



TYPE 'B' - 3101-END 1

SB-12 ENERGY EFFICIENCY DESIGN MATRIX

PREScriptive COMPLIANCE	SB-12 (SECTION 3.1.1) TABLE 3.1.1.2.A
PACKAGE A1	SPACE HEATING FUEL
	☒ GAS ☐ OIL
	☐ ELECTRIC ☐ PROPANE
	☐ EARTH ☐ SOLID FUEL

BUILDING COMPONENT	REQUIRED	PROPOSED
INSULATION RSI (R) VALUE		
CEILING W/ ATTIC SPACE	10.56 (R60)	10.56 (R60)
CEILING W/O ATTIC SPACE	5.46 (R31)	5.46 (R31)
EXPOSED FLOOR	5.46 (R31)	5.46 (R31)
WALLS ABOVE GRADE	3.87 (R22)	3.87 (R22)
BASEMENT WALLS * PROPOSED VALUES MAY BE SUBSTITUTED W/ 2.11+1.76ci (R12+R10ci)	3.52 ci (R20 ci) *	3.52 ci (R20 ci) *
BELOW GRADE SLAB ENTIRE SURFACE > 600mm BELOW GRADE	-	-
EDGE OF BELOW GRADE SLAB ≤ 600mm BELOW GRADE	1.76 (R10)	1.76 (R10)
HEATED SLAB OR SLAB ≤ 600mm BELOW GRADE	1.76 (R10)	1.76 (R10)
WINDOWS & DOORS		
WINDOWS/SLIDING GLASS DOORS (MAX U-VALUE)	1.6	1.6
SKYLIGHTS (MAX. U-VALUE)	2.8	2.8
APPLIANCE EFFICIENCY		
SPACE HEATING EQUIP. (AFUE%)	96%	96%
HRV EFFICIENCY (%)	75%	75%
DHW HEATER (EF)	0.8	0.8

AREA CALCULATIONS	EL. 'A'	EL. 'A'	EL. 'A'	EL. 'A'	EL. 'B'	EL. 'B'
	STD -INT	STD W/ LOGGIA	STD W/ F.P.	W/ F.P.&LOGGIA	STD -INT	STD W/ LOGGIA
GROUND FLOOR AREA	730 sq. ft.	730 sq. ft.	737 sq. ft.	737 sq. ft.	714 sq. ft.	714 sq. ft.
SECOND FLOOR AREA	1175 sq. ft.	1175 sq. ft.	1175 sq. ft.	1175 sq. ft.	1172 sq. ft.	1172 sq. ft.
SUBTOTAL	1905 sq. ft.	1905 sq. ft.	1912 sq. ft.	1912 sq. ft.	1886 sq. ft.	1886 sq. ft.
DUCT ALL OPEN AREAS	41 sq. ft.	41 sq. ft.	41 sq. ft.	41 sq. ft.	41 sq. ft.	41 sq. ft.
TOTAL NET AREA	1864 sq. ft.	1864 sq. ft.	1871 sq. ft.	1871 sq. ft.	1845 sq. ft.	1845 sq. ft.
	(173.17 sq. m.)	(173.17 sq. m.)	(173.82 sq. m.)	(173.82 sq. m.)	(171.41 sq. m.)	(171.41 sq. m.)
FINISHED BASEMENT AREA	461 sq. ft.	461 sq. ft.	468 sq. ft.	468 sq. ft.	461 sq. ft.	461sq. ft.
COVERAGE W/OUT PORCH	1178 sq. ft.	1178 sq. ft.	1185 sq. ft.	1185 sq. ft.	1178 sq. ft.	1178 sq. ft.
	(109.44 sq. m.)	(109.44 sq. m.)	(110.09 sq. m.)	(110.09 sq. m.)	(109.44 sq. m.)	(109.44 sq. m.)
COVERAGE W/ PORCH	1230 sq. ft.	1366 sq. ft.	1237 sq. ft.	1373 sq. ft.	1230 sq. ft.	1366 sq. ft.
	(114.27 sq. m.)	(126.91 sq. m.)	(114.92 sq. m.)	(127.56 sq. m.)	(114.27 sq. m.)	(126.91 sq. m.)
WINDOW / WALL AREA CALCULATIONS	EL. 'A'	EL. 'A'	EL. 'A'	EL. 'A'	EL. 'A'	EL. 'A'
	STD. PLAN	STD. PLAN	STD. PLAN	STD. PLAN	STD. PLAN	STD. PLAN
GROSS WALL AREA	0 sq. ft.	0 sq. ft.	0 sq. ft.	0 sq. ft.	0 sq. ft.	0 sq. ft.
	(0.00 sq. m.)	(0.00 sq. m.)	(0.00 sq. m.)	(0.00 sq. m.)	(0.00 sq. m.)	(0.00 sq. m.)
GROSS WINDOW AREA (INCL GLASS DOORS & SKYLIGHTS)	0 sq. ft.	0 sq. ft.	0 sq. ft.	0 sq. ft.	0 sq. ft.	0 sq. ft.
	(0.00 sq. m.)	(0.00 sq. m.)	(0.00 sq. m.)	(0.00 sq. m.)	(0.00 sq. m.)	(0.00 sq. m.)
TOTAL WINDOW %	#####	#####	#####	#####	#####	#####

- 1 - TITLE PAGE
- 2 - BASEMENT PLAN, ELEV. 'A' & 'B'
- 3 - GROUND FLOOR PLAN, ELEV. 'A'
- 4 - SECOND FLOOR PLAN, ELEV. 'A'
- 5 - PARTIAL GROUND & SECOND FLOOR PLANS, ELEV. 'B'
- 6 - FRONT ELEVATION 'A' & 'B'
- 7 - LEFT SIDE ELEVATION 'A'
- 8 - LEFT SIDE ELEVATION 'B'
- 9 - REAR ELEVATION 'A' & 'B'
- 10 - CROSS SECTION 'A-A'
- 11 - CONSTRUCTION NOTES
- 12 - CONSTRUCTION NOTES

EL. 'B'	EL. 'B'
STD W/ F.P.	W/ F.P.&LOGGIA
737 sq. ft.	737 sq. ft.
1172 sq. ft.	1172 sq. ft.
1909 sq. ft.	1909 sq. ft.
41 sq. ft.	41 sq. ft.
1868 sq. ft.	1868 sq. ft.
(173.54 sq. m.)	(173.54 sq. m.)
468 sq. ft.	468 sq. ft.
1185 sq. ft.	1185 sq. ft.
(110.09 sq. m.)	(110.09 sq. m.)
1237 sq. ft.	1373 sq. ft.
(114.92 sq. m.)	(127.56 sq. m.)
EL. 'A'	EL. 'A'
STD. PLAN	STD. PLAN
0 sq. ft.	0 sq. ft.
(0.00 sq. m.)	(0.00 sq. m.)
0 sq. ft.	0 sq. ft.
(0.00 sq. m.)	(0.00 sq. m.)
#####	#####



7. -	-	-
6. -	-	-
5. -	-	-
4. -	-	-
3. -	-	-
2. REVISED AS PER CLIENT COMMENTS	-	-
1. ISSUED FOR CLIENT REVIEW	-	AW
REVISIONS	DATE (YYYY/MM/DD)	BY

TITLE PAGE

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SIGNATURE: [Signature]
BCIN: 23177

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GOLDPARK HOMES - 217014
PINE VALLEY DRIVE, VAUGHAN, ONTARIO

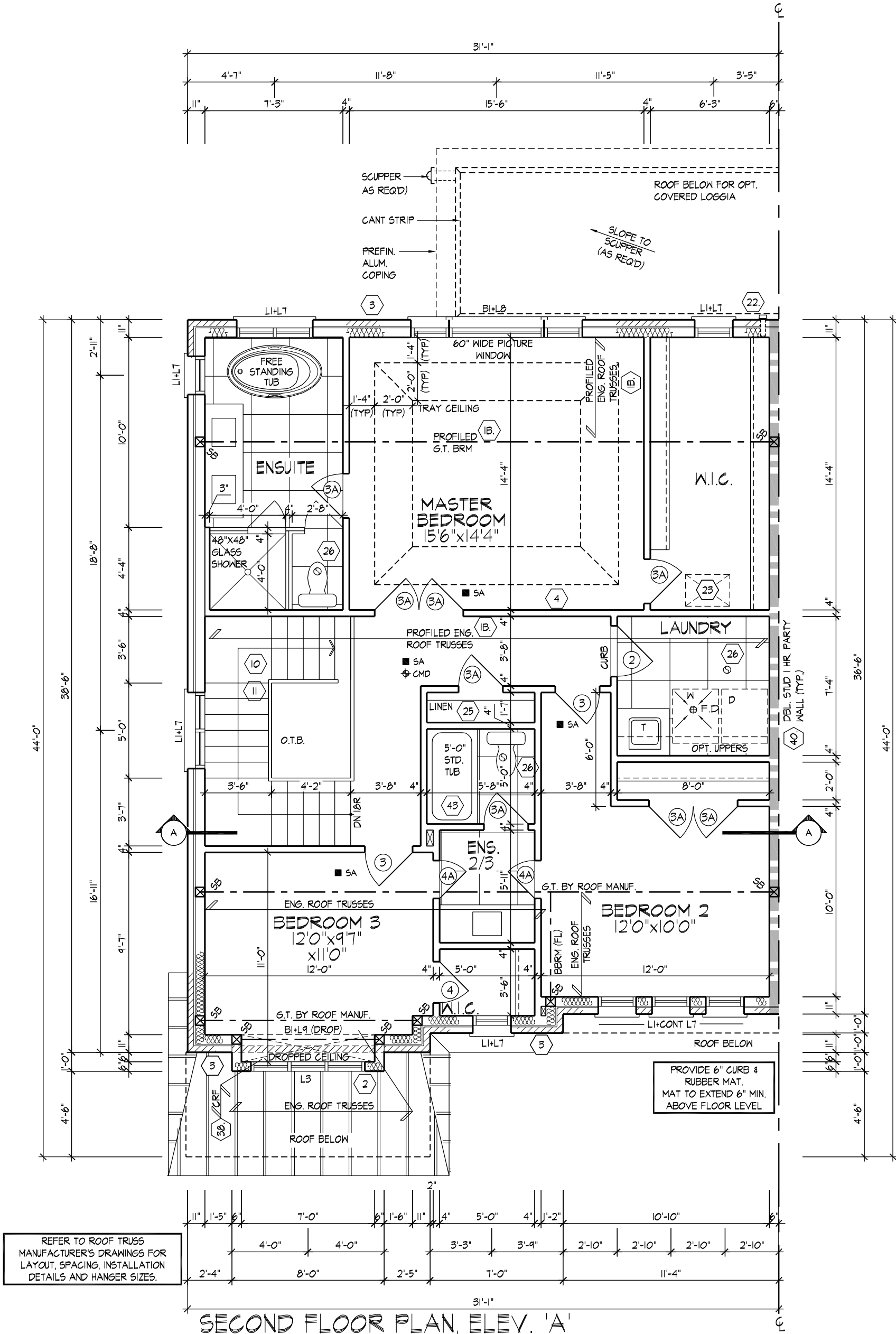
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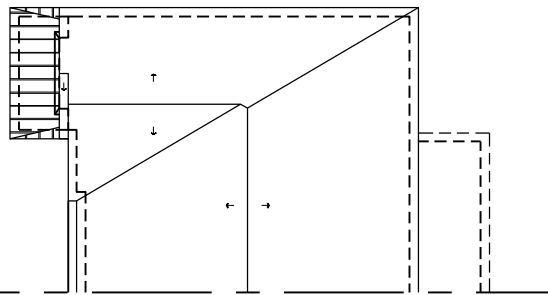
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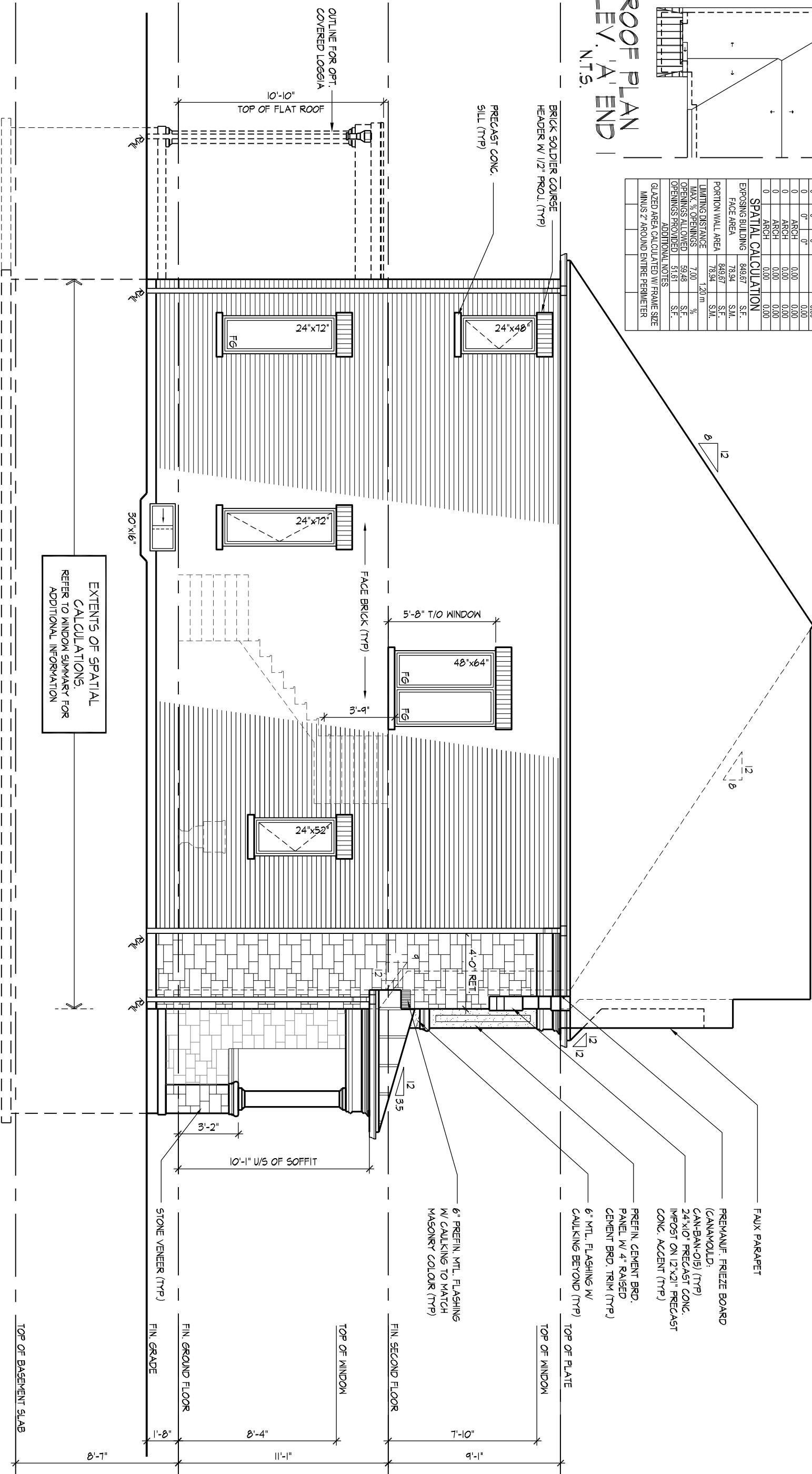
WINDOW SUMMARY				
PER O.B.C. TABLE 9.10.15.4				
LEFT SIDE ELEVATION A				
QUAN.	HT. M	HT. D.D.	WINDOW / DOOR FRAME SIZE (S.F.)	
2	24"	48"	12.22	
1	24"	64"	18.33	
2	24"	72"	18.89	
1	30"	16"	2.17	
0	0"	0"	0.00	
0	0"	0"	0.00	
0	0"	0"	0.00	
0	0"	0"	0.00	
0	0"	0"	0.00	
0	0"	0"	0.00	
0	ARCH	0.00	0.00	
0	ARCH	0.00	0.00	
0	ARCH	0.00	0.00	
0	ARCH	0.00	0.00	
SPATIAL CALCULATION				
EXPOSING BUILDING			84.94	S.F.
FACE AREA			78.67	S.M.
			84.97	S.F.
			78.94	S.M.
LIMITING DISTANCE			1.20 m	
MAX. % OPENINGS			7.00	%
OPENINGS ALLOWED			59.48	S.F.
OPENINGS PROVIDED			51.61	S.F.
ADDITIONAL NOTES				
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER				

DOOF OVERHANGS TO BE 12"
UNLESS NOTED OTHERWISE

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION



ROOF PLAN ELEV. 'A' END NOTES.



LEFT SIDE ELEVATION 'A'

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GOLDPARK HOMES - 217014
PINE VALLEY DRIVE, VAUGHAN, ONTARIO

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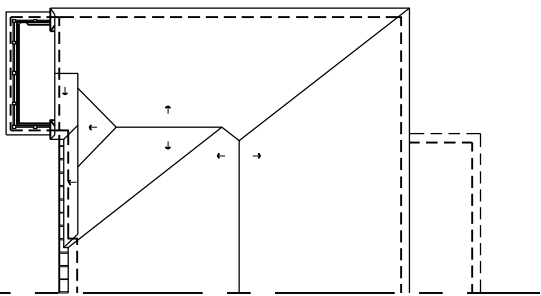
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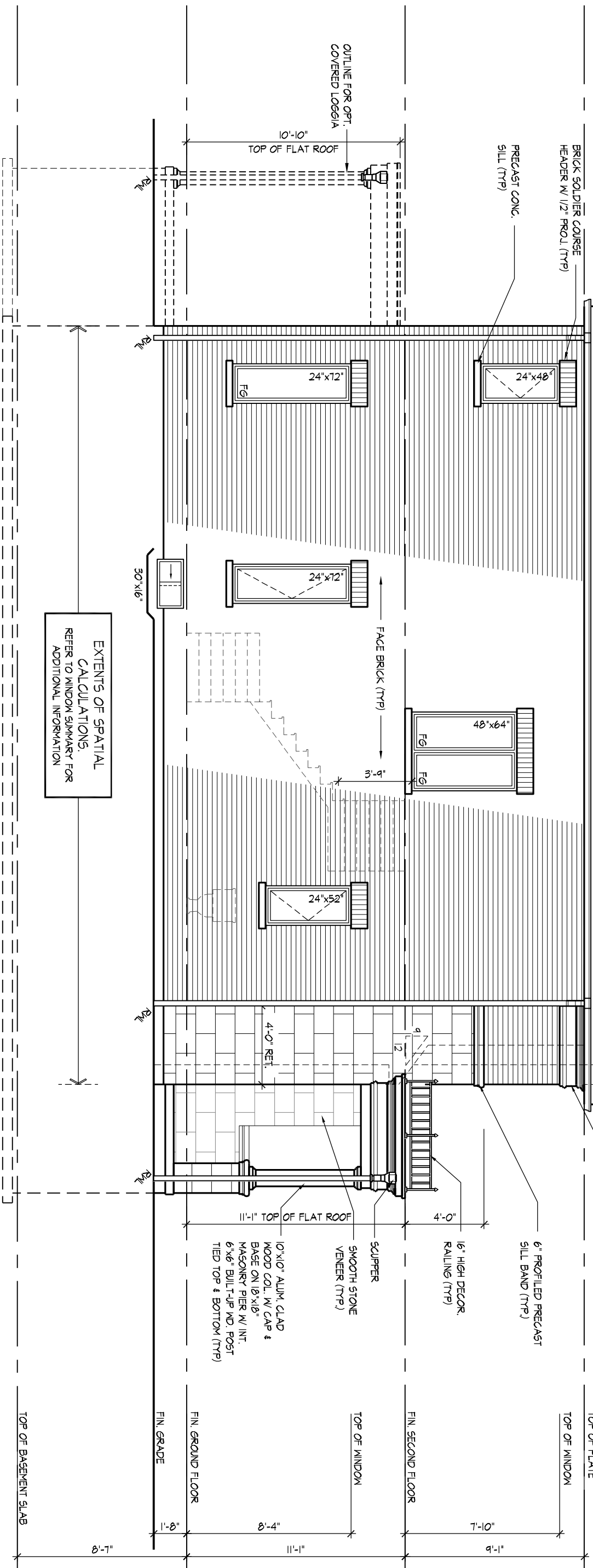
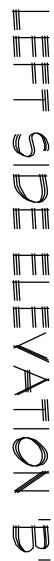
WINDOW SUMMARY				
PER O.B.C. TABLE 9.10.15.4				
LEFT SIDE ELEVATION B				
QUAN.	THICK	HT. DLS	WINDOW / DOOR FRAME SIZE (S.F.)	
2	24"	48"	12.22	
1	24"	64"	18.33	
2	24"	72"	18.89	
1	30"	16"	2.17	
0	0"	0"	0.00	
0	0"	0"	0.00	
0	0"	0"	0.00	
0	0"	0"	0.00	
0	0"	0"	0.00	
0	0"	0"	0.00	
0	ARCH	0.00	0.00	
0	ARCH	0.00	0.00	
0	ARCH	0.00	0.00	
0	ARCH	0.00	0.00	
SPATIAL CALCULATION				
EXPOSING BUILDING FACE AREA			840.58	S.F.
PORTION WALL AREA			840.58	S.M.
LIMITING DISTANCE			7.00	S.F.
MAX. % OPENINGS			1.20 m	%
OPENINGS ALLOWED			58.84	S.F.
OPENINGS PROVIDED			51.61	S.F.
ADDITIONAL NOTES				
GLAZED AREA CALCULATED W/ FRAME SIZE				
MINUS 2" AROUND ENTIRE PERIMETER				

ROOF OVERHANGS TO BE 12
UNLESS NOTED OTHERWISE

REFER TO FRONT
ELEVATION FOR TYPICAL
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ROOF PLAN
ELEV. 'B' END
NTS.



LEFT SIDE ELEVATION 'B'

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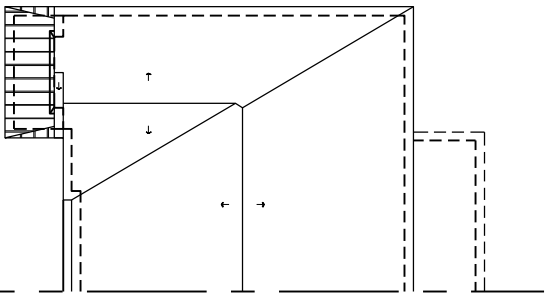
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ROOF PLAN
ELEV. 'A' END
N.T.S.

ROOF OVERHANGS TO BE 12"
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REFER TO FRONT
ELEVATION FOR TYPICAL
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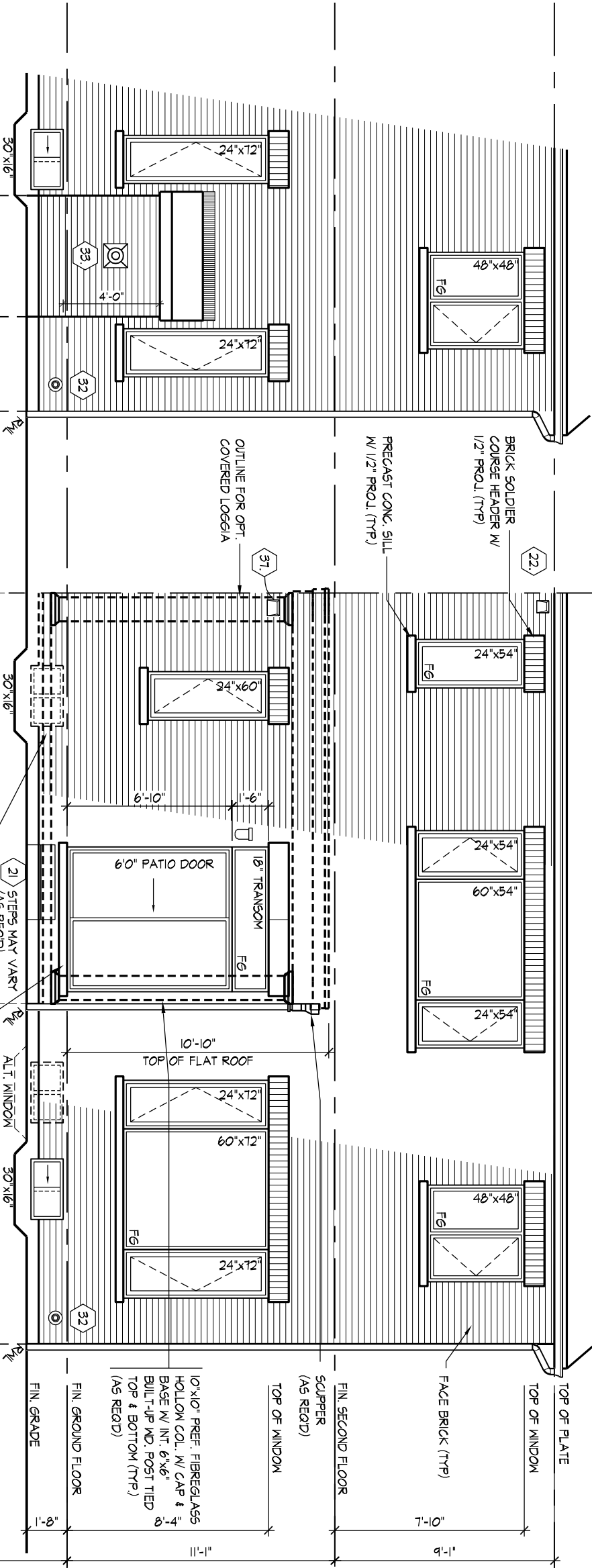
OUTLINE OF ROOF FOR
ELEVATION 'B' ONLY

ASPHALT SHINGLES (TYP)

BRICK SOLDIER
COURSE HEADER W/
1/2" PROJ. (TYP)

PRECAST CONC. SILL
W/ 1/2" PROJ. (TYP)

OUTLINE FOR OPT.
COVERED LOGGIA



REAR ELEVATION 'A' & 'B'

PARTIAL REAR
ELEVATION 'A' & 'B'

REAR ELEVATION 'A' & 'B'

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SIGNATURE: [Signature]
BCIN: 23177

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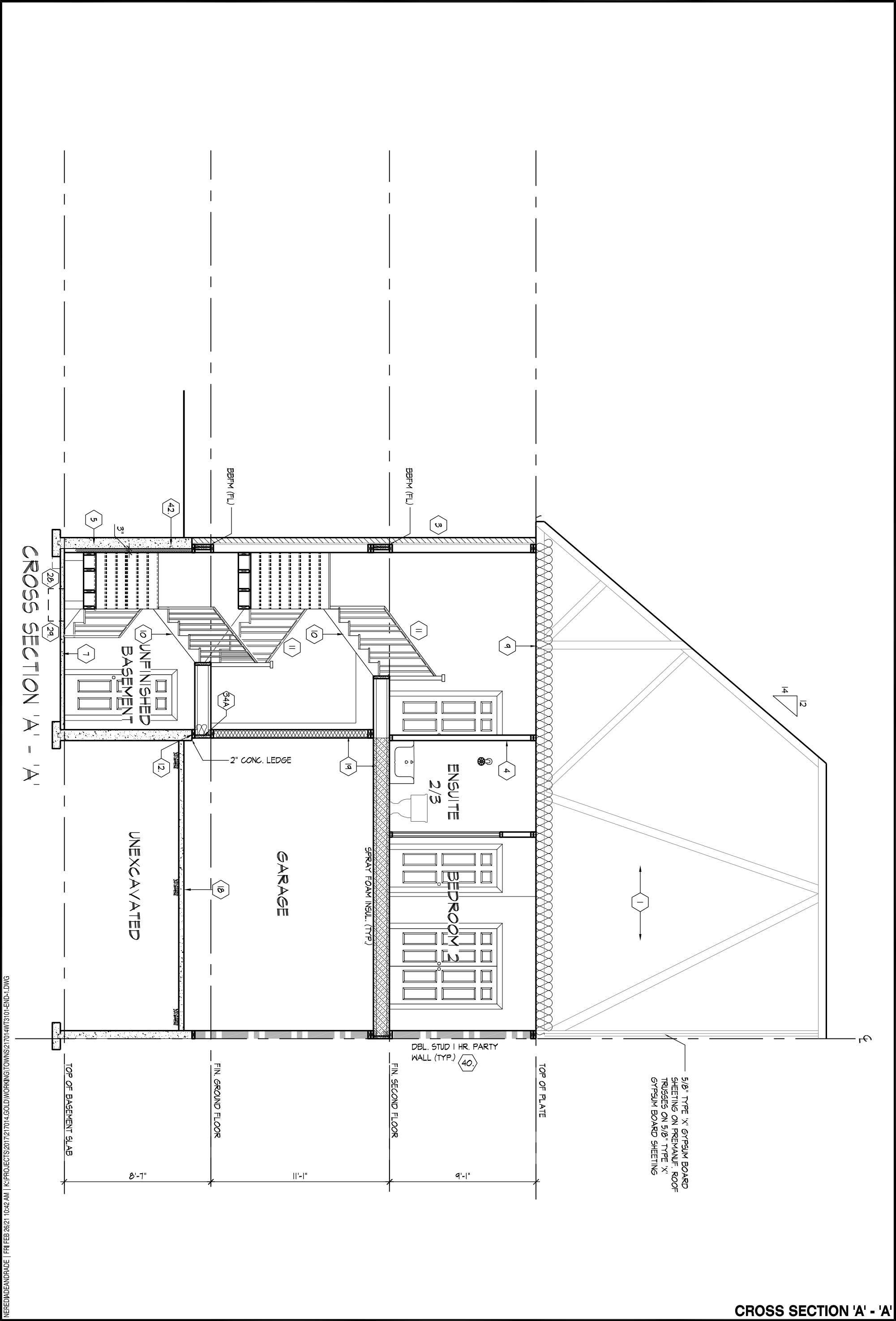
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