



FRONT ELEVATION 'A'



FRONT ELEVATION 'B'

UNIT 4204 - 'THE BROOKVALLEY'

SB-12 ENERGY EFFICIENCY DESIGN MATRIX

PRESCRIPTIVE COMPLIANCE	SB-12 (SECTION 3.1.1) TABLE 3.1.1.2.A
PACKAGE A1	SPACE HEATING FUEL
	<input checked="" type="checkbox"/> GAS <input type="checkbox"/> OIL
	<input type="checkbox"/> ELECTRIC <input type="checkbox"/> PROPANE
	<input type="checkbox"/> EARTH <input type="checkbox"/> SOLID FUEL

BUILDING COMPONENT	REQUIRED	PROPOSED
INSULATION RSI (R) VALUE		
CEILING W/ ATTIC SPACE	10.56 (R60)	10.56 (R60)
CEILING W/O ATTIC SPACE	5.46 (R31)	5.46 (R31)
EXPOSED FLOOR	5.46 (R31)	5.46 (R31)
WALLS ABOVE GRADE	3.87 (R22)	3.87 (R22)
BASEMENT WALLS	3.52 ci (R20 ci) *	3.52 ci (R20 ci) *
* PROPOSED VALUES MAY BE SUBSTITUTED W/ 2.11+1.76ci (R12+R10ci)		
BELOW GRADE SLAB ENTIRE SURFACE > 600mm BELOW GRADE	-	-
EDGE OF BELOW GRADE SLAB ≤ 600mm BELOW GRADE	1.76 (R10)	1.76 (R10)
HEATED SLAB OR SLAB ≤ 600mm BELOW GRADE	1.76 (R10)	1.76 (R10)
WINDOWS & DOORS		
WINDOWS/SLIDING GLASS DOORS (MAX U-VALUE)	1.6	1.6
SKYLIGHTS (MAX. U-VALUE)	2.8	2.8
APPLIANCE EFFICIENCY		
SPACE HEATING EQUIP. (AFUE%)	96%	96%
HRV EFFICIENCY (%)	75%	75%
DHW HEATER (EF)	0.8	0.8

AREA CALCULATIONS

* SEE PAGE 2 FOR AREA & WINDOW / WALL CALCULATIONS

- 1 - TITLE PAGE
- 2 - AREA CALCULATIONS
- 3 - BASEMENT PLAN, EL. 'A'
- 4 - OPT. 9' BASEMENT PLAN, EL. 'A'
- 5 - GROUND FLOOR PLAN, EL. 'A'
- 6 - SECOND FLOOR PLAN, EL. 'A'
- 7 - OPT. 5 BED. SECOND FLOOR PLAN, EL. 'A'
- 8 - PART. BASEMENT PLAN, EL. 'B'
- 9 - PART. OPT. 9' BASEMENT PLAN, EL. 'B'
- 10 - PART. GROUND FLOOR PLAN, EL. 'B'
- 11 - PART. SECOND FLOOR PLAN, EL. 'B'
- 12 - PART. OPT. 5 BED. SECOND FLOOR PLAN, EL. 'B'
- 13 - PART. BSMT. & GRND. FLR. PLAN, EL. 'A' FOR SUNK. MUDROOM (EL. 'B' SIMILAR)
- 14 - FRONT ELEVATION 'A' & INTERIOR PORTICO EL.
- 15 - FLANKAGE ELEVATION 'A'
- 16 - RIGHT SIDE ELEVATION 'A'
- 17 - UPGRADED & PART. FOR OPT. 5 BED. REAR ELEVATION 'A'
- 18 - FRONT ELEVATION 'B'
- 19 - FLANKAGE ELEVATION 'B'
- 20 - RIGHT SIDE ELEVATION & PART. FOR OPT. SECOND FLR. EL. 'B'
- 21 - UPGRADED & PART. FOR OPT. 5 BED. REAR ELEVATION 'B'
- 22 - CROSS SECTION 'A-A'
- 23 - DETAILS
- 24 - CONSTRUCTION NOTES 1
- 25 - CONSTRUCTION NOTES 2
- W1 - WALK OUT DECK CONDITION
- W2 - LOOK OUT DECK CONDITION
- W3 - WALK OUT BASEMENT CONDITION
- W3a - RIGHT SIDE ELEVATION 'A' - WOB CONDITION
- W3b - SPATIAL CALCULATIONS - DECK CONDITIONS
- W4 - DECK DETAILS 1
- W5 - DECK DETAILS 2
- W6 - DECK DETAILS 3
- W7 - DECK DETAILS 4

7. -	-	-
6. -	-	-
5. -	-	-
4. -	-	-
3. -	-	-
2. REV. AS PER FLOOR, ROOF AND STRUCTURAL ENGINEER ISSUE FOR PERMIT	2020.03.30	MAS
1. REVISED DESIGN AS PER CLIENT COMMENTS	2019/11/27	BB
REVISIONS	DATE (YYYY/MM/DD)	BY

TITLE PAGE

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AREA CALCULATIONS	EL. 'A'	EL. 'B'	EL. 'A'	EL. 'B'
	STD. & OPT. 2ND PLAN	STD. & OPT. 2ND PLAN	OPT. 9' BSMT	OPT. 9' BSMT
GROUND FLOOR AREA	1655 sq. ft. (153.75 sq. m.)	1673 sq. ft. (155.43 sq. m.)	1655 sq. ft. (153.75 sq. m.)	1673 sq. ft. (155.43 sq. m.)
SECOND FLOOR AREA	2020 sq. ft. (187.66 sq. m.)	2047 sq. ft. (190.17 sq. m.)	2020 sq. ft. (187.66 sq. m.)	2047 sq. ft. (190.17 sq. m.)
SUBTOTAL	3675 sq. ft. (341.42 sq. m.)	3720 sq. ft. (345.60 sq. m.)	3675 sq. ft. (341.42 sq. m.)	3720 sq. ft. (345.60 sq. m.)
DEDUCT ALL OPEN AREAS	67 sq. ft. (6.22 sq. m.)	74 sq. ft. (6.87 sq. m.)	67 sq. ft. (6.22 sq. m.)	74 sq. ft. (6.87 sq. m.)
TOTAL NET AREA	3608 sq. ft. (335.19 sq. m.)	3646 sq. ft. (338.72 sq. m.)	3608 sq. ft. (335.19 sq. m.)	3646 sq. ft. (338.72 sq. m.)
FINISHED BASEMENT AREA	41 sq. ft. (3.81 sq. m.)	41 sq. ft. (3.81 sq. m.)	35 sq. ft. (3.25 sq. m.)	35 sq. ft. (3.25 sq. m.)
COVERAGE W/OUT PORCH	2067 sq. ft. (192.03 sq. m.)	2085 sq. ft. (193.70 sq. m.)	2067 sq. ft. (192.03 sq. m.)	2085 sq. ft. (193.70 sq. m.)
COVERAGE W/ PORCH	2144 sq. ft. (199.18 sq. m.)	2153 sq. ft. (200.02 sq. m.)	2144 sq. ft. (199.18 sq. m.)	2153 sq. ft. (200.02 sq. m.)

WINDOW / WALL AREA CALCULATIONS	EL. 'A'	EL. 'A' - WOD	EL. 'A' - LOD	EL. 'A' - WOB	EL. 'A' - WOB
	STD. PLAN	STD. PLAN	STD. PLAN	STD. PLAN	OPT. 9' BSMT
GROSS WALL AREA	4567.57 sq. ft. (424.34 sq. m.)	4596.68 sq. ft. (427.05 sq. m.)	4678.55 sq. ft. (434.65 sq. m.)	4905.98 sq. ft. (455.78 sq. m.)	4949.65 sq. ft. (459.84 sq. m.)
GROSS WINDOW AREA (INCL. GLASS DOORS & SKYLIGHTS)	577.43 sq. ft. (53.65 sq. m.)	580.76 sq. ft. (53.95 sq. m.)	594.09 sq. ft. (55.19 sq. m.)	671.26 sq. ft. (62.36 sq. m.)	679.59 sq. ft. (63.14 sq. m.)
TOTAL WINDOW %	12.64 %	12.63 %	12.70 %	13.68 %	13.73 %
	EL. 'A'	EL. 'A' - WOD	EL. 'A' - LOD	EL. 'A' - WOB	EL. 'A' - WOB
	OPT. SEC. FLR.	OPT. SEC. FLR.	OPT. SEC. FLR.	OPT. SEC. FLR.	OPT. SEC., 9' B
GROSS WALL AREA	4567.57 sq. ft. (424.34 sq. m.)	4596.68 sq. ft. (427.05 sq. m.)	4678.55 sq. ft. (434.65 sq. m.)	4905.98 sq. ft. (455.78 sq. m.)	4949.65 sq. ft. (459.84 sq. m.)
GROSS WINDOW AREA (INCL. GLASS DOORS & SKYLIGHTS)	616.09 sq. ft. (57.24 sq. m.)	619.43 sq. ft. (57.55 sq. m.)	632.76 sq. ft. (58.79 sq. m.)	709.93 sq. ft. (65.95 sq. m.)	718.26 sq. ft. (66.73 sq. m.)
TOTAL WINDOW %	13.49 %	13.48 %	13.52 %	14.47 %	14.51 %
	EL. 'B'	EL. 'B' - WOD	EL. 'B' - LOD	EL. 'B' - WOB	EL. 'B' - WOB
	STD. PLAN	STD. PLAN	STD. PLAN	STD. PLAN	OPT. 9' BSMT
GROSS WALL AREA	4652.24 sq. ft. (432.21 sq. m.)	4681.35 sq. ft. (434.91 sq. m.)	4763.22 sq. ft. (442.52 sq. m.)	4990.65 sq. ft. (463.65 sq. m.)	5034.32 sq. ft. (467.70 sq. m.)
GROSS WINDOW AREA (INCL. GLASS DOORS & SKYLIGHTS)	652.21 sq. ft. (60.59 sq. m.)	655.54 sq. ft. (60.90 sq. m.)	668.87 sq. ft. (62.14 sq. m.)	746.04 sq. ft. (69.31 sq. m.)	764.37 sq. ft. (71.01 sq. m.)
TOTAL WINDOW %	14.02 %	14.00 %	14.04 %	14.95 %	15.18 %
	EL. 'B'	EL. 'B' - WOD	EL. 'B' - LOD	EL. 'B' - WOB	EL. 'B' - WOB
	OPT. SEC. FLR.	OPT. SEC. FLR.	OPT. SEC. FLR.	OPT. SEC. FLR.	OPT. SEC., 9' B
GROSS WALL AREA	4652.24 sq. ft. (432.21 sq. m.)	4681.35 sq. ft. (434.91 sq. m.)	4763.22 sq. ft. (442.52 sq. m.)	4990.65 sq. ft. (463.65 sq. m.)	5034.32 sq. ft. (467.70 sq. m.)
GROSS WINDOW AREA (INCL. GLASS DOORS & SKYLIGHTS)	689.54 sq. ft. (64.06 sq. m.)	692.87 sq. ft. (64.37 sq. m.)	706.21 sq. ft. (65.61 sq. m.)	783.37 sq. ft. (72.78 sq. m.)	791.71 sq. ft. (73.55 sq. m.)
TOTAL WINDOW %	14.82 %	14.80 %	14.83 %	15.70 %	15.73 %

AREA CALCULATIONS

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION
Allan Whiting
NAME SIGNATURE
23177
BCIN

HUNT DESIGN ASSOCIATES INC. 19695



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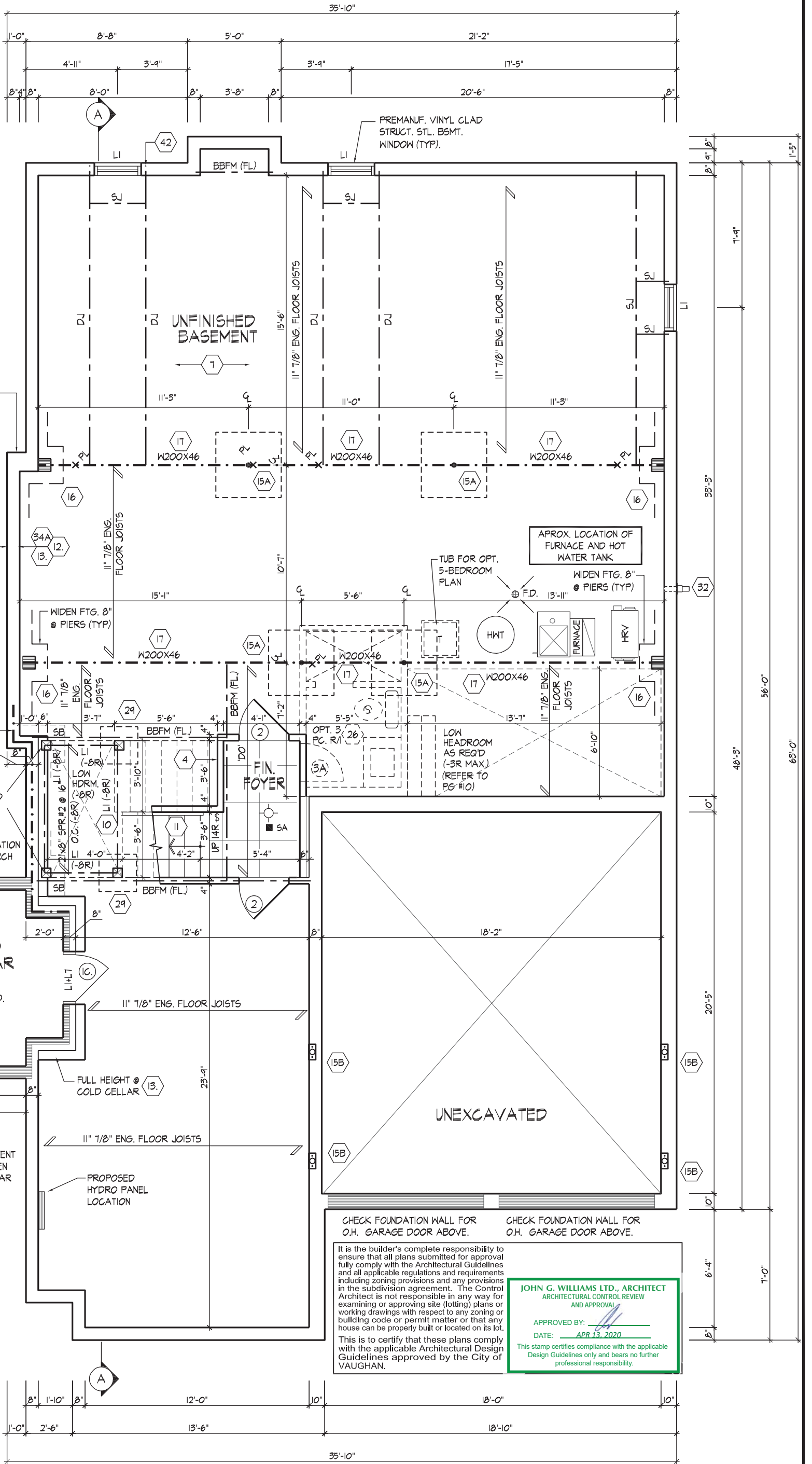
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PINE VALLEY, VAUGHAN ONT. REV.2020.03.30

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NOTE:
22"x6" CONC. STRIP
FOOTING (TYP)

APPROX. LOCATION OF
FURNACE AND HOT
WATER TANK

TUB FOR OPT.
5-BEDROOM
PLAN

WIDEN FTG. 8"
PIERS (TYP)

HWT

FURNACE

HRV

LOW HEADROOM
AS REQ'D
(-3R MAX.)
(REFER TO
PG #10)

CHECK FOUNDATION WALL FOR
O.H. GARAGE DOOR ABOVE.

CHECK FOUNDATION WALL FOR
O.H. GARAGE DOOR ABOVE.

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY:
DATE: APR 13, 2020

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BASEMENT PLAN EL. 'A'

BASEMENT PLAN, EL. 'A'

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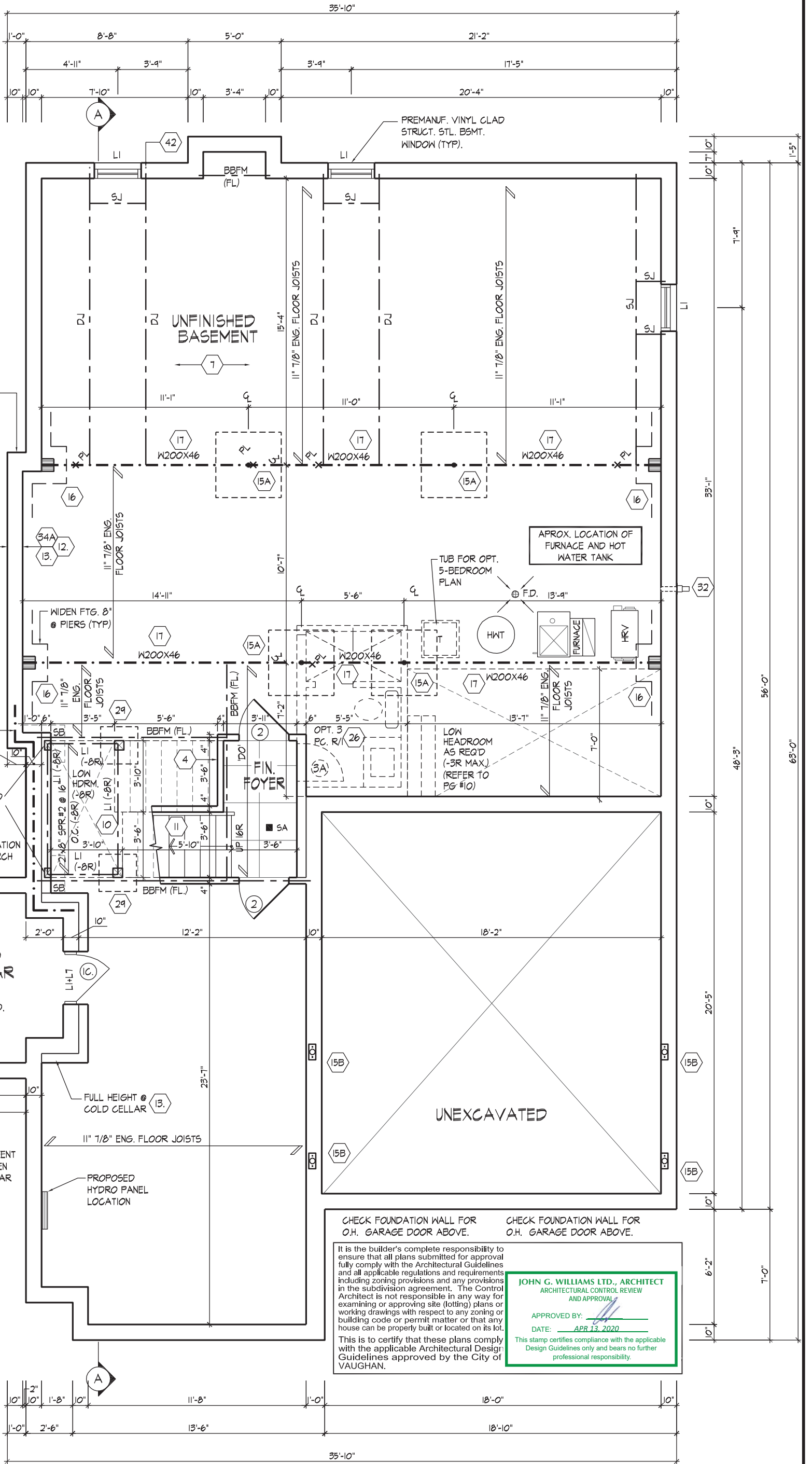
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OPT. 9' BASEMENT PLAN EL. 'A'

OPT. 9' BASEMENT PLAN, EL. 'A'

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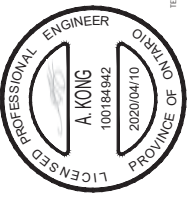
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PINE VALLEY, VAUGHAN ONT.
Unit 4204 - THE BROOKVALLEY
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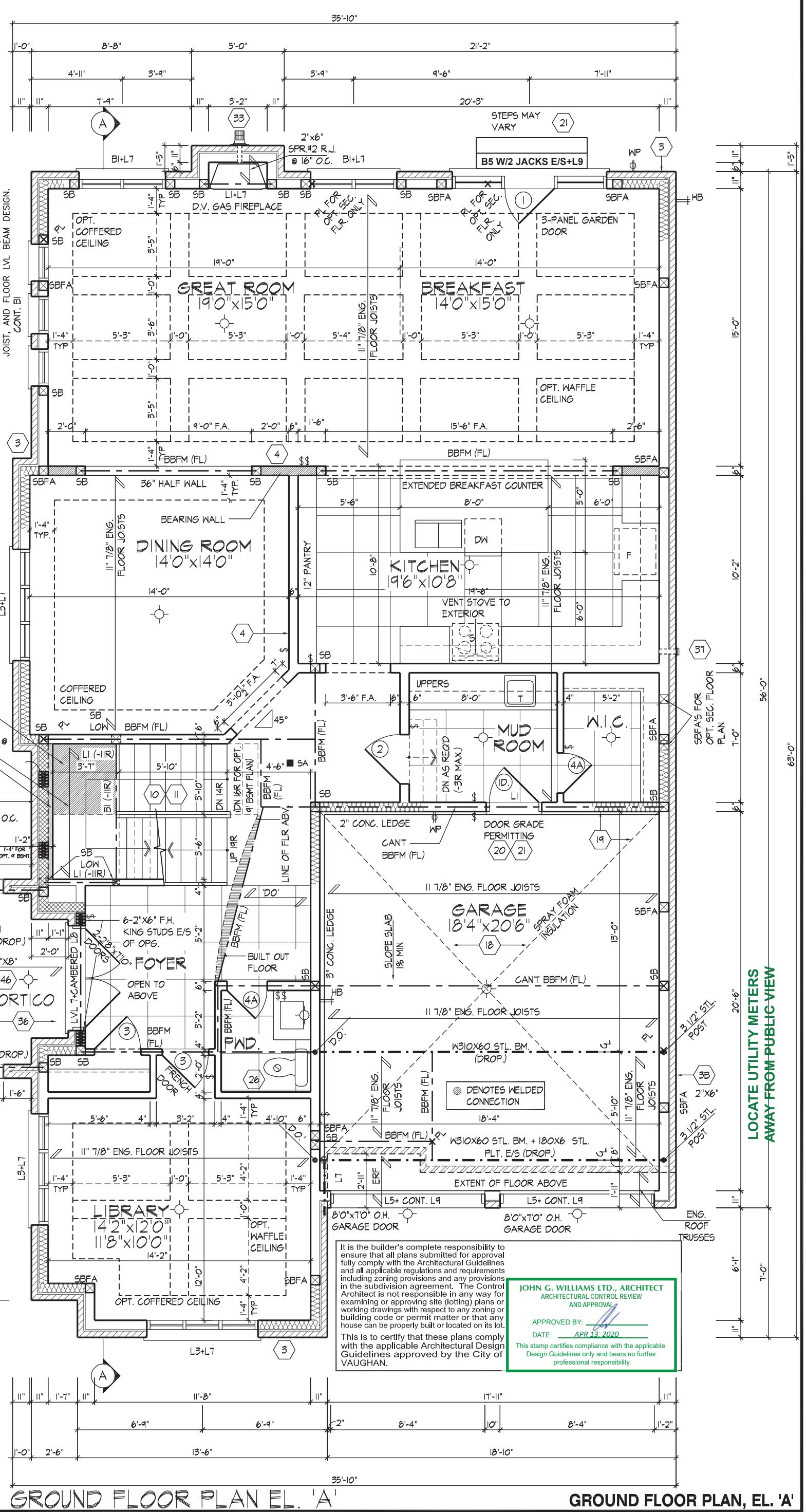
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REFER TO FLOOR JOIST
MANUFACTURER'S DRAWINGS FOR
LAYOUT, SPACING, BLOCKING &
STRAPPING REQUIREMENTS,
INSTALLATION DETAILS AND HANGER
SIZES, & SUBFLOOR THICKNESS



STRUCTURAL ONLY. EXCLUDING
NEEDED ROOF TRUSS, FLOOR
T, AND FLOOR LVL BEAM DESIGN.
CONT. B1

MASONRY WALL NON-LOAD BEARING	SOLID MASONRY WALL W/ 6-10M VERT. REBARS (LAP 1'-6" GROUTED INTO BRICK JOINT)
	MASONRY WALL TO BE TIED TO THE BOTTOM OF PORTICO ROOF W/ CORROSION RESISTANT METAL TIES @ 24" O.C. USING 3-3 1/2" NAILS EACH
	MASONRY VENEER TIED TO MASONRY VENEER WITH GALV. METAL TIES @ 16" O.C. AND 24" VERTICAL. FILL VOID BETWEEN MASONRY VENEER WYTHES SOLID W/ MORTAR



**LOCATE UTILITY METERS
AWAY FROM PUBLIC VIEW**

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: [Signature]

DATE: APR 13, 2020

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GROUND FLOOR PLAN, EL. 'A'

GOLDPARK HOMES - 217020 **UNIT 4204 - THE BROOKVALLEY**
PINE VALLEY, VAUGHAN ONT. **REV.2020.03.30**

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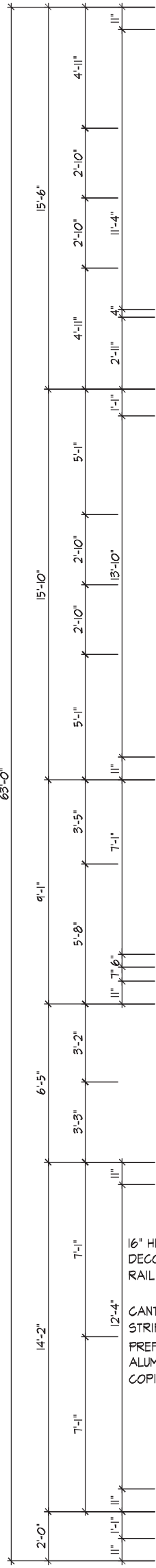
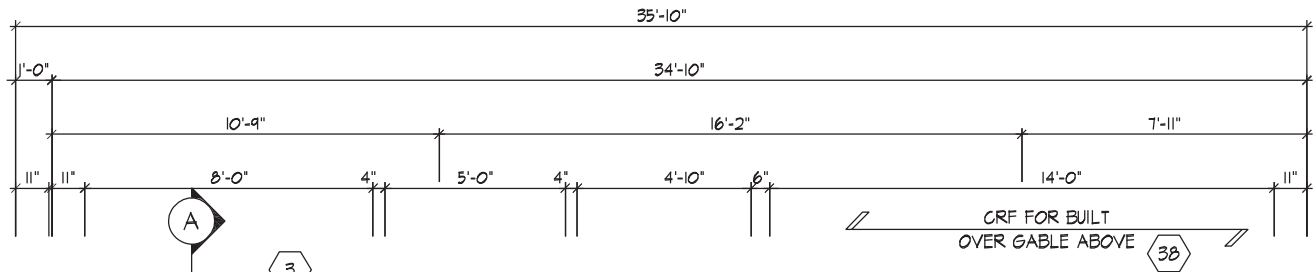
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Allan Whiting		23177
NAME	SIGNATURE	BCIN
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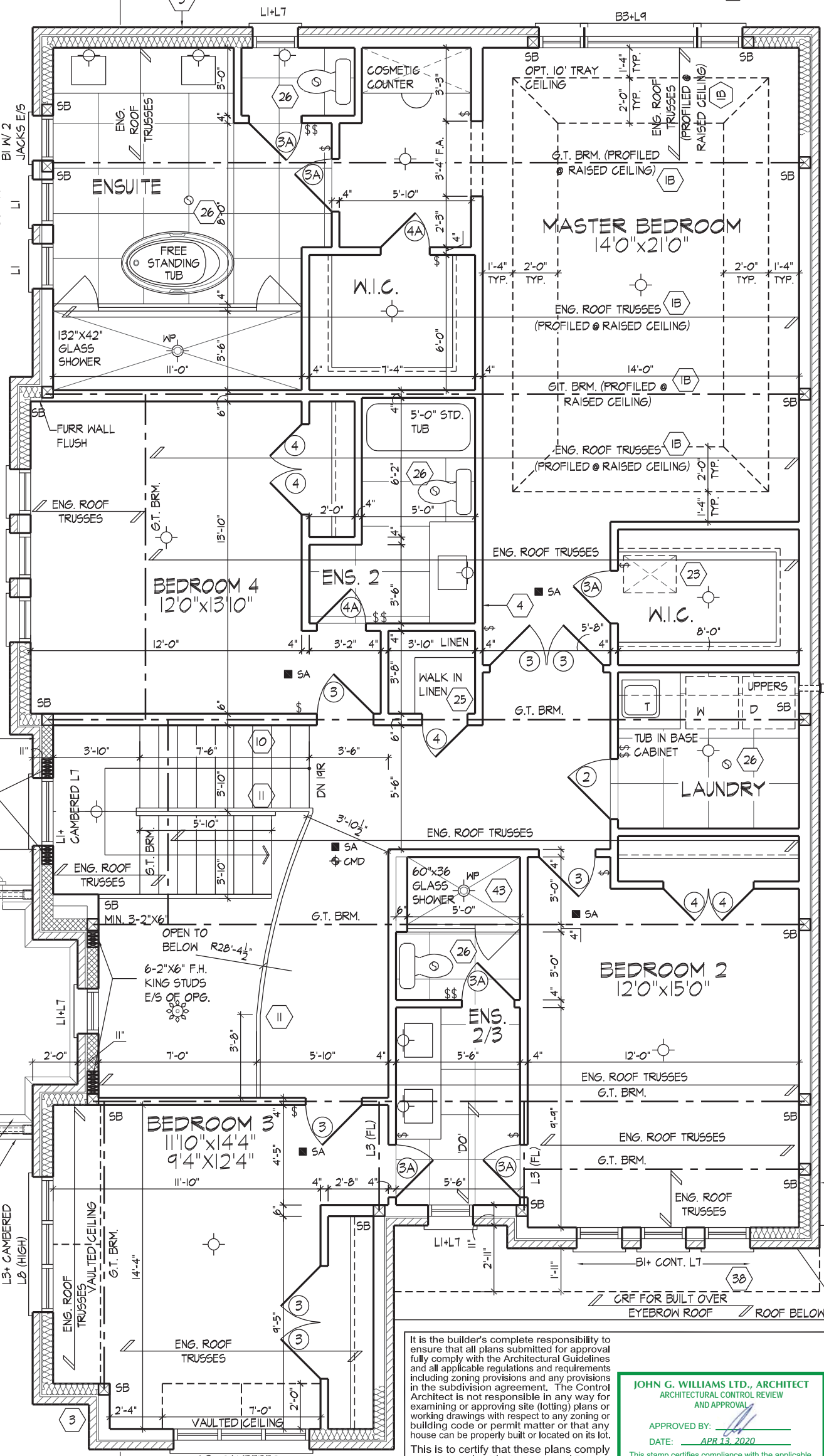
CRF FOR BUILT OVER
EYEBROW BOSE

39
2-2"X6"
8" O.C.
4-2"X6" I
STUDS F.
OF OPG.

16" HIGH PREMANUF. —
DECORATIVE ALUMN.
RAILING (TYP.)

CANT. —
STRIP TYP.)

PREFIN. —
ALUMN.
COPING TYP.)



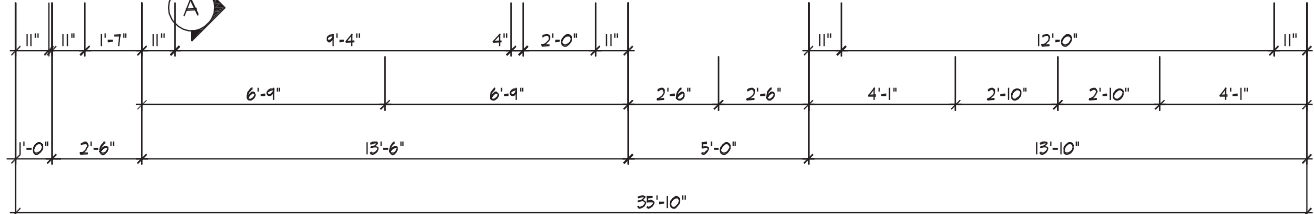
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SECOND FLOOR PLAN EL. 'A'

SECOND FLOOR PLAN, EL. 'A'

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QUALIFICATION INFORMATION
Allan Whiting

NAME: Allan Whiting SIGNATURE: [Signature]

NAME _____
REGISTRATION INFORMATION _____

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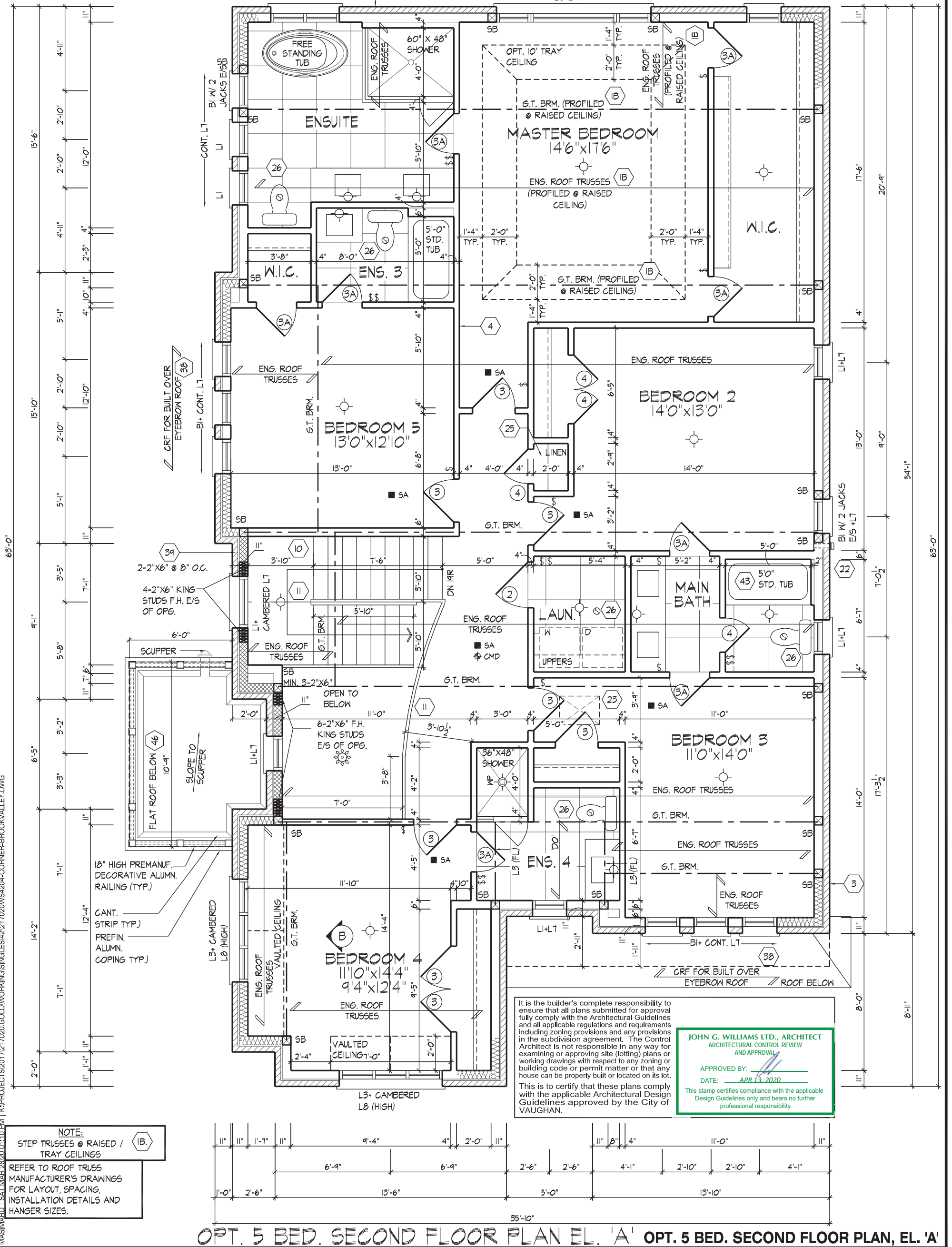
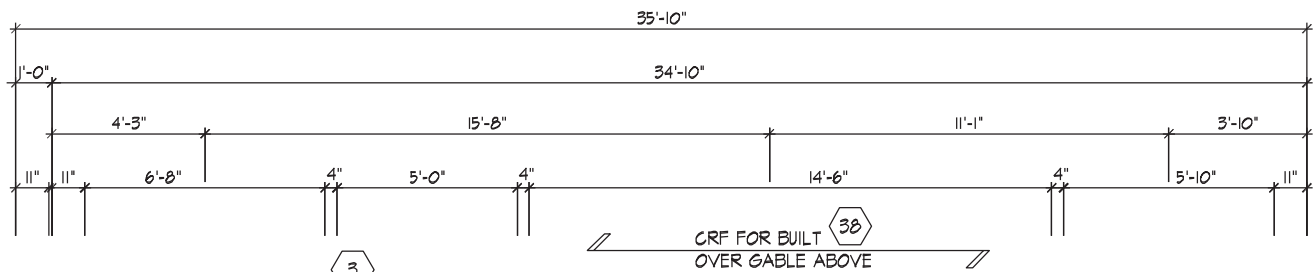
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REV.2020.03.30

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of 25

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MASONRY WALL
NON-LOAD BEARING

SOLID MASONRY WALL W/ 6 -10M
VERT. REBARS (LAP 1'-6"
GROUTED INTO BRICK JOINT)

MASONRY WALL TO BE TIED TO
THE BOTTOM OF PORTICO ROOF
W/ CORROSION RESISTANT METAL
TIES @ 24" O.C. USING 3-3 1/2"
NAILS EACH

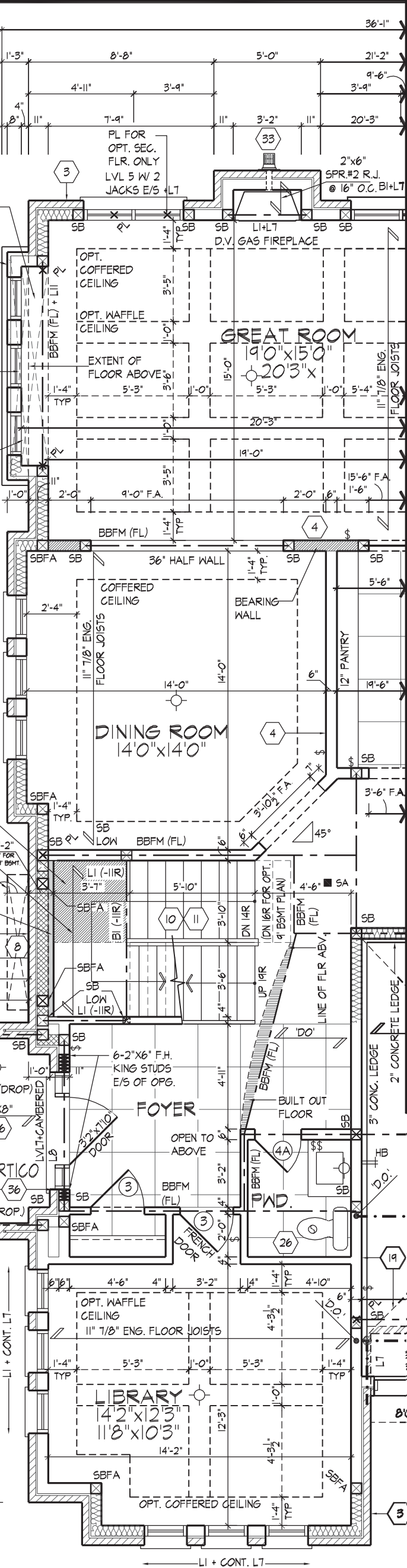
MASONRY VENEER TIED TO MASONRY
VENEER WITH GALV. METAL TIES @
16" O.C. AND 24" VERTICAL. FILL
VOID BETWEEN MASONRY VENEER
WYTHES SOLID W/ MORTAR

NAME
Allan Whiting

REGISTRATION INFORMATION
HUNT DESIGN ASSOCIATES INC.

23177
BCIN

19695



PARTIAL GROUND FLOOR PLAN, EL. 'B'

GOLDPARK HOMES - 217020
PINE VALLEY, VAUGHAN ONT.

Drawn By
MC

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SB

Scale
3/16"=1'-0"

File Number
217020WS4204- CORNER

Page Number
10 of 25



wsp

100 COMMERCIAL VALLEY DR. W.
THORNHILL, ONTARIO CANADA L3T 0A1
TEL: 1-905-882-4211 FAX: 1-905-822-0050 WWW.WSPGROUP.CA

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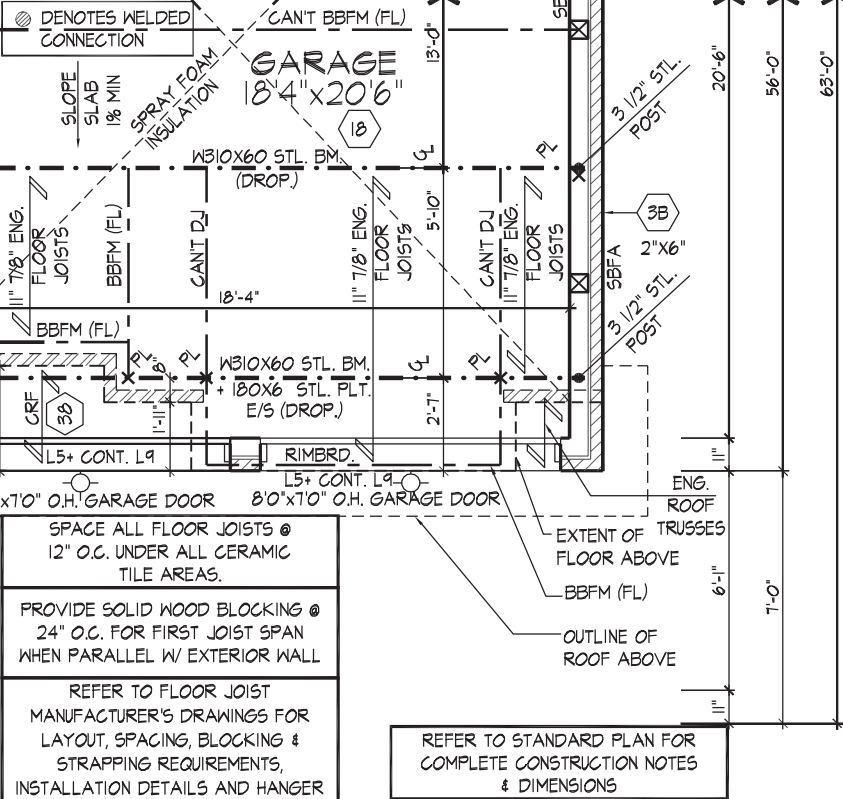
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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY:

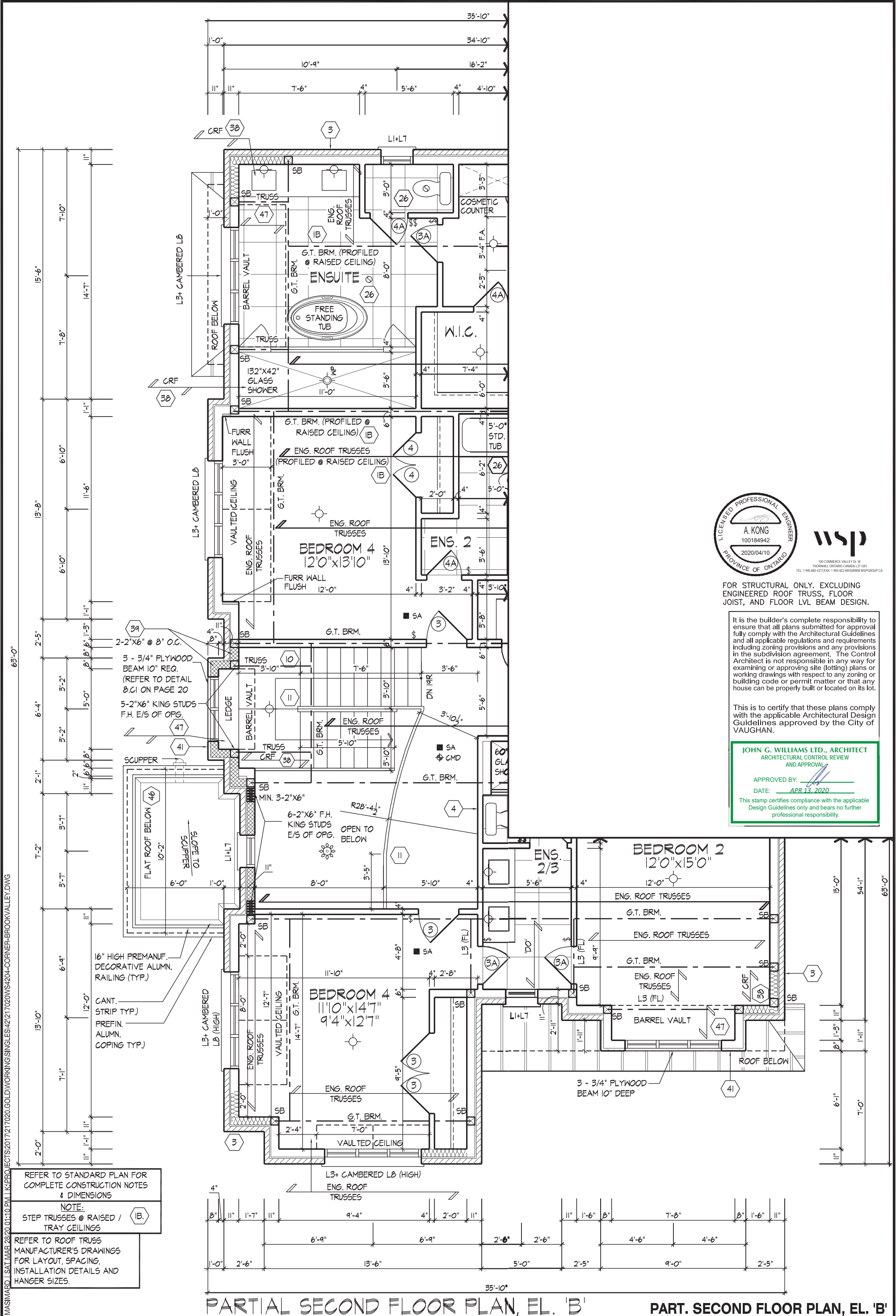
DATE: APR 13, 2020

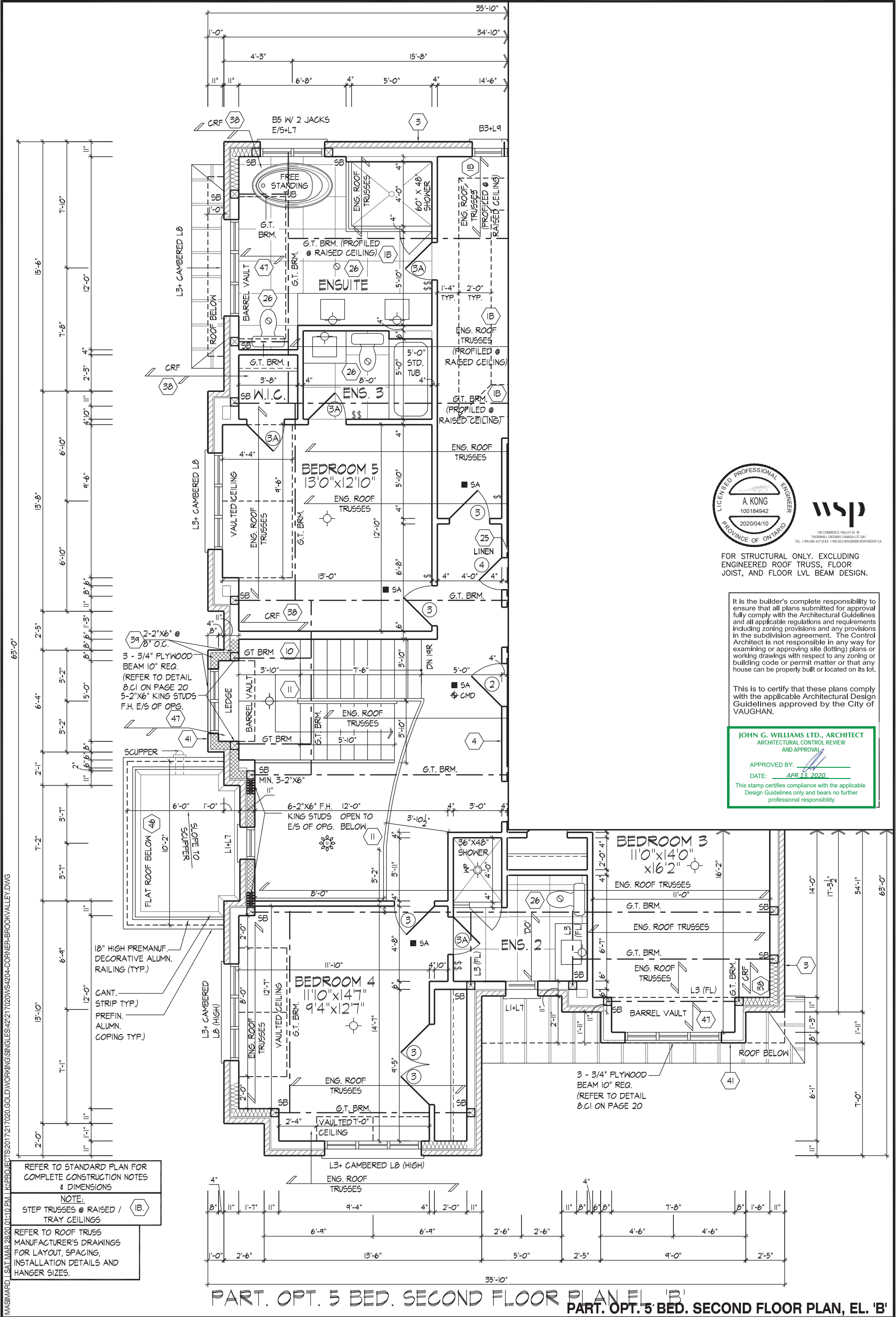
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PART. GROUND FLOOR PLAN, EL. 'B'

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QUALIFICATION INFORMATION

NAME: Allan Whiting
REGISTRATION INFORMATION: 23177 BCIN
HUNT DESIGN ASSOCIATES INC. 19695

HUNT
DESIGN ASSOCIATES INC.
www.hunt-design.ca

GOLDPARK HOMES - 217020 UNIT 4204 - THE BROOKVALLEY
PINE VALLEY, VAUGHAN ONT. REV.2020.03.30
Drawn By: MC Checked By: SB Scale: 3/16"=1'-0" File Number: 217020WS4204- CORNER Page Number: 12 of 25
8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

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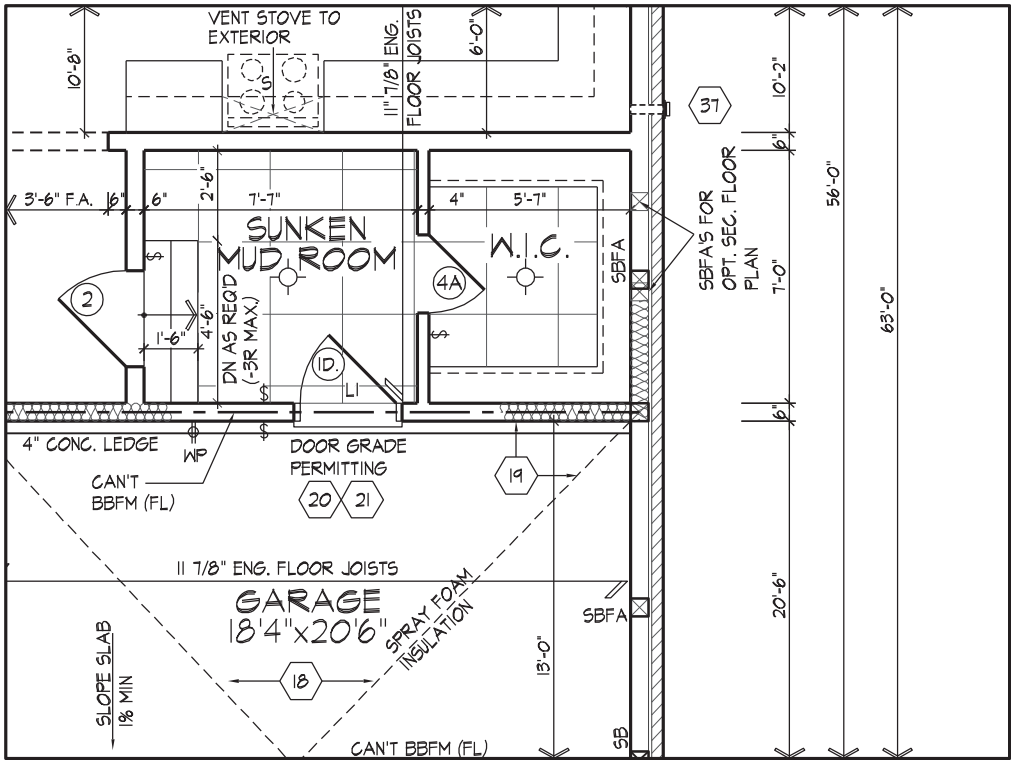
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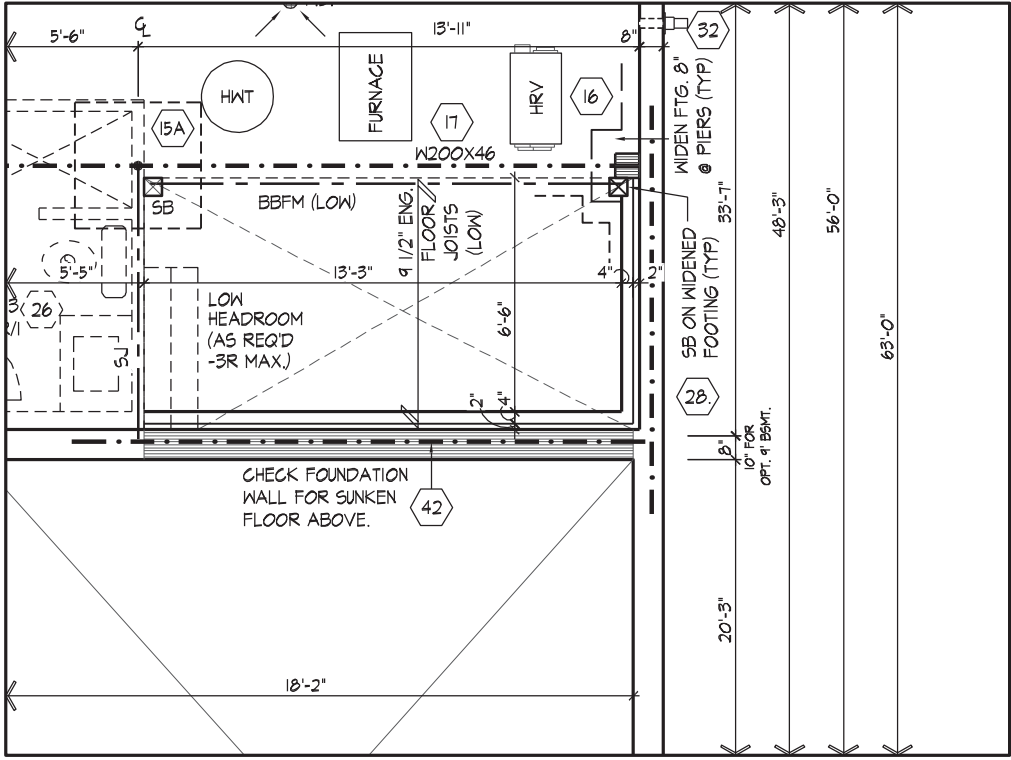
UNIT 4204 - THE BROOKVALLEY
REV.2020.03.30

Drawn By MC Checked By SB Scale 3/16"=1'-0" File Number 217020WS4204- CORNER Page Number 13 of 25
8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326



PART. GROUND FLOOR PLAN EL. 'A'
FOR SUNKEN MUDROOM
(EL. 'B' SIMILAR)

SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.
PROVIDE SOLID WOOD BLOCKING @ 24" O.C. FOR FIRST JOIST SPAN WHEN PARALLEL W/ EXTERIOR WALL
REFER TO FLOOR JOIST MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, BLOCKING & STRAPPING REQUIREMENTS, INSTALLATION DETAILS AND HANGER SIZES, & SUBFLOOR THICKNESS



PART. BASEMENT PLAN EL. 'A'
FOR SUNKEN MUDROOM
(EL. 'B' SIMILAR)

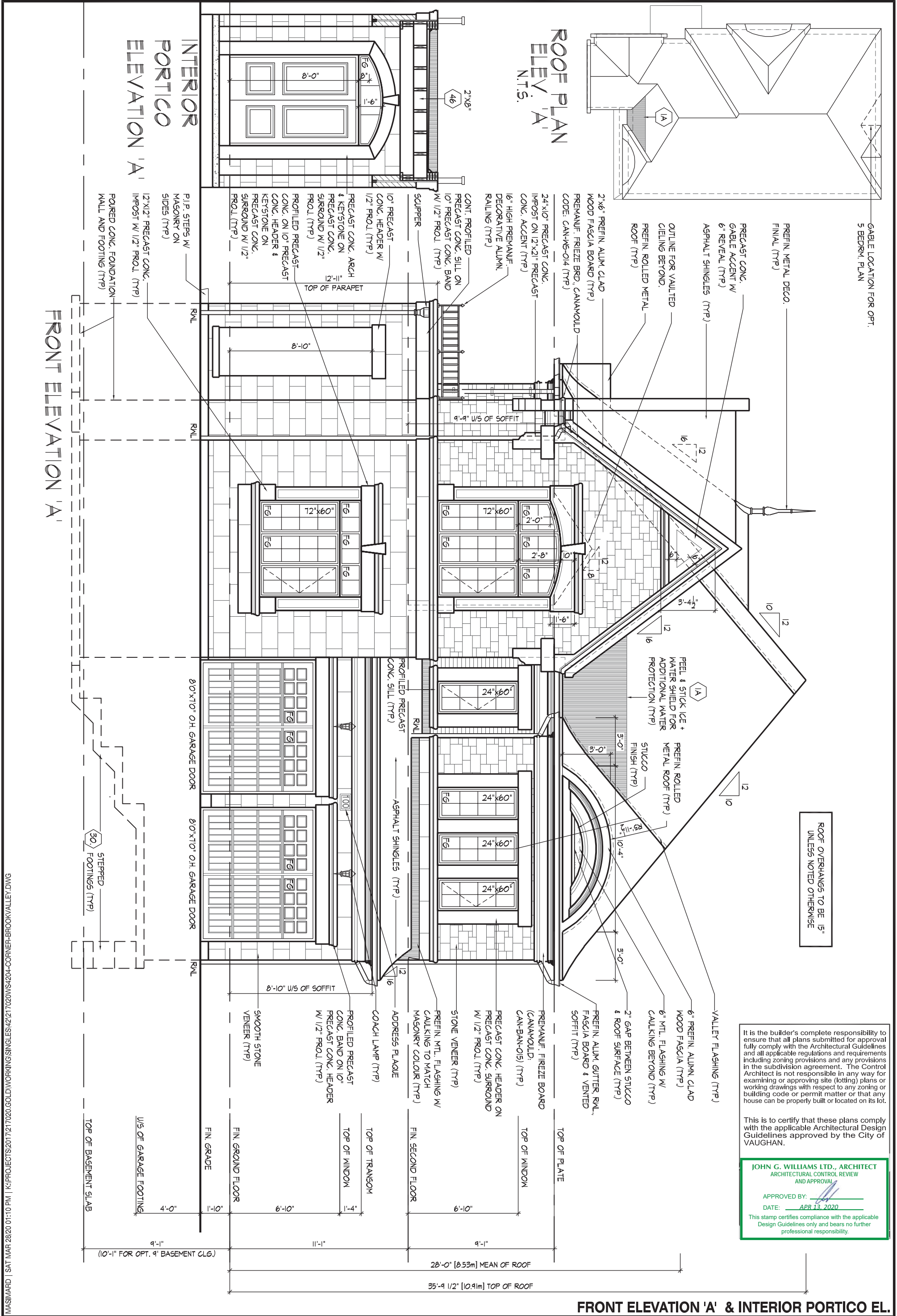


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ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: APR 13, 2020
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ROOF OVERHANGS TO BE 15"
UNLESS NOTED OTHERWISE

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

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RIGHT SIDE ELEVATION 'A'

PART. RIGHT
SIDE EL. 'A' FOR
OPT. 5 BED.

Architectural drawing showing a roof section and window details.

Roof Section:

- Labels: PREFIN., ROLLED METAL ROOF (TYP)
- Dimensions: 12, 16, 12, 12, 16, 12

Window Details:

- Window 1: 24" x 48"
- Window 2: 24" x 52" (ES)
- Window 3: 24" x 52"
- Labels: BRICK SOLDIER HEADER COURSE W/ 1/2" PROL. (TYP), 4" PRECAST CONC. SILL W/ 1/2" PROL. (TYP)
- Dimension: 7'-10" T/O WINDOW

ASHALI SHINGLES (TYP)
ROOF LINE FOR
OPT. 5 BEDROOM
VALLEY FLASHING (TYP)
PREFIN. ALUM. GUTTER, RVL
FASCIA BOARD & VENTED
SOFFIT (TYP)

STONE
VENEER (TYP)

PREMANUF. FIREZE
BOARD
(CANAMOULD:
CAN-BAN-O15) (TYP.)

	<p>WINDOW SUMMARY</p> <p>PER O.B.C. TABLE 9.10.15.4</p>	<p>WINDOW SUMMARY</p> <p>PER O.B.C. TABLE 9.10.15.4</p>
	<p>RIGHT SIDE ELEVATION A</p>	<p>RIGHT SIDE ELEV. A FOR OPT. 5</p> <p>BELOW PLAN</p>

PREFIN. MTL. —
FLASHING W/
CAULKING TO
MATCH MASONRY
COLOUR (TYP.)

SMOOTH —
STONE
VENEER (TYP.

**LOCATE UTILITY METERS
AWAY FROM PUBLIC VIEW**

EXTENTS OF SPATIAL
CALCULATIONS.
REFER TO WINDOW SUMMARY FOR
ADDITIONAL INFORMATION

SMOOTH STONE VENEER RETRUN

RIGHT SDELEVATION

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NAME: Allan Whiting SIGNATURE:

HUNT DESIGN ASSOCIATES INC.

23177
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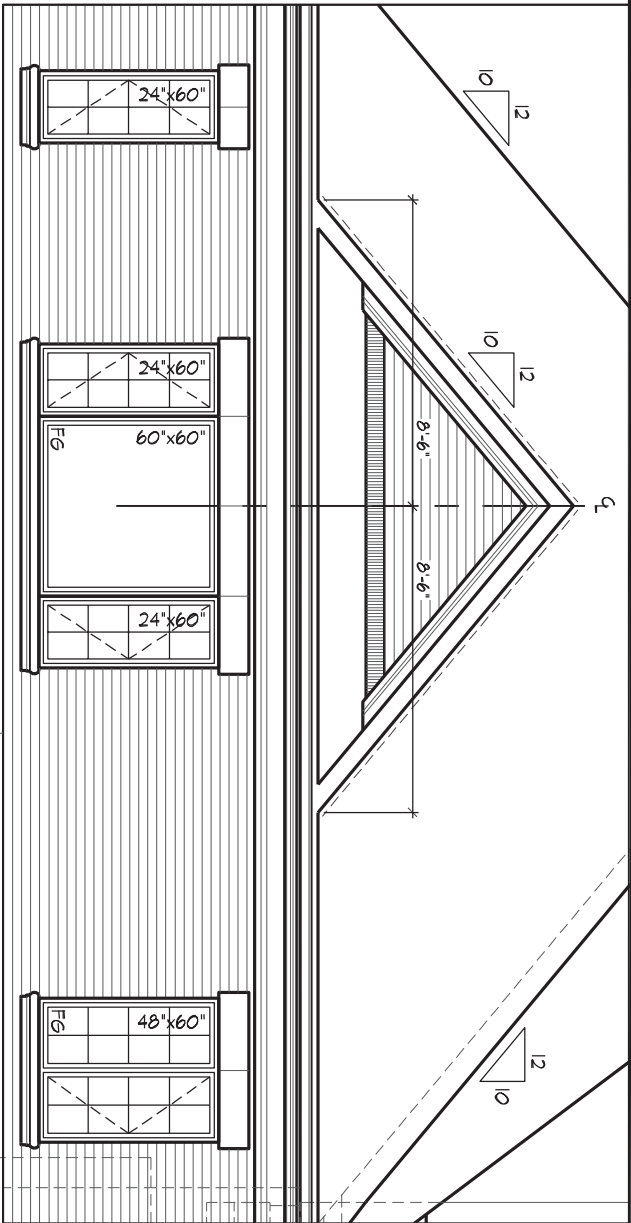
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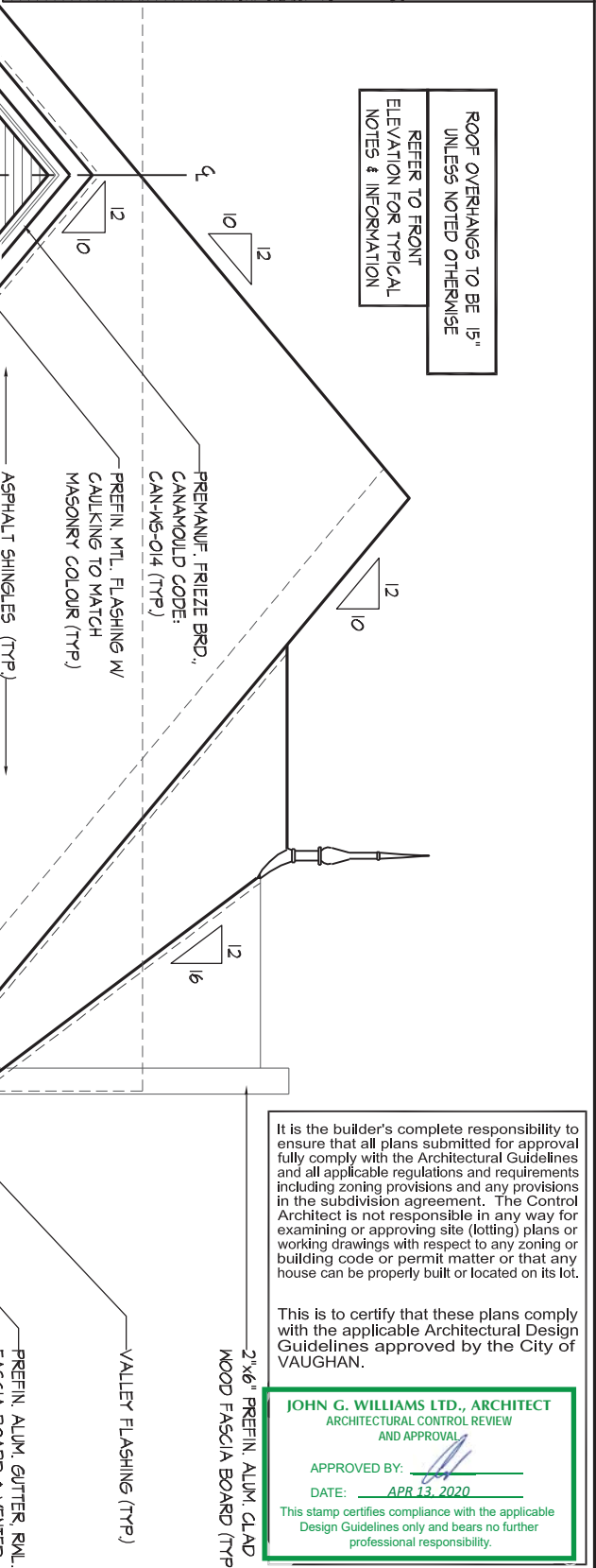
UNIT 4204 - THE BROOKVALLEY
REV.2020.03.30

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AND APPROVAL
APPROVED BY:
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PART. UPG. REAR ELEVATION 'A' FOR OPT. 5 BEDROOM

WINDOW SUMMARY				WINDOW SUMMARY			
PER O.B.C. TABLE 9.10.15.4				PER O.B.C. TABLE 9.10.15.4			
REAR ELEV. A				REAR ELEV. A - 5 BDRM			
QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)
2	24"	60"	15.56	3	24"	60"	23.33
1	60"	60"	21.78	1	60"	60"	21.78
1	24"	48"	6.11	0	0"	0"	0.00
0	0"	0"	0.00	1	48"	60"	17.11
2	56"	16"	8.87	2	56"	64"	43.33
2	56"	18"	10.11	2	56"	16"	8.87
1	100"	98"	62.67	1	100"	98"	62.67
2	30"	16"	4.33	2	30"	16"	4.33
0	0"	0"	0.00	0	0"	0"	0.00
0	0"	0"	0.00	0	0"	0"	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
SPATIAL CALCULATION				SPATIAL CALCULATION			
EXPOSING BUILDING				EXPOSING BUILDING			
FACE AREA				FACE AREA			
786.33 S.F.				786.33 S.F.			
71.19 S.M.				71.19 S.M.			
766.33 S.F.				766.33 S.F.			
71.19 S.M.				71.19 S.M.			
PORTION WALL AREA				PORTION WALL AREA			
7.50 m				7.50 m			
LIMITING DISTANCE				LIMITING DISTANCE			
50.50 %				50.50 %			
MAX. % OPENINGS				MAX. % OPENINGS			
387.00 S.F.				387.00 S.F.			
OPENINGS ALLOWED				OPENINGS ALLOWED			
181.22 S.F.				181.22 S.F.			
ADDITIONAL NOTES				ADDITIONAL NOTES			
GLAZED AREA CALCULATED W/ FRAME SIZE				GLAZED AREA CALCULATED W/ FRAME SIZE			
MINUS 2' AROUND ENTIRE PERIMETER				MINUS 2' AROUND ENTIRE PERIMETER			

UPGRADED REAR ELEVATION 'A'

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QUALIFICATION INFORMATION

Allan Whiting
SIGNATURE

23177
BCIN

REGISTRATION INFORMATION

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PINE VALLEY, VAUGHAN ONT.

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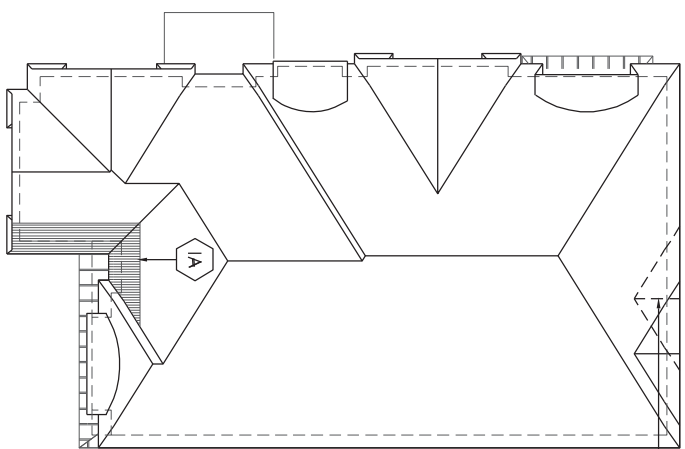
UNIT 4204 - THE BROOKVALLEY
REV.2020.03.30

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GABLE LOCATION FOR OPT 5 BEDRM. PLAN

ROOF OVERHANGS TO BE 15"
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AND APPROVAL

APPROVED BY:

DATE: APR 13, 2020

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FRONT ELEVATION 'B'

ROOF PLAN DETAILS

INTERIOR PORTICO ELEVATION 'B'

FRONT ELEVATION 'B'

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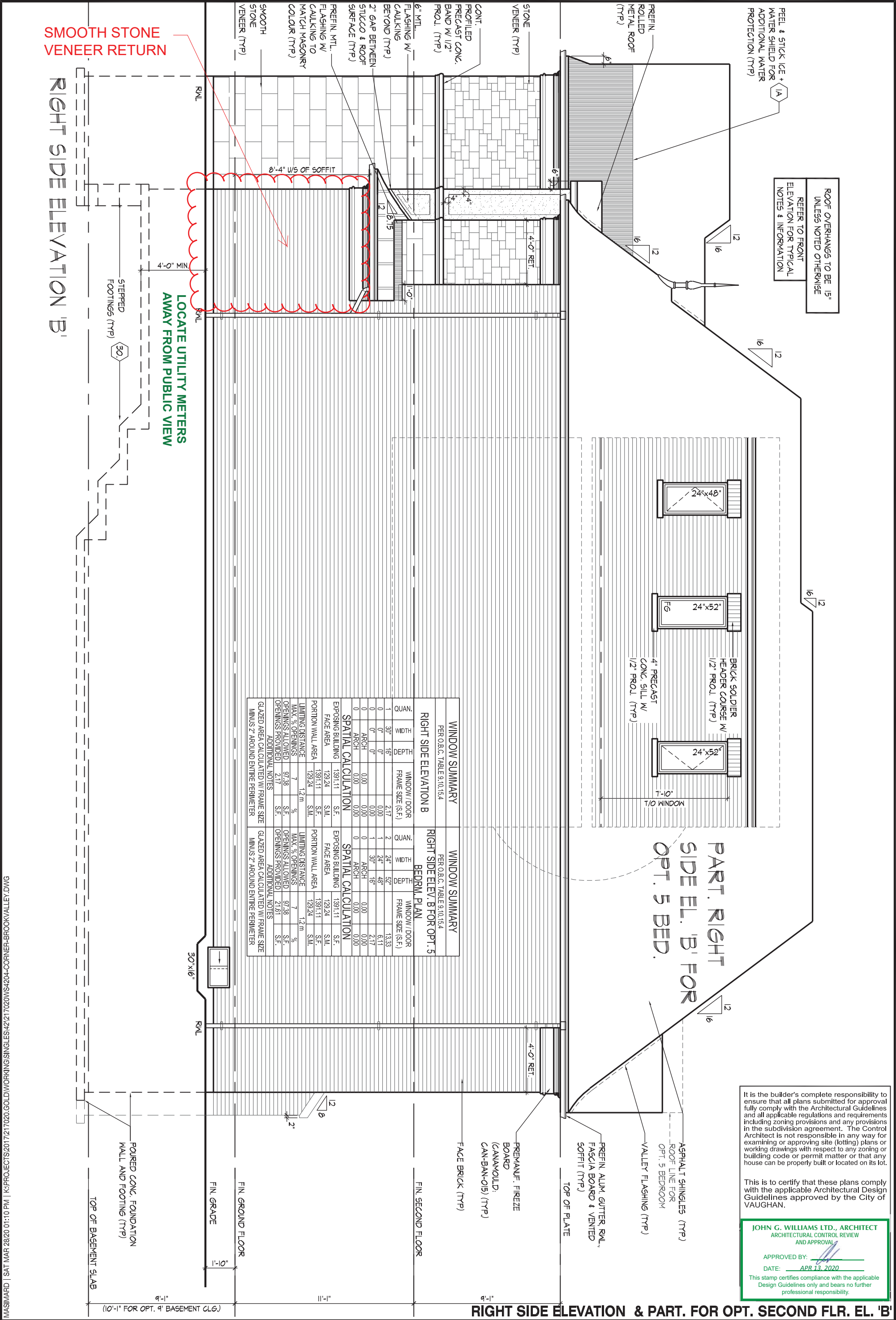
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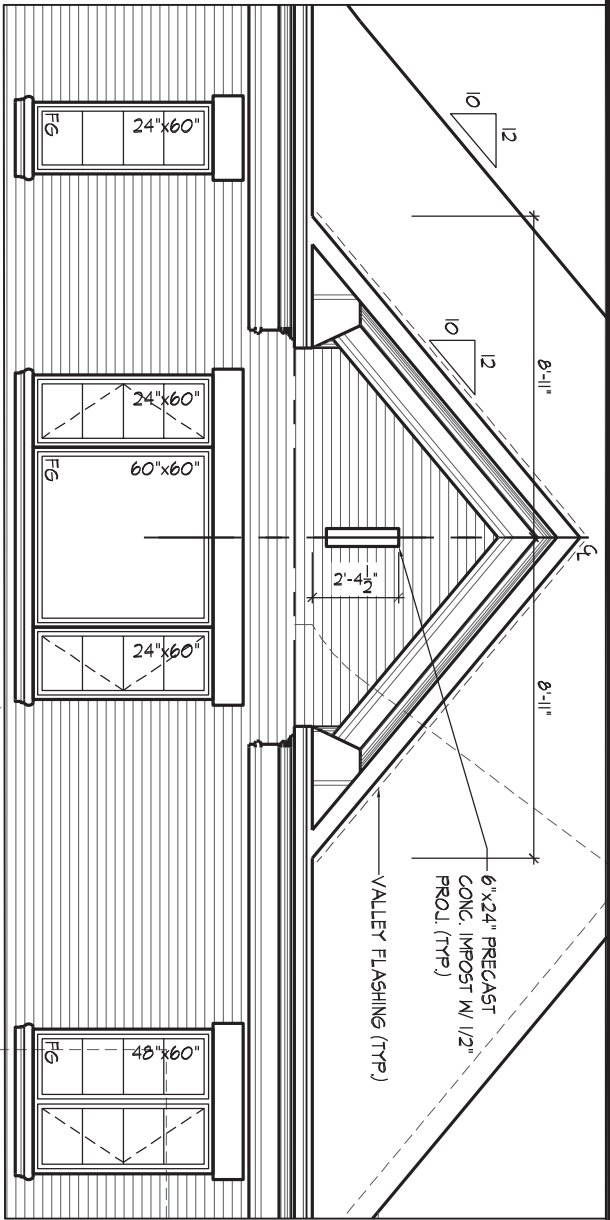
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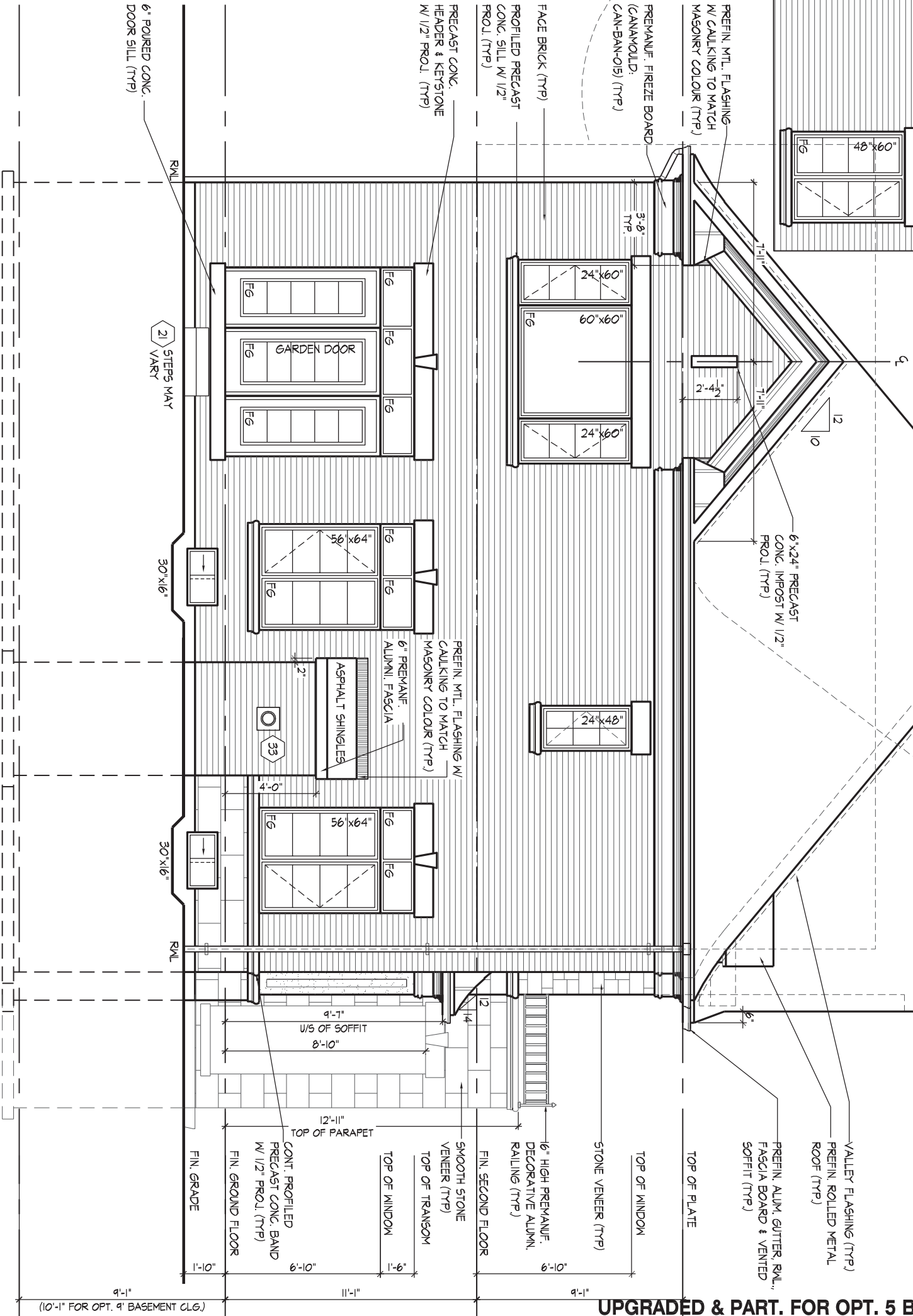
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APPROVED BY: 
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PART. UPG. REAR ELEVATION 'B' FOR OPT. 5 BEDROOM

WINDOW SUMMARY				WINDOW SUMMARY			
PER O.B.C. TABLE 8.10.15.4				PER O.B.C. TABLE 8.10.15.4			
REAR ELEV. B				REAR ELEV. B - 5 BDRM			
QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)
2	24"	60"	15.56	3	24"	60"	23.33
1	60"	60"	21.78	1	60"	60"	21.78
1	24"	48"	6.11	0	0"	0"	0.00
0	0"	0"	0.00	1	48"	60"	17.11
2	56"	64"	43.33	2	56"	64"	43.33
2	56"	16"	10.11	2	56"	16"	10.11
1	100"	96"	62.87	1	100"	96"	62.87
2	30"	16"	4.33	2	30"	16"	4.33
0	0"	0"	0.00	0	0"	0"	0.00
0	0"	0"	0.00	0	0"	0"	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
SPATIAL CALCULATION				SPATIAL CALCULATION			
EXPOSING BUILDING				EXPOSING BUILDING			
FACE AREA				FACE AREA			
766.33 S.F.				766.33 S.F.			
PORTION WALL AREA				PORTION WALL AREA			
766.33 S.F.				766.33 S.F.			
LIMITING DISTANCE				LIMITING DISTANCE			
7.50 m				7.50 m			
MAX. % OPENINGS				MAX. % OPENINGS			
397.00 S.F.				397.00 S.F.			
OPENINGS ALLOWED				OPENINGS ALLOWED			
182.87 S.F.				182.87 S.F.			
OPENINGS PROVIDED				OPENINGS PROVIDED			
182.87 S.F.				182.87 S.F.			
ADDITIONAL NOTES				ADDITIONAL NOTES			
GLAZED AREA CALCULATED W/ FRAME SIZE				GLAZED AREA CALCULATED W/ FRAME SIZE			
MINUS 2' AROUND ENTIRE PERIMETER				MINUS 2' AROUND ENTIRE PERIMETER			



UPGRADED REAR ELEVATION 'B'

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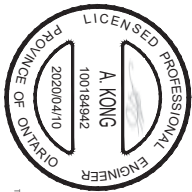
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UNIT 4204 - THE BROOKVALLEY
REV.2020.03.30

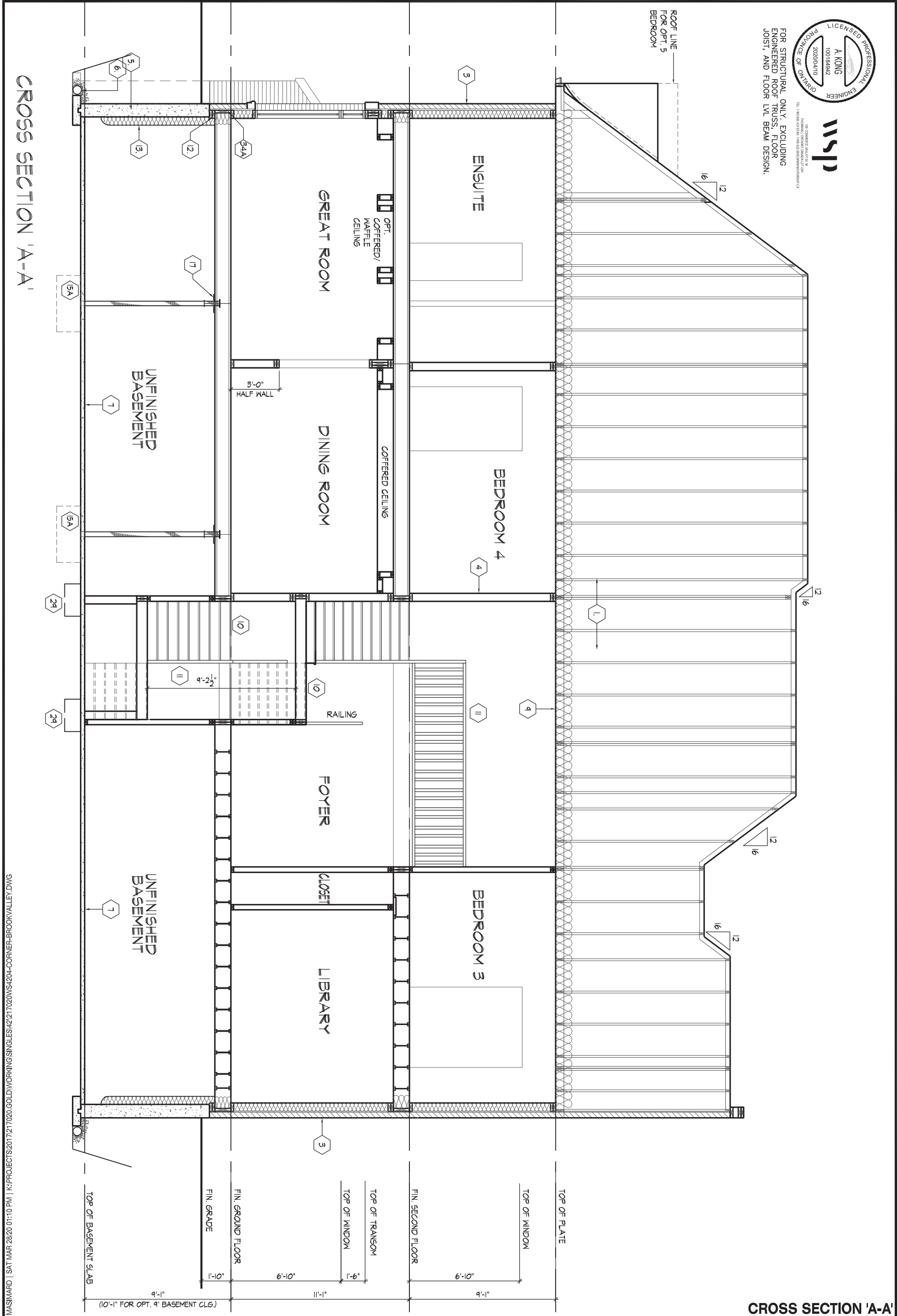
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1800 GERRARD STREET EAST, SUITE 100, MARKHAM, ONTARIO L3R 0V7
TEL: 905.737.5133 FAX: 905.737.7326



CROSS SECTION 'A-A'

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22 of 25

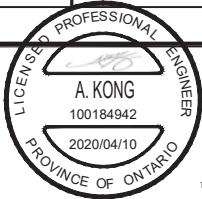
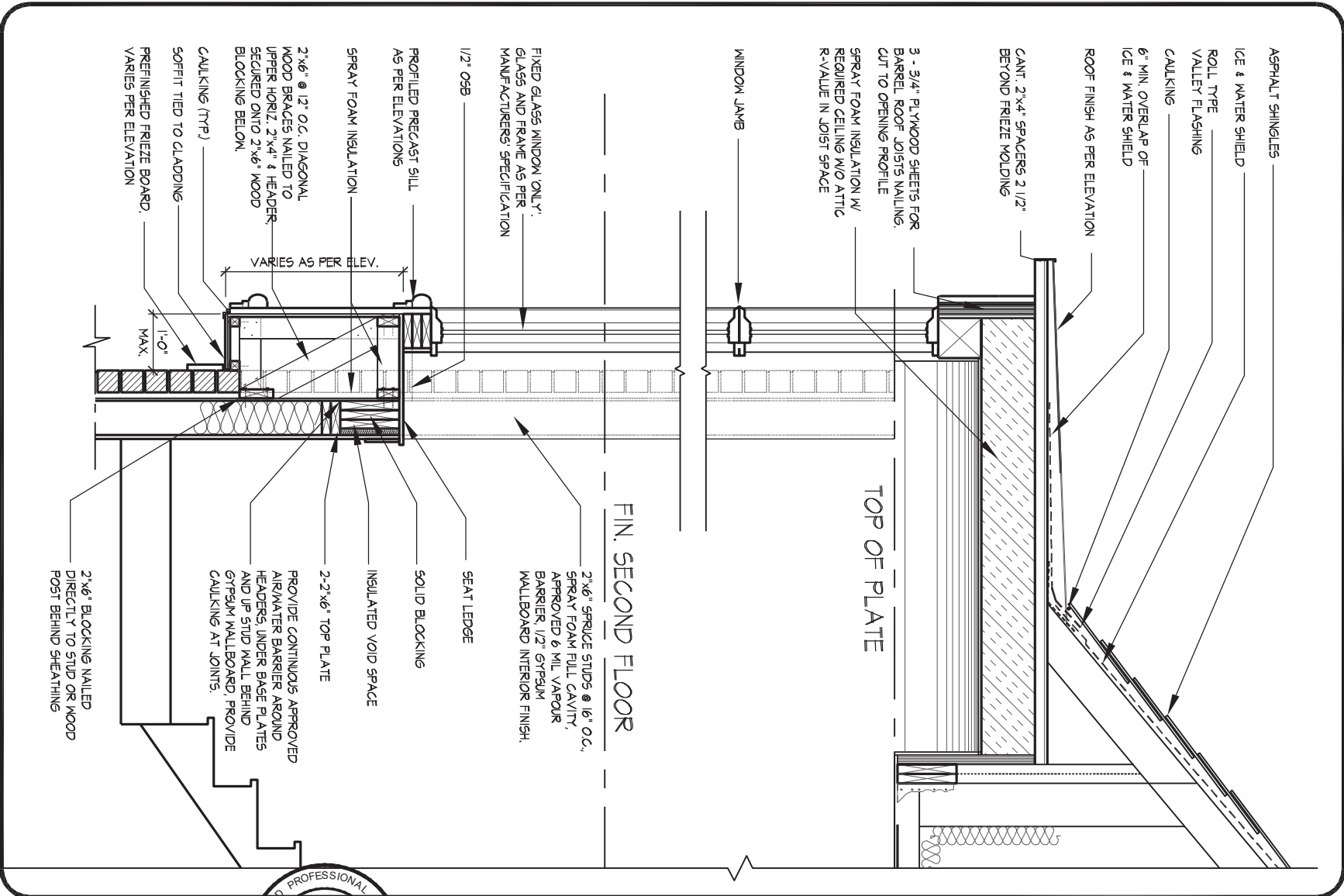
8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

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8.C1

1/2" = 1'-0"

PROJECTED WINDOW @ LANDING W/ BRICK WALL



wsp

100 COMMERCIAL VALLEY DR. W.
THORNHILL, ONTARIO CANADA L3T 0A1
TEL: 1-905-882-4211 FAX: 1-905-882-0055 WWW.WSPGROUP.CA

No. 210 ASPHALT SHINGLES, 3/8" EXTERIOR TYPE SHEATHING WITH "H" CLIPS. APPROVED WOOD TRUSSES @ 24" O.C. MAX. APPROVED EAVES PROTECTION TO EXTEND 3'-0" FROM EDGE OF ROOF AND MIN. 12" BEYOND INNER FACE OF EXTERIOR WALL, 2"x4" TRUSS BRACING 6'-0" O.C. AT BOTTOM CHORD.

PRE-FINISHED ALUMINUM FASCIA, RAINWATER LEADER AND VENTED SOFFIT TIED TO BRICK VENEER, PROVIDE ATTIC VENTILATION - 1/300 OF INSULATED CEILING AREA WITH 50% AT THE EAVES

2"x6" FASCIA BOARD

PRE-FINISHED FRIEZE BOARD, VARIES PER ELEVATION

3 1/2" MASONRY VENEER TIED TO 3 1/2" MASONRY VENEER WITH 1/8"x1"x.03" GALV. METAL TIES @ 16" O.C. AND 24" VERTICAL. PROVIDE VOID 1" AIR SPACE BETWEEN BRICK VENEER MYTHES (TYP.)

EXTERIOR

SOLDIER HEADER WITH 1/2" PROJECTION

WEEP HOLES @ 32" O.C. AT BASE FLASHING AND OVER ALL OPENINGS. PROVIDE P.V.C. BRICK VENTILATOR @ ALL WEEP HOLE LOCATIONS.

HIDDEN LINE INDICATES 3 1/2" Ø SINGLE TUBE ADJUSTABLE STEEL COLUMN WITH 6"x6"x3/8" STEEL PLATE TOP & BOTTOM. PROVIDE 3"x6"x3/8" ANCHOR PLATE FIELD WELDED TO TOP OF STEEL PLATE AT EDGE OF WOOD BEAM. ANCHOR WOOD BEAM TO PLATE WITH 3-3" LONG SCREWS

GRADE

TYPICAL FOUNDATION WALL CONSTRUCTION

UNEXCAVATED / COLD CELLAR

TYPICAL PORCH SLAB

13

1-8

VENTED SOFFIT TIED TO CEILING JOISTS

BEAM AS PER PLAN

2"x4" CEILING JOISTS @ 16" O.C.

KNEE WALL AS REQUIRED. 2"x4" STUDS @ 16" O.C.

FOR STRUCTURAL ONLY. EXCLUDING ENGINEERED ROOF TRUSS, FLOOR JOIST, AND FLOOR LVL BEAM DESIGN.

2"x4" PT. DECKING W 1/4" GAPS LAID FLAT PARALLEL TO JOISTS ON 2"x4" PT. SLEEPERS @ 12" O.C. LAID FLAT PERP TO JOISTS ON A TWO PLY BITUMOUS (OR ONE PLY RUBBER) MEMBRANE ADHERED TO EXT. TYPE 5/8" EXT. SHEATHING ON 2"x2" SLEEPERS (SLOPED TO SCUPPER) ON 2"x8" SPR. #2 FLOOR JOISTS @ 16" O.C. W/ ALUM. SOFFIT ON U/S.

24 GA PREFINISHED METAL FLASHING W/ HEMMED EDGE EDGE TO BE PLACED FIRMLY ON SURFACE OF DECK MEMBRANE. FASTENERS TO HAVE NEOPRENE HEADS & TO BE FASTENED THROUGH BUTYL TAPE.

TRIM AS PER ELEVATIONS

FURR OUT BEAM AS REQUIRED

SELF SUPPORTED BRICK AND PRECAST CONC. ARCH

BUILT UP WOOD PARAPET TO SUPPORT RAILING

PROVIDE METAL HANGERS IF SPAN EXCEEDS 4'-0". HANGERS TO BE SECURED TO STUDS OR BUILT-UP WOOD BLOCKING INSTALLED IN BETWEEN STUD SPACING AS REQUIRED PER LOCATION OF METAL HANGERS.

HIDDEN LINE INDICATES 3 1/2" Ø SINGLE TUBE ADJUSTABLE STEEL COLUMN WITH 6"x6"x3/8" STEEL PLATE TOP & BOTTOM. PROVIDE 3"x6"x3/8" ANCHOR PLATE FIELD WELDED TO TOP OF STEEL PLATE AT EDGE OF WOOD BEAM. ANCHOR WOOD BEAM TO PLATE WITH 3-3" LONG SCREWS

INSULATE MIN. 12" BEYOND BEAM

GALV. PREFIN. METAL FLASHING

PRECAST CONC. SILL

RUBBERIZED MEMBRANE UNDER DOOR SILL BY METAL FLASHING

1-4

2"x4" PT. DECKING W 1/4" GAPS LAID FLAT PARALLEL TO JOISTS ON 2"x4" PT. SLEEPERS @ 12" O.C. LAID FLAT PERP TO JOISTS ON A TWO PLY BITUMOUS (OR ONE PLY RUBBER) MEMBRANE ADHERED TO EXT. TYPE 5/8" EXT. SHEATHING ON 2"x2" SLEEPERS (SLOPED TO SCUPPER) ON 2"x8" SPR. #2 FLOOR JOISTS @ 16" O.C. W/ ALUM. SOFFIT ON U/S.

24 GA PREFINISHED METAL FLASHING W/ HEMMED EDGE EDGE TO BE PLACED FIRMLY ON SURFACE OF DECK MEMBRANE. FASTENERS TO HAVE NEOPRENE HEADS & TO BE FASTENED THROUGH BUTYL TAPE.

TRIM AS PER ELEVATIONS

FURR OUT BEAM AS REQUIRED

SELF SUPPORTED BRICK AND PRECAST CONC. ARCH

BUILT UP WOOD PARAPET TO SUPPORT RAILING

PROVIDE METAL HANGERS IF SPAN EXCEEDS 4'-0". HANGERS TO BE SECURED TO STUDS OR BUILT-UP WOOD BLOCKING INSTALLED IN BETWEEN STUD SPACING AS REQUIRED PER LOCATION OF METAL HANGERS.

HIDDEN LINE INDICATES 3 1/2" Ø SINGLE TUBE ADJUSTABLE STEEL COLUMN WITH 6"x6"x3/8" STEEL PLATE TOP & BOTTOM. PROVIDE 3"x6"x3/8" ANCHOR PLATE FIELD WELDED TO TOP OF STEEL PLATE AT EDGE OF WOOD BEAM. ANCHOR WOOD BEAM TO PLATE WITH 3-3" LONG SCREWS

INSULATE MIN. 12" BEYOND BEAM

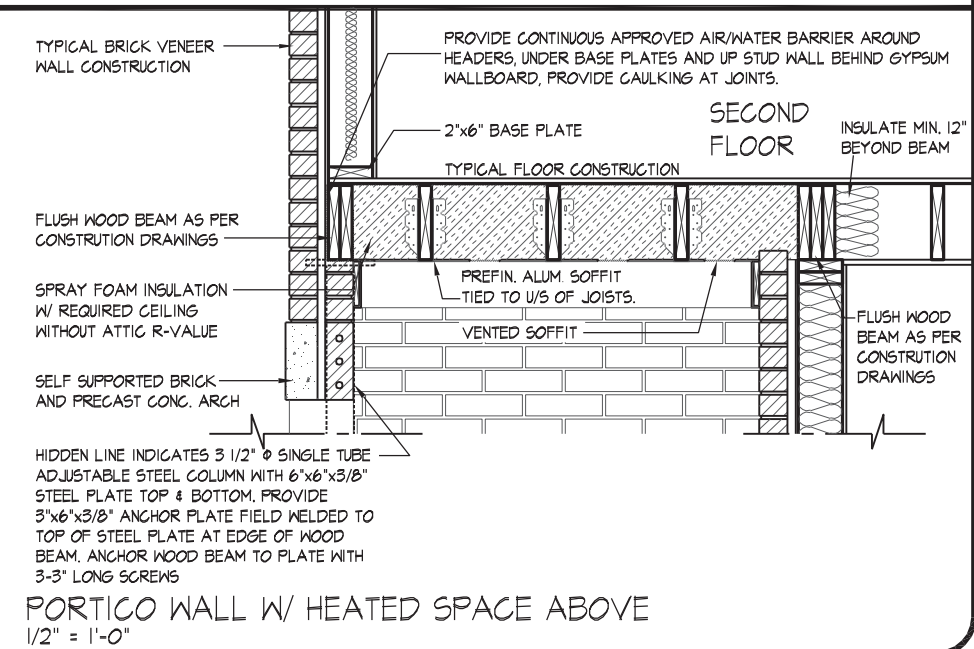
GALV. PREFIN. METAL FLASHING

PRECAST CONC. SILL

RUBBERIZED MEMBRANE UNDER DOOR SILL BY METAL FLASHING

PORTICO WALL W/ FLAT ROOF ABOVE

1/2" = 1'-0"



PORTICO WALL W/ HEATED SPACE ABOVE

1/2" = 1'-0"

TYPICAL BRICK PORTICO WALL (DOUBLE BRICK VENEER WYTHE WALL)

1/2" = 1'-0"

DETAILS

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION

NAME: Allan Whiting

REGISTRATION INFORMATION

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23177

BCIN

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www.huntdesign.ca

GOLDPARK HOMES - 217020

PINE VALLEY, VAUGHAN ONT.

Drawn By: MC

Checked By: SB

Scale: 3/16"=1'-0"

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UNIT 4204 - THE BROOKVALLEY

REV.2020.03.30

File Number: 217020WS4204- CORNER

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cont. SECTION 1.0. CONSTRUCTION NOTES

40 **1 HR. PARTY WALL (CONC. BLOCK)** ((SB-3] WALL TYPE 'B6e' & 'B1b')
1/2" (12.7) GYPSUM SHEATHING ON EACH SIDE ON 2"x2" (38x38) VERTICAL WD. STRAPPING @ 24" (610) O.C. ON 8" (200) CONC. BLOCK FILL STRAPPING CAVITY EACH SIDE WITH AT LEAST 90% OF ABSORPTIVE MATERIAL PROCESSED FROM ROCK, SLAG OR GLASS. TAPE, FILL & SAND ALL GYPSUM JOINTS. EXPOSED BLOCK MUST BE SEALED W/ 2 COATS OF PAINT OR FURRED WITH 2"x2" (38x38) WD. STRAPPING & 1/2" (12.7) GYPSUM SHEATHING.

40 **1 HR. PARTY WALL (DOUBLE STUD)** ((SB-3] WALL TYPE 'W13c')
5/8" (15.9) TYPE 'X' GYPSUM SHEATHING ON EXTERIOR SIDE OF 2 ROWS OF 2"x4" (38x89) STUDS @ 16" (406) O.C., MIN. 1" (25) APART ON SEPARATE 2"x4" (38x89) SILL PLATES. (2"x6" (38x140) AS REQUIRED) FILL ONE SIDE OF STUD CAVITY WITH AT LEAST 90% OF ABSORPTIVE MATERIAL PROCESSED FROM ROCK, SLAG OR GLASS. TAPE FILL AND SAND ALL GYPSUM JOINTS.

40A **2 HR. FIREWALL** ((SB-3] WALL TYPE 'B6e' & 'B1b')
1/2" (12.7) GYPSUM SHEATHING ON EACH SIDE ON 2"x2" (38x38) VERTICAL WOOD STRAPPING @ 24" (610) O.C ON 8" (200) CONC. BLOCK 75% SOLID. FILL STRAPPING CAVITY EACH SIDE WITH AT LEAST 90% OF ABSORPTIVE MATERIAL PROCESSED FROM ROCK, SLAG OR GLASS. TAPE, FILL & SAND ALL GYPSUM JOINTS. AT UNFINISHED AREAS, EXTERIOR FACE OF CONC. BLOCK TO BE SEALED WITH 2 COATS OF PAINT. GYPSUM SHEATHING TO BE ATTACHED TO CONC. BLOCK. (REFER TO DETAILS)

41 **STUCCO WALL CONSTRUCTION**
STUCCO FINISH CONFORMING TO O.B.C. SECTION 9.28. AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1 1/2" (38) E.I.F.S. (MINIMUM) ON APPROVED DRAINAGE MAT ON 1/2" (12.7) DENSGLASS GOLD GYPSUM BOARD ON STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1., INSULATION, APPROVED 6 MIL. POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (REFER TO 35 NOTE AS REQUIRED)

41A **STUCCO WALL CONSTRUCTION W/ CONTIN. INSULATION**
STUCCO FINISH CONFORMING TO O.B.C. SECTION 9.28. AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1 1/2" (38) E.I.F.S. (MINIMUM) ON APPROVED DRAINAGE MAT ON APPROVED AIR/WATER BARRIER AS PER O.B.C. 9.27.3. ON EXTERIOR TYPE RIGID INSULATION (JOINTS UNTAPED) MECHANICALLY FASTENED AS PER MANUFACTURERS SPECIFICATIONS. ON 7/16" EXTERIOR TYPE SHEATHING ON STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1., INSULATION, APPROVED 6 MIL. POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (REFER TO 35 NOTE AS REQUIRED)

41B **STUCCO WALL @ GARAGE CONST.**
STUCCO FINISH CONFORMING TO O.B.C. SECTION 9.28. AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1 1/2" (38) E.F.I.S (MINIMUM) ON APPROVED DRAINAGE MAT ON 1/2" (12.7) DENSGLASS GOLD GYPSUM BRD. ON STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1., 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (REFER TO 35 NOTE AS REQ.)
*** FOR DWELLINGS USING CONTIN. INSULATION CONSTRUCTION, PROVIDE APPROVED DRAINAGE MAT ON 7/16" (11) EXTERIOR TYPE SHEATHING OVER FURRING (AS REQ.) AND STUDS IN LIEU OF 1 1/2" (38) E.F.I.S (MINIMUM) ON APPROVED DRAINAGE MAT ON 1/2"(12.7) DENSGLASS GOLD GYPSUM BRD.

42 **UNSUPPORTED FOUNDATION WALLS** (9.15.4.2.)
REINFORCING AT STAIRS AND SUNKEN FLOOR AREAS
2-20M BARS IN TOP PORTION OF WALL (UP TO 8'-0" OPENING)
3-20M BARS IN TOP PORTION OF WALL (8'-0" TO 10'-0" OPENING)
4-20M BARS IN TOP PORTION OF WALL (10'-0" TO 15'-0" OPENING)
- BARS STACKED VERTICALLY AT INTERIOR FACE OF WALL @ 6" O.C.
REINFORCING AT BASEMENT WINDOWS
2-15M HORIZ. REINFORCING ON THE INSIDE AND OUTSIDE FACE OF THE FOUNDATION WALL BELOW THE WIN. SILL. EXTEND BARS 24" (610) BEYOND THE OPENING. 2-15M VERTICAL REINFORCING ON THE INSIDE AND OUTSIDE FACE OF THE FOUNDATION WALL ON EACH SIDE OF THE WINDOW OPENING.
- BARS TO HAVE MIN. 2" (50) CONC. COVER
- BARS TO EXTEND 2'-0" (610) BEYOND BOTH SIDES OF OPENING

43 **STUD WALL REINFORCEMENT**
PROVIDE STUD WALL REINFORCEMENT IN MAIN BATHROOM CONFORMING TO O.B.C. (9.5.2.3.(1) AND 3.8.3.8.(3)) (REFER TO DETAILS)

44 **WINDOW WELLS**
WHERE A WINDOW OPENS INTO A WINDOW WELL, A CLEARANCE OF NOT LESS THAN 21 5/8" (550) SHALL BE PROVIDED IN FRONT OF THE WINDOW. EVERY WINDOW WELL SHALL BE DRAINED TO THE FOOTING LEVEL OR OTHER SUITABLE LOCATION WITH A 4" (100) WEEPING TILE C/W A FILTER CLOTH WRAP AND FILLED WITH CRUSHED STONE. (9.9.10.1.(5), 9.14.6.3.)

45 **SLOPED CEILING CONSTRUCTION** ((SB-12] 2.1.1.7., 9.23.4.2.)
2"x12" (38x286) ROOF JOISTS @ 16" (406) O.C. MAX. (UNLESS OTHERWISE NOTED) W/ 2"x2" (38x38) PURLINS @ 16" (406) O.C. PERPENDICULAR TO ROOF JOIST (PURLINS NOT REQ. W/ SPRAY FOAM), W/ INSULATION BETWEEN JOIST, 6 mil POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH OR APPROVED EQ. INSULATION VALUE DIRECTLY ABOVE THE INNER SURFACE OF EXTERIOR WALLS SHALL NOT BE LESS THAN R20 (3.52 RSI).

46 **FLAT ROOF/BALCONY CONSTRUCTION**
WATERPROOFING MEMBRANE (9.26.11, 9.26.15, 9.26.16) FULLY ADHERED TO 5/8" (15.9) T&G EXTERIOR GRADE PLYWOOD SHEATHING ON 2"x2" (38x38) PURLINS ANGLED TOWARDS SCUPPER @ 2% MINIMUM LAID PERPENDICULAR TO 2"x8" (38x184) FLOOR JOISTS @ 16" (406) O.C. (UNLESS OTHERWISE NOTED). BUILT UP CURB TO BE 4" (100) MIN. ABOVE FINISHED BALCONY FLOOR. CONTINUOUS 'L' TRIM DRIP EDGE TO BE PROVIDED ON OUTSIDE FACE OF CURB. SCUPPER DRAIN TO BE LOCATED 24" (610) MIN. AWAY FROM HOUSE. PREFINISHED ALUMINUM OR PANEL FOR UNDERSIDE OF SOFFIT (9.23.2.3). REMOVE CURB WHERE REQ.
BALCONY CONDITION
SEE FLAT ROOF/BALCONY CONSTRUCTION NOTE. INCLUDE 2"x4" (38x89) PT. DECKING W/ 1/4" (6.4) GAPS LAID FLAT PARALLEL TO JOISTS ON 2"x4" (38x89) PT. SLEEPERS @ 12" (305) O.C. LAID FLAT PERPENDICULAR TO JOISTS
BALCONY OVER HEATED SPACE CONDITION
SEE FLAT ROOF/BALCONY CONSTRUCTION NOTE FOR ASSEMBLY. REFER TO PLANS FOR FLOOR JOIST SIZE & REFER TO HEX NOTE 9 FOR INSULATION AND INTERIOR FINISH

47 **BARREL VAULT CONSTRUCTION**
CANTILEVERED 2"x4" (38x89) SPACERS LAID FLAT ON 2"x10" (38x235) SPR. #2 ROOF JOIST NAILED TO BUILT-UP 3-3/4" (19) PLYWOOD HEADER PROFILED FOR BARREL. SPRAY FOAM INSULATION BETWEEN JOISTS W/ GYPSUM BOARD. INTERIOR FIN. (REFER TO DETAILS)

REFER TO SB-12 ENERGY EFFICIENCY DESIGN MATRIX ON THE TITLE PAGE FOR ALL VALUES AS REQUIRED PER 3.1.1., 3.1.2., 3.1.3. OF THE OBC.

SECTION 1.1. WALL STUDS

- REFER TO THIS CHART FOR STUD SIZE & SPACING AS REQUIRED FOR EXTERIOR WALLS ONLY. REFER TO SITING & GRADING PLAN OF THIS UNIT FOR CONFIRMATION OF TOP OF FOUNDATION WALL AND ADDITIONAL INFORMATION.
- IF STUD WALL HEIGHT EXCEEDS MAX. UNSUPPORTED HEIGHT, WALL NEEDS TO BE REVIEWED AND APPROVED BY ENGINEER.

MIN. STUD SIZE, in (mm)	SIZE & SPACING OF STUDS: (OBC REFERENCE - TABLE 9.23.10.1.)				
	SUPPORTED LOADS (EXTERIOR)				
	ROOF w/ OR w/o ATTIC	ROOF w/ OR w/o ATTIC & 1 FLOOR	ROOF w/ OR w/o ATTIC & 2 FLOOR	ROOF w/ OR w/o ATTIC & 3 FLOOR	
	MAX. STUD SPACING, in (mm) O.C.				
	MAX. UNSUPPORTED HGT., ft-in (m)				
2"x4" (38x89)	24" (610)	16" (405)	12" (305)		N/A
	9'-10" (3.0)	9'-10" (3.0)	9'-10" (3.0)		N/A
2"x6" (38x140)	-	24" (610)	16" (406)	12" (305)	
	-	9'-10" (3.0)	11'-10" (3.6)	5'-11" (1.8)	

SECTION 2.0. GENERAL NOTES

2.1. WINDOWS
1) EXCEPT WHERE A DOOR ON THE SAME FLOOR LEVEL AS THE BEDROOM PROVIDES DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL CONTAINING A BEDROOM IS TO HAVE AT LEAST ONE OUTSIDE WINDOW W/ MIN. 0.35m2 UNOBSTRUCTED OPEN PORTION W/ NO DIMENSION LESS THAN 1'-3" (380), CAPABLE OF MAINTAINING THE OPENING WITHOUT THE NEED FOR ADDITIONAL SUPPORT, CONFORMING TO 9.9.10.
2) WINDOW GUARDS: A GUARD OR A WINDOW WITH A MAXIMUM RESTRICTED OPENING WIDTH OF 4" (100) IS REQUIRED WHERE THE TOP OF THE WINDOW SILL IS LOCATED LESS THAN 1'-7" (480) ABOVE FIN. FLOOR AND THE DISTANCE FROM THE FINISHED FLOOR TO THE ADJACENT GRADE IS GREATER THAN 5'-11" (1800). (9.8.8.1.)
3) WINDOWS IN EXIT STAIRWAYS THAT EXTEND TO LESS THAN 2'-11" (900) [3'-6" (1070) FOR ALL OTHER BUILDINGS] SHALL BE PROTECTED BY GUARDS IN ACCORDANCE WITH NOTE #2 (ABOVE), OR THE WINDOW SHALL BE NON-OPERABLE AND DESIGNED TO WITHSTAND THE SPECIFIED LOADS FOR BALCONY GUARDS AS PROVIDED IN 4.1.5.15 OR 9.8.8.2
4) REFER TO TITLE PAGE FOR MAX. U-VALUE REQUIREMENTS

2.2. CEILING HEIGHTS
THE CEILING HEIGHTS OF ROOMS AND SPACES SHALL CONFORM TO TABLE 9.5.3.1.

ROOM OR SPACE	MINIMUM HEIGHTS
LIVING ROOM, DINING ROOM AND KITCHEN	7'-7" OVER 75% OF REQUIRED FLOOR AREA WITH A CLEAR HEIGHT OF 6'-11" AT ANY POINT
BEDROOM	7'-7" OVER 50% OF REQUIRED FLOOR AREA OR 6'-11" OVER ALL OF THE REQUIRED FLOOR AREA.
BASEMENT	6'-11" OVER AT LEAST 75% OF THE BASEMENT AREA EXCEPT THAT UNDER BEAMS AND DUCTS THE CLEARANCE IS PERMITTED TO BE REDUCED TO 6'-5".
BATHROOM, LAUNDRY AREA ABOVE GRADE	6'-11" IN ANY AREA WHERE A PERSON WOULD NORMALLY BE STANDING
FINISHED ROOM NOT MENTIONED ABOVE	6'-11"
MEZZANINES	6'-11" ABOVE & BELOW FLOOR ASSEMBLY (9.5.3.2.)
STORAGE GARAGE	6'-7" (9.5.3.3.)

2.3. MECHANICAL / PLUMBING
1) MECHANICAL VENTILATION IS REQUIRED TO PROVIDE 0.7 AIR CHANGE PER HOUR IF NOT AIR CONDITIONED 1 PER HOUR IF AIR CONDITIONED AVERAGED OVER 24 HOURS, WHEN A VENTILATION FAN (PRINCIPAL EXHAUST) IS REQUIRED, CONFORM TO OBC 9.32.3.4. WHEN A HRV IS REQUIRED, CONFORM TO 9.32.3.11. REFER TO MECHANICAL DRAWINGS.
2) REFER TO HOT WATER TANK MANUFACTURER SPECS. CONFORM TO OBC 9.31.6.
3) REFER TO TITLE PAGE FOR SPACE HEATING EQUIPMENT, HRV AND DOMESTIC HOT WATER HEATER MINIMUM EFFICIENCIES.
4) DRAIN WATER HEAT RECOVERY UNIT(S) WILL BE INSTALLED CONFORMING TO THE REQUIREMENTS OF 3.1.1.12. OF THE O.B.C.
2.4. LUMBER
1) ALL LUMBER SHALL BE SPRUCE No.2 GRADE OR BETTER, UNLESS NOTED OTHERWISE.
2) STUDS SHALL BE STUD GRADE SPRUCE, UNLESS NOTED OTHERWISE.
3) LUMBER EXPOSED TO THE EXTERIOR TO BE SPRUCE No. 2 GRADE PRESSURE TREATED OR CEDAR, UNLESS NOTED OTHERWISE.
4) ALL LAMINATED VENEER LUMBER (LVL) BEAMS, GIRDER TRUSSES, AND METAL HANGER CONNECTIONS SUPPORTING ROOF FRAMING TO BE DESIGNED & CERTIFIED BY FLOOR AND ROOF TRUSS MANUFACTURER.
5) JOIST HANGERS: PROVIDE APPROVED METAL HANGERS FOR ALL JOISTS AND BUILT-UP WOOD MEMBERS INTERSECTING WITH FLUSH BUILT-UP WOOD MEMBERS.
6) WOOD FRAMING NOT TREATED WITH A WOOD PRESERVATIVE. IN CONTACT WITH CONCRETE, SHALL BE SEPARATED FROM THE CONC. BY AT LEAST 2 mil POLYETHYLENE FILM. No.50 (45lbs) ROLL ROOFING OR OTHER DAMPPROOFING MATERIAL, EXCEPT WHERE THE WOOD MEMBER IS AT LEAST 6" (152) ABOVE THE GROUND.

2.5. STEEL (9.23.4.3.)
1) STRUCTURAL STEEL SHALL CONFORM TO CAN/CSA-G40-21 GRADE 300W. HOLLOW STRUCT. SECTIONS SHALL CONFORM TO CAN/CSA-G40-21 GRADE 350W CLASS "H".
2) REINFORCING STEEL SHALL CONFORM TO CSA-G30-18M GRADE 400R.

2.6. FLAT ARCHES
1) FOR 8'-0" (2440) CEILINGS, FLAT ARCHES SHALL BE 6'-10" (2080) A.F.F.
2) FOR 9'-0" (2740) CEILINGS, FLAT ARCHES SHALL BE 7'-10" (2400) A.F.F.
3) FOR 10'-0" (3040) CEILINGS, FLAT ARCHES SHALL BE 8'-6" (2600) A.F.F.

2.7. ROOF OVERHANGS
1) ALL ROOF OVERHANGS SHALL BE 1'-0" (305). UNLESS NOTED OTHERWISE.

2.8. FLASHING (9.20.13., 9.26.4. & 9.27.3.)
1) FLASHING MATERIALS & INSTALLATION SHALL CONFORM TO O.B.C.

2.9. GRADING
1) THE BUILDING SHALL BE LOCATED OR THE BUILDING SITE GRADED SO THE WATER WILL NOT ACCUMULATE AT OR NEAR THE BUILDING AND WILL NOT ADVERSELY AFFECT ADJACENT PROPERTIES. CONFORM TO 9.14.6.
















2.10. ULC SPECIFIED ASSEMBLIES
ALL REQUIRED INDIVIDUAL COMPONENTS THAT FORM PART OF ANY '*ULC LISTED ASSEMBLY*'. SPECIFIED WITHIN THESE DRAWINGS, CANNOT BE ALTERED OR SUBSTITUTED FOR ANY OTHER MATERIAL/PRODUCT OR SPECIFIED MANUFACTURER THAT IS IDENTIFIED IN THAT '*SPECIFIED ULC LISTING*'. THERE SHALL BE NO DEVIATIONS UNDER ANY CIRCUMSTANCES IN ANY '*ULC LISTED ASSEMBLY*' IDENTIFIED IN THESE DRAWINGS.

SECTION 3.0. LEGEND

3.1. WOOD LINTELS AND BUILT-UP WOOD (DIVISION B PART 9. TABLES A8 TO A10 AND A12, A15 & A16)				
FORMING PART OF SENTENCE 9.23.4.2.(3), 9.23.4.2.(4), 9.23.12.3.(1),(3), 9.23.13.8.(2), 9.37.3.1.(1)				
	2"x8" SPRUCE #2	2"x10" SPRUCE #2	2"x12" SPRUCE #2	
L1	2/2"x8" (2/38x184)	L3 2/2"x10" (2/38x235)	L5 2/2"x12" (2/38x286)	
B1	3/2"x8" (3/38x184)	B3 3/2"x10" (3/38x235)	B5 3/2"x12" (3/38x286)	
B2	4/2"x8" (4/38x184)	B4 4/2"x10" (4/38x235)	B6 4/2"x12" (4/38x286)	
B7	5/2"x8" (5/38x184)	B8 5/2"x10" (5/38x235)	B9 5/2"x12" (5/38x286)	
ENGINEERED LUMBER SCHEDULE - GRADE 2.0E (UNLESS NOTED OTHERWISE)				
	1 3/4" x 9 1/2" LVL	1 3/4" x 11 7/8" LVL	1 3/4" x 14" LVL	
LVL2	1-1 3/4"x9 1/2"	LVL3 1-1 3/4"x11 7/8"	LVL10 1-1 3/4"x14"	
LVL4	2-1 3/4"x9 1/2"	LVL6 2-1 3/4"x11 7/8"	LVL11 2-1 3/4"x14"	
LVL5	3-1 3/4"x9 1/2"	LVL7 3-1 3/4"x11 7/8"	LVL12 3-1 3/4"x14"	
LVL8	4-1 3/4"x9 1/2"	LVL9 4-1 3/4"x11 7/8"	LVL13 4-1 3/4"x14"	
3.2. STEEL LINTELS SUPPORTING MASONRY VENEER (DIVISION B PART 9. TABLE 9.20.5.2.B.)				
FORMING PART OF SENTENCE 9.20.5.2.(2) & 9.20.5.2.(3)				
CODE	SIZE	BRICK	STONE	
L7	3 1/2" x 3 1/2" x 1/4" (89 x 89 x 6.4)	8'-1" (2.47m)	7'-6" (2.30m)	
L8	4" x 3 1/2" x 1/4" (102 x 89 x 6.4)	8'-9" (2.66m)	8'-1" (2.48m)	
L9	4 7/8" x 3 1/2" x 5/16" (127 x 89 x 7.9)	10'-10" (3.31m)	10'-1" (3.03m)	
L10	4 7/8" x 3 1/2" x 3/8" (127 x 89 x 11)	11'-5" (3.48m)	10'-7" (3.24m)	
L11	5 7/8" x 3 1/2" x 3/8" (152 x 89 x 11)	12'-6" (3.82m)	11'-7" (3.54m)	
L12	7 1/8" x 4" x 3/8" (178 x 102 x 11)	14'-1" (4.30m)	13'-1" (3.99m)	

3.3. DOOR SCHEDULE				
CONFORMING TO SECTIONS 9.5.11, 9.6., 9.7.2.1, 9.7.5.2, & 9.10.13.10				
1	EXTERIOR	2'-8" x 6'-8" x 1-3/4" (815 x 2030 x 45)	INSULATED MIN. R4 (RSI 0.7)	
1A	EXTERIOR	2'-10" x 6'-8" x 1-3/4" (865 x 2030 x 45)	INSULATED MIN. R4 (RSI 0.7)	
1B	EXTERIOR	3'-0" x 6'-8" x 1-3/4" (915 x 2030 x 45)	INSULATED MIN. R4 (RSI 0.7)	
1C	EXTERIOR	2'-6" x 6'-8" x 1-3/4" (760 x 2030 x 45)	INSULATED MIN. R4 (RSI 0.7)	
1D	EXTERIOR	2'-8" x 6'-8" x 1-3/4" (815 x 2030 x 45)	INS. MIN. R4 (RSI 0.7) (SEE HEX NOTE 20)	
1E	EXTERIOR	3'-0" x 8'-0" x 1-3/4" (915 x 2440 x 45)	INSULATED MIN. R4 (RSI 0.7)	
2A	EXTERIOR	2'-8" x 6'-8" x 1-3/4" (815 x 2030 x 45)	20 MIN. F.R.R. DOOR/FRAME WITH APP. SELF CLOSING DEVICE.	
2	INTERIOR	2'-8" x 6'-8" x 1-3/8" (815 x 2030 x 35)	PROVIDE 8'-0" HIGH INTERIOR DOORS FOR ALL 10' CEILING CONDITIONS	
3	INTERIOR	2'-6" x 6'-8" x 1-3/8" (760 x 2030 x 35)		
3A	INTERIOR	2'-4" x 6'-8" x 1-3/8" (710 x 2030 x 35)		
4	INTERIOR	2'-0" x 6'-8" x 1-3/8" (610 x 2030 x 35)		
4A	INTERIOR	2'-2" x 6'-8" x 1-3/8" (660 x 2030 x 35)		
5	INTERIOR	1'-6" x 6'-8" x 1-3/8" (460 x 2030 x 35)		

3.4. ACRONYMS			
AFF	ABOVE FINISHED FLOOR	JST	JOIST
BBFM	BEAM BY FLOOR MANUFACTURER	LIN	LINEN CLOSET
BG	FIXED GLASS W/ BLACK BACKING	LVL	LAMINATED VENEER LUMBER
BM	BEAM	OTB/A	OPEN TO BELOW/ABOVE
BBRM	BEAM BY ROOF MANUFACTURER	PL	POINT LOAD
CRF	CONVENTIONAL ROOF FRAMING	PLT	PLATE
C/W	COMPLETE WITH	PT	PRESSURE TREATED
DJ/TJ	DOUBLE JOIST/ TRIPLE JOIST	PTD	PAINTED
DO	DO OVER	PWD	POWDER ROOM
DRP	DROPPED	RT	ROOF TRUSS
E.I.F.S.	EXTERIOR INSULATION FINISH SYSTEM	RWL	RAIN WATER LEADER
ENG	ENGINEERED	SB	SOLID BEARING WOOD POST
EST	ESTIMATED	SBFA	SB FROM ABOVE
FA	FLAT ARCH	SJ	SINGLE JOIST
FD	FLOOR DRAIN	SPR	SPRUCE
FG	FIXED GLASS	STL	STEEL
FL	FLUSH	T/O	TOP OF
FLR	FLOOR	TYP	TYPICAL
GT	GIRDER TRUSS	U/S	UNDERSIDE
HB	HOSE BIB	WD	WOOD
HRV	HEAT RETURN VENTILATION UNIT	WIC	WALK IN CLOSET
HWT	HOT WATER TANK	WP	WEATHER PROOF

3.5. SYMBOLS			
ALL ELECTRICAL FACILITIES SHALL BE INSTALLED IN ACCORDANCE WITH SECTION 9.34.			
	CLASS 'B' VENT		EXHAUST VENT
	DUPLEX OUTLET (12" HIGH)		DUPLEX OUTLET (HEIGHT AS NOTED A.F.F.)
	HEAVY DUTY OUTLET		SWITCH (2/3/4 WAY)
	ROUGH IN FOR ELECTRIC VEHICLE CHARGING STATION (9.34.4)		LIGHT FIXTURE (CEILING MOUNTED)
	POT LIGHT		LIGHT FIXTURE (WALL MOUNTED)
	LIGHT FIXTURE (PULL CHAIN)		TELEPHONE JACK
	CABLE T.V. JACK		CHANDELIER (CEILING MOUNTED)
	CENTRAL VACUUM OUTLET		

■ SA **SMOKE ALARM** (9.10.19.)
PROVIDE ONE PER FLOOR, NEAR THE STAIRS CONNECTING THE FLOOR LEVEL. ALARMS ARE TO BE INSTALLED IN EACH SLEEPING ROOM AND IN A LOCATION BETWEEN SLEEPING ROOMS AND CONNECTING HALLWAYS AND WIRED TO BE INTERCONNECTED TO ACTIVATE ALL ALARMS IF ONE SOUNDS. ALARMS ARE TO BE CONNECTED TO AN ELECTRICAL CIRCUIT AND WITH A BATTERY BACKUP. ALARM SIGNAL SHALL MEET TEMPORAL SOUND PATTERNS MIN. ALARMS SHALL HAVE A VISUAL SIGNALLING COMPONENT AS PER THE "NATIONAL FIRE ALARM AND SIGNALING CODE 72".

⚡ CMD **CARBON MONOXIDE ALARM** (9.33.4.)
** CHECK LOCAL BY-LAWS FOR REQUIREMENTS ** A CARBON MONOXIDE ALARM(S) CONFORMING TO CAN/CGA-6.19 SHALL BE INSTALLED ON OR NEAR THE CEILING IN EACH DWELLING UNIT ADJACENT TO EACH SLEEPING AREA. CARBON MONOXIDE ALARM(S) SHALL BE PERMANENTLY WIRED WITH NO DISCONNECT SWITCH, WITH AN ALARM THAT IS AUDIBLE WITHIN SLEEPING ROOMS WHEN THE INTERVENING DOORS ARE CLOSED.

☒ SB **SOLID BEARING (BUILT-UP WOOD COLUMNS AND STUD POSTS)**
THE WIDTH OF A WOOD COLUMN SHALL NOT BE LESS THAN THE WIDTH OF SUPPORTED MEMBER. BUILT-UP WOOD COLUMNS SHALL BE NAILED TOGETHER WITH NOT LESS THAN 3" (76) NAILS SPACED NOT MORE THAN 11 3/4" (300) O.C. THE NUMBER OF STUDS IN A WALL DIRECTLY BELOW A GIRDER TRUSS OR ROOF BEAM SHALL CONFORM TO TABLES A-34 TO A-37. (9.17.4., 9.23.10.7.)

	TWO STOREY VOLUME SPACE. SEE CONSTRUCTION NOTE 39.
	VARYING PLATES, BUILT-OUT FLOORS, BEARING WALLS, ICE & WATER SHIELD
	EXPOSED BUILDING FACE -O.B.C. 9.10.14, OR 9.10.15. REFER TO HEX NOTE 35. & DETAILS FOR TYPE AND SPECIFICATIONS.

	1 HR. PARTY WALL REFER TO HEX NOTE 40.		2 HR. FIREWALL REFER TO HEX NOTE 40A.
--	---	--	--

SECTION 4.0. CLIMATIC DATA

DESIGN SNOW LOAD (9.4.2.2.): 1.01 kPa
WIND LOAD (q50) (SB-1.2.): 0.44 kPa

STAMP

100 COMMERCIAL DRIVE, WILLOWDALE, ONTARIO M2H 1G1
TEL: 1-905-882-4211 FAX: 1-905-822-0050 WWW.WSPGROUP.CA

FOR STRUCTURAL ONLY. EXCLUDING ENGINEERED ROOF TRUSS, FLOOR JOIST, AND FLOOR LVL BEAM DESIGN.

CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB. REPORT ANY DISCREPANCIES TO HUNT DESIGN ASSOCIATES INC. (H.D.A.I.) BEFORE PROCEEDING WITH THE WORK. ALL THE DRAWINGS & SPECIFICATIONS ARE THE INSTRUMENTS OF SERVICE AND ARE THE PROPERTY OF H.D.A.I. ALL CONSTRUCTION TO ADHERE TO THESE PLANS AND SPECIFICATIONS AND TO CONFORM TO THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. THESE REQUIREMENTS ARE TO BE TAKEN AS MINIMUM SPECIFICATIONS. ONT. REG. 332/12.
CONSTRUCTION NOTE REVISION DATE: **MARCH 21, 2018**

CONSTRUCTION NOTES 2

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THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION
Allan Whiting 23177
SIGNATURE BCIN

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PINE VALLEY, VAUGHAN ONT.

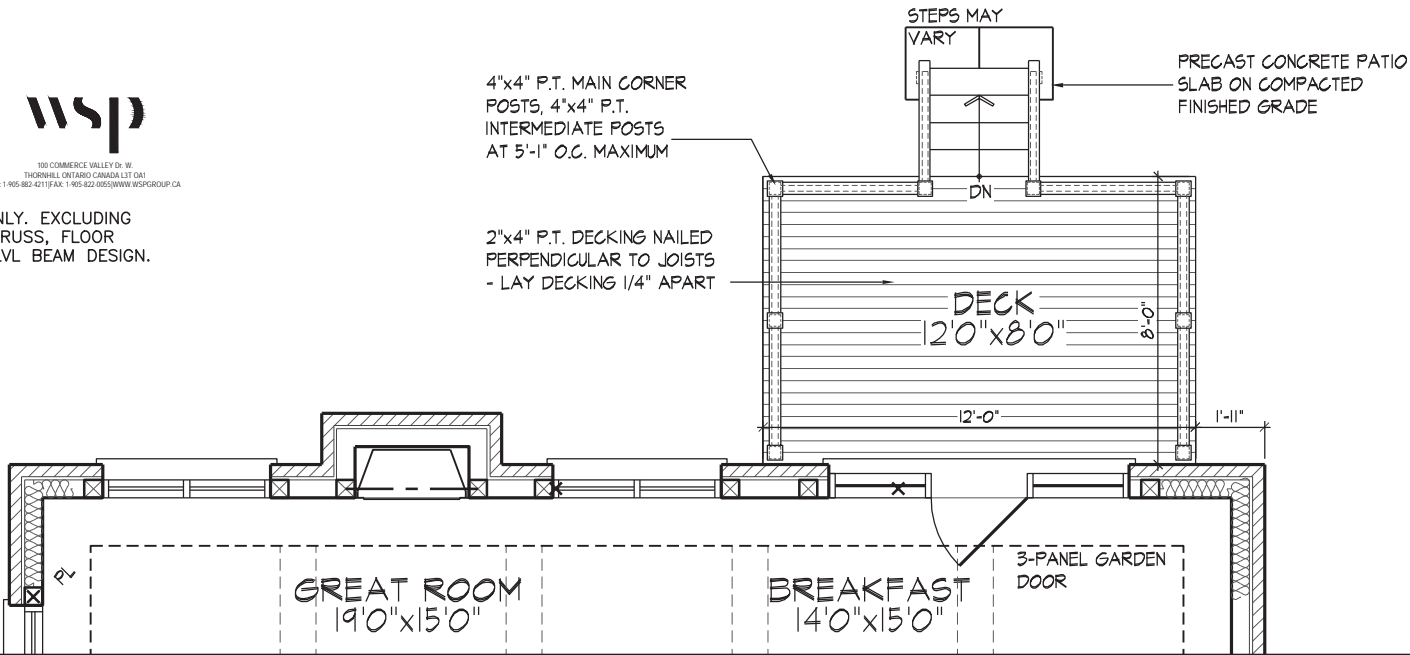
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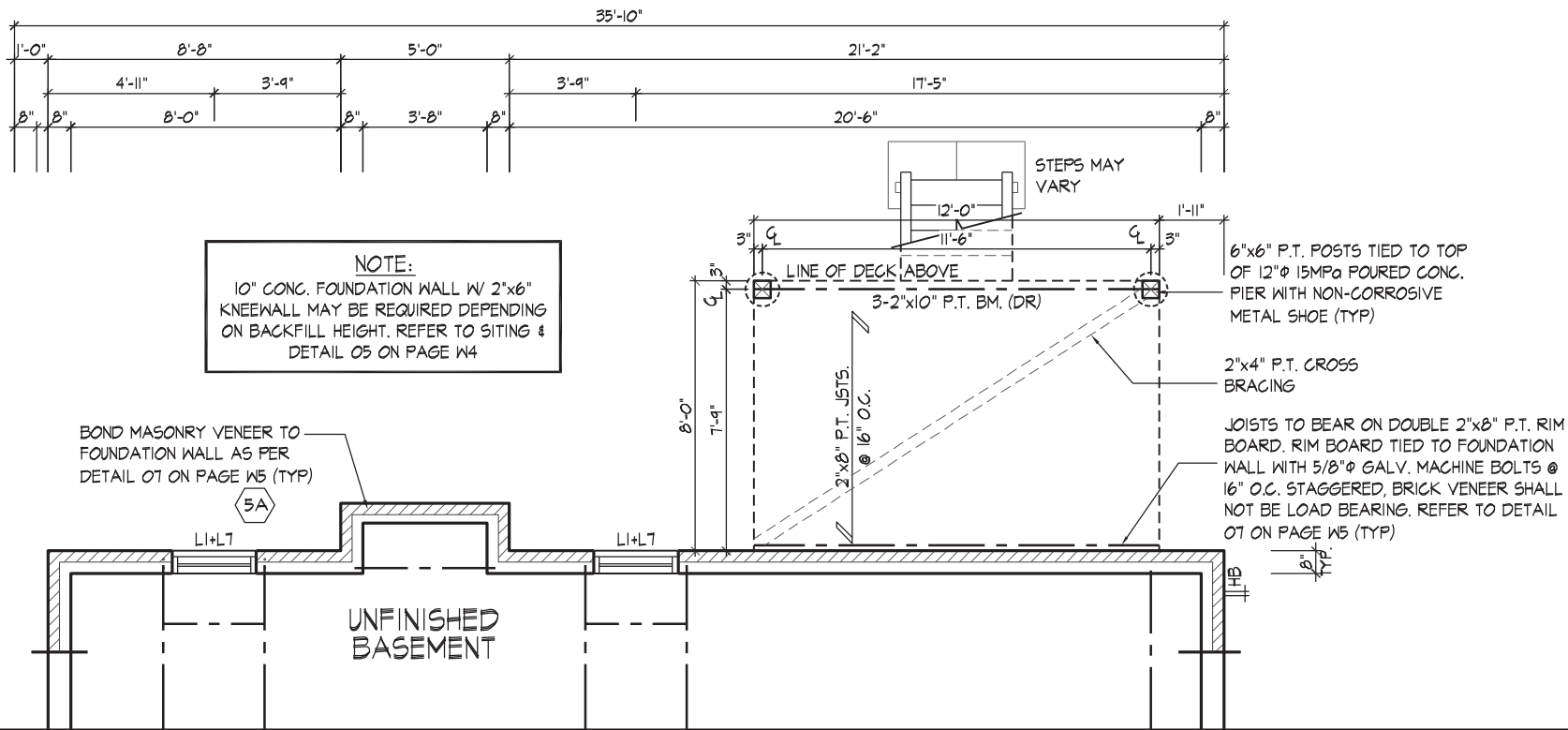


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PART. GROUND FLOOR PLAN ELEV. 'A' - W.O.D. COND.
ELEV. 'B' SIMILAR

NOTE:
REFER TO STANDARD FLOOR
PLANS FOR COMPLETE DIMENSIONS
& STRUCTURAL INFORMATION



PART. BASEMENT PLAN ELEV. 'A' - W.O.D. COND.
ELEV. 'B' SIMILAR

NOTE:
REFER TO STANDARD FLOOR
PLANS FOR COMPLETE DIMENSIONS
& STRUCTURAL INFORMATION



PART. REAR ELEV. 'A' - W.O.D. COND.
ELEV. 'B' SIMILAR

REFER TO FRONT ELEVATION & STANDARD
REAR FOR TYPICAL NOTES & INFO.

WINDOW SIZES FOR W.O.D. CONDITIONS:
WINDOWS TO BE LOCATED WITHIN JOIST
SPACE. IF GRADE PERMITS, TOP OF
WINDOW TO BE 6'-10" FOR STD. AND
7'-10" FOR OPT. 4' BSMT A.F.F.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: [Signature]
DATE: APR 13, 2020

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WALK OUT DECK CONDITION

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION
Allan Whiting 23177
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
HUNT DESIGN ASSOCIATES INC. 19695

HUNT DESIGN ASSOCIATES INC.
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GOLDPARK HOMES - 217020
PINE VALLEY, VAUGHAN ONT.

UNIT 4204 - THE BROOKVALLEY
REV.2020.03.30

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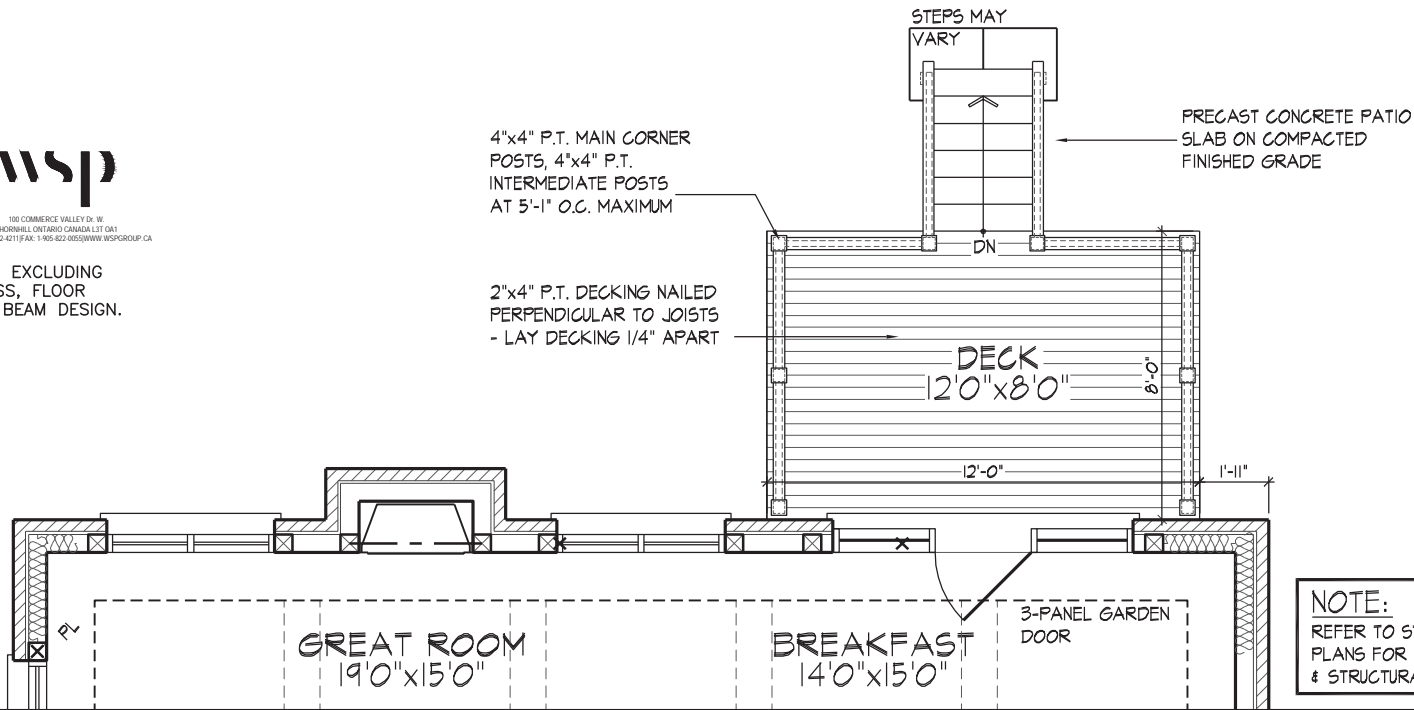
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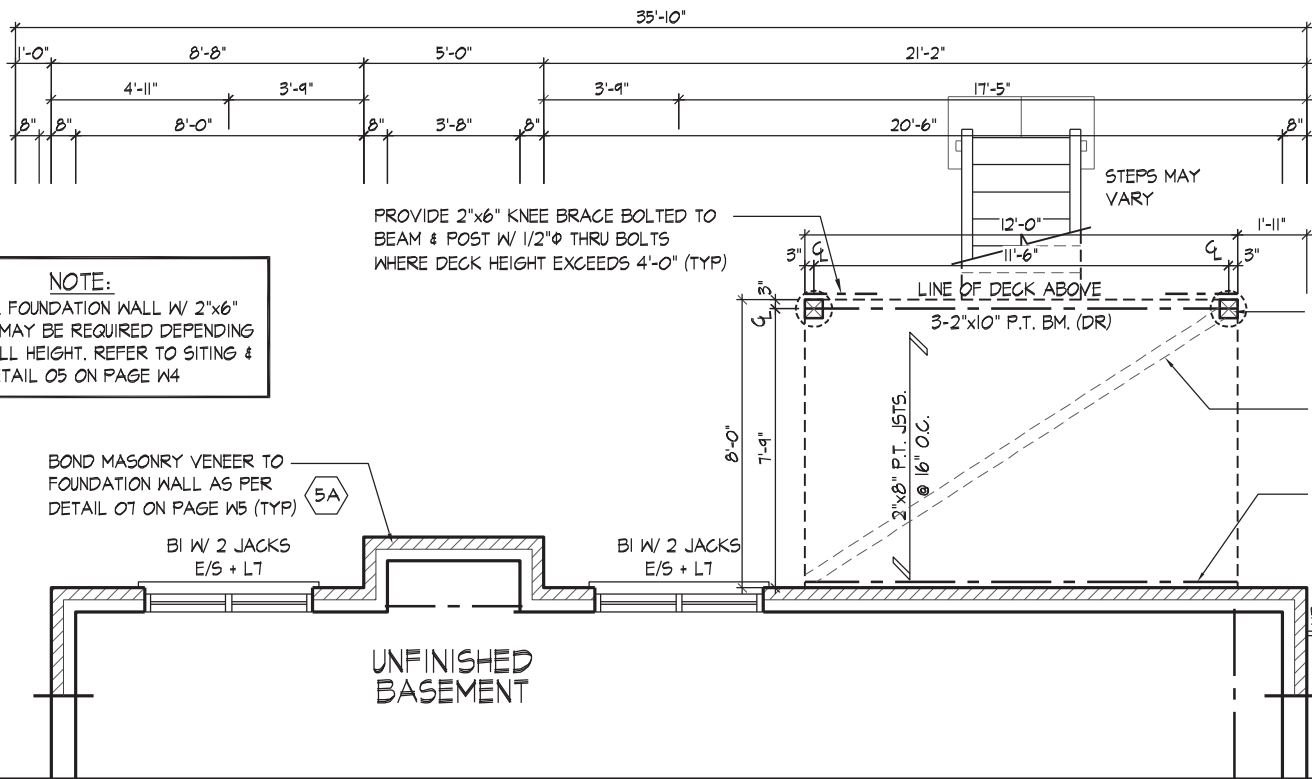
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NOTE:
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PLANS FOR COMPLETE DIMENSIONS
& STRUCTURAL INFORMATION



NOTE:
10" CONC. FOUNDATION WALL W/ 2"x6"
KNEEWALL MAY BE REQUIRED DEPENDING
ON BACKFILL HEIGHT. REFER TO SITING &
DETAIL 05 ON PAGE W4

NOTE:
REFER TO STANDARD FLOOR
PLANS FOR COMPLETE DIMENSIONS
& STRUCTURAL INFORMATION

PART. BASEMENT PLAN ELEV. 'A' - L.O.D. COND.
ELEV. 'B' SIMILAR



PART. REAR ELEV. 'A' - L.O.D. COND.
ELEV. 'B' SIMILAR

REFER TO FRONT ELEVATION & STANDARD
REAR FOR TYPICAL NOTES & INFO.

WINDOW SIZES FOR L.O.D. CONDITIONS:
MATCH WIDTH OF WINDOW ABOVE AND
WINDOWS TO BE 30" DEEP. WINDOWS
TO BE LOCATED WITHIN JOIST SPACE.
IF GRADE PERMITS, TOP OF WINDOW TO
BE 7'-0" FOR STD. AND 8'-0" FOR OPT.
9' BSMT A.F.F.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY:

DATE: APR 13, 2020

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LOOK OUT DECK CONDITION

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION

NAME: SIGNATURE

23177
BCIN

REGISTRATION INFORMATION

HUNT DESIGN ASSOCIATES INC.

19695

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GOLDPARK HOMES - 217020
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UNIT 4204 - THE BROOKVALLEY
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W2 of W7

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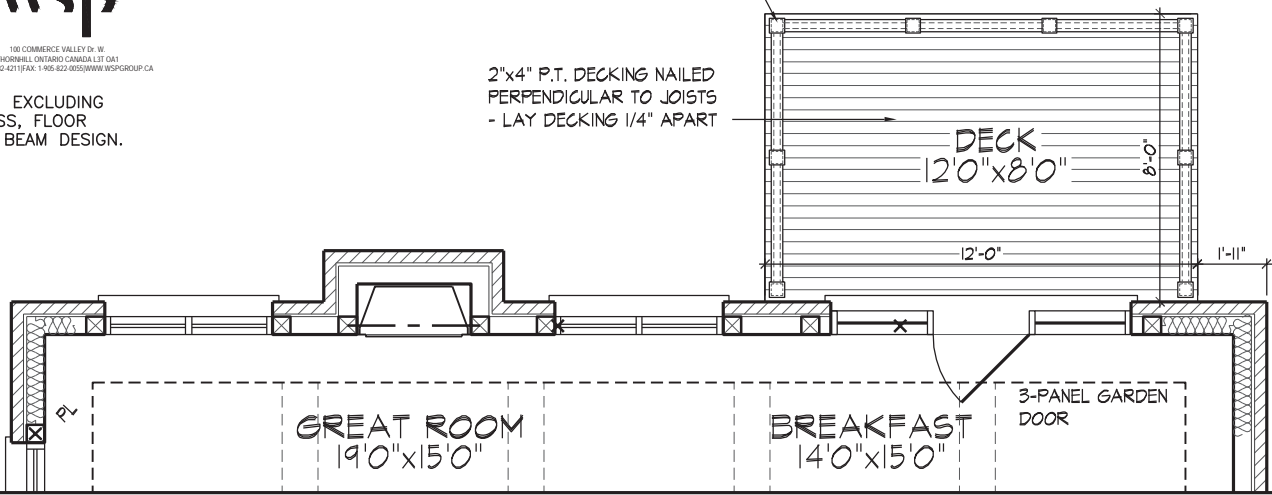
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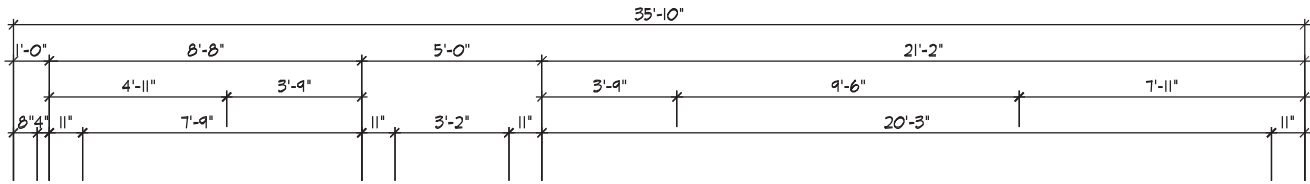
4"x4" P.T. MAIN CORNER
POSTS, 4"x4" P.T.
INTERMEDIATE POSTS
AT 5'-1" O.C. MAXIMUM

2"x4" P.T. DECKING NAILED
PERPENDICULAR TO JOISTS
- LAY DECKING 1/4" APART



NOTE:
REFER TO STANDARD FLOOR
PLANS FOR COMPLETE DIMENSIONS
& STRUCTURAL INFORMATION

PART. GROUND FLOOR PLAN ELEV. 'A' - W.O.B. COND.
ELEV. 'B' SIMILAR



PROVIDE 2"x6" KNEE BRACE BOLTED TO
BEAM & POST W/ 1/2"Ø THRU BOLTS (TYP)

2-2"x8" P.T. WOOD BEAM BEARING ON
WOOD POSTS. TIE BEAM TO WOOD
STUDS/HEADER WITH 5/8"Ø GALV. LAG
SCREWS @ 16" O.C. STAGGERED.

JOISTS HUNG ON BEAM WITH APPROVED
GALV. METAL JOISTS HANGERS @ 16" O.C.

6"x6" P.T. POSTS TIED TO TOP
OF 12"Ø 15MPa POURED CONC.
PIER WITH NON-CORROSIVE
METAL SHOE (TYP)

2"x4" P.T. CROSS
BRACING

NOTE:
PROVIDE FULL HEIGHT BONDED
WALL WHERE GRADE EXCEEDS
4'-7" FOR 10" FOUNDATION WALL

3 REFER TO DETAIL
06 ON PG. W4

BI W 2 JACKS
E/S + L7

BI W 2 JACKS
E/S + L7

B5 W 3 JACKS
E/S + L9

UNFINISHED
BASEMENT

OUTLINE OF
FOUNDATION
BELOW

6"x12" POURED CONC.
PIER WALL WITH CONC.
FOOTING BELOW. REFER
TO DETAIL 9 ON PG. W6

3-PANEL GARDEN
DOOR

NOTE:
REFER TO STANDARD FLOOR
PLANS FOR COMPLETE DIMENSIONS
& STRUCTURAL INFORMATION

PART. BASEMENT PLAN ELEV. 'A' - W.O.B. COND.
ELEV. 'B' SIMILAR

4"x4" P.T. MAIN CORNER
POSTS, 4"x4" P.T. INTER.
POSTS AT 5'-1" O.C.
MAXIMUM (TYP)

2"x4" P.T. TOP RAIL,
2"x4" P.T. RAIL, 2"x2"
P.T. PICKETS @ 4" O.C.
MAX. (TYP)

P.T. BEAM AS PER PLANS
TIED TO TOP OF 6"x6" P.T.
POSTS TIED TO TOP OF
12"Ø 15MPa POURED CONC.
PIER WITH
NON-CORROSIVE METAL
SHOE (TYP)



PART. REAR ELEV. 'A' - W.O.B. COND.
ELEV. 'B' SIMILAR

REFER TO FRONT ELEVATION & STANDARD
REAR FOR TYPICAL NOTES & INFO.

WINDOW SIZES FOR W.O.B. CONDITIONS:
- W.O.B. = MATCH WIDTH OF WINDOW
ABOVE AND WINDOWS TO BE 56" FOR
STD. AND 60" DEEP FOR OPT. 9' BSMT
TOP OF WINDOW TO BE @ 6'10" FOR STD.
AND 7'-10" FOR OPT. 9' BSMT A.F.F.

It is the builder's complete responsibility to
ensure that all plans submitted for approval
fully comply with the Architectural Guidelines
and all applicable regulations and requirements
including zoning provisions and any provisions
in the subdivision agreement. The Control
Architect is not responsible in any way for
examining or approving site (lotting) plans or
working drawings with respect to any zoning or
building code or permit matter or that any
house can be properly built or located on its lot.

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Guidelines approved by the City of
VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY:

DATE: APR 13, 2020

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WALK OUT BASEMENT CONDITION

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS
DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET
OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION

NAME: Allan Whiting

REGISTRATION INFORMATION

HUNT DESIGN ASSOCIATES INC.

23177

BCIN

19695

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UNIT 4204 - THE BROOKVALLEY
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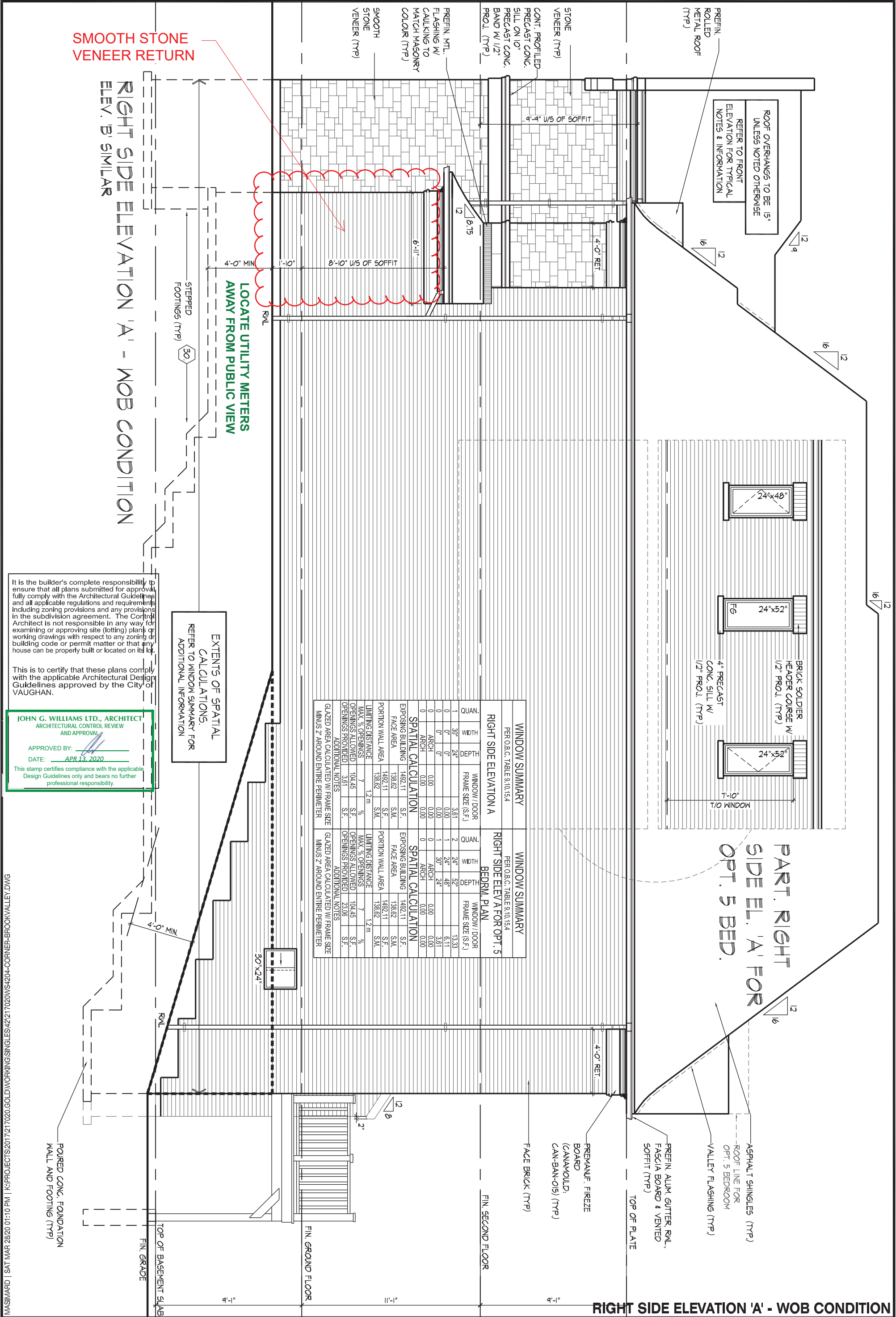
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W3 of W7

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SPATIAL CALCULATIONS FOR THE DECK CONDITIONS

WALK OUT DECK CONDITION

WINDOW SUMMARY					WINDOW SUMMARY				
PER O.B.C. TABLE 9.10.15.4					PER O.B.C. TABLE 9.10.15.4				
REAR ELEV. A					REAR ELEV. A - 5 BDRM				
QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)		QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	
2	24"	60"		15.56	3	24"	60"		23.33
1	60"	60"		21.78	1	60"	60"		21.78
1	24"	48"		6.11	0	0"	0"		0.00
0	0"	0"		0.00	1	48"	64"		18.33
2	56"	64"		43.33	2	56"	64"		43.33
2	56"	16"		8.67	2	56"	18"		10.11
1	100"	98"		62.67	1	100"	98"		62.67
2	30"	24"		7.22	2	30"	24"		7.22
0	0"	0"		0.00	0	0"	0"		0.00
0	0"	0"		0.00	0	0"	0"		0.00
0		ARCH	0.00	0.00	0		ARCH	0.00	0.00
0		ARCH	0.00	0.00	0		ARCH	0.00	0.00
0		ARCH	0.00	0.00	0		ARCH	0.00	0.00
0		ARCH	0.00	0.00	0		ARCH	0.00	0.00
SPATIAL CALCULATION					SPATIAL CALCULATION				
EXPOSING BUILDING FACE AREA		829.33	S.F.		EXPOSING BUILDING FACE AREA		829.33	S.F.	
		77.05	S.M.				77.05	S.M.	
PORTION WALL AREA		829.33	S.F.		PORTION WALL AREA		829.33	S.F.	
		77.05	S.M.				77.05	S.M.	
LIMITING DISTANCE		7.50 m			LIMITING DISTANCE		7.50 m		
MAX. % OPENINGS		50.50	%		MAX. % OPENINGS		50.50	%	
OPENINGS ALLOWED		418.81	S.F.		OPENINGS ALLOWED		418.81	S.F.	
OPENINGS PROVIDED		165.33	S.F.		OPENINGS PROVIDED		186.78	S.F.	
ADDITIONAL NOTES					ADDITIONAL NOTES				
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER					GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER				

WINDOW SUMMARY					WINDOW SUMMARY				
PER O.B.C. TABLE 9.10.15.4					PER O.B.C. TABLE 9.10.15.4				
REAR ELEV. B					REAR ELEV. B - 5 BDRM				
QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)		QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	
2	24"	60"		15.56	3	24"	60"		23.33
1	60"	60"		21.78	1	60"	60"		21.78
1	24"	48"		6.11	0	0"	0"		0.00
0	0"	0"		0.00	1	48"	60"		17.11
2	56"	64"		43.33	2	56"	64"		43.33
2	56"	18"		10.11	2	56"	18"		10.11
1	100"	98"		62.67	1	100"	98"		62.67
2	30"	24"		7.22	2	30"	24"		7.22
0	0"	0"		0.00	0	0"	0"		0.00
0	0"	0"		0.00	0	0"	0"		0.00
0		ARCH	0.00	0.00	0		ARCH	0.00	0.00
0		ARCH	0.00	0.00	0		ARCH	0.00	0.00
0		ARCH	0.00	0.00	0		ARCH	0.00	0.00
0		ARCH	0.00	0.00	0		ARCH	0.00	0.00
SPATIAL CALCULATION					SPATIAL CALCULATION				
EXPOSING BUILDING FACE AREA		829.33	S.F.		EXPOSING BUILDING FACE AREA		829.33	S.F.	
		77.05	S.M.				77.05	S.M.	
PORTION WALL AREA		829.33	S.F.		PORTION WALL AREA		829.33	S.F.	
		77.05	S.M.				77.05	S.M.	
LIMITING DISTANCE		7.50 m			LIMITING DISTANCE		7.50 m		
MAX. % OPENINGS		50.50	%		MAX. % OPENINGS		50.50	%	
OPENINGS ALLOWED		418.81	S.F.		OPENINGS ALLOWED		418.81	S.F.	
OPENINGS PROVIDED		166.78	S.F.		OPENINGS PROVIDED		185.56	S.F.	
ADDITIONAL NOTES					ADDITIONAL NOTES				
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER					GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER				

LOOK OUT DECK CONDITION

WINDOW SUMMARY					WINDOW SUMMARY				
PER O.B.C. TABLE 9.10.15.4					PER O.B.C. TABLE 9.10.15.4				
REAR ELEV. A					REAR ELEV. A - 5 BDRM				
QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)		QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	
2	24"	60"		15.56	3	24"	60"		23.33
1	60"	60"		21.78	1	60"	60"		21.78
1	24"	48"		6.11	0	0"	0"		0.00
0	0"	0"		0.00	1	48"	64"		18.33
2	56"	64"		43.33	2	56"	64"		43.33
2	56"	16"		8.67	2	56"	16"		8.67
1	100"	98"		62.67	1	100"	98"		62.67
2	56"	30"		18.78	2	56"	30"		18.78
0	0"	0"		0.00	0	0"	0"		0.00
0	0"	0"		0.00	0	0"	0"		0.00
0		ARCH	0.00	0.00	0		ARCH	0.00	0.00
0		ARCH	0.00	0.00	0		ARCH	0.00	0.00
0		ARCH	0.00	0.00	0		ARCH	0.00	0.00
0		ARCH	0.00	0.00	0		ARCH	0.00	0.00
SPATIAL CALCULATION					SPATIAL CALCULATION				
EXPOSING BUILDING FACE AREA		879.33	S.F.		EXPOSING BUILDING FACE AREA		879.33	S.F.	
		81.69	S.M.				81.69	S.M.	
PORTION WALL AREA		879.33	S.F.		PORTION WALL AREA		879.33	S.F.	
		81.69	S.M.				81.69	S.M.	
LIMITING DISTANCE		7.50 m			LIMITING DISTANCE		7.50 m		
MAX. % OPENINGS		50.50	%		MAX. % OPENINGS		50.50	%	
OPENINGS ALLOWED		444.06	S.F.		OPENINGS ALLOWED		444.06	S.F.	
OPENINGS PROVIDED		176.89	S.F.		OPENINGS PROVIDED		196.89	S.F.	
ADDITIONAL NOTES					ADDITIONAL NOTES				
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER					GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER				

WINDOW SUMMARY					WINDOW SUMMARY				
PER O.B.C. TABLE 9.10.15.4					PER O.B.C. TABLE 9.10.15.4				
REAR ELEV. B					REAR ELEV. B - 5 BDRM				
QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)		QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	
2	24"	60"		15.56	3	24"	60"		23.33
1	60"	60"		21.78	1	60"	60"		21.78
1	24"	48"		6.11	0	0"	0"		0.00
0	0"	0"		0.00	1	48"	60"		17.11
2	56"	64"		43.33	2	56"	64"		43.33
2	56"	18"		10.11	2	56"	18"		10.11
1	100"	98"		62.67	1	100"	98"		62.67
2	56"	30"		18.78	2	56"	30"		18.78
0	0"	0"		0.00	0	0"	0"		0.00
0	0"	0"		0.00	0	0"	0"		0.00
0		ARCH	0.00	0.00	0		ARCH	0.00	0.00
0		ARCH	0.00	0.00	0		ARCH	0.00	0.00
0		ARCH	0.00	0.00	0		ARCH	0.00	0.00
0		ARCH	0.00	0.00	0		ARCH	0.00	0.00
SPATIAL CALCULATION					SPATIAL CALCULATION				
EXPOSING BUILDING FACE AREA		879.33	S.F.		EXPOSING BUILDING FACE AREA		879.33	S.F.	
		81.69	S.M.				81.69	S.M.	
PORTION WALL AREA		879.33	S.F.		PORTION WALL AREA		879.33	S.F.	
		81.69	S.M.				81.69	S.M.	
LIMITING DISTANCE		7.50 m			LIMITING DISTANCE		7.50 m		
MAX. % OPENINGS		50.50	%		MAX. % OPENINGS		50.50	%	
OPENINGS ALLOWED		444.06	S.F.		OPENINGS ALLOWED		444.06	S.F.	
OPENINGS PROVIDED		178.33	S.F.		OPENINGS PROVIDED		197.11	S.F.	
ADDITIONAL NOTES					ADDITIONAL NOTES				
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER					GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER				

WALK OUT BASEMENT CONDITION

WINDOW SUMMARY					WINDOW SUMMARY				
PER O.B.C. TABLE 9.10.15.4					PER O.B.C. TABLE 9.10.15.4				
REAR ELEV. A					REAR ELEV. A - 5 BDRM				
QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)		QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	
2	24"	60"		15.56	3	24"	60"		23.33
1	60"	60"		21.78	1	60"	60"		21.78
1	24"	48"		6.11	0	0"	0"		0.00
0	0"	0"		0.00	1	48"	64"		18.33
2	56"	64"		43.33	2	56"	64"		43.33
2	56"	16"		8.67	2	56"	16"		8.67
1	100"	98"		62.67	1	100"	98"		62.67
2	56"	56"		37.56	2	56"	56"		37.56
1	100"	82"		52.00	1	100"	82"		52.00
0	0"	0"		0.00	0	0"	0"		0.00
0	ARCH		0.00	0.00	0	ARCH		0.00	0.00
0	ARCH		0.00	0.00	0	ARCH		0.00	0.00
0	ARCH		0.00	0.00	0	ARCH		0.00	0.00
0	ARCH		0.00	0.00	0	ARCH		0.00	0.00
SPATIAL CALCULATION					SPATIAL CALCULATION				
EXPOSING BUILDING FACE AREA		1053.33	S.F.		EXPOSING BUILDING FACE AREA		1053.33	S.F.	
		97.86	S.M.				97.86	S.M.	
PORTION WALL AREA		1053.33	S.F.		PORTION WALL AREA		1053.33	S.F.	
		97.86	S.M.				97.86	S.M.	
LIMITING DISTANCE		7.50 m			LIMITING DISTANCE		7.50 m		
MAX. % OPENINGS		45.00	%		MAX. % OPENINGS		45.00	%	
OPENINGS ALLOWED		474.00	S.F.		OPENINGS ALLOWED		474.00	S.F.	
OPENINGS PROVIDED		247.67	S.F.		OPENINGS PROVIDED		267.67	S.F.	
ADDITIONAL NOTES					ADDITIONAL NOTES				
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER					GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER				

SIZE & SPACING OF STUDS: (OBC REFERENCE - TABLE 9.23.10.1.)				
MIN. STUD SIZE, in (mm)	SUPPORTED LOADS (EXTERIOR)			
	ROOF w/ OR w/o ATTIC	ROOF w/ OR w/o ATTIC & 1 FLOOR	ROOF w/ OR w/o ATTIC & 2 FLOOR	ROOF w/ OR w/o ATTIC & 3 FLOOR
	MAX. STUD SPACING in (mm) O.C.			
	MAX. UNSUPPORTED HGT. ft-in (m)			
2"x4" (38x89)	24" (610)	16" (405)	12" (305)	N/A
	9'-10" (3.0)	9'-10" (3.0)	9'-10" (3.0)	N/A
2"x6" (38x140)	-	24" (610)	16" (406)	12" (305)
	-	9'-10" (3.0)	11'-10" (3.6)	5'-11" (1.8)

- REFER TO THIS CHART FOR STUD SIZE & SPACING AS REQUIRED FOR EXTERIOR WALLS ONLY. REFER TO SITING & GRADING PLAN OF THIS UNIT FOR CONFIRMATION OF TOP OF FOUNDATION WALL AND ADDITIONAL INFORMATION.

- IF STUD WALL HEIGHT EXCEEDS MAX. UNSUPPORTED HEIGHT, WALL NEEDS TO BE REVIEWED AND APPROVED BY ENGINEER.

BASE FLASHING CONFORMING TO TABLE 9.20.13.1 TO EXTEND 3/16" BEYOND OUTER FACE OF FOUNDATION WALL, TIED TO EXT. SHEATHING UNDER AIR/WATER BARRIER, PROVIDE 6" MINIMUM LAP JOINT.

WEEP HOLES @ 32" O.C. AT BASE FLASHING AND OVER ALL OPENINGS. PROVIDE P.V.C. BRICK VENTILATOR @ ALL WEEP HOLE LOCATIONS.

PROVIDE MASONRY PARGING FROM TOP OF FOUNDATION WALL TO 2" BELOW FINISHED GRADE

FOUNDATION WALLS SHALL NOT EXCEED 9'-10" (3.0m) IN UNSUPPORTED HEIGHT UNLESS OTHERWISE NOTED. (9.15.4.2.1). POURED CONC. FDTN. WALL WITH BITUMINOUS DAMPPROOFING AND DRAINAGE LAYER. REFER TO CHART FOR MAXIMUM UNSUPPORTED HEIGHT AND EARTH RETENTION FROM BASEMENT SLAB TO FINISHED GRADE, ON CONTINUOUS KEYED CONC. FTG., BRACE FOUNDATION WALL PRIOR TO BACKFILLING. ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OR COMPACTED ENGINEERED FILL.

UNREINFORCED SOLID CONCRETE FOUNDATION WALLS (9.15.4.2.)				
STRENGTH THICKNESS	MAX. HEIGHT FROM FIN. SLAB TO GRADE			
	UNSUPPORTED AT TOP	SUPPORTED AT TOP		
		<2.5m	>2.5m & <2.75m	>2.75m & <3.0m
8"	3'-11" (1.20m)	7'-0" (2.15m)	7'-0" (2.15m)	6'-10" (2.10m)
10"	4'-7" (1.40m)	7'-6" (2.30m)	8'-6" (2.60m)	8'-2" (2.50m)
12"	4'-11" (1.50m)	7'-6" (2.30m)	8'-6" (2.60m)	9'-3" (2.85m)
15 MPa	8"	3'-11" (1.20m)	7'-6" (2.30m)	7'-6" (2.30m)
	10"	4'-7" (1.40m)	7'-6" (2.30m)	8'-6" (2.60m)
	12"	4'-11" (1.50m)	7'-6" (2.30m)	8'-6" (2.60m)
20 MPa	8"	3'-11" (1.20m)	7'-6" (2.30m)	7'-2" (2.20m)
	10"	4'-7" (1.40m)	7'-6" (2.30m)	8'-6" (2.60m)
	12"	4'-11" (1.50m)	7'-6" (2.30m)	8'-6" (2.60m)

MINIMUM STRIP FOOTING SIZES (9.15.3.)			
NUMBER FLOORS SUPPORTED	SUPPORTING INT. LOAD BEARING MASONRY WALL	SUPPORTING EXTERIOR	SUPPORTING PARTY WALL
1	16" W x 6" D	16" W x 6" D	16" W x 6" D
2	24" W x 8" D	20" W x 6" D	24" W x 8" D
3	36" W x 14" D	26" W x 9" D	36" W x 14" D

NOTE: FOOTING SIZE SUBJECT TO CERTIFICATION BY A SOIL CONSULTANT

REFER TO SB-12 ENERGY EFFICIENCY DESIGN MATRIX ON THE TITLE PAGE FOR ALL VALUES AS REQUIRED PER 3.1.1., 3.1.2, 3.1.3. OF THE OBC.

FIRST FLOOR

TYPICAL BRICK VENEER WALL CONSTRUCTION

TYPICAL FLOOR CONSTRUCTION

INSULATION W/ REQUIRED EXPOSED FLOOR R-VALUE IN HEADER SPACE

2-2"x6" TOP PLATE

2"x6" SILL PLATE WITH 1/2" Ø ANCHOR BOLTS 8" LONG, EMBEDDED MIN. 4" INTO CONC. @ 7'-10" O.C., CAULKING OR GASKET BETWEEN PLATE AND TOP OF FOUND. WALL. USE NON-SHRINK GROUT TO LEVEL SILL PLATE WHEN REQUIRED.

INSULATION BLANKET OR BATTS W/ REQUIRED BASEMENT WALL R-VALUE, 6 MIL POLYETHYLENE VAPOUR BARRIER DAMPPROOF WITH AIR/WATER BARRIER BETWEEN THE FOUNDATION WALL AND INSULATION UP TO GRADE LEVEL. TERMINATE BLANKETS ABOVE SLAB AS REQUIRED BY O.B.C. OR ENERGY DESIGN CONSULTANT

TAPE AND SEAL BLANKETS AT ALL JOINTS

UNFINISHED BASEMENT

4" Ø WEEPING TILE, 6" CRUSHED STONE COVER OVER AND AROUND WEEPING TILES.

SECURE METAL BLANKET TIE TO FOUNDATION WALL AS PER MANUF. INSTRUCTIONS

1/2" IMPERVIOUS BOARD FOR BOND BREAK

3" MIN. 25 MPa CONC. SLAB ON 4" COARSE CLEAN GRANULAR FILL OR 20 MPa CONC. WITH DAMPPROOFING BELOW SLAB.

PROVIDE RIGID INSULATION BELOW EDGE OF SLAB EXTENDED MIN. 2'-0" WHERE THE GRADE IS LESS THAN 2'-0" DIFFERENCE FROM UNDERSIDE OF SLAB TO FINISHED GRADE.

NOTE: POURED CONC. FOOTING ON NATURAL UNDISTURBED SOIL OF 125kPa (SL5) OR COMPACTED ENGINEERED FILL WITH MIN. BEARING CAPACITY OF 125kPa (SL5). FOOTING SIZE SHOWN FOR 16'-0" (4.9m) MAXIMUM JOIST SPAN ONLY. JOIST SPAN EXCEEDING 16'-0" (4.9m) SHALL BE ENGINEERED. IF SOIL BEARING DOES NOT MEET MINIMUM CAPACITY, ENGINEERED FOOTINGS ARE REQUIRED. ACTUAL SOIL BEARING CAPACITY TO BE VERIFIED WITH SOIL ENGINEERING REPORT.



wsp

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FOR STRUCTURAL ONLY. EXCLUDING ENGINEERED ROOF TRUSS, FLOOR JOIST, AND FLOOR LVL BEAM DESIGN.

NOTE:

WHERE REDUCED GRADE CONDITION REQUIRES THE USE OF A FULL HEIGHT BONDED WALL, REBAR SHALL BE PROVIDED AS PER DETAIL 07 ON PG. W5

05

MASONRY VENEER, 2"x6" STUDS, 10" FOUNDATION WALL Laterally UNSUPPORTED

1/2" = 1'-0"

SIZE & SPACING OF STUDS: (OBC REFERENCE - TABLE 9.23.10.1.)				
MIN. STUD SIZE, in (mm)	SUPPORTED LOADS (EXTERIOR)			
	ROOF w/ OR w/o ATTIC	ROOF w/ OR w/o ATTIC & 1 FLOOR	ROOF w/ OR w/o ATTIC & 2 FLOOR	ROOF w/ OR w/o ATTIC & 3 FLOOR
	MAX. STUD SPACING in (mm) O.C.			
	MAX. UNSUPPORTED HGT. ft-in (m)			
2"x4" (38x89)	24" (610)	16" (405)	12" (305)	N/A
	9'-10" (3.0)	9'-10" (3.0)	9'-10" (3.0)	N/A
2"x6" (38x140)	-	24" (610)	16" (406)	12" (305)
	-	9'-10" (3.0)	11'-10" (3.6)	5'-11" (1.8)

- REFER TO THIS CHART FOR STUD SIZE & SPACING AS REQUIRED FOR EXTERIOR WALLS ONLY. REFER TO SITING & GRADING PLAN OF THIS UNIT FOR CONFIRMATION OF TOP OF FOUNDATION WALL AND ADDITIONAL INFORMATION.

- IF STUD WALL HEIGHT EXCEEDS MAX. UNSUPPORTED HEIGHT, WALL NEEDS TO BE REVIEWED AND APPROVED BY ENGINEER.

BASE FLASHING CONFORMING TO TABLE 9.20.13.1 TO EXTEND 3/16" BEYOND OUTER FACE OF FOUNDATION WALL, TIED TO EXT. SHEATHING UNDER AIR/WATER BARRIER, PROVIDE 6" MINIMUM LAP JOINT.

WEEP HOLES @ 32" O.C. AT BASE FLASHING AND OVER ALL OPENINGS. PROVIDE P.V.C. BRICK VENTILATOR @ ALL WEEP HOLE LOCATIONS.

PROVIDE MASONRY PARGING FROM TOP OF FOUNDATION WALL TO 2" BELOW FINISHED GRADE

OPTIONAL WEEPING TILE AT REAR WALL-SEE MUNICIPAL STANDARDS

FOUNDATION WALLS SHALL NOT EXCEED 9'-10" (3.0m) IN UNSUPPORTED HEIGHT UNLESS OTHERWISE NOTED. (9.15.4.2.1). POURED CONC. FDTN. WALL WITH BITUMINOUS DAMPPROOFING AND DRAINAGE LAYER. REFER TO CHART FOR MAXIMUM UNSUPPORTED HEIGHT AND EARTH RETENTION FROM BASEMENT SLAB TO FINISHED GRADE, ON CONTINUOUS KEYED CONC. FTG., BRACE FOUNDATION WALL PRIOR TO BACKFILLING. ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OR COMPACTED ENGINEERED FILL.

UNREINFORCED SOLID CONCRETE FOUNDATION WALLS (9.15.4.2.)				
STRENGTH THICKNESS	MAX. HEIGHT FROM FIN. SLAB TO GRADE			
	UNSUPPORTED AT TOP	SUPPORTED AT TOP		
		<2.5m	>2.5m & <2.75m	>2.75m & <3.0m
8"	3'-11" (1.20m)	7'-0" (2.15m)	7'-0" (2.15m)	6'-10" (2.10m)
10"	4'-7" (1.40m)	7'-6" (2.30m)	8'-6" (2.60m)	8'-2" (2.50m)
12"	4'-11" (1.50m)	7'-6" (2.30m)	8'-6" (2.60m)	9'-3" (2.85m)
15 MPa	8"	3'-11" (1.20m)	7'-6" (2.30m)	7'-6" (2.30m)
	10"	4'-7" (1.40m)	7'-6" (2.30m)	8'-6" (2.60m)
	12"	4'-11" (1.50m)	7'-6" (2.30m)	8'-6" (2.60m)
20 MPa	8"	3'-11" (1.20m)	7'-6" (2.30m)	7'-2" (2.20m)
	10"	4'-7" (1.40m)	7'-6" (2.30m)	8'-6" (2.60m)
	12"	4'-11" (1.50m)	7'-6" (2.30m)	8'-6" (2.60m)

MINIMUM STRIP FOOTING SIZES (9.15.3.)			
NUMBER FLOORS SUPPORTED	SUPPORTING INT. LOAD BEARING MASONRY WALL	SUPPORTING EXTERIOR	SUPPORTING PARTY WALL
1	16" W x 6" D	16" W x 6" D	16" W x 6" D
2	24" W x 8" D	20" W x 6" D	24" W x 8" D
3	36" W x 14" D	26" W x 9" D	36" W x 14" D

NOTE: FOOTING SIZE SUBJECT TO CERTIFICATION BY A SOIL CONSULTANT

REFER TO SB-12 ENERGY EFFICIENCY DESIGN MATRIX ON THE TITLE PAGE FOR ALL VALUES AS REQUIRED PER 3.1.1., 3.1.2, 3.1.3. OF THE OBC.

FIRST FLOOR

TYPICAL BRICK VENEER WALL CONSTRUCTION

TYPICAL FLOOR CONSTRUCTION

INSULATION W/ REQUIRED EXPOSED FLOOR R-VALUE IN HEADER SPACE

2-2"x6" TOP PLATE

UNFINISHED BASEMENT

1" RIGID INSULATION THERMAL BREAK AROUND PERIMETER OF SLAB

3" MIN. 25 MPa CONC. SLAB ON 4" COARSE CLEAN GRANULAR FILL OR 20 MPa CONC. WITH DAMPPROOFING BELOW SLAB.

PROVIDE RIGID INSULATION UNDER ENTIRE SLAB SURFACE WHEN SLAB IS LESS THAN 2'-0" DIFFERENCE FROM FINISHED GRADE

2"x6" SILL PLATE WITH 1/2" Ø ANCHOR BOLTS 8" LONG, EMBEDDED MIN. 4" INTO CONC. @ 7'-10" O.C., CAULKING OR GASKET BETWEEN PLATE AND TOP OF FOUND. WALL. USE NON-SHRINK GROUT TO LEVEL SILL PLATE WHEN REQUIRED.

PROVIDE RIGID INSULATION EXTENDED NO LESS THAN 2'-0" BELOW FINISHED GRADE, UNDER THE EXTERIOR PERIMETER OF THE CONCRETE SLAB ALONG THE FOUNDATION WALL FOR WALK-OUT CONDITIONS OR WHEN THE DIFFERENCE FROM THE SLAB TO FINISHED GRADE IS LESS THAN 2'-0".

NOTE:

WHERE REDUCED GRADE CONDITION REQUIRES THE USE OF A FULL HEIGHT BONDED WALL, REBAR SHALL BE PROVIDED AS PER DETAIL 07 ON PG. W5

06

MASONRY VENEER, 2"x6" STUDS, SLAB ON GRADE / WALK OUT BASEMENT CONDITION

1/2" = 1'-0"

DECK DETAILS 1

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION

Allan Whiting

NAME SIGNATURE

23177

BCIN

REGISTRATION INFORMATION

HUNT DESIGN ASSOCIATES INC.

19695

HUNT
DESIGN ASSOCIATES INC.

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GOLDPARK HOMES - 217020
PINE VALLEY, VAUGHAN ONT.

Drawn By

MC

Checked By

SB

Scale

3/16"=1'-0"

File Number

217020WS4204- CORNER

Page Number

W4 of W7

8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

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2"x4" P.T. TOP RAIL
2"x4" P.T. RAIL
2"x2" P.T. PICKETS @ 4" O.C. MAX.
4"x4" P.T. MAIN CORNER POSTS
4"x4" P.T. INTERMEDIATE POSTS AT
5'-1" O.C. MAXIMUM

NOTE: ALL METAL FASTENERS
SHALL BE NON-CORROSIVE.

2"x4" P.T. BOTTOM RAIL

2"x4" P.T. DECKING LAID
PERPENDICULAR TO JOISTS 1/4"
APART

2"x8" P.T. RIM BOARD

2"x8" P.T. BLOCKING AT POSTS
CONNECTION

2"x8" P.T. JOISTS @ 16" O.C.
P.T. BEAM AS PER PLANS TIED TO TOP
OF 6"x6" P.T. POSTS TIED TO TOP OF
12"Ø ISMPO POURED CONG. PIER WITH
NON-CORROSIVE METAL SHOE

POSTS TIED TO METAL SHOE
ANCHOR WITH 4-3/8"Ø MACHINE BOLTS

1/2"Ø NON-CORROSIVE ANCHOR 4"
MINIMUM INTO CONCRETE

TYPICAL FOUNDATION WALL
CONSTRUCTION

TYPICAL BRICK VENEER WALL CONSTRUCTION

FIRST FLOOR

MINIMUM 2"x4" SILL PLATE (2"x6" AS REQ.), TIED TO TOP OF POURED
CONG. FND. WALL WITH 8" LONGx1/2"Ø ANCHOR BOLTS C/W NUT AND
WASHER WITH 2 1/2" HOOK. ANCHOR BOLTS TO BE SPACED NOT
MORE THAN 7'-10" O.C. AND EMBEDDED NOT LESS THAN 4" INTO
CONG. PROVIDE SILL GASKET BETWEEN PLATE AND FOUNDATION
WALL. PROVIDE NON-SHRINK GROUT TO LEVEL PLATE.

TYPICAL FLOOR CONSTRUCTION

BASE FLASHING CONFORMING TO TABLE 9.20.13.1 TO EXTEND 3/16"
BEYOND OUTER FACE OF FOUNDATION WALL, TIED TO EXT. SHEATHING
UNDER AIR/WATER BARRIER, PROVIDE 6" MINIMUM LAP JOINT.

JOISTS TO BEAR ON DOUBLE 2"x8" P.T. RIM BOARD.
RIM BOARD TIED TO FOUNDATION WALL WITH 5/8"Ø
GALV. MACHINE BOLTS @ 16" O.C. STAGGERED, BRICK
VENEER SHALL NOT BE LOAD BEARING

TIE BRICK VENEER TO FOUNDATION WALL WITH CORROSION
RESISTANT METAL TIES @ 8" VERTICAL AND 2'-11" HORIZONTAL
- FILL VOID WITH MORTAR BETWEEN WALL AND BRICK
VENEER-SEE OBC 9.20.9.4(3)

TAPE AND SEAL BLANKETS AT ALL JOINTS

INSULATION BLANKET OR BATTS W/ REQUIRED BASEMENT WALL R-VALUE,
6 MIL POLYETHYLENE VAPOUR BARRIER DAMPPROOF WITH AIR/WATER
BARRIER BETWEEN THE FOUNDATION WALL AND INSULATION UP TO
GRADE LEVEL. TERMINATE BLANKETS ABOVE SLAB AS REQUIRED BY
O.B.C. OR ENERGY DESIGN CONSULTANT

SECURE METAL BLANKET TIE TO FOUNDATION
WALL AS PER MANUF. INSTRUCTIONS

UNFINISHED BASEMENT

WHERE HEIGHT OF REDUCTION IN WALL THICKNESS
EXCEEDS 2'-0", REINFORCE FOUNDATION WALL W/
15M BARS @ 300mm EACH WAY.

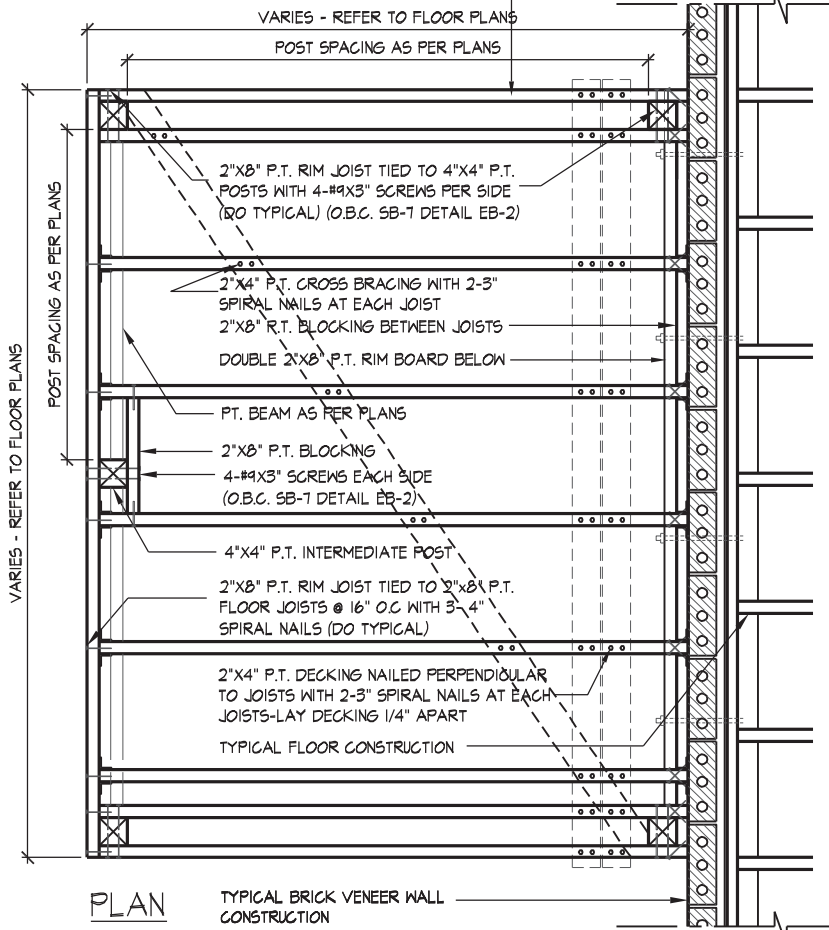
07

MASONRY VENEER, TYPICAL WALK/LOOK OUT WOOD DECK, SOLID MASONRY

1/2" = 1'-0"

JOISTS TO BEAR ON DOUBLE 2"x8" P.T. RIM BOARD.
RIM BOARD TIED TO FOUNDATION WALL WITH 5/8"Ø
GALV. MACHINE BOLTS @ 16" O.C. STAGGERED, BRICK
VENEER SHALL NOT BE LOAD BEARING

NOTE: ALL METAL FASTENERS
SHALL BE NON-CORROSIVE.



PLAN

TYPICAL BRICK VENEER WALL
CONSTRUCTION

GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE O.B.C. AND SB-7 OF THE SUPPLEMENTARY STANDARD
2. LUMBER GRADES SHALL NOT BE LESS THAN NO. 2 SPF. LUMBER SHALL BE FREE OF LOOSE KNOTS AND ALL CUT ENDS OF PRESERVATIVE TREATED LUMBER SHALL BE TREATED TO PREVENT DECAY
3. SPECIES FOR POSTS, PICKETS AND RAILS SHALL BE DOUGLAS FIR-LARCH, HEM-FIR, SPRUCE-PINE-FIR
4. ALL FASTENERS, SCREWS AND NAILS SHALL BE RESISTANT TO CORROSION - NAILS TO BE COMMON SPIRAL

08

TYP. DECK FRAMING ON WOOD LEDGER, BRICK VENEER

1/2" = 1'-0"



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JOIST, AND FLOOR LVL BEAM DESIGN.

DECK DETAILS 2

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS
DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET
OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION

Allan Whiting

NAME
REGISTRATION INFORMATION

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23177

BCIN

19695

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DESIGN ASSOCIATES INC.
www.huntdesign.ca

GOLDPARK HOMES - 217020
PINE VALLEY, VAUGHAN ONT.

UNIT 4204 - THE BROOKVALLEY
REV.2020.03.30

Drawn By

MC

Checked By

SB

Scale

3/16"=1'-0"

File Number

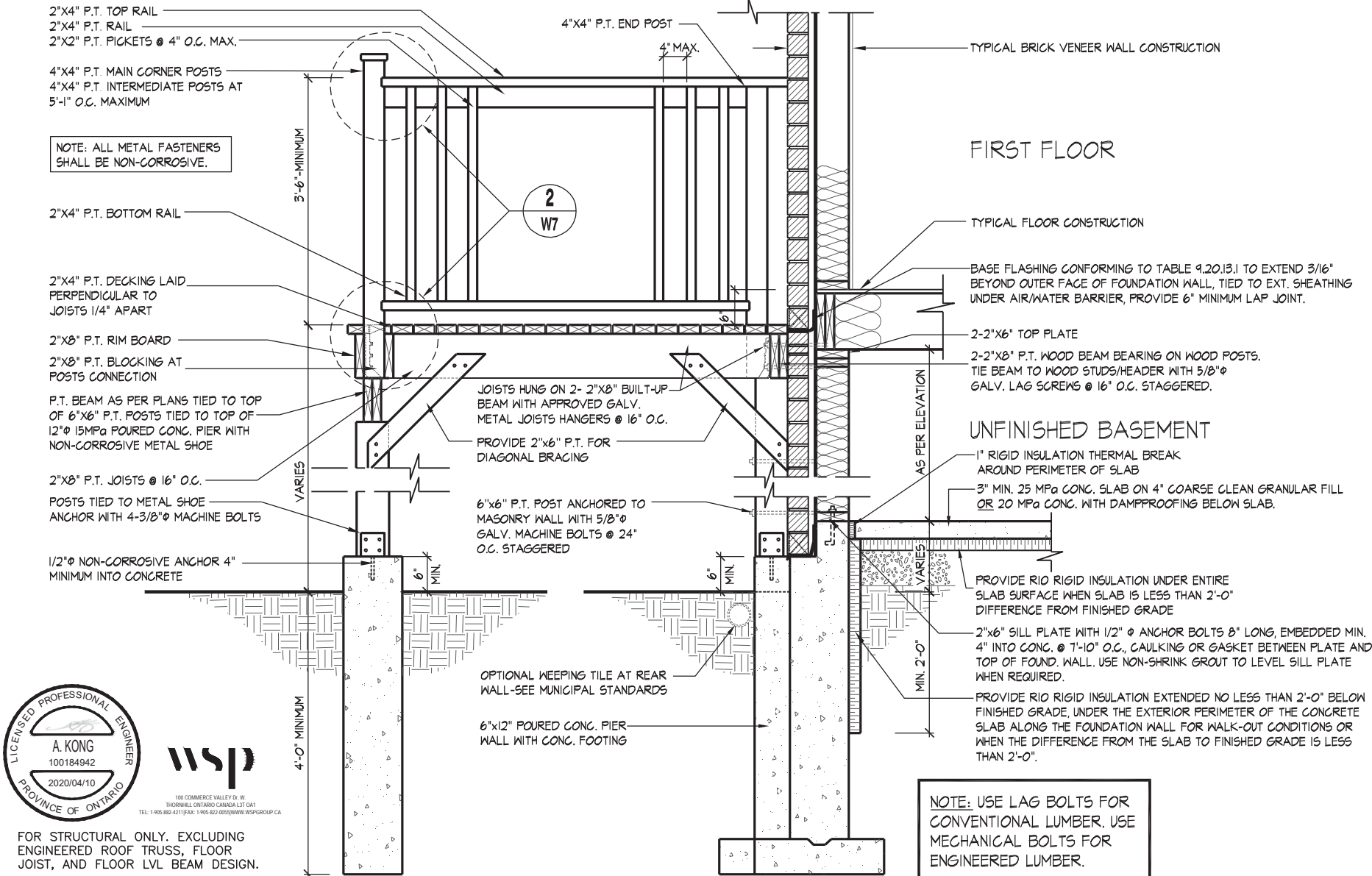
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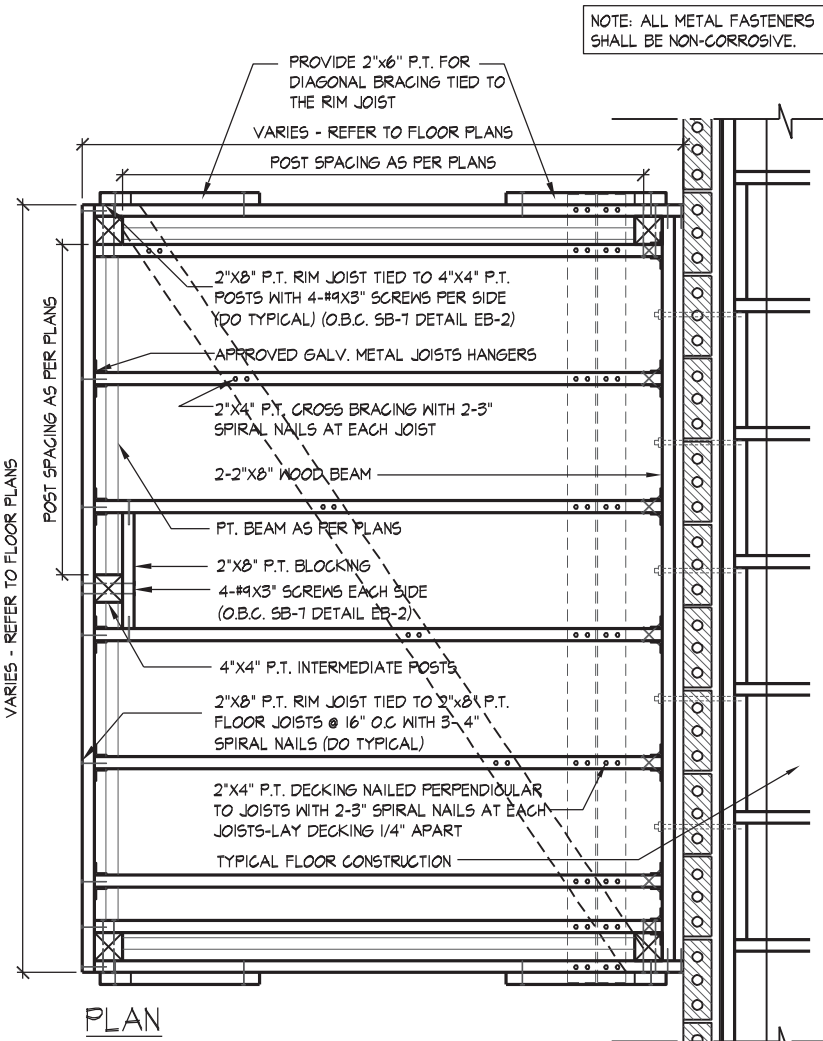


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09

MASONRY VENEER, TYPICAL WOOD DECK FOR WALK OUT BASEMENT

1/2" = 1'-0"



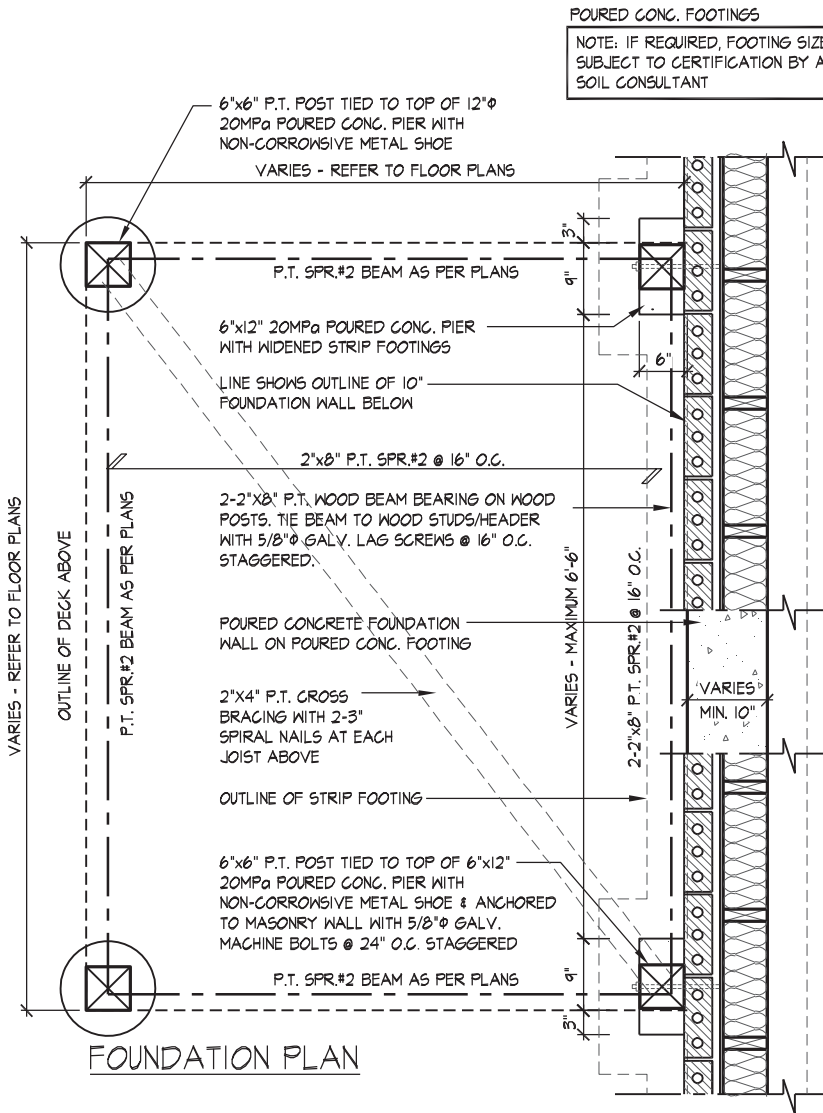
GENERAL NOTES

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2. LUMBER GRADES SHALL NOT BE LESS THAN NO. 2 SPF. LUMBER SHALL BE FREE OF LOOSE KNOTS AND ALL CUT ENDS OF PRESERVATIVE TREATED LUMBER SHALL BE TREATED TO PREVENT DECAY
3. SPECIES FOR POSTS, PICKETS AND RAILS SHALL BE DOUGLAS FIR-LARCH, HEM-FIR, SPRUCE-PINE-FIR
3. ALL FASTENERS, SCREWS AND NAILS SHALL BE RESISTANT TO CORROSION - NAILS TO BE COMMON SPIRAL

10

MASONRY VENEER, TYPICAL DECK FRAMING PLAN

1/2" = 1'-0"



11

MASONRY VENEER, TYPICAL DECK FOUNDATION PLAN

1/2" = 1'-0"

DECK DETAILS 3

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION

Allan Whiting

SIGNATURE

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Scale

3/16"=1'-0"

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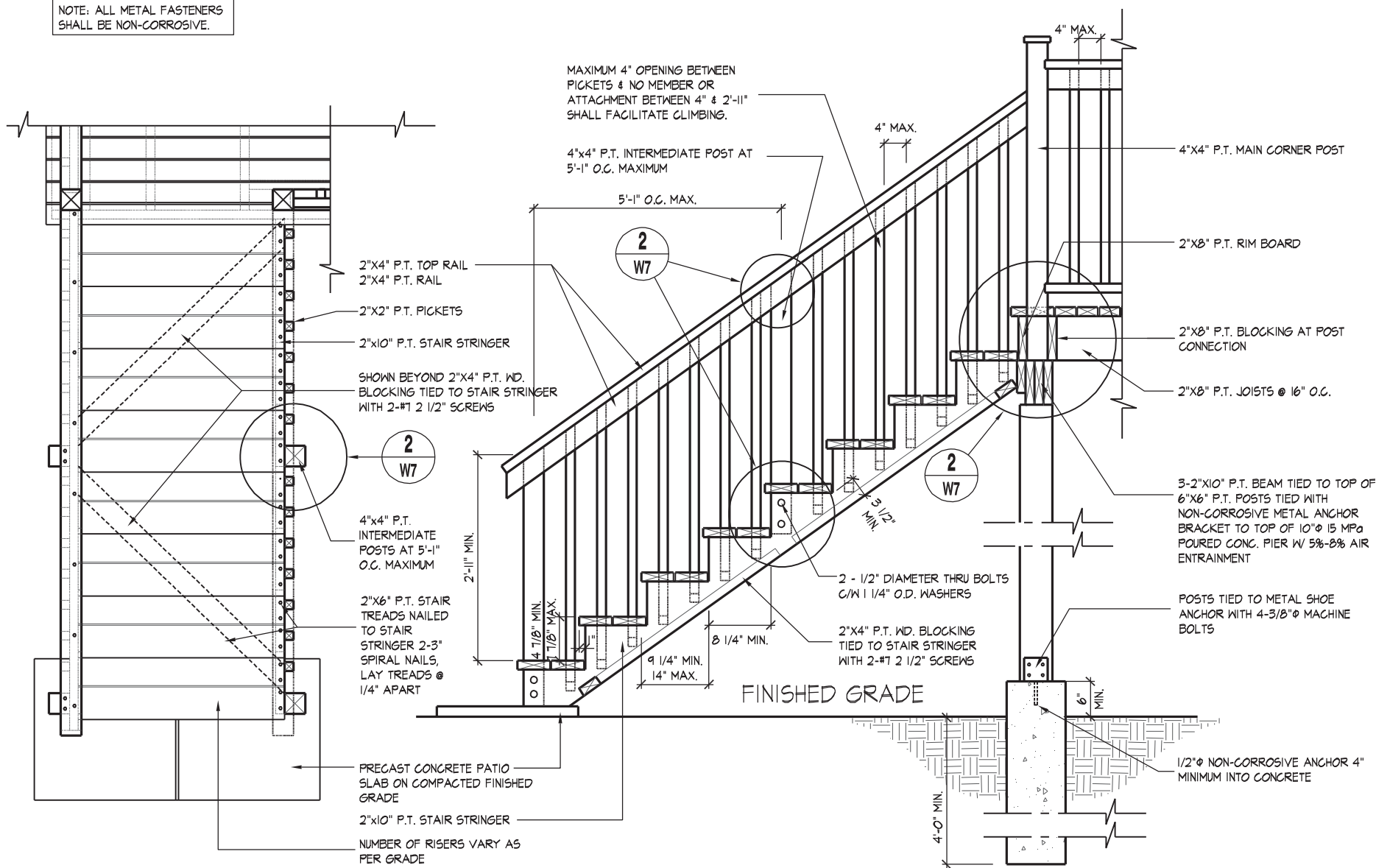
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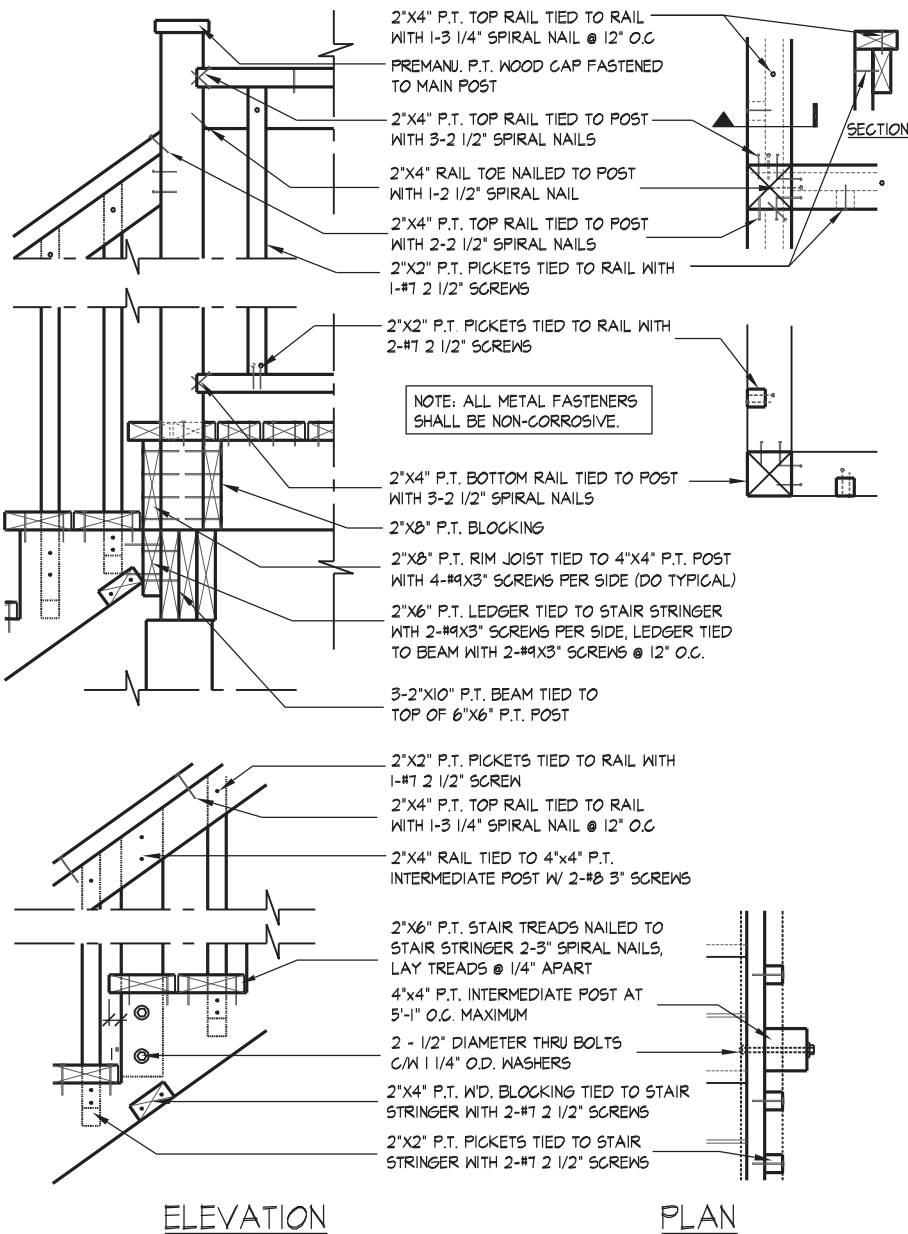
NOTE: ALL METAL FASTENERS SHALL BE NON-CORROSIVE.



01

TYPICAL WOOD DECK STAIR

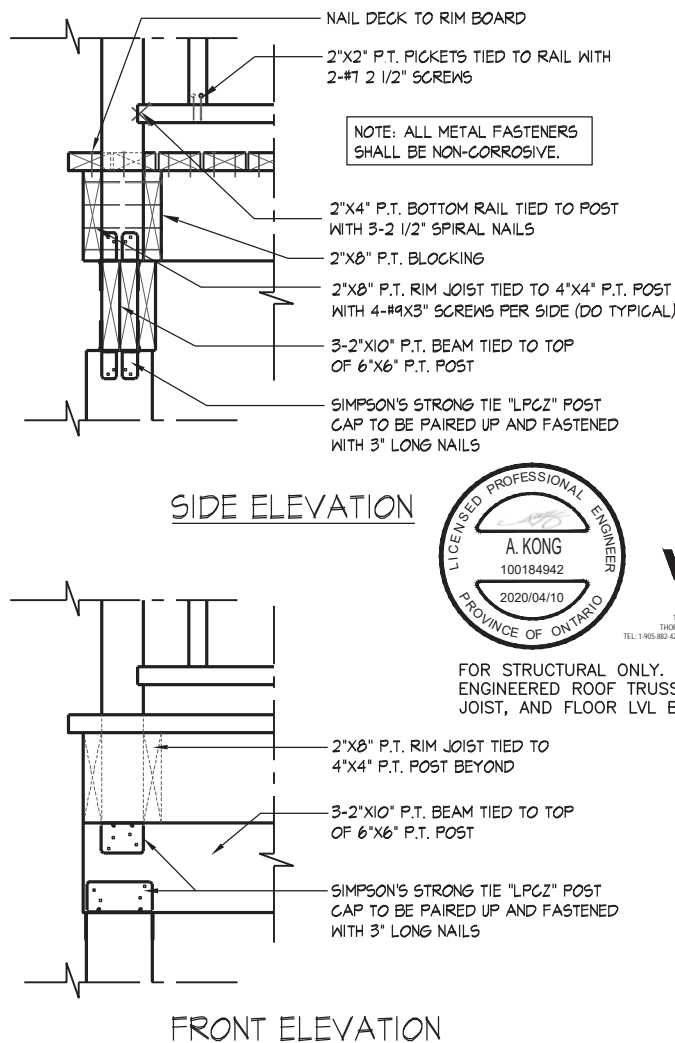
1/2" = 1'-0"



02

TYP. MAIN AND INTERMEDIATE POST ANCHORAGE

3/4" = 1'-0"



03

TYP. POST & BEAM CONNECTION

3/4" = 1'-0"



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DECK DETAILS 4

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