



FLANKAGE ELEVATION 'A'



ELEVATION 'A'

(LOTS 88, 129)  
**5013-CORNER-UPG-RIVERVIEW**

SB-12 ENERGY EFFICIENCY DESIGN MATRIX

PRESCRIPTIVE COMPLIANCE	SB-12 (SECTION 3.1.1) TABLE 3.1.1.2.A	
	PACKAGE A1	
	SPACE HEATING FUEL	
	<input checked="" type="checkbox"/> GAS	<input type="checkbox"/> OIL
	<input type="checkbox"/> ELECTRIC	<input type="checkbox"/> PROPANE
	<input type="checkbox"/> EARTH	<input type="checkbox"/> SOLID FUEL

BUILDING COMPONENT	REQUIRED	PROPOSED
INSULATION RSI (R) VALUE		
CEILING W/ ATTIC SPACE	10.56 (R60)	10.56 (R60)
CEILING W/O ATTIC SPACE	5.46 (R31)	5.46 (R31)
EXPOSED FLOOR	5.46 (R31)	5.46 (R31)
WALLS ABOVE GRADE	3.87 (R22)	3.87 (R22)
BASEMENT WALLS	3.52 ci (R20 ci) *	3.52 ci (R20 ci) *
* PROPOSED VALUES MAY BE SUBSTITUTED W/ 2.11+1.76ci (R12+R10ci)		
BELOW GRADE SLAB ENTIRE SURFACE > 600mm BELOW GRADE	-	-
EDGE OF BELOW GRADE SLAB ≤ 600mm BELOW GRADE	1.76 (R10)	1.76 (R10)
HEATED SLAB OR SLAB ≤ 600mm BELOW GRADE	1.76 (R10)	1.76 (R10)
WINDOWS & DOORS		
WINDOWS/SLIDING GLASS DOORS (MAX U-VALUE)	1.6	1.6
SKYLIGHTS (MAX. U-VALUE)	2.8	2.8
APPLIANCE EFFICIENCY		
SPACE HEATING EQUIP. (AFUE%)	96%	96%
HRV EFFICIENCY (%)	75%	75%
DHW HEATER (EF)	0.8	0.8

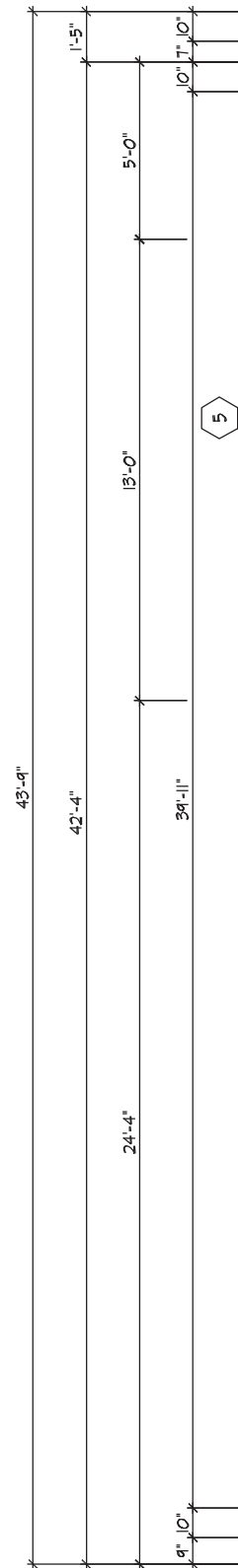
AREA CALCULATIONS	EL. 'A'
	STD./OPT.
GROUND FLOOR AREA	2119.37 sq. ft.
SECOND FLOOR AREA	2759.39 sq. ft.
SUBTOTAL	4879 sq. ft.
DEDUCT ALL OPEN AREAS	392.05 sq. ft.
TOTAL NET AREA	4487 sq. ft. (416.83 sq. m.)
FINISHED BASEMENT AREA	198.18 sq. ft.
COVERARGE W/OUT PORCH	2795.22 sq. ft. (259.68 sq. m.)
COVERARGE W/ PORCH	2855.36 sq. ft. (265.27 sq. m.)
WINDOW / WALL AREA CALCULATIONS	EL. 'A' STD. PLAN
GROSS WALL AREA	4625.52 sq. ft. (429.72 sq. m.)
GROSS WINDOW AREA (INCL GLASS DOORS & SKYLIGHTS)	729.93 sq. ft. (67.81 sq. m.)
TOTAL WINDOW %	15.78 %

- 1 - TITLE PAGE
- 2 - BASEMENT PLAN, EL. 'A'
- 3 - GROUND FLOOR PLAN, EL. 'A'
- 4 - SECOND FLOOR PLAN, EL. 'A'
- 5 - FRONT ELEVATION 'A'
- 6 - LEFT ELEVATION 'A'
- 7 - RIGHT ELEVATION 'A'
- 8 - REAR ELEVATION 'A'
- 9 - CROSS SECTION 'A-A'
- 10 - CONSTRUCTION NOTES

		7. -	-	-
		6. -	-	-
		5. ISSUED FOR PERMIT	-	-
		4. REVISED PER STRUCT. ENG. COMMENTS	2022.08.22	WT
		3. CO-ORD. W/ FLOOR & TRUSS LAYOUTS	2022.07.28	WT
		2. REVISED PER DESIGN CHANGES	2022.06.09	WT
		1. ISSUED FOR CLIENT REVIEW	2022/02/25	WT
		REVISIONS	DATE (YYYYMMDD)	BY

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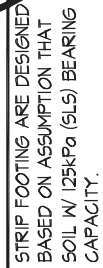




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ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY:   
DATE: AUG 24, 2022

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REFER TO FLOOR JOIST  
MANUFACTURER'S DRAWINGS  
FOR LAYOUT, SPACING,  
BLOCKING & STRAPPING  
REQUIREMENTS, INSTALLATION  
DETAILS AND HANGER SIZES,  
SUBFLOOR THICKNESS

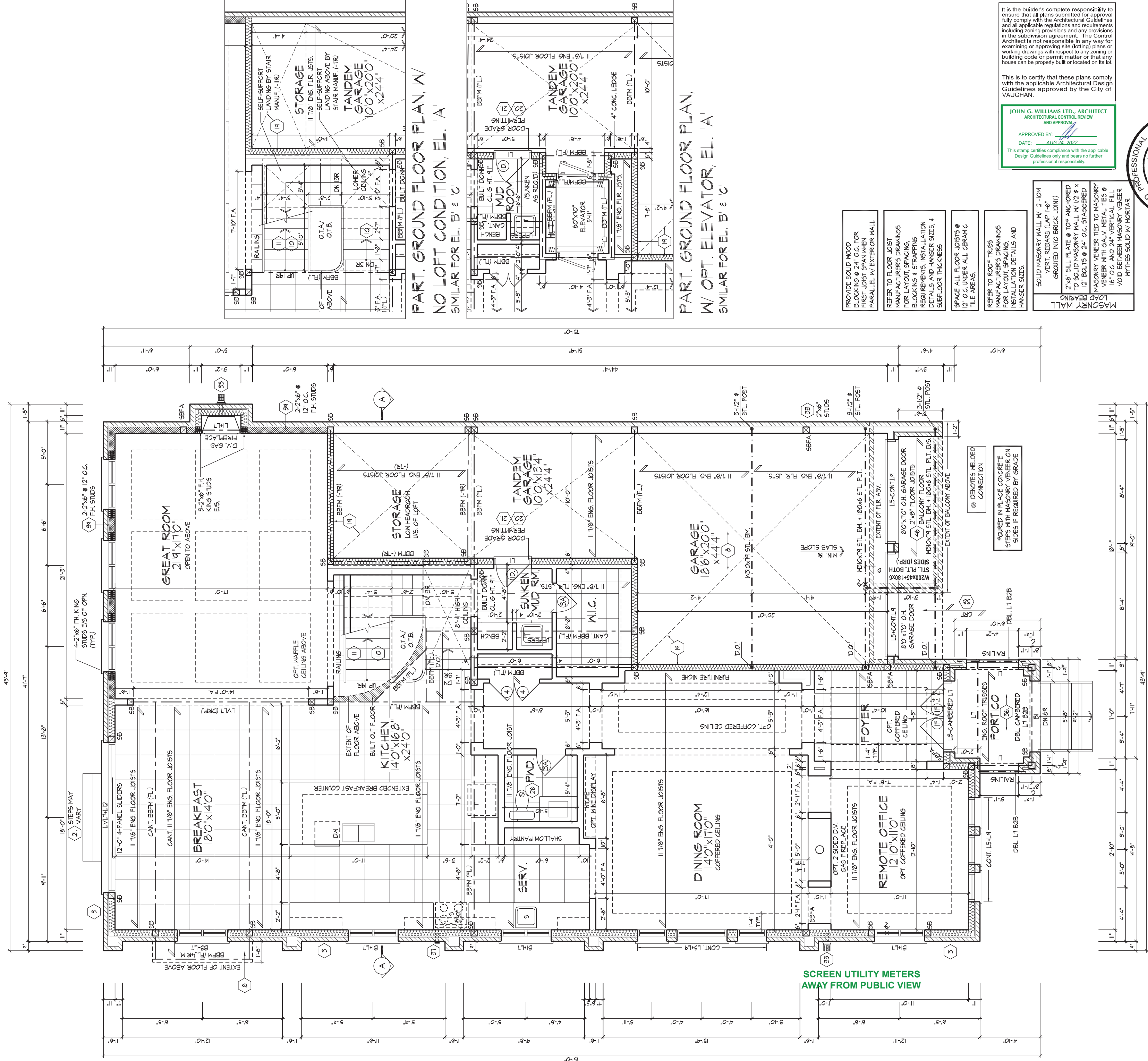
BASEMENT PLAN, EL. A.

FOR STRUCTURAL ONLY. EXCLUDING  
ENGINEERED ROOF TRUSS, FLOOR  
JOIST AND FLOOR LVL BEAM DESIGN

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**BASEMENT PLAN, EL. 'A'**  
**'THE RIVERVIEW' - 5013**  
REV.2022.08.22





PART. GROUND FLOOR PLAN, W/  
NO LOFT CONDITION, EL. 'A'  
SIMILAR FOR EL. 'B' & 'C'

PART. GROUND FLOOR PLAN,  
W/ OPT. ELEVATOR, EL. 'A'  
SIMILAR FOR EL. 'B' & 'C'

- PROVIDE SOLID MOOD BLOCKING @ 24" O.C. FOR FIRST JOIST SPAN WHEN PARALLEL W/ EXTERIOR WALL
- REFER TO FLOOR JOIST MANUFACTURER'S DRAWINGS FOR LAYOUT SPACING, BLOCKING & STRAPPING REQUIREMENTS. INSTALLATION DETAILS AND HANGER SIZES & SUBFLOOR THICKNESS
- SERVICE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS
- REFER TO ROOF TRUSSES MANUFACTURER'S DRAWINGS FOR LAYOUT SPACING, INSTALLATION DETAILS AND HANGER SIZES
- SOLID MASONRY WALL W/ 2'-0M VERT. REBAR (LAP 1'-6" GROTTED INTO BRICK JOINT) 2'x6" SILL PLATE @ TOP ANCHORED TO SOLID MASONRY WALL W/ 1/2" x 12" BOLTS @ 24" O.C. STAGGERED MASONRY VENEER TIED TO MASONRY VENEER WITH GALV. METAL TIES @ 16" O.C. AND 24" VERTICAL. FILL VOID BETWEEN MASONRY VENEER WITHES SOLID MORTAR

POURED IN PLACE CONCRETE STEPS WITH MASONRY VENEER ON SIDES IF REQUIRED BY GRADE

⊗ DENOTES WELDED CONNECTION

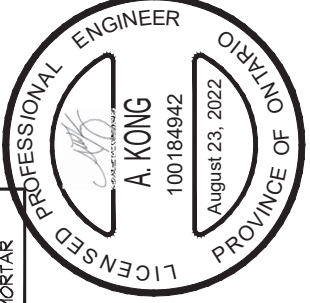
GROUND FLOOR PLAN, EL. 'A'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

JOHN G. WILLIAMS LTD., ARCHITECT  
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APPROVED BY: [Signature]  
DATE: AUG 23, 2022

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Alton Whiting  
SIGNATURE  
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19995



GOLDPARK HOMES - 221081  
PINE VALLEY PH. 2, VAUGHAN, ON.

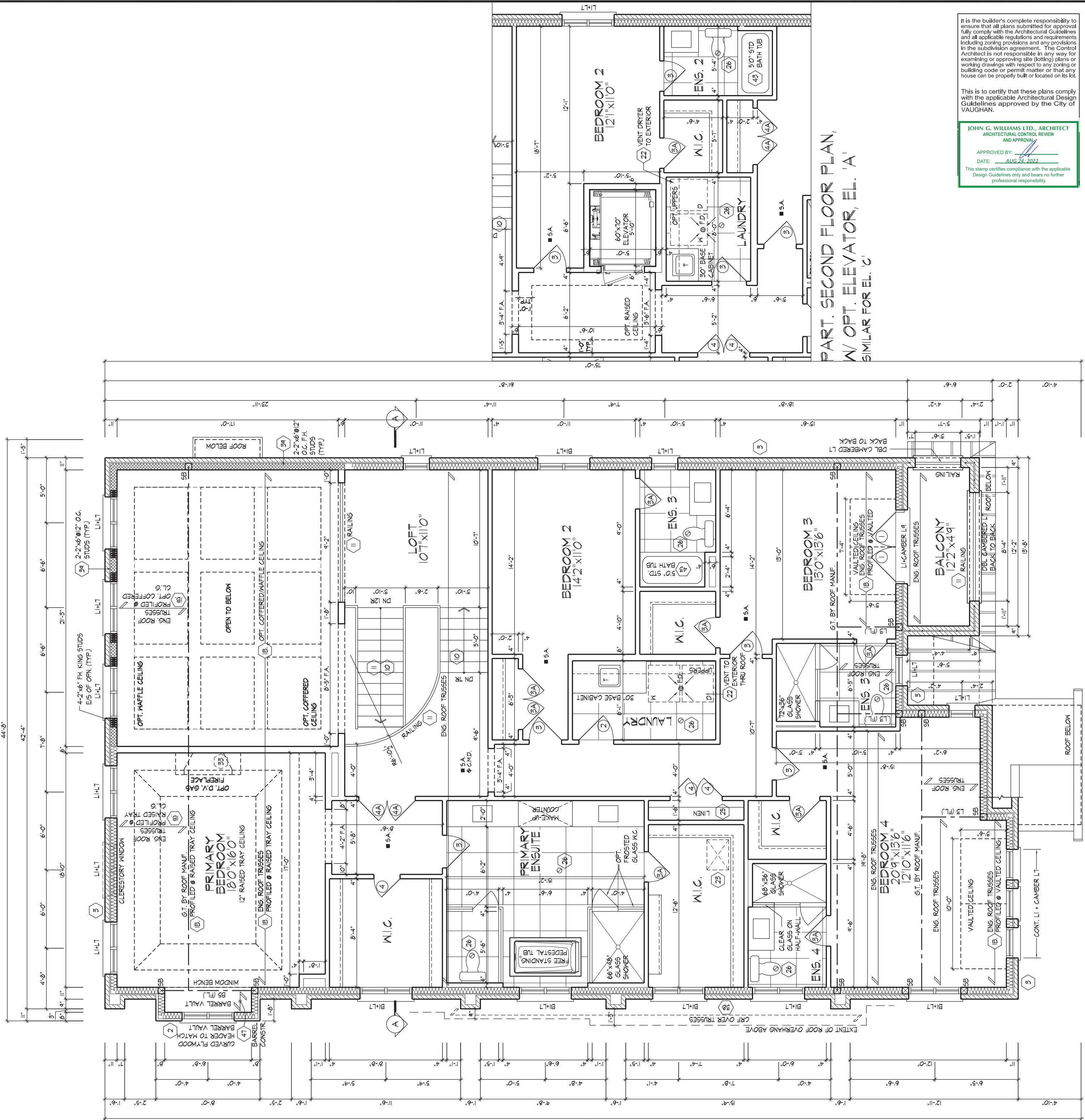
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GROUND FLOOR PLAN, EL. 'A'  
THE RIVERVIEW - 5013  
REV. 2022.08.22

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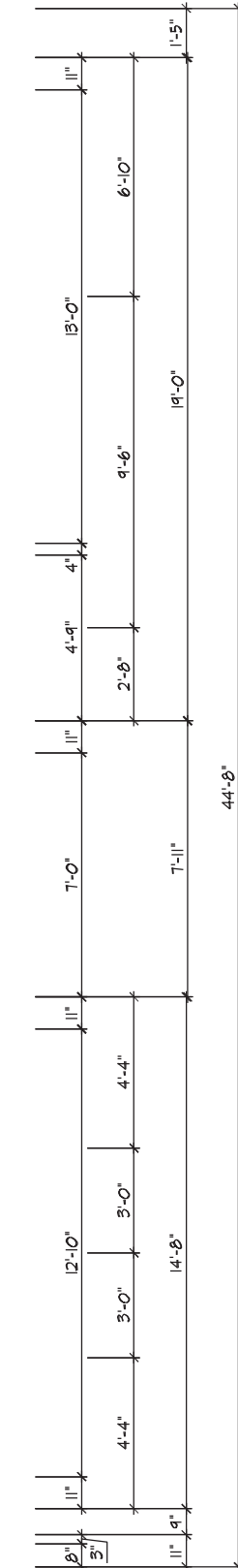
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PROVIDE 4" CORB 1  
RUBBER MAT  
MAT TO EXTEND 6" MIN  
ABOVE FLOOR LEVEL

REFER TO ROOF TRUSS  
MANUFACTURER'S DRAWINGS  
FOR LAYOUT, SPACING  
INSTALLATION DETAILS AND  
HANGER SIZES.



SECOND FLOOR PLAN, EL. 'A'

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUANTIFICATION INFORMATION

Alvin Whiting *[Signature]* 22177

NAME: HUNT DESIGN ASSOCIATES INC. REGISTRATION INFORMATION: 19995

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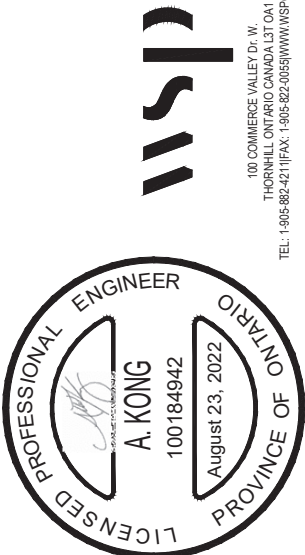
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**SECOND FLOOR PLAN, EL. 'A'**  
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WINDOW SUMMARY			
PER O.B.C. TABLE 9.10.15.4			
LEFT ELEVATION 'A'			
QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)
2	30"	18"	6.50
2	48"	40"	22.00
2	28"	64"	20.00
3	48"	64"	55.00
2	48"	18"	18.33
5	24"	18"	9.72
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
1	ARCH	11.83	11.83
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00
SPATIAL CALCULATION			
EXPOSING BUILDING	1531.97	S.F.	
FACE AREA	142.32	S.M.	
PORTION WALL AREA	1531.97	S.F.	
	142.32	S.M.	
LIMITING DISTANCE	1.20 m		
MAX. % OPENINGS	7.00	%	
OPENINGS ALLOWED	107.24	S.F.	
OPENINGS PROVIDED	143.19	S.F.	
ADDITIONAL NOTES			
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER			



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QUALIFICATION INFORMATION  
NAME: 23177

REGISTRATION INFORMATION  
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**GOLDPARK HOMES - 221081**  
**PINE VALLEY PH. 2, VAUGHAN, ON.**

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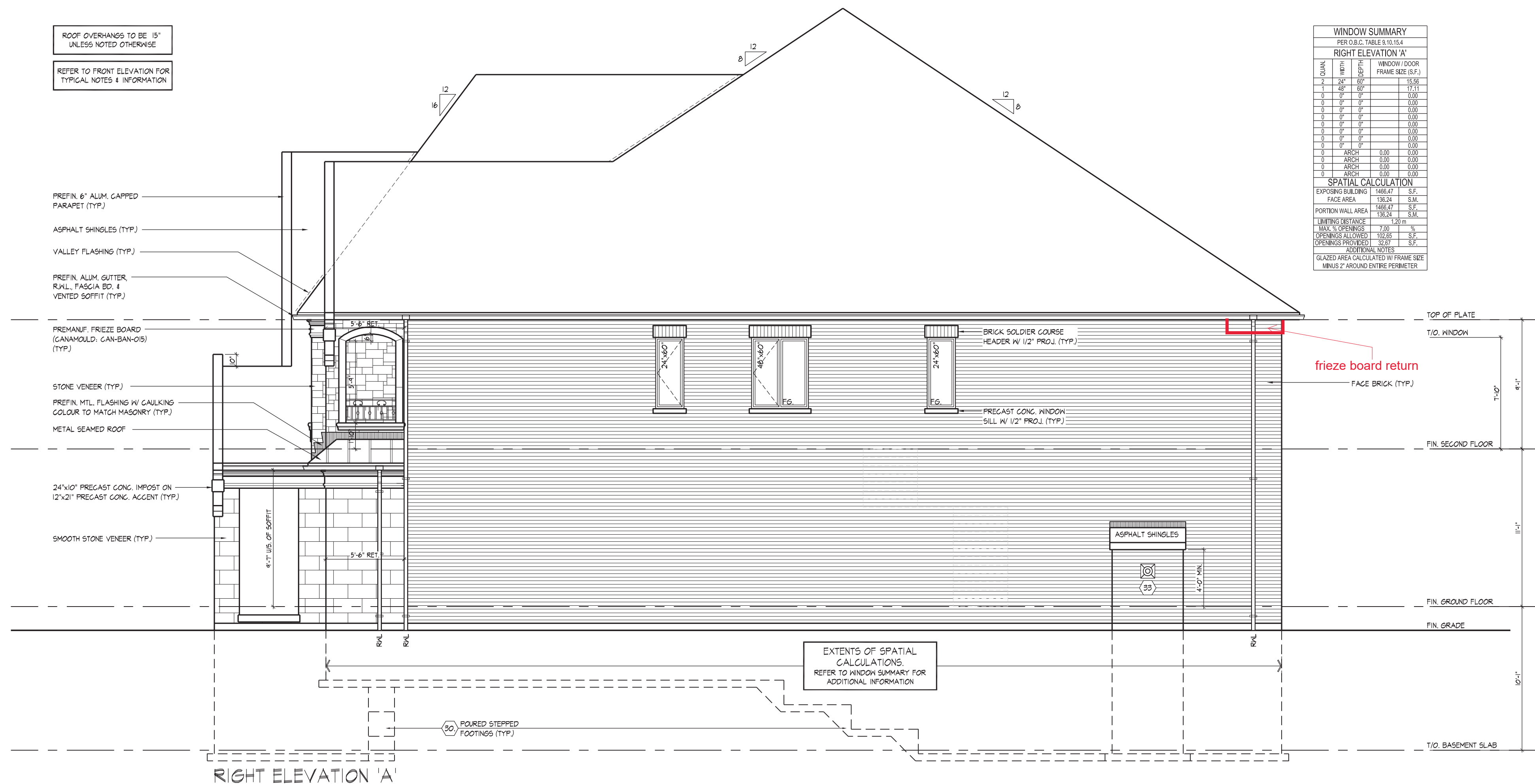
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**LEFT ELEVATION 'A'**  
**THE RIVERVIEW - 5013**  
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**RIGHT ELEVATION 'A'**  
**'THE RIVERVIEW' - 5013**  
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WINDOW SUMMARY			
PER O.B.C., TABLE 9.10, 15.4			
REAR ELEVATION 'A'			
Q. NO.	DEPTH	WIDTH	WINDOW / DOOR FRAME SIZE
2	48"	64"	155.00
2	48"	60"	34.22
1	48"	18"	4.78
1	64"	18"	33.33
1	24"	40"	9.00
5	24"	18"	5.72
2	60"	18"	4.38
2	60"	18"	10.89
1	144"	82"	75.83
0	0"	0"	0.00
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00
SPATIAL CALCULATION			
EXPOSING BUILDING FACE AREA		907.90	S.F.
		64.35	S.F.
PORTION WALL AREA		907.90	S.F.
		84.35	S.F.
LIMITING DISTANCE			7.50 m
MAX. % OPENINGS		50.50	
OPENING AREA		458.49	S.F.
OPENINGS PROVIDED		342.81	S.F.
ADDITIONAL NOTES			
GLAZED AREA CALCULATED W/ FRAME SIZE			
MINUS 2% FOR GLAZING PERIMETER			

ROOF OVERHANGS TO BE 15"  
UNLESS NOTED OTHERWISE



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**REAR ELEVATION 'A'**  
**'THE RIVERVIEW' - 5013**  
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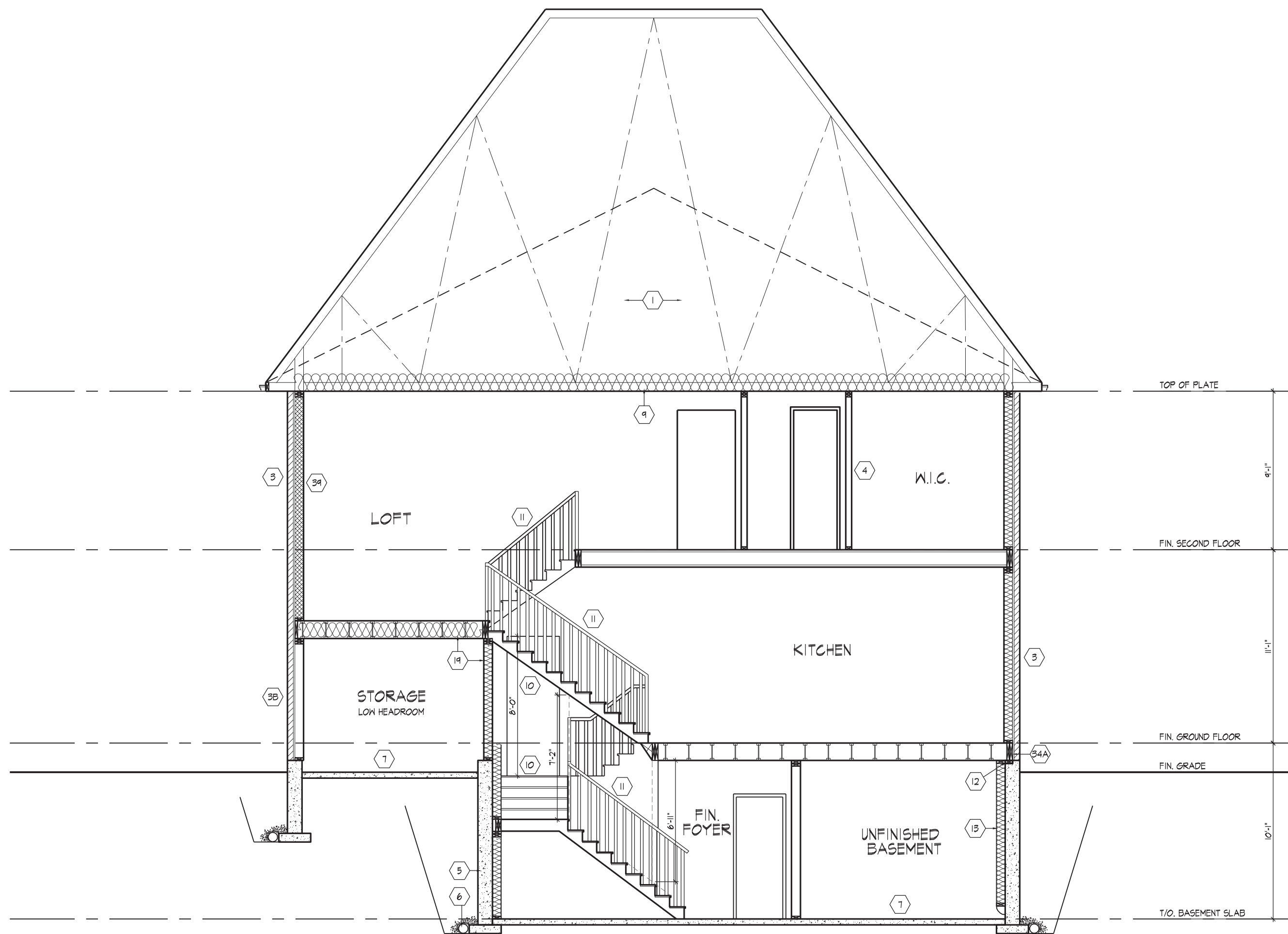
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**GOLDPARK HOMES - 221081**  
PINE VALLEY PH. 2, VAUGHAN, ON.

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QUALIFICATION INFORMATION

Albin Whiting 23177

NAME SIGNATURE BCIN

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CROSS SECTION 'A-A'  
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