



UPGRADED LEFT SIDE ELEVATION 'A'



FRONT ELEVATION 'A'

# UNIT 6001-LOT 104 - 'THE QUEENSLAND'

SB-12 ENERGY EFFICIENCY DESIGN MATRIX		
PRESCRIPTIVE COMPLIANCE		SB-12 (SECTION 3.1.1) TABLE 3.1.1.2.A
PACKAGE A1		SPACE HEATING FUEL
		<input checked="" type="checkbox"/> GAS <input type="checkbox"/> OIL
		<input type="checkbox"/> ELECTRIC <input type="checkbox"/> PROPANE
		<input type="checkbox"/> EARTH <input type="checkbox"/> SOLID FUEL
BUILDING COMPONENT	REQUIRED	PROPOSED
INSULATION RSI (R) VALUE		
CEILING W/ ATTIC SPACE	10.56 (R60)	10.56 (R60)
CEILING W/O ATTIC SPACE	5.46 (R31)	5.46 (R31)
EXPOSED FLOOR	5.46 (R31)	5.46 (R31)
WALLS ABOVE GRADE	3.87 (R22)	3.87 (R22)
BASEMENT WALLS	3.52 ci	3.52 ci
* PROPOSED VALUES MAY BE SUBSTITUTED W/ 2.11+1.76ci (R12+R10ci)	(R20 ci) *	(R20 ci) *
BELOW GRADE SLAB ENTIRE SURFACE > 600mm BELOW GRADE	-	-
EDGE OF BELOW GRADE SLAB ≤ 600mm BELOW GRADE	1.76 (R10)	1.76 (R10)
HEATED SLAB OR SLAB ≤ 600mm BELOW GRADE	1.76 (R10)	1.76 (R10)
WINDOWS & DOORS		
WINDOWS/SLIDING GLASS DOORS (MAX U-VALUE)	1.6	1.6
SKYLIGHTS (MAX. U-VALUE)	2.8	2.8
APPLIANCE EFFICIENCY		
SPACE HEATING EQUIP., (AFUE%)	96%	96%
HRV EFFICIENCY (%)	75%	75%
DHW HEATER (EF)	0.8	0.8
AREA CALCULATIONS		
	EL. 'A'	
	STD. PLAN	
GROUND FLOOR AREA	2557 sq. ft.	
	(237.55 sq. m.)	
SECOND FLOOR AREA	3191 sq. ft.	
	(296.45 sq. m.)	
SUBTOTAL	5748 sq. ft.	
	(534.01 sq. m.)	
DEDUCT ALL OPEN AREAS	365 sq. ft.	
	(33.91 sq. m.)	
TOTAL NET AREA	5383 sq. ft.	
	(500.10 sq. m.)	
FINISHED BASEMENT AREA	82.85 sq. ft.	
	(7.70 sq. m.)	
COVERAGE W/OUT PORCH	3231 sq. ft.	
	(300.17 sq. m.)	
COVERAGE W/ PORCH	3306 sq. ft.	
	(307.14 sq. m.)	
WINDOW / WALL AREA CALCULATIONS	EL. 'A'	
	STD. PLAN	
GROSS WALL AREA	5467.38 sq. ft.	
	(507.94 sq. m.)	
GROSS WINDOW AREA (INCL. GLASS DOORS & SKYLIGHTS)	925.48 sq. ft.	
	(85.98 sq. m.)	
TOTAL WINDOW %	16.93 %	



GOLDPARK

HOMES

PINE VALLEY

FOREVERGREEN

- 1 - TITLE PAGE
- 2 - BASEMENT PLAN, EL.'A'
- 3 - GROUND FLOOR PLAN, EL.'A'
- 4 - SECOND FLOOR PLAN, EL.'A'
- 5 - FRONT ELEVATION 'A'
- 6 - LEFT SIDE ELEVATION 'A'
- 7 - RIGHT SIDE ELEVATION 'A'
- 8 - REAR ELEVATION 'A', 'B' & 'C'
- 9 - CROSS SECTION 'A-A'
- 10 - CONSTRUCTION NOTES

 	7. -	-	-
	6. -	-	-
	5. -	-	-
	4. ISSUED FOR PERMIT	-	-
	3. REVISED PER STRUCT. ENG. COMMENTS	2022.08.18	WT
2. CO-ORD. W/ FLOOR & TRUSS LAYOUTS		2022.07.28	WT
1. ISSUED FOR CLIENT REVIEW		2022.06.03	WT
REVISIONS		DATE (YYYYMMDD)	BY



FOR STRUCTURAL ONLY. EXCLUDING  
ENGINEERED ROOF TRUSS, FLOOR  
JOIST, AND FLOOR LVL BEAM DESIGN.



STRIP FOOTING WERE DESIGNED  
BASED ON SOIL W/ 125kPa (SLS)  
BEARING CAPACITY.

JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY:   
DATE: AUG 24, 2022

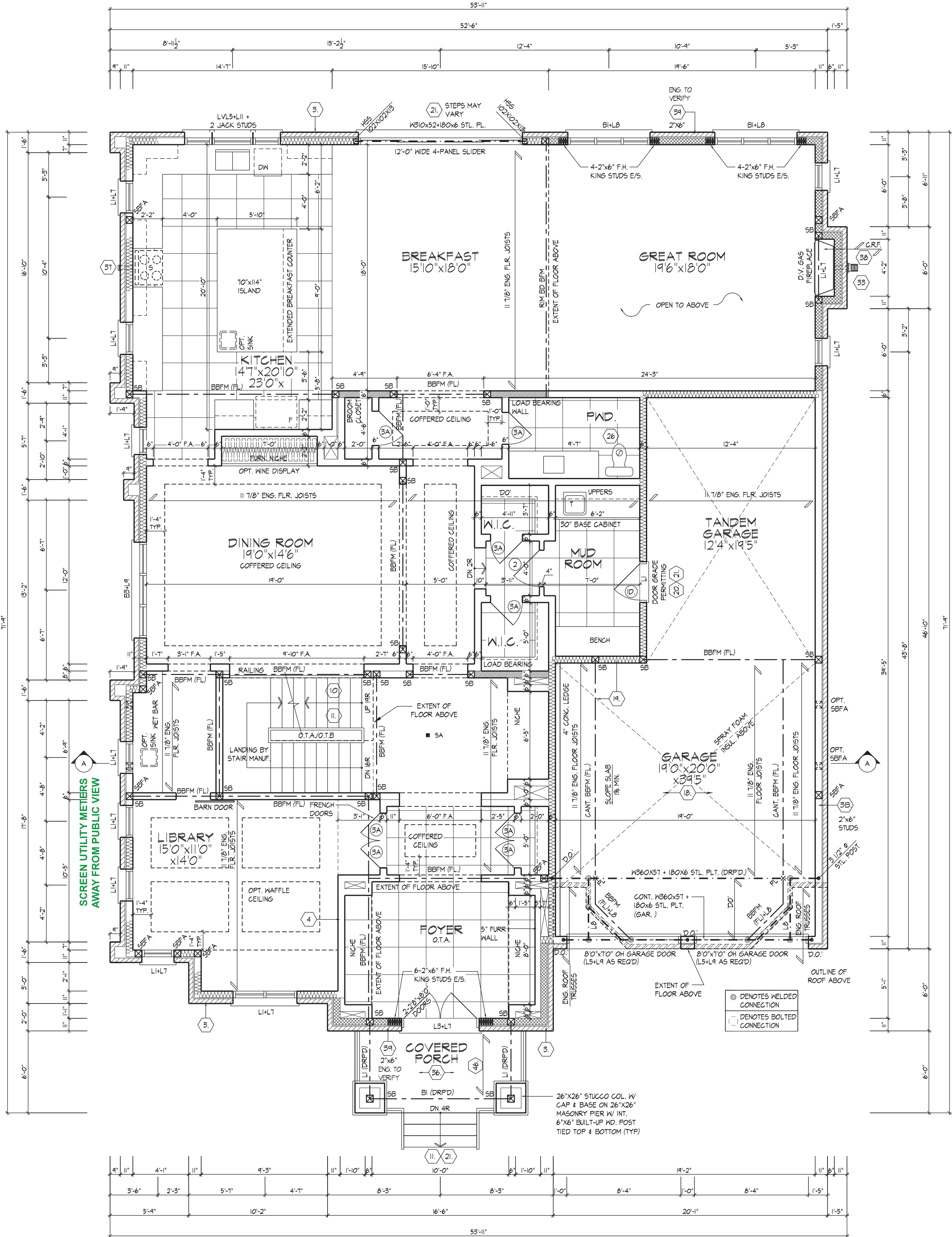
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100 COMMERCE VALLEY DR. W.  
THORNHILL, ONTARIO CANADA L3T 0M1  
TEL: 1-905-882-4211 FAX: 1-905-882-0055 WWW.WSPGROUP.CA

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JOIST, AND FLOOR LVL BEAM DESIGN.



GROUND FLOOR PLAN, EL. 'A'

- REFER TO FLOOR JOIST MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, BLOCKING & STRAPPING REQUIREMENTS. INSTALLATION DETAILS AND HANGER SIZES, & SUBFLOOR THICKNESS.
- INSTALL ALL HURRICANE TIES PER ROOF MANUFACTURER C/M. SST LSTASO AT 6" C/C. BETWEEN 2F. & 1F. AND SST HSTAN24 AT 6" C/C. BETWEEN 1F. AND FOUNDATION WALL FOR ALL EXTERIOR WALLS UNO.
- REFER TO ROOF TRUSS MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, INSTALLATION DETAILS AND HANGER SIZES.
- PROVIDE SOLID WOOD BLOCKING @ 24" O.C. FOR FIRST JOIST SPAN WHEN PARALLEL W/ EXTERIOR WALL.

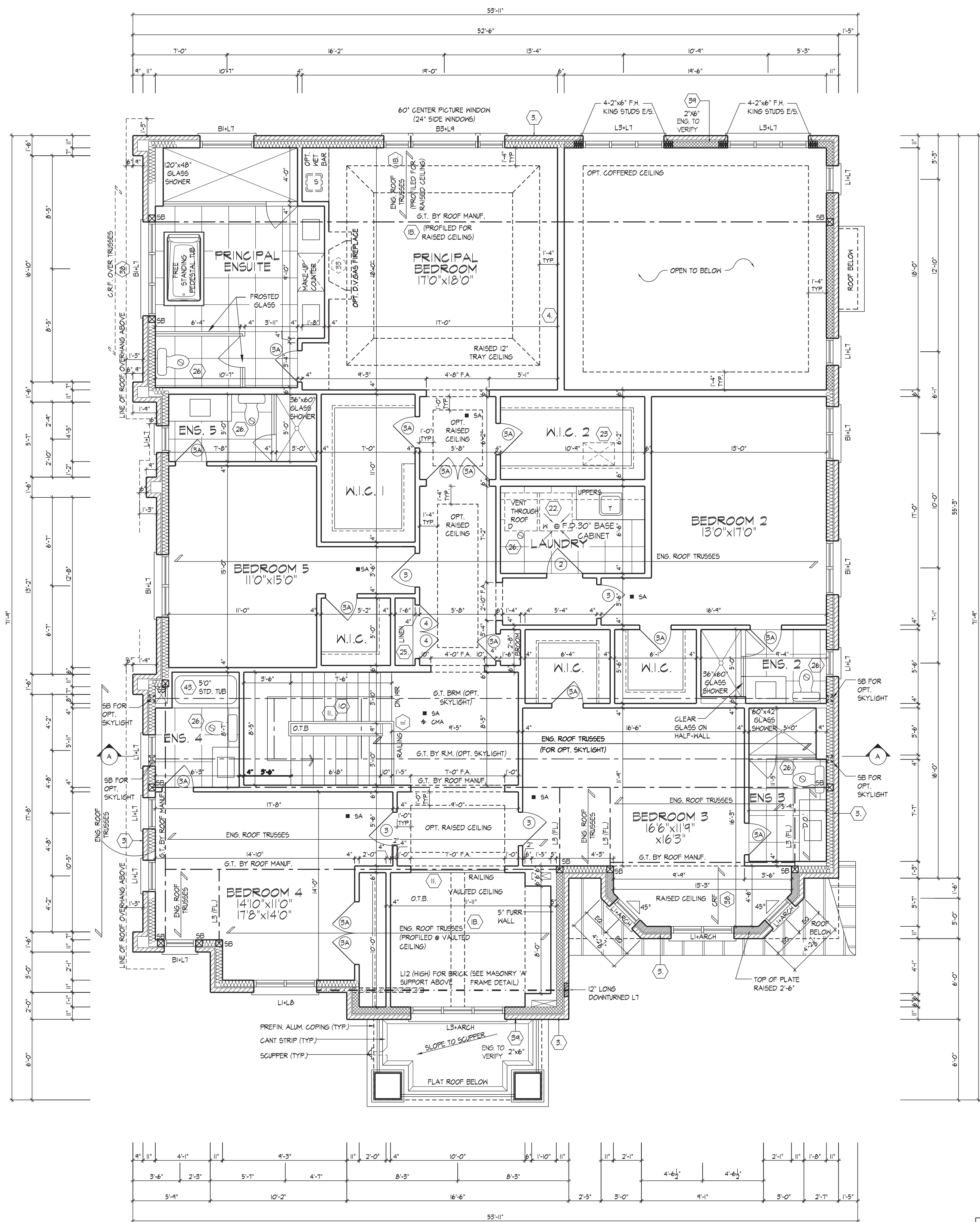
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

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JOIST, AND FLOOR LVL BEAM DESIGN.



SECOND FLOOR PLAN, EL. 'A'

INSTALL ALL HURRICANE TIES PER  
ROOF MANUFACTURER C/W SST  
LSTA30 AT 6' C/C. BETWEEN 2F &  
IF AND SST MSTAM24 AT 6' C/C.  
BETWEEN IF AND FOUNDATION WALL  
FOR ALL EXTERIOR WALLS U.N.O.

REFER TO ROOF TRUSS  
MANUFACTURER'S DRAWINGS FOR  
JOIST SPACING, INSTALLATION  
DETAILS AND HANGER SIZES.

PROVIDE 6" CURB & RUBBER MAT.  
MAT TO EXTEND 6" MIN. ABOVE  
FLOOR LEVEL

**NOTE:**  **IB.**  
**ASSES @ RAISED /**  
**RED CEILINGS**

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AND APPROVAL

APPROVED BY: \_\_\_\_\_  
DATE: AUG 24, 2022


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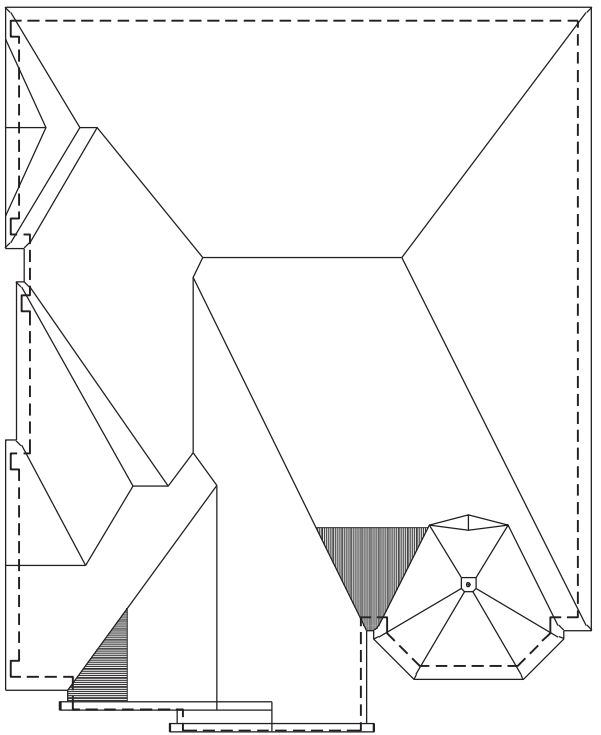
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AND APPROVAL

APPROVED BY:   
DATE: AUG 21, 2022

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ROOF PLAN, EL. 'A'  
N.T.S.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION

NAME: Albin Whiting REGISTRATION NUMBER: 23177

SIGNATURE:  DATE: 23177

HUNT DESIGN ASSOCIATES INC. 19995

**HUNT**  
DESIGN ASSOCIATES INC.  
www.hunt-design.ca

**GOLDPARK HOMES - 221081**  
PINE VALLEY-PHASE2, VAUGHAN ONT.

8966 Woodbine Ave, Markham, ON L3R 0J7

Scale: 3/16"=1'-0"

T 905.737.5133 F 905.737.7326


**FRONT ELEVATION 'A'**  
**6001-LOT 104-QUEENSLAND**  
REV.2022.08.18

File Number: 221081WS6001

Page Number: 5 of 10

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APPROVED BY:   
DATE: AUG 24, 2022  
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SPATIAL CALCULATION			
PER O.B.C. TABLE 9.10.15.4			
LEFT SIDE ELEVATION A			
EXPOSING BUILDING	1554.76	S.F.	
FACE AREA	144.44	S.M.	
PORTION WALL AREA	1554.76	S.F.	
	144.44	S.M.	
LIMITING DISTANCE	6.0 m		
MAX. % OPENINGS	19	%	
MAX. WINDOW / DOOR FRAME SIZE (S.F.)			
1	24" 18"		1.94
8	28" 18"		18.67
1	84" 18"		7.78
3	30" 18"		6.59
2	24" 64"		16.67
3	28" 64"		30.00
1	84" 64"		21.67
2	84" 64"		66.67
5	28" 40"		30.00
0	0" 0"		0.00
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00
OPENINGS ALLOWED	235.40	S.F.	
OPENINGS PROVIDED	199.89	S.F.	
ADDITIONAL NOTES			
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER			

1554.76 sq ft  
144.44 sq m



REFER TO FRONT  
ELEVATION FOR TYPICAL  
NOTES & INFORMATION

ROOF OVERHANGS TO BE 15"  
UNLESS NOTED OTHERWISE

ASPHALT SHINGLES (TYP.)

VALLEY FLASHING (TYP.)

PREMANUF. 16"x34" LOUVER

1A PROVIDE ADDITIONAL ICE  
& WATER SHIELD (TYP.)

PREFIN. ALUM. GUTTER,  
R/L, FASCIA BOARD &  
VENTED SOFFIT (TYP.)

PREMANUF. FIREZE  
BOARD (CANAMOULD:  
CAN-BAN-015) (TYP.)

FACE BRICK (TYP.)

PROFILED PRECAST  
CONC. SILL (TYP.)

24" PREMANUF. MTL.  
RAILING (TYP.)

SCUPPER (TYP.)

STONE VENEER (TYP.)

26"x26" STUCCO COL. W/  
CAP & BASE ON 26"x26"  
MASONRY PIER W/ INT.  
6"x6" BUILT-UP WD. POST  
TIED TOP & BOTTOM (TYP.)

11. RAILING

PVC. VENT W/ INSECT  
SCREEN FOR COLD  
CELLAR (TYP.)

POURED CONC.  
FOUNDATION WALL AND  
FOOTING (TYP.)

TOP OF BASEMENT SLAB

FIN. SECOND FLOOR

FIN. GROUND FLOOR

FIN. GRADE

FIN. GRADE

FIN. GRADE

FIN. GRADE

FIN. GRADE

FIN. GRADE

FIN. GRADE

FIN. GRADE

FIN. GRADE

FIN. GRADE

FIN. GRADE

FIN. GRADE

FIN. GRADE

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QUALIFICATION INFORMATION  
Albin Whiting  
SIGNATURE  
BCIN  
23177  
HUNT DESIGN ASSOCIATES INC.  
19895

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GOLDPARK HOMES - 221081  
PINE VALLEY-PHASE2, VAUGHAN ONT.  
Down By  
WT  
Checked By  
AW  
Scale  
3/16"=1'-0"  
8966 Woodbine Ave, Markham, ON L3R 0J7  
T 905.737.5133 F 905.737.7326

LEFT SIDE ELEVATION 'A'  
6001-LOT 104-QUEENSLAND  
REV.2022.08.18  
File Number  
221081WS6001  
Page Number  
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AND APPROVAL

APPROVED BY:   
DATE: AUG 24, 2022

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SPATIAL CALCULATION			
PER O.B.C. TABLE 9.10.15.4			
RIGHT SIDE ELEVATION A			
EXPOSING BUILDING	1287.55	S.F.	
FACE AREA	119.82	S.F.	
PORTION WALL AREA	1287.55	S.F.	
	12	S.M.	
MAX. DISTANCE		7.12 m	
LIMITING SURF. FINISHINGS		%	
QUANT.	UNIT	WINDOW / FRAME SIZE (F)	%
3	24" x 56"	21.67	
2	48" x 56"	15.56	
2	24" x 56"	37.19	
2	24" x 18"	3.89	
0	0" x 0"	0.00	
0	0" x 0"	0.00	
0	0" x 0"	0.00	
0	0" x 0"	0.00	
0	0" x 0"	0.00	
0	0" x 0"	0.00	
0	ARCH	0.00	
0	ARCH	0.00	
0	ARCH	0.00	
0	OPENINGS PROVIDED	90.13	
0	OPENINGS REMOVED	72.89	S.F.
ADDITIONAL NOTES			
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" ADD ON ENTIRE PERIMETER			

PREMANUF. FRIEZE BOARD ———  
(CANAMOULD: CAN-BAN-015) (TYP

STONE VENEER (TYP.)

24" PREMANUF. MTL. RAILING  
(TYP.)

PREFIN. MTL. FLASHING W/—  
CAULKING TO MATCH MASONRY  
COLOUR (TYP.)

COPPER ROOF (TYP.)

COPPER ROOF (TYP.) \_\_\_\_\_

26"X26" STUCCO COL. W/ CAP & -  
BASE ON 26"X26" MASONRY PIER  
W/ INT. 6"X6" BUILT-UP WD. POST  
TIED TOP & BOTTOM (TYP)

POURED CONC. PORC  
SLAB (TYP.)

POURED CONC. FOUNDATION  
WALLS & FOOTINGS (TYP.)

1287.55 sq ft  
119.62 sq m

11-9" T/O. PARAPET

U/S. OF FOOTING  
@ GARAGE

30. POURED CONC.  
STEPPED FOOTING

EXTENTS OF SPATIAL  
CALCULATIONS.  
REFER TO WINDOW SUMMARY FOR  
ADDITIONAL INFORMATION

— ASPHALT SHINGLES (TYP.)

T/O. PLATE

T/O. WINDC

— 10" PRECAST CONC. HEADER ON  
10" PRECAST CONC. SURROUND  
W/ 1/2" PROJ. (TYP.)

— 6" PROFILED PRECAST CONC.  
WINDOW SILL (TYP.)

FIN. SECON

T/O. TRANSOM

T/O WINDOW/F

BRICK (TYP

FIN. GROUND FLOOR

T/O. BASEMENT SLAB

RIGHT ELEVATION 'A'

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION

NAME	SIGNATURE	BC
------	-----------	----

REGISTRATION INFORMATION  
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**RIGHT SIDE ELEVATION 'A'**

**GOLDPARK HOMES - 221081      6001-LOT 104-QUEENSLAND**

**PINE VALLEY-PHASE2, VAUGHAN ONT.**      REV. 2022.08.18

Drawn By	Checked By	Scale	File Number	Page Number
WTW	AW	3/16"=1'-0"	221081WS6001	7 of 10



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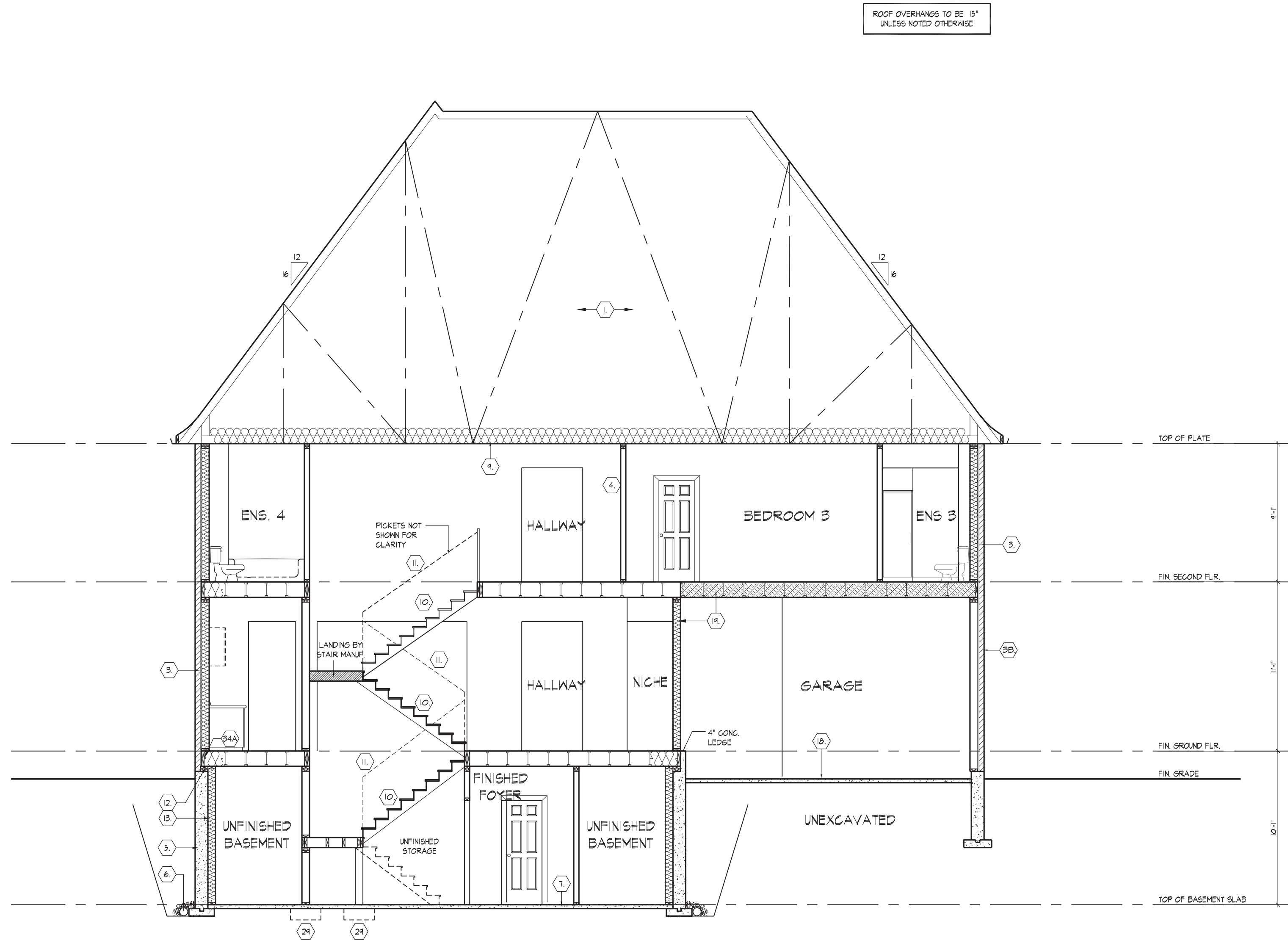
SPATIAL CALCULATION				
PER O.B.C. TABLE 9.10.15.4				
REAR SIDE ELEVATION A				
EXPOSING BUILDING	1179.83	S.F.		
FACE AREA	109.61	S.M.		
PORTION WALL AREA	1179.83	S.F.		
PORTION WALL AREA	109.61	S.M.		
LIMITING DISTANCE	28	%		
MAX. % OPENINGS	28	%		
QUM	2	30"	16"	4.33
QUM	2	24"	18"	3.89
QUM	1	36"	18"	3.11
QUM	2	72"	18"	13.22
QUM	2	24"	56"	14.44
QUM	1	60"	56"	20.22
QUM	2	72"	56"	46.11
QUM	1	48"	24"	6.11
QUM	2	24"	40"	10.00
QUM	1	36"	40"	9.00
QUM	2	72"	80"	52.88
QUM	2	DOOR	37.85	75.70
QUM	0	ARCH	0.00	0.00
QUM	0	ARCH	0.00	0.00
QUM	0	ARCH	0.00	0.00
QUM	0	ARCH	0.00	0.00
OPENINGS ALLOWED	330.25	S.F.		
OPENINGS PROVIDED	261.03	S.F.		
ADDITIONAL NOTES				
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER				

1179.83 sq ft  
109.61 sq m

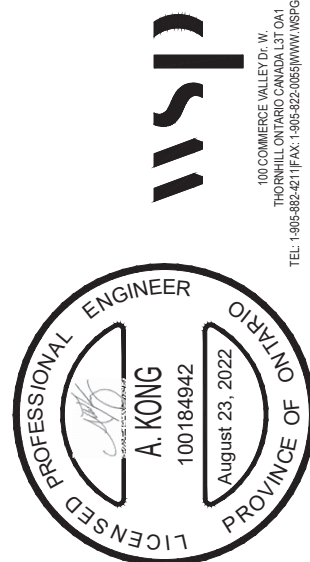


REAR ELEVATION 'A'





CROSS SECTION 'A-A'



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JOIST, AND FLOOR LVL BEAM DESIGN.

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THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING  
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Albin Whiting  
SIGNATURE  
BOCN  
23177  
HUNT DESIGN ASSOCIATES INC.  
19095

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**GOLDPARK HOMES - 221081**  
PINE VALLEY-PHASE2, VAUGHAN ONT.  
Drawn By: WT  
Checked By: AW  
Scale: 3/16"=1'-0"  
8966 Woodbine Ave, Markham, ON L3R 0J7  
T 905.737.5133 F 905.737.7326  
**CROSS SECTION 'A-A'**  
6001-LOT 104-QUEENSLAND  
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\* 9" MIN. THICK FOUNDATION WALL IS REQUIRED FOR MASONRY VENEER FINISHED EXTERIOR WALLS WITH CONTINUOUS INSULATION. CONDITION, TO PROVIDE MIN. BEARING FOR SILL PLATES, BEAMS AND FLOOR JOIST AS PER 9.2.3.2, 9.2.3.8.1, & 9.2.3.9.1 OF THE O.B.C.

NUMBER FLOORS SUPPORTED	MINIMUM STRIP FOOTING SIZES (9.1.5.3) (UNLESS OTHERWISE NOTED)		
	SUPPORTING INT. LOAD BEARING MASONRY WALLS	SUPPORTING EXTERIOR	SUPPORTING PARTWALL
1	16" WIDE x 6" THICK	16" WIDE x 6" THICK	16" WIDE x 8" THICK
2	24" WIDE x 8" THICK	20" WIDE x 8" THICK	24" WIDE x 8" THICK
3	36" WIDE x 14" THICK	26" WIDE x 9" THICK	36" WIDE x 14" THICK

17/12/17 GYPSUM BOARD ON WALL AND CEILING BETWEEN HOUSE AND GARAGE, PLUS REQUIRED INSULATION IN WALLS AND SPRAY FOAM FOR CEILINGS, TAPE AND ALL JOINTS ECT. TIGHT. (R.10.13.10, CANULC-S7052)

**GARAGE TO HOUSE WALLS/CEILING/W CONTIN. INSULATION**

17/12/17 GYPSUM BOARD ON WALL AND ON WALLS INSTALLED OVER EXTERIOR TYPE RIGID INSULATION (JOINTS UNTAPED) MECHANICALLY FASTENED AS PER MANUFACTURERS SPECIFICATIONS ON 2X4 STUDS. GARAGE SHEATHING ON STUDS BETWEEN HOUSE AND GARAGE, PLUS REQUIRED INSULATION IN WALLS & SPRAY FOAM FOR CEILINGS, TAPE AND SEAL ALL JOINTS GCT TIGHT. (R.10.13.16, 1.10.17.10, CANULC-S7052)

August 23, 2022

PROVINCE OF ONTARIO

100 COMMERCE VALLEY DR. UNIT 10  
SCARBOROUGH, ONTARIO CANADA M1V 4Y4  
TEL: 1-905-862-4211/FAX: 1-905-862-0555/WWW.WSPROD.COM

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ENGINEERED ROOF TRUSS, FLOOR  
JOIST, AND FLOOR LVL BEAM DESIGN.

COO
L7
L6
L5
L4
L3

3.2. STEEL LINTELS SUPPORTING MASONRY VENEER (DIVISION B PART 9, TABLE 9.20.5.2.B.)			
FORMING PART OF SENTENCE 9.20.5.2.(2) & 9.20.5.2.(3)			
SIZE	BRICK	STONE	
3 1/2" x 3 1/2" x 1/4" (89 x 89 x 6.4)	8-1" (2.47m)	7-6" (2.30m)	
4" x 3 1/2" x 1/4" (102 x 89 x 6.4)	8-0" (2.66m)	8-1" (2.48m)	
4 7/8" x 3 1/2" x 1/2" (127 x 89 x 7.9)	10-10" (3.31m)	10-1" (3.03m)	
4 7/8" x 3 1/2" x 3/8" (127 x 89 x 11)	11-5" (3.48m)	10-7" (3.24m)	
5 7/8" x 3 1/2" x 2" (152 x 89 x 11)	12-6" (3.82m)	11-7" (3.54m)	

CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB. REPORT ANY DISCREPANCIES TO HUNT DESIGN ASSOCIATES INC. (H.D.A.) BEFORE PROCEEDING WITH THE WORK. ALL THE DRAWINGS & SPECIFICATIONS ARE THE INSTRUMENTS OF SERVICE AND ARE THE PROPERTY OF H.D.A. ALL CONSTRUCTION TO ADHERE TO THESE PLANS AND SPECIFICATIONS AND TO CONFORM TO THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. THESE REQUIREMENTS ARE TO BE TAKEN AS MINIMUM SPECIFICATIONS. ONT. REG. 33212.

CONSTRUCTION NOTE REVISION DATE: **DECEMBER 15, 2021**