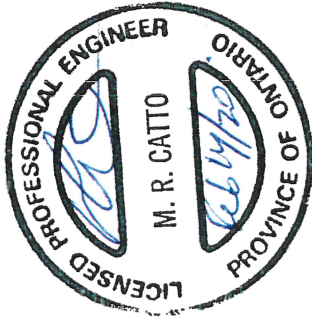


- (RC) COMPLETE ROOF (INCLUDING REAR) CONNECTED TO FRONT DOWNSPOUT AND CONNECTED TO RDC SERVICE CONNECTION.
- (RF) HALF ROOF CONNECTED TO FRONT DOWNSPOUT AND CONNECTED TO RDC SERVICE CONNECTION.
- (RR) HALF ROOF CONNECTED TO REAR DOWNSPOUT AND CONNECTED TO INFLTRATION TRENCH.
- 1.1 - ROOF DRAINS TO BE CONNECTED AT THE FRONT TO RDC SERVICE CONNECTION FOR ROOF CONFIGURATIONS RC, RF, & RR (REFER TO SCS DWG. 906 DETAIL B)
- 1.2 - IF ROOF CONFIGURATION IS RR OR RC, FRONT ROOF DRAINS TO BE CONNECTED TO FRONT DOWNSPOUT & CONNECTED TO RDC SERVICE CONNECTION. (REFER TO SCS DWG. 906 DETAIL B)
- 1.3 - IF ROOF CONFIGURATION IS RR, REAR ROOF DRAINS TO BE CONNECTED TO REAR DOWNSPOUT AND CONNECTED TO INFLTRATION TRENCH (REFER TO SCS DWG. 906 DETAIL A)
- 1.4 - THE CONTRACTOR SHALL CHECK AND VERIFY ALL GIVEN GRADE ELEVATIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION. FOOTINGS TO BEAR ON NATURAL UNDISTURBED SOIL OR ROCK AND TO BE A MINIMUM OF 1.2m BELOW FINISHED GRADE.
- 1.5 - ALL FRONT AND REAR YARDS SHALL BE GRADED AT A 2%-5% GRADE WITHIN 6.0m OF THE DWELLING UNIT.
- 1.6 - MAXIMUM DRIVEWAY SLOPE SHALL BE 8%.
- 1.7 - THE MAXIMUM ALLOWABLE SLOPE IS 3:1 (HORIZONTAL AND VERTICAL)
- 1.8 - DRIVEWAYS TO BE SET BACK A MINIMUM OF 1.0m, FROM ABOVE GROUND SERVICES OR OTHER OBSTRUCTION.
- 1.9 - LOT HIGH POINT (HP) TO BE 2.0m UPSTREAM OF DOWNSPOUTS
- 1.10 - ROOF LEADER EMERGENCY OVERFLOW TO DISCHARGE VIA SPLASH PAD. (REFER TO SCS DWG. 906 DETAIL A FOR ROOF CONFIGURATION RR AND DETAIL B FOR ROOF CONFIGURATION RC & RF)
- 1.11 - INFILTRATION TRENCHES NOT TO CROSS BETWEEN LOT LINES. (REFER TO SCS DWG. 906 DETAIL A)
- 1.12 - IF ROOF CONFIGURATION IS RR, REAR ROOF DOWNSPOUTS CONNECTED TO 100mmØ CAP. REMOVE CAP AND CONNECT TO REAR LOT INFILTRATION TRENCH. BUILDER IS RESPONSIBLE TO BUILD THE REAR YARD ROOF LEADER CONNECTION TO THE CAP AT THE TRENCHES (TYP.) REFER TO SCS DWG. 906 DETAIL A.
- 1.13 - BUILDER TO REFER TO SCS DWG. 906 DETAILS A & B FOR DETAILS ON THE INFILTRATION TRENCH.

- LOT 110
- WE HAVE REVIEWED THE SITE AND GRADING PLAN FOR THE PROPOSED BUILDING TO BE CONSTRUCTED, AND HEREBY CERTIFY THAT:
1. The proposed grading and appurtenant drainage works comply with sound engineering principles.
  2. The proposed grading is in conformity with the grading plan approval for this subdivision and will not adversely affect adjacent lands.
  3. The proposed building is compatible with the proposed grading.
  4. The proposed water service curb stop is to be located in the grassed portion of the front yard.
  5. The driveway conforms with the City of Vaughan By-Law 1-88 as amended and is a minimum 1.0 metre clear of all street landscape catch basins.
  6. The proposed building is a minimum of 0.6 m side yard setback from a drainage swale.
- SOS CONSULTING GROUP LTD.



Date: Feb.14/20 Reviewed By: MRC

CITY OF VAUGHAN  
DEVELOPMENT ENGINEERING DEPARTMENT  
PLANS EXAMINATION

RECEIVED FEB 20 2020

DATE REVIEWED INITIAL  
ZONING: March 2, 2020 ST.  
GRADING: 2/1/20 NP

| COVERAGE CALCULATION       |                       |
|----------------------------|-----------------------|
| LOT NO. :                  | 110                   |
| LOT AREA :                 | 532.00 m <sup>2</sup> |
| BLDG. AREA : (EXCL. PORCH) | 250.93 m <sup>2</sup> |
| LOT COVERAGE :             | 47.17 %               |
| LANDSCAPE AREA:            | 231.13 m <sup>2</sup> |
| LANDSCAPE COV. :           | 43.45 %               |

| BUILDING HEIGHT                                    |         |
|----------------------------------------------------|---------|
| MAX BUILDING HEIGHT:                               | 11.00 m |
| FROM AVERAGE FIN. GRADE@ FRONT OF BUILDING TO MEAN |         |
| ESTABLISHED GRADE:                                 | 229.97  |
| F.F. TO TOP OF ROOF:                               | 11.29 m |
| F.F. TO MEAN OF ROOF:                              | 8.98 m  |
| PROPOSED BLDG. HGT:                                | 9.86 m  |

| FRONT YARD LANDSCAPE AREA |                      |
|---------------------------|----------------------|
| FRONT YARD AREA :         | 62.58 m <sup>2</sup> |
| LANDSCAPE AREA :          | 32.55 m <sup>2</sup> |
| COVERAGE (60% MIN.) :     | 61.91 %              |
| SOFT LANDSCAPE AREA:      | 29.75 m <sup>2</sup> |
| SOFT COVERAGE (60% MIN.): | 91.40 %              |

| REAR YARD LANDSCAPE AREA |                       |
|--------------------------|-----------------------|
| REAR YARD AREA :         | 114.96 m <sup>2</sup> |
| SOFT LANDSCAPE AREA :    | 114.96 m <sup>2</sup> |
| COVERAGE (60% MIN.):     | 100.00 %              |

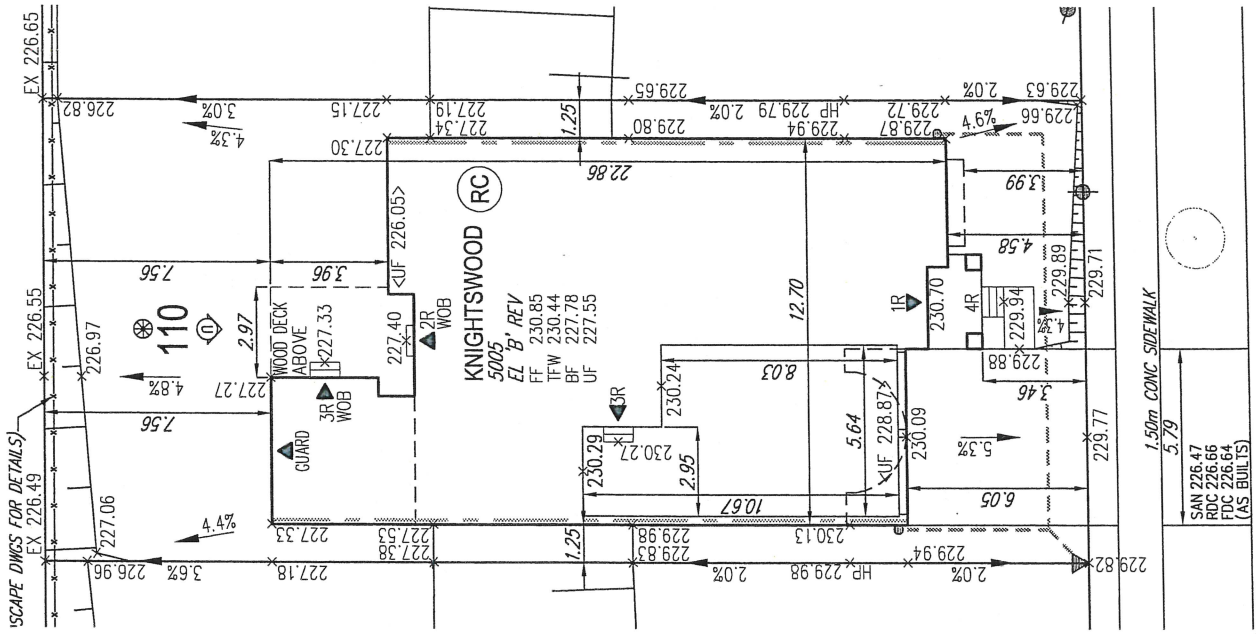
FOR OFFICE USE ONLY  
CITY OF VAUGHAN  
BUILDING STANDARDS DEPARTMENT  
PLANS EXAMINATION

RECEIVED FEB 26 2020

| DATE REVIEWED | INITIAL |
|---------------|---------|
| March 2, 2020 | ST.     |
| ZONING        |         |
| GRADING       |         |
| BUILDING CODE |         |
| MECHANICAL    |         |
| PLUMBING      |         |
| FIRE          |         |

20-351

UPGRADE EXPOSED ELEVATION(S)  
(See Approved Streetscape / Unit Working Dwg)



PURPLE CREEK ROAD

AIR CONDITIONER ROUGH  
IN REQUIRED

CITY OF VAUGHAN  
FOR BUILDING PERMIT ONLY

20-113EP

It is the builder's complete responsibility to ensure that all plans are submitted for approval and comply with the City of Vaughan Building Standards Department and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter not on its lot. house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

ARCHITECTURAL REVIEW & APPROVAL

FEB 19 2020

John G. Williams Limited, Architect

- GENERAL NOTES:
1. BUILDER TO VERIFY LOCATION OF UTILITIES AND OTHER SERVICES. IF MIN. DIMENSIONS ARE NOT MAINTAINED, BUILDER IS TO REMAIN AT BUILDER'S EXPENSE.
  2. BUILDER TO VERIFY ELEV. OF STM. AND SAN. LATERALS IN RELATION TO BASEMENT (US OF FOOTING ELEVATIONS FOR COMPLIANCE WITH MUNICIPAL STANDARDS PRIOR TO EXCAVATION).
  3. APPROVED PERMIT DRAWINGS & CONSTRUCTION NOTES MUST BE REVIEWED AND FOLLOWED IN CONJUNCTION WITH THE SITING AND GRADING PLAN. BUILDER TO VERIFY BUILDING ENVELOPE ON SITE PLAN MATCHES APPROVED PERMIT DRAWINGS & CONSTRUCTION NOTES PRIOR TO POURING CONCRETE. IF THERE ARE ANY DISCREPANCIES, THEY ARE TO BE BROUGHT TO THE ATTENTION OF HUNT DESIGN ASSOCIATES INC.
  4. UNLESS NOTED ON BUILDING ENVELOPE OR APPROVED PERMIT DRAWINGS & CONSTRUCTION NOTES, ALL TOP OF FOUNDATION WALLS INCLUDING GARAGE WALLS TO BE CONSISTENT WITH THE ELEVATION PROVIDED FOR TFW ON SITING AND GRADING PLAN. THE EXTERIOR OF THE FOUNDATION WALL TO BE PROVIDED WITH A REDUCTION OF THICKNESS FOR MASONRY VENEER AS REQUIRED.



| ISSUED FOR FINAL APPROVAL       | AW | 2020.01.29 |
|---------------------------------|----|------------|
| ISSUED FOR PRELIMINARY APPROVAL | OF | 2019/219   |

|                                                 |                        |                        |
|-------------------------------------------------|------------------------|------------------------|
| DOWNSPOUTS                                      | FINISHED FLOOR         | FINISHED FLOOR         |
| 45 MINUTE FIRE RATED WALL                       | TOP OF FOUNDATION WALL | TOP OF FOUNDATION WALL |
| SIDEYARD DISTANCE IS LESS THAN 1.2m TO LOT LINE | UNDERSIDE OF FOOTING   | UNDERSIDE OF FOOTING   |
| (NO WINDOWS PERMITTED)                          | WOB                    | WOB                    |
| EXTERIOR DOOR LOCATION                          | MOD                    | MOD                    |
| IF GRADE PERMITS                                | NO DOOR                | NO DOOR                |
| IF EXTERIOR DOOR LOCATION                       | ACoustic FENCE         | ACoustic FENCE         |
| IF EXTERIOR DOOR LOCATION                       | MAX 31 SLOPE           | MAX 31 SLOPE           |

Street Name Lot Plan No. - 110

PURPLE CREEK ROAD

GOLDPARK HOMES - 217020  
PINE VALLEY, VAUGHAN ONT.

HUNT DESIGN ASSOCIATES INC.  
DESIGN ASSOCIATES INC.

SITING AND GRADING PLAN

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

Qualification Information  
Name Writing  
Allan Writing

Registration Information  
Name  
HUNT DESIGN ASSOCIATES INC.

23177  
SIGNATURE

19695

8566 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7926

Scale  
Drawn By DM  
Checked By OF  
1:250

File Number  
217020WSP01

Lot / Page Number  
110