR SLAB \leq 600mm BELOW GRADE	1.76 (R10)	1.76 (R10)
WINDOWS & DOORS		
WINDOWS/SLIDING GLASS DOORS (MAX U-VALUE)	1.6	1.6
SKYLIGHTS (MAX. U-VALUE)	2.8	2.8
APPLIANCE EFFICIENCY	**	
SPACE HEATING EQUIP. (AFUE%)	96%	96%
HRV EFFICIENCY (%)	75%	75%
DHW HEATER (EF)	0.8	0.8

	STD. PLAN	STD. PLAN	STD. PLAN			
GROUND FLOOR AREA	1883 sq. ft.	1883 sq. ft.	1895 sq. ft.			
	(174.94 sq. m.)	(174.94 sq. m.)	(176.05 sq. m.)			
OFT FLOOR AREA	1051 sq. ft.	977 sq. ft.	1130 sq. ft.			
	(97.64 sq. m.)	(90.77 sq. m.)	(104.98 sq. m.)			
SUBTOTAL	2934 sq. ft.	2860 sq. ft.	3025 sq. ft.			
	(272.58 sq. m.)	(265.70 sq. m.)	(281.03 sq. m.)			
DEDUCT ALL OPEN AREAS	126 sq. ft.	77 sq. ft.	135 sq. ft.			
	(11.71 sq. m.)	(7.15 sq. m.)	(12.54 sq. m.)			
TOTAL NET AREA	2808 sq. ft.	2783 sq. ft.	2890 sq. ft.			
	(260.87 sq. m.)	(258.55 sq. m.)	(268.49 sq. m.)			
INISHED BASEMENT AREA	197 sq. ft.	197 sq. ft.	209 sq. ft.			
	(18.30 sq. m.)	(18.30 sq. m.)	(19.42 sq. m.)			
COVERAGE	2284 sq. ft.	2284 sq. ft.	2295 sq. ft.			
V/OUT PORCH	(212.19 sq. m.)	(212.19 sq. m.)	(213.21 sq. m.)			
COVERAGE	2344 sq. ft.	2363 sq. ft.	2365 sq. ft.			
V/ PORCH	(217.76 sq. m.)	(219.53 sq. m.)	(219.72 sq. m.)			
VINDOW / WALL AREA	EL. 'A'	EL. 'B'	EL. 'C'	EL. 'A'	EL. 'B'	EL. 'C
CALCULATIONS	STD. PLAN	STD. PLAN	STD. PLAN	W.O.D.	W.O.D.	W.O.D
GROSS WALL AREA	4339 sq. ft.	3965 sq. ft.	4169 sq. ft.	4362.31 sq. ft.	3989 sq. ft.	4193 sq.
	(403.11 sq. m.)	(368.36 sq. m.)	(387.31 sq. m.)	(405.27 sq. m.)	(370.59 sq. m.)	(389.54 sq.
GROSS WINDOW AREA	420 sq. ft.	407 sq. ft.	456 sq. ft.	422 sq. ft.	408 sq. ft.	458 sq.
NCL. GLASS DOORS & SKYLIGHTS)	(39.02 sq. m.)	(37.81 sq. m.)	(42.36 sq. m.)	(39.21 sq. m.)	(37.90 sq. m.)	(42.55 sq.
FOTAL WINDOW %	9.68 %	10.26 %	10.94 %	9.67 %	10.23 %	10.92

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- 2 BASEMENT PLAN, ELEV. 'A'
- 3 OPT. 9' BASEMENT PLAN, ELEV. 'A'
- 4 GROUND FLOOR PLAN, ELEV. 'A'
- 5 LOFT FLOOR PLAN, ELEV. 'A'
- 6 BASEMENT PLAN, ELEV. 'B' 7 - GROUND FLOOR PLAN, ELEV. 'B'
- 8 LOFT FLOOR PLAN, ELÉV. 'B'
- 9 BASEMENT PLAN, ELEV. 'C'
- 10 GROUND FLOOR PLAN, ELEV. 'C'
- 11 LOFT FLOOR PLAN, ELEV. 'C'
- 12 FRONT ELEVATION 'A'
- 13 LEFT SIDE ELEVATION 'A'
- 14 RIGHT SIDE ELEVATION 'A'
- 15 REAR ELEVATION 'A', 'B' &, 'C'
- 16 FRONT ELEVATION 'B' 17 - LEFT SIDE ELEVATION 'B'
- 18 RIGHT SIDE ELEVATION 'B'
- 19 FRONT ELEVATION 'C' 20 - LEFT SIDE ELEVATION 'C'
- 21 RIGHT SIDE ELEVATION 'C'
- 22 CROSS SECTION 'A-A' 23 - CONSTRUCTION NOTES
- W1 DECK CONDITIONS
- W2 DECK CONDITIONS
- W3 DECK DETAILS
- W4 DECK DETAILS

GOLD	PARK	
	WORTH MORE"	

NAME REGISTRATION INFORMATION

HUNT DESIGN ASSOCIATES INC.



EL. 'A'	EL. 'B'	EL. 'C'	EL. 'A'	EL. 'B'	EL. 'C'
L.O.D.	L.O.D.	L.O.D.	W.O.B	W.O.B.	W.O.B.
4428 sq. ft.	4054 sq. ft.	4259 sq. ft.	4610 sq. ft.	4237 sq. ft.	4440 sq. ft.
(411.37 sq. m.)	(376.63 sq. m.)	(395.67 sq. m.)	(428.28 sq. m.)	(393.63 sq. m.)	(412.49 sq. m.)
437 sq. ft.	424 sq. ft.	473 sq. ft.	454 sq. ft.	441 sq. ft.	490 sq. ft.
(40.60 sq. m.)	(39.39 sq. m.)	(43.94 sq. m.)	(42.18 sq. m.)	(40.97 sq. m.)	(45.52 sq. m.)
9.87 %	10.46 %	11.11 %	9.85 %	10.41 %	11.04 %

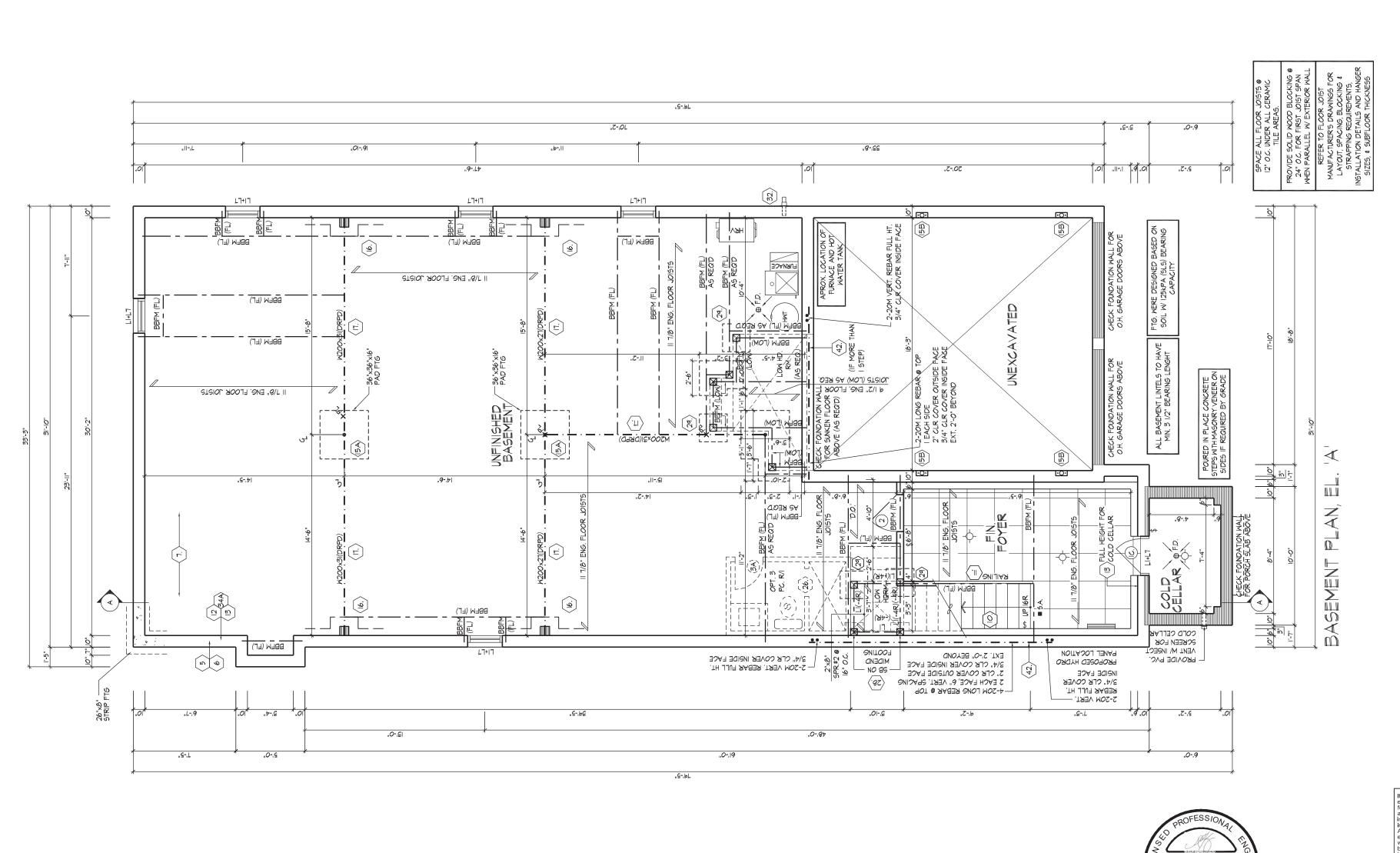
7. 6. 5. 4. 3. 2. REVISED AS PER STRUCTURAL COMMENTS & ISSUED FOR PERMIT
1. REVISED TO STANDARD 9FT BSMT & UPDATED CONSTRUCTION NOTES
2022/03/25 WT
REVISIONS
DATE (YYYYMMIDD) BY

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER. QUALIFICATION INFORMATION Allan Whiting 23177

HUNT UL
DESIGN ASSOCIATES INC

GOLDPARK HOMES - 221081PINE VALLEY PH. 2, VAUGHAN, ON.

TITLE PAGE
UNIT 4009-THE RIDGEVIEW
N. REV.2022.05.16
File Number Page Number
221081WS4009.dwg 1 of 23



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JOHN G. WILLIAMS LTD., ARCHITECT ARCHITECTURAL CONTROL REVIEW AND APPROVAL DATE: <u>MAY 27, 2022</u> his stamp certifies compliance with the applicate Design Guidelines only and bears no further professional responsibility.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE RECUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION

Allan Whiting

231' HUNTUU Allan Whiting

NAME
REGISTRATION INFORMATION www.huntdesign.ca 8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

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GOLDPARK HOMES - 221081 PINE VALLEY PH. 2, VAUGHAN, ON. Drawn By

FOR STRUCTURAL ONLY. EXCLUDING

JOIST, AND FLOOR LVL BEAM DESIGN.

ENGINEERED ROOF TRUSS, FLOOR

A. KONG

100184942 May 20, 2022

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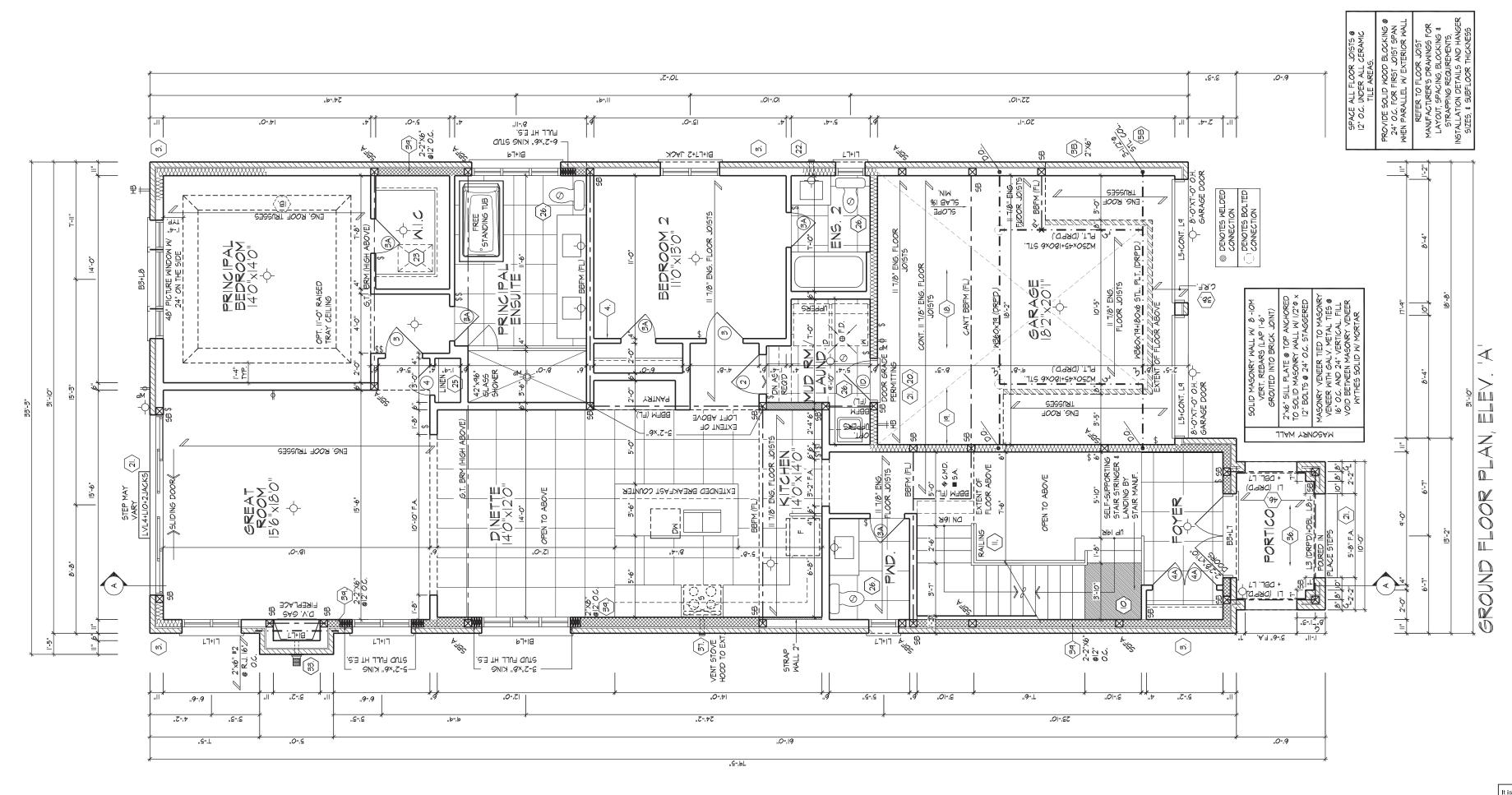
UNIT 4009-THE RIDGEVIEW Checked By Scale Scale 3/16"=1'-0" File Number 221081WS4009.dwg

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REV.2022.05.16

BASEMENT PLAN, EL. 'A'





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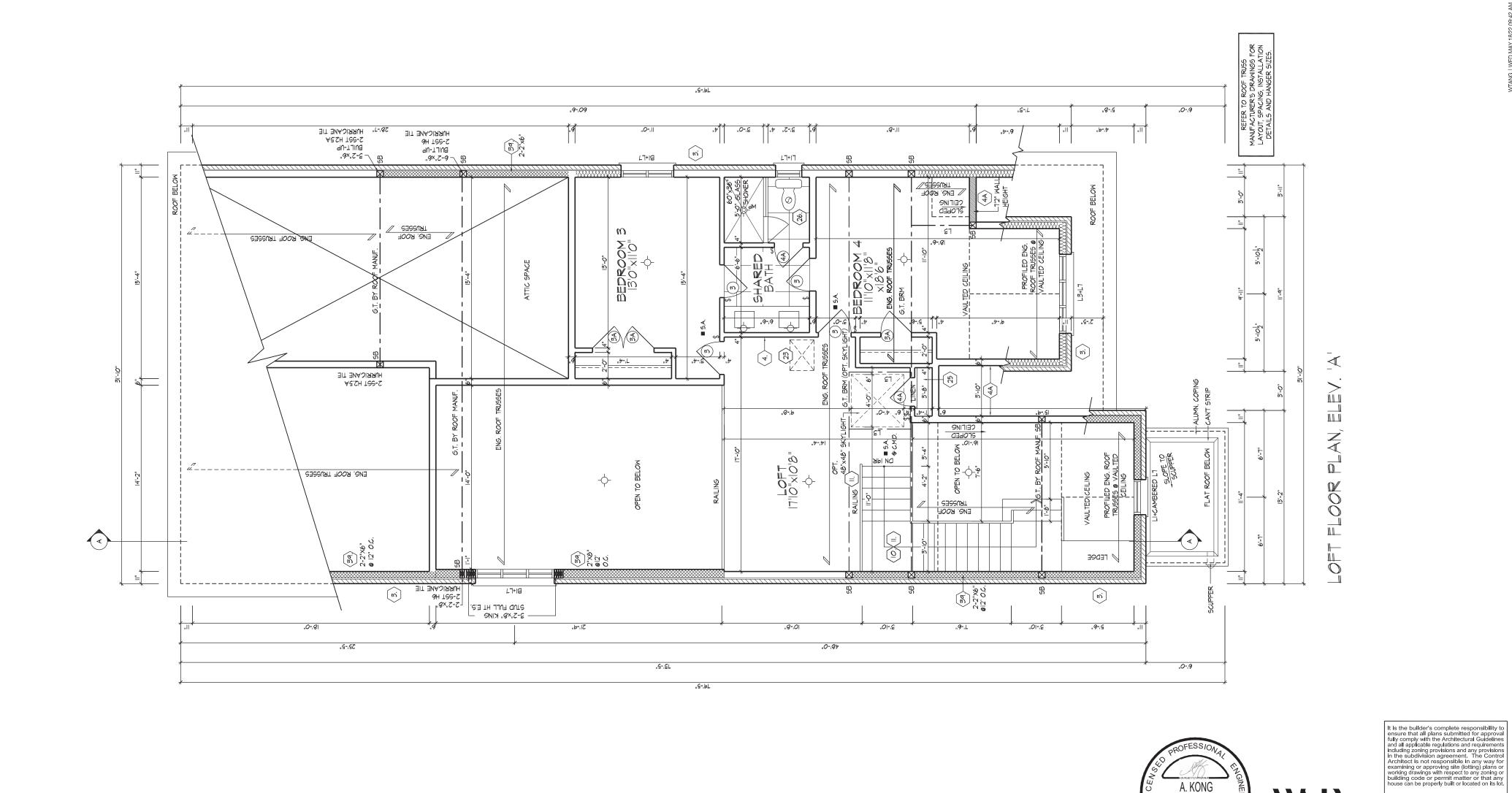
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AND APPROVAL
APPROVED BY:
DATE: MAY 27, 2022
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GROUND FLOOR PLAN, ELEV. 'A' THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS **GOLDPARK HOMES - 221081 UNIT 4009-THE RIDGEVIEW** DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE RECUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

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Allan Whiting 231 PINE VALLEY PH. 2, VAUGHAN, ON. REV.2022.05.16 **HUNT JU** Drawn By NAME REGISTRATION INFORMATION 221081WS4009.dwg AW 3/16"=1'-0" 4 of 23 8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326 www.huntdesign.ca HUNT DESIGN ASSOCIATES INC.



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Allan Whiting

NAME
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DATE: MAY 27, 2022

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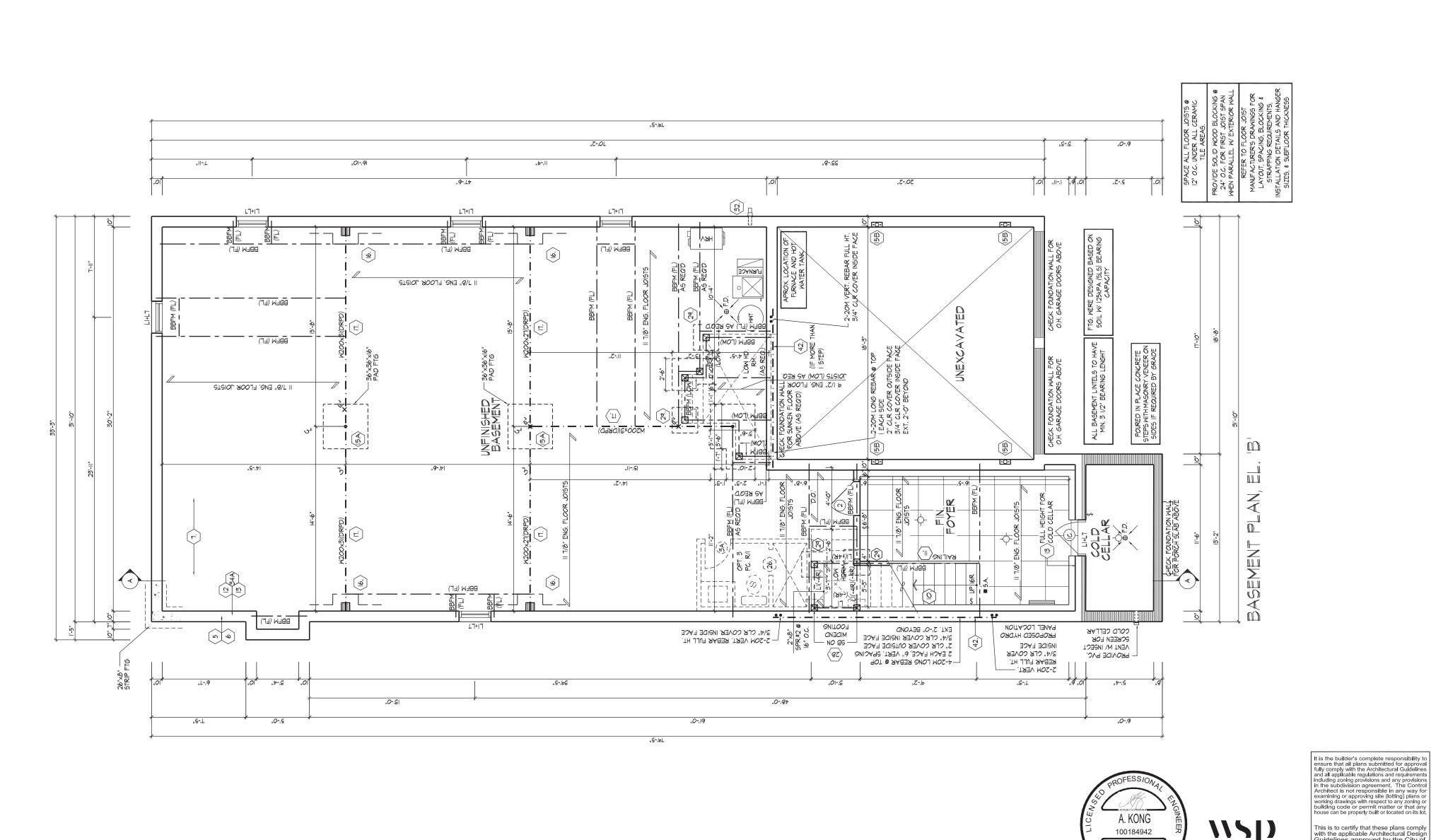
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BASEMENT PLAN, ELEV. 'B'

UNIT 4009-THE RIDGEVIEW

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Allan Whiting
SIGNATURE
BCIN
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HUNT DESIGN ASSOCIATES INC.
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GOLDPARK HOMES - 221081
PINE VALLEY PH. 2, VAUGHAN, ON.
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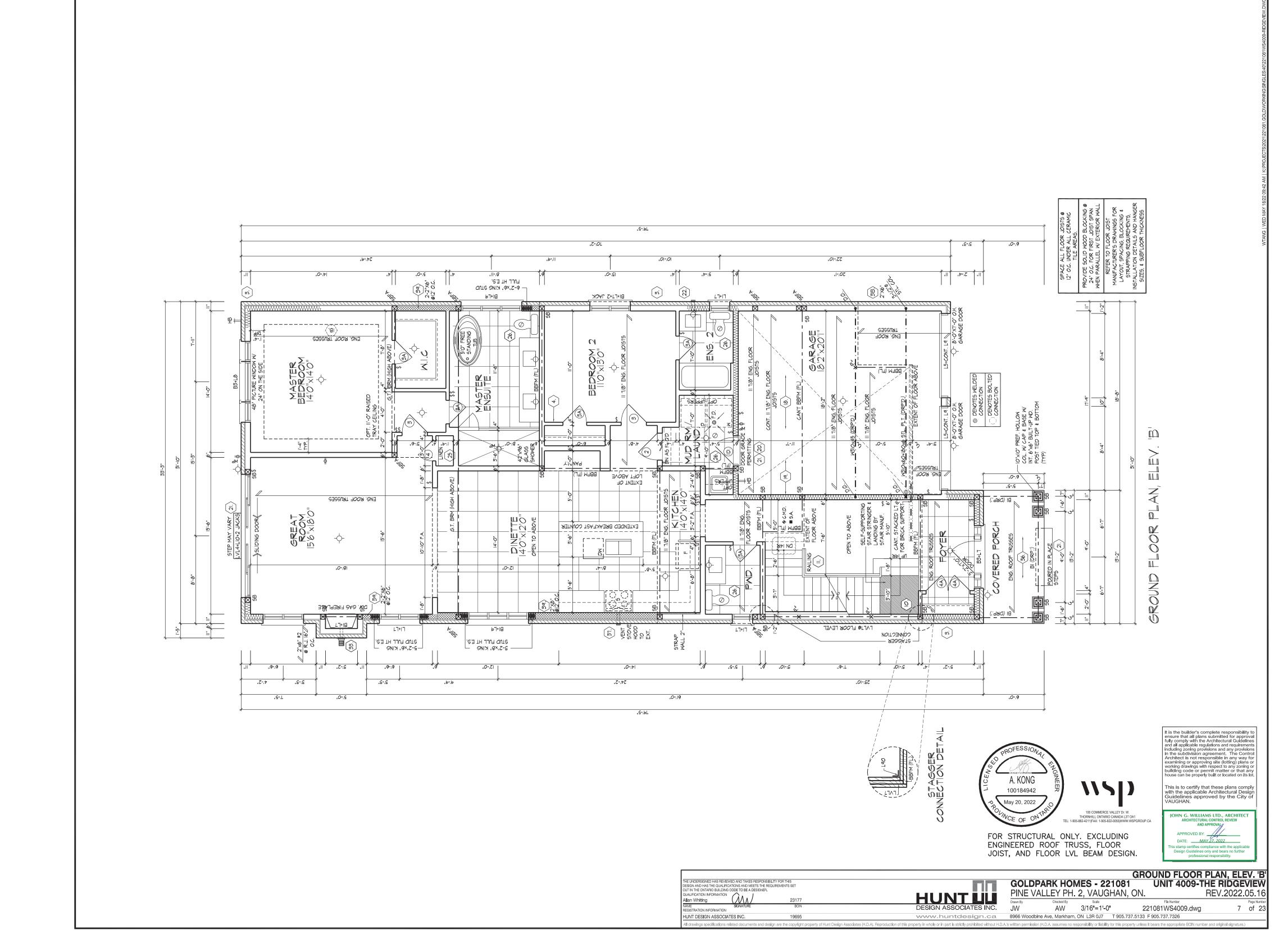
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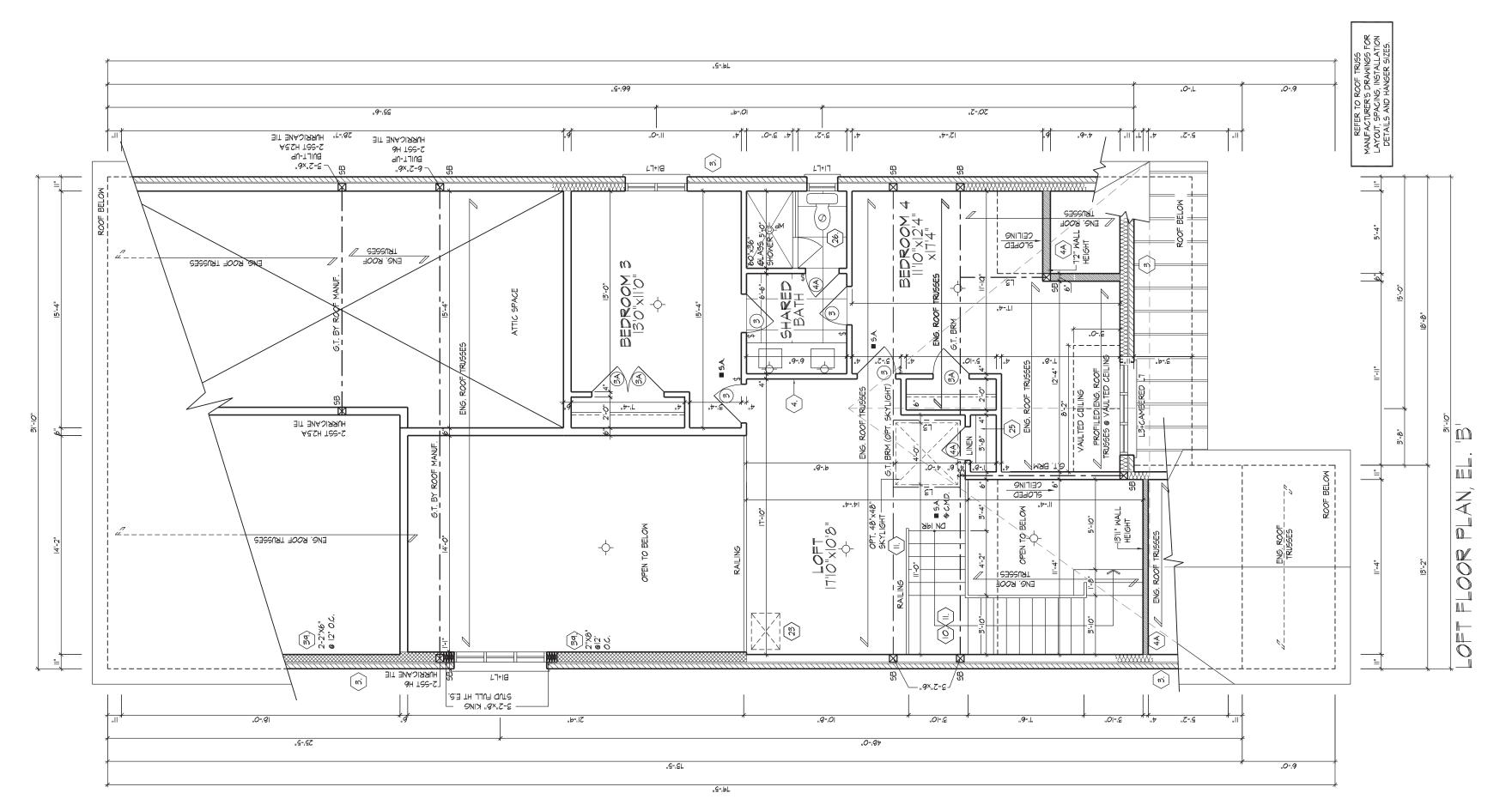
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LOFT FLOOR PLAN, ELEV. 'B' UNIT 4009-THE RIDGEVIEW GOLDPARK HOMES - 221081 PINE VALLEY PH. 2, VAUGHAN, ON.

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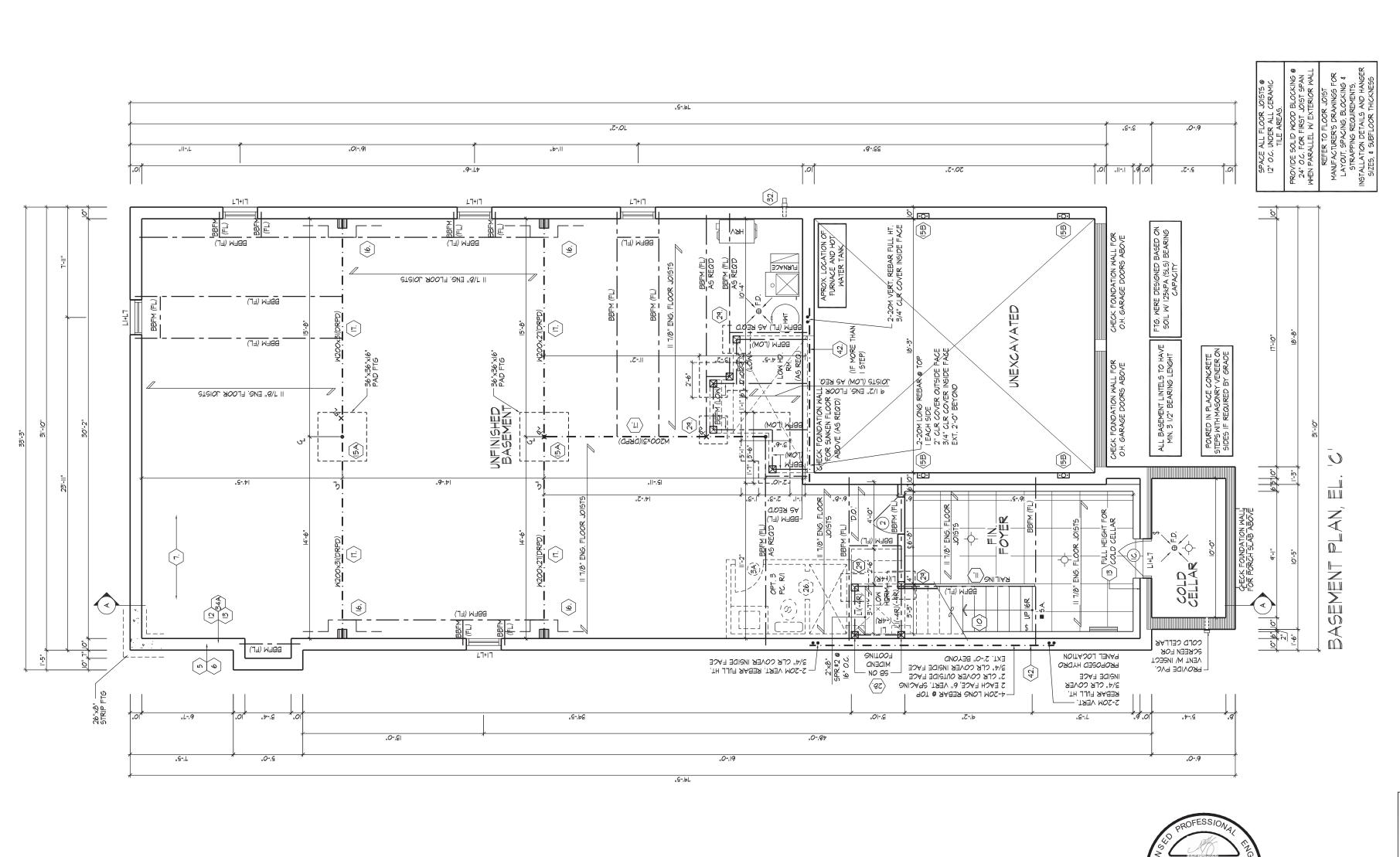
Allan Whiting

231' REV.2022.05.16 **HUNT LU** Allan Whiting

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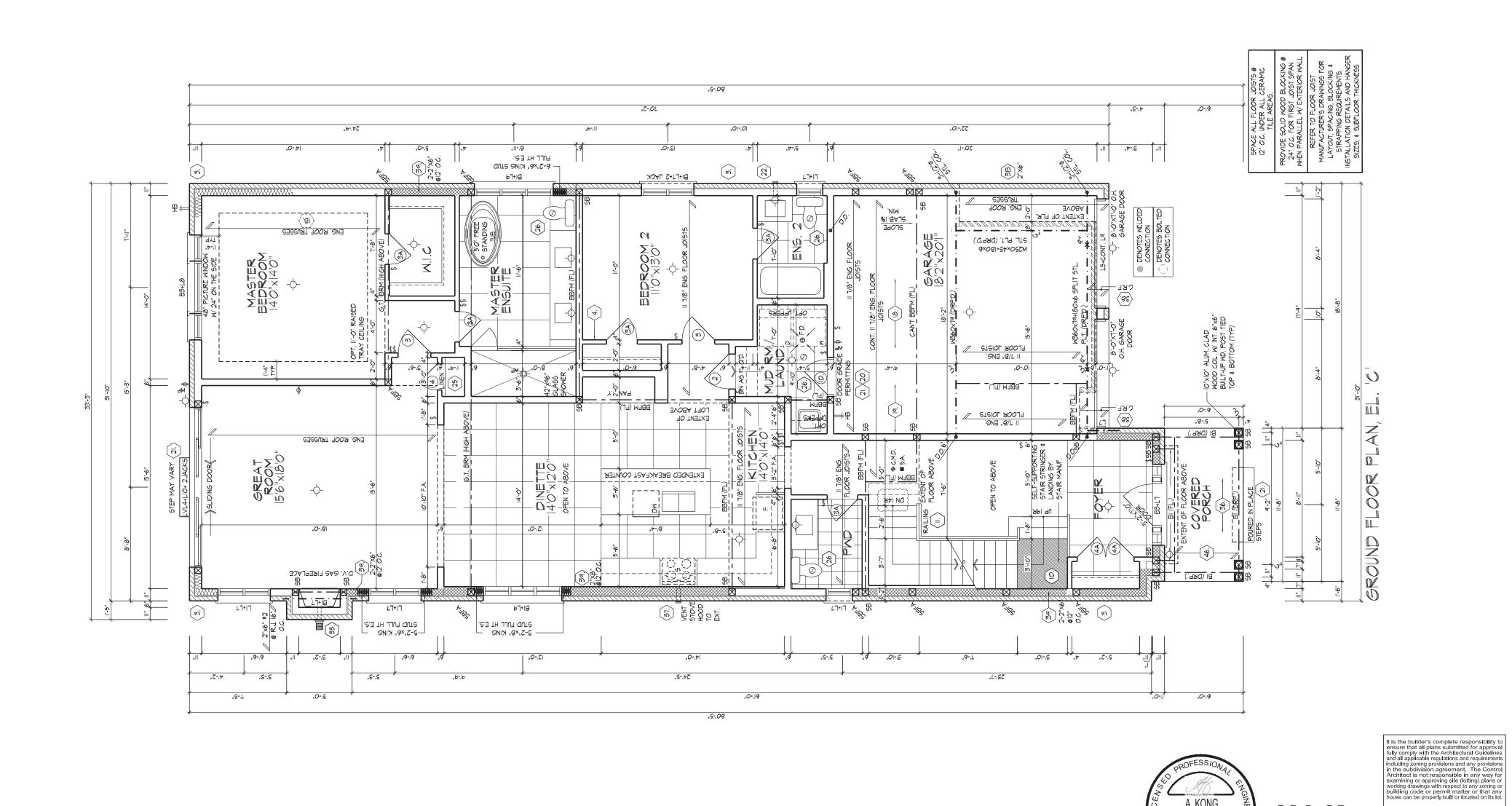
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BASEMENT PLAN, ELEV. 'C' UNIT 4009-THE RIDGEVIEW





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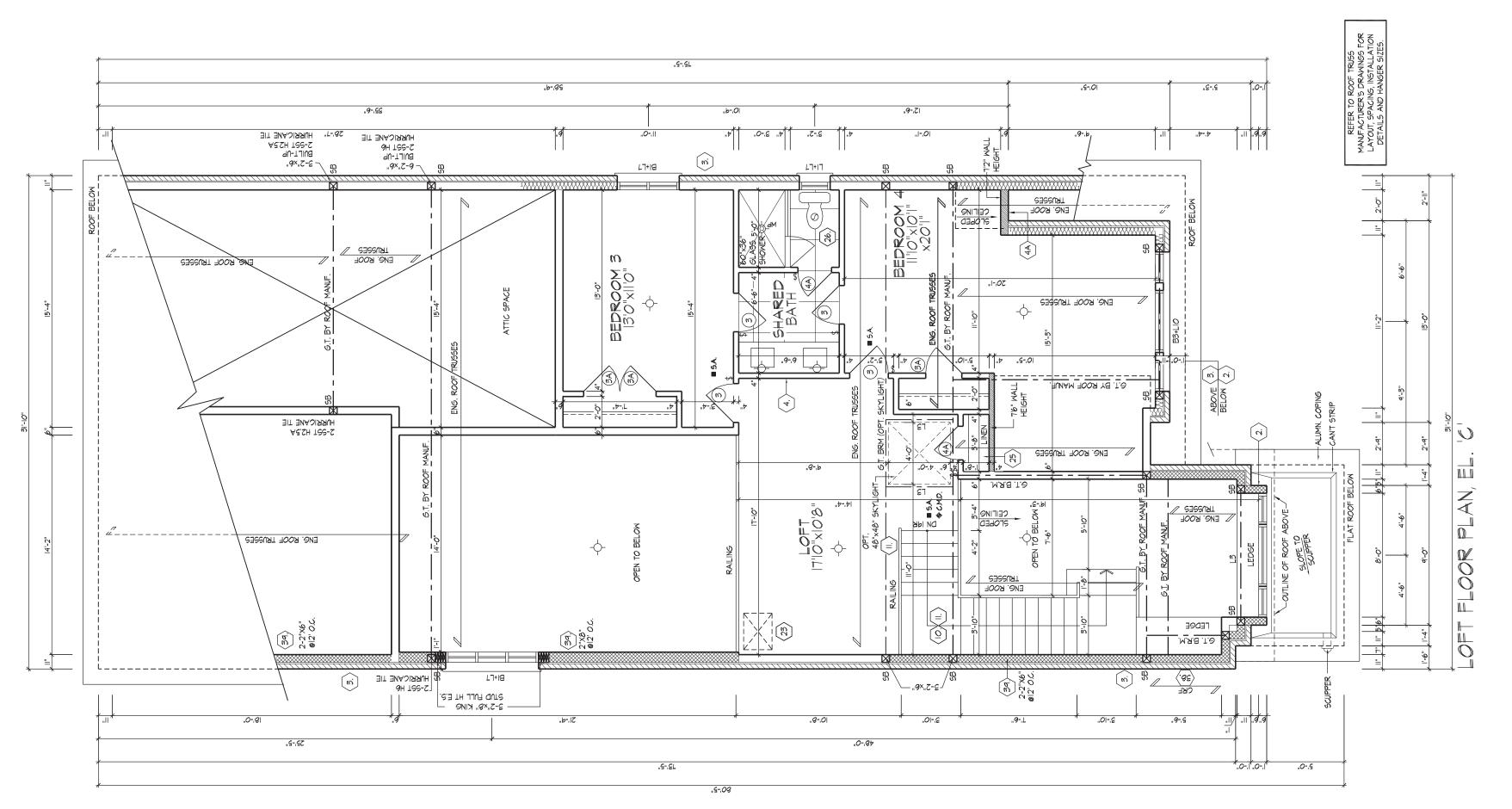
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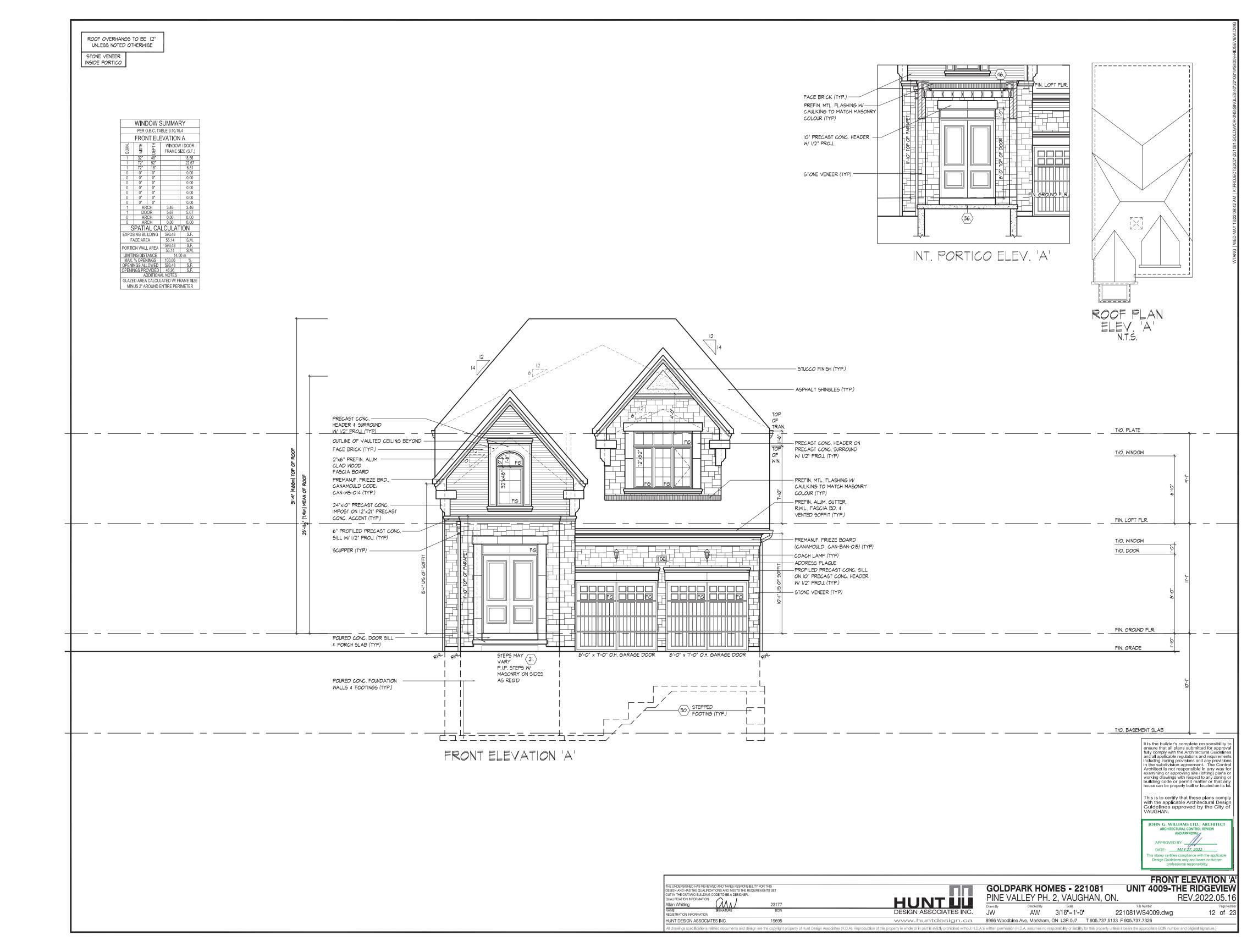
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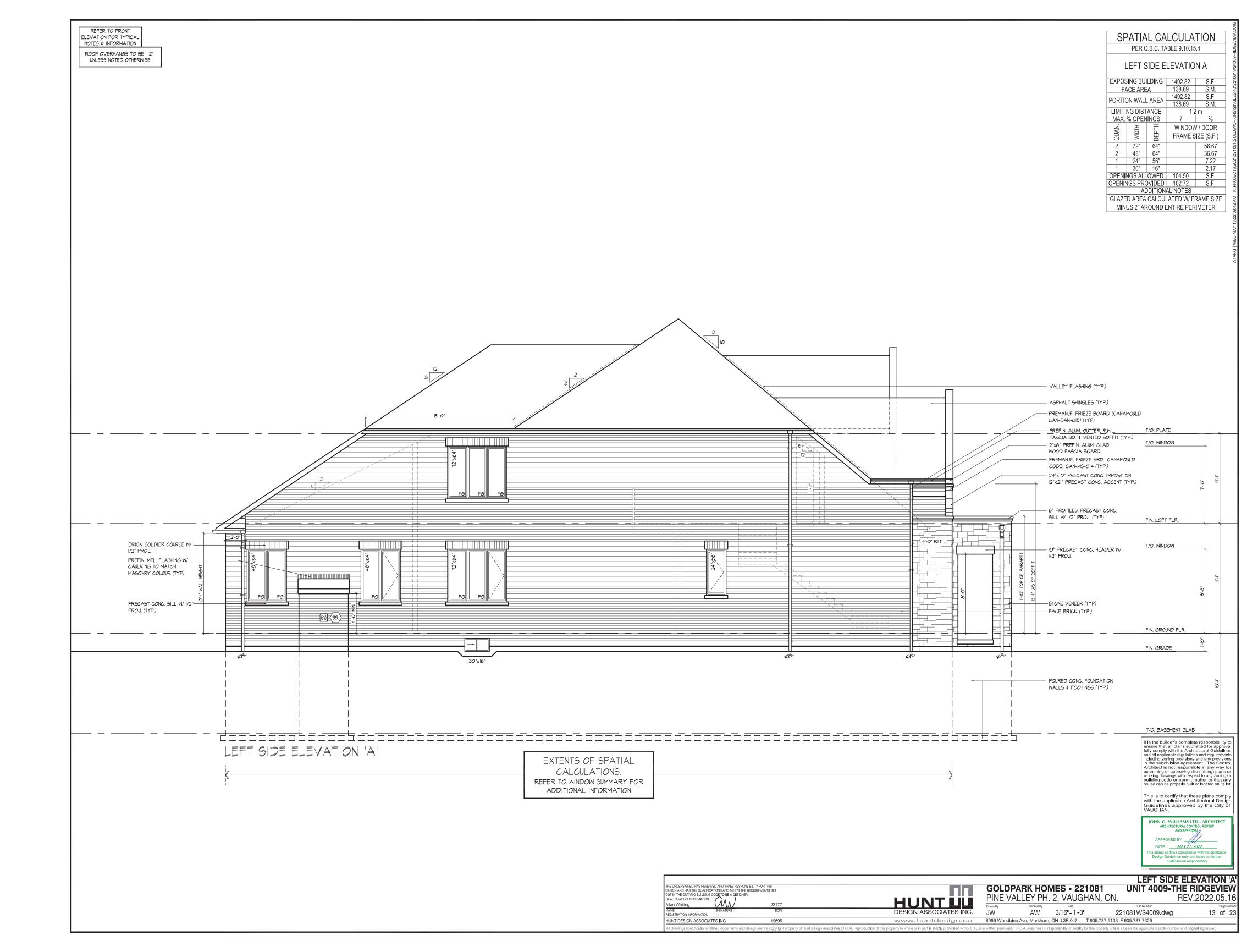
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Allan Whiting
23177

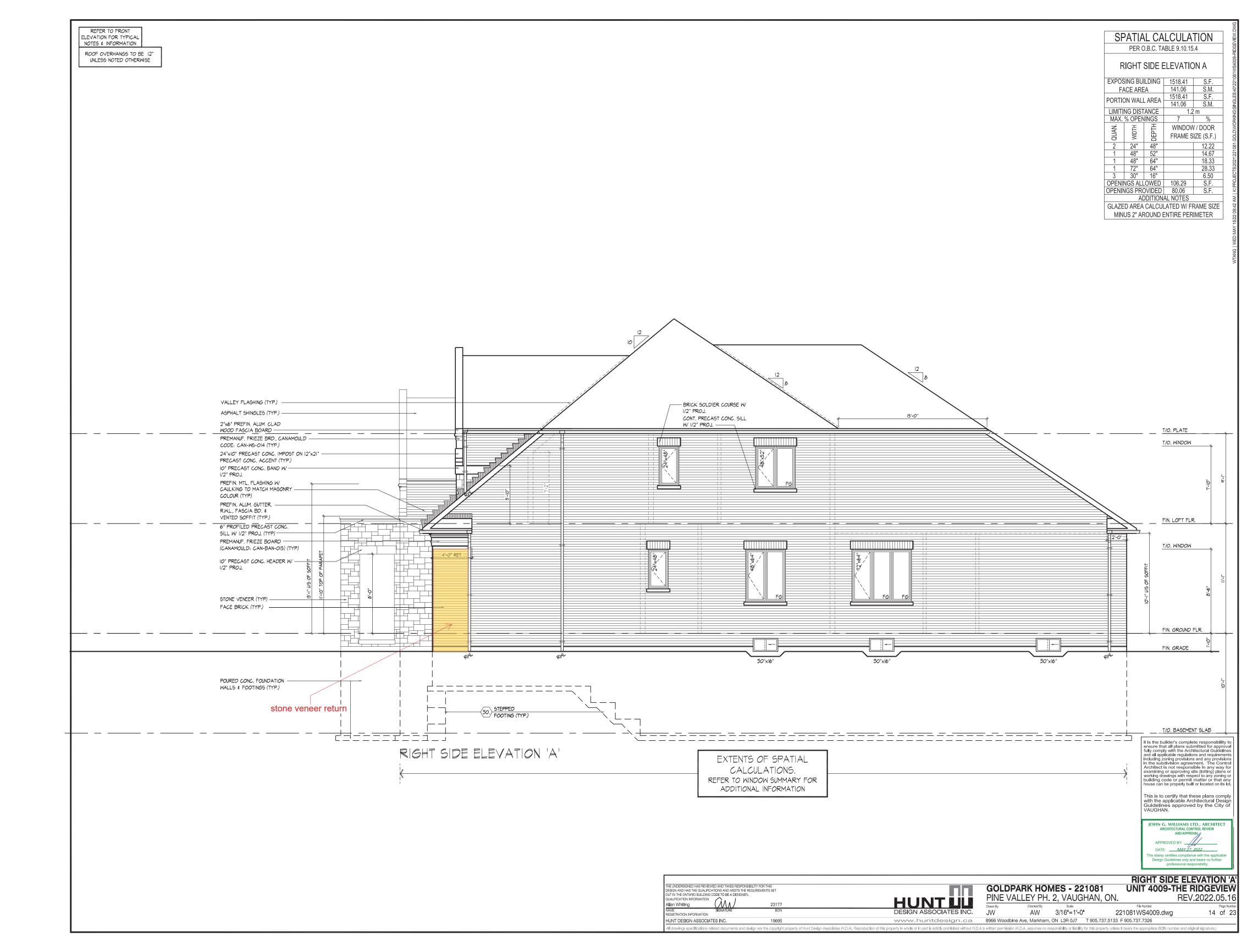
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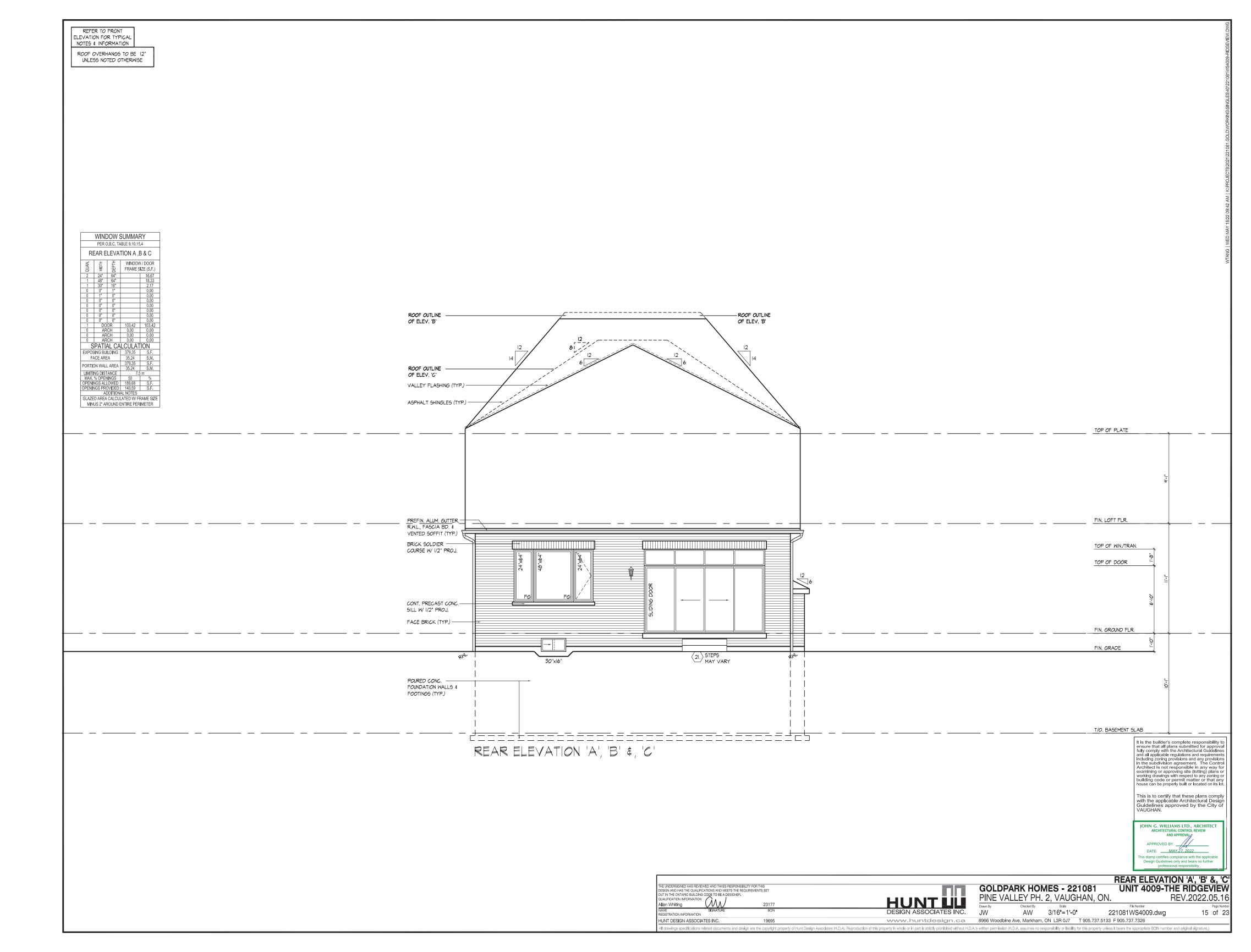
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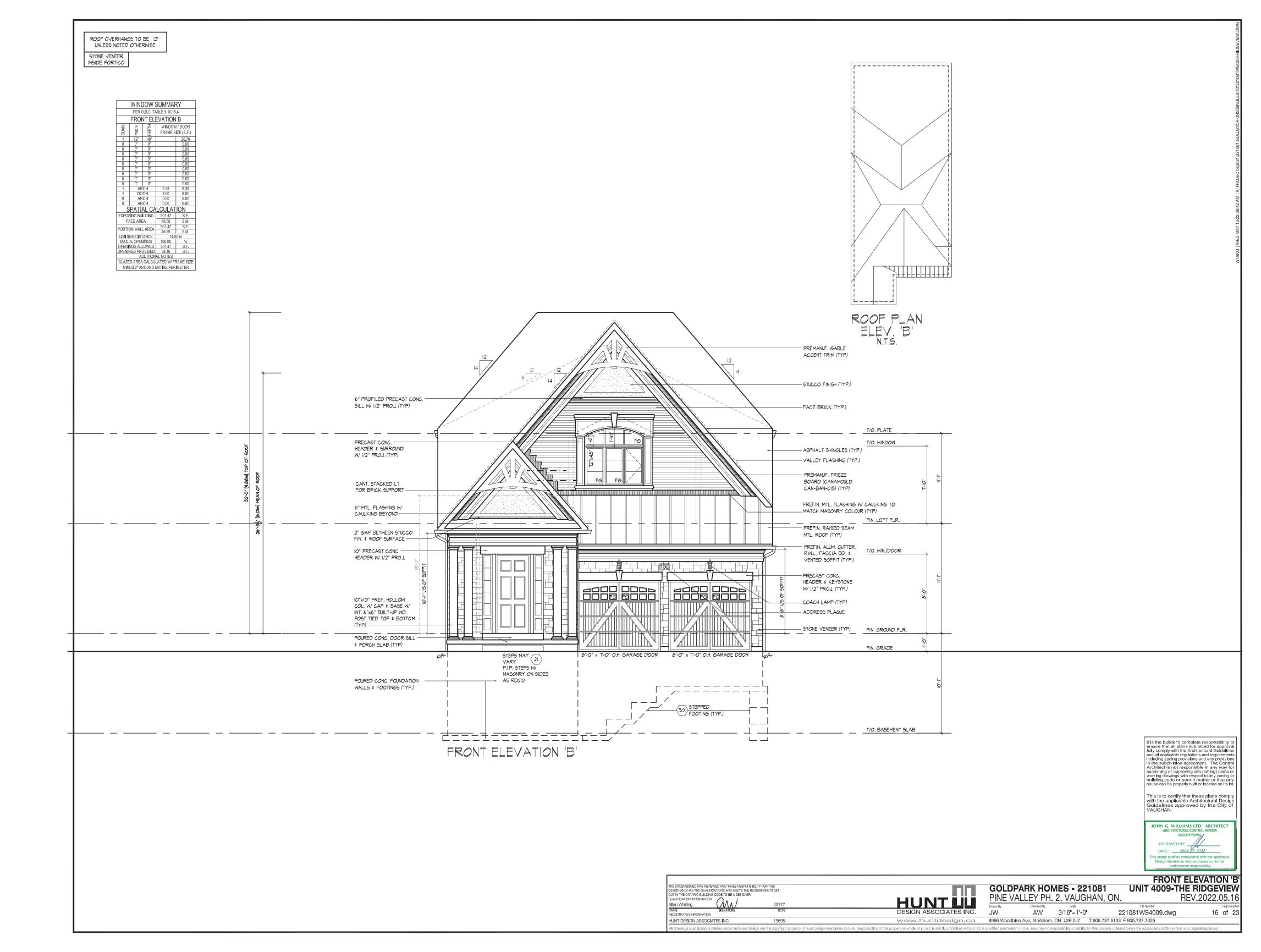
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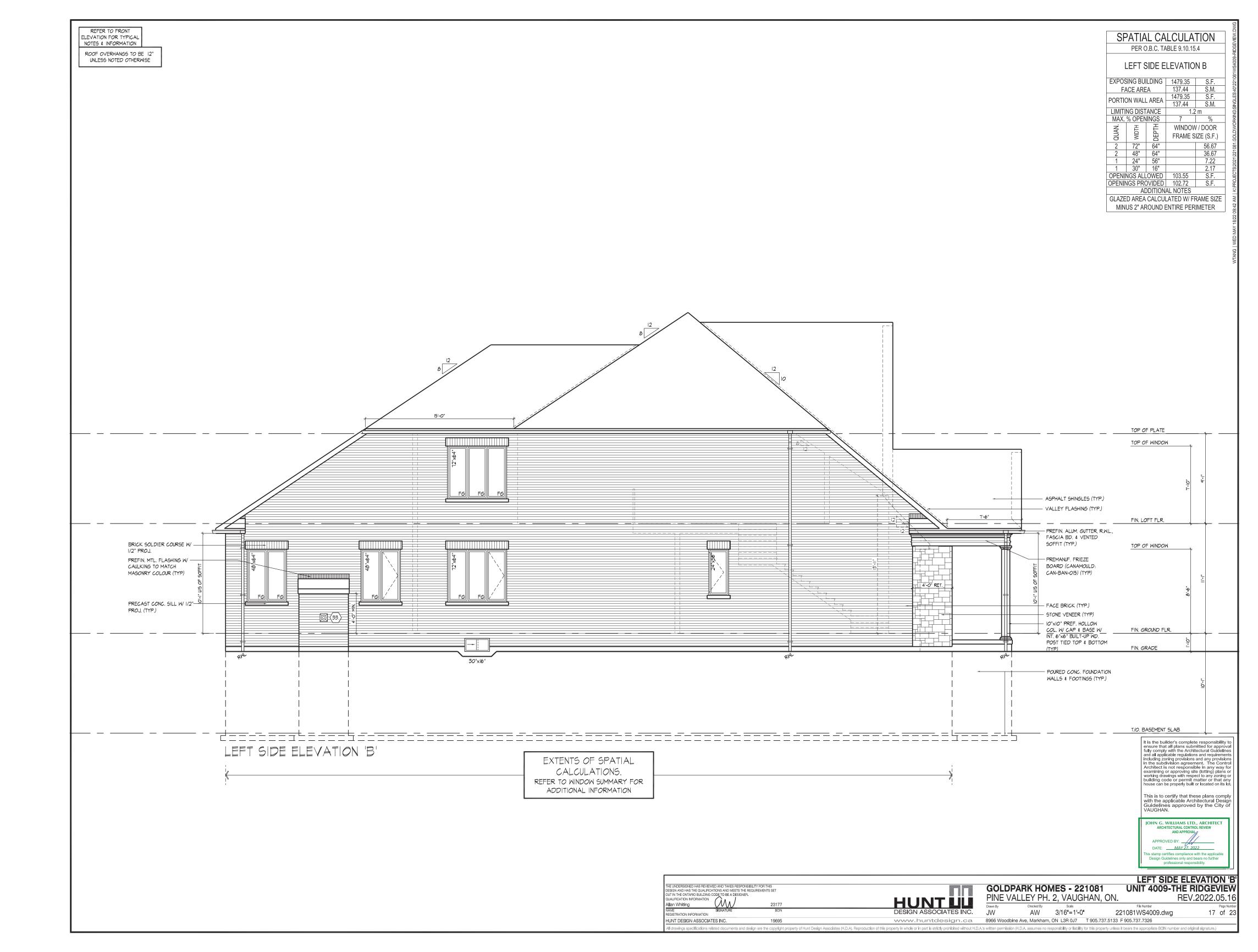


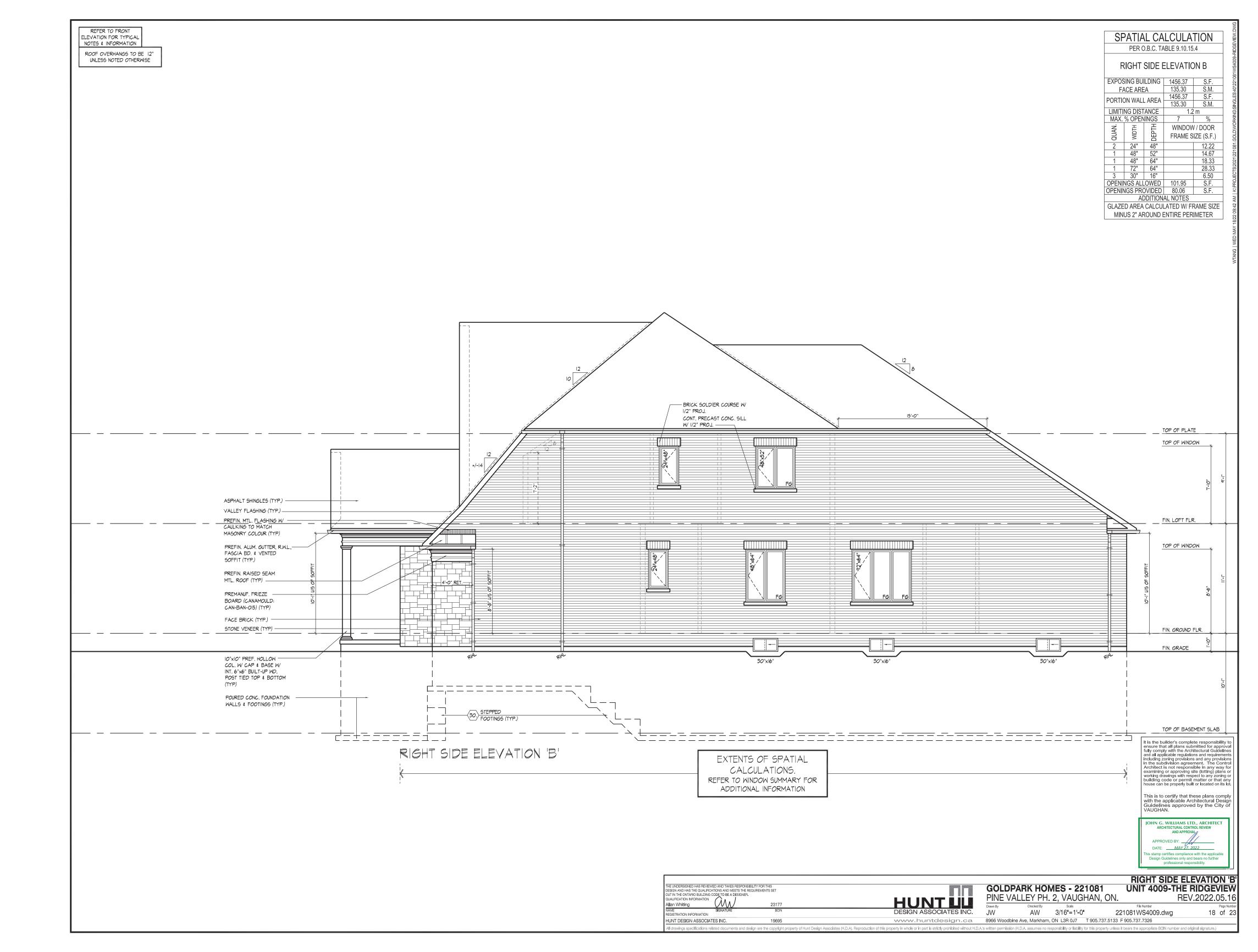


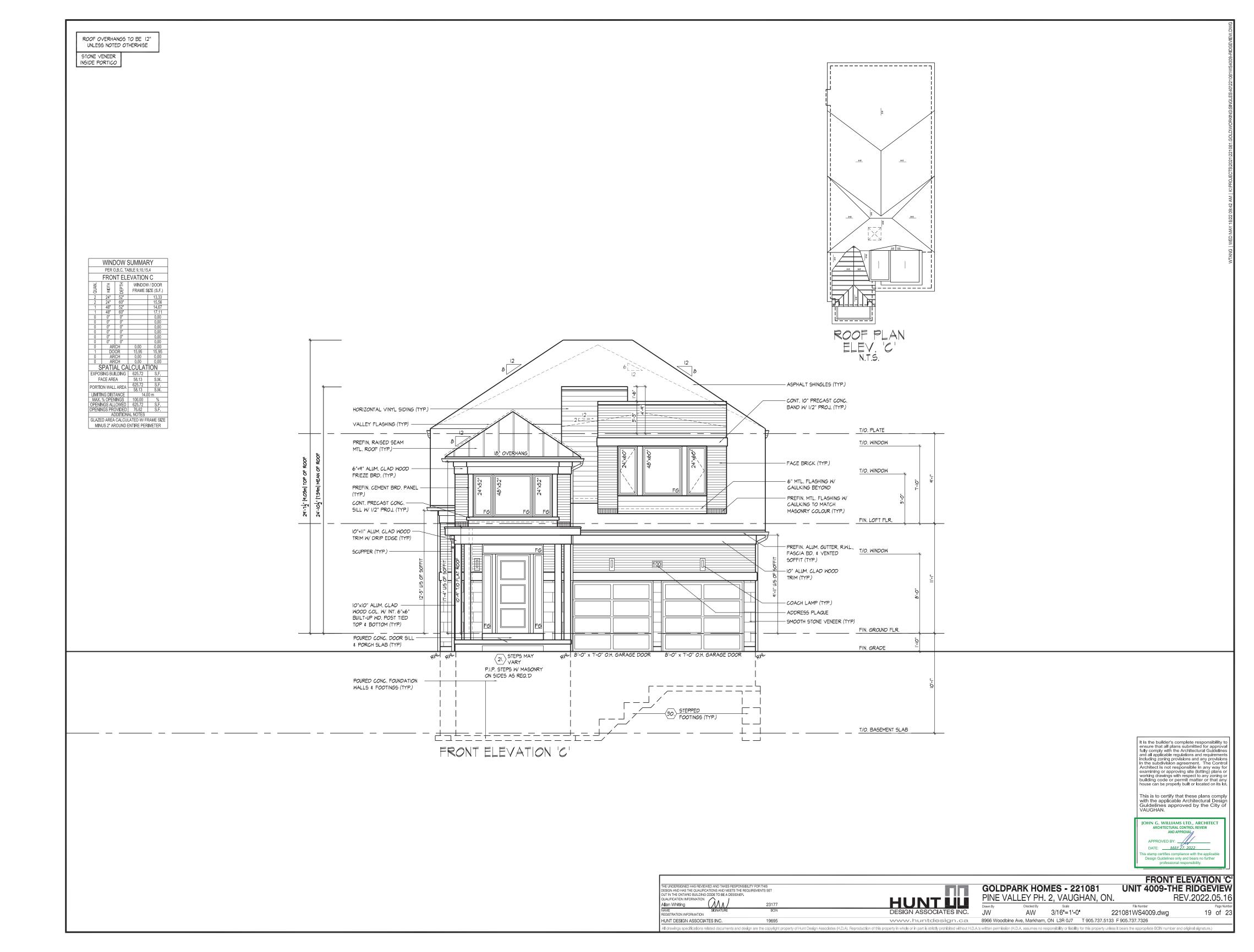


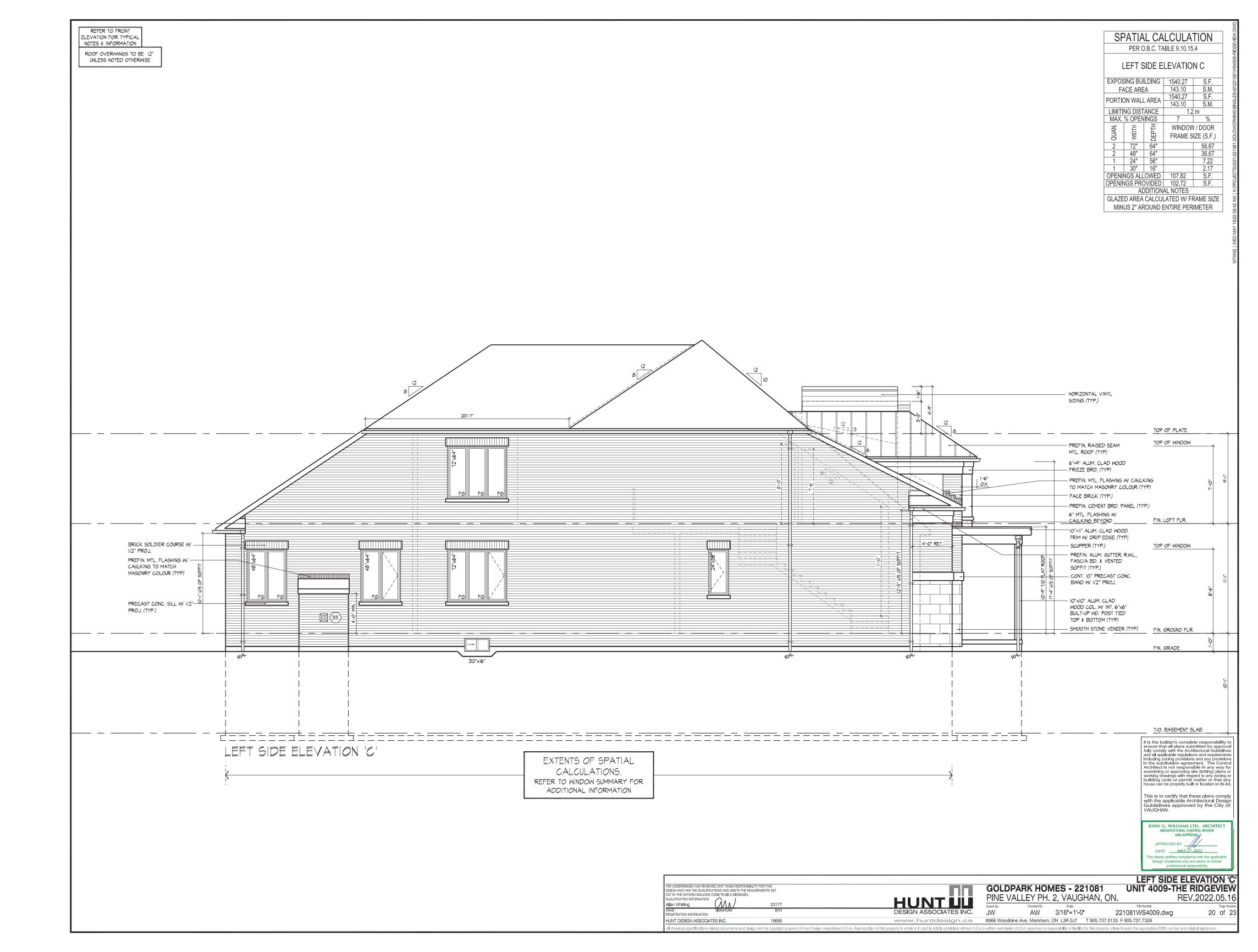


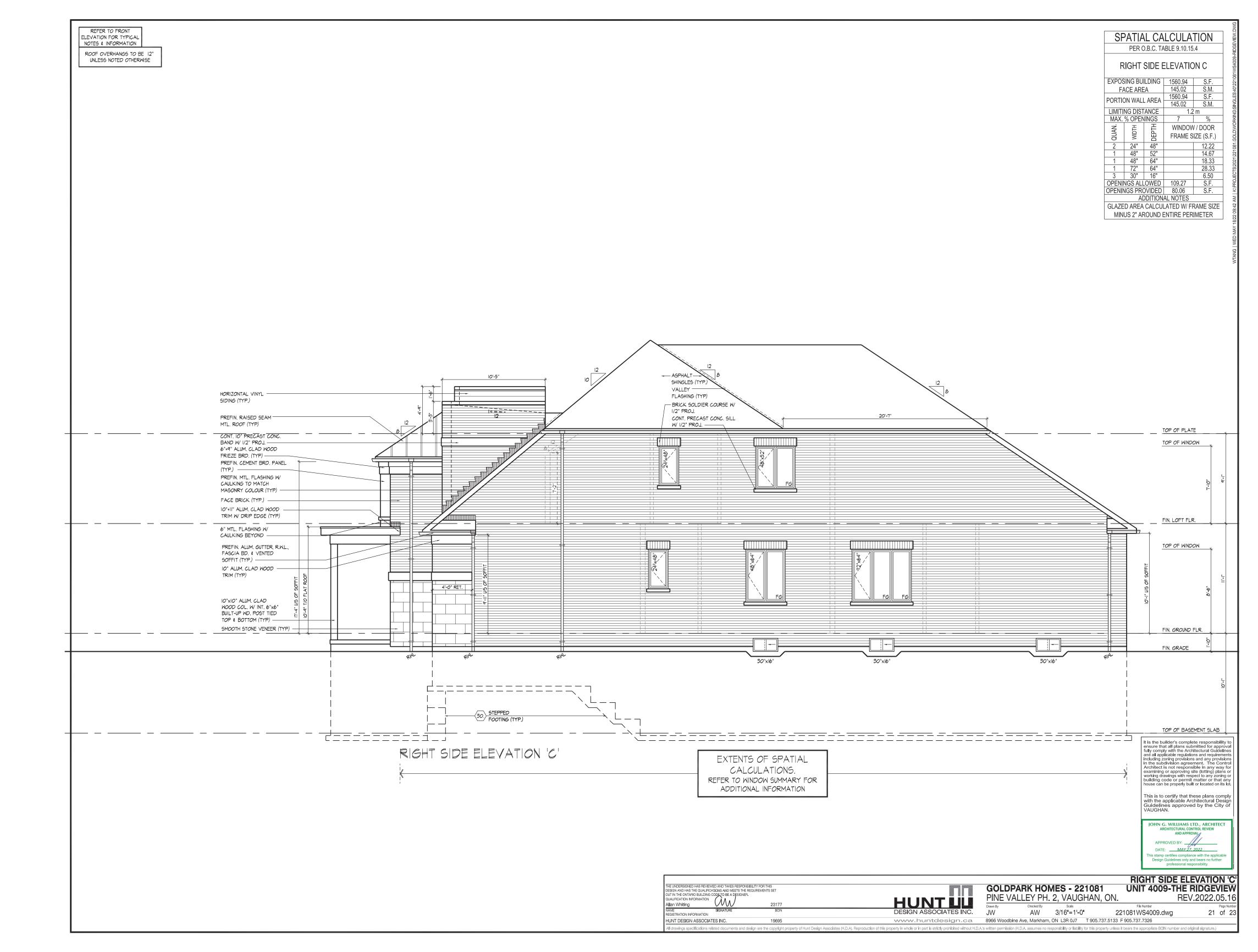


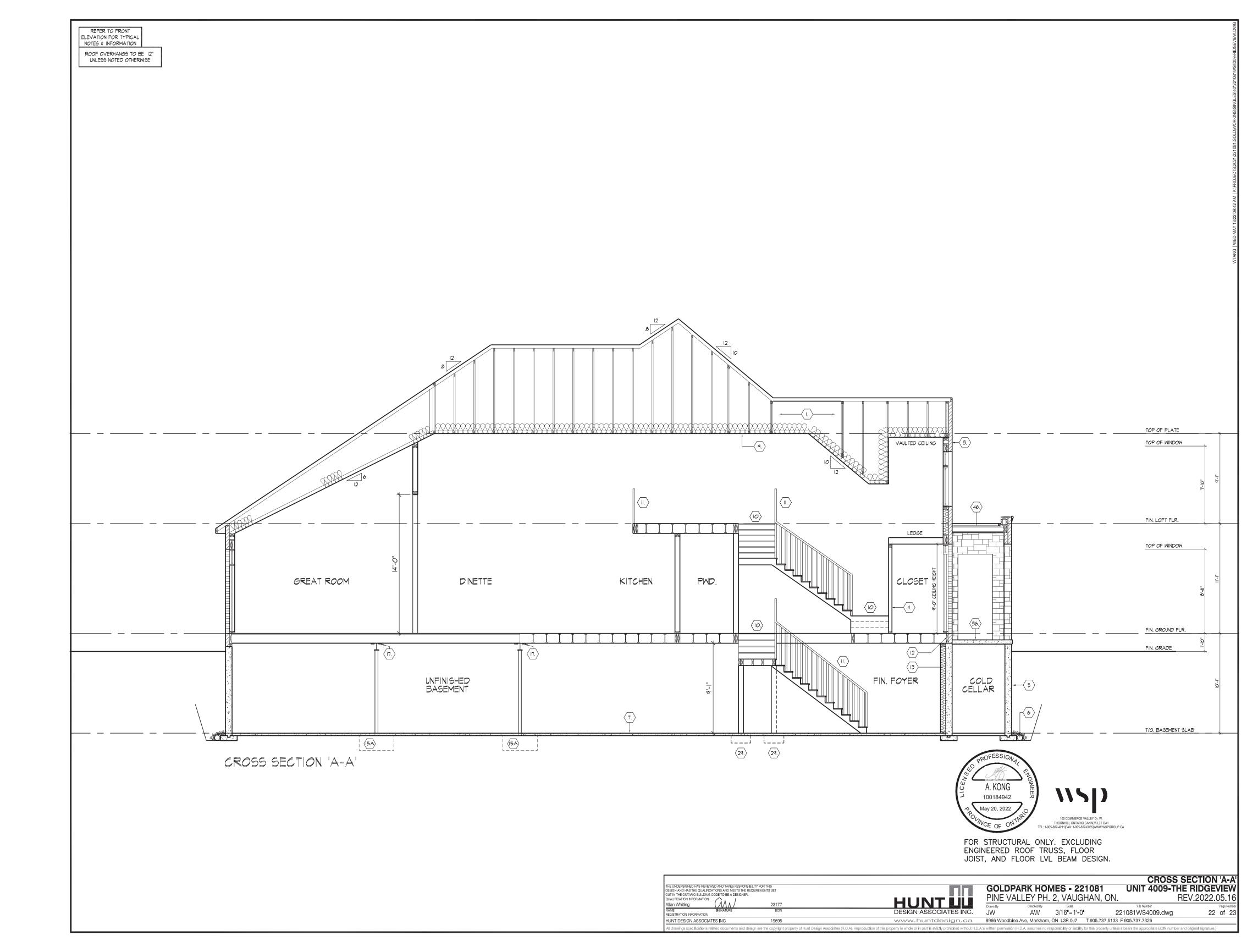












1A ICE AND WATER SHIELD

PROVIDE ICE AND WATER SHIELD IN THE AREAS INDICATED. THE ICE AND WATER SHIELD SHALL BE A SELF ADHERING AND SELF SEALING MEMBRANE. SIDE LAPS MUST BE A MINIMUM 3 1/2" (90) AND END LAPS A MINIMUM 6" (152). AND TO EXTEND UP DORMER WALLS A MINIMUM 12" (305).

(1B) PROFILED ROOF TRUSSES

ROOF TRUSSES SHALL BE PROFILED AND/OR STEPPED AT RAISED COFFER/TRAY CEILINGS. ANGLED TRAY CEILINGS WILL BE SHEATHED W/ 3/8" (9.5) PLYWOOD.

SIDING WALL CONSTRUCTION (2'x6')

SIDING MATERIAL AS PER ELEVATION ATTACHED TO FRAMING MEMBERS, FURRING MEMBERS OR BLOCKING BETWEEN THE FRAMING MEMBERS ON APPROVED SHEATHING PAPER ON 3/8" (9.5) EXT. GRADE SHEATHING ON STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1., INSULATION, APPROVED 6 MIL POLYETHYLENE AIR/VAPOUR BARRIER, ON 1/2" (12.7) GYPSUM WALLBOARD INT. FIN. (GYPSUM SHEATHING, RIGID INSULATION, AND FIBERBOARD SHALL NOT BE USED FOR THE ATTACHMENT OF SIDING (9.23.16.3.(1.)) (REFER TO 35 NOTE AS REQ.)

SIDING WALL CONSTRUCTION (2'x6') W/ CONTIN. INSULATION SIDING MATERIAL AS PER ELEVATION ATTACHED TO FURRING MEMBERS ON APPROVED AIR/WATER BARRIER AS PER O.B.C. 9.27.3. ON EXTERIOR TYPE RIGID INSULATION (JOINTS UNTAPED) MECHANICALLY FASTENED AS PER MANUFACTURER'S SPECIFICATIONS ON 3/8" (9.5) EXT. GRADE SHEATHING ON STUDS CONFORMING TO O.B.C (9.23.10.1), & SECTION 1.1., INSULATION, APPROVED 6 MIL POLYETHYLENE AIR/VAPOUR BARRIER, ON 1/2" (12.7) GYPSUM WALLBOARD INT. FIN. (GYPSUM SHEATHING, RIGID INSULATION, AND FIBERBOARD SHALL NOT BE USED FOR THE ATTACHMENT OF SIDING (9.23.16.3.(1.)) (REFER TO 35 NOTE AS REQ.)

$\langle { m 2B} \rangle$ SIDING WALL @ GARAGE CONSTRUCTION

SIDING MATERIAL AS PER ELEVATION ATTACHED TO FRAMING MEMBERS, FURRING MEMBERS OR BLOCKING BETWEEN THE FRAMING MEMBERS ON APPROVED SHEATHING PAPER ON 3/8" (9.5) EXTERIOR TYPE SHEATHING ON STUDS CONFORMING TO Q.B.C (9.23.10.1.) & SECTION 1.1.,1/2" (12.7) GYPSUI WALLBOARD INTERIOR FINISH. (GYPSUM SHEATHING, RIGID INSULATION AND FIBERBOARD SHALL NOT BE USED FOR THE ATTACHMENT OF SIDING (9.23.16.3.(1.)) (REFER TO 35 NOTE AS REQ.)

3 BRICK VENEER WALL CONSTRUCTION (2"x6")

: 1/2" (90) BRICK VENEER 1" (25) AIR SPACE, 7/8"x7'x0.03" (22x180x0.76) GALV. METAL TIES ⊋ 16" (400) O.C. HORIZ. 24" (600) O.C. VERT. BONDING AND FASTENING FOR TIES TO CONFORM WITH 9.20.9. ON APPROVED SHEATHING PAPER, 3/8" (9.5) EXTERIOR TYPE SHEATHING, STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1., INSULATION AND 6 mil POLYETHYLENE VAPOUR BARRIER WITH APPROVED CONTIN. AIR BARRIER. 2.7) GYPSUM WALLBOARD INTERIOR FINISH, PROVIDE WEEP HOLES @ 32" (800) O.C OTTOM COURSE AND OVER OPENINGS, PROVIDE BASE FLASHING UP MIN. 6" (150) BEHIND BUILDING PAPER (9.20.13.6.) (REFER TO 35 NOTE AS REQUIRED)

BRICK VENEER WALL CONSTRUCTION (2"x6") W/ CONTIN, INSULATION 2" (90) BRICK VENEER 1" (25) AIR SPACE, 7/8"x7"x0.03" (22x180x0.76) GALV. MET S @ 16" (400) O.C. HORIZ. 24" (600) O.C. VERT. BONDING AND FASTENING FOF TIES TO CONFORM WITH 9.20.9. ON APPROVED AIRWATER BARRIER AS PER O.B.C 9.27.3. ON EXTERIOR TYPE RIGID INSULATION (JOINTS UNTAPED) MECHANICALLY FASTENED AS PER MANUFACTURER'S SPECIFICATIONS, ON 3/8" (9.5) EXTERIOR TYPE (SHEATHING, STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1., INSULATION AND 6 mil POLYETHYLENE VAPOUR BARRIER WITH APPROVED CONTIN. AIR BARRIER 1/2" (12.7) GYPSUM WALLBOARD INTERIOR FINISH, PROVIDE WEEP HOLES @ 32" (800) 1/2 (12.7) GTSON WALLBOARD INTERIOR THORIST, FROVIDE WELFT FOLES & 32 (00 O.C. BOTTOM COURSE AND OVER OPENINGS. PROVIDE BASE FLASHING UP MIN. 6' (150) OVER RIGID INSULATION (9.20.13.6.) (REFER TO 35 NOTE AS REQUIRED)

3B BRICK VENEER WALL @ GARAGE CONSTRUCTION

1/2" (90) BRICK VENEER, MIN. 1" (25) AIR SPACE, 7/8"x7"x0.03" (22x180x0.76) GALV. IETAL TIES @ 16" (400) O.C. HORIZ. 24" (600) O.C. VERT. BONDING AND FASTENING FOR TIFS TO CONFORM WITH 9.20.9. ON APPROVED SHEATHING PAPER, 3/8" (9.5) EXTERIOR TYPE SHEATHING ON STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1., 1/2" (12.7) GYPSUM WALLBOARD INTERIOR FINISH, PROVIDE WEEP BASE FLASHING UP 6" (150) MIN. BEHIND BUILDING PAPER (9.20.13.6.) (REFER TO

INTERIOR STUD PARTITIONS (9.23.9.8., 9.23.10)

BEARING PARTITIONS SHALL BE A MINIMUM 2"x4" (38x89) @ 16" (406) O.C. FOR 2 BEARING PARTITIONS SHALL BE A MINISHOW 244 (38X89) © 16 (400) O.C. FOR 2 STOREY, NON-BEARING PARTITIONS 21/34" (38X89) © 24" (610) O.C. PROVIDE 2"x4" (38X89) BOTTOM PLATE AND 2-2"x4" (2-38x89) TOP PLATE. 1/2" (12.7) INT. DRYWALL BOTH SIDES OF STUDS, PROVIDE 2"x6" (38X140) STUDS WHERE NOTED. PROVIDE 2"x4" (38X89) © 24" (610) O.C. LADDER FRAMING WHERE WALLS INTERSECT PERPENDICULAR TO ONE ANOTHER. PROVIDE 2"x4" (38X89) WOOD BLOCKING ON FLAT @ 3-11" (1194) O.C. MAX, BETWEEN FLOOR (2015) AND PLANUE OF THE PROVIDE 2"x4" (38X89) WOOD BLOCKING ON FLAT @ 3-11" (1194) O.C. MAX, BETWEEN FLOOR (2015) AND PLANUE OF THE PROVIDE 2"x4" (38X89) WOOD BLOCKING ON FLAT @ 3-11" (1194) O.C. MAX, BETWEEN FLOOR (2015) AND PLANUE OF THE PROVIDE 2"X4" (38X89) WOOD BLOCKING ON FLAT @ 3-11" (1194) O.C. MAX, BETWEEN FLOOR (2015) AND PLANUE OF THE PLANUE OF TH

(4A) EXT. LOFT WALL CONSTRUCTION (2"x6") - NO CLADDING

3/8" (9.5) EXTERIOR TYPE SHEATHING, STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1., INSULATION AND 6 mil POLYETHYLENE VAPOUR BARRIER WITH APPROVED CONT. AIR BARRIER. 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (9.23.)

(4B) EXT. LOFT WALL CONSTRUCTION (2"x6")

NO CLADDING W/ CONTINUOUS INSULATION
APPROVED AIR,WATER BARRIER AS PER O.B.C. 9.27.3. ON EXTERIOR TYPE RIGID INSULATION (JOINTS LINTAPED) MECHANICALLY EASTENED AS PER INSULATION (JOINTS DINTRED) MICHARIANGALT HASTENED AS FER MANUFACTURER'S SPECIFICATIONS, ON 3/8" (9.5) EXTERIOR TYPE SHEATHING, STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1., INSULATION AND 6 mil POLYETHYLENE VAPOUR BARRIER WITH APPROVED CONT. AIR BARRIER 1/2 (12.7) GYPSUM WALLBOARD INT. FINISH. (9.23.)

FOUNDATION WALL/FOOTINGS

POURED CONC. FOUNDATION WALL AS PER CHART BELOW ON CONTINUOUS KEYED CONCRETE FOOTING. FOUNDATION WALLS SHALL EXTEND NOT LESS THAN 6" (150) ABOVE FINISHED GRADE. THE OUTSIDE OF THE FOUNDATION SHALL BE DAMPROOFED FROM THE TOP OF THE FOOTING TO FINISHED GRADE AND BRUSH COAT FROM THE TOP TO 2" BELOW GRADE. PROVIDE A DRAINAGE LAYER ON THE OUTSIDE OF THE FOUNDATION WALL. SEAL THE DRAINAGE LAYER AT THE TOP. THE TOP OF THE CONC. FOOTING SHALL BE DAMPROOFED. CONCRETE FOOTINGS SUPPORTING JOIST SPANS GREATER THAN 16'-1" (4900' SHALL BE SIZED IN ACCORDANCE WITH 9.15.3.4 (1),(2) OF THE O.B.C. (REFER CHART BELOW FOR RESPECTIVE SIZE). BRACE FOUNDATION WALL PRIOR TO BACKFILLING. ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OF 125kPa S.L.S. OR COMPACTED ENGINEERED FILL WITH MIN. BEARING CAPACITY OF 125KPA S.L.S. IF SOIL BEARING DOES NOT MEET MINIMUM CAPACITY OF 123/FA 3.1.5. IF SOIL BEARING DES NOT WILET MINIMUM CAFACITY, ENGINEERED FOOTINGS ARE REQUIRED. ACTUAL SOIL BEARING CAPACITY TO BE VERIFIED WITH SOIL ENGINEERING REPORT.

REFER TO CONSTRUCTION DRAWINGS AND DETAILS FOR FOUNDATION WALL STRENGTH AND THICKNESS AND 9.15.4.

			LL NOT EXCEED 9'-10" (3.0m) IN UNSUPPORTED SE NOTED. [9.15.4.2.(1.)]
	UNRE	INFORCED SOLI	D CONCRETE FOUNDATION WALLS (9.15.4.2.)
\GTH	ESS	MAX	. HEIGHT FROM FIN. SLAB TO GRADE
$ \Rightarrow $	2	I IN IOU IDDOODTED	OLIDDODTED AT TOD

L	UNREINFORCED SOLID CONCRETE FOUNDATION WALLS (9.15.4.2.)									
	эTН	ESS	MAX	MAX. HEIGHT FROM FIN. SLAB TO GRADE						
	STRENGTH	THICKNESS	UNSUPPORTED	Sl	JPPORTED AT TO)P				
L	SI	崖	AT TOP	≤2.5m	>2.5m & ≤2.75m	>2.75m & ≤3.0m				
Г	МРа	* 8"	3'-11" (1.20m)	7'-0" (2.15m)	7'-0" (2.15m)	6'-10" (2.10m)				
		10"	4'-7" (1.40m)	7'-6" (2.30m)	8'-6" (2.60m)	8'-2" (2.50m)				
1	15	12"	4'-11" (1.50m)	7'-6" (2.30m)	8'-6" (2.60m)	9'-3" (2.85m)				
Г	МРа	* 8"	3'-11" (1.20m)	7'-6" (2.30m)	7'-6" (2.30m)	7'-2" (2.20m)				
		10"	4'-7" (1.40m)	7'-6" (2.30m)	8'-6" (2.60m)	9'-3" (2.85m)				
13	2	12"	4'-11" (1.50m)	7'-6" (2.30m)	8'-6" (2 60m)	9'-3" (2.85m)				

* 9" MIN. THICK FOUNDATION WALL IS REQUIRED FOR MASONRY VENEER FINISHED EXTERIOR WALLS WITH CONTINUOUS INSULATION CONDITION, TO PROVIDE MIN. BEARING FOR SILL PLATES, BEAMS AND FLOOR JOIST AS PER 9.23.7.2. 9.23.8.1. & 9.23.9.1. OF THE O.B.C.

MINIMUM STRIP FOOTING SIZES (9.15.3.) UNLESS NOTED OTHERWISE ON PLANS					
UNLESS NOTED OTHERWISE ON PLANS					
NUMBER FLOORS SUPPORTED	SUPPORTING INT. LOAD BEARING MASONRY WALLS	SUPPORTING EXTERIOR	SUPPORTING PARTYWALL		
1	16' WIDE x 6" THICK	16" WIDE x 6" THICK	16" WIDE x 6" THICK		
2	24' WIDE x 8" THICK	20" WIDE x 6" THICK	24" WIDE x 8" THICK		
3	36" WIDF x 14' THICK	26" WIDF x 9" THICK	36" WIDF x 14" THICK		

FOUNDATION REDUCTION IN THICKNESS FOR MASONI WHERE THE TOP OF THE FOUNDATION WALL IS REDUCED IN THICKNESS TO PERMIT THE INSTALLATION OF MASONRY EXTERIOR FACING, THE REDUCED SECTION SHALL BE NOT LESS THAN 3 1/2" (90) THICK. THE BRICK VENEER SHAL BE TIED TO THE FOUNDATION WALL WITH CORROSION RESISTANT METAL TIES @ 7 7/8" (200) VERTICAL AND 2'-11" (889) HORIZONTAL. FILL VOID WITH MORTAR BETWEEN WALL AND BRICK VENEER (9.15.4.7(2)(3) & 9.20.9.4(3)

5B FOUNDATION REDUCTION IN THICKNESS FOR JOISTS WHERE THE TOP OF THE FOUNDATION WALL IS REDUCED IN THICKNESS TO PERMIT THE INSTALLATION OF FLOOR JOISTS, THE REDUCED SECTION SHALL NOT MORE THAN 13 3/4" (350) HIGH & NOT LESS THAN 3 1/2" (90) THICK (9.15.4.7(1))

WEEPING TILE (9.14.3.) 4" (100) Ø WEEPING TILE W/ FILTER CLOTH WRAP & 6" (152) CRUSHED STONE COVER

BASEMENT SLAB OR SLAB ON GRADE (9.16.4.) (9.13.) 3" (80) MIN. 25MPa (3600psi) CONC. SLAB ON 4" (100) COARSE GRANULAR FILL OR 20MPa (2900psi) CONC. WITH DAMPPROOFING BELOW SLAB. PROVIDE 1/2" (12.7) IMPERVIOUS BOARD FOR BOND BREAK AT EDGE. WHERE A BASEMENT SLAB IS WITHIN 24" (610) OF THE EXTERIOR GRADE PROVIDE RIGID INSUL. AROUND THE PERIMETER EXTENDING MIN. 24" (610) BELOW GRADE. FOR SLAB ON GRADE CONDITIONS RIGID INSULATION SHALL BE APPLIED TO THE UNDERSIDE OF THE ENTIRE SLAB. ([SB-12] 3.1.1.7.(5) & (6))

EXPOSED FLOOR TO EXTERIOR (9.10.17.10, & CAN/ULC-S705.2) PROVIDE SPRAY FOAM INSULATION BETWEEN CANT. JOIST AND INSTALL OSB CONFIRMING TO 9.29.9. FIN. SOFFIT OR CLADDING AS PER ELEVATION TO U/S OF EXPOSED CANT. JOIST.

EXPOSED CEILING TO EXTERIOR w/ ATTIC (9.25.2.4) NSULATION, 6 mil POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM BOARD INTERIOR FINISH OR APPROVED EQ.

EXPOSED CEILING TO EXTERIOR w/o ATTIC

JOISTS/TRUSSES AS PER PLANS W/ 2"x2" (38x38) PURLINS @ 16" (406) O.C. PERPENDICULAR TO JOISTS (PURLINS NOT REQ. W/ SPRAY FOAM OR ROOF TRUSSES), W/ INSULATION BETWEEN JOIST, 6 mil POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) → GYPSUMBBARD INT-FINISH OR APRROVED EQ-(CAN/ULC-6765:2,9:19:1,9:10:17:16),

ALL STAIRS/EXTERIOR STAIRS (9.8.1.2...9.8.2...9.8.4.)

ALL	SIMIL	10/6	VIEWIC	ווס חי	AINO (9.8	5.1.2., 8	1.0
	MAX, RISE	MIN, F	RISE MAX. RUN	MIN. RUN	ALL STAIR	RS]
PRIVATE	7 7/8 (200)	5" (12	25) 14° (355)	10" (255)	MAX. NOSING	1* (25)	
PUBLIC	7" (180)	5" (12	25) NO LIMIT	11" (280)		. (00)	l
	MIN. STAIR	WIDTH	TAPERED T	READS			
PRIVATE	2'-10" (8	(acn)	MIN. RUN	5 7/8" (150)			1
FRIVATE	2-10 (0	uoj	MIN. AVG. RUN	10" (255)]
PUBLIC	2-11 (9	00)	MIN, RUN	5 7/8" (150)			1
LOPPIC	2 11 (0	00)	MIN. AVG. RUN	11" (280)			
AVER/	AGE RUI	V OF	TAPERED	TREAD	MEASURED) AT A F	9(

AVERAGE HOIN OF INFCREED I INCRED WELGOON IS MEASURED VERTICALLY ACROSS WIDTH OF STAIRS FROM A STRAIGHT LINE TO THE TREAD & LANDING NOSING TO LOWEST POINT ABOVE AND NOT LESS THAN 6-5" (1950) FOR SINGLE DWELLING UNIT & 6-8 3/4" (2050) FOR EVERYTHING ELSE, (9.8.2.2.) REQUIRED LANDING IN GARAGE - O.B.C. 9.8.6.2.(3.)

FOR AN EXTERIOR STAIR SERVING A GARAGE W/ MORE THAN 3 RISERS. GUARDS, HANDRAILS & STEPS AS PER CONSTRUCTION HEX NOTE 10 & 11.

GUARDS/RAILINGS (9.8.7., 9.8.8.) GUARDS TO BE DESIGNED NOT TO FACILITATE CLIMBING AND PROVIDING MAX. OPENING CONFORMING TO O.B.C. 9.8.8.5. & 9.8.8.6. AND BE ABLE TO RESIST LOADS AS PER TABLE 9.8.8.2.

GUARD HEIGHTS - O.B.C. 9.8.8.

INTERIOR GUARDS: 2'-11" (900) MIN. EXTERIOR GUARDS: 2'-11" (900) MIN. (LESS THAN 5'-11" (1800) TO GRADE) 3'-6" (1070) MIN. (MORE THAN 5'-11" (1800) TO GRADE) GUARDS FOR EXIT STAIRS: 3'-6" (1070) MIN

GUARDS FOR LANDINGS @ EXIT STAIRS: 3'-6" (1070) MIN. GUARDS FOR FLOORS & RAMPS IN GARAGES (SERVICE STAIRS) FLOOR OR RAMP W/O EXTERIOR WALLS THAT IS 23 5/8" (600) OR MORE ABOVE

ADJACENT SURFACE REQUIRES CONT. CURB MIN. 6" (150) HIGH, AND GUARD MIN. 3'-6" (1070) HIGH.

BETWEEN WALKING SURFACE & ADJACENT SURFACE WITH A DIFFERENCE IN ELEVATION MORE THAN 23 5/8" (600) OR ADJACENT SURFACE WITHIN 3-11" (1200) & WALKING SURFACE W/A SLOPE MORE THAN 1 IN 12 SHALL BE PROTECTED WITH GUARDS PER CONSTRUCTION HEX NOTE 11 HANDRAIL HEIGHTS - O.B.C. 9.8.7. - REQUIRED AS PER 9.8.7.1.(3)
MIN. HEIGHT AT STAIRS, RAMP AND LANDINGS: 2'-10" (865) MAX, HEIGHT AT STAIRS, RAMP AND LANDING: 3'-6" (1070)

SILL PLATES

2"x4" (38x89) SILL PLATE WITH 1/2" (12.7)Ø ANCHOR BOLTS 8" (200) LONG, EMBEDDED MIN. 4" (100) INTO CONC. @ 4-0" (1220) O.C., CAULKING OR GASKET BETWEEN PLATE AND TOP OF FOUNDATION WALL. USE NON-SHRINK GROUT TO LEVEL SILL PLATE WHEN REQUIRED (9.23.7.)

BASEMENT INSULATION ([SB-12] 3.1.1.7.) PROVIDE CONTINUOUS BLANKET INSULATION W/ BUILT IN 6 mil POLYETHYLENE VAPOUR BARRIER. INSULATION TO EXTEND NO MORE THAN 8" (200) ABOVE FINISHED BASEMENT FLOOR. DAMPROOFED WITH BUILDING PAPER BETWEEN THE FOUNDATION WALL AND INSULATION UP TO GRADE LEVEL.

BEARING STUD PARTITION IN BASEMENT (9.15,3.6., 9.23,10.1.) 2"x4" (38x89) STUDS @ 16" (406) O.C., 2"x4" (38x89) SILL PLATE (2"x6" (38x140) AS REQUIRED) ON DAMPPROOFING MATERIAL OR 2 mil POLYETHYLENE FILM, 1/2" (12.7) Ø ANCHOR BOLTS 8" (200) LONG, EMBEDDED 4" (100) MIN. INTO CONC. @ 7'-10" (2390) O.C. 4" (100) HIGH CONC. CURB ON CONC. FOOTING. FOR SIZE REFE TO HEX NOTE 5. ADD HORIZ. BLOCKING AT MID-HEIGHT IF WALL IS UNFINISHED.

ADJUSTABLE STEEL BASEMENT COLUMN (9.15.3.4.) 9'-10" (3000) MAX. SPAN BETWEEN COLUMNS. 3 1/2" (90)Ø SINGLE TUBE ADJUSTABLE STEEL COLUMN CONFORMING TO CAN/CGSB-7.2M, AND WITH 6"x6"x3/8" (152x152x9.5) STEEL PLATE TOP & BOTTOM. FIELD WELD BASEMENT 6505X3)8" (152X152X9.5) STEEL PLATE TOP & BOTTOM. FIELD WELD BASEMENT COLUMN CONNECTION. POURED CONCRETE FOOTING ON NATURAL UNDISTURBED SOIL OF 125KPA S.L.S. OR COMPACTED ENGINEERED FILL WITH MIN. BEARING CAPACITY OF 125KPA S.L.S. AS PER SOILS REPORT.

SUPPORTING 2 STOREY FLR. LOAD PROVIDE 34"X34"X16" (870x870x410) CONC. FOOTING

SUPPORTING 3 STOREY FLR. LOAD PROVIDE 40"x40"x19" (1060x1060x480) CONC. FOOTIN

15A) NON-ADJUSTABLE STEEL BASEMENT COLUMN

3 1/2" (90)Ø x 0.188" (4.78) NON-ADJUSTABLE STEEL COLUMN WITH 6'x6'x3/8" (152x152x9.5) STEEL PLATE TOP & BOTTOM. BOTTOM PLATE C/W 2 1/2"Ø X 12" LONGX2" HOOK ANCHORS. FIELD WELD BASEMENT COLUMN CONNECTION. POURED CONCRETE FOOTING ON NATURAL UNDISTURBED SOIL OF 125KPA S.L.S. OR COMPAC ENGINEERED FILL WITH MIN. BEARING CAPACITY OF 125KPA S.L.S. AS PER SOILS REPORT. SUPPORTING 2 STOREY FLR. LOAD PROVIDE 42"x42"x18" (1070x1070x460) CONC. FOOTING

SUPPORTING 3 STOREY FLR. LOAD PROVIDE 48"x48"x24" (1220x1220x610) CONC. FOOTING

NON-ADJUSTABLE STL. COLUMN AT FOUNDATION WALL

3 1/2" (90) Ø x 0 188" (4 78) NON AD HIGTARY A 3 1/2" (90)Ø x 0.188" (4.78) NON-ADJUSTABLE STEEL COLUMN WITH 6"x6"x3/8" (152x152x9.5) STEEL TOP PLATE & 6"x4"x3/8" (152x100x9.5) BOTTOM PLATE. BASE PLATE 4-1/2"x10"x1/2" (120x250x12.7) WITH 2- 1/2"Ø x 12" LONG x 2" HOOK ANCHORS (2- 12.7Øx305x50). FIELD WELD COLUMN TO BASE PLATE & STEEL BM.

STEEL BEAM BEARING AT FOUNDATION WALL (9.23.8.1.) BEAM POCKET OR 8"x8" (200x200) POURED CONC. NIB WALLS, MIN. BEARING 3 1/2' (90). CONC. NIB WALLS TO HAVE EXTENDED FOOTINGS

WOOD STRAPPING AT STEEL BEAMS (9.23.4.3.(3.), 9.23.9.3.) 1"x3" (19x64) CONTIN. WOOD STRAPPING BOTH SIDES OF STEEL BEAM. **GARAGE SLAB** (9.16., 9.35.)

4" (100) 32MPa (4640psi) CONC. SLAB WITH 5-8% AIR ENTRAINMENT ON OPT. 4" (100) COARSE GRANULAR FILL WITH COMPACTED SUB-BASE OR COMPACTED NATIVE FILL. SLOPE TO FRONT @ 1% MIN. GARAGE TO HOUSE WALLS/CEILING (9.10.9.16.) 1/2" (12.7) GYPSUM BOARD ON WALL AND CEILING BETWEEN HOUSE AND GARAGE, PLUS REQUIRED INSULATION IN WALLS AND SPRAY FOAM FOR

CEILINGS. TAPE AND SEAL ALL JOINTS GAS TIGHT. (9.10.17.10, CAN/ULC-S705.2 GARAGE TO HOUSE WALLS/CEILING W/ CONTIN. INSULATION 1/2" (12.7) GYPSUM BOARD ON CEILING AND ON WALLS INSTALLED OVER EXTERIOR TYPE RIGID INSULATION (JOINTS UNTAPED) MECHANICALLY FASTENED AS PER MANUFACTURER'S SPECIFICATIONS ON 3/8" EXTERIOR GRADE SHEATHING ON STUDS BETWEEN HOUSE AND GARAGE, PLUS REQUIRED INSULATION IN WALLS & SPRAY FOAM FOR CEILINGS, TAPE AND SEAL ALL JOINTS GAS TIGHT. (9.10.9.16., 9.10.17.10, CAN/ULC-S705.2)

REFER TO SB-12 ENERGY EFFICIENCY DESIGN MATRIX ON THE TITLE PAGE FOR ALL VALUES AS REQUIRED PER 3.1.1., 3.1.2., 3.1.3. OF THE OBC.

GARAGE DOOR TO HOUSE (9.10.9.16., 9.10.13.10., 9.10.13.15.) GAS-PROOF DOOR AND FRAME. DOOR EQUIPPED WITH SELF CLOSING DEVICE AND WEATHER STRIPPING.

EXTERIOR AND GARAGE STEPS

PRECAST CONC. STEP OR WOOD STEP WHERE NOT EXPOSED TO WEATHER.
MAX RISE 7 7/8" (200), MIN. TREAD 9 1/4" (235), FOR THE REQUIRED NUMBER
OF STEPS REFER TO SITING AND GRADING DRAWINGS. EXTERIOR CONCRETE
STAIRS WITH MORE THAN 2 RISERS AND 2 TREADS SHALL BE PROVIDED WITH FOUNDATION AS REQUIRED BY ARTICLE 9.8.9.2. OR SHALL BE CANTILEVERED

DRYER EXHAUST

APPED DRYER EXHAUST VENTED TO EXT. CONFORMING TO PART 6, OBC 9.32.

ATTIC ACCESS (9.19.2.1.) ATTIC ACCESS HATCH WITH MIN. AREA OF 0.32m2 AND NO DIM. LESS THAN 21 1/2" (545) WITH WEATHER STRIPPING. HATCHWAYS TO THE ATTIC OR ROOF SPACE WILL BE FITTED WITH DOORS OR COVERS AND WILL BE INSULATED WITH MIN. R20 (RSI 3.52) ([SB-12] 3.1.1.8.(1))

FIREPLACE CHIMNEYS (9.21.)

TOP OF FIREPLACE CHIMNEY SHALL BE 2-11" (889) ABOVE THE HIGHEST POINT AT WHICH IT COMES IN CONTACT WITH THE ROOF AND 2-0" (610) ABOVE THE ROOF SURFACE WITHIN A HORIZ. DISTANCE OF 10'-0" (3048) FROM THE CHIMNEY.

LINEN CLOSET PROVIDE 4 SHELVES MIN. 14" (356) DEEP.

, MECHANICAL VENTILATION (9.32.1.3.)

MECHANICAL EXHAUST FAN, VENTED TO EXTERIOR, TO PROVIDE AT LEAST ONE AIR CHANGE PER HOUR. SEE GENERAL NOTE 2.3.

PARTY WALL BEARING (9.23.8)

"x12"x5/8" (305x305x15.9) STEEL PLATE FOR STEEL BEAMS AND 12"x12"x1/2 (305x305x12.7) STEEL PLATE FOR WOOD BEAMS BEARING (MIN. 3-1/2" (89)) ON CONC. BLOCK PARTY WALL, ANCHORED WITH 2-3/4" (2-19) x 8" (200) LONG GA ANCHORS WITHIN SOLID BLOCK COURSE. LEVEL W/ NON-SHRINK GROUT. REFER TO NOTE SOLID BEARING (SECTION 3.0) FOR WD. STUD PARTY WALL.

WOOD FRAMING IN CONTACT TO CONCRETE WOOD BEARING WALLS, THE UNDERSIDE OF BUILT-UP WOOD POSTS AND SILLS SHALL BE WRAPPED WITH 2 mil POLY. STRIP FOOTINGS SUPPORTING THE FOUNDATION WALL SHALL BE WIDENED 6" (152) BELOW THE BEARING

WALL AND/OR WOOD POST (9.17.4.3.) **BUILT-UP WOOD POST AND FOOTING** (9.17.4.1., 9.15.3.7.) 3-2"x6" (3-38x140) BUILT-UP WOOD POST (UNLESS OTHERWISE NOTED) ON METAL BASE SHOE ANCHORED TO CONC. WITH 1/2" (12.7) Ø BOLT, 24"x24"x12

(610x610x305) CONC. FOOTING OR AS PROVIDED ON PLAN. REFER TO NOTE 28 **STEP FOOTINGS** (9.15.3.9.)

MIN. HORIZ, STEP = 23 5/8" (600), MAX, VERT, STEP = 23 5/8" (600), CONC. PORCH SLAB (9.16.4.)

MIN. 4" (100) CONCRETE SLAB ON GRADE ON 4" (100) COARSE GRANULAR FILL, REINFORCED WITH 6x6xW2.9xW2.9 MESH PLACED NEAR MID-DEPTH OF CONC. STRENGTH 32MPa (4640psi) WITH 5-8% AIR ENTRAINMENT ON COMPACTED SUB-GRADE

FURNACE VENTING (9.32.)

DIRECT VENT FURNACE TERMINAL MIN. 3'-0" (915) FROM A GAS REGULATOR. MIN. 12" (305) ABOVE FIN. GRADE, FROM ALL OPENINGS, EXHAUST AND INTAKE VENTS. HRV INTAKE TO BE A MIN. OF 6'-0" (1830) FROM ALL EXHAUST TERMINALS. REFER TO GAS UTILIZATION CODE.

FIREPLACE VENTING (9.32.3.) DIRECT VENT GAS FIREPLACE VENT TO BE A MIN. 12" (305) FROM ANY OPENING AND ABOVE FIN. GRADE. REFER TO GAS UTILIZATION CODE.

FLOOR FRAMING (9.23.3.5., 9.23.9.4., 9.23.14.) &G SUBFLOOR ON WOOD FLOOR JOISTS. FOR CERAMIC TILE APPLICATION SEE O.B.C. 9.30.6. ALL JOISTS WHERE REQUIRED TO BE BRIDGED WITH 2"x2" (38x38) CROSS BRACING OR SOLID BLOCKING @ 6-11" (2108) O.C. MAX. ALL JOISTS TO BE STRAPPED WITH 1"x3" (19x64) @ 6'-11" (2108) O.C. UNLESS A PANEL TYPE CEILING FINISH IS APPLIED.

HEADER CONSTRUCTION

PROVIDE CONTINUOUS APPROVED AIR/VAPOUR BARRIER (HEADER WRAP) UNDER THE SILL PLATE, AROUND THE RIM BOARD AND UNDER THE BOTTOM PLATE. THE HEADER WRAP SHALL EXTEND 6" (152) BELOW THE BOTTOM PLATE. THE HEADER WHAP SHALL EXTEND 0 (132) DILLOW THE TOP OF FOUNDATION WALL AND WILL BE SEALED TO THE CONCRETE FOUNDATION WALL. EXTEND HEADER WRAP 6" (152) UP THE INTERIOR SIDE OF THE STUD WALL AND OVERLAP WITH THE VAPOUR BARRIER AND SEAL THE JOINT. ALL EDGES/JOINTS MUST BE MECHANICALLY CLAMPED.

EXPOSED BUILDING FACE w/ LIMITING DISTANCE <= 3'-11" (1.20m) WALL ASSEMBLY CONTAINS INSULATION CONFORMING TO CANJULC-\$702 & HAVING A MASS OF NOT LESS THAN 1.22 KG/M2 OF WALL SURFACE AND 1/2" (12.7) TYPE X GYPSUM WALLBOARD INTERIOR FINISH. EXTERIOR CLADDING MUST BE NON-COMBUSTIBLE WHEN LIMITING DISTANCE IS 23 5/8" (0.60m) OR LESS. WALL ASSEMBLY REQUIRES TO HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN 45 MINUTES & CONFORMING TO 0.B.C. (9.10.14. OR 9.10.15.). REFER TO DETAILS FOR TYPE & SPECS. ** AN OPENING IN AM EXPOSING BUILDING FACE NOT MORE THAN 20 in (130cm²) SHALL NOT BE CONSIDERED AN UNPROTECTED OPENING AS PER 910.16.16.

COLD CELLAR PORCH SLAB (9.39.) FOR MAX. 8'-2" (2500) PORCH DEPTH, 5" (127) 32 MPa (4640psi) CONC. SLAB W/5-8% AIR ENTRAINMENT. REINF. WITH 10M BARS @ 7 7/8" (200) O.C. EACH DIRECTION, W/1 1/4" (32) CLEAR COVER FROM BOTTOM OF SLAB TO FIRST LAYER OF BARS & SECOND LAYER OF BARS LAID DIRECTLY ON TOP OF LOWER LAYER OF BARS & SECOND LAYER OF BARS LAID DIRECTLY ON TOP OF LOWER LAYER IN OPPOSITE DIR. 24"x24" (610x610) 10M DOWELS @ 23 5/8" (600) O.C., ANCHORED IN PERIMETER FND. WALLS. SLOPE SLAB 1.0% FROM DOOR.

RANGE HOODS AND RANGE-TOP FANS

CONFORM TO OBC 9.10.22, 9.32.3.9. & 9.32.3.10.

CONVENTIONAL ROOF FRAMING (9.23.13., 9.23.15.) 2"x6" (38x140) RAFTERS @ 16" (406) O.C., 2"x8" (38x184) RIDGE BOARD. 2"x4" (38x89) COLLAR TIES AT MID-SPAN. CEILING JOISTS TO BE 2"x4" (38x89) @ 16" (406) O.C. FOR MAX. 9-3" (2819) SPAN & 2"x6" (38x140) @ 16" (406) O.C. FOR MAX. SPAN 14'-7" (4450). RAFTERS FOR BUILT UP ROOF OVER PRE-ENGINEERED ROOF TRUSSES AND OR CONVENTIONAL FRAMING TO BE 2"x4" (38x89) @ 24" (610) O.C. UNLESS OTHERWISE SPECIFIED.

cont. SECTION 1.0. CONSTRUCTION NOTES

TWO STOREY VOLUME SPACES (9.23.10.1., 9.23.11., 9.23.16.)

MALL ASSEMBLY		WIND LOADS									
EXTERIOR	STUDS	<= 0.5	<= 0.5 kPA (q50)		kPa (q50)						
EXTENION	31003	SPACING	MAX HEIGHT	SPACING	MAX HEIGHT						
BRICK	2-2"x6"	12" (305) O.C.	18'-4" (5588)	8" (200) O.C.	18'-4" (5588)						
SIDING	(2-38x140) SPR.#2	16" (406) O.C.	18'-4" (5588)	12" (305) O.C.	18'-4" (5588)						
BRICK	2-2"x8" (2-38x184)	12" (305) O.C.	21'-0" (6400)	12" (305) O.C.	21'-0" (6400)						
SIDING	SPR.#2	16" (406) O.C.	21'-0" (6400)	16" (406) O.C.	21'-0" (6400)						
** STUD	SIZE & SPAC	ING TO BE V	ER IFI ED BY ST	RUCTURAL E	** STUD SIZE & SPACING TO BE VERIFIED BY STRUCTURAL ENGINEER **						

STUDS ARE TO BE CONTINUOUS, C/W 3/8" (9.5) THICK EXTERIOR PLYWOOD SHEATHING. PROVIDE SOLID WOOD BLOCKING BETWEEN WOOD STUDS @ 4'-0" (1220) O.C. VERTICALLY.

FOR HORIZ. DISTANCES LESS THAN 9'-6' (2896) PROVIDE 2"X6' (38x140) STUDS @ 16' (406) O.C. WITH CONTIN. 2-2"X6' (2-38x140) TOP PLATE + 1-2"X6' (1-38x140) BOTTOM PLATE & MIN. OF 3-2"X6'' (3-38x184) CONT. HEADER AT GROUND FLOOR CEILING LEVEL TOE-NAILED & GLUED AT TOP, BOTTOM PLATES & HEADERS.

1 HR. PARTY WALL (CONC. BLOCK) ([SB-3] WALL TYPE 'B6e' & 'B1b') 1/2" (12.7) GYPSUM SHEATHING ON EACH SIDE ON 2"x2" (38x38) VERTICAL WD. STRAPPING @ 24" (610) O.C. ON 8" (200) CONC. BLOCK FILL STRAPPING CAVITY EACH SIDE WITH AT LEAST 90% OF ABSORPTIVE MATERIAL PROCESSED FROM ROCK, SLAG OR GLASS, TAPE, FILL & SAND ALL GYPSUM JOINTS. EXPOSED BLOCK MUST BE SEALED W/ 2 COATS OF PAINT OR FURRED WITH 2"x2" (38x38) WD. STRAPPING & 1/2" (12.7) GYPSUM SHEATHING.

1 HR. PARTY WALL (DOUBLE STUD) ([SB-3] WALL TYPE 'W13c') 5/8" (15.9) TYPE 'X' GYPSUM SHEATHING ON EXTERIOR SIDE OF 2 ROWS OF 2"x4" (38x89) STUDS @ 16" (406) O.C., MIN. 1" (25) APART ON SEPARATE 2"x (38x89) SILL PLATES. (2"x6" (38x140) AS REQUIRED) FILL ONE SIDE OF STUD CAVITÝ WITH AT LEAST 90% OF ABSORPTIVE MATÉRIAL PROCESSED FROM ROCK, SLAG OR GLASS. TAPE FILL AND SAND ALL GYPSUM JOINTS.

40A) 2 HR. FIREWALL ([SB-3] WALL TYPE 'B6e' & 'B1b') 1/2" (12.7) GYPSUM SHEATHING ON EACH SIDE ON 2"x2" (38x38) VERTICAL WOOD STRAPPING @ 24" (610) O.C ON 8" (200) CONC. BLOCK 75% SOLID. FILL STRAPPING CAVITY EACH SIDE WITH AT LEAST 90% OF ABSORPTIVE MATERIAL PROCESSED FROM ROCK, SLAG OR GLASS. TAPE, FILL & SNAD ALL GYPSUM JOINTS. AT UNFINISHED AREAS, EXTERIOR FACE OF CONC. BLOCK TO BE SEALED WITH 2 COATS OF PAINT. GYPSUM SHEATHING TO BE ATTACHED TO CONC. BLOCK. (REFER TO DETAILS)

(41) STUCCO WALL CONSTRUCTION (2'x6') STUCCO FINISH CONFORMING TO O.B.C. SECTION 9.28. AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1 1/2" (38) E.I.F.S. (MINIMUM) ON APPROVED DRAINAGE MAT ON 1/2" (12.7) DENSGLASS GOLD GYPSUM BOARD ON STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1., INSULATION, APPROVED 6 MIL. POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH (REFER TO 35 NOTE AS REQUIRED)

41A STUCCO WALL CONSTRUCTION (2*x6*) W/ CONTIN, INSUL, STUCCO FINISH CONFORMING TO O.B.C. SECTION 9.28. AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1 1/2" (38) E.I.F.S. (MINIMUM) ON APPROVED DRAINAGE MAT ON APPROVED AIR/WATER BARRIER AS PER O.B 9.27.3. ON EXTERIOR TYPE RIGID INSULATION (JOINTS UNTAPED) MECHANICATIONS FASTENED AS PER MANUFACTURER'S SPECIFICATIONS, ON 7/16" EXTERIOR TY SHEATHING ON STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1 INSULATION, APPROVED 6 MIL. POLYETHYLENE VAPOUR BARRIER, 1/2" (12 GYPSUM WALLBOARD INT. FINISH. (REFER TO 35 NOTE AS REQUIRED)

STUCCO WALL @ GARAGE CONST. STUCCO FINISH CONFORMING TO O.B.C. SECTION 9.28. AND APPLIED PERMANUFACTURERS SPECIFICATIONS OVER 1 1/2" (38) E.F.I.S (MINIMUM) ON APPROVED DRAINAGE MAT ON 1/2" (12.7) DENSGLASS GOLD GYPSUM BRD. O STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1. 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH, (REFER TO 35 NOTE AS REC WALLBUARD INI. FINISH. (REPERTIO 35 NOTE AS REQ.)
**** FOR DWELLINGS USING CONTIN. INSULATION CONSTRUCTION,
PROVIDE APPROVED DRAINAGE MAT ON 7/16" (11) EXTERIOR TYPE SHEATHING
OVER FURRING (AS REQ.) AND STUDS IN LIEU OF 1 1/2" (38) E.F.I.S (MINIMUM)
ON APPROVED DRAINAGE MAT ON 1/2" (12.7) DENSGLASS GOLD GYPSUM BRD

UNSUPPORTED FOUNDATION WALLS (9.15.4.2.) REINFORCING AT STAIRS AND SUNKEN FLOOR AREAS 2-20M BARS IN TOP PORTION OF WALL (UP TO 8'-0" OPENING 3-20M BARS IN TOP PORTION OF WALL (8-0" TO 10-0" OPENING) 4-20M BARS IN TOP PORTION OF WALL (10-0" TO 15-0" OPENING - BARS STACKED VERTICALLY AT INTERIOR FACE OF WALL @ 6" O.C REINFORCING AT BASEMENT WINDOWS -15M HORIZ. REINFORCING ON THE INSIDE AND OUTSIDE FACE OF THE

FOUNDATION WALL BELOW THE WIN. SILL. EXTEND BARS 24" (610) BEYOND THE OPENING. 2-15M VERTICAL REINFORCING ON THE INSIDE AND OUTSIDE FACE OF THE FOUNDATION WALL ON EACH SIDE OF THE WINDOW OPENING. - BARS TO HAVE MIN. 1" (25) CONC. COVER - BARS TO EXTEND 2'-0" (610) BEYOND BOTH SIDES OF OPENING

STUD WALL REINFORCEMENT
PROVIDE STUD WALL PROVIDE STUD WALL REINFORCEMENT IN MAIN BATHROOM CONFORMING TO O.B.C. (9.5.2.3.(1)) (REFER TO DETAILS)

WINDOW WELLS

STRATION INFORMATION

HUNT DESIGN ASSOCIATES INC

WHERE A WINDOW OPENS INTO A WINDOW WELL. A CLEARANCE OF NOT LESS THAN 21 5/8" (550) SHALL BE PROVIDED IN FRONT OF THE WINDOW. EVERY WINDOW WELL SHALL BE DRAINED TO THE FOOTING LEVEL OR OTHER SUITABLE LOCATION WITH A 4" (100) WEEPING TILE C/W A FILTER CLOTH WRAP AND FILLED WITH CRUSHED STONE. (9.9.10.1.(5), 9.14.6.3.)

SLOPED CEILING CONSTRUCTION ([SB-12] 3.1.1.8., 9.23.4.2.) 2"x12" (38x286) ROOF JOISTS @ 16" (406) O.C. PERPENDICULAR TO ROOF JOIST (PURLINS @ 16" (406) O.C. PERPENDICULAR TO ROOF JOIST (PURLINS NOT REQ. W/ SPRAY FOAM), W/ INSULATION BETWEEN JOIST 6 mil POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INT FINISH OR APPROVED EQ. INSULATION VALUE DIRECTLY ABOVE THE INNER SURFACE OF EXTERIOR WALLS SHALL NOT BE LESS THAN R20 (3.52 RSI).

46 FLAT ROOF/BALCONY CONSTRUCTION

WATERPROOFING MEMBRANE (9.26.11, 9.26.15, 9.26.16) FULLY ADHERED TO 5 (15.9) T&G EXTERIOR GRADE PLYWOOD SHEATHING ON 2"X2" (38x38) PURLINS ANGLED TOWARDS SCUPPER @ 2% MINIMUM LAID PERPENDICULAR TO 2"X8" (38x184) FLOOR JOISTS @ 16" (406) O.C. (UNLESS OTHERWISE NOTED). BUILT UP CURB TO BE 4" (100) MIN. ABOVE FINISHED BALCONY FLOOR. CONTINUOUS L'TRIM DRIP EDGE TO BE PROVIDED ON OUTSIDE FACE OF CURB. SCUPPER DRAIN TO BE LOCATED 24" (610) MIN. AWAY FROM HOUSE. PREFINISHED ALLUMINUM OR PANEL FOR UNDERSIDE OF SOFFIT (9.23.2.3). REMOVE CURB WHERE REQ. **BALCONY CONDITION**

FLAT ROOF/BALCONY CONSTRUCTION NOTE. INCLUDE 2"x4" (38x89) PT DECKING W/ 1/4" (6.4) GAPS LAID FLAT PARALLEL TO JOISTS ON 2"x4" (38x89) PT. SLEEPERS @ 12" (305) O.C. LAID FLAT PERPENDICULAR TO JOISTS BALCONY OVER HEATED SPACE CONDITION

SEE FLAT ROOF/BALCONY CONSTRUCTION NOTE FOR ASSEMBLY. REFER TO PLANS FOR FLOOR JOIST SIZE & REFER TO HEX NOTE 9 FOR INSULATION AND INTERIOR FINISH

47 BARREL VAULT CONSTRUCTION CANTIL EVERED 2"x4" (38x89) SPACERS LAID FLAT ON 2"x10" (38x235) SPR #2 ROOF JOIST NAILED TO BUILT-UP 3-3/4" (19) PLYWOOD HEADER PROFILED FOR BARREL. SPRAY FOAM INSULATION BETWEEN JOISTS W/ GYPSUM BOARD. INTERIOR FIN. (REFER TO DETAILS)

REFER TO SB-12 ENERGY EFFICIENCY DESIGN MATRIX ON THE TITLE PAGE FOR ALL VALUES AS REQUIRED PER 3.1.1., 3.1.2., 3.1.3. OF THE OBC.

SECTION 1.1. WALL STUDS

- REFER TO THIS CHART FOR STUD SIZE & SPACING AS REQUIRED FOR EXTERIOR WALLS ONLY, REFER TO SITING & GRADING PLAN OF THIS UNIT FOR CONFIRMATION OF TOP OF FOUNDATION WALL AND ADDITIONAL INFORMATION.

- IF STUD WALL HEIGHT EXCEEDS MAX, UNSUPPORTED HEIGHT, WALL NEEDS TO BE REVIEWED AND APPROVED BY ENGINEER

SIZE & SPACING OF STUDS: (OBC REFERENCE - TABLE 9.23.10.1.)						
MIN.		SUPPORTED LO	ADS (EXTER I OR)			
STUD SIZE,	ROOF w/ OR w/o ATT I C	ROOF w/ OR w/o ATTIC & 1 FLOOR	ROOF w/ OR w/o ATTIC & 2 FLOOR	ROOF w/ OR w/o ATTIC & 3 FLOOR		
in (mm)	MAX. STUD SPACING, in (mm) O.C.					
()	MAX. UNSUPPORTED HGT., ft-in (m)					
2"x4"	24" (610)	16" (405)	12" (305)	N/A		
(38x89)	9'-10" (3.0)	9'-10" (3.0)	9'-10" (3.0)	N/A		
2"x6"	-	24" (610)	16" (406)	12" (305)		
(38x140)	-	9'-10" (3.0)	11'-10" (3.6)	5'-11" (1.8)		

SECTION 2.0. GENERAL NOTES

1) EXCEPT WHERE A DOOR ON THE SAME FLOOR LEVEL AS THE BEDROOM PROVIDES DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL CONTAINING A BEDROOM IS TO HAVE AT LEAST ONE OUTSIDE WINDOW W/ MIN. 0.35m2 UNOBSTRUCTED OPEN PORTION W/ NO DIMENSION LESS THAN 1'-3" (380), CAPABLE OF MAINTAINING THE OPENING WITHOUT THE NEED FOR ADDITIONAL SUPPORT, CONFORMING TO 9.9.10. 2) WINDOW GUARDS: A GUARD OR A WINDOW WITH A MAXIMUM RESTRICTED OPENING WIDTH OF 4" (100) IS REQUIRED WHERE THE TOP OF THE WINDOW SILL IS LOCATED LESS THAN 1'-7" (480) ABOVE FIN. FLOOR AND THE DISTANCE FROM THE FINISHED FLOOR TO THE ADJACENT GRADE IS GREATER THAN 5'-11" (1800). (9.8.8.1.) 3) WINDOWS IN EXIT STAIRWAYS THAT EXTEND TO LESS THAN 2-11" (900) [3-6" (1070) FOR ALL OTHER BUILDINGS] SHALL BE PROTECTED BY GUARDS IN ACCORDANCE WITH NOTE #2 (ABOVE). OR THE WINDOW SHALL BE NON-OPERABLE AND DESIGNED O WITHSTAND THE SPECIFIED LOADS FOR BALCONY GUARDS AS PROVIDED IN 4.1.5.15 OR 9.8.8.2

4) REFER TO TITLE PAGE FOR MAX. U-VALUE REQUIREMENTS

2.2. CEILING HEIGHTS

	•				
THE CEILING HEIGHTS OF ROOMS AND SPACES SHALL CONFORM TO TABLE 9.5.3.1					
ROOM OR SPACE	MINIMUM HEIGHTS				
LIVING ROOM, DINING ROOM AND KITCHEN	7'-7" OVER 75% OF REQUIRED FLOOR AREA WITH A CLEAR HEIGHT OF 6'-11" AT ANY POINT				
BEDROOM	7'-7" OVER 50% OF REQUIRED FLOOR AREA OR 6'-11" OVER ALL OF THE REQUIRED FLOOR AREA.				
BASEMENT	6'-11" OVER AT LEAST 75% OF THE BASEMENT AREA EXCEPT THAT UNDER BEAMS AND DUCTS THE CLEARANCE IS PERMITTED TO BE REDUCED TO 6'-5".				
BATHROOM, LAUNDRY AREA ABOVE GRADE	6'-11" IN ANY AREA WHERE A PERSON WOULD NORMALLY BE STANDING				
FINISHED ROOM NOT MENTIONED ABOVE	6'-11"				
MEZZANINES	6'-11" ABOVE & BELOW FLOOR ASSEMBLY (9.5.3.2.)				
STORAGE GARAGE	6'-7" (9.5.3.3.)				
2.3. MECHANICAL / PLUMBING					

MECHANICAL VENTILATION IS REQUIRED TO PROVIDE 0.7 AIR CHANGE PER HOUR IF NOT AIR CONDITIONED 1 PER HOUR IF AIR CONDITIONED AVERAGED OVER 24 HOURS. WHEN A VENTILATION FAN (PRINCIPAL EXHAUST) IS REQUIRED, CONFORM O OBC 9.32.3.4. WHEN A HRV IS REQUIRED, CONFORM TO 9.32.3.11. REFER TO MECHANICAL DRAWINGS.

2) REFER TO HOT WATER TANK MANUFACTURER SPECS. CONFORM TO OBC 9.31.6. 3) REFER TO TITLE PAGE FOR SPACE HEATING EQUIPMENT, HRV AND DOMESTIC HOT WATER HEATER MINIMUM EFFICIENCIES. 4) DRAIN WATER HEAT RECOVERY UNIT(S) WILL BE INSTALLED CONFORMING TO THE REQUIREMENTS OF SB12 - 3.1.1.12. OF THE O.B.C.

2.4. LUMBER1) ALL LUMBER SHALL BE SPRUCE No.2 GRADE OR BETTER, UNLESS NOTED OTHERWISE. 2) STUDS SHALL BE STUD GRADE SPRUCE, UNLESS NOTED OTHERWISE. 3) LUMBER EXPOSED TO THE EXTERIOR TO BE SPRUCE No. 2 GRADE PRESSURE TREATED OR CEDAR, UNLESS NOTED OTHERWISE.

4) ALL LAMINATED VENEER LUMBER (LVL) BEAMS, GIRDER TRUSSES, AND METAL HANGER CONNECTIONS SUPPORTING ROOF FRAMING TO BE DESIGNED & CERTIFIED BY FLOOR AND ROOF TRUSS MANUFACTURER. 5) JOIST HANGERS: PROVIDE APPROVED METAL HANGERS FOR ALL JOISTS AND BUILT-UP WOOD MEMBERS INTERSECTING WITH FLUSH BUILT-UP WOOD MEMBERS. 6) WOOD FRAMING NOT TREATED WITH A WOOD PRESERVATIVE, IN CONTACT WITH CONCRETE, SHALL BE SEPARATED FROM THE CONC. BY AT LEAST 2 mil POLYETHYLE FILM, No.50 (45lbs) ROLL ROOFING OR OTHER DAMPPROOFING MATERIAL, EXCEPT WHERE THE WOOD MEMBER IS AT LEAST 6" (152) ABOVE THE GROUND.

2.5. STEEL (9.23.4.3.)) STRUCTURAL STEEL SHALL CONFORM TO CAN/CSA-G40-21 GRADE 350W, HOLLOW TRUCT. SECTIONS SHALL CONFORM TO CAN/CSA-G40-21 GRADE 350W CLASS "H".

2) REINFORCING STEEL SHALL CONFORM TO CSA-G30-18M GRADE 400R.

2.6. FLAT ARCHES1) FOR 8-0" (2440) CEILINGS, FLAT ARCHES SHALL BE 6-10" (2080) A.F.F.
2) FOR 9-0" (2740) CEILINGS, FLAT ARCHES SHALL BE 7-10" (2400) A.F.F. 8) FOR 10'-0" (3040) CEILINGS, FLAT ARCHES SHALL BE 8'-6" (2600) A.F.F.

2.7. ROOF OVERHANGS
1) ALL ROOF OVERHANGS SHALL BE 1'-0" (305). UNLESS NOTED OTHERWISE. **2.8. FLASHING** (9.20.13., 9.26.4. & 9.27.3.) LASHING MATERIALS & INSTALLATION SHALL CONFORM TO O.B.C.

O THE BUILDING SHALL BE LOCATED OR THE BUILDING SITE GRADED SO THE WATER WILL NOT ACCUMULATE AT OR NEAR THE BUILDING AND WILL NOT ADVERSELY FFECT ADJACENT PROPERTIES. CONFORM TO 9.14.6.

2.10. ULC SPECIFIED ASSEMBLIES
ALL REQUIRED INDIVIDUAL COMPONENTS THAT FORM PART OF ANY 'ULC LISTED ASSEMBLY', SPECIFIED WITHIN THESE DRAWINGS, CANNOT BE ALTERED OR SUBSTITUTED FOR ANY OTHER MATERIAL/PRODUCT OR SPECIFIED MANUFACTURER THAT IS IDENTIFIED N THAT 'SPECIFIED ULC LISTING'. THERE SHALL BE NO DEVIATIONS UNDER A CIRCUMSTANCES IN ANY 'ULC LISTED ASSEMBLY' IDENTIFIED IN THESE DRAWINGS.

3.1. WOOD LINTELS AND BUILT-UP WOOD (DIVISION B PART 9. TABLES AS TO A10 AND A12, A15 & A16) FORMING PART OF SENTENCE, 9,23,4,2,(3), 9,23,4,2,(4), 9,23,12,3,(1),(3), 9,23,13,8,(2), 9,37,3,1

	2"x8" SPRUCE #2		2"x10" SPRUCE #2			2"x12" SPRUCE #2		
)	L1	2/2"x8" (2/38x184)	L3	2/2"x10" (2/38x235)	L5	2/2"x12" (2/38x286)		
	B1	3/2"x8" (3/38x184)	ВЗ	3/2"x10" (3/38x235)	B5	3/2"x12" (3/38x286)		
	B2	4/2"x8" (4/38x184)	B4	4/2"x10" (4/38x235)	B6	4/2"x12" (4/38x286)		
	В7	5/2"x8" (5/38x184)	B8	5/2"x10" (5/38x235)	B9	5/2"x12" (5/38x286)		
R	ENGINEERED LUMBER SCHEDULE - GRADE 2.0E (UNLESS NOTE OTHERWISE)							
		1 3/4" x 9 1/2" LVL	9 1/2" LVL 1 3/4" x 11 7/8" LVL			1 3/4" x 14" LVL		
	LVL2	1-1 3/4"x9 1/2"	LVL3	1-1 3/4"x11 7/8"	LVL10	1-1 3/4"x14"		
	LVL4	2-1 3/4"x9 1/2"	LVL6	2-1 3/4"x11 7/8"	LVL11	2-1 3/4"x14"		
	LVL5	3-1 3/4"x9 1/2"	LVL7	3-1 3/4"x11 7/8"	LVL12	3-1 3/4"x14"		
	LVL8	4-1 3/4"x9 1/2"	LVL9	4-1 3/4"x11 7/8"	LVL13	4-1 3/4"x14"		
		0.0.0						

3.2. STEEL LINTELS SUPPORTING MASONRY VENEER (DIVISION B PART 9. TABLE 9.20.5.2.B.)

FORMING PART OF SENTENCE 9.20.5.2.(2) & 9.20.5.2.(

CODE	SIZE	BRICK	STONE
L7	3 1/2" x 3 1/2" x 1/4" (89 x 89 x 6.4)	8'-1" (2.47m)	7'-6" (2.30m)
L8	4" x 3 1/2" x 1/4" (102 x 89 x 6.4)	8'-9" (2.66m)	8'-1" (2.48m)
L9	4 7/8" x 3 1/2" x 5/16" (127 x 89 x 7.9)	10'-10" (3.31m)	10'-1" (3.03m)
L10	4 7/8" x 3 1/2" x 3/8" (127 x 89 x 11)	11'-5" (3.48m)	10'-7" (3.24m)
L11	5 7/8" x 3 1/2" x 3/8" (152 x 89 x 11)	12'-6" (3.82m)	11'-7" (3.54m)
L12	7 1/8" x 4" x 3/8" (178 x 102 x 11)	14'-1" (4.30m)	13'-1" (3.99m)

3.3. DOOR SCHEDULE CONFORMING TO SECTIONS 9.5.11, 9.6., 9.7.2.1, 9.7.5.2, & 9.10.13.10 XTERIOR | 2'-8" x 6'-8" x 1-3/4" (815 x 2030 x 45) INSULATED MIN. R4 (RSI 0.7) EXTERIOR | 2'-10" x 6'-8" x 1-3/4" (865 x 2030 x 45) INSULATED MIN. R4 (RSI 0.7) EXTERIOR | 3'-0" x 6'-8" x 1-3/4" (915 x 2030 x 45) INSULATED MIN. R4 (RSI 0.7) EXTERIOR 2'-6" x 6'-8" x 1-3/4" (760 x 2030 x 45) INSULATED MIN. R4 (RSI 0.7) EXTERIOR | 2'-8" x 6'-8" x 1-3/4" (815 x 2030 x 45) INS. MIN. R4 (RSI 0.7) (SEE HEX NOTE 20 EXTERIOR 3'-0" x 8'-0" x 1-3/4" (915 x 2440 x 45) INSULATED MIN. R4 (RSI 0.7) EXTERIOR | 2'-8" x 8'-0" x 1-3/4" (815 x 2440 x 45) INSULATED MIN. R4 (RSI 0.7) EXTERIOR | 2-8 x 6-8" x 1-3/4" (815 x 2030 x 45) 20 MIN. F.R.R. DOOR/FRAME WITH APP. SELF CLOSING DEVIC INTERIOR | 2'-8" x 6'-8" x 1-3/8" (815 x 2030 x 35) INTERIOR | 2'-6" x 6'-8" x 1-3/8" (760 x 2030 x 35) PROVIDE 8'-0" HIGH INTERIOR | 2'-4" x 6'-8" x 1-3/8" (710 x 2030 x 35) INTERIOR DOORS FOR ALL 10' CEILING INTERIOR 2'-0" x 6'-8" x 1-3/8" (610 x 2030 x 35) CONDITIONS

INTERIOR | 2'-2" x 6'-8" x 1-3/8" (660 x 2030 x 35)

INTERIOR 1'-6" x 6'-8" x 1-3/8" (460 x 2030 x 35)

AFF	ABOVE FINISHED FLOOR	JST	JOIST
BBFM	BEAM BY FLOOR MANUFACTURER	LIN	LINEN CLOSET
BG	FIXED GLASS W/ BLACK BACKING	LVL	LAMINATED VENEER LUMBER
BM	BEAM	OTB/A	OPEN TO BELOW/ABOVE
BBRM	BEAM BY ROOF MANUFACTURER	PL	POINT LOAD
CRF	CONVENTIONAL ROOF FRAMING	PLT	PLATE
C/W	COMPLETE WITH	PT	PRESSURE TREATED
DJ/TJ	DOUBLE JOIST/ TRIPLE JOIST	PTD	PAINTED
DO	DO OVER	PWD	POWDER ROOM
DRP	DROPPED	RWL	RAIN WATER LEADER
ENG	ENGINEERED	SB	SOLID BEARING WOOD POST
EST	ESTIMATED	SBFA	SB FROM ABOVE
FA	FLAT ARCH	SJ	SINGLE JOIST
FD	FLOOR DRAIN	SPR	SPRUCE
FG	FIXED GLASS	STL	STEEL
FL	FLUSH	T/O	TOP OF
FLR	FLOOR	TYP	TYPICAL
GT	GIRDER TRUSS	U/S	UNDERSIDE
НВ	HOSE BIB	WD	WOOD
HRV	HEAT RETURN VENTILATION UNIT	WIC	WALK IN CLOSET

3.5. SYMBOLS

ALL ELECTRICAL FACILITIES SHALL BE INSTALLED IN ACCORDANCE WITH SECTION 9.34

3.4. ACRONYMS

CENTRAL VACUUM OUTLET

DUPLEX OUTLET (12" HIGH)

HEAVY DUTY OUTLET

POT LIGHT

VT HOT WATER TANK

SMOKE ALARM (9.10.19. DE ONE PER FLOOR, NEAR THE STAIRS CONNECTING THE FLOOR LEVEL. ALARMS O BE INSTALLED IN EACH SLEEPING ROOM AND IN A LOCATION BETWEEN EPING ROOMS AND CONNECTING HALLWAYS AND WIRED TO BE INTERCONNECTED D ACTIVATE ALL ALAMAS IF ONE SOUNDS, ALARMS ARE TO BE CONNECTED TO AN ECTRICAL CIRCUIT AND WITH A BATTERY BACKUP. ALARM SIGNAL SHALL MEET MPORAL SOUND PATTERNS MIN. ALARMS SHALL HAVE A VISUAL SIGNALLING

WP WEATHER PROOF

S EXHAUST VENT

→ SWITCH (2/3/4 WAY)

TELEPHONE JACK

DUPLEX OUTLET (HEIGHT AS NOTED A.F.I

LIGHT FIXTURE (CEILING MOUNTE

LIGHT FIXTURE (WALL MOUNTED

CHANDELIER (CEILING MOUNTE

OMPONENT AS PER THE "NATIONAL FIRE ALARM AND SIGNALING CODE 72 CMD CARBON MONOXIDE ALARM (9.33.4.)

X CHECK LOCAL BY LAWS FOR REQUIREMENTS ** A CARBON MONOXIDE ALARM(S) CONFORMING TO CAN/CGA-6.19 SHALL BE INSTALLED ON OR NEAR THE CEILING IN EACH DWELLING UNIT ADJACENT TO EACH SLEEPING AREA. CARBON MONOXIDE ALARM(S) HALL BE PERMANENTLY WIRED WITH NO DISCONNECT SWITCH. WITH AN ALARM THAT IS UDIBLE WITHIN SLEEPING ROOMS WHEN THE INTERVENING DOORS ARE CLOSED.

SB SOLID BEARING (BUILT-UP WOOD COLUMNS AND STUD POSTS)

SUPPORTED MEMBER. BUILT-UP WOOD COLUMNS SHALL BE NAILED TOGETHER WITH NOT LESS THAN 3" (76) NAILS SPACED NOT MORE THAN 11 3/4" (300) O.C. THE NUMBER OF STUDS IN A WALL DIRECTLY BELOW A GIRDER TRUSS OR ROOF BEAM SHALL ONFORM TO TABLES A-34 TO A-37. (9.17.4., 9.23.10.7.)

TWO STOREY VOLUME SPACE. SEE CONSTRUCTION NOTE 39

EXPOSED BUILDING FACE -O.B.C. 9.10.14. OR 9.10.15.
REFER TO HEX NOTE 35. & DETAILS FOR TYPE AND SPECIFICATIONS.

1 HR. PARTY WALL REFER TO HEX NOTE 40. 2 HR. FIREWALL REFER TO HEX NOTE 40A.

SECTION 4.0. CLIMATIC DATA DESIGN SNOW LOAD (9.4.2.2.) 1.01 **kPa** 0.44 **kPa** WIND PRESSURE (q50) (SB-1.2.)



****\$1) 100 COMMERCE VALLEY Dr. W.

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HE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THE DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIR BUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER. LIFICATION INFORMATION HUNTUU ÌΛΛ Allan Whiting

GOLDPARK HOMES - 221081

UNIT 4009-THE RIDGEVIEW REV.2022.05.16

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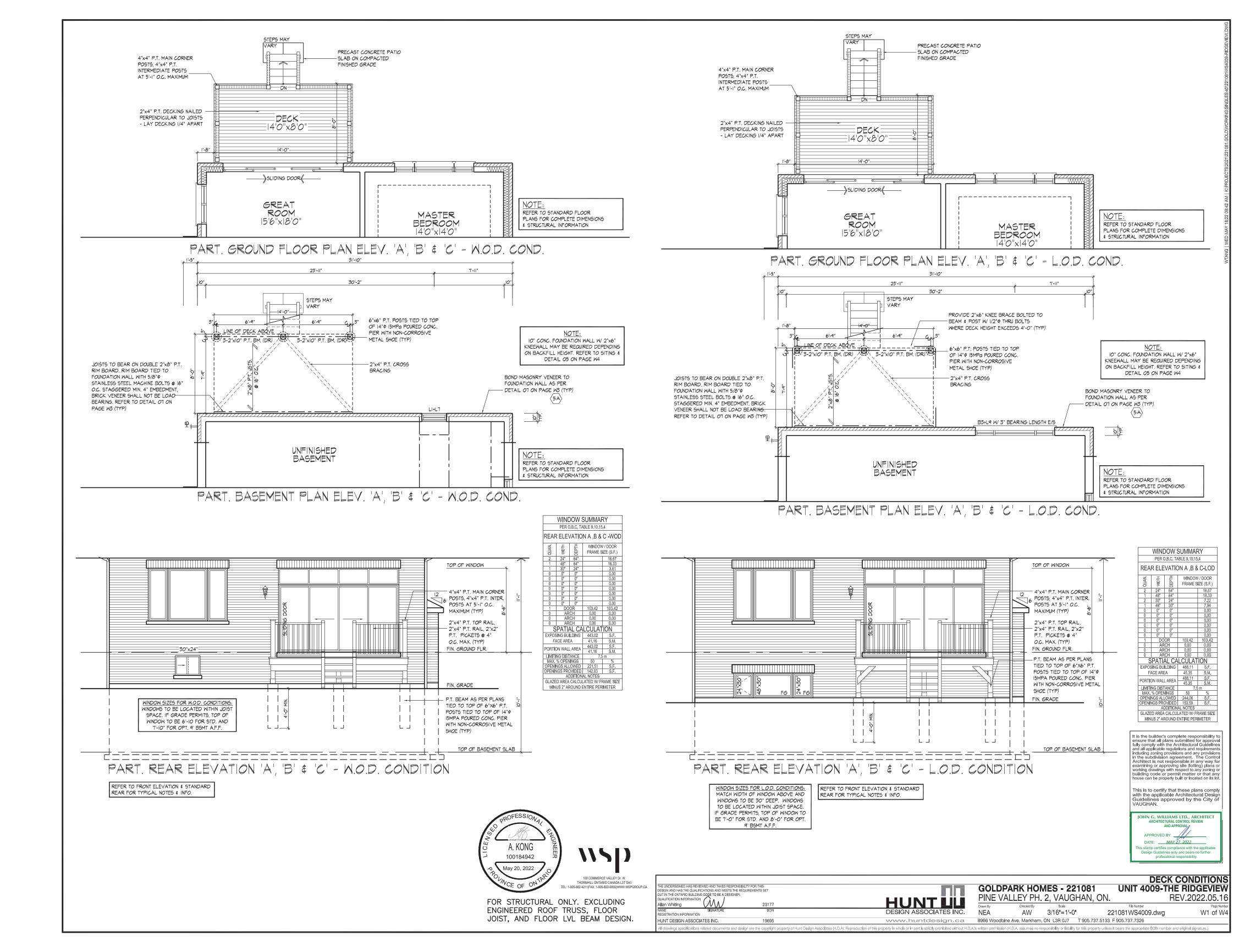
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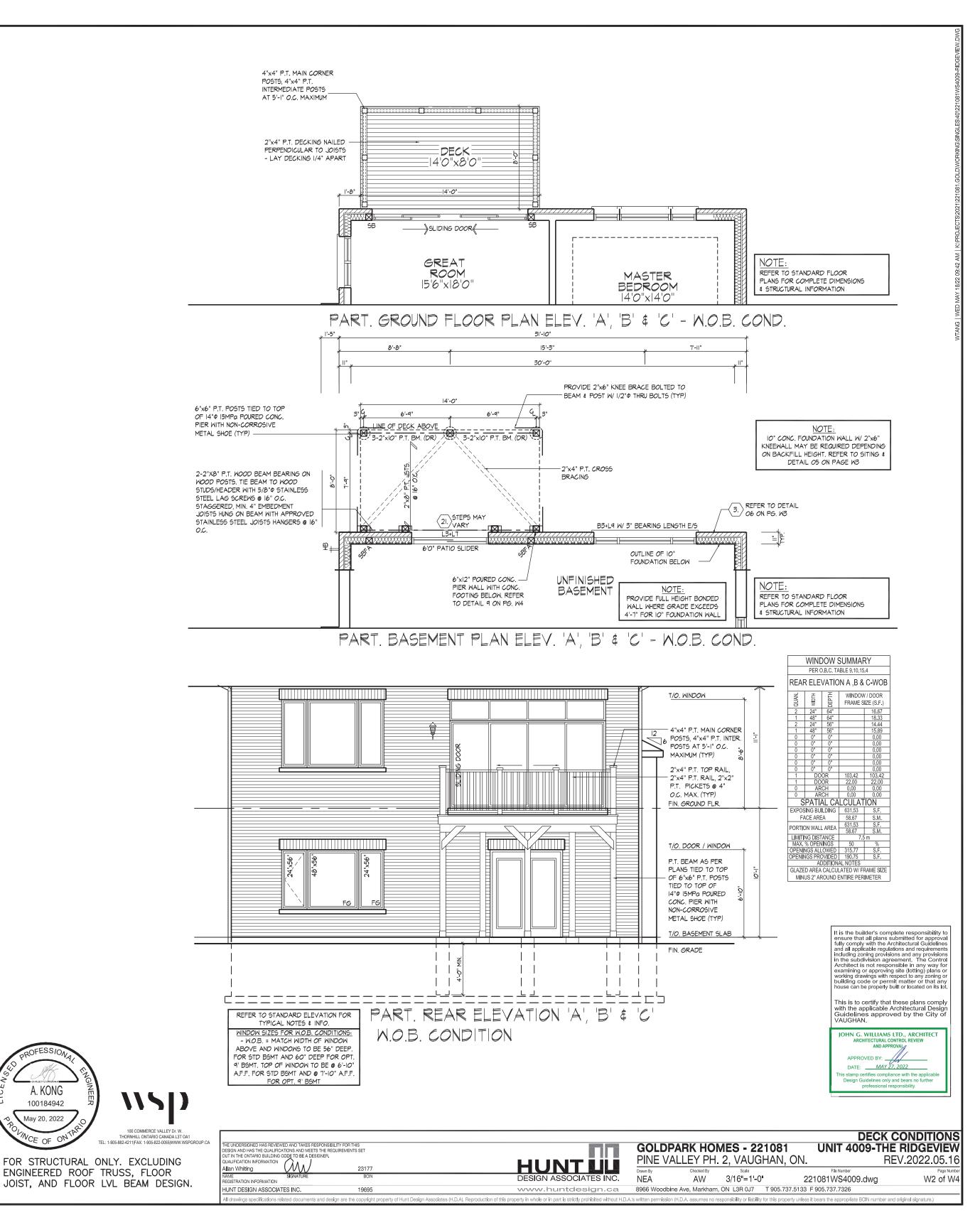
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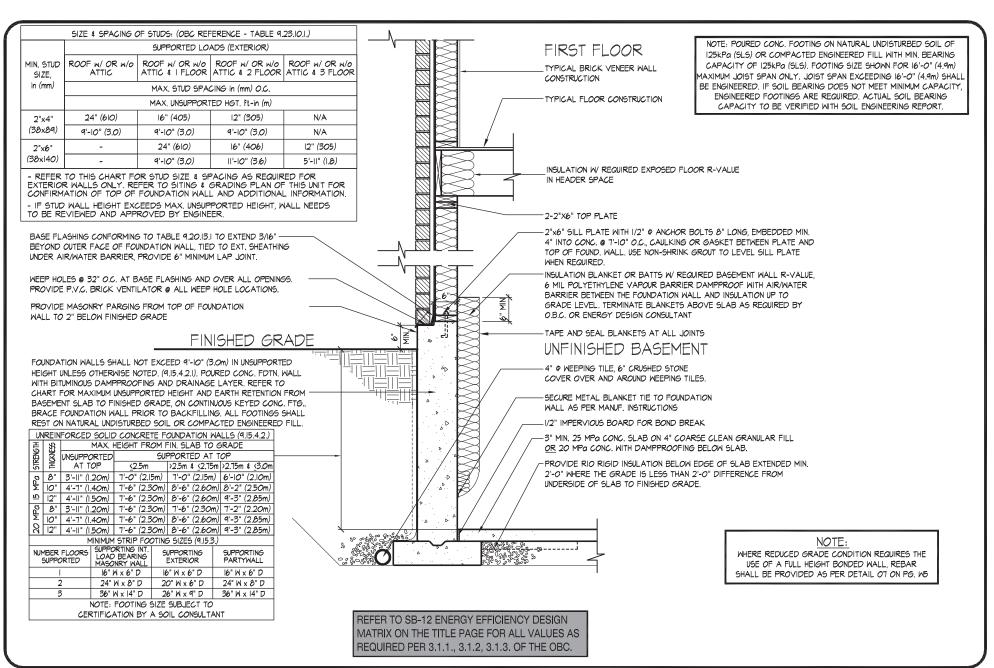
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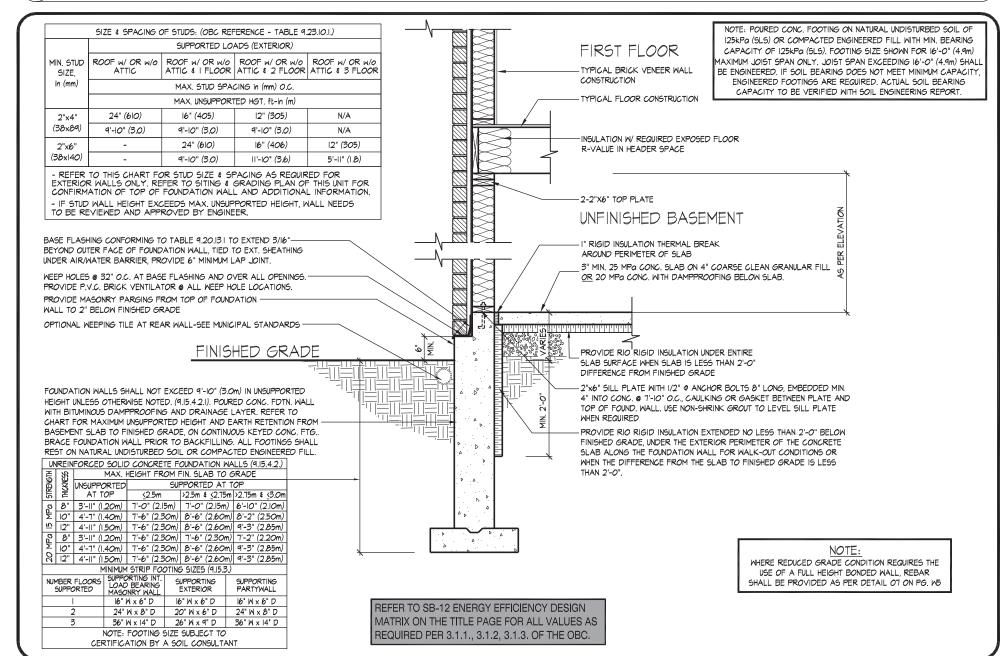
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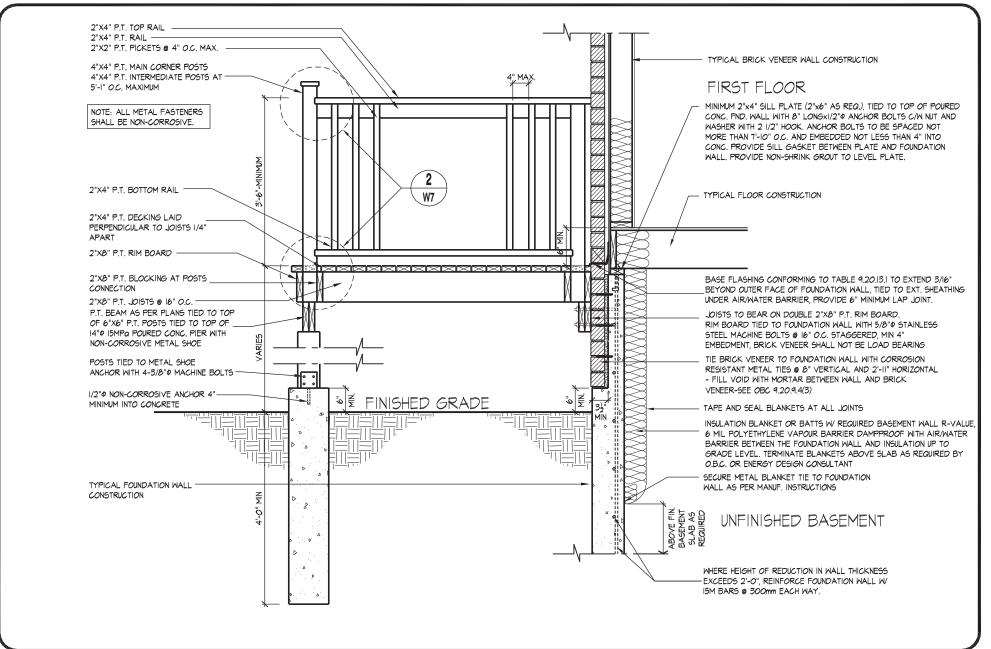




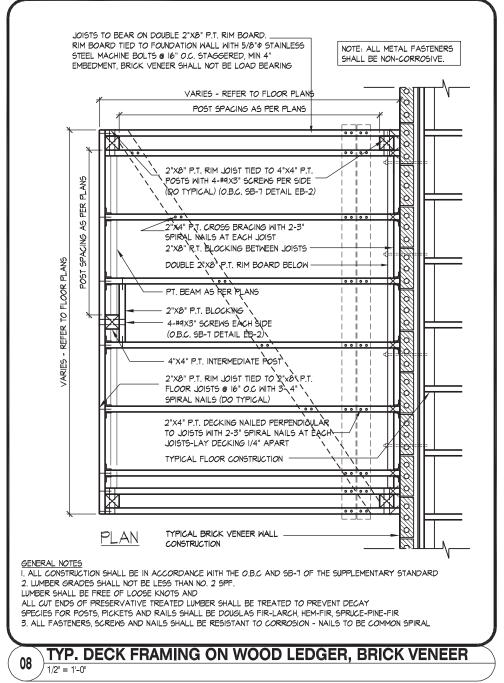
MASONRY VENEER, 2"x6" STUDS, 10" FOUNDATION WALL LATERALLY UNSUPPORTED



MASONRY VENEER, 2"x6" STUDS, SLAB ON GRADE / WALK OUT BASEMENT CONDITION



MASONRY VENEER, TYPICAL WALK/LOOK OUT WOOD DECK, SOLID MASONRY



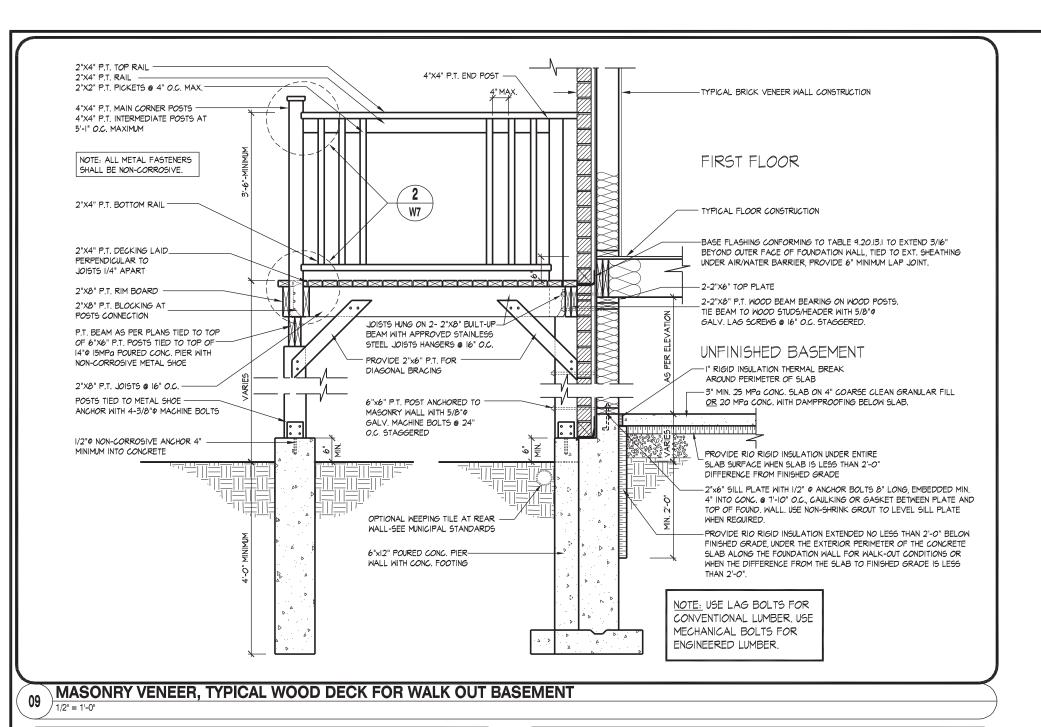
PROFESSIONAL A. KONG 100184942 POLINCE OF ON TRA

100 COMMERCE VALLEY Dr. W.
THORNIHLL ONTARIO CANADA L3T OA1
1-905-882-42*1[FAX: 1-905-820-055]WWW.WSPGROUP. CA

DEOK DETAIL (

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							DECK DETAILS
THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE R			GOLDF	PARK HON	MES - 22	1081 UNIT 4009-1	THE RIDGEVIEW
OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.		HIINTIII			2, VAUGI		REV.2022.05.16
Allan Whiting // // / NAME SIGNATURE	23177 BCIN	DESIGN ASSOCIATES INC.	Drawn By	Checked By	Scale 3/16"=1'-0"	File Number 221081WS4009.dwg	Page Numbe W3 of W4
REGISTRATION INFORMATION HUNT DESIGN ASSOCIATES INC.	19695	www.huntdesign.ca		ne Ave, Markham,	-,	T 905.737.5133 F 905.737.7326	VVO 01 VV-
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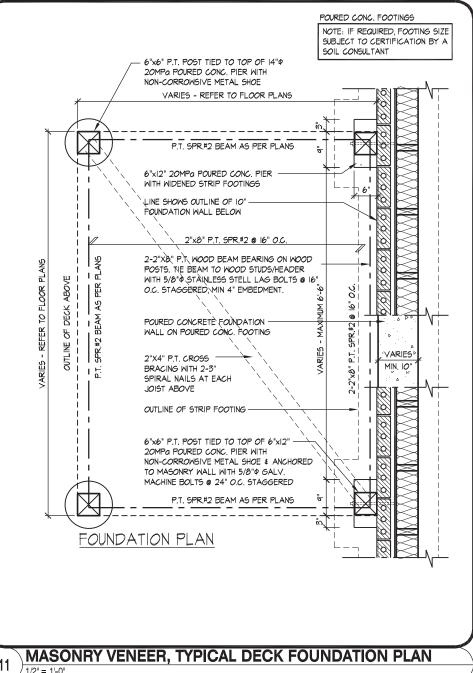


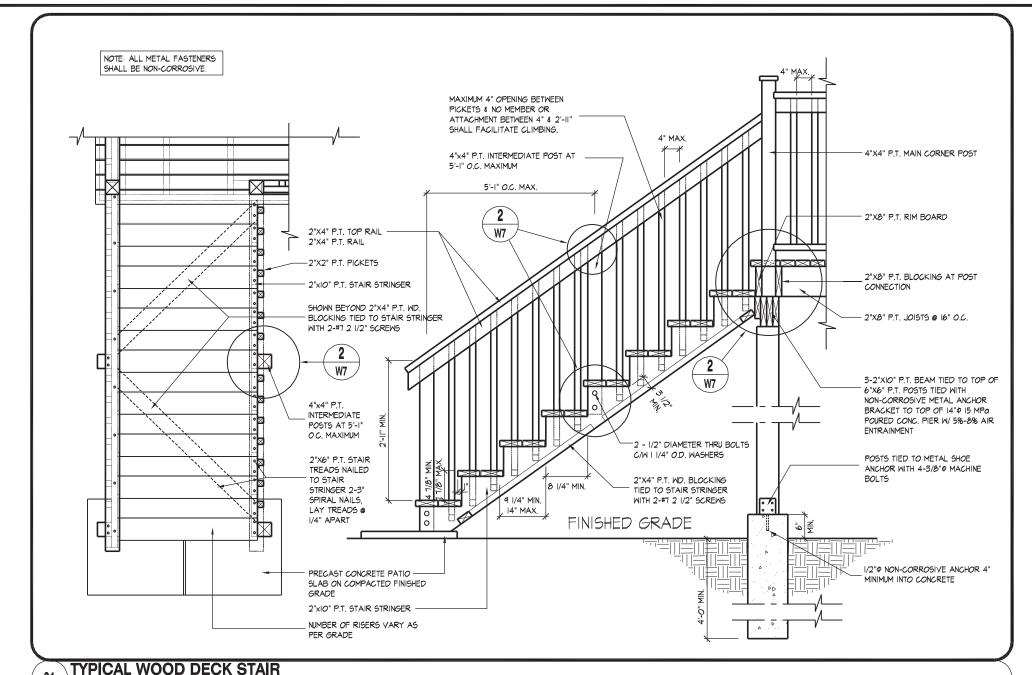
NOTE: ALL METAL FASTENERS SHALL BE NON-CORROSIVE. PROVIDE 2"x6" P.T. FOR — DIAGONAL BRACING TIED TO THE RIM JOIST VARIES - REFER TO FLOOR PLANS POST SPACING AS PER PLANS 2"X8" P.T. RIM JOIST TIED TO 4"X4" P.T. POSTS WITH 4-#9X3" SCREWS PER SIDE YPO TYPICAL) (O.B.C. SB-7 DETAIL EB-2) -APRROVED STAINLESS STELL JOISTS HANGERS -2"X4" P.T. CROSS BRACING WITH 2-3" 2-2"X8" WOOD BEAM – PT. BEAM AS RER PLANS 2"X8" P.T. BLOCKING 4-#9X3" SCREWS EACH SIDE (O.B.C. 5B-7 DETAIL EB-2) 4"X4" P.T. INTERMEDIATE POSTS 2"X8" P.T. RIM JOIST TIED TO "X"X8" P.T. FLOOR JOISTS @ 16" O.C WITH 3-4" SPIRAL NAILS (DO TYPICAL) 2"X4" P.T. DECKING NAILED PERPENDIQULAR TO JOISTS WITH 2-3" SPIRAL NAILS AT EACH JOISTS-LAY DECKING 1/4" APART TYPICAL FLOOR CONSTRUCTION <u>PLAN</u> <u>GENERAL NOTES</u>

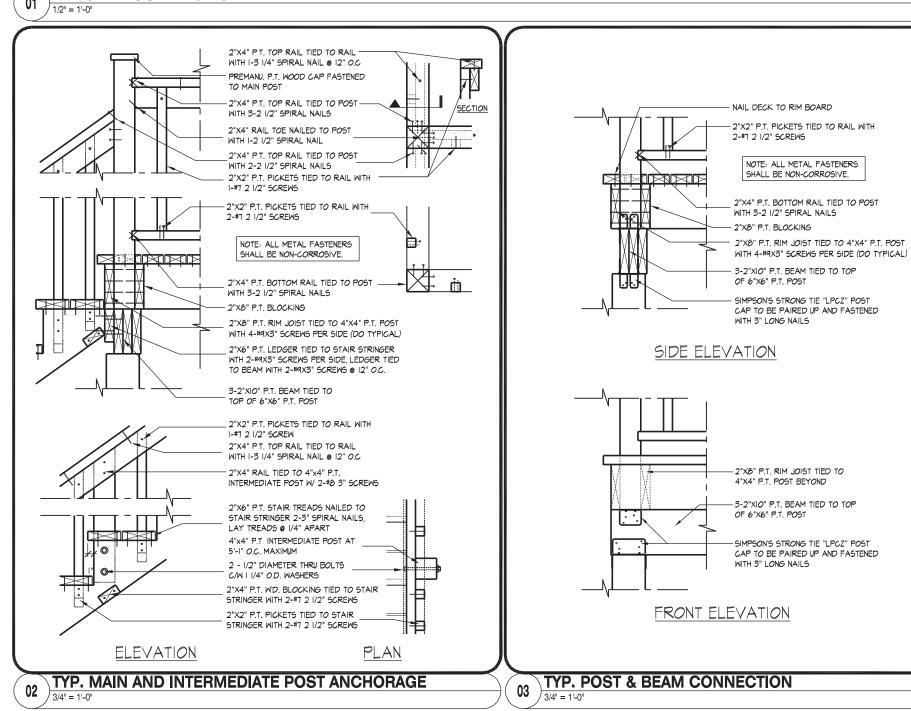
I. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE O.B.C AND SB-7 OF THE SUPPLEMENTARY STANDARD

2. LUMBER GRADES SHALL NOT BE LESS THAN NO. 2 SPF. LUMBER SHALL BE FREE OF LOOSE KNOTS AND ALL CUT ENDS OF PRESERVATIVE TREATED LUMBER SHALL BE TREATED TO PREVENT DECAY SPECIES FOR POSTS, PICKETS AND RAILS SHALL BE DOUGLAS FIR-LARCH, HEM-FIR, SPRUCE-PINE-FIR
3. ALL FASTENERS, SCREWS AND NAILS SHALL BE RESISTANT TO CORROSION - NAILS TO BE COMMON SPIRAL MASONRY VENEER, TYPICAL DECK FRAMING PLAN

[/] 1/2" = 1'-0"









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DECK DETAILS UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS **GOLDPARK HOMES - 221081 UNIT 4009-THE RIDGEVIEW** SIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SE T IN THE ONTARIO BUILDING CODE TO BE A DESIGNER. PINE VALLEY PH. 2, VAUGHAN, ON. REV.2022.05.16 **HUNT LU** (M_{Λ}) Allan Whiting 3/16"=1'-0" 221081WS4009.dwg NEA ΑW W4 of W4 STRATION INFORMATION 8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326 HUNT DESIGN ASSOCIATES INC www.huntdesign.ca