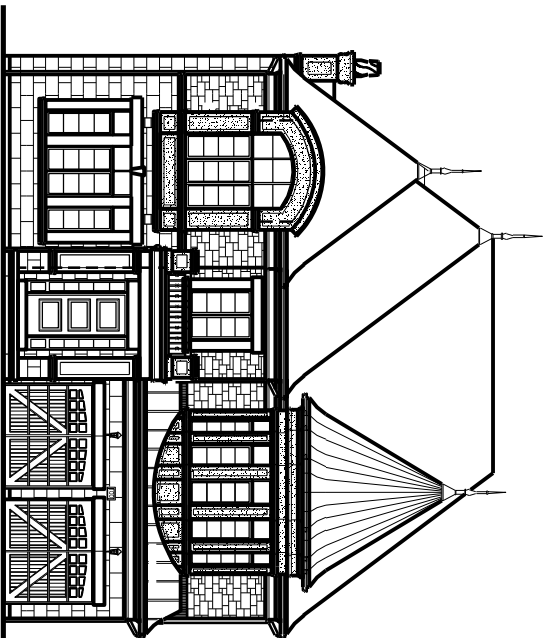
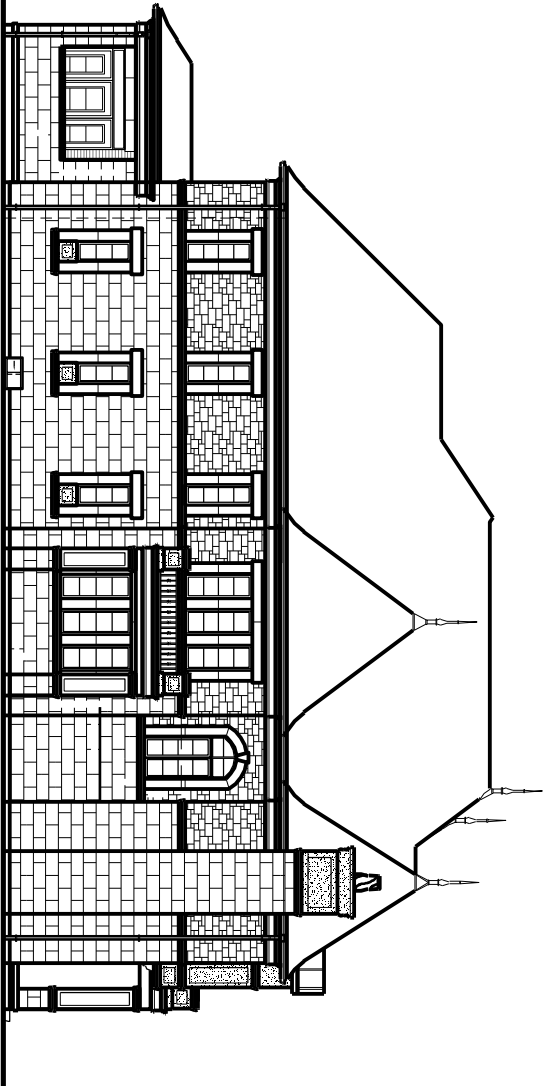




FRONT ELEVATION 'B'



FLANKAGE ELEVATION 'B'

UNIT 5005B - 'THE KNIGHTSWOOD'- LOT 158

SB-12 ENERGY EFFICIENCY DESIGN MATRIX

PRESCRIPTIVE COMPLIANCE		SB-12 (SECTION 3.1.1) TABLE 3.1.1.2A	
BUILDING COMPONENT	SPACE HEATING FUEL		REQUIRED
	☒ GAS	☐ OIL	
INSULATION RSI (R) VALUE			PROPOSED
CEILING W/ ATTIC SPACE	10.56 (R60)	10.56 (R60)	
CEILING W/O ATTIC SPACE	5.46 (R31)	5.46 (R31)	
EXPOSED FLOOR	5.46 (R31)	5.46 (R31)	
WALLS ABOVE GRADE	3.87 (R22)	3.87 (R22)	
BASEMENT WALLS	3.52 c1	3.52 c1	
* PROPOSED VALUES MAY BE SUBSTITUTED W/ 2.1+1+1.76c1 (R12+R10c1)			
BELOW GRADE SLAB ENTIRE SURFACE > 600mm BELOW GRADE	-	(R20 c4) *	(R20 c1) *
EDGE OF BELOW GRADE SLAB ≤ 600mm BELOW GRADE	1.76 (R10)	1.76 (R10)	-
HEATED SLAB OR SLAB ≤ 600mm BELOW GRADE	1.76 (R10)	1.76 (R10)	
WINDOWS & DOORS			
WINDOWS/SLIDING GLASS DOORS (MAX U-VALUE)	1.6	1.6	
SKYLIGHTS (MAX. U-VALUE)	2.8	2.8	
APPLIANCE EFFICIENCY			
SPACE HEATING EQUIP. (AFUE%)	96%	96%	
HRV EFFICIENCY (%)	75%	75%	
DHW HEATER (EF)	0.8	0.8	

- 1 - TITLE PAGE
- 2 - BASEMENT PLAN, EL. 'B' - CORNER- LOT 158
- 3 - GROUND FLOOR PLAN, EL. 'B' - CORNER- LOT 158
- 4 - SECOND FLOOR PLAN, EL. 'B' - CORNER- LOT 158
- 5 - FRONT ELEVATION 'B' - CORNER - LOT 158
- 6 - UPGRADE LEFT SIDE ELEVATION 'B' - CORNER- LOT 158
- 7 - RIGHT SIDE ELEVATION 'B' - CORNER- LOT 158
- 8 - UPGRADED REAR ELEVATION 'B' - CORNER- LOT 158
- 9 - CROSS SECTION 'A-A' - LOT 158
- 10 - CONSTRUCTION NOTES

AREA CALCULATIONS		EL. 'B' CORN.	
STD. PLAN			
GROUND FLOOR AREA	2002 sq. ft.		
	(191.57 sq. m.)		
SECOND FLOOR AREA	2409 sq. ft.		
	(223.80 sq. m.)		
SUBTOTAL	4417 sq. ft.		
	(415.37 sq. m.)		
DEULT ALL OPEN AREAS	5 sq. ft.		
	(0.46 sq. m.)		
TOTAL NET AREA	4466 sq. ft.		
	(414.90 sq. m.)		
FINISHED BASEMENT AREA	94 sq. ft.		
	(8.73 sq. m.)		
COVERGE	2866 sq. ft.		
W/OUT PORCH	(249.44 sq. m.)		
COVERGE	2743 sq. ft.		
W/ PORCH	(254.63 sq. m.)		
COVERGE	3099 sq. ft.		
W/ LOGSKA	(287.91 sq. m.)		
WINDOW/ WALL AREA		EL. 'B'	
CALCULATIONS		CORNER	
GROSS WALL AREA		5397 sq. ft.	
		(501.40 sq. m.)	
GROSS WINDOW AREA		771.25 sq. ft.	
(INCL. GLASS DOORS & SKYLIGHTS)		(71.66 sq. m.)	
TOTAL WINDOW %		14.29 %	

GOLDPARK
WORTH MORE



PINE VALLEY
FOREVERGREEN

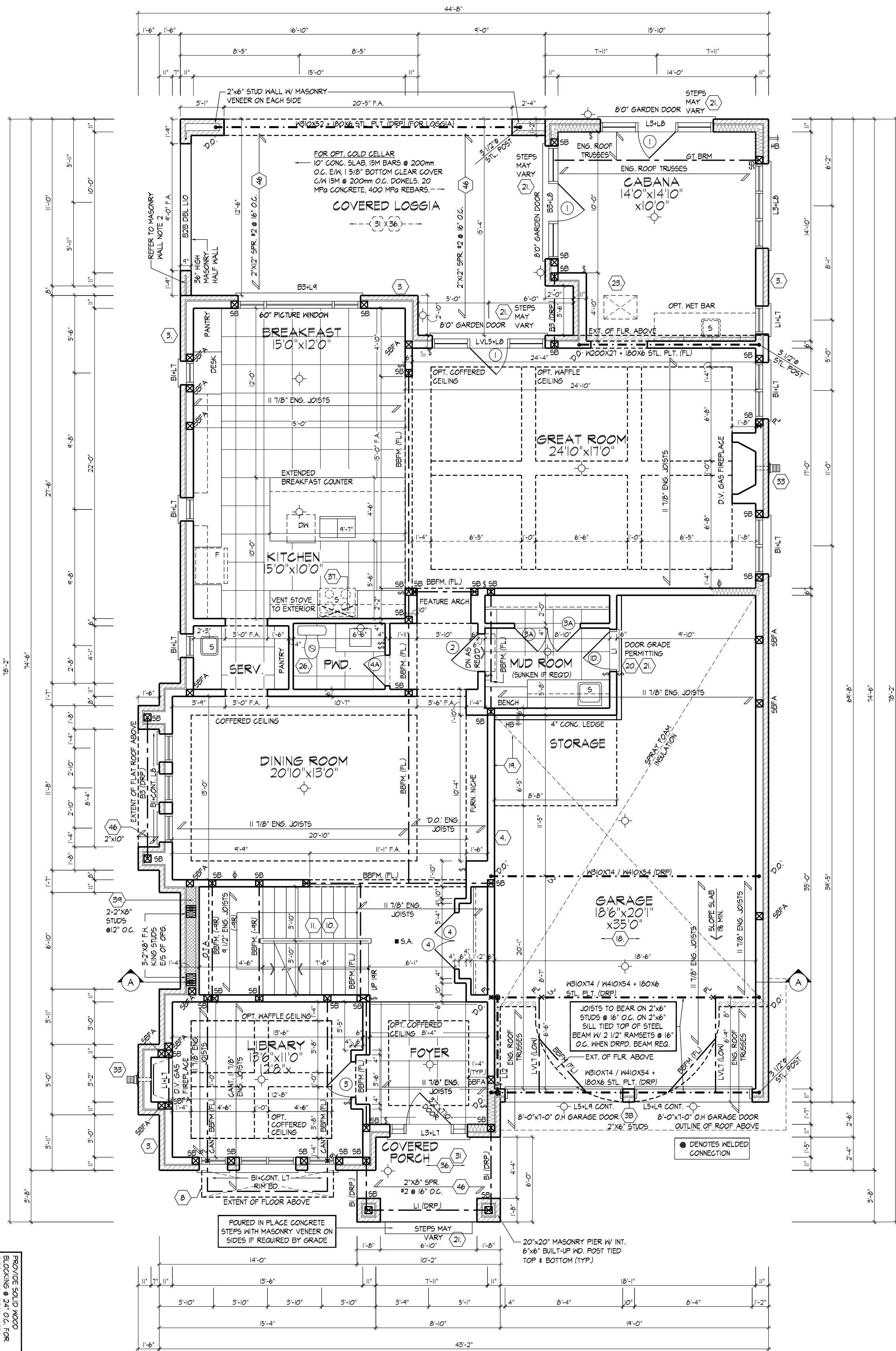
THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE CALCULATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE CITY OF KITCHENER CODE OF BY-LAW 200.01.
I hereby certify that the above information is true and correct to the best of my knowledge and belief.
DATE: 2020.10.29
SIGNATURE: [Signature]
NAME: [Name]
HUNT DESIGN ASSOCIATES INC.

HUNT
DESIGN ASSOCIATES INC.

GOLDPARK HOMES - 217020 UNIT 5005 - 'THE KNIGHTSWOOD'- LOT 158
PINE VALLEY, VAUGHAN, ONT.
Drawn By: MN/NEA SB 3/16"=1'-0" 217020WS5005-LOT158.DWG
Checked By: SB 3/16"=1'-0" 217020WS5005-LOT158.DWG
Scale: 1"=1'-0" 217020WS5005-LOT158.DWG
Rev: 2020.10.29
Page Number: 1 of 10

7. -	-	-
6. -	-	-
5. -	-	-
4. -	-	-
3. -	-	-
2. -	-	-
1. ISSUED FOR CLIENT REVIEW	2020.10.29	AW
REVISIONS	DATE (YYYYMMDD)	BY

GROUND FLOOR PLAN, EL. 'B' - CORNER-LOT 158

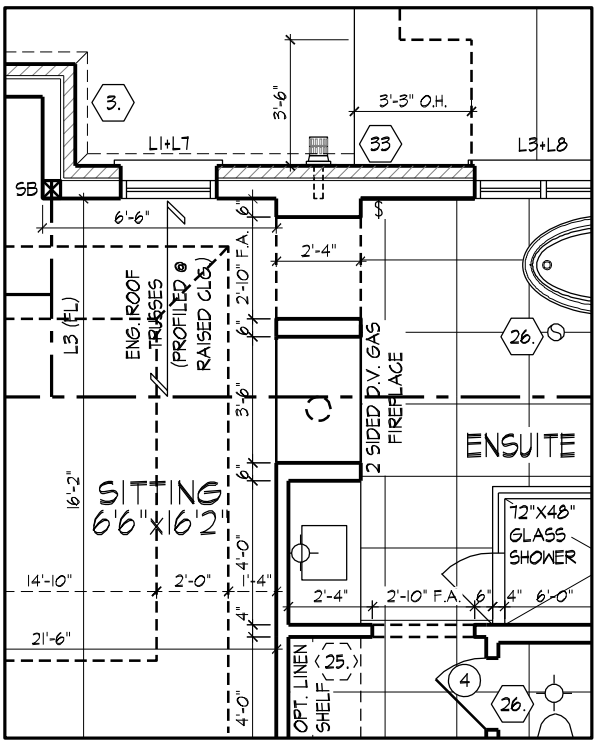


MASONRY WALL NOTE 2.	
MASONRY WALL LOAD BEARING	SOLID MASONRY WALL W/ 2-10M VERT. REBARS (LAP 1'-6" GROUTED INTO BRICK JOINT)
	2"x6" SILL PLATE @ TOP ANCHORED TO SOLID MASONRY WALL W/ 1/2" Φ x 12" BOLTS @ 24" O.C. STAGGERED
	MASONRY VENEER TIED TO MASONRY VENEER W/ GALV. METAL TIES @ 16" O.C. AND 24" VERTICAL. FILL VOID BETWEEN MASONRY VENEER W/ THES SOLID W/ MORTAR

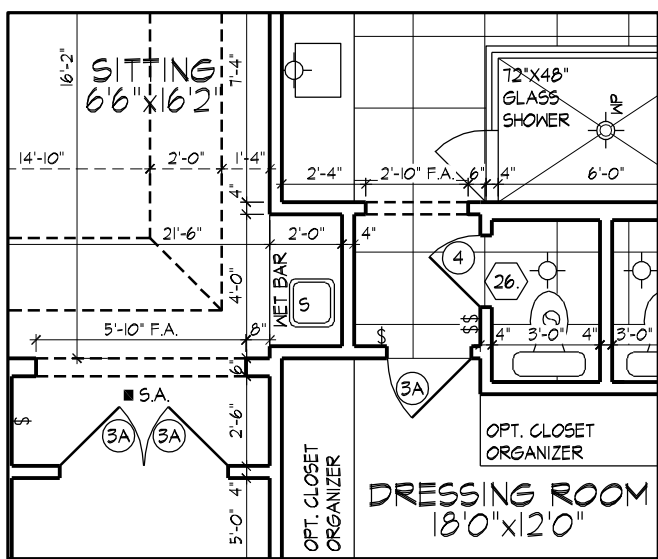
PREPARE SOLID WOOD BLOCKING @ 24" O.C. FOR FRING. JOIST SPAN WHEN PARALLEL W/ EXTERIOR WALL.	REFER TO FLOOR JOIST MANUFACTURERS DRAWINGS FOR LAYOUT, SPACING, BLOCKING, STRAPPING, REQUIREMENTS, INSTALLATION DETAILS AND HANGER SIZES, & STRUT/LUO THICKNESS.	SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.	REFER TO ROOF TRUSS MANUFACTURERS DRAWINGS FOR LAYOUT, SPACING, INSTALLATION DETAILS AND HANGER SIZES.
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It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions of the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

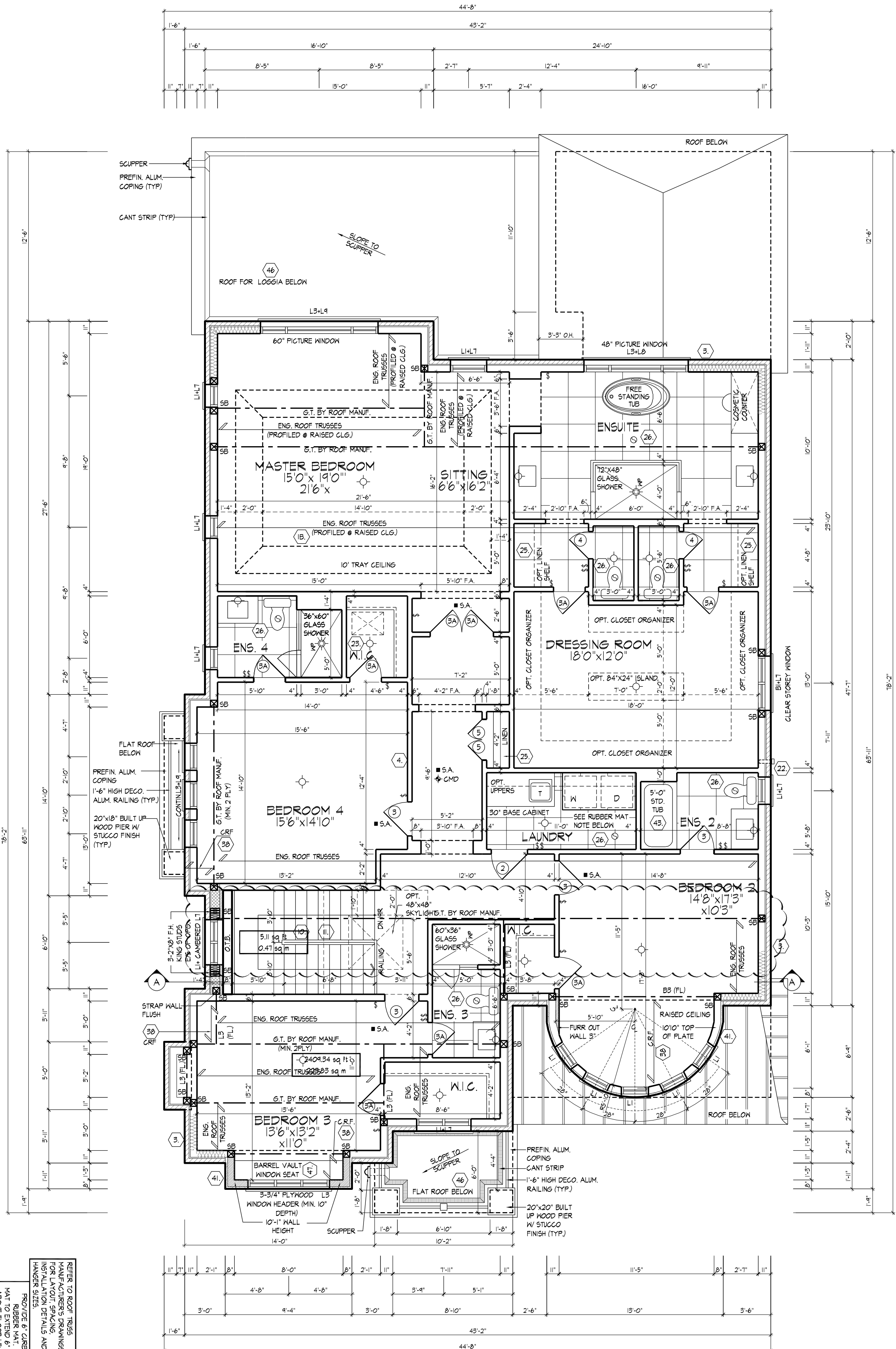


PART. SECOND FLOOR PLAN
OPT. SITTING AREA FIREPLACE



PART. SECOND FLOOR PLAN
OPT. SITTING AREA WET BAR

SECOND FLOOR PLAN, EL. B' - CORNER- LOT 158



REVIEW TO ROOF TRUSSES
MANUFACTURER'S DRAWINGS
FOR LAYOUT, SPACING,
INSTALLATION DETAILS AND
HANGER SIZES.

PROVIDE 6' CIRC &
RUBBER MAT.
MAT TO EXTEND 6' MIN
ABOVE FLOOR LEVEL.

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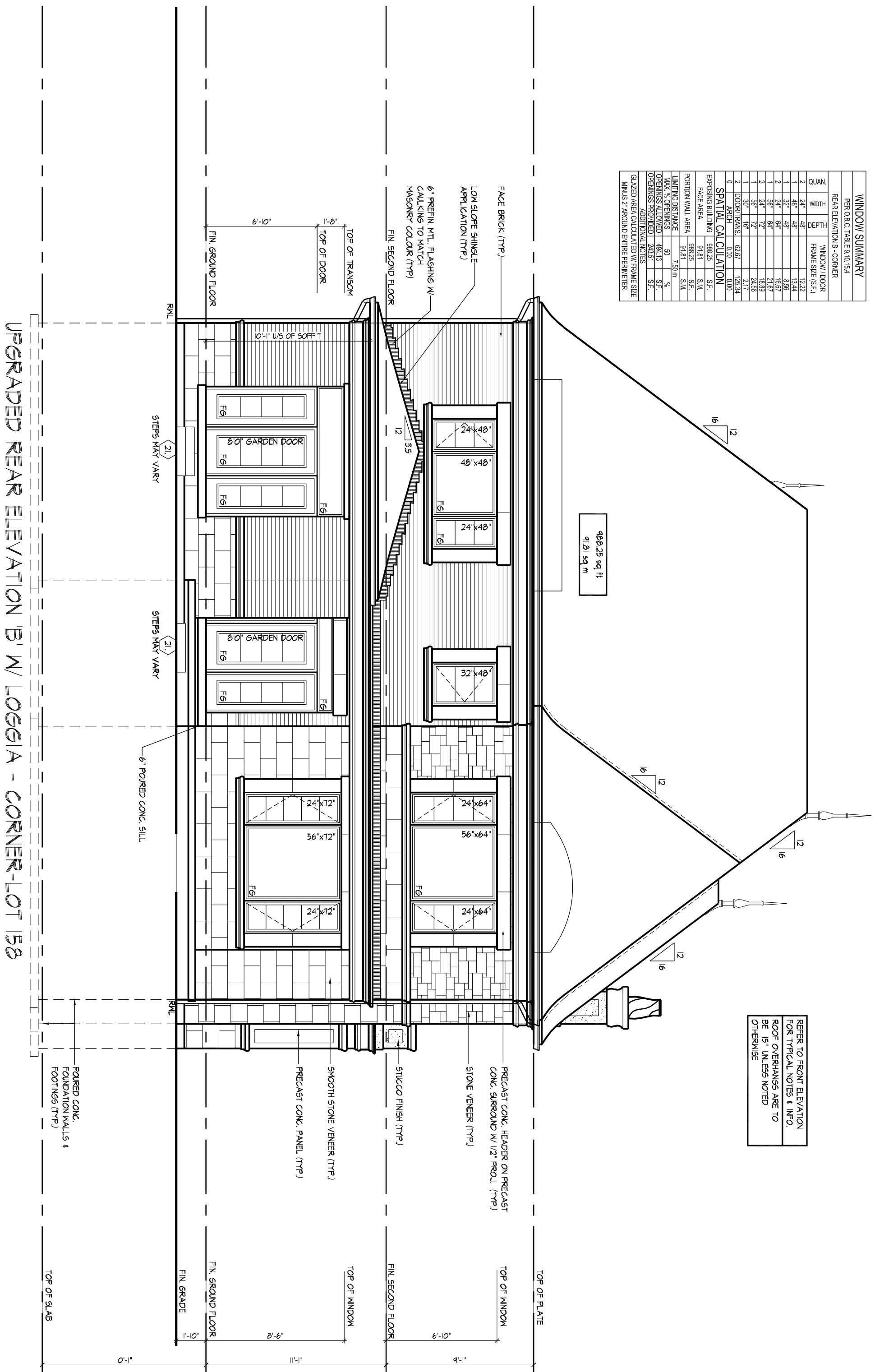
FRONT ELEVATION 'B' - CORNER LOT 158

FRONT ELEVATION 'B' - CORNER - LOT 158
GOLDPARK HOMES - 217020 UNIT 5005 - THE KNIGHTSWOOD-LOT 158
 PINE VALLEY, VAUGHAN, ONT. REV.2020.10.29

THE UNDERSIGNED HAS RECEIVED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE OFFICIAL BUILDING CODE TO BE A DESIGNER.	DATE	SIGNATURE	BC
QUALIFICATION INFORMATION Olin Fairbairn			2020
REGISTRATION INFORMATION HUNT DESIGN ASSOCIATES INC.			1969

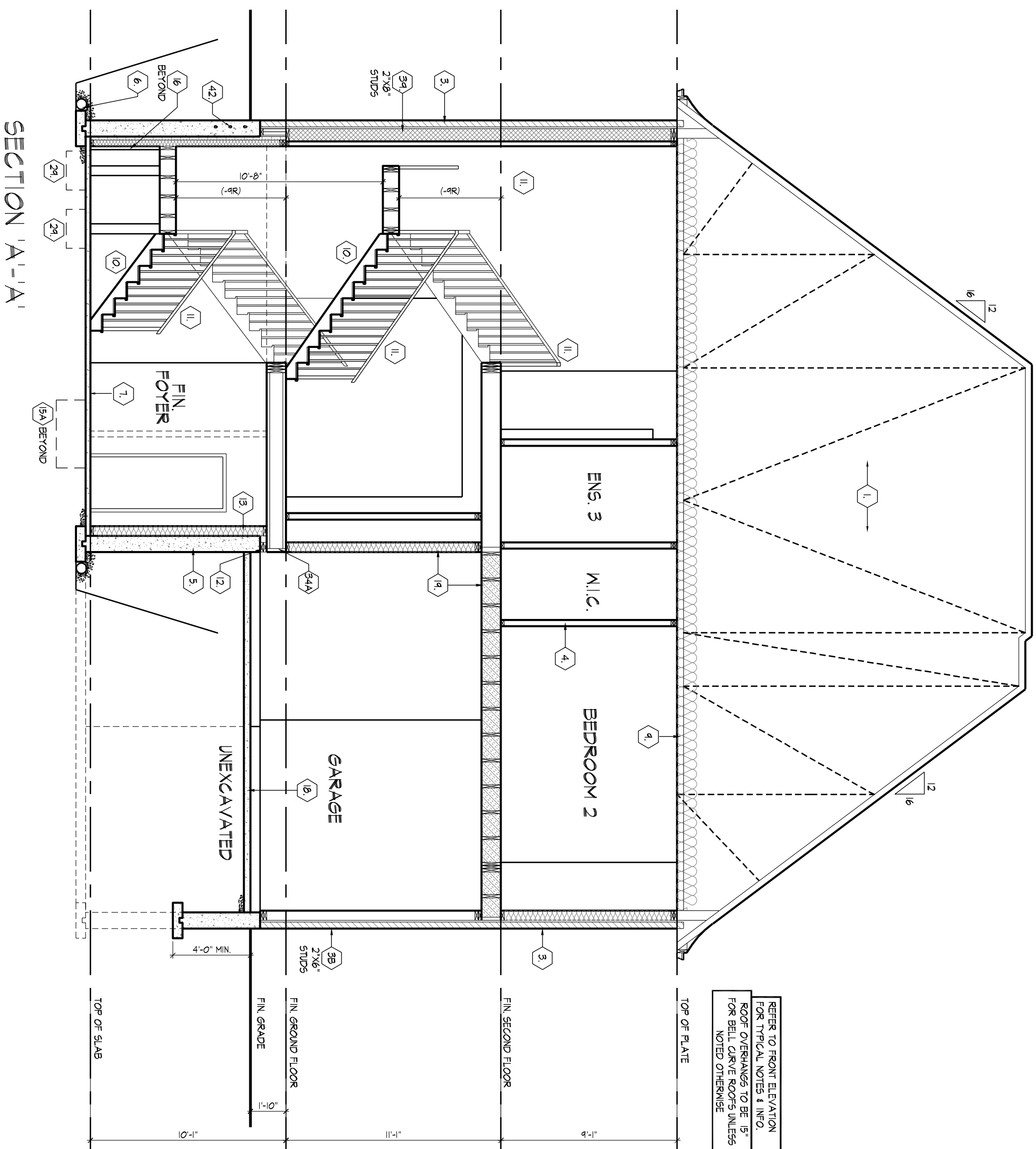
[illegible]

WINDOW SUMMARY									
PERIODIC DATA 01/14									
REAR ELEVATION - CORNER									
QUAN.	WIDTH	DEPTH	WINDOW / DOOR	FRAME SIZE (SQ.)					
2	42"	48"	1/2	17.2					
2	42"	48"	1/2	17.2					
2	36"	48"	1/2	13.6					
1	32"	48"	1/2	15.5					
2	24"	64"	1/2	15.7					
1	56"	64"	2 1/2	35.7					
2	42"	72"	1/2	20.2					
2	42"	72"	1/2	20.2					
1	30"	16"	1/2	4.7					
1	30"	16"	1/2	4.7					
2	DOORFRAMES	62.67	1/2	32.54					
0	ARCH	0.00	0.00						
SPATIAL CALCULATION									
EXPONED BUILDING					98.25	SQ.			
FACED AREA					98.25	SQ.			
PORTION WALL AREA					91.61	SQ.			
LIVING SPACE					7.0 m				
MAX. % OPENINGS					50	%			
MAX. % GLAZING					24.51	%			
OPENING PER SQUARE					24.51	SQ.			
ADDITIONAL NOTES									
GLAZED PANEL CALCULATED W/ FRAME SIZE									
MINUS 2" AROUND INTERIOR PERIMETER									



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