

- RC COMPLETE ROOF (INCLUDING REAR) CONNECTED TO FRONT DOWNSPOUT AND CONNECTED TO RDC SERVICE CONNECTION.
RF HALF ROOF CONNECTED TO FRONT DOWNSPOUT AND CONNECTED TO RDC SERVICE CONNECTION.
RR HALF ROOF CONNECTED TO REAR DOWNSPOUT AND CONNECTED TO INFILTRATION TRENCH.

- 1.1 - ROOF DRAINS TO BE CONNECTED AT THE FRONT TO RDC SERVICE CONNECTION FOR ROOF CONFIGURATIONS RC, RF, & RR (REFER TO SCS DWG. 906 DETAIL B)
1.2 - IF ROOF CONFIGURATION IS RF OR RC, FRONT ROOF DRAINS TO BE CONNECTED TO FRONT DOWNSPOUT & CONNECTED TO RDC SERVICE CONNECTION. (REFER TO SCS DWG. 906 DETAIL B)
1.3 - IF ROOF CONFIGURATION IS RR, REAR ROOF DRAINS TO BE CONNECTED TO REAR ROOF DOWNSPOUT AND CONNECTED TO INFILTRATION TRENCH (REFER TO SCS DWG. 906 DETAIL A)
1.4 - THE CONTRACTOR SHALL CHECK AND VERIFY ALL GIVEN GRADE ELEVATIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION. FOOTINGS TO BEAR ON NATURAL UNDISTURBED SOIL OR ROCK AND TO BE A MINIMUM OF 1.2m BELOW FINISHED GRADE.
1.5 - ALL FRONT AND REAR YARDS SHALL BE GRADED AT A 2%-5% GRADE WITHIN 6.0m OF THE DWELLING UNIT.
1.6 - MAXIMUM DRIVEWAY SLOPE SHALL BE 8%.
1.7 - THE MAXIMUM, ALLOWABLE SLOPE IS 3:1 (HORIZONTAL AND VERTICAL) WITH A MAXIMUM ELEVATION DIFFERENCE OF 600mm.
1.8 - DRIVEWAYS TO BE SET BACK A MINIMUM OF 1.0m, FROM ABOVE GROUND SERVICES OR OTHER OBSTRUCTION.
1.9 - LOT HIGH POINT (HP) TO BE 2.0m UPSTREAM OF DOWNSPOUTS
1.10 - ROOF LEADER EMERGENCY OVERFLOW TO DISCHARGE VIA SPLASH PAD. (REFER TO SCS DWG. 906 DETAIL A FOR ROOF CONFIGURATION RR AND DETAIL B FOR ROOF CONFIGURATION RC & RF)
1.11 - INFILTRATION TRENCHES NOT TO CROSS BETWEEN LOT LINES. (REFER TO SCS DWG. 906 DETAIL A)
1.12 - IF ROOF CONFIGURATION IS RR, REAR ROOF DOWNSPOUTS CONNECTED TO 100mmØ CAP. REMOVE CAP AND CONNECT TO REAR LOT INFILTRATION TRENCH. BUILDER IS RESPONSIBLE TO BUILD THE REAR YARD ROOF LEADER CONNECTION TO THE CAP AT THE TRENCHES (TYP.) REFER TO SCS DWG. 906 DETAIL A.
1.13 - BUILDER TO REFER TO SCS DWG. 906 DETAILS A & B FOR DETAILS ON THE INFILTRATION TRENCH.

LOT 99

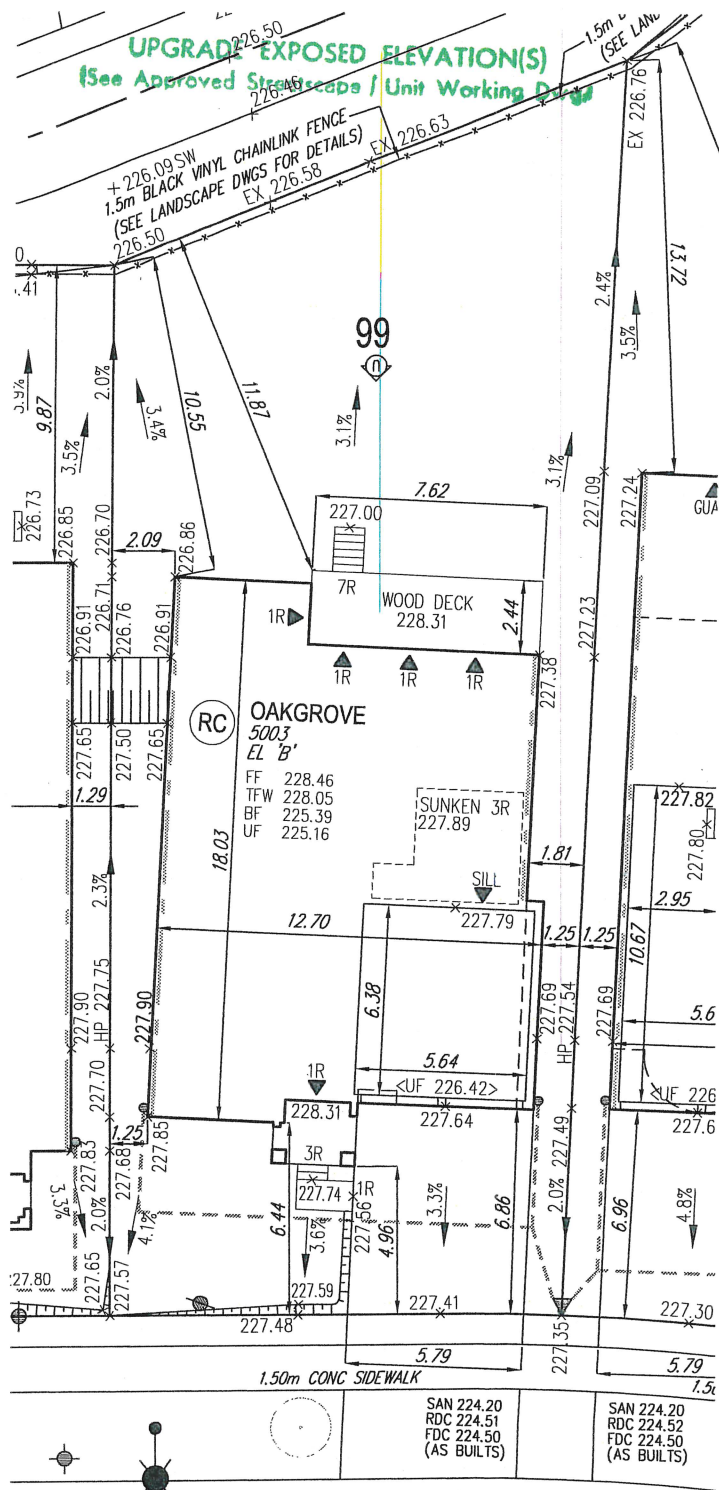
WE HAVE REVIEWED THE SITE AND GRADING PLAN FOR THE PROPOSED BUILDING TO BE CONSTRUCTED, AND HEREBY CERTIFY THAT:

- The proposed grading and appurtenant drainage works comply with sound engineering principles.
- The proposed grading is in conformity with the grading plan approval for this subdivision and will not adversely affect adjacent lands.
- The proposed building is compatible with the proposed grading.
- The proposed water service curb stop is to be located in the grassed portion of the front yard.
- The driveway conforms with the City of Vaughan By-Law 1-88 as amended and is a minimum 1.0 metre clear of all street landscape catch basins.
- The proposed building is a minimum of 0.6 m side yard setback from a drainage swale.

SCS CONSULTING GROUP LTD.



Date: Feb. 14/20 Reviewed By: MRC



PURPLE CREEK ROAD

AIR CONDITIONER ROUGH
IN REQUIRED

FOR BUILDING PERMIT ONLY

All site plans and construction to
comply with City of Vaughan
By-Law 1-88 a.a.

20-110EP

FOR OFFICE USE ONLY

CITY OF VAUGHAN
BUILDING STANDARDS DEPARTMENT
PLANS EXAMINATION

RECEIVED FEB 26 2020

ZONING: MARCH 2, 20 C.T.
GRADING: 2/21/20 MP

20-346

COVERAGE CALCULATION	
LOT NO.:	99
LOT AREA:	607.10 m ²
BLDG. AREA: (INCL. PORCH)	207.36 m ²
LOT COVERAGE:	34.16 %
LANDSCAPE AREA:	340.84 m ²
LANDSCAPE COV.:	56.14 %
BUILDING HEIGHT	
MAX BUILDING HEIGHT:	11.00 m
FROM AVERAGE FIN. GRADE@ FRONT OF BUILDING TO MEAN	
ESTABLISHED GRADE:	227.70
F.F. TO TOP OF ROOF:	11.39 m
F.F. TO MEAN OF ROOF:	8.77 m
PROPOSED BLDG. HGT:	9.51 m
FRONT YARD LANDSCAPE AREA	
FRONT YARD AREA:	74.90 m ²
LANDSCAPE AREA:	46.93 m ²
COVERAGE (60% MIN.):	62.66 %
SOFT LANDSCAPE AREA:	44.55 m ²
SOFT COVERAGE (60% MIN.):	94.93 %
REAR YARD LANDSCAPE AREA	
REAR YARD AREA:	222.76 m ²
SOFT LANDSCAPE AREA:	221.26 m ²
COVERAGE (60% MIN.):	99.33 %

ENGINEERED FILL LOTS	DOUBLE STM / SAN / FDC / RDC CONNECTION. REFER TO SCS DWG. 902 DETAIL I-1 MODIFIED.
STREET TREE	SINGLE STM / SAN / FDC / RDC CONNECTION. REFER TO SCS DWG. 902 DETAIL I-1 MODIFIED.
RETAINING WALL	
CATCH BASIN	
INFILTRATION TRENCH	

CONNECTION TO RDC LATERAL SERVICE AT THE FRONT OF THE HOUSE (SEE NOTE 1.1) AND CONNECTION TO REAR LOT INFILTRATION TRENCH WHEN ROOF CONFIGURATION IS RR (SEE NOTE 1.3)	SANITARY MANHOLE
	STORM MANHOLE
	VALVE & CHAMBER
	VALVE & BOX
	HYDRANT

WATER SERVICE	BELL PEDESTAL
HYDRO SERVICE	CABLE PEDESTAL
SHEET DRAINAGE	HYDRO POLE
STREET LIGHT PEDESTAL	HYDRO POLE GUY
STREET LIGHT	STREET SIGN
TRAFFIC SIGNAL POWER PEDESTAL	COMMUNITY MAILBOX

HYDRO TRANSFORMER	SANITARY LINE
PADMOUNTED MOTOR	STORM WATER LINE
EXISTING GRADES	WATERLINE
189.65	HYDRO LINE
190.10 PROPOSED GRADES	GAS LINE
2.0% SWALE DIRECTION	CABLE LINE
EMBRANEMENT / BERM MAX 3:1 SLOPE	BELL
	HYDRO, GAS, BELL, CABLE LINE

DOWNSPOUTS	SUMP PUMP AND SURFACE DISCHARGE LOCATION
WINDOWS PERMITTED	UPGRADE ELEVATION
45 MINUTE FIRE RATED WALL SIDEYARD DISTANCE IS LESS THAN 1.2m TO LOT LINE (NO WINDOWS PERMITTED)	CHAIN LINK FENCE
EXTERIOR DOOR LOCATION	FENCE AND GATE
EXTERIOR DOOR LOCATION IF GRADE PERMITS	PRIVACY FENCE
	ACOUSTIC FENCE

FF FINISHED FLOOR	TOP OF FOUNDATION WALL
TFW BASEMENT FLOOR	BASEMENT FLOOR
UF UNDERSIDE OF FOOTING	UNDERSIDE OF FOOTING
WOB WALKOUT DECK	WALKOUT DECK
MOD MODIFIED	MODIFIED
REV REVERSED	REVERSED
ND NO DOOR	NO DOOR
HIGHLIGHTED GRADE	HIGHLIGHTED GRADE

SITING AND GRADING PLAN

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION
Allan Whiting

NAME

REGISTRATION INFORMATION

HUNT DESIGN ASSOCIATES INC.

23177

BCIN

19695

HUNT DESIGN ASSOCIATES INC.

www.huntdesign.ca

GOLDPARK HOMES - 217020
PINE VALLEY, VAUGHAN ONT.

Drawn By DM Checked By OF Scale 1:250 File Number 217020WSP01

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Lot / Page Number

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