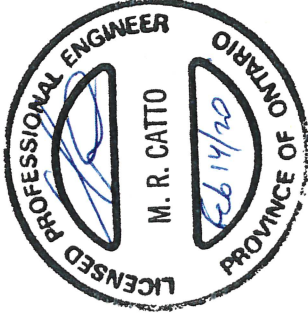


(RC) COMPLETE ROOF (INCLUDING REAR) CONNECTED TO FRONT DOWNSPOUT AND CONNECTED TO RDC SERVICE CONNECTION.  
(RF) HALF ROOF CONNECTED TO FRONT DOWNSPOUT AND CONNECTED TO RDC SERVICE CONNECTION.  
(RR) HALF ROOF CONNECTED TO REAR DOWNSPOUT AND CONNECTED TO INFILTRATION TRENCH.  
1.1 - ROOF DRAINS TO BE CONNECTED AT THE FRONT TO RDC SERVICE CONNECTION FOR ROOF CONFIGURATIONS RC, RF, & RR (REFER TO SCS DWG. 906 DETAIL B)  
1.2 - IF ROOF CONFIGURATION IS RR OR RC, FRONT ROOF DRAINS TO BE CONNECTED TO FRONT DOWNSPOUT & CONNECTED TO RDC SERVICE CONNECTION. (REFER TO SCS DWG. 906 DETAIL B)  
1.3 - IF ROOF CONFIGURATION IS RR, REAR ROOF DRAINS TO BE CONNECTED TO REAR DOWNSPOUT AND CONNECTED TO INFILTRATION TRENCH (REFER TO SCS DWG. 906 DETAIL A)  
1.4 - THE CONTRACTOR SHALL CHECK AND VERIFY ALL GIVEN GRADE ELEVATIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION. FOOTINGS TO BEAR ON NATURAL UNDISTURBED SOIL OR ROCK AND TO BE A MINIMUM OF 1.22m BELOW FINISHED GRADE.  
1.5 - ALL FRONT AND REAR YARDS SHALL BE GRADED AT A 2%-5% GRADE WITHIN 6.0m OF THE DWELLING UNIT.  
1.6 - MAXIMUM DRIVEWAY SLOPE SHALL BE 8%.  
1.7 - THE MAXIMUM ALLOWABLE SLOPE IS 3:1 (HORIZONTAL AND VERTICAL) WITH A MAXIMUM ELEVATION DIFFERENCE OF 600mm.  
1.8 - DRIVEWAYS TO BE SET BACK A MINIMUM OF 1.0m, FROM ABOVE GROUND SERVICES OR OTHER OBSTRUCTION.  
1.9 - LOT HIGH POINT (HP) TO BE 2.0m UPSTREAM OF DOWNSPOUTS  
1.10 - ROOF LEADER EMERGENCY OVERFLOW TO DISCHARGE VIA SPLASH PAD. (REFER TO SCS DWG. 906 DETAIL A FOR ROOF CONFIGURATION RR AND DETAIL B FOR ROOF CONFIGURATION RC & RF)  
1.11 - INFILTRATION TRENCHES NOT TO CROSS BETWEEN LOT LINES. (REFER TO SCS DWG. 906 DETAIL A)  
1.12 - IF ROOF CONFIGURATION IS RR, REAR ROOF DOWNSPOUTS CONNECTED TO 100mmØ CAP. REMOVE CAP AND CONNECT TO REAR LOT INFILTRATION TRENCH. BUILDER IS RESPONSIBLE TO BUILD THE REAR YARD ROOF LEADER CONNECTION TO THE CAP AT THE TRENCHES (TYP.) REFER TO SCS DWG. 906 DETAIL A.  
1.13 - BUILDER TO REFER TO SCS DWG. 906 DETAILS A & B FOR DETAILS ON THE INFILTRATION TRENCH.

LOT 129  
WE HAVE REVIEWED THE SITE AND GRADING PLAN FOR THE PROPOSED BUILDING TO BE CONSTRUCTED, AND HEREBY CERTIFY THAT:  
1. The proposed grading and appurtenant drainage works comply with sound engineering principles.  
2. The proposed grading is in conformity with the grading plan approval for this subdivision and will not adversely affect adjacent lands.  
3. The proposed building is compatible with the proposed grading.  
4. The proposed water service curb stop is to be located in the grassed portion of the front yard.  
5. The driveway conforms with the City of Vaughan By-Law 1-88 as amended and is a minimum 1.0 metre clear of all street landscape catch basins.  
6. The proposed building is a minimum of 0.6 m side yard setback from a drainage swale.  
SCS CONSULTING GROUP LTD.



Date: Feb. 14/20 Reviewed By: MRC

CITY OF VAUGHAN  
DEVELOPMENT ENGINEERING DEPARTMENT  
PLANS EXAMINATION

RECEIVED FEB 20 2020

ZONING: 21110 INITIAL: MP  
DATE REVIEWED: 2/14/20

| COVERAGE CALCULATION                               |                       |
|----------------------------------------------------|-----------------------|
| LOT NO. :                                          | 129                   |
| LOT AREA :                                         | 427.00 m <sup>2</sup> |
| BLDG. AREA : (INC. PORCH)                          | 169.64 m <sup>2</sup> |
| LOT COVERAGE :                                     | 39.73 %               |
| LANDSCAPE AREA:                                    | 210.02 m <sup>2</sup> |
| LANDSCAPE COV. :                                   | 49.19 %               |
| BUILDING HEIGHT                                    |                       |
| MAX BUILDING HEIGHT:                               | 11.00 m               |
| FROM AVERAGE FIN. GRADE@ FRONT OF BUILDING TO MEAN |                       |
| ESTABLISHED GRADE:                                 | 229.35                |
| F.F. TO TOP OF ROOF:                               | 10.49 m               |
| F.F. TO MEAN OF ROOF:                              | 8.32 m                |
| PROPOSED BLDG. HGT:                                | 9.54 m                |
| FRONT YARD LANDSCAPE AREA                          |                       |
| FRONT YARD AREA :                                  | 65.13 m <sup>2</sup>  |
| LANDSCAPE AREA :                                   | 33.13 m <sup>2</sup>  |
| COVERAGE (60% MIN.) :                              | 50.87 %               |
| SOFT LANDSCAPE AREA:                               | 29.78 m <sup>2</sup>  |
| SOFT COVERAGE (60% MIN.) :                         | 89.89 %               |
| REAR YARD LANDSCAPE AREA                           |                       |
| REAR YARD AREA :                                   | 130.08 m <sup>2</sup> |
| SOFT LANDSCAPE AREA :                              | 128.92 m <sup>2</sup> |
| COVERAGE (60% MIN.) :                              | 99.11 %               |

- ENGINEERED FILLLOTS
- STREET TREE
- RETAINING WALL
- CATCH BASIN
- CONNECTION TO LOCAL WATER SERVICE AT THE FRONT OF THE HOUSE (SEE NOTE 1.1)
- AND CONNECTION TO REAR LOT INFILTRATION TRENCH IS RR (SEE NOTE 1.3)
- SANITARY MANHOLE
- WATER SERVICE
- HYDRO SERVICE
- STORM MANHOLE
- VALVE CHAMBER
- VALVE & BOX
- HYDRANT
- AIR CONDITIONER
- INFILTRATION TRENCH
- DOUBLE SW/SM/FC/RC
- REFER TO SCS DWG. 902 DETAIL H - MODIFIED
- SINGLE SW/SM/FC/RC
- CONNECTION
- REFER TO SCS DWG. 902 DETAIL H - MODIFIED

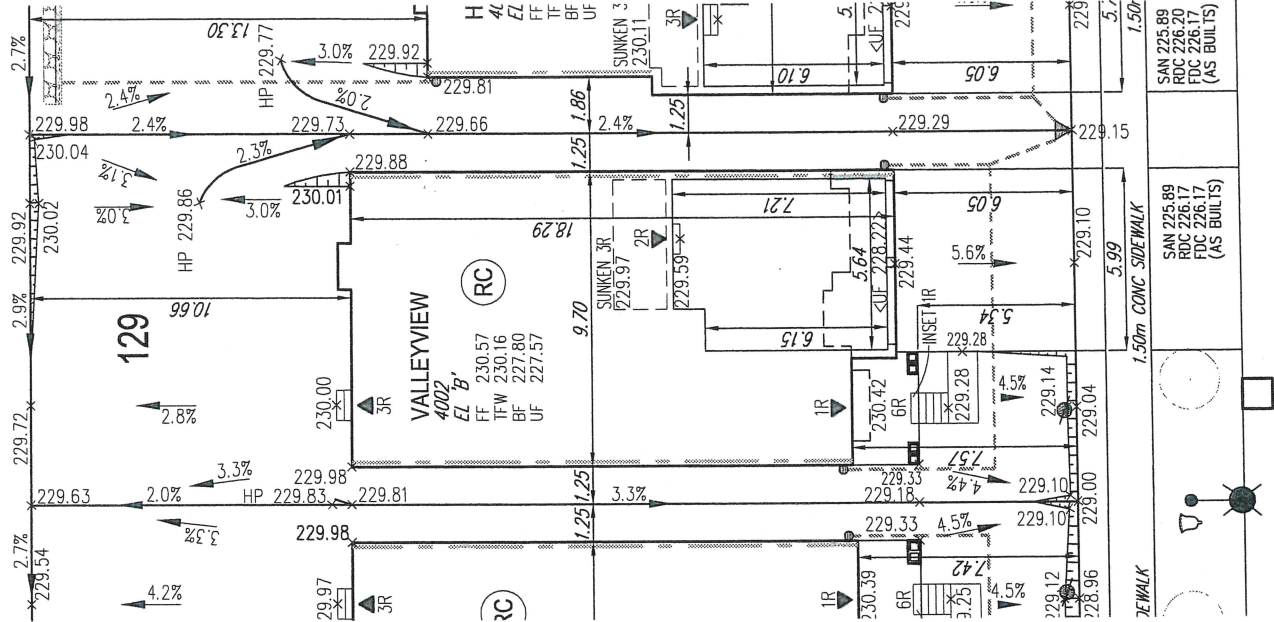
SITING AND GRADING PLAN

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND FOR THE ACCURACY OF THE INFORMATION AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION  
Allan Whiting  
NAME  
23177  
BON  
SIGNATURE  
19695  
HUNT DESIGN ASSOCIATES INC.

All site plans and construction to comply with City of Vaughan By-Law 1-88 a.a.

|                                                                       |             |
|-----------------------------------------------------------------------|-------------|
| FOR OFFICE USE ONLY                                                   |             |
| CITY OF VAUGHAN<br>BUILDING STANDARDS DEPARTMENT<br>PLANS EXAMINATION |             |
| RECEIVED                                                              | FEB 27 2020 |
| ZONING                                                                | 03 p3120    |
| GRADING                                                               | MP          |
| BUILDING CODE                                                         |             |
| MECHANICAL                                                            |             |
| PLUMBING                                                              |             |
| FIRE                                                                  |             |



AIR CONDITIONER ROUGH  
IN REQUIRED

PURPLE CREEK ROAD

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit requirements that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

ARCHITECTURAL REVIEW & APPROVAL  
FEB 19 2020  
John G. Williams Limited, Architect

- GENERAL NOTES:
- BUILDER TO VERIFY LOCATION OF UTILITIES AND OTHER SERVICES. IF MIN. DIMENSIONS ARE NOT MAINTAINED, BUILDER IS TO RELOCATE AT BUILDERS EXPENSE.
  - BUILDER TO VERIFY ELEV. OF STM. AND SAN. LATERALS IN RELATION TO BASEMENT US OF FOOTING ELEVATIONS FOR COMPLIANCE WITH MUNICIPAL STANDARDS PRIOR TO EXCAVATION.
  - APPROVED PERMIT DRAWINGS & CONSTRUCTION NOTES MUST BE REVIEWED AND FOLLOWED IN CONJUNCTION WITH THE SITING AND GRADING PLAN. BUILDER TO VERIFY BUILDING ENVELOPE ON SITE PLAN MATCHES APPROVED PERMIT DRAWINGS & CONSTRUCTION NOTES PRIOR TO POURING CONCRETE. IF THERE ARE ANY DISCREPANCIES, THEY ARE TO BE BROUGHT TO THE ATTENTION OF HUNT DESIGN ASSOCIATES INC.
  - UNLESS NOTED ON BUILDING ENVELOPE OR APPROVED PERMIT DRAWINGS & CONSTRUCTION NOTES, ALL TOP OF FOUNDATION WALLS INCLUDING GARAGE WALLS TO BE CONSISTENT WITH THE ELEVATION PROVIDED FOR FTW ON SITING AND GRADING PLAN. THE EXTERIOR OF THE FOUNDATION WALL TO BE PROVIDED WITH A REDUCTION OF THICKNESS FOR MASONRY VENEER AS REQUIRED.

|                      |        |
|----------------------|--------|
| FINISHED FLOOR       | FT     |
| BASEMENT FLOOR       | BF     |
| UNDERSIDE OF FOOTING | UF     |
| WALKOUT DECK         | WOD    |
| WALKOUT BASEMENT     | WOB    |
| MODIFIED             | MOD    |
| REV. REVERSED        | REV    |
| NO DOOR              | ND     |
| HIGHLIGHTED GRADE    | XXXXXX |

|                           |    |            |
|---------------------------|----|------------|
| ISSUED FOR FINAL APPROVAL | AW | 2020.01.29 |
| OF PRELIMINARY APPROVAL   | OF | 2019/2/19  |

Street Name: PURPLE CREEK ROAD

Lot: 129  
File Number: 217020WSP01  
Scale: 1:250  
Checked By: DM  
Drawn By: DM

HUNT  
DESIGN ASSOCIATES INC.

www.huntdesign.ca  
23177  
BON  
SIGNATURE  
19695  
HUNT DESIGN ASSOCIATES INC.

8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326  
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Lot / Page Number: 129