



UNIT 4006 - 'THE LILAC'

SB-12 ENERGY EFFICIENCY DESIGN MATRIX		
PRESCRIPTIVE COMPLIANCE		SB-12 (SECTION 3.1.1) TABLE 3.1.1.2.A
PACKAGE A1	SPACE HEATING FUEL	
	<input checked="" type="checkbox"/> GAS	<input type="checkbox"/> OIL
	<input type="checkbox"/> ELECTRIC	<input type="checkbox"/> PROPANE
	<input type="checkbox"/> EARTH	<input type="checkbox"/> SOLID FUEL
BUILDING COMPONENT	REQUIRED	PROPOSED
INSULATION RSI (R) VALUE		
CEILING W/ ATTIC SPACE	10.56 (R60)	10.56 (R60)
CEILING W/O ATTIC SPACE	5.46 (R31)	5.46 (R31)
EXPOSED FLOOR	5.46 (R31)	5.46 (R31)
WALLS ABOVE GRADE	3.87 (R22)	3.87 (R22)
BASEMENT WALLS	3.52 ci (R20 ci) *	3.52 ci (R20 ci) *
* PROPOSED VALUES MAY BE SUBSTITUTED W/ 2.11+1.76ci (R12+R10ci)		
BELOW GRADE SLAB ENTIRE SURFACE > 600mm BELOW GRADE	-	-
EDGE OF BELOW GRADE SLAB ≤ 600mm BELOW GRADE	1.76 (R10)	1.76 (R10)
HEATED SLAB OR SLAB ≤ 600mm BELOW GRADE	1.76 (R10)	1.76 (R10)
WINDOWS & DOORS		
WINDOWS/SLIDING GLASS DOORS (MAX U-VALUE)	1.6	1.6
SKYLIGHTS (MAX. U-VALUE)	2.8	2.8
APPLIANCE EFFICIENCY		
SPACE HEATING EQUIP. (AFUE%)	96%	96%
HRV EFFICIENCY (%)	75%	75%
DHW HEATER (EF)	0.8	0.8

AREA CALCULATIONS	EL. 'A'	EL. 'B'	EL. 'C'
	STD. PLAN	STD. PLAN	STD. PLAN
GROUND FLOOR AREA	1534 sq. ft. (142.51 sq. m.)	1496 sq. ft. (138.98 sq. m.)	1485 sq. ft. (137.96 sq. m.)
SECOND FLOOR AREA	1856 sq. ft. (172.43 sq. m.)	1852 sq. ft. (172.06 sq. m.)	1845 sq. ft. (171.41 sq. m.)
SUBTOTAL	3390 sq. ft. (314.94 sq. m.)	3348 sq. ft. (311.04 sq. m.)	3330 sq. ft. (309.37 sq. m.)
DEDUCT ALL OPEN AREAS	17 sq. ft. (1.58 sq. m.)	17 sq. ft. (1.58 sq. m.)	17 sq. ft. (1.58 sq. m.)
TOTAL NET AREA	3373 sq. ft. (313.36 sq. m.)	3331 sq. ft. (309.46 sq. m.)	3313 sq. ft. (307.79 sq. m.)
FINISHED BASEMENT AREA	160 sq. ft. (14.86 sq. m.)	160 sq. ft. (14.86 sq. m.)	177 sq. ft. (16.44 sq. m.)
COVERAGE W/OUT PORCH	1938 sq. ft. (180.05 sq. m.)	1900 sq. ft. (176.52 sq. m.)	1889 sq. ft. (175.49 sq. m.)
COVERAGE W/ PORCH	2012 sq. ft. (186.92 sq. m.)	2065 sq. ft. (191.84 sq. m.)	2061 sq. ft. (191.47 sq. m.)

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2 - BASEMENT PLAN, EL. 'A'
3 - GROUND FLOOR PLAN, EL. 'A'
4 - SECOND FLOOR PLAN, EL. 'A'
5 - FRONT ELEVATION 'A'
6 - FLANKAGE ELEVATION 'A'
7 - RIGHT SIDE ELEVATION 'A'
8 - UPGRADED REAR ELEVATION 'A'
9 - PARTIAL BASEMENT PLAN, EL. 'B'
10 - PARTIAL GROUND FLOOR PLAN, EL. 'B' & OPT. GROUND FLOOR PLAN
11 - PARTIAL SECOND FLOOR PLAN, EL. 'B'
12 - FRONT ELEVATION 'B'
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25 - CONSTRUCTION NOTES 2
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W2 - LOOK OUT DECK CONDITION
W3 - WALK OUT BASEMENT CONDITION
W4 - DECK DETAILS 1
W5 - DECK DETAILS 2
W6 - DECK DETAILS 3
W7 - RIGHT SIDE ELEVATION 'A' - WOB CONDITION
W8 - SPATIAL CALCULATIONS - DECK CONDITIONS

WINDOW / WALL AREA CALCULATIONS	EL. 'A'	EL. 'A' WOD	EL. 'A' LOD	EL. 'A' WOB
	STD. PLAN	STD. PLAN	STD. PLAN	STD. PLAN
GROSS WALL AREA	4386.62 sq. ft. (407.53 sq. m.)	4419.51 sq. ft. (410.59 sq. m.)	4512.01 sq. ft. (419.18 sq. m.)	4768.95 sq. ft. (443.05 sq. m.)
GROSS WINDOW AREA (INCL. GLASS DOORS & SKYLIGHTS)	518.38 sq. ft. (48.16 sq. m.)	520.05 sq. ft. (48.31 sq. m.)	545.05 sq. ft. (50.64 sq. m.)	594.55 sq. ft. (55.24 sq. m.)
TOTAL WINDOW %	11.82 %	11.77 %	12.08 %	12.47 %
	EL. 'B'	EL. 'B' WOD	EL. 'B' LOD	EL. 'B' WOB
	STD. PLAN	STD. PLAN	STD. PLAN	STD. PLAN
GROSS WALL AREA	4286.06 sq. ft. (398.19 sq. m.)	4318.95 sq. ft. (401.24 sq. m.)	4411.45 sq. ft. (409.84 sq. m.)	4668.39 sq. ft. (433.71 sq. m.)
GROSS WINDOW AREA (INCL. GLASS DOORS & SKYLIGHTS)	529.12 sq. ft. (49.16 sq. m.)	530.78 sq. ft. (49.31 sq. m.)	555.78 sq. ft. (51.63 sq. m.)	605.28 sq. ft. (56.23 sq. m.)
TOTAL WINDOW %	12.35 %	12.29 %	12.60 %	12.97 %
	EL. 'C'	EL. 'C' WOD	EL. 'C' LOD	EL. 'C' WOB
	STD. PLAN	STD. PLAN	STD. PLAN	STD. PLAN
GROSS WALL AREA	4479.98 sq. ft. (416.20 sq. m.)	4658.48 sq. ft. (432.79 sq. m.)	4752.69 sq. ft. (441.54 sq. m.)	5079.94 sq. ft. (471.94 sq. m.)
GROSS WINDOW AREA (INCL. GLASS DOORS & SKYLIGHTS)	663.44 sq. ft. (61.64 sq. m.)	665.11 sq. ft. (61.79 sq. m.)	690.11 sq. ft. (64.11 sq. m.)	719.11 sq. ft. (66.81 sq. m.)
TOTAL WINDOW %	14.81 %	14.28 %	14.52 %	14.16 %

8. -	-	-
7. -	-	-
6. -	-	-
5. -	-	-
4. ISSUED FOR PERMIT	-	-
3. REVISED PER ENG. STRUCT. COMMENTS	2022.08.02	WT
2. CO-ORD. W/ FLOOR & TRUSS LAYOUTS	2022.05.19	SP
1. ADD ELEVATION 'C' & STD. 90" BASEMENT	2022.02.18	WT
REVISIONS	DATE (YYYY/MM/DD)	BY

TITLE PAGE

GOLDPARK HOMES - 221081
PINE VALLEY PH.2, VAUGHAN, ON.

UNIT 4006 - THE LILAC
REV.2022.08.02

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION
Allan Whiting
NAME
SIGNATURE
23177
BCIN

HUNT DESIGN ASSOCIATES INC. 19695

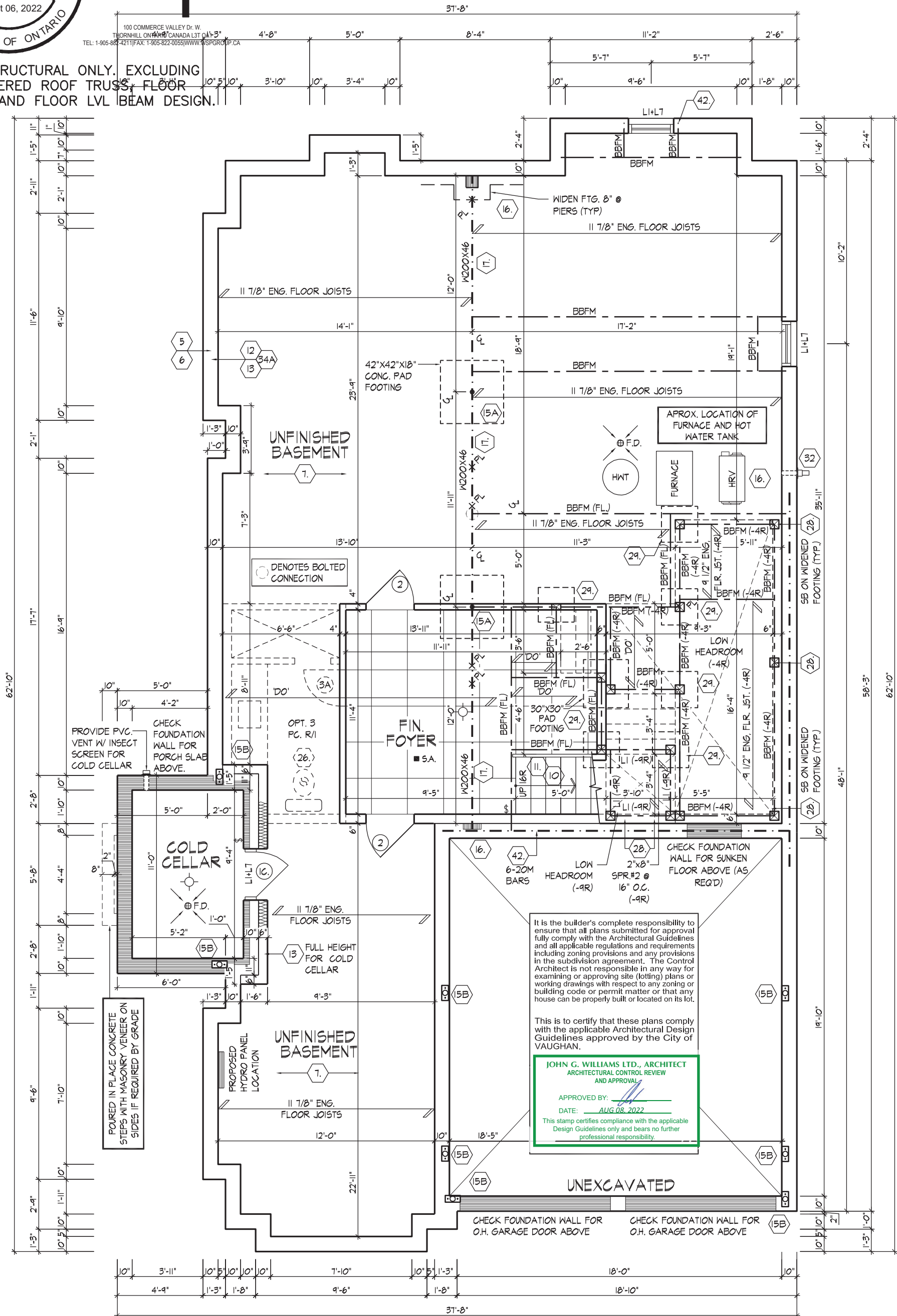
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BASEMENT PLAN, EL. 'A'

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Allan Whiting	<i>AW</i>	23177
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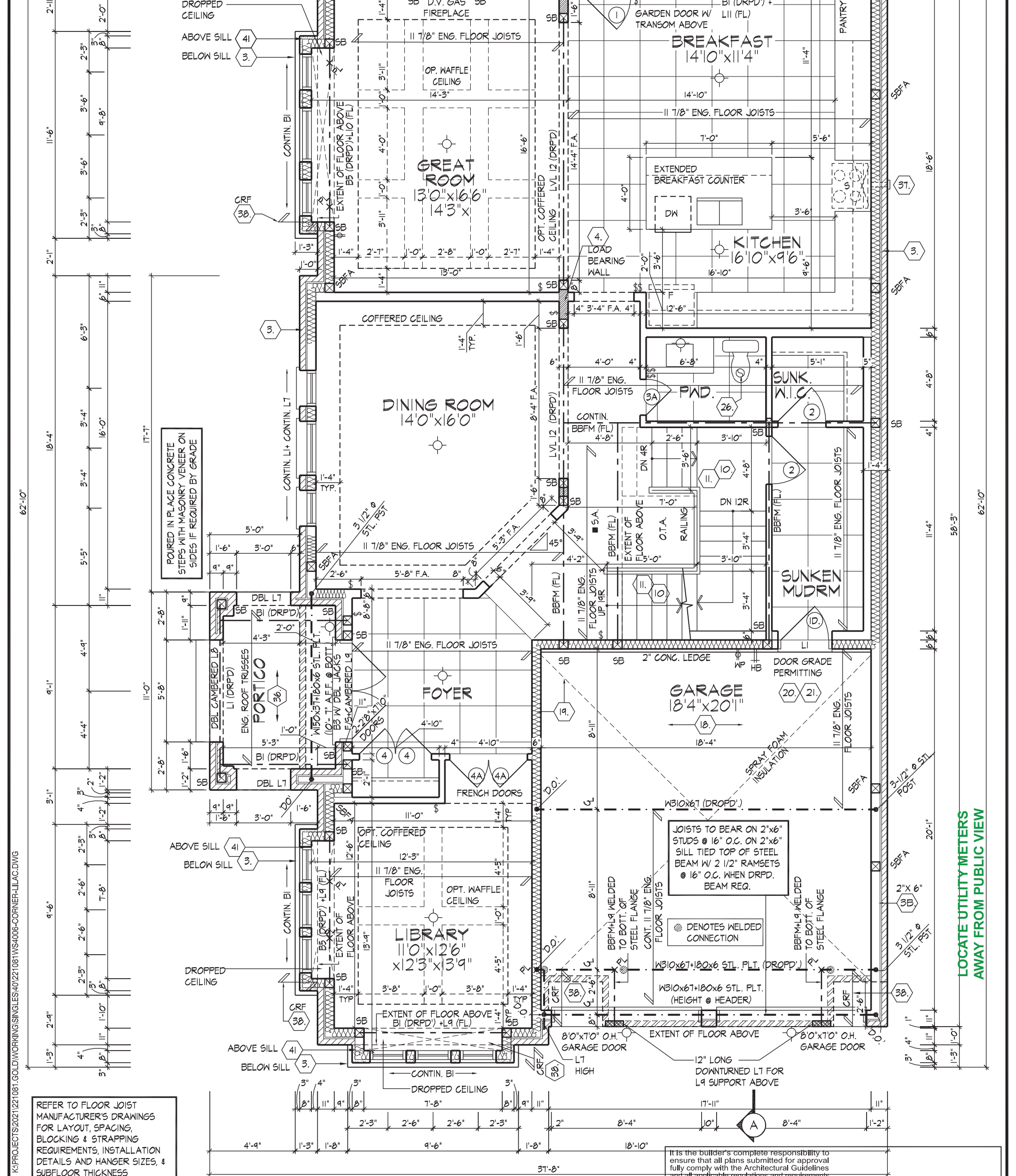
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GROUND FLOOR PLAN, EL. 'A'

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY:

DATE: AUG 08, 2022

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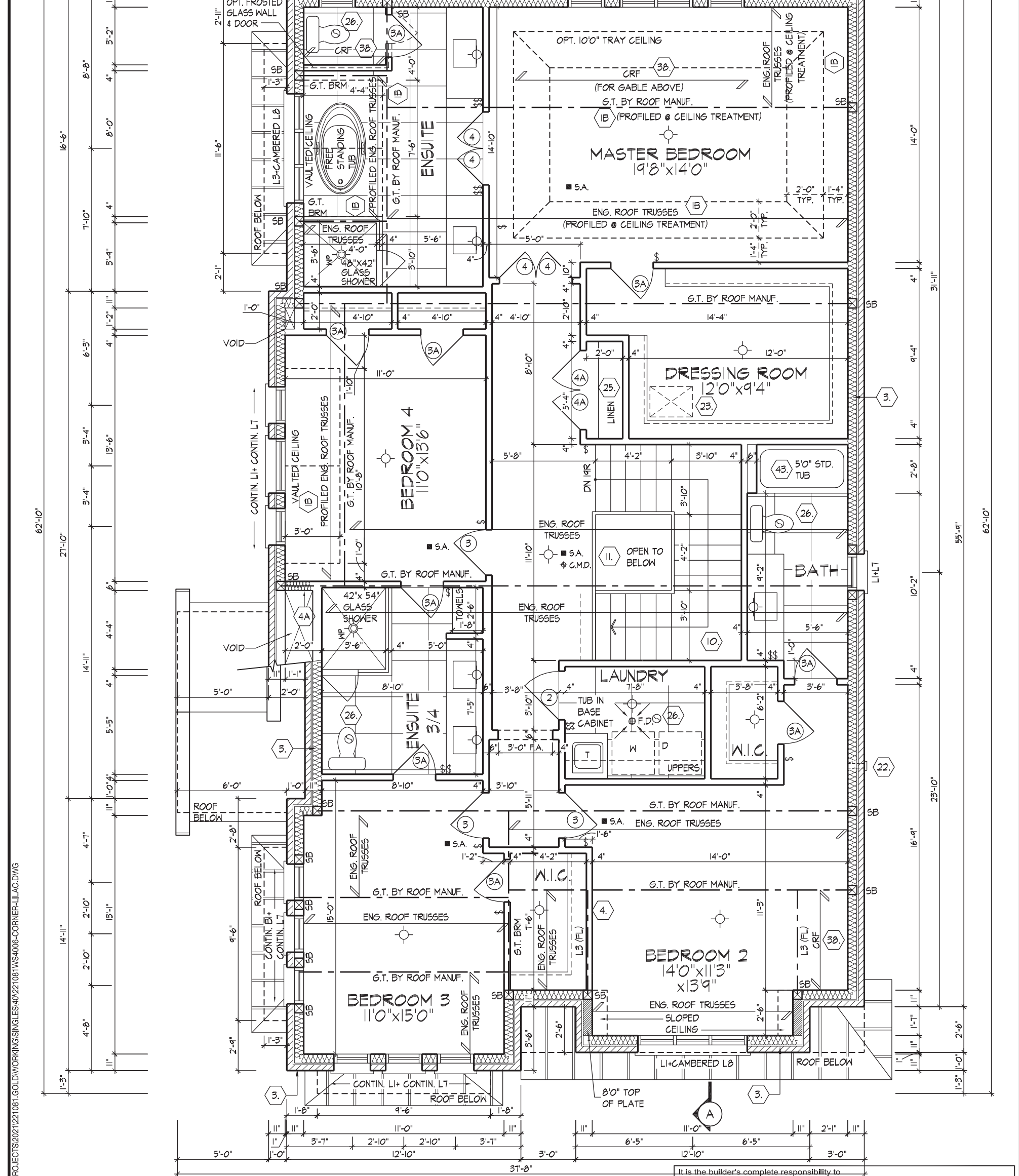
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DETAILS AND HANGER SIZES.

SECOND FLOOR PLAN, EL. 'A'

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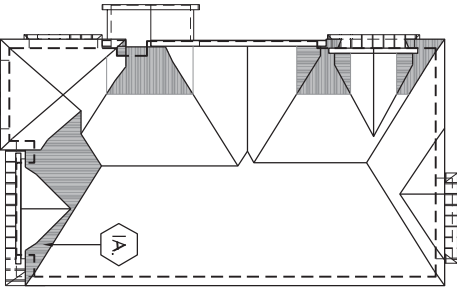
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ROOF OVERHANGS TO BE 15"
UNLESS NOTED OTHERWISE

ROOF PLAN, EL. 'A'

N.T.S.



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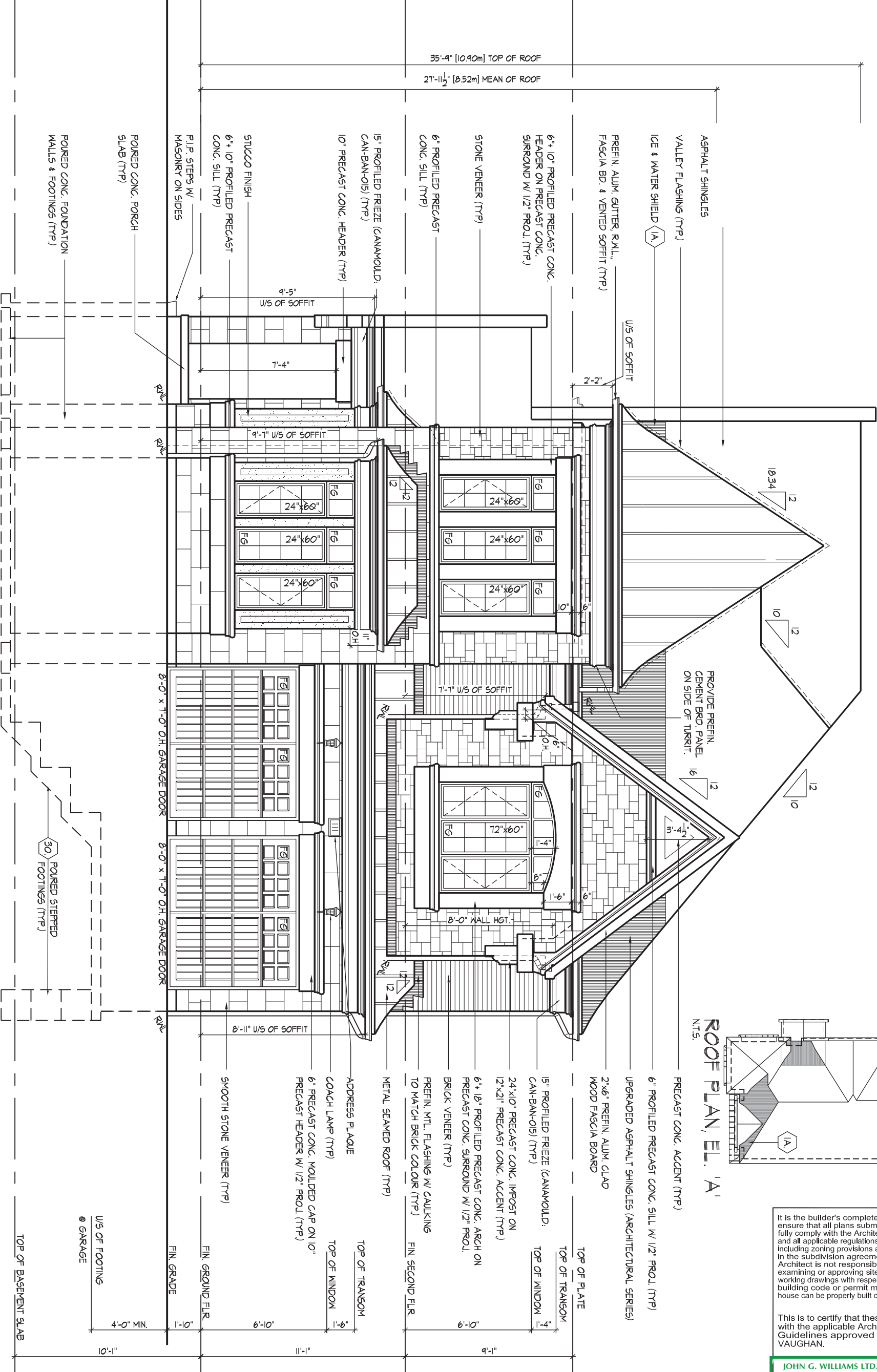
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FRONT ELEVATION 'A'

FRONT ELEVATION 'A'



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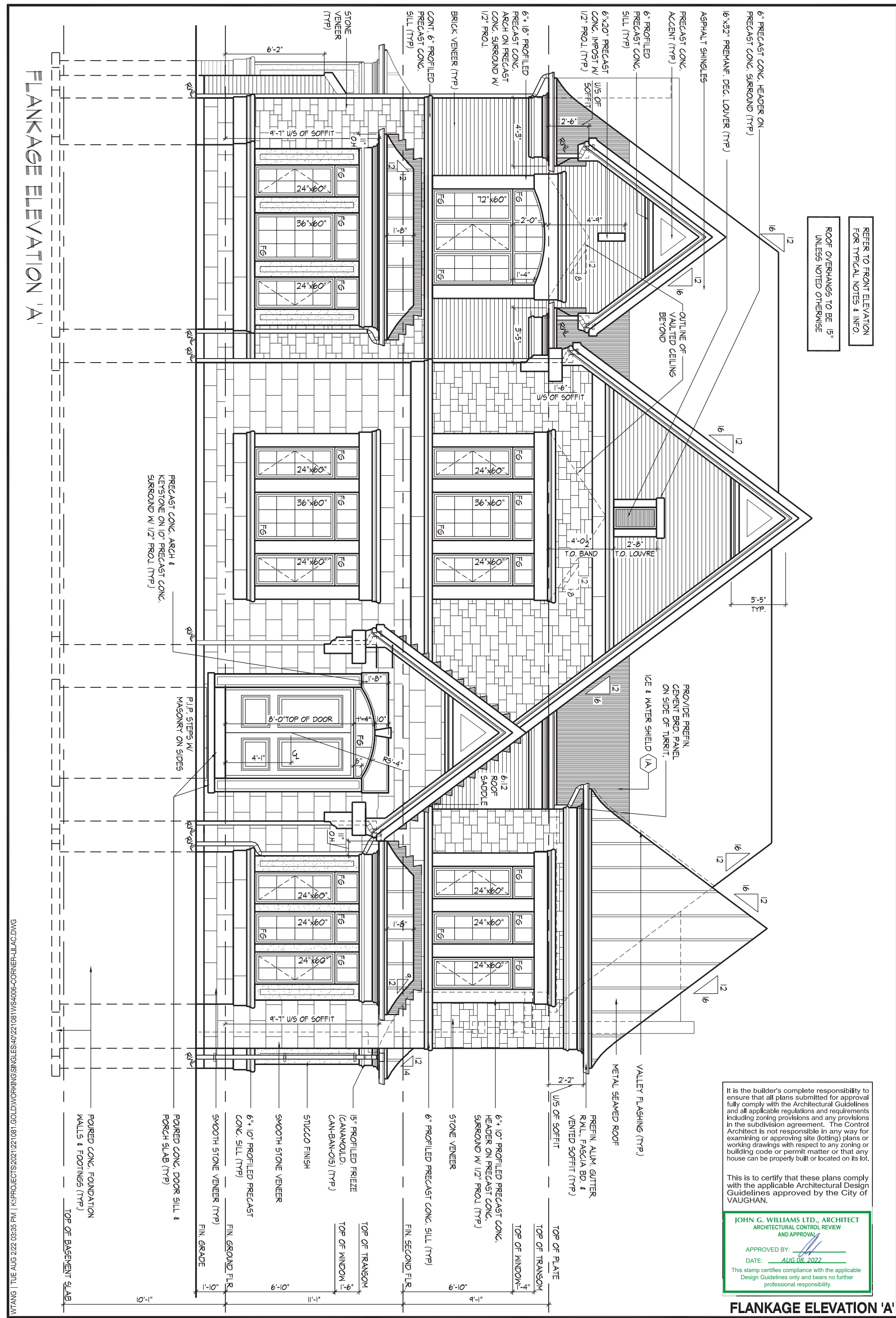
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REFER TO FRONT ELEVATION
FOR TYPICAL NOTES & INFO.

ROOF OVERHANGS TO BE 15"
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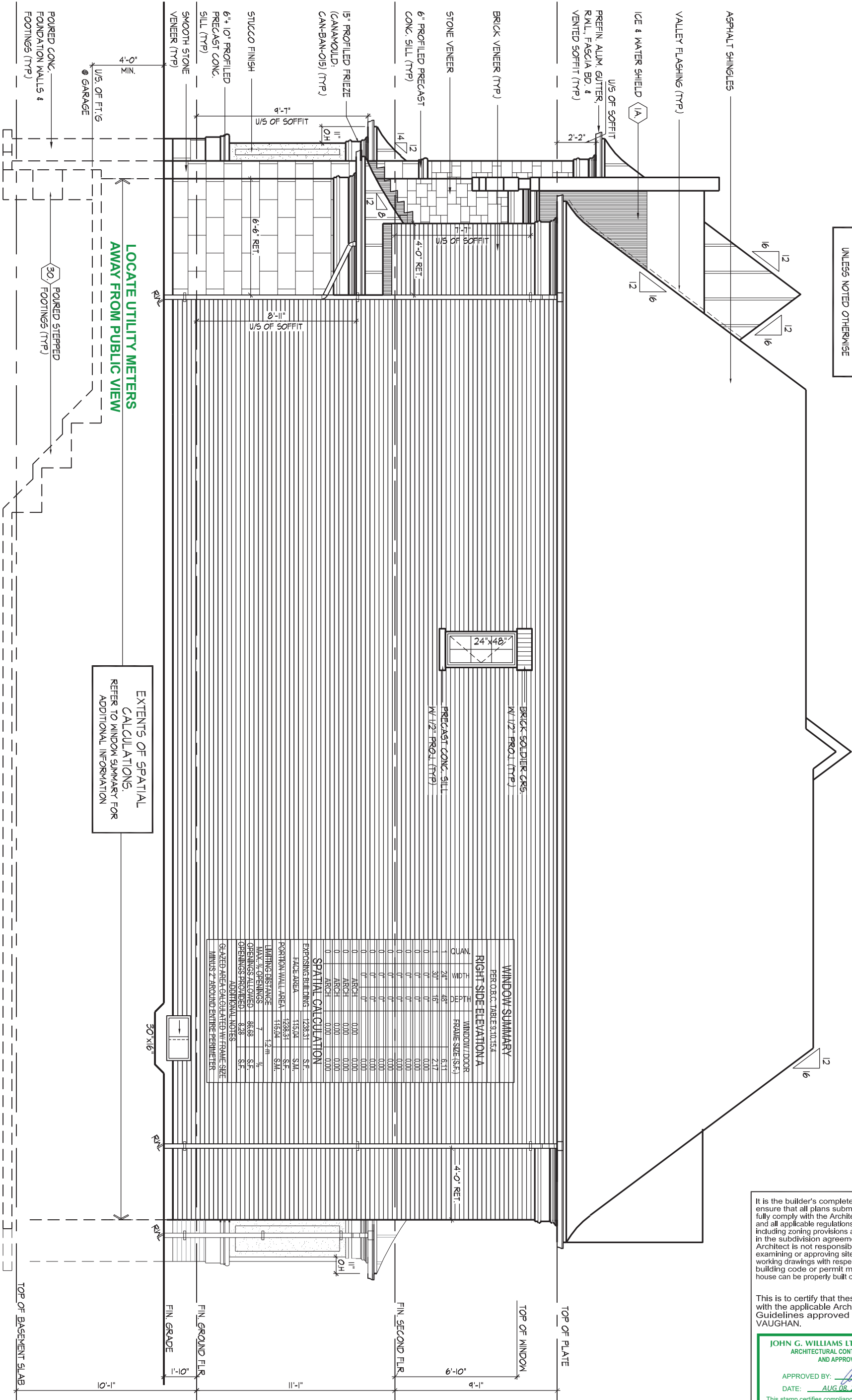
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FLANKAGE ELEVATION 'A'

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REFER TO FRONT ELEVATION
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ROOF OVERHANGS TO BE 15
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RIGHT SIDE ELEVATION 'A'

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REFER TO FRONT ELEVATION
FOR TYPICAL NOTES & INFO.

ROOF OVERHANGS TO BE 15"
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ASPHALT SHINGLES

VALLEY FLASHING (TYP)

6" PREFIN. ALUM. CLAD
WOOD FASCIA BOARD
6"x20" PRECAST CONC. IMPOST W/ 1/2" PROJ. (TYP)
PREFIN. MTL. FLASHING W/
CAULKING TO MATCH BRICK
COLOUR (TYP)

10" PRECAST CONC.
HEADER W/ 1/2" PROJ. (TYP)

6" PROFILED PRECAST
CONC. SILL (TYP)

METAL SEALED ROOF

STUCCO FINISH

BRICK VENEER (TYP)

8" POURED CONC. DOOR SILL

STEPS MAY VARY

UPGRADED REAR ELEVATION 'A'

(A) ICE & WATER SHIELD

TOP OF PLATE

15" PROFILED FRIEZE
(CANAMOULD;
CAN-BAN-O15) (TYP)

STONE VENEER (TYP)

2"x6" PREFIN. ALUM. CLAD
WOOD FASCIA BOARD FIN. SECOND FLR.

15" PROFILED FRIEZE
(CANAMOULD;
CAN-BAN-O15) (TYP)

24"x10" PRECAST CONC.
IMPOST ON 12"x21" PRECAST
CONC. ACCENT (TYP)

SMOOTH STONE
VENEER (TYP)
6"x10" PROFILED PRECAST
CONC. SILL (TYP)

FIN. GROUND FLR.

POURED CONC. PORCH
SLAB (TYP)


POURED CONC. FOUNDATION
WALLS & FOOTINGS (TYP)

TOP OF BASEMENT SLAB

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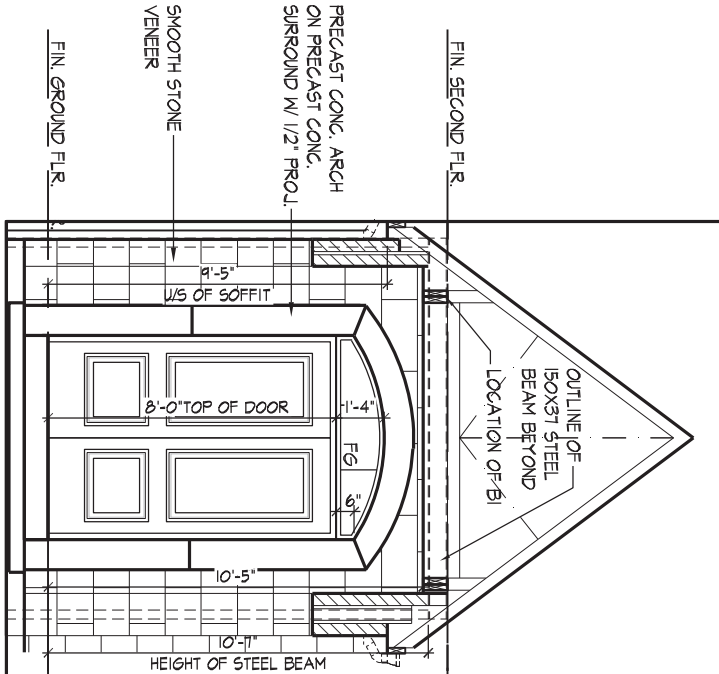
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UPGRADED REAR ELEVATION 'A'

INT. PORTICO



WINDOW SUMMARY			
PER O.B.C. TABLE 9.10.15.4			
REAR ELEVATION A			
QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)
6	24"	60"	46.67
2	48"	60"	34.22
1	24"	48"	6.11
1	96"	18"	8.94
1	36"	18"	3.11
2	24"	18"	3.89
1	30"	18"	2.17
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
1	DOOR	9.19	9.19
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00
SPATIAL CALCULATION			
EXPOSING BUILDING		723.60	S.F.
FACE AREA		67.78	S.M.
PORTION WALL AREA		723.60	S.F.
PORTION WALL AREA		67.78	S.M.
LIMITING DISTANCE		7.50 m	
MAX. % OPENINGS		50.50	%
OPENINGS ALLOWED		368.45	S.F.
OPENINGS PROVIDED		114.30	S.F.
ADDITIONAL NOTES			
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER			

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PINE VALLEY PH.2, VAUGHAN, ON.

Drawn By
WT

Checked By
AW

Scale
3/16"=1'-0"

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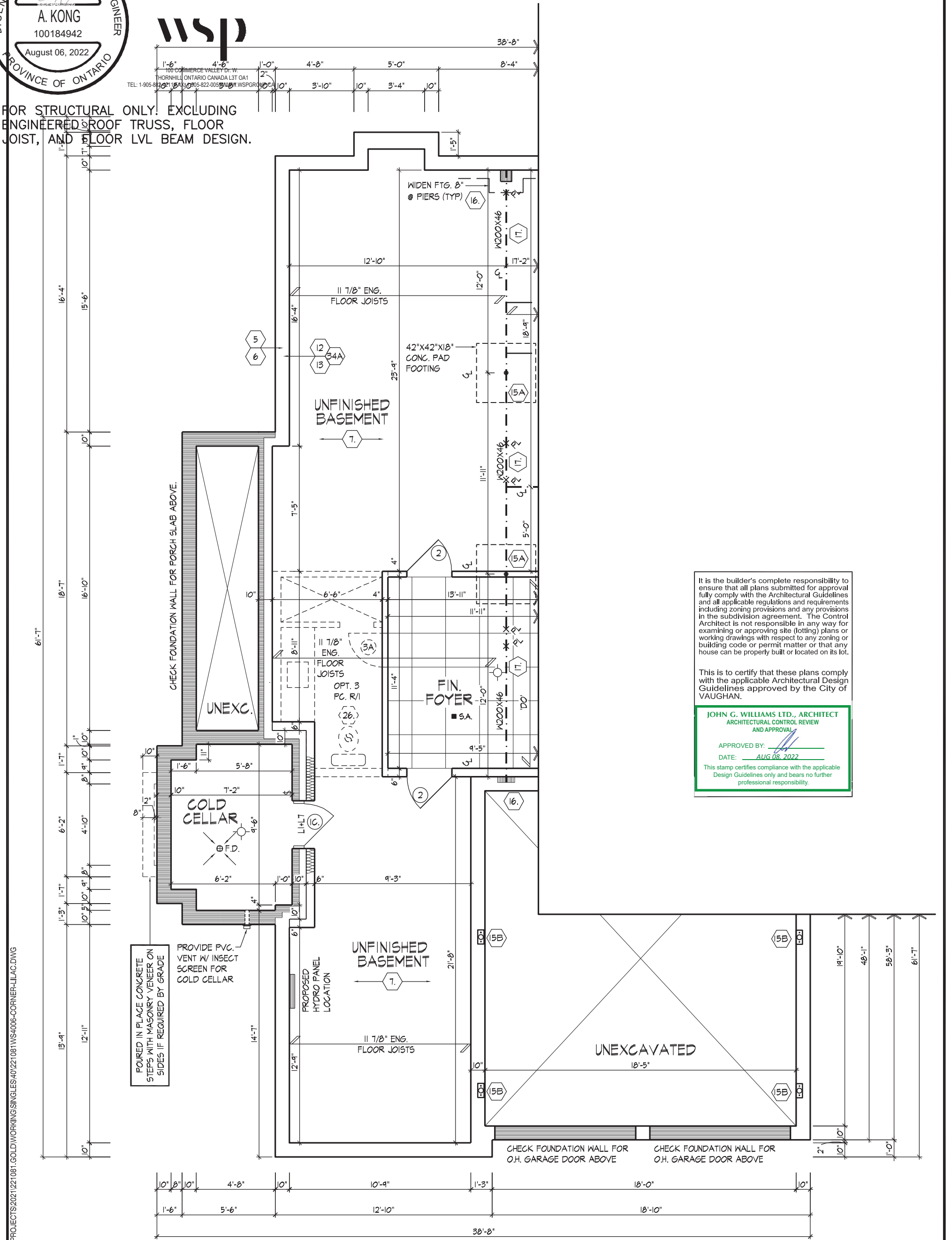
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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY:
DATE: AUG 08, 2022

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PARTIAL BASEMENT PLAN, EL. 'B'

PARTIAL BASEMENT PLAN, EL. 'B'

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION

NAME
Allan Whiting

SIGNATURE

23177
BCIN

REGISTRATION INFORMATION

HUNT DESIGN ASSOCIATES INC.

19695



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GOLDPARK HOMES - 221081
PINE VALLEY PH.2, VAUGHAN, ON.

Drawn By

WT

Checked By

AW

Scale

3/16"=1'-0"

File Number

221081WS4006.dwg

Page Number

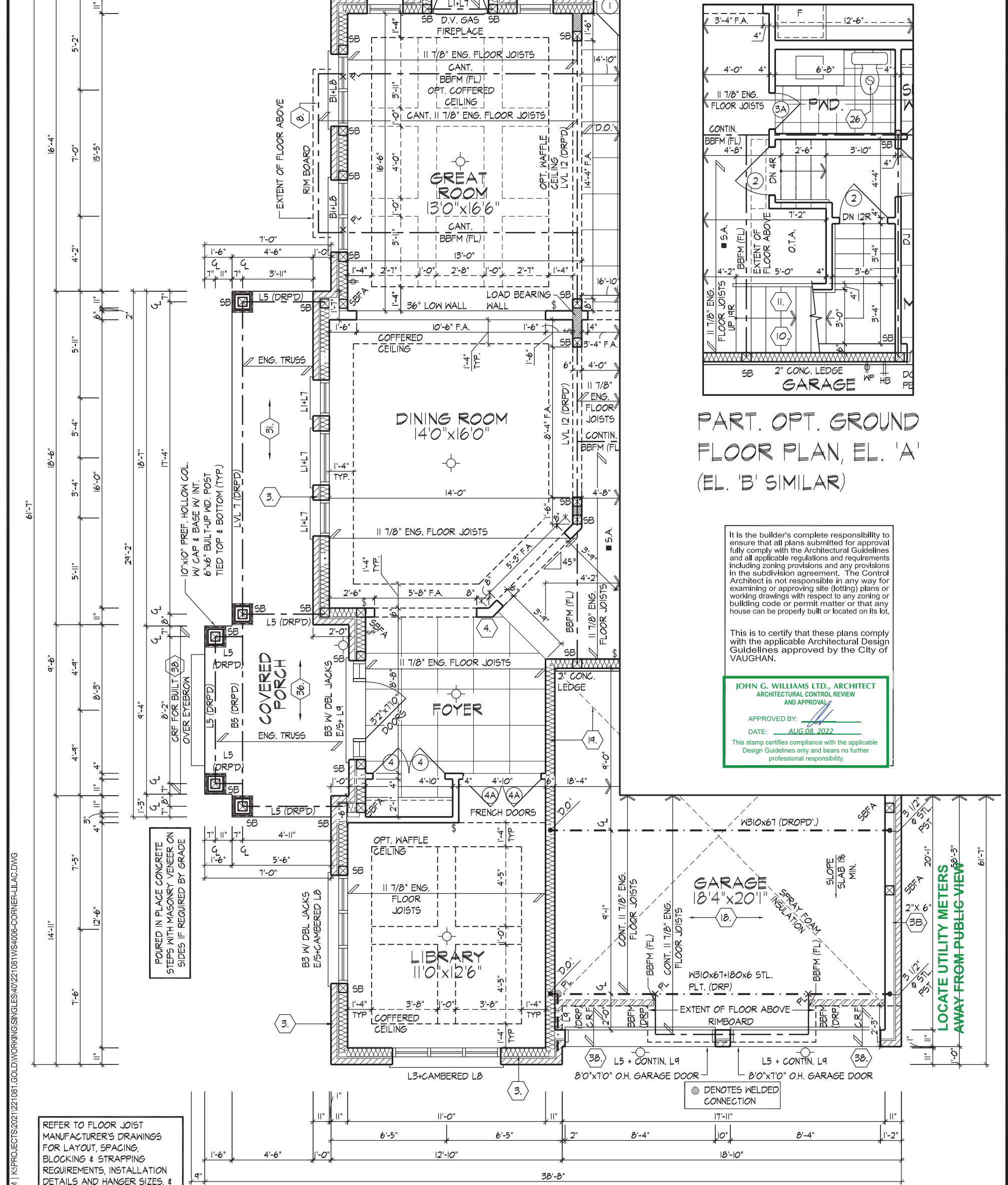
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ENGINEERED ROOF TRUSS, FLOOR
JOIST, AND FLOOR LVL BEAM DESIGN.



PARTIAL GROUND FLOOR PLAN, EL. 'B'

PART. OPT. GROUND
FLOOR PLAN, EL. 'A'
(EL. 'B' SIMILAR)

PARTIAL GROUND FLOOR PLAN, EL. 'B' & OPT. GROUND FLOOR PLAN

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS
DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET
OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION

NAME
REGISTRATION INFORMATION

HUNT DESIGN ASSOCIATES INC.

23177

BCIN

19695

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DESIGN ASSOCIATES INC.

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GOLDPARK HOMES - 221081
PINE VALLEY PH.2, VAUGHAN, ON.

Drawn By

WT

Checked By

AW

Scale

3/16"=1'-0"

File Number

221081WS4006.dwg

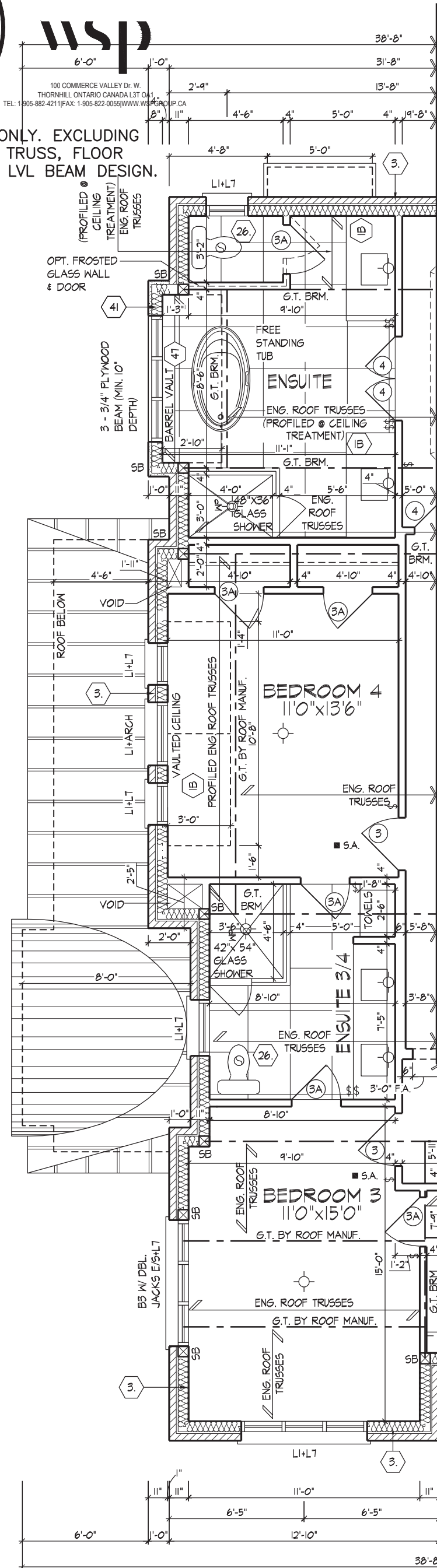
Page Number

10 of 25

UNIT 4006 - THE LILAC
REV.2022.08.02

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY:
DATE: AUG 08, 2022
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PARTIAL SECOND FLOOR PLAN, EL. 'B'

PARTIAL SECOND FLOOR PLAN, EL. 'B'

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION

NAME: Allan Whiting
SIGNATURE:

23177
BCIN

REGISTRATION INFORMATION

HUNT DESIGN ASSOCIATES INC.

19695

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DESIGN ASSOCIATES INC.
www.huntdesign.ca

GOLDPARK HOMES - 221081
PINE VALLEY PH.2, VAUGHAN, ON.

Drawn By: WT
Checked By: AW
Scale: 3/16"=1'-0"
File Number: 221081WS4006.dwg

UNIT 4006 - THE LILAC
REV.2022.08.02

Page Number
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REFER TO FRONT ELEVATION
FOR TYPICAL NOTES & INFO.

ROOF OVERHANGS TO BE 15"
UNLESS NOTED OTHERWISE

VALLEY FLASHING (TYP)

PREMANUF. GABLE
ACCENT TRIM (TYP)

OUTLINE FOR
VAULTED CEILING
BEYOND

2'-6" ALU. CLAD
WOOD TRIM (TYP)

METAL
SEALED
ROOF
OUTLINE OF
BARREL
VAULT

PRECAST CONG. ARCH &
KEYSTONE ON PRECAST CONG.
SURROUND W/ 1/2" PROJ.

PRECAST CONG. ARCH &
KEYSTONE ON PRECAST CONG.
SURROUND W/ 1/2" PROJ.

PREFIN. ALUM. GUTTER R.L.,
FASCIA BD. & VENTED SOFFIT (TYP)

ASPHALT SHINGLES

PREFIN. MTL. FLASHING W/ CAULKING TO
MATCH BRICK COLOUR (TYP)

PRECAST CONG. ARCH &
KEYSTONE ON PRECAST CONG.
SURROUND W/ 1/2" PROJ.

PRECAST CONG. ARCH &
KEYSTONE ON PRECAST CONG.
SURROUND W/ 1/2" PROJ.

STONE VENEER

6" PROFILED PRECAST CONG. SILL (TYP)

PREFIN. MTL. FLASHING W/ CAULKING TO
MATCH BRICK COLOUR (TYP)

PRECAST CONG. ARCH &
KEYSTONE ON PRECAST CONG.
SURROUND W/ 1/2" PROJ.

10'x10" PREF. HOLLOW COL. W/ CAP &
BASE W/ INT. 6'x6" BUILT-UP WD.
POST TIED TOP & BOTTOM (TYP)

SMOOTH STONE VENEER (TYP)

STUCCO FINISH W/ RAISED
STUCCO TRIM (TYP)


POURED CONG. DOOR SILL &
PORCH SLAB (TYP)

POURED CONG. FOUNDATION
WALLS & FOOTINGS (TYP)

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: 
DATE: AUG 08, 2022

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

CORNER ELEVATION 'B'

UNIT 4006 - THE LILAC
REV.2022.08.02

GOLDPARK HOMES - 221081
PINE VALLEY PH.2, VAUGHAN, ON.

Drawn By: WT
Checked By: AW
Scale: 3/16"=1'-0"
File Number: 221081WS4006.dwg

8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

Page Number: 13 of 25

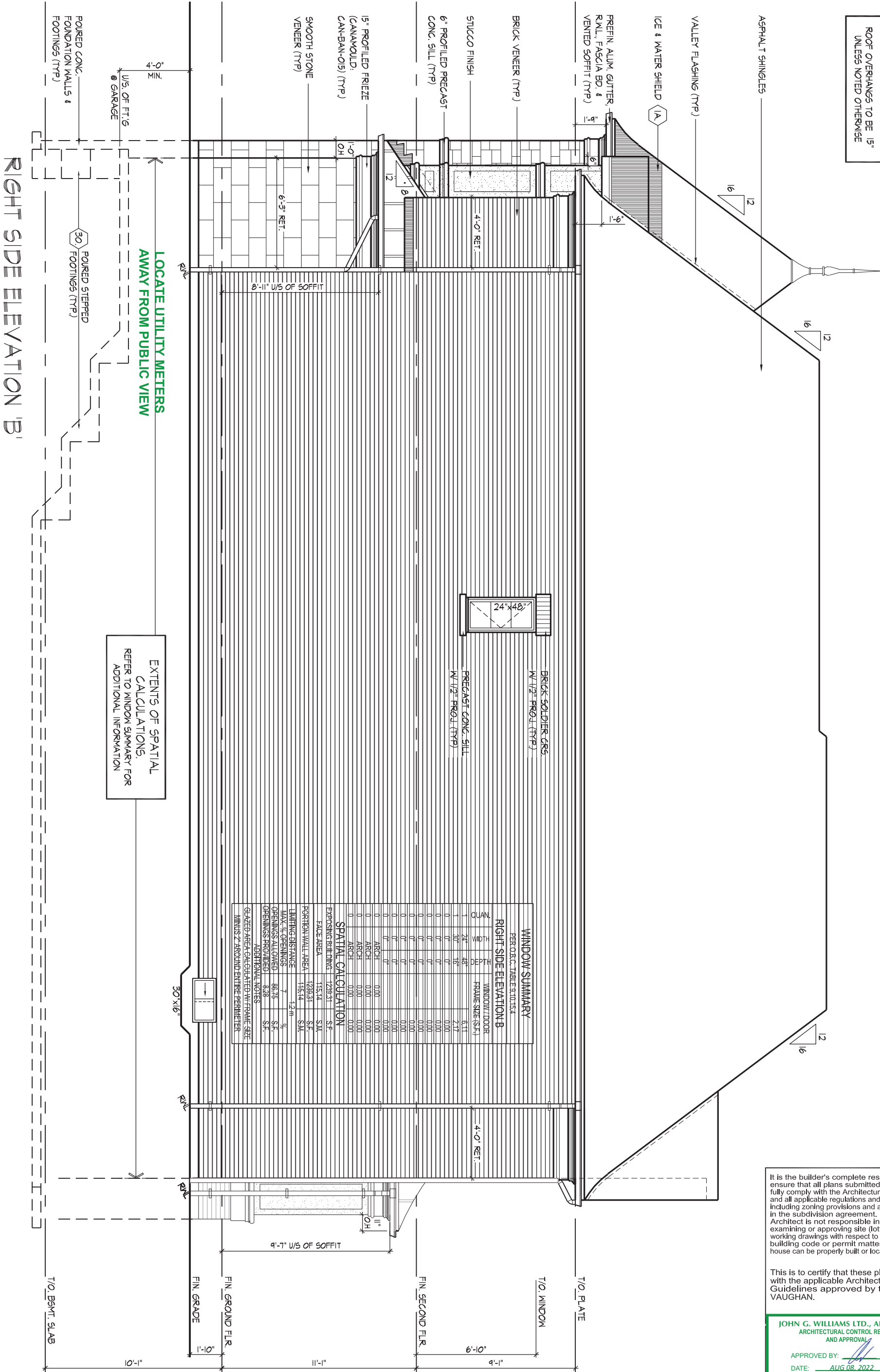
HUNT DESIGN ASSOCIATES INC.
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THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.
QUALIFICATION INFORMATION
Allan Whiting
NAME: Allan Whiting
REGISTRATION INFORMATION: 23177 BCIN
HUNT DESIGN ASSOCIATES INC. 19695

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REFER TO FRONT ELEVATION
FOR TYPICAL NOTES & INFO.

ROOF OVERHANGS TO BE 15
UNLESS NOTED OTHERWISE



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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL


APPROVED BY: _____
DATE: AUG 08, 2022

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professional responsibility.

RIGHT SIDE ELEVATION 'B'

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION

NAME	SIGNATURE
Allan Whiting	

REGISTRATION INFORMATION

HUNT DESIGN ASSOCIATES

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BCIN

19695



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DESIGN ASSOCIATES INC.

GOLDPARK HOMES - 221081
PINE VALLEY PH.2, VAUGHAN, ON.

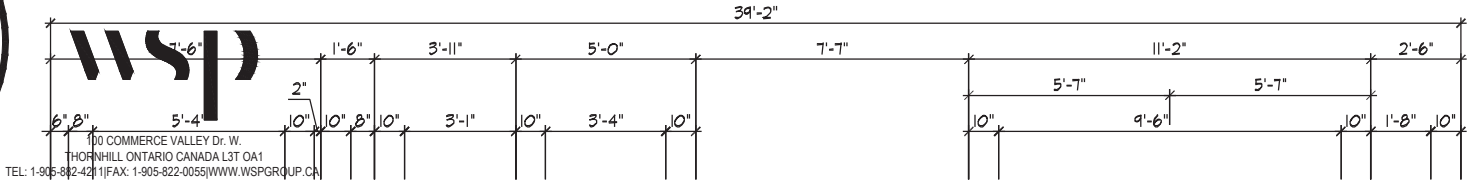
UNIT 4006 - THE LILAC
REV.2022.08.02

Drawn By	Checked By	Scale	File Number	Page Number
WT	AW	3/16"=1'-0"	221081WS4006.dwg	14 of 25
8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326				

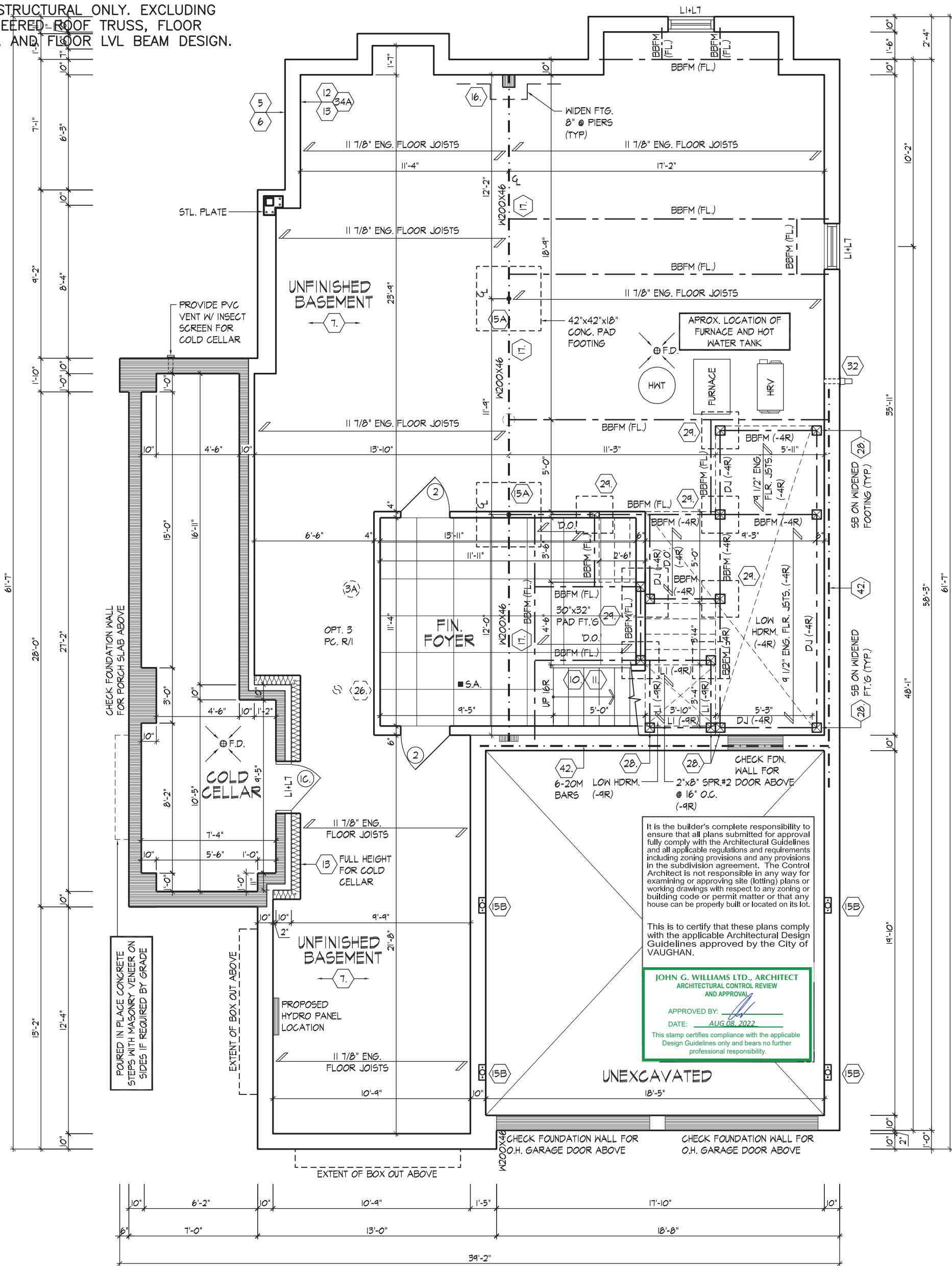
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REFER TO FRONT ELEVATION
FOR TYPICAL NOTES & INFO.





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BASEMENT PLAN, EL. 'C'

BASEMENT PLAN, EL. 'C'

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REFER TO FLOOR JOIST
MANUFACTURER'S DRAWINGS FOR
LAYOUT, SPACING, BLOCKING &
STRAPPING REQUIREMENTS,
INSTALLATION DETAILS AND HANGER
SIZES, & SUBFLOOR THICKNESS

PROVIDE SOLID WOOD BLOCKING @
24" O.C. FOR FIRST JOIST SPAN
WHEN PARALLEL W/ EXTERIOR WALL

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ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY:
DATE: AUG 08, 2022

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QUALIFICATION INFORMATION
Allan Whiting 23177 BCIN

NAME
REGISTRATION INFORMATION
HUNT DESIGN ASSOCIATES INC. 19695

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DESIGN ASSOCIATES INC.
www.huntdesign.ca

GOLDPARK HOMES - 221081
PINE VALLEY PH.2, VAUGHAN, ON.

Drawn By
WT

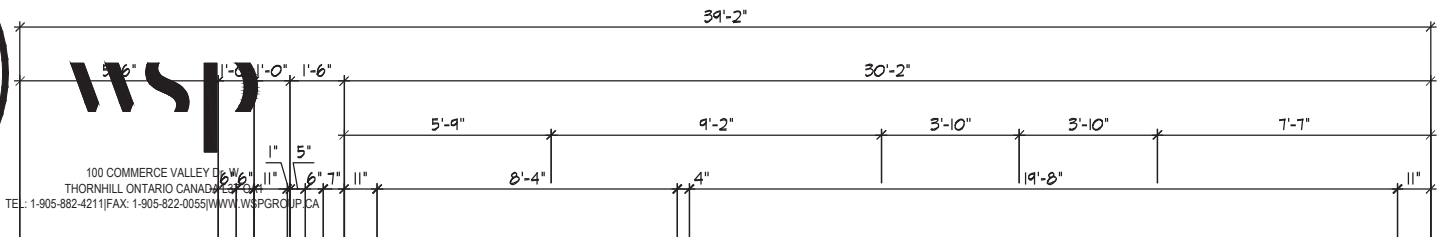
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AW

Scale
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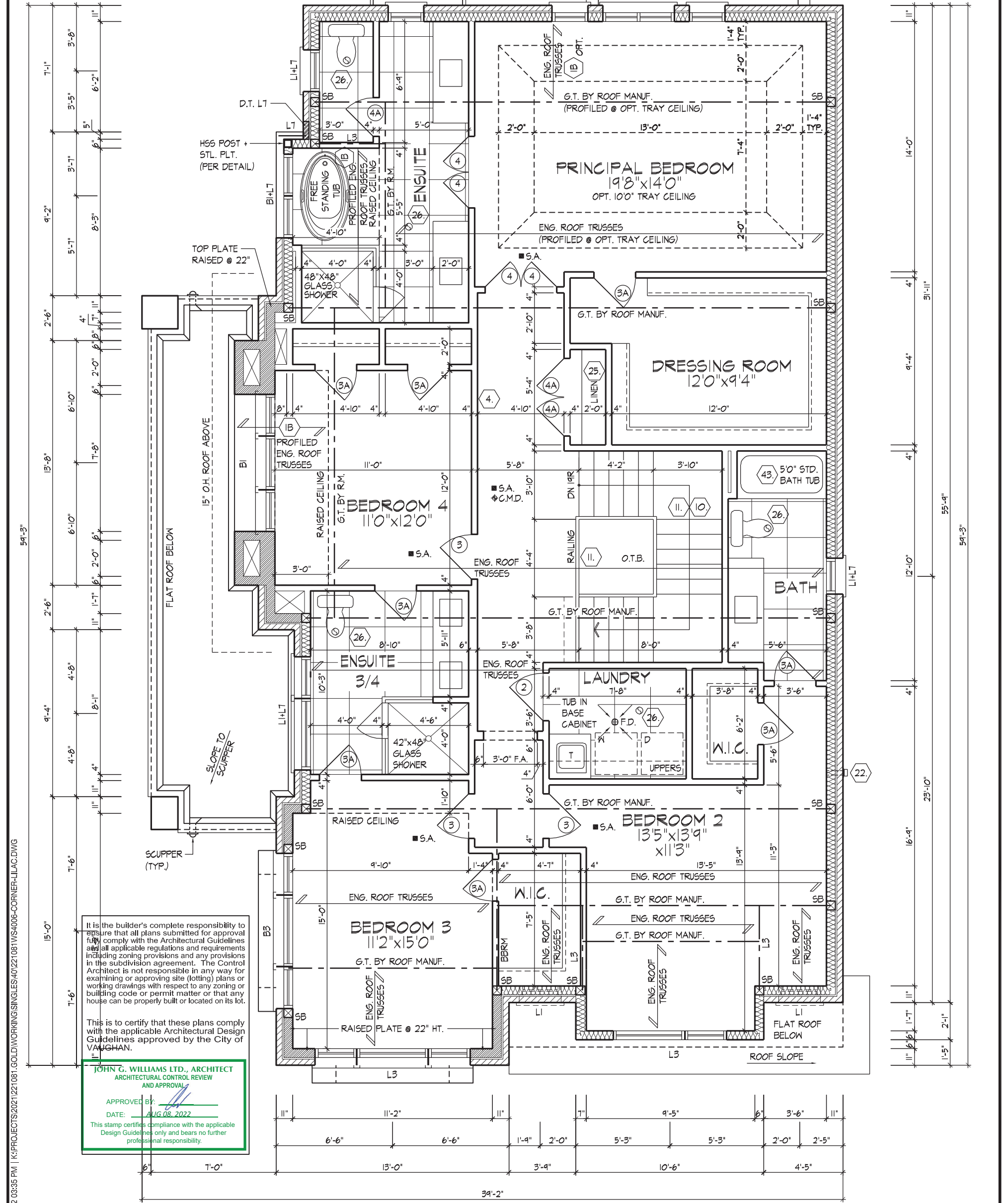
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221081WS4006.dwg

Page Number
16 of 25

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SECOND FLOOR PLAN, EL. 'C'

SECOND FLOOR PLAN, EL. 'C'

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QUALIFICATION INFORMATION

NAME: Allan Whiting

REGISTRATION INFORMATION

HUNT DESIGN ASSOCIATES INC.

23177

BCIN

19695

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GOLDPARK HOMES - 221081
PINE VALLEY PH.2, VAUGHAN, ON.

Drawn By: WT

Checked By: AW

Scale: 3/16"=1'-0"

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T 905.737.5133

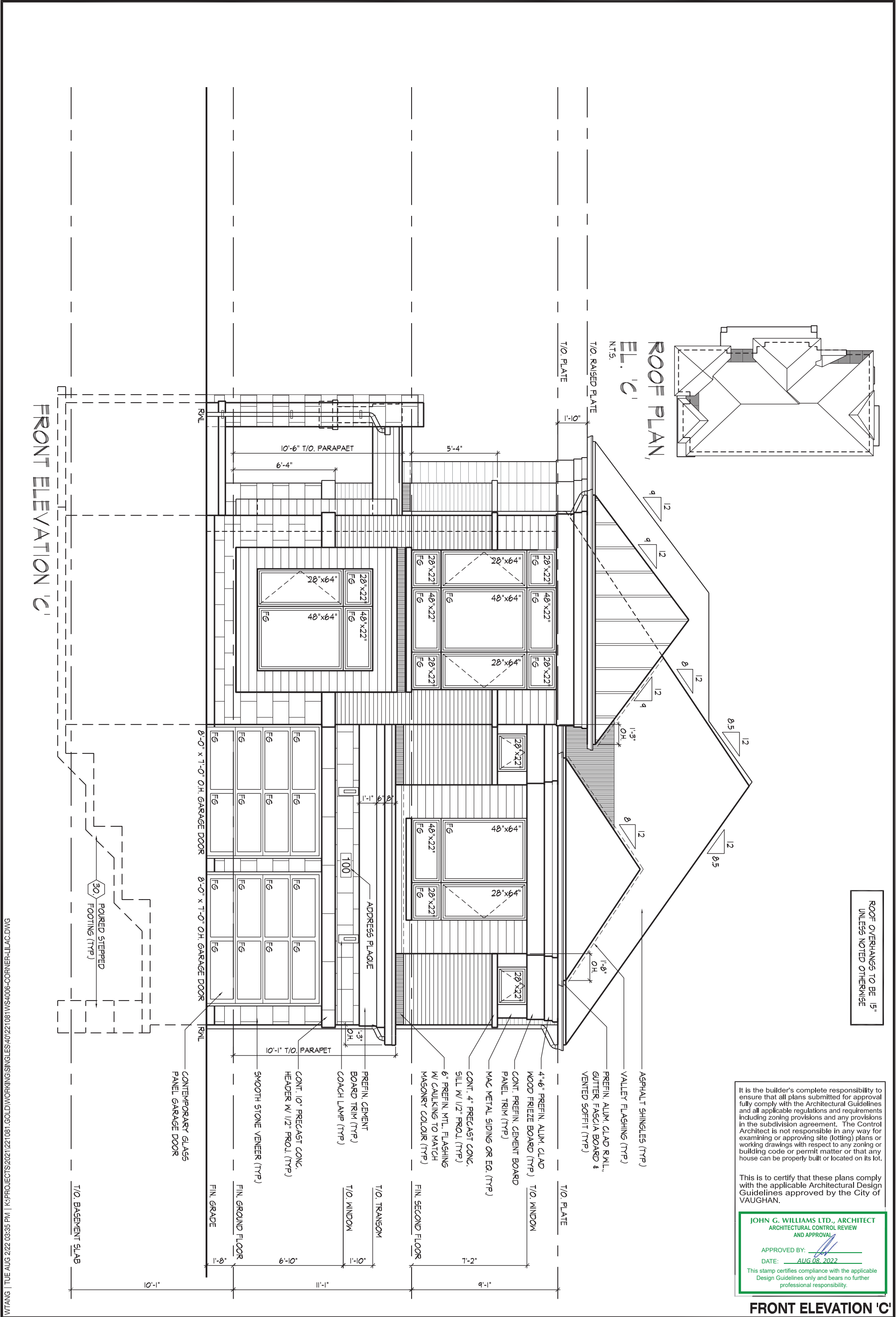
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UNIT 4006 - THE LILAC
REV.2022.08.02

File Number: 221081WS4006.dwg

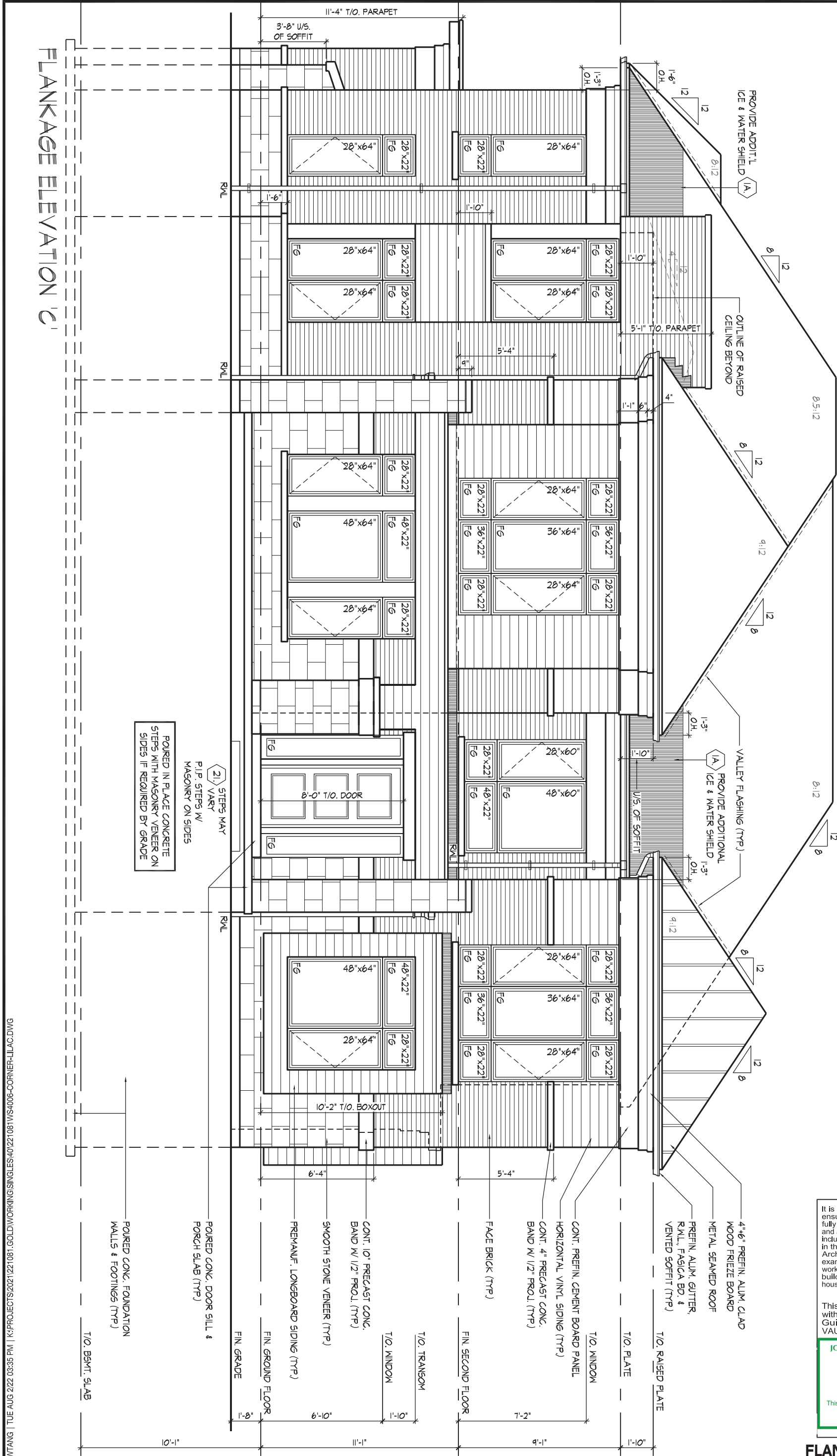
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REFER TO FRONT ELEVATION
FOR TYPICAL NOTES & INFO.

ROOF OVERHANGS TO BE 15"
UNLESS NOTED OTHERWISE



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ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: 
DATE: AUG 08, 2022


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FLANKAGE ELEVATION 'C'

UNIT 4006 - THE LILAC
REV.2022.08.02

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QUALIFICATION INFORMATION
Allan Whiting
NAME
REGISTRATION INFORMATION
HUNT DESIGN ASSOCIATES INC.


SIGNATURE
23177
BCIN

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GOLDPARK HOMES - 221081
PINE VALLEY PH.2, VAUGHAN, ON.

Drawn By
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Checked By
AW

Scale
3/16"=1'-0"

File Number
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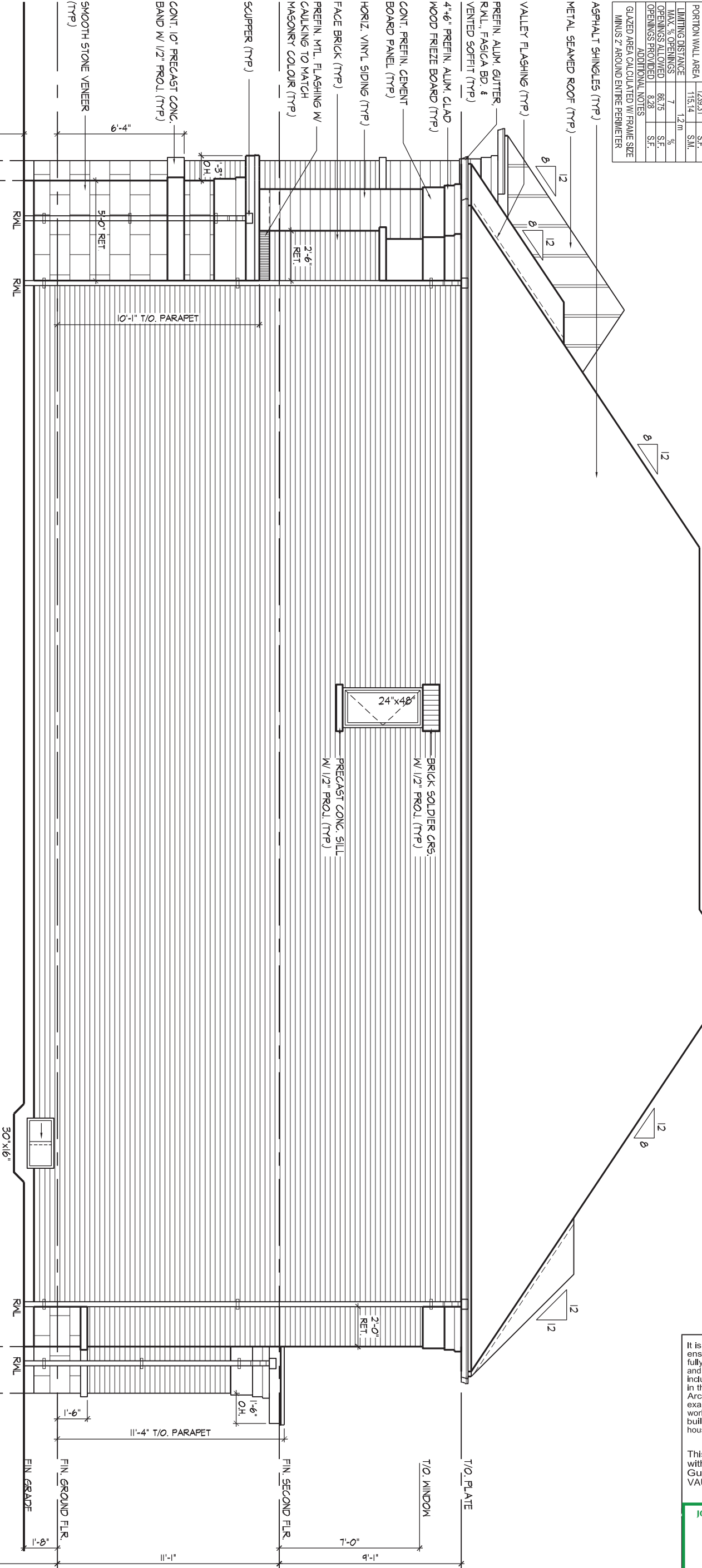
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WINDOW SUMMARY		
PER O.B.C. TABLE 9.10.15.4		
RIGHT SIDE ELEVATION C		
QUAN.	WIDTH	WINDOW / DOOR FRAME SIZE (S.F.)
1	24"	48"
1	30"	16"
0	0"	0"
0	ARCH	0.00
0	ARCH	0.00
SPATIAL CALCULATION		
EXPOSING BUILDING	1239.31	S.F.
FACE AREA	115.14	S.M.
PORTION WALL AREA	1239.31	S.F.
PORTION WALL AREA	115.14	S.M.
LIMITING DISTANCE	7	12 m
MAX. % OPENINGS	86.75	%
OPENINGS ALLOWED	8.28	S.F.
OPENINGS PROVIDED	8.28	S.F.
ADDITIONAL NOTES		
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER		

REFER TO FRONT ELEVATION
FOR TYPICAL NOTES & INFO.

ROOF OVERHANGS TO BE 15"
UNLESS NOTED OTHERWISE



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ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY:

DATE: AUG 08, 2022

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RIGHT SIDE ELEVATION 'C'

WTANG | TUE AUG 222 03:35 PM | K:\PROJECTS\2021\221\081\GOLDPARK HOMES\221081\WS4006-CORNER-LILAC.DWG

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION

NAME
Allan Whiting

REGISTRATION INFORMATION

HUNT DESIGN ASSOCIATES INC.

SIGNATURE

23177

BCIN

19695

HUNT DESIGN ASSOCIATES INC.

www.huntdesign.ca

GOLDPARK HOMES - 221081
PINE VALLEY PH.2, VAUGHAN, ON.

Drawn By

WT

Checked By

AW

Scale

3/16"=1'-0"

File Number

221081WS4006.dwg

Page Number

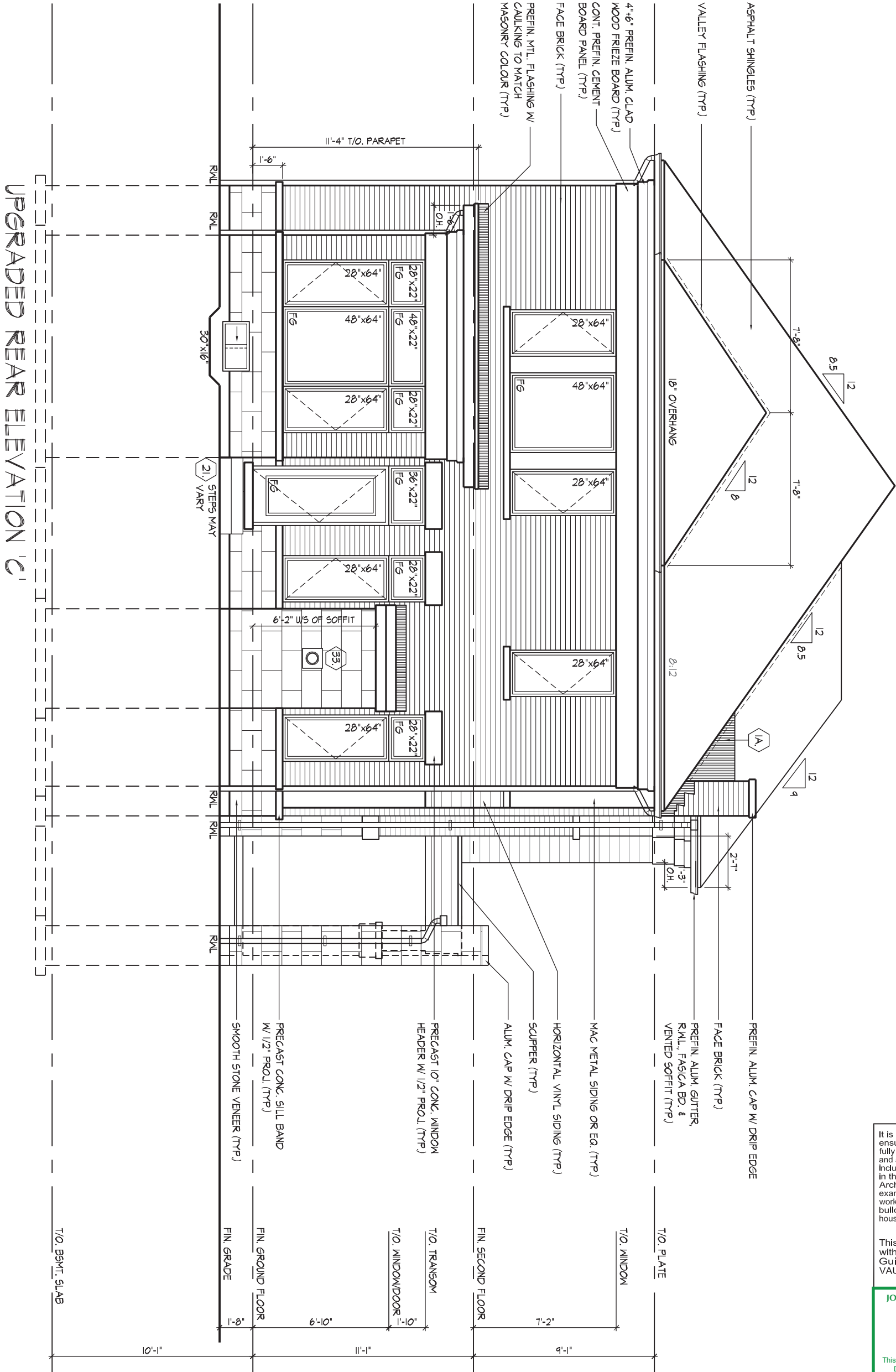
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WINDOW SUMMARY			
PER O.B.C. TABLE 9.10.15.4			
REAR ELEVATION C			
QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)
7	28"	64"	70.00
2	48"	64"	36.67
4	28"	22"	12.00
1	48"	22"	5.50
1	36"	22"	4.00
1	30"	16"	2.17
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
1	DOOR	9.19	9.19
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00
SPATIAL CALCULATION			
EXPOSING BUILDING	656.64	S.F.	
FACE AREA	61.19	S.M.	
PORTION WALL AREA	656.64	S.F.	
PORTION WALL AREA	61.19	S.M.	
LIMITING DISTANCE	7.50 m		
MAX. % OPENINGS	50.50	%	
OPENINGS ALLOWED	332.61	S.F.	
OPENINGS PROVIDED	139.52	S.F.	
ADDITIONAL NOTES			
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER			

REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFO.

ROOF OVERHANGS TO BE 15" UNLESS NOTED OTHERWISE



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ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY:

DATE: AUG 08, 2022

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UPGRADED REAR ELEVATION 'C'

GOLDPARK HOMES - 221081
PINE VALLEY PH.2, VAUGHAN, ON.

UNIT 4006 - THE LILAC
REV.2022.08.02

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QUALIFICATION INFORMATION

NAME: Allan Whiting
REGISTRATION INFORMATION: SIGNATURE

23177
BCIN

HUNT DESIGN ASSOCIATES INC.

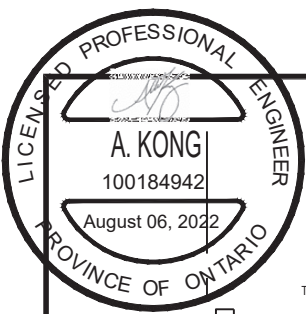
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Page Number: 22 of 25

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TEL: 1-905-882-4211 FAX: 1-905-822-0055 WWW.WSPGROUP.CA

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ENGINEERED ROOF TRUSS, FLOOR
JOIST, AND FLOOR LVL BEAM DESIGN.

CROSS SECTION 'A-A'

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THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS
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QUALIFICATION INFORMATION

NAME
REGISTRATION INFORMATION

HUNT DESIGN ASSOCIATES INC.

SIGNATURE

BCIN

19695

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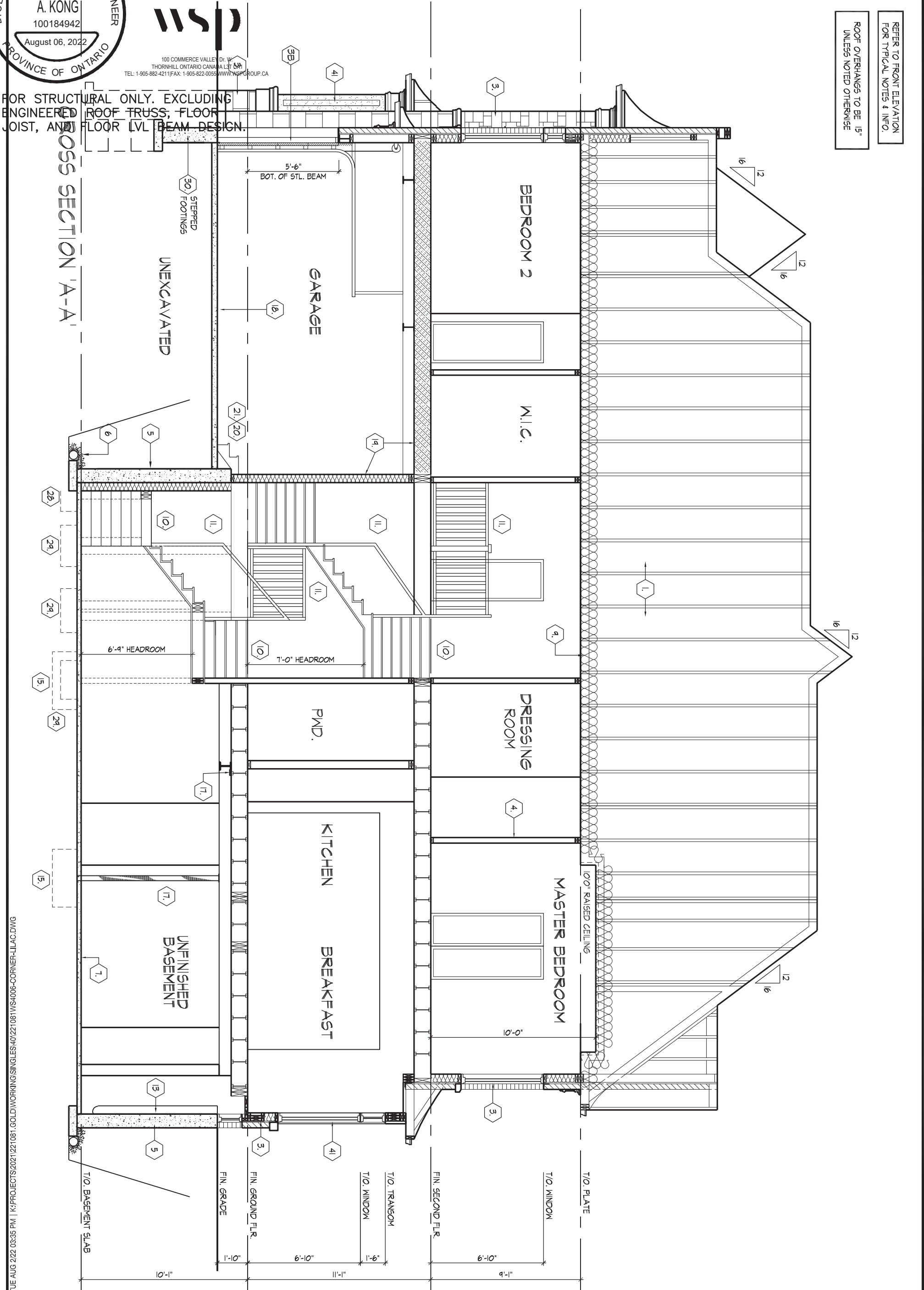
GOLDPARK HOMES - 221081
PINE VALLEY PH.2, VAUGHAN, ON.

Drawn By
WT
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AW
Scale
3/16"=1'-0"
File Number
221081WS4006.dwg

8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

REFER TO FRONT ELEVATION
FOR TYPICAL NOTES & INFO.

ROOF OVERHANGS TO BE 15"
UNLESS NOTED OTHERWISE



CROSS SECTION A-A

UNIT 4006 - THE LILAC
REV.2022.08.02

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cont. SECTION 1.0. CONSTRUCTION NOTES

39

TWO STOREY VOLUME SPACES

(9.23.10.1., 9.23.11., 9.23.16.)

WALL ASSEMBLY		WIND LOADS			
EXTERIOR	STUDS	<= 0.5 kPa (q50)		> 0.5 kPa (q50)	
		SPACING	MAX HEIGHT	SPACING	MAX HEIGHT
BRICK	2-2"x6" (2-38x140) SPR. #2	12" (305) O.C.	18'-4" (5588)	8" (200) O.C.	18'-4" (5588)
SIDING	2-2"x6" (2-38x140) SPR. #2	16" (406) O.C.	18'-4" (5588)	12" (305) O.C.	18'-4" (5588)
BRICK	2-2"x8" (2-38x184) SPR. #2	12" (305) O.C.	21'-0" (6400)	12" (305) O.C.	21'-0" (6400)
SIDING	2-2"x8" (2-38x184) SPR. #2	16" (406) O.C.	21'-0" (6400)	16" (406) O.C.	21'-0" (6400)
** STUD SIZE & SPACING TO BE VERIFIED BY STRUCTURAL ENGINEER **					

STUDS ARE TO BE CONTINUOUS, C/W 3/8" (9.5) THICK EXTERIOR PLYWOOD SHEATHING. PROVIDE SOLID WOOD BLOCKING BETWEEN WOOD STUDS @ 4'-0" (1220) O.C. VERTICALLY.

- FOR HORIZ. DISTANCES LESS THAN 9'-6" (2896) PROVIDE 2"x6" (38x140) STUDS @ 16" (406) O.C. WITH CONTIN. 2-2"x6" (2-38x140) TOP PLATE + 1-2"x6" (1-38x140) BOTTOM PLATE & MIN. OF 3-2"x8" (3-38x184) CONT. HEADER AT GROUND FLOOR CEILING LEVEL TOE-NAILED & GLUED AT TOP, BOTTOM PLATES & HEADERS.

40

1 HR. PARTY WALL (CONC. BLOCK)

((SB-3] WALL TYPE 'B6e' & 'B1b')

1/2" (12.7) GYPSUM SHEATHING ON EACH SIDE ON 2"x2" (38x38) VERTICAL WD. STRAPPING @ 24" (610) O.C. ON 8" (200) CONC. BLOCK FILL STRAPPING CAVITY EACH SIDE WITH AT LEAST 90% OF ABSORPTIVE MATERIAL PROCESSED FROM ROCK, SLAG OR GLASS. TAPE, FILL & SAND ALL GYPSUM JOINTS. EXPOSED BLOCK MUST BE SEALED W/ 2 COATS OF PAINT OR FURRED WITH 2"x2" (38x38) WD. STRAPPING & 1/2" (12.7) GYPSUM SHEATHING.

40

1 HR. PARTY WALL (DOUBLE STUD)

((SB-3] WALL TYPE 'W13c')

5/8" (15.9) TYPE 'X' GYPSUM SHEATHING ON EXTERIOR SIDE OF 2 ROWS OF 2"x4" (38x89) STUDS @ 16" (406) O.C., MIN. 1" (25) APART ON SEPARATE 2"x4" (38x89) SILL PLATES. (2"x6" (38x140) AS REQUIRED) FILL ONE SIDE OF STUD CAVITY WITH AT LEAST 90% OF ABSORPTIVE MATERIAL PROCESSED FROM ROCK, SLAG OR GLASS. TAPE FILL AND SAND ALL GYPSUM JOINTS.

40A

2 HR. FIREWALL

((SB-3] WALL TYPE 'B6e' & 'B1b')

1/2" (12.7) GYPSUM SHEATHING ON EACH SIDE ON 2"x2" (38x38) VERTICAL WOOD STRAPPING @ 24" (610) O.C ON 8" (200) CONC. BLOCK 75% SOLID. FILL STRAPPING CAVITY EACH SIDE WITH AT LEAST 90% OF ABSORPTIVE MATERIAL PROCESSED FROM ROCK, SLAG OR GLASS. TAPE, FILL & SAND ALL GYPSUM JOINTS. AT UNFINISHED AREAS, EXTERIOR FACE OF CONC. BLOCK TO BE SEALED WITH 2 COATS OF PAINT. GYPSUM SHEATHING TO BE ATTACHED TO CONC. BLOCK. (REFER TO DETAILS)

41

STUCCO WALL CONSTRUCTION (2"x6")

STUCCO FINISH CONFORMING TO O.B.C. SECTION 9.28, AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1 1/2" (38) E.I.F.S. (MINIMUM) ON APPROVED DRAINAGE MAT ON 1/2" (12.7) DENSGLASS GOLD GYPSUM BOARD ON STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1., INSULATION, APPROVED 6 MIL. POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (REFER TO 35 NOTE AS REQUIRED)

41A

STUCCO WALL CONSTRUCTION (2"x6") W/ CONTIN. INSUL.

STUCCO FINISH CONFORMING TO O.B.C. SECTION 9.28, AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1 1/2" (38) E.I.F.S. (MINIMUM) ON APPROVED DRAINAGE MAT ON APPROVED AIR/WATER BARRIER AS PER O.B.C. 9.27.3. ON EXTERIOR TYPE RIGID INSULATION (JOINTS UNTAPED) MECHANICALLY FASTENED AS PER MANUFACTURERS SPECIFICATIONS, ON 7/16" EXTERIOR TYPE SHEATHING ON STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1., INSULATION, APPROVED 6 MIL. POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (REFER TO 35 NOTE AS REQUIRED)

41B

STUCCO WALL @ GARAGE CONST.

STUCCO FINISH CONFORMING TO O.B.C. SECTION 9.28, AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1 1/2" (38) E.F.I.S (MINIMUM) ON APPROVED DRAINAGE MAT ON 1/2" (12.7) DENSGLASS GOLD GYPSUM BRD. ON STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1., 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (REFER TO 35 NOTE AS REQ.)

*** FOR DWELLINGS USING CONTIN. INSULATION CONSTRUCTION, PROVIDE APPROVED DRAINAGE MAT ON 7/16" (11) EXTERIOR TYPE SHEATHING OVER FURRING (AS REQ.) AND STUDS IN LIEU OF 1 1/2" (38) E.F.I.S (MINIMUM) ON APPROVED DRAINAGE MAT ON 1/2"(12.7) DENSGLASS GOLD GYPSUM BRD.

42

UNSUPPORTED FOUNDATION WALLS

(9.15.4.2.)

REINFORCING AT STAIRS AND SUNKEN FLOOR AREAS

2-20M BARS IN TOP PORTION OF WALL (UP TO 8'-0" OPENING)

3-20M BARS IN TOP PORTION OF WALL (8'-0" TO 10'-0" OPENING)

4-20M BARS IN TOP PORTION OF WALL (10'-0" TO 15'-0" OPENING)

- BARS STACKED VERTICALLY AT INTERIOR FACE OF WALL @ 6" O.C.

REINFORCING AT BASEMENT WINDOWS

2-15M HORIZ. REINFORCING ON THE INSIDE AND OUTSIDE FACE OF THE FOUNDATION WALL BELOW THE WIN. SILL. EXTEND BARS 24" (610) BEYOND THE OPENING. 2-15M VERTICAL REINFORCING ON THE INSIDE AND OUTSIDE FACE OF THE FOUNDATION WALL ON EACH SIDE OF THE WINDOW OPENING.

- BARS TO HAVE MIN. 1" (25) CONC. COVER

- BARS TO EXTEND 2'-0" (610) BEYOND BOTH SIDES OF OPENING

43

STUD WALL REINFORCEMENT

PROVIDE STUD WALL REINFORCEMENT IN MAIN BATHROOM CONFORMING TO O.B.C. (9.5.2.3.(1)) (REFER TO DETAILS)

44

WINDOW WELLS

WHERE A WINDOW OPENS INTO A WINDOW WELL, A CLEARANCE OF NOT LESS THAN 21 5/8" (550) SHALL BE PROVIDED IN FRONT OF THE WINDOW. EVERY WINDOW WELL SHALL BE DRAINED TO THE FOOTING LEVEL OR OTHER SUITABLE LOCATION WITH A 4" (100) WEEPING TILE C/W A FILTER CLOTH WRAP AND FILLED WITH CRUSHED STONE. (9.9.10.1.(5), 9.14.6.3.)

45

SLOPED CEILING CONSTRUCTION

((SB-12] 3.1.1.8., 9.23.4.2.)

2"x12" (38x286) ROOF JOISTS @ 16" (406) O.C. MAX. (UNLESS OTHERWISE NOTED) W/ 2"x2" (38x38) PURLINS @ 16" (406) O.C. PERPENDICULAR TO ROOF JOIST (PURLINS NOT REQ. W/ SPRAY FOAM), W/ INSULATION BETWEEN JOIST, 6 mil POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH OR APPROVED EQ. INSULATION VALUE DIRECTLY ABOVE THE INNER SURFACE OF EXTERIOR WALLS SHALL NOT BE LESS THAN R20 (3.52 RSI).

46

FLAT ROOF/BALCONY CONSTRUCTION

WATERPROOFING MEMBRANE (9.26.11, 9.26.15, 9.26.16) FULLY ADHERED TO 5/8" (15.9) T&G EXTERIOR GRADE PLYWOOD SHEATHING ON 2"x2" (38x38) PURLINS ANGLED TOWARDS SCUPPER @ 2% MINIMUM LAID PERPENDICULAR TO 2"x8" (38x184) FLOOR JOISTS @ 16" (406) O.C. (UNLESS OTHERWISE NOTED). BUILT UP CURB TO BE 4" (100) MIN. ABOVE FINISHED BALCONY FLOOR. CONTINUOUS 'L' TRIM DRIP EDGE TO BE PROVIDED ON OUTSIDE FACE OF CURB. SCUPPER DRAIN TO BE LOCATED 24" (610) MIN. AWAY FROM HOUSE. PREFINISHED ALUMINUM OR PANEL FOR UNDERSIDE OF SOFFIT (9.23.2.3). REMOVE CURB WHERE REQ.

BALCONY CONDITION

SEE FLAT ROOF/BALCONY CONSTRUCTION NOTE. INCLUDE 2"x4" (38x89) PT. DECKING W/ 1/4" (6.4) GAPS LAID FLAT PARALLEL TO JOISTS ON 2"x4" (38x89) PT. SLEEPERS @ 12" (305) O.C. LAID FLAT PERPENDICULAR TO JOISTS

BALCONY OVER HEATED SPACE CONDITION

SEE FLAT ROOF/BALCONY CONSTRUCTION NOTE FOR ASSEMBLY. REFER TO PLANS FOR FLOOR JOIST SIZE & REFER TO HEX NOTE 9 FOR INSULATION AND INTERIOR FINISH

47

BARREL VAULT CONSTRUCTION

CANTILEVERED 2"x4" (38x89) SPACERS LAID FLAT ON 2"x10" (38x235) SPR. #2 ROOF JOIST NAILED TO BUILT-UP 3-3/4" (19) PLYWOOD HEADER PROFILED FOR BARREL. SPRAY FOAM INSULATION BETWEEN JOISTS W/ GYPSUM BOARD. INTERIOR FIN. (REFER TO DETAILS)

REFER TO SB-12 ENERGY EFFICIENCY DESIGN MATRIX ON THE TITLE PAGE FOR ALL VALUES AS REQUIRED PER 3.1.1., 3.1.2., 3.1.3. OF THE OBC.

SECTION 1.1. WALL STUDS

- REFER TO THIS CHART FOR STUD SIZE & SPACING AS REQUIRED FOR EXTERIOR WALLS ONLY. REFER TO SITING & GRADING PLAN OF THIS UNIT FOR CONFIRMATION OF TOP OF FOUNDATION WALL AND ADDITIONAL INFORMATION.

- IF STUD WALL HEIGHT EXCEEDS MAX. UNSUPPORTED HEIGHT, WALL NEEDS TO BE REVIEWED AND APPROVED BY ENGINEER.

SIZE & SPACING OF STUDS: (OBC REFERENCE - TABLE 9.23.10.1.)					
MIN. STUD SIZE, in (mm)	SUPPORTED LOADS (EXTERIOR)				
	ROOF w/ OR w/o ATTIC	ROOF w/ OR w/o ATTIC & 1 FLOOR	ROOF w/ OR w/o ATTIC & 2 FLOOR	ROOF w/ OR w/o ATTIC & 3 FLOOR	
	MAX. STUD SPACING, in (mm) O.C.				
	MAX. UNSUPPORTED HGT., ft-in (m)				
2"x4" (38x89)	24" (610)	16" (405)	12" (305)		N/A
	9'-10" (3.0)	9'-10" (3.0)	9'-10" (3.0)		N/A
2"x6" (38x140)	-	24" (610)	16" (406)	12" (305)	
	-	9'-10" (3.0)	11'-10" (3.6)	5'-11" (1.8)	

SECTION 2.0. GENERAL NOTES

- 2.1. WINDOWS**
- 1) EXCEPT WHERE A DOOR ON THE SAME FLOOR LEVEL AS THE BEDROOM PROVIDES DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL CONTAINING A BEDROOM IS TO HAVE AT LEAST ONE OUTSIDE WINDOW W/ MIN. 0.35m2 UNOBSTRUCTED OPEN PORTION W/ NO DIMENSION LESS THAN 1'-3" (380), CAPABLE OF MAINTAINING THE OPENING WITHOUT THE NEED FOR ADDITIONAL SUPPORT, CONFORMING TO 9.9.10.
- 2) WINDOW GUARDS: A GUARD OR A WINDOW WITH A MAXIMUM RESTRICTED OPENING WIDTH OF 4" (100) IS REQUIRED WHERE THE TOP OF THE WINDOW SILL IS LOCATED LESS THAN 1'-7" (480) ABOVE FIN. FLOOR AND THE DISTANCE FROM THE FINISHED FLOOR TO THE ADJACENT GRADE IS GREATER THAN 5'-11" (1800), (9.8.8.1.)
- 3) WINDOWS IN EXIT STAIRWAYS THAT EXTEND TO LESS THAN 2'-11" (900) [3'-6" (1070) FOR ALL OTHER BUILDINGS] SHALL BE PROTECTED BY GUARDS IN ACCORDANCE WITH NOTE #2 (ABOVE), OR THE WINDOW SHALL BE NON-OPERABLE AND DESIGNED TO WITHSTAND THE SPECIFIED LOADS FOR BALCONY GUARDS AS PROVIDED IN 4.1.5.15 OR 9.8.8.2
- 4) REFER TO TITLE PAGE FOR MAX. U-VALUE REQUIREMENTS

- 2.2. CEILING HEIGHTS**
- THE CEILING HEIGHTS OF ROOMS AND SPACES SHALL CONFORM TO TABLE 9.5.3.1.

ROOM OR SPACE	MINIMUM HEIGHTS
LIVING ROOM, DINING ROOM AND KITCHEN	7'-7" OVER 75% OF REQUIRED FLOOR AREA WITH A CLEAR HEIGHT OF 6'-11" AT ANY POINT
BEDROOM	7'-7" OVER 50% OF REQUIRED FLOOR AREA OR 6'-11" OVER ALL OF THE REQUIRED FLOOR AREA.
BASEMENT	6'-11" OVER AT LEAST 75% OF THE BASEMENT AREA EXCEPT THAT UNDER BEAMS AND DUCTS THE CLEARANCE IS PERMITTED TO BE REDUCED TO 6'-5".
BATHROOM, LAUNDRY AREA ABOVE GRADE	6'-11" IN ANY AREA WHERE A PERSON WOULD NORMALLY BE STANDING
FINISHED ROOM NOT MENTIONED ABOVE	6'-11"
MEZZANINES	6'-11" ABOVE & BELOW FLOOR ASSEMBLY (9.5.3.2.)
STORAGE GARAGE	6'-7" (9.5.3.3.)

- 2.3. MECHANICAL / PLUMBING**
- 1) MECHANICAL VENTILATION IS REQUIRED TO PROVIDE 0.7 AIR CHANGE PER HOUR IF NOT AIR CONDITIONED 1 PER HOUR IF AIR CONDITIONED AVERAGED OVER 24 HOURS, WHEN A VENTILATION FAN (PRINCIPAL EXHAUST) IS REQUIRED, CONFORM TO OBC 9.32.3.4. WHEN A HRV IS REQUIRED, CONFORM TO 9.32.3.11. REFER TO MECHANICAL DRAWINGS.
- 2) REFER TO HOT WATER TANK MANUFACTURER SPECS. CONFORM TO OBC 9.31.6.
- 3) REFER TO TITLE PAGE FOR SPACE HEATING EQUIPMENT, HRV AND DOMESTIC HOT WATER HEATER MINIMUM EFFICIENCIES.
- 4) DRAIN WATER HEAT RECOVERY UNIT(S) WILL BE INSTALLED CONFORMING TO THE REQUIREMENTS OF SB12 - 3.1.1.12. OF THE O.B.C.
- 2.4. LUMBER**
- 1) ALL LUMBER SHALL BE SPRUCE No.2 GRADE OR BETTER, UNLESS NOTED OTHERWISE.
- 2) STUDS SHALL BE STUD GRADE SPRUCE, UNLESS NOTED OTHERWISE.
- 3) LUMBER EXPOSED TO THE EXTERIOR TO BE SPRUCE No. 2 GRADE PRESSURE TREATED OR CEDAR, UNLESS NOTED OTHERWISE.
- 4) ALL LAMINATED VENEER LUMBER (LVL) BEAMS, GIRDER TRUSSES, AND METAL HANGER CONNECTIONS SUPPORTING ROOF FRAMING TO BE DESIGNED & CERTIFIED BY FLOOR AND ROOF TRUSS MANUFACTURER.
- 5) JOIST HANGERS: PROVIDE APPROVED METAL HANGERS FOR ALL JOISTS AND BUILT-UP WOOD MEMBERS INTERSECTING WITH FLUSH BUILT-UP WOOD MEMBERS.
- 6) WOOD FRAMING NOT TREATED WITH A WOOD PRESERVATIVE. IN CONTACT WITH CONCRETE, SHALL BE SEPARATED FROM THE CONC. BY AT LEAST 2 mil POLYETHYLENE FILM. No.50 (45lbs) ROLL ROOFING OR OTHER DAMPPROOFING MATERIAL, EXCEPT WHERE THE WOOD MEMBER IS AT LEAST 6" (152) ABOVE THE GROUND.

- 2.5. STEEL** (9.23.4.3.)
- 1) STRUCTURAL STEEL SHALL CONFORM TO CAN/CSA-G40-21 GRADE 350W. HOLLOW STRUCT. SECTIONS SHALL CONFORM TO CAN/CSA-G40-21 GRADE 350W CLASS "H".
- 2) REINFORCING STEEL SHALL CONFORM TO CSA-G30-18M GRADE 400R.

- 2.6. FLAT ARCHES**
- 1) FOR 8'-0" (2440) CEILINGS, FLAT ARCHES SHALL BE 6'-10" (2080) A.F.F.
- 2) FOR 9'-0" (2740) CEILINGS, FLAT ARCHES SHALL BE 7'-10" (2400) A.F.F.
- 3) FOR 10'-0" (3040) CEILINGS, FLAT ARCHES SHALL BE 8'-6" (2600) A.F.F.

- 2.7. ROOF OVERHANGS**
- 1) ALL ROOF OVERHANGS SHALL BE 1'-0" (305). UNLESS NOTED OTHERWISE.

- 2.8. FLASHING** (9.20.13., 9.26.4. & 9.27.3.)
- 1) FLASHING MATERIALS & INSTALLATION SHALL CONFORM TO O.B.C.
- 2.9. GRADING**
- 1) THE BUILDING SHALL BE LOCATED OR THE BUILDING SITE GRADED SO THE WATER WILL NOT ACCUMULATE AT OR NEAR THE BUILDING AND WILL NOT ADVERSELY AFFECT ADJACENT PROPERTIES. CONFORM TO 9.14.6.

- 2.10. ULC SPECIFIED ASSEMBLIES**
- ALL REQUIRED INDIVIDUAL COMPONENTS THAT FORM PART OF ANY 'ULC LISTED ASSEMBLY'. SPECIFIED WITHIN THESE DRAWINGS, CANNOT BE ALTERED OR SUBSTITUTED FOR ANY OTHER MATERIAL/PRODUCT OR SPECIFIED MANUFACTURER THAT IS IDENTIFIED IN THAT 'SPECIFIED ULC LISTING'. THERE SHALL BE NO DEVIATIONS UNDER ANY CIRCUMSTANCES IN ANY 'ULC LISTED ASSEMBLY' IDENTIFIED IN THESE DRAWINGS.

SECTION 3.0. LEGEND

3.1. WOOD LINTELS AND BUILT-UP WOOD (DIVISION B PART 9. TABLES A8 TO A10 AND A12, A15 & A16) FORMING PART OF SENTENCE 9.23.4.2.(3), 9.23.4.2.(4), 9.23.12.3.(1),(3), 9.23.13.8.(2), 9.37.3.1.(1)					
2"x8" SPRUCE #2		2"x10" SPRUCE #2		2"x12" SPRUCE #2	
L1	2/2"x8" (2/38x184)	L3	2/2"x10" (2/38x235)	L5	2/2"x12" (2/38x286)
B1	3/2"x8" (3/38x184)	B3	3/2"x10" (3/38x235)	B5	3/2"x12" (3/38x286)
B2	4/2"x8" (4/38x184)	B4	4/2"x10" (4/38x235)	B6	4/2"x12" (4/38x286)
B7	5/2"x8" (5/38x184)	B8	5/2"x10" (5/38x235)	B9	5/2"x12" (5/38x286)
ENGINEERED LUMBER SCHEDULE - GRADE 2.0E (UNLESS NOTE OTHERWISE)					
1 3/4" x 9 1/2" LVL		1 3/4" x 11 7/8" LVL		1 3/4" x 14" LVL	
LVL2	1-1 3/4"x9 1/2"	LVL3	1-1 3/4"x11 7/8"	LVL10	1-1 3/4"x14"
LVL4	2-1 3/4"x9 1/2"	LVL6	2-1 3/4"x11 7/8"	LVL11	2-1 3/4"x14"
LVL5	3-1 3/4"x9 1/2"	LVL7	3-1 3/4"x11 7/8"	LVL12	3-1 3/4"x14"
LVL8	4-1 3/4"x9 1/2"	LVL9	4-1 3/4"x11 7/8"	LVL13	4-1 3/4"x14"
3.2. STEEL LINTELS SUPPORTING MASONRY VENEER (DIVISION B PART 9. TABLE 9.20.5.2.B.) FORMING PART OF SENTENCE 9.20.5.2.(2) & 9.20.5.2.(3)					
CODE	SIZE	BRICK		STONE	
L7	3 1/2" x 3 1/2" x 1/4" (89 x 89 x 6.4)	8'-1" (247m)		7'-6" (2.30m)	
L8	4" x 3 1/2" x 1/4" (102 x 89 x 6.4)	8'-9" (2.66m)		8'-1" (2.48m)	
L9	4 7/8" x 3 1/2" x 5/16" (127 x 89 x 7.9)	10'-10" (3.31m)		10'-1" (3.03m)	
L10	4 7/8" x 3 1/2" x 3/8" (127 x 89 x 11)	11'-5" (3.48m)		10'-7" (3.24m)	
L11	5 7/8" x 3 1/2" x 3/8" (152 x 89 x 11)	12'-6" (3.82m)		11'-7" (3.54m)	
L12	7 1/8" x 4" x 3/8" (178 x 102 x 11)	14'-1" (4.30m)		13'-1" (3.99m)	

3.3. DOOR SCHEDULE					
CONFORMING TO SECTIONS 9.5.11, 9.6., 9.7.2.1, 9.7.5.2, & 9.10.13.10					
1	EXTERIOR	2'-8" x 6'-8" x 1-3/4" (815 x 2030 x 45)	INSULATED MIN. R4 (RSI 0.7)		
1A	EXTERIOR	2'-10" x 6'-8" x 1-3/4" (865 x 2030 x 45)	INSULATED MIN. R4 (RSI 0.7)		
1B	EXTERIOR	3'-0" x 6'-8" x 1-3/4" (915 x 2030 x 45)	INSULATED MIN. R4 (RSI 0.7)		
1C	EXTERIOR	2'-6" x 6'-8" x 1-3/4" (760 x 2030 x 45)	INSULATED MIN. R4 (RSI 0.7)		
1D	EXTERIOR	2'-8" x 6'-8" x 1-3/4" (815 x 2030 x 45)	INS. MIN. R4 (RSI 0.7) (SEE HEX NOTE 20)		
1E	EXTERIOR	3'-0" x 8'-0" x 1-3/4" (915 x 2440 x 45)	INSULATED MIN. R4 (RSI 0.7)		
1F	EXTERIOR	2'-8" x 8'-0" x 1-3/4" (815 x 2440 x 45)	INSULATED MIN. R4 (RSI 0.7)		
2A	EXTERIOR	2'-8" x 6'-8" x 1-3/4" (815 x 2030 x 45)	20 MIN. F.R.R. DOOR/FRAME WITH APP. SELF CLOSING DEVICE.		
2	INTERIOR	2'-8" x 6'-8" x 1-3/8" (815 x 2030 x 35)	PROVIDE 8'-0" HIGH INTERIOR DOORS FOR ALL 10' CEILING CONDITIONS		
3	INTERIOR	2'-6" x 6'-8" x 1-3/8" (760 x 2030 x 35)			
3A	INTERIOR	2'-4" x 6'-8" x 1-3/8" (710 x 2030 x 35)			
4	INTERIOR	2'-0" x 6'-8" x 1-3/8" (610 x 2030 x 35)			
4A	INTERIOR	2'-2" x 6'-8" x 1-3/8" (660 x 2030 x 35)			
5	INTERIOR	1'-6" x 6'-8" x 1-3/8" (460 x 2030 x 35)			

3.4. ACRONYMS			
AFF	ABOVE FINISHED FLOOR	JST	JOIST
BBFM	BEAM BY FLOOR MANUFACTURER	LIN	LINEN CLOSET
BG	FIXED GLASS W/ BLACK BACKING	LVL	LAMINATED VENEER LUMBER
BM	BEAM	OTB/A	OPEN TO BELOW/ABOVE
BBRM	BEAM BY ROOF MANUFACTURER	PL	POINT LOAD
CRF	CONVENTIONAL ROOF FRAMING	PLT	PLATE
C/W	COMPLETE WITH	PT	PRESSURE TREATED
DJ/TJ	DOUBLE JOIST/ TRIPLE JOIST	PTD	PAINTED
DO	DO OVER	PWD	POWDER ROOM
DRP	DROPPED	RWL	RAIN WATER LEADER
ENG	ENGINEERED	SB	SOLID BEARING WOOD POST
EST	ESTIMATED	SBFA	SB FROM ABOVE
FA	FLAT ARCH	SJ	SINGLE JOIST
FD	FLOOR DRAIN	SPR	SPRUCE
FG	FIXED GLASS	STL	STEEL
FL	FLUSH	T/O	TOP OF
FLR	FLOOR	TYP	TYPICAL
GT	GIRDER TRUSS	U/S	UNDERSIDE
HB	HOSE BIB	WD	WOOD
HRV	HEAT RETURN VENTILATION UNIT	WIC	WALK IN CLOSET
HWT	HOT WATER TANK	WP	WEATHER PROOF

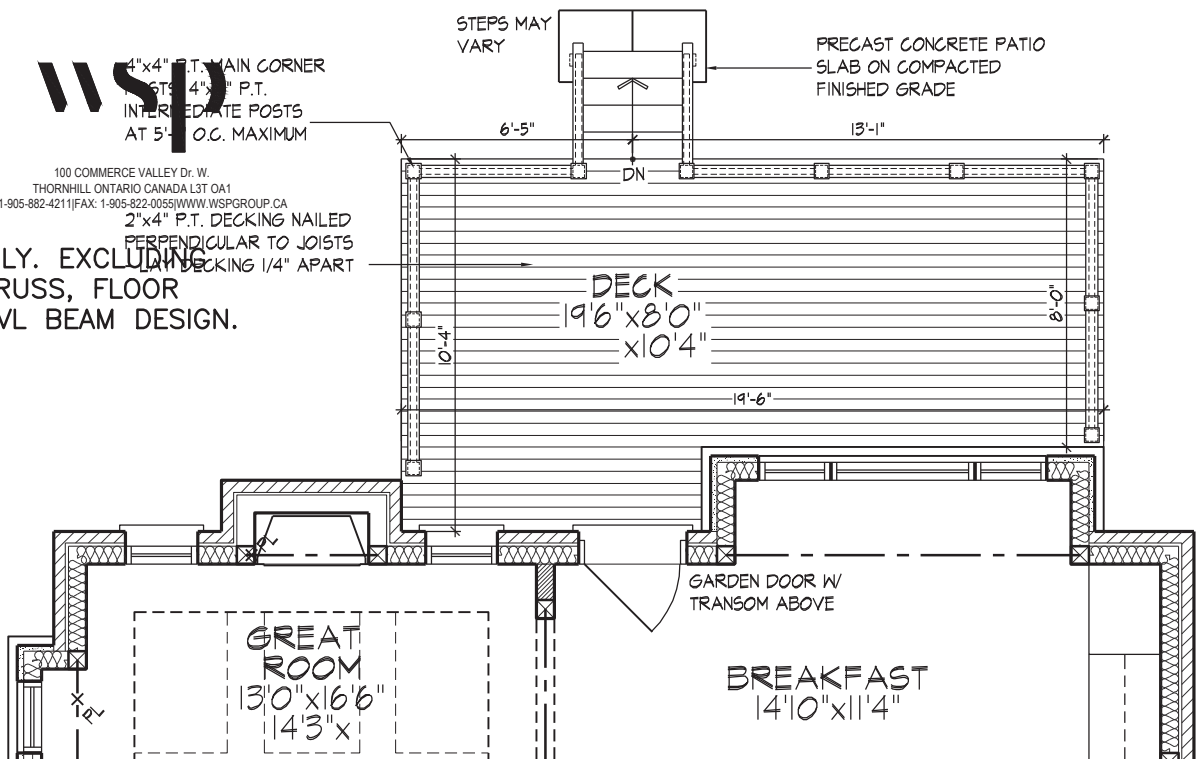
3.5. SYMBOLS			
ALL ELECTRICAL FACILITIES SHALL BE INSTALLED IN ACCORDANCE WITH SECTION 9.34.			
	CLASS 'B' VENT		EXHAUST VENT
	DUPLEX OUTLET (12" HIGH)		DUPLEX OUTLET (HEIGHT AS NOTED A.F.F.)
	HEAVY DUTY OUTLET		SWITCH (2/3/4 WAY)
	POT LIGHT		LIGHT FIXTURE (CEILING MOUNTED)
	LIGHT FIXTURE (PULL CHAIN)		LIGHT FIXTURE (WALL MOUNTED)
	CABLE T.V. JACK		TELEPHONE JACK
	CENTRAL VACUUM OUTLET		CHANDELIER (CEILING MOUNTED)

- SA **SMOKE ALARM** (9.10



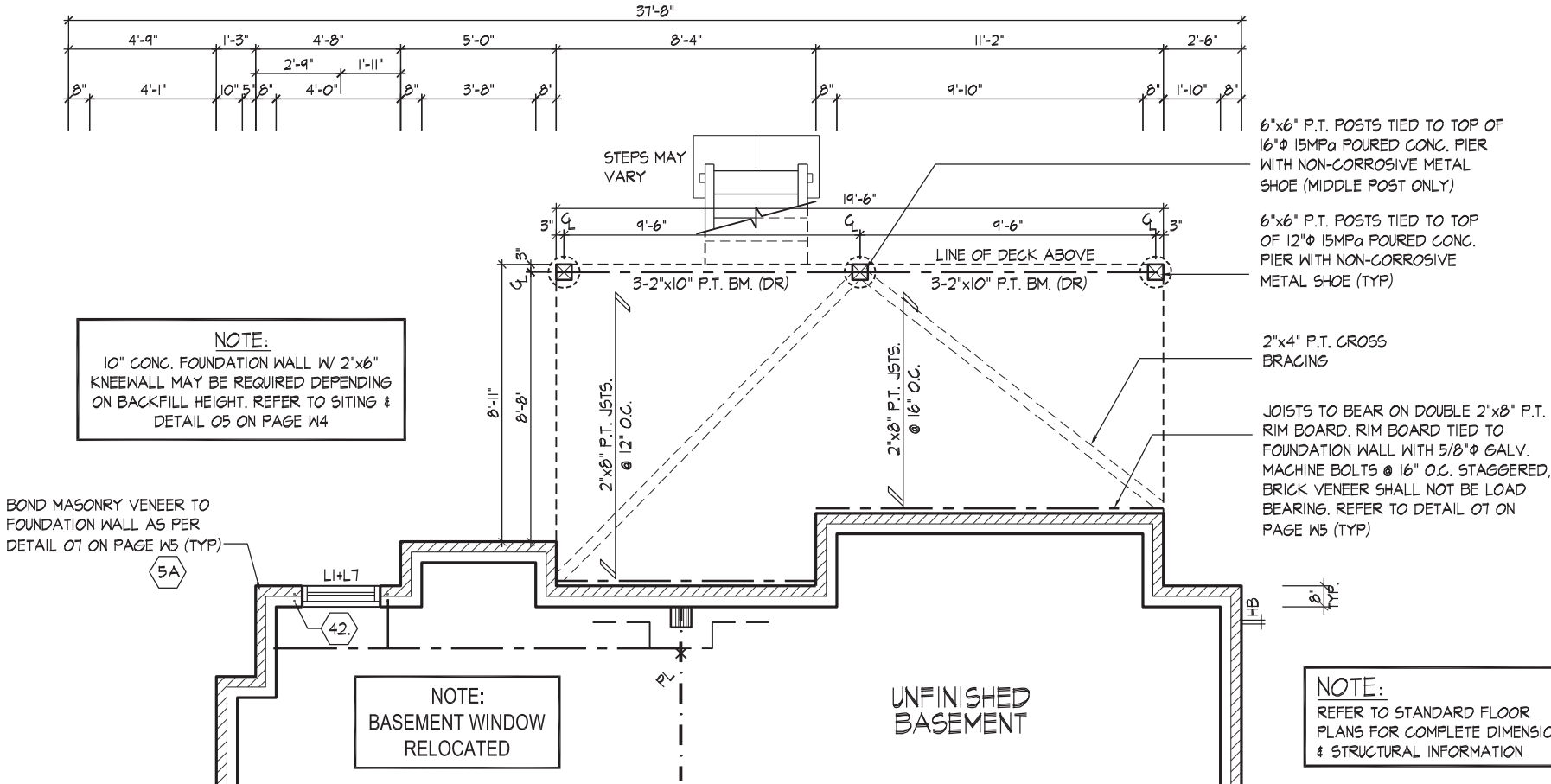
100 COMMERCE VALLEY DR. W.
THORNHILL ONTARIO CANADA L3T 0A1
TEL: 1-905-882-4211 FAX: 1-905-822-0055 WWW.WSPGROUP.CA
2"x4" P.T. DECKING NAILED
PERPENDICULAR TO JOISTS
LVL DECKING 1/4" APART

FOR STRUCTURAL ONLY. EXCLUDING
ENGINEERED ROOF TRUSS, FLOOR
JOIST, AND FLOOR LVL BEAM DESIGN.



NOTE:
REFER TO STANDARD FLOOR
PLANS FOR COMPLETE DIMENSIONS
& STRUCTURAL INFORMATION

PART. GROUND FLOOR PLAN ELEV. 'A' - W.O.D. COND.
ELEV. 'B' SIMILAR



PART. BASEMENT PLAN ELEV. 'A' - W.O.D. COND.
ELEV. 'B' SIMILAR



UPGRADED REAR ELEV. 'A' - W.O.D. COND.
ELEV. 'B' SIMILAR

REFER TO FRONT ELEVATION & STANDARD
REAR FOR TYPICAL NOTES & INFO.

WINDOW SIZES FOR W.O.D. CONDITIONS:
WINDOWS TO BE LOCATED WITHIN JOIST
SPACE. IF GRADE PERMITS, TOP OF
WINDOW TO BE 6'-10" FOR STD. PLAN
AND 7'-10" FOR OPT. 9' BSMT. A.F.F.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot. This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: [Signature]
DATE: AUG 08, 2022

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

WALK OUT DECK CONDITION

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION

NAME: Allan Whiting
SIGNATURE: [Signature]
REGISTRATION INFORMATION: 23177 BCIN

HUNT DESIGN ASSOCIATES INC.

19695

HUNT DESIGN ASSOCIATES INC.
www.huntdesign.ca

GOLDPARK HOMES - 221081
PINE VALLEY PH.2, VAUGHAN, ON.

Drawn By: WT
Checked By: AW
Scale: 3/16"=1'-0"
File Number: 221081WS4006.dwg
Page Number: W1 of W8

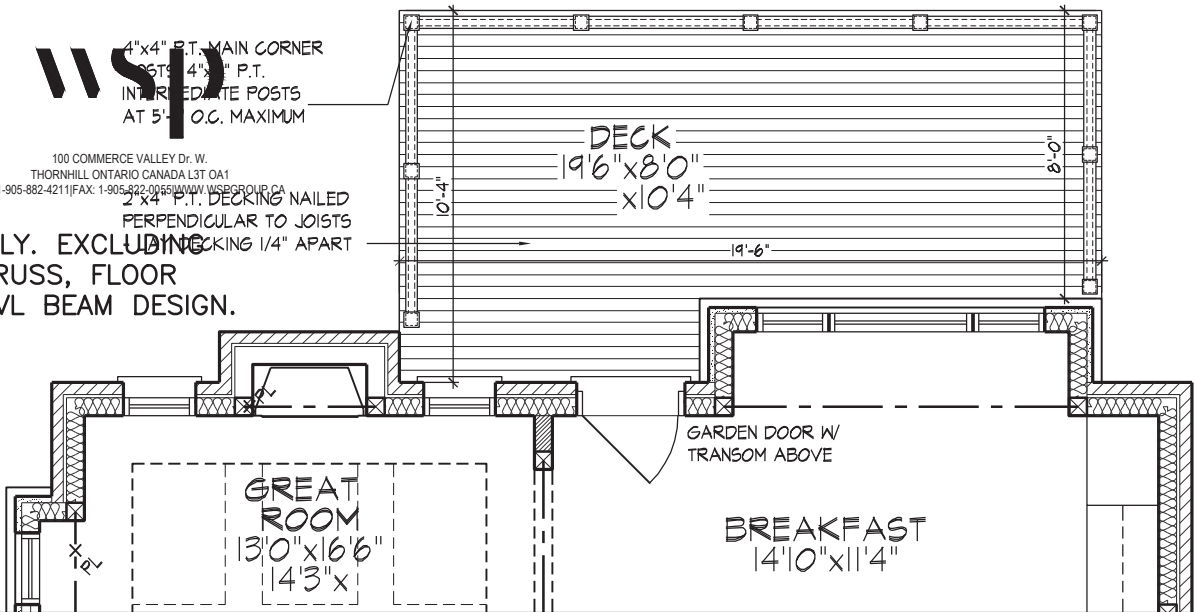
UNIT 4006 - THE LILAC
REV.2022.08.02

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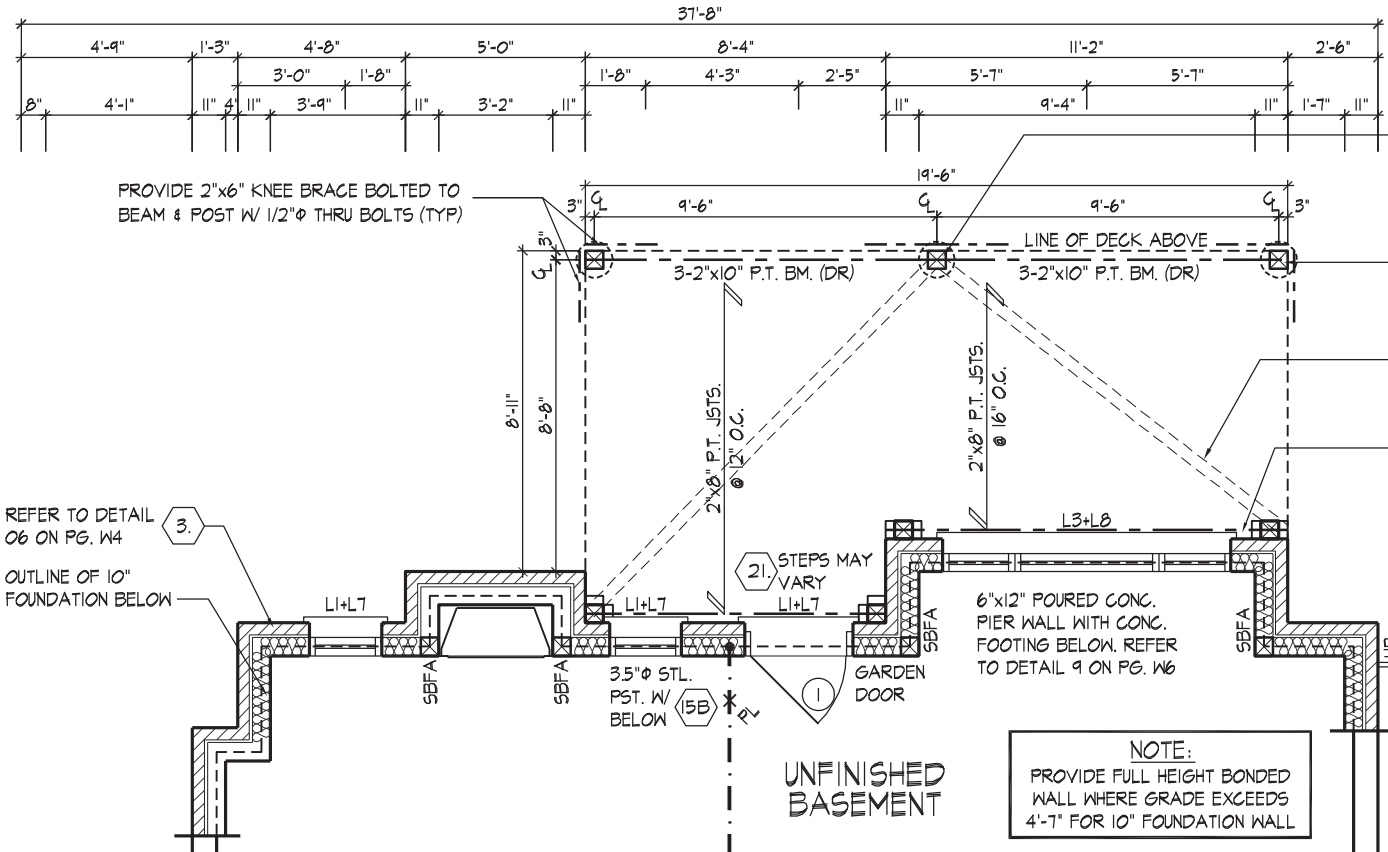
100 COMMERCE VALLEY DR. W.
THORNHILL ONTARIO CANADA L3T 0A1
TEL: 1-905-882-4211 FAX: 1-905-882-0551 WWW.HUNTD.COM

FOR STRUCTURAL ONLY. EXCLUDING
ENGINEERED ROOF TRUSS, FLOOR
JOIST, AND FLOOR LVL BEAM DESIGN.



NOTE:
REFER TO STANDARD FLOOR
PLANS FOR COMPLETE DIMENSIONS
& STRUCTURAL INFORMATION

PART. GROUND FLOOR PLAN ELEV. 'A' - W.O.B. COND.
ELEV. 'B' SIMILAR



NOTE:
REFER TO STANDARD FLOOR
PLANS FOR COMPLETE DIMENSIONS
& STRUCTURAL INFORMATION

PART. BASEMENT PLAN ELEV. 'A' - W.O.B. COND.
ELEV. 'B' SIMILAR



UPGRADED REAR ELEV. 'A' - W.O.B. COND.
ELEV. 'B' SIMILAR

REFER TO FRONT ELEVATION & STANDARD
REAR FOR TYPICAL NOTES & INFO.

WINDOW SIZES FOR W.O.B. CONDITIONS:
- W.O.B. = MATCH WIDTH OF WINDOW ABOVE
AND WINDOWS TO BE 56" DEEP. TOP OF
WINDOW TO BE 6'-10" FOR STD. PLAN AND
@ 7'-10" FOR OPT. 9' BSMT. A.F.F.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot. This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY:
DATE: AUG 08, 2022
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

WALK OUT BASEMENT CONDITION

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS
DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET
OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION

NAME: Allan Whiting
REGISTRATION INFORMATION: SIGNATURE

23177
BCIN

HUNT DESIGN ASSOCIATES INC.

19695

HUNT DESIGN ASSOCIATES INC.
www.huntdesign.ca

GOLDPARK HOMES - 221081
PINE VALLEY PH.2, VAUGHAN, ON.

Drawn By: WT
Checked By: AW
Scale: 3/16"=1'-0"
File Number: 221081WS4006.dwg
8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

UNIT 4006 - THE LILAC
REV.2022.08.02

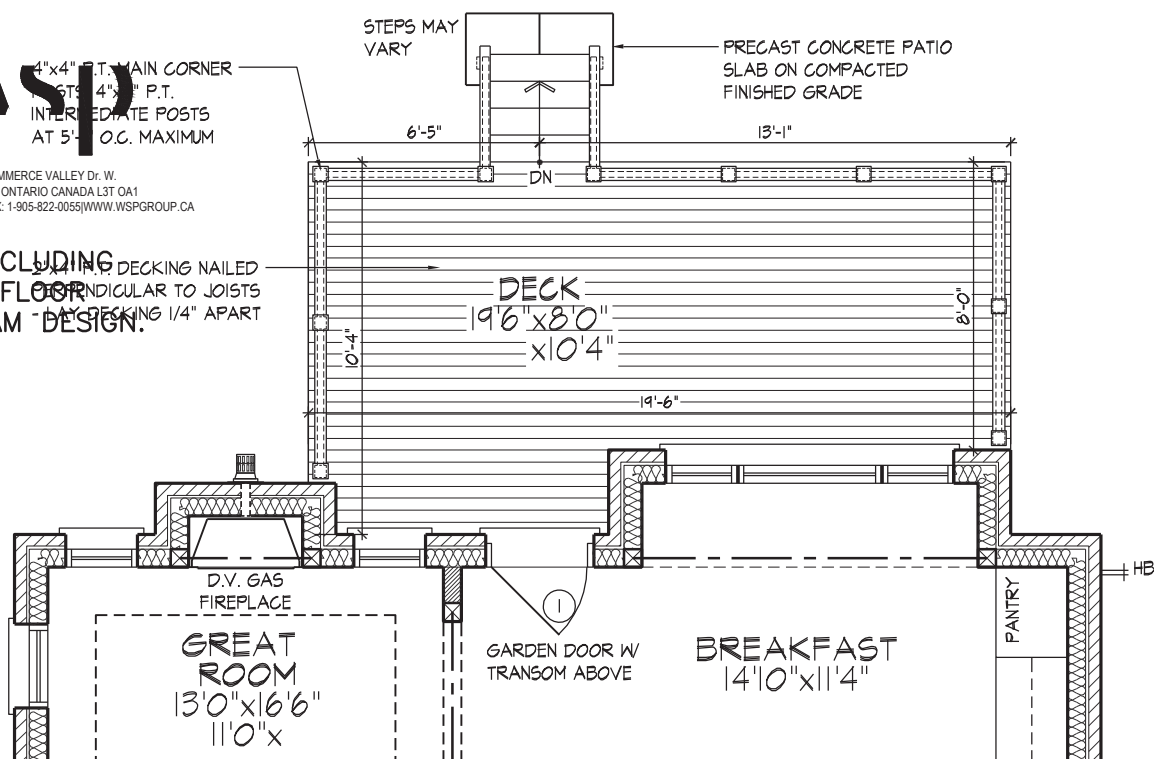
Page Number
W3 of W8

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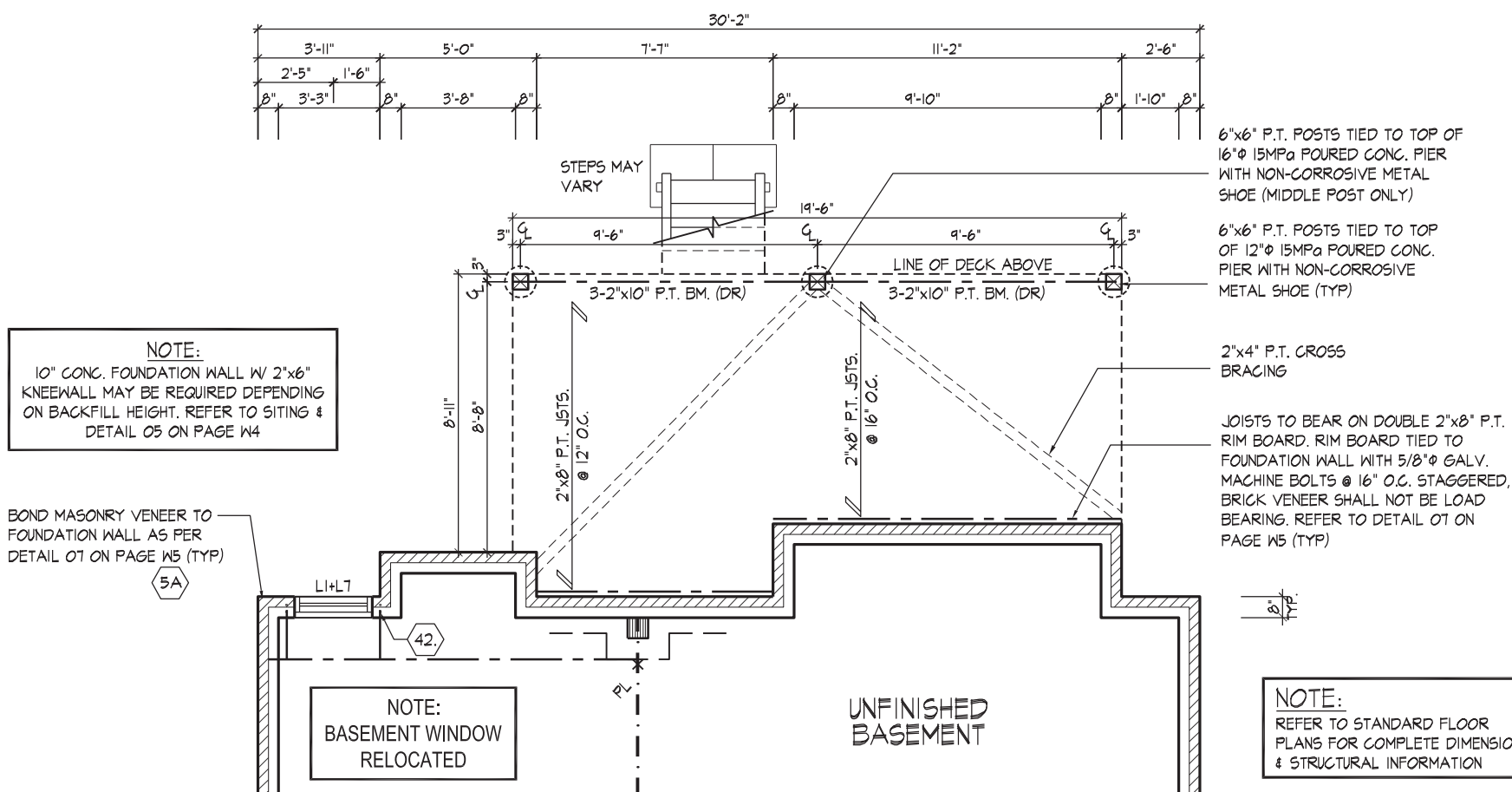
100 COMMERCE VALLEY Dr. W.
THORNHILL ONTARIO CANADA L3T 0A1
TEL: 1-905-882-4211/FAX: 1-905-822-0055/WWW.WSPGROUP.CA

FOR STRUCTURAL ONLY. EXCLUDING SILLING AND DECKING NAILED
ENGINEERED ROOF TRUSS, FLOOR PERPENDICULAR TO JOISTS
JOIST, AND FLOOR LVL BEAM DESIGN. - DAY DECKING 1/4" APART



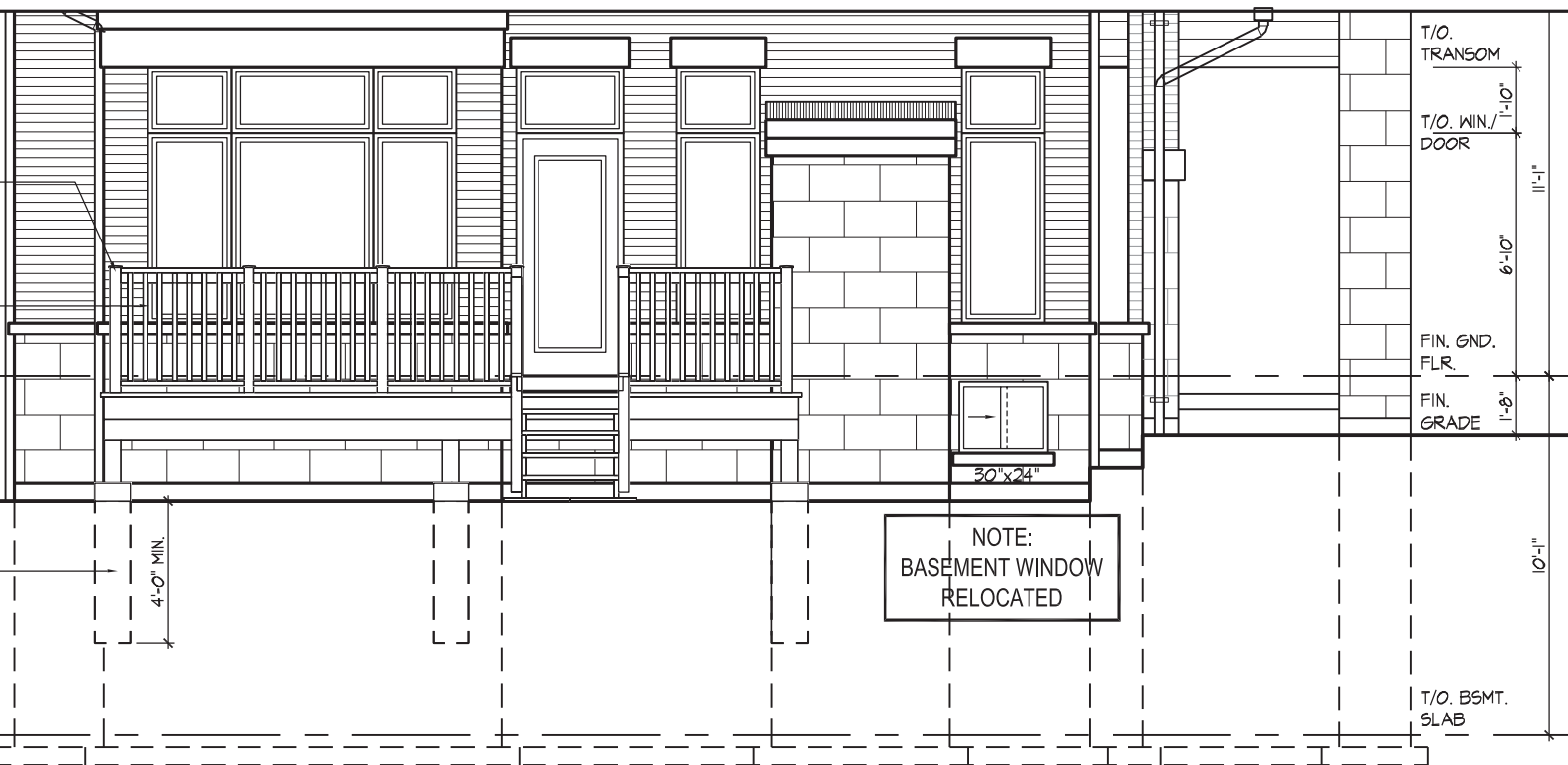
NOTE:
REFER TO STANDARD FLOOR
PLANS FOR COMPLETE DIMENSIONS
& STRUCTURAL INFORMATION

PART. BASEMENT PLAN ELEV. 'C' - W.O.D. COND.



NOTE:
REFER TO STANDARD FLOOR
PLANS FOR COMPLETE DIMENSIONS
& STRUCTURAL INFORMATION

PART. BASEMENT PLAN ELEV. 'C' - W.O.D. COND.



*It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control District is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: _____
DATE: AUG 08, 2022

This stamp certifies compliance with the applicable
Design Guidelines only and bears no further
professional responsibility.

REFER TO FRONT ELEVATION & STANDARD
REAR FOR TYPICAL NOTES & INFO.

UPGRADED REAR ELEV. 'C' - W.O.D. COND

WTANG | TUE AUG 2/22 03:35 PM | K:\PROJECTS\2021\221081.GOLD\WORKING\SINGLE\$140'221081WS40p6-CORNER-LILAC.DWG

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION

NAME	SIGNATURE
Allan Whiting	

REGISTRATION INFORMATION

HUNT DESIGN ASSOCIATES INC.

23177
BCIN

19695



HUNT
DESIGN ASSOCIATES INC.

www.huntdesign.ca

GOLDPARK HOMES - 221081
PINE VALLEY PH.2, VAUGHAN, ON.

Drawn By
WT

Checked By
AW

Scale
3/16"=1'-0"

WT

Checked By

Scale

$$3/16'' = 1'-0''$$

DN L3R 0J7 T 905.737.5133

R 0J7 T 905.737.5133

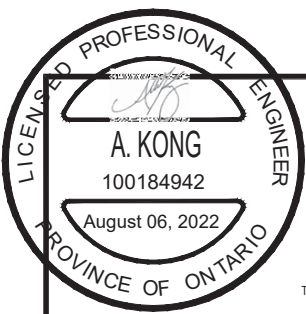
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UNIT 4006 - THE LILAC
REV.2022.08.02

Page Number
W4 of W8

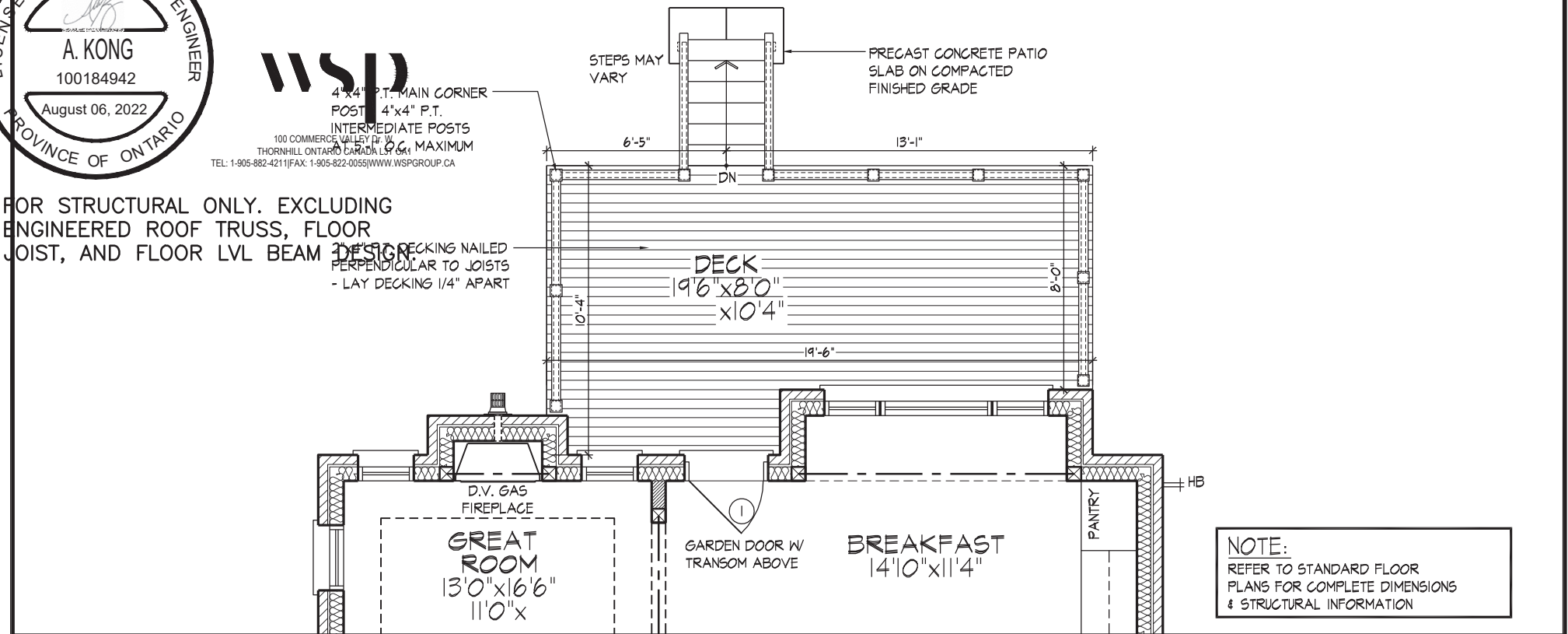
.dwg W4 of W8



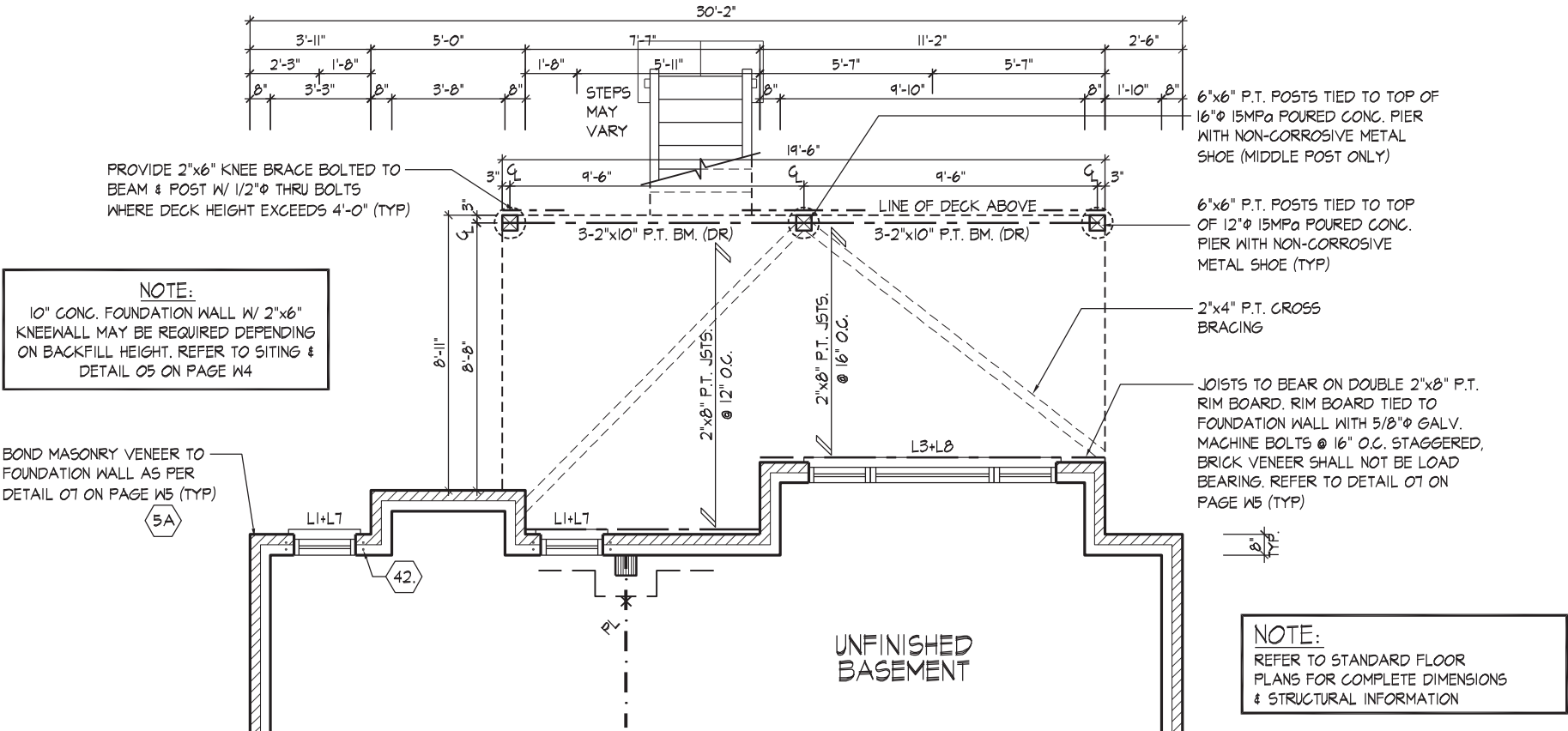
wsp
4"x4" P.T. MAIN CORNER POSTS, 4"x4" P.T. INTERMEDIATE POSTS AT 5'-0" O.C. MAXIMUM
100 COMMERCE VALLEY DR. W.
THORNHILL, ONTARIO CANADA L3R 9V4
TEL: 1-905-882-4211 FAX: 1-905-822-0055 WWW.WSPGROUP.CA

FOR STRUCTURAL ONLY. EXCLUDING
ENGINEERED ROOF TRUSS, FLOOR
JOIST, AND FLOOR LVL BEAM DESIGN

1. LAY DECKING NAILED
PERPENDICULAR TO JOISTS
- LAY DECKING 1/4" APART



PART. GROUND FLOOR PLAN EL. 'C' - L.O.D. COND.



PART. BASEMENT PLAN ELEV. 'C' - L.O.D. COND.



UPGRADED REAR ELEV. 'C' - L.O.D. COND.

REFER TO FRONT ELEVATION & STANDARD
REAR FOR TYPICAL NOTES & INFO.

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY:
DATE: AUG 08, 2022
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DECK DETAILS 2

UNIT 4006 - THE LILAC
REV.2022.08.02

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION
Allan Whiting
NAME
REGISTRATION INFORMATION
HUNT DESIGN ASSOCIATES INC.

23177
BCIN

HUNT
DESIGN ASSOCIATES INC.
www.huntdesign.ca

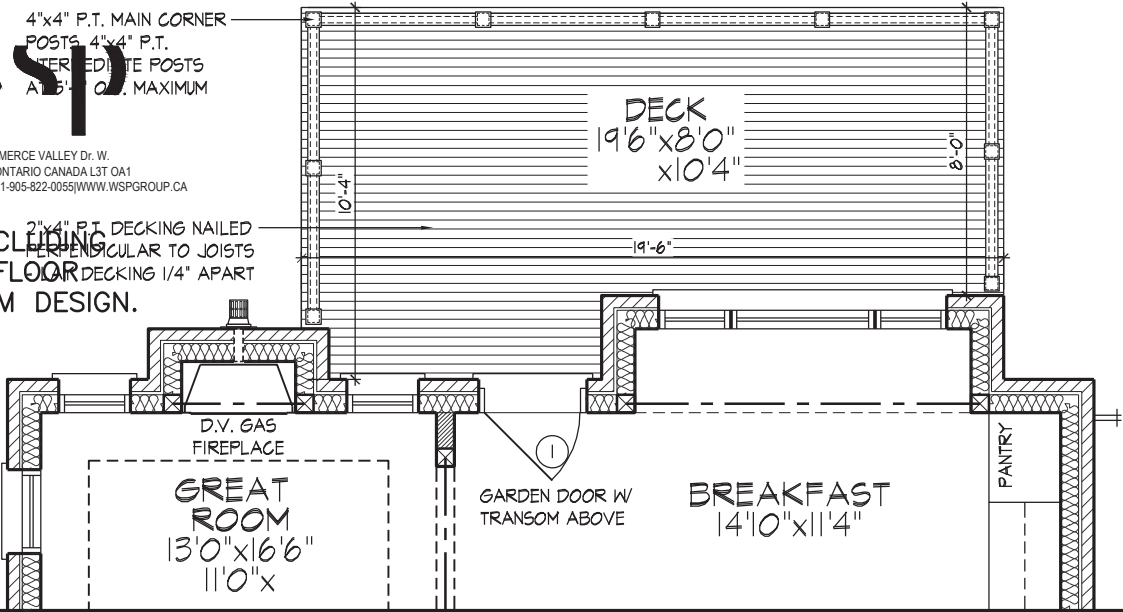
GOLDPARK HOMES - 221081
PINE VALLEY PH.2, VAUGHAN, ON.

Drawn By
WT
Checked By
AW
Scale
3/16"=1'-0"
File Number
221081WS4006.dwg
Page Number
W5 of W8



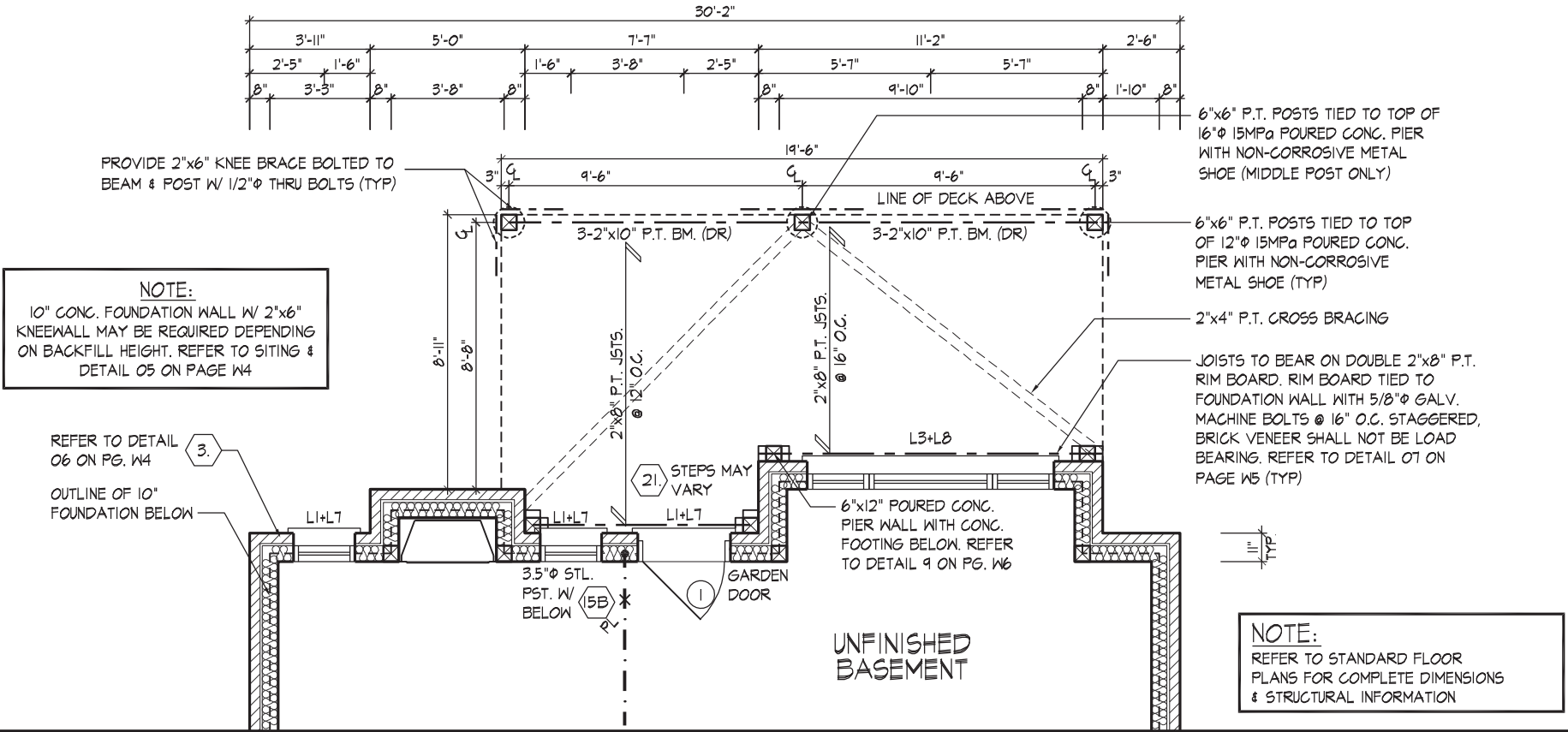
100 COMMERCE VALLEY DR. W.
THORNHILL ONTARIO CANADA L3T 0A1
TEL: 1-905-882-4211 FAX: 1-905-822-0055 WWW.WSPGROUP.CA

FOR STRUCTURAL ONLY. EXCLUDING
ENGINEERED ROOF TRUSS, FLOOR
JOIST, AND FLOOR LVL BEAM DESIGN.



NOTE:
REFER TO STANDARD FLOOR
PLANS FOR COMPLETE DIMENSIONS
& STRUCTURAL INFORMATION

PART. GROUND FLOOR PLAN EL. 'C' - W.O.B. COND.



PART. BASEMENT PLAN ELEV. 'C' - W.O.B. COND.



UPGRADED REAR ELEV. 'C' - W.O.B. COND.

REFER TO FRONT ELEVATION & STANDARD
REAR FOR TYPICAL NOTES & INFO.

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: AUG 08, 2022
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

DECK DETAILS 3

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION
Allan Whiting
NAME
REGISTRATION INFORMATION
HUNT DESIGN ASSOCIATES INC.
23177
BCIN
19695

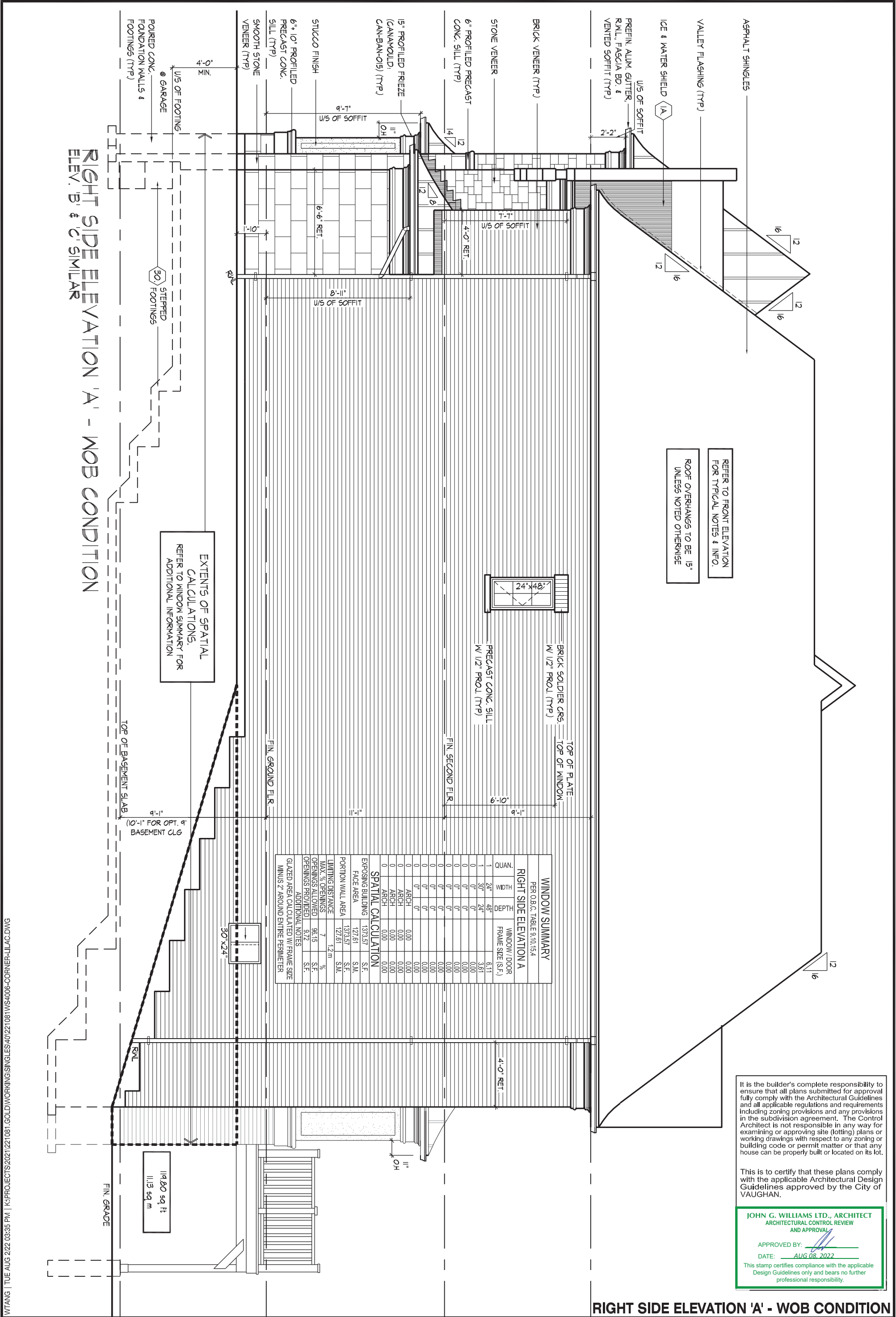
HUNT
DESIGN ASSOCIATES INC.
www.huntdesign.ca

GOLDPARK HOMES - 221081
PINE VALLEY PH.2, VAUGHAN, ON.

Drawn By WT
Checked By AW
Scale 3/16"=1'-0"
File Number 221081WS4006.dwg
8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

UNIT 4006 - THE LILAC
REV.2022.08.02

Page Number
W6 of W8



WTANG | TUE AUG 22 03:35 PM | K:\PROJECTS\2021\221081\GOLDPARK\WORKING\SINGLES\40\221081WS4006-CORNER-LILAC.DWG

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION

NAME
REGISTRATION INFORMATION

HUNT DESIGN ASSOCIATES INC.

SIGNATURE

23177

BCIN

HUNT DESIGN ASSOCIATES INC.

www.huntdesign.ca

GOLDPARK HOMES - 221081
PINE VALLEY PH.2, VAUGHAN, ON.

Drawn By
Checked By
Scale

WT
AW
3/16"=1'-0"

File Number
221081WS4006.dwg

UNIT 4006 - THE LILAC
REV.2022.08.02

Page Number
W7 of W8

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SPATIAL CALCULATIONS FOR THE DECK CONDITIONS

WALK OUT DECK CONDITION

WINDOW SUMMARY					WINDOW SUMMARY					WINDOW SUMMARY				
PER O.B.C. TABLE 9.10.15.4					PER O.B.C. TABLE 9.10.15.4					PER O.B.C. TABLE 9.10.15.4				
REAR ELEVATION A					REAR ELEVATION B					REAR ELEVATION C				
QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)		QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)		QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	
6	24"	60"	46.67		6	24"	60"	46.67		7	28"	64"	70.00	
2	48"	60"	34.22		2	48"	60"	34.22		2	48"	64"	36.67	
1	24"	48"	6.11		1	24"	48"	6.11		2	28"	22"	6.00	
1	96"	18"	8.94		1	96"	18"	8.94		1	48"	22"	5.50	
1	36"	18"	3.11		1	36"	18"	3.11		1	36"	22"	4.00	
2	24"	18"	3.89		2	24"	18"	3.89		2	24"	18"	3.89	
1	30"	24"	3.61		1	30"	24"	3.61		1	30"	24"	3.61	
0	0"	0"	0.00		0	0"	0"	0.00		0	0"	0"	0.00	
0	0"	0"	0.00		0	0"	0"	0.00		0	0"	0"	0.00	
0	0"	0"	0.00		0	0"	0"	0.00		0	0"	0"	0.00	
1	DOOR		9.19	9.19	1	DOOR		9.19	9.19	1	DOOR		9.19	9.19
0	ARCH		0.00	0.00	0	ARCH		0.00	0.00	0	ARCH		0.00	0.00
0	ARCH		0.00	0.00	0	ARCH		0.00	0.00	0	ARCH		0.00	0.00
0	ARCH		0.00	0.00	0	ARCH		0.00	0.00	0	ARCH		0.00	0.00
SPATIAL CALCULATION					SPATIAL CALCULATION					SPATIAL CALCULATION				
EXPOSING BUILDING FACE AREA		788.80	S.F.		EXPOSING BUILDING FACE AREA		788.80	S.F.		EXPOSING BUILDING FACE AREA		749.14	S.F.	
		73.28	S.M.				73.28	S.M.				69.60	S.M.	
PORTION WALL AREA		788.80	S.F.		PORTION WALL AREA		788.80	S.F.		PORTION WALL AREA		749.14	S.F.	
		73.28	S.M.				73.28	S.M.				69.60	S.M.	
LIMITING DISTANCE		7.50 m			LIMITING DISTANCE		7.50 m			LIMITING DISTANCE		7.50 m		
MAX. % OPENINGS		50.50	%		MAX. % OPENINGS		50.50	%		MAX. % OPENINGS		50.50	%	
OPENINGS ALLOWED		398.34	S.F.		OPENINGS ALLOWED		398.34	S.F.		OPENINGS ALLOWED		378.32	S.F.	
OPENINGS PROVIDED		115.75	S.F.		OPENINGS PROVIDED		115.75	S.F.		OPENINGS PROVIDED		138.86	S.F.	
ADDITIONAL NOTES					ADDITIONAL NOTES					ADDITIONAL NOTES				
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER					GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER					GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER				

LOOK OUT DECK CONDITION

WINDOW SUMMARY					WINDOW SUMMARY					WINDOW SUMMARY				
PER O.B.C. TABLE 9.10.15.4					PER O.B.C. TABLE 9.10.15.4					PER O.B.C. TABLE 9.10.15.4				
REAR ELEVATION A					REAR ELEVATION B					REAR ELEVATION C				
QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)		QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)		QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	
6	24"	60"	46.67		6	24"	60"	46.67		7	28"	64"	70.00	
2	48"	60"	34.22		2	48"	60"	34.22		2	48"	64"	36.67	
1	24"	48"	6.11		1	24"	48"	6.11		2	28"	22"	6.00	
1	96"	18"	8.94		1	96"	18"	8.94		1	48"	22"	5.50	
1	36"	18"	3.11		1	36"	18"	3.11		1	36"	22"	4.00	
2	24"	18"	3.89		2	24"	18"	3.89		2	24"	18"	3.89	
4	24"	30"	14.44		4	24"	30"	14.44		1	48"	30"	7.94	
1	48"	30"	7.94		1	48"	30"	7.94		4	24"	30"	14.44	
0	0"	0"	0.00		0	0"	0"	0.00		0	0"	0"	0.00	
0	0"	0"	0.00		0	0"	0"	0.00		0	0"	0"	0.00	
1	DOOR		9.19	9.19	1	DOOR		9.19	9.19	1	DOOR		9.19	9.19
0	ARCH		0.00	0.00	0	ARCH		0.00	0.00	0	ARCH		0.00	0.00
0	ARCH		0.00	0.00	0	ARCH		0.00	0.00	0	ARCH		0.00	0.00
0	ARCH		0.00	0.00	0	ARCH		0.00	0.00	0	ARCH		0.00	0.00
SPATIAL CALCULATION					SPATIAL CALCULATION					SPATIAL CALCULATION				
EXPOSING BUILDING FACE AREA		834.55	S.F.		EXPOSING BUILDING FACE AREA		834.55	S.F.		EXPOSING BUILDING FACE AREA		756.68	S.F.	
		77.53	S.M.				77.53	S.M.				70.30	S.M.	
PORTION WALL AREA		834.55	S.F.		PORTION WALL AREA		834.55	S.F.		PORTION WALL AREA		756.68	S.F.	
		77.53	S.M.				77.53	S.M.				70.30	S.M.	
LIMITING DISTANCE		7.50 m			LIMITING DISTANCE		7.50 m			LIMITING DISTANCE		7.50 m		
MAX. % OPENINGS		50.50	%		MAX. % OPENINGS		50.50	%		MAX. % OPENINGS		50.50	%	
OPENINGS ALLOWED		421.45	S.F.		OPENINGS ALLOWED		421.45	S.F.		OPENINGS ALLOWED		382.12	S.F.	
OPENINGS PROVIDED		134.52	S.F.		OPENINGS PROVIDED		134.52	S.F.		OPENINGS PROVIDED		157.63	S.F.	
ADDITIONAL NOTES					ADDITIONAL NOTES					ADDITIONAL NOTES				
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER					GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER					GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER				

WALK OUT BASEMENT CONDITION

WINDOW SUMMARY					WINDOW SUMMARY					WINDOW SUMMARY				
PER O.B.C. TABLE 9.10.15.4					PER O.B.C. TABLE 9.10.15.4					PER O.B.C. TABLE 9.10.15.4				
RIGHT SIDE ELEVATION A					RIGHT SIDE ELEVATION B					RIGHT SIDE ELEVATION C				
QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)		QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)		QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	
1	24"	48"	6.11		1	24"	48"	6.11		1	24"	48"	6.11	
1	30"	24"	3.61		1	30"	24"	3.61		1	30"	24"	3.61	
0	0"	0"	0.00		0	0"	0"	0.00		0	0"	0"	0.00	
0	0"	0"	0.00		0	0"	0"	0.00		0	0"	0"	0.00	
0	0"	0"	0.00		0	0"	0"	0.00		0	0"	0"	0.00	
0	0"	0"	0.00		0	0"	0"	0.00		0	0"	0"	0.00	
0	0"	0"	0.00		0	0"	0"	0.00		0	0"	0"	0.00	
0	0"	0"	0.00		0	0"	0"	0.00		0	0"	0"	0.00	
0	0"	0"	0.00		0	0"	0"	0.00		0	0"	0"	0.00	
0	0"	0"	0.00		0	0"	0"	0.00		0	0"	0"	0.00	
0	0"	0"	0.00		0	0"	0"	0.00		0	0"	0"	0.00	
0	ARCH		0.00	0.00	0	ARCH		0.00	0.00	0	ARCH		0.00	0.00
0	ARCH		0.00	0.00	0	ARCH		0.00	0.00	0	ARCH		0.00	0.00
0	ARCH		0.00	0.00	0	ARCH		0.00	0.00	0	ARCH		0.00	0.00
0	ARCH		0.00	0.00	0	ARCH		0.00	0.00	0	ARCH		0.00	0.00
SPATIAL CALCULATION					SPATIAL CALCULATION					SPATIAL CALCULATION				
EXPOSING BUILDING FACE AREA		1373.57	S.F.		EXPOSING BUILDING FACE AREA		1374.57	S.F.		EXPOSING BUILDING FACE AREA		1374.57	S.F.	
		127.61	S.M.				127.70	S.M.				127.70	S.M.	
PORTION WALL AREA		1373.57	S.F.		PORTION WALL AREA		1374.57	S.F.		PORTION WALL AREA		1374.57	S.F.	
		127.61	S.M.				127.70	S.M.				127.70	S.M.	
LIMITING DISTANCE		1.2 m			LIMITING DISTANCE		1.2 m			LIMITING DISTANCE		1.2 m		