This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.





NOTE: BUILDER TO VERIFY LOCATION OF ALL HYDRANTS, STREET LIGHTS, TRANSFORMERS AND OTHER SERVICES. IF MIN. DIMENSIONS ARE NOT MAINTAINED BUILDER IS TO RELOCATE AT HIS OWN EXPENSE

BUILDING STATISTICS 43M-2039 REG. PLAN No. ZONE R2E-7.2-2203 LOT 75 L-R LOT NUMBER LOT AREA(m)² L=492.6 / R=795.7 BLDG AREA(m)² N/A LOT COVERAGE(%) N/A No. OF STOREYS 2 MEAN HEIGHT(m) 9.2 L & R PEAK HEIGHT(m) N/A DECK LINE(m) N/A

LEGEND

REV

STD

AC

•

REVERSE PLAN

DOOR Δ 0

WINDOW AIR CONDITIONING

STANDARD PLAN

DOWN SPOUT TO SPLASH PAD

DOWNSPOUT CONNECTED TO STM SWALE DIRECTION

-xxx-

 \boxtimes

SUMP PUMP

BELL PEDESTAL

CATCH BASIN

CABLE PEDESTAL

DBL. CATCH BASIN

ENGINEERED FILL

FIRE HYDRANT

STREET LIGHT MAIL BOX

TRANSFORMER

WATER VALVE CHAMBER HYDRANT AND VALVE

HYDRO METER

GAS METER MANHOLE - STORM

CHAINLINK FENCE PRIVACY FENCE SOUND BARRIER

HYDRO CONNECTION

SEWER CONNECTIONS 2 LOTS

SEWER CONNECTIONS 1

WATER CONNECTION

(PER UNIT) INTERNAL GARAGE WIDTH: 3.07 m INTERNAL GARAGE LENGTH: 6.10 m GARAGE DOOR WIDTH: 1 - 2.44 r

FFE FINISHED FLOOR ELEVATION TFW TOP OF FOUNDATION WALL
TBS TOP OF BASEMENT SLAB DOLOBRAM TRAIL UNDER SIDE FOOTING UNDER SIDE FOOTING @ REAR USFR UNDER SIDE FOOTING @ GARAGE GAKAGE TOP OF ENGINEERED FILL TEF NUMBER OF RISERS TO GRADE WALKOUT DECK 6.05 WOD LOOKOUT BASEMENT LOB WALK OUT BASEMENT WOB WALK UP BASEMENT

STM= 252.60 SAN= 252.37 4.30 255,85 R USFG= 254.28 DN1R= 256.00 DN1R= 256.00 72 DN4R= DN4R= 255.45 %▷ 255.6 7.47

STRAVINSKY 'C' SD-10 STD. STRAVINSKY 'D' SD-10 D STD. FFE 256.20 256.20 FFE

255.90 253.61

TFW TBS

USF

255.90 253.61

253.38

₹9.5°

254.65 <u>2.0%</u> *

253.38 WOD ♥ ₩od DECK (256.00) 255.05 255.05 255.10

75R **∦**

URBANTECH NOTES

1) No final utility location information at this time. Urbantech will not be in No initial billing localion initial manifestion in its limes, unbarriest within to be responsible for future changes to design. Builder should notify purchaser's that street hardware and above ground utility furniture may be added or removed from their frontages.

2) Builder to lower underside of footings where adjacent to RLCB leads. Exact depth to be determined on site during footing excavation.

3) Builder to stake out driveway curb depressions at time of curb installation.

4) Builder to verify location of all hydrants, street lights, transformers and all ner services. If min. dimensions are not maintained as per City standards, builder is to relocate at his own expense.

5) Builder to confirm service connection elevations and review for absence of conflict prior to footing excavation.

6) Final fence design have not been provided at this time. Purchaser to be advised that actual fencing details may not be as shown on this plan.

URBANTECH CONSULTING

We certify that the proposed grades at the lot corners are correct, and that the lot grading of the subject lot is in conformity to the approved subdivision grading plans and City standards.

_ DATE: Feb 27/20 REVIEWED BY: MW



2.7%

— — FOOTING TO BE EXTENDED

— TO 1.22 (MIN) BELOW GRADE

NOTE: USF IS BASED ON 150mm (6") FOOTING DEPTH. CONTRACTO

CONFIRM WITH WORKING DRAWINGS FOR SPECIFIC SIZES THAT ISSUED OR REVISION COMMENTS DESCRIPTION DATE ISSUED FOR REVIEW 19-FFB-20 REVISED PER ENG COMM - FINAL 24-FEB-20 DJH

MPORTANT FOOTING NOTE; IT IS THE RESPONSIBILITY OF THE BUILDER TO VERIFY FROM THE ARCHITECTURAL DRAWINGS BEFORE CONSTRUCTION, WHETHER DDITIONAL THICKNESS MAY BE REQUIRED. LOT GRADING PLANS ASSUME A TBS TO USF DISTANCE OF 0.23, BASED

LOT GRADING PLANS ASSUME A 185 TO USF DISTANCE OF 0.23, BY ON FOOTING THICKNESS UP 10 °C."

IF ADDITIONAL FOOTING THICKNESS IS REQUIRED THE USF IS TO BE OWERED BY THE FOLLOWING AMOUNTS:

UP TO 9" FOOTING, LOWER USF BY 0.10

10" FOOTING, LOWER USF BY 0.15

11" FOOTING, LOWER USF BY 0.15

12" FOOTING, LOWER USF BY 0.15

13" FOOTING, LOWER USF BY 0.18

14" FOOTING, LOWER USF BY 0.18

WWW.RNDESIGN.COM



0

14.91

WWW.THEPLUSGROUP.CA

T:905-738-3177

I, DANIEL HANNINEN DECLARE THAT I HAVE REVIEWED AND I, DANIEL PIANNIEL PIANNIEL DECEMBER THAT IT HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD, UNDER DIVISION C, PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / QUALIFIED DESIGNER BCIN: FIRM BCIN: DATE: Feb-24-2020

SIGNATURE

GOLD PARK HOMES

PROJECT/LOCATION

McLAUGHLIN AND MAYFIELD-PH2 BRAMPTON, ON

SITE PLAN

LOT NUMBER PROJECT No. 19037 (13098 Ph.2) LOT 75 L-R

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.





NOTE: BUILDER TO VERIFY LOCATION OF ALL HYDRANTS, STREET LIGHTS, TRANSFORMERS AND OTHER SERVICES. IF MIN. DIMENSIONS ARE NOT MAINTAINED BUILDER IS TO RELOCATE AT HIS OWN EXPENSE

BUILDING STATISTICS 43M-2039 REG. PLAN No R2E-7.2-2203 LOT 76 L-R LOT NUMBER LOT AREA(m)² L=508.3 / R=323.7 BLDG AREA(m) N/A N/A LOT COVERAGE(%) No. OF STOREYS 2 MEAN HEIGHT(m) 8.8 L & R PEAK HEIGHT(m) N/A

LEGEND

 \boxtimes

SUMP PUMF

BELL PEDESTAL

CATCH BASIN

FIRE HYDRANT

TRANSFORMER

WATER VALVE CHAMBER HYDRANT AND VALVE

HYDRO METER

GAS METER

SEWER CONNECTIONS 2 LOTS

SEWER CONNECTIONS LOT

WATER CONNECTION

STREET LIGHT

CABLE PEDESTAL

DBL. CATCH BASIN

HYDRO CONNECTION

PER UNIT) NTERNAL GARAGE WIDTH: NTERNAL GARAGE LENGTH: DECK LINE(m) N/A GARAGE DOOR WIDTH:

FFE FINISHED FLOOR ELEVATION

TFW



MANHOLE - STORM CHAINLINK FENCE PRIVACY FENCE SOUND BARRIER FOOTING TO BE EXTENDED TO 1.22 (MIN) BELOW GRAD (6") FOOTING DEPTH. CONTRAC

ISSUED OR REVISION COMMENTS DESCRIPTION ISSUED FOR REVIEW 19-FFB-20 REVISED PER ENG COMM - FINAL 24-FEB-20 DJH

MPORTANT FOOTING NOTE: IT IS THE RESPONSIBILITY OF THE BUILDER TO VERIFY FROM THE RCHITECTURAL DRAWINGS BEFORE CONSTRUCTION, WHETHER DDITIONAL THICKNESS MAY BE REQUIRED. LOT GRADING PLANS ASSUME A TBS TO USF DISTANCE OF 0.23, BASED N FOOTING THICKNESS UP TO 6". DN FOOTING THICKNESS UP TO 6".

IF ADDITIONAL FOOTING THICKNESS IS REQUIRED THE USF IS TO BE OWERED BY THE FOLLOWING AMOUNTS:

- UP TO 9" FOOTING, LOWER USF BY 0.07

- IF FOOTING, LOWER USF BY 0.13

- 12" FOOTING, LOWER USF BY 0.15

- 13" FOOTING, LOWER USF BY 0.15

- 13" FOOTING, LOWER USF BY 0.18

- 14" FOOTING, LOWER USF BY 0.18

- 14" FOOTING, LOWER USF BY 0.20



WWW.RNDESIGN.COM T:905-738-3177 WWW.THEPLUSGROUP.CA

I DANIEL HANNINEN DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF **RN DESIGN LTD**, UNDER DIVISION C, PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES. QUALIFIED DESIGNER BCIN:

DATE: Feb-24-2020

SIGNATURE

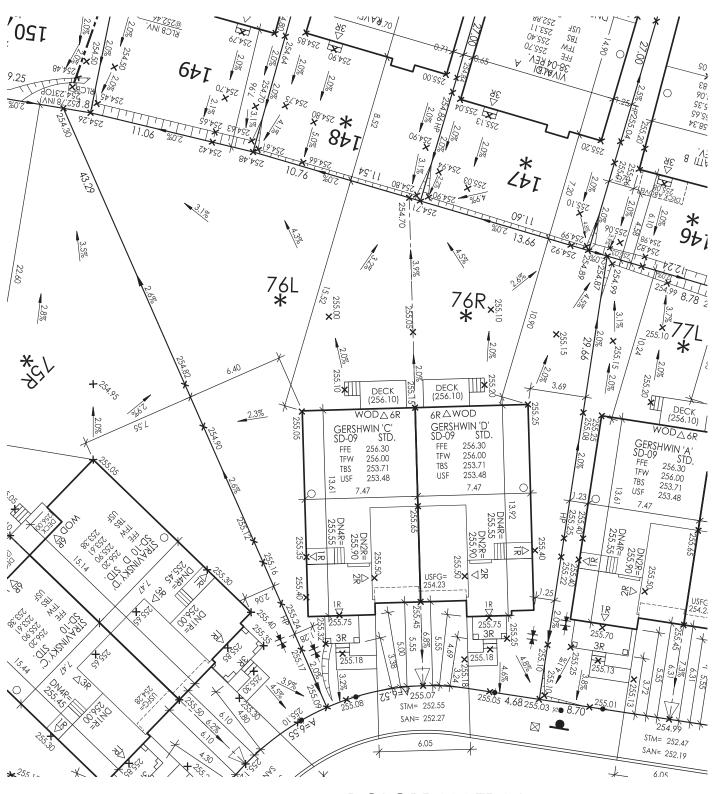
GOLD PARK HOMES

PROJECT/LOCATION

McLAUGHLIN AND MAYFIELD-PH2 BRAMPTON, ON

SITE PLAN

DRAWN BY	SCALE
DJH	1:250
PROJECT No.	LOT NUMBER
19037 (13098 Ph.2)	LOT 76 L-R



DOLOBRAM TRAIL

URBANTECH NOTES

1) No final utility location information at this time. Urbantech will not be responsible for future changes to design. Builder should notify purchaser's that street hardware and above ground utility furniture may be added or removed from their frontages.

2) Builder to lower underside of footings where adjacent to RLCB leads. Exact depth to be determined on site during footing excavation.

3) Builder to stake out driveway curb depressions at time of curb installation.

4) Builder to verify location of all hydrants, street lights, transformers and all ner services. If min. dimensions are not maintained as per City standards, builder is to relocate at his own expense. 5) Builder to confirm service connection elevations and review for absence of

conflict prior to footing excavation. 6) Final fence design have not been provided at this time. Purchaser to be

advised that actual fencing details may not be as shown on this plan.

URBANTECH CONSULTING

We certify that the proposed grades at the lot corners are correct, and that the lot grading of the subject lot is in conformity to the approved subdivision grading plans and City standards.

REVIEWED BY: MW DATE: Feb 27/20



This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

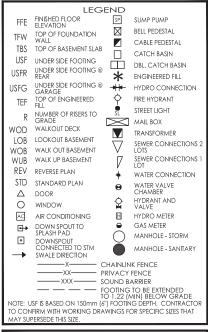




(PER UNIT) INTERNAL GARAGE WIDTH: INTERNAL GARAGE LENGTH: GARAGE DOOR WIDTH:

NOTE: BUILDER TO VERIFY LOCATION OF ALL HYDRANTS, STREET LIGHTS, TRANSFORMERS AND OTHER SERVICES. IF MIN, DIMENSIONS ARE NOT MAINTAINED BUILDER IS TO RELOCATE AT HIS OWN EXPENSI

BUILDING STATISTICS REG. PLAN No. 43M-2039 R2E-7.2-2203 LOT 77 L-R LOT NUMBER LOT AREA(m $)^2$ 253.0 L / 242.7 R BLDG AREA(m) 2 N/A LOT COVERAGE(%) N/A No. OF STOREYS 8.7 L & R MEAN HEIGHT(m) N/A PEAK HEIGHT(m) DECK LINE(m) N/A



	ISSUED OR REVISION COMMENTS			
NO.	DESCRIPTION	DATE	DWN	СНК
1	ISSUED FOR REVIEW	10-FEB-20	DJH	
2	REVISED PER ENG COMM - FINAL	12-FEB-20	DJH	

I FUUTING NOTE:
ESPONSIBILITY OF THE BUILDER TO VERIFY FROM THE
URAL DRAWINGS BEFORE CONSTRUCTION, WHETHER
AL THICKNESS MAY BE REQUIRED,
JAING PLANS ASSUME A TBS TO USF DISTANCE OF 0.23, BASED
IG THICKNESS UP TO 6".

IG PLANS ASSUME A 125 TO 001 BIOLEM OF THICKNESS UP TO 6".

AL FOOTING THICKNESS IS REQUIRED THE USF IS TO BE



WWW.RNDESIGN.COM T:905-738-3177 WWW.THEPLUSGROUP.CA

DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF **RN DESIGN LTD**,UNDER DIVISION C,PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 20888 FIRM BCIN: 26995 DATE: Feb-20-2020

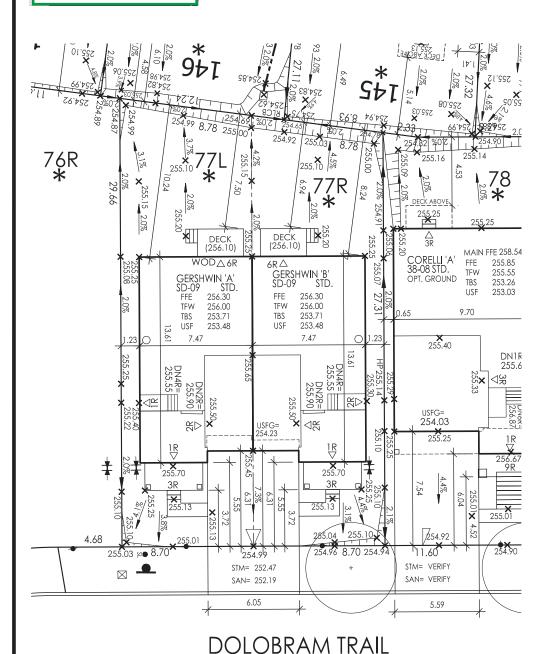
GOLD PARK HOMES

MCLAUGHLIN AND MAYFIELD-PH2 BRAMPTON, ON

DRAWING

SITE PLAN

DRAWN BY	SCALE
DJH	1:250
PROJECT No.	LOT NUMBER
19037 (13098 Ph.2)	LOT 77 L-R



URBANTECH NOTES:

No final utility location information at this time. Urbantech will not be responsible for future changes to design. Builder should notify purchaser's that street hardware and above ground utility furniture may be added or removed

2) Builder to lower underside of footings where adjacent to RLCB leads. Exact depth to be determined on site during footing excavation

3) Builder to stake out driveway curb depressions at time of curb installation.

4) Builder to verify location of all hydrants, street lights, transformers and all services. If min. dimensions are not maintained as per City standards, builder is to relocate at his own expense.

nflict prior to footing excavation.

6) Final fence design have not been provided at this time. Purchaser to be advised that actual fencing details may not be as shown on this plan.

URBANTECH CONSULTING

We certify that the proposed grades at the lot corners are correct, and that the lot grading of the subject lot is in conformity to the approved subdivision grading plans and City standards.

____Feb 20/20 REVIEWED BY: MW



This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL APPROVED BY: DATE: ____FEB 10. 2020 This stamp certifies compliance with the applice Design Guidelines only and bears no further professional responsibility.



(PER UNIT) INTERNAL GARAGE WIDTH: INTERNAL GARAGE LENGTH: GARAGE DOOR WIDTH:

NOTE: BUILDER TO VERIFY LOCATION OF ALL HYDRANTS, STREET LIGHTS, TRANSFORMERS AND OTHER SERVICES. IF MIN. DIMENSIONS ARE NOT MAINTAINED BUILDER IS TO RELOCATE AT HIS OWN EXPENS

BUILDING STATISTICS 43M-2039 REG. PLAN No. R1F-9.0-2452 ZONE LOT NUMBER LOT 122 LOT AREA(m)2 313.2 BLDG AREA(m)2 N/A LOT COVERAGE(%) N/A No. OF STOREYS 9.0 MEAN HEIGHT(m) PEAK HEIGHT(m) N/A DECK LINE(m) N/A

FFE FINISHED FLOOR ELEVATION 5P SUMP PUMP BELL PEDESTAL TEW TOP OF FOUNDATION WALL
TBS TOP OF BASEMENT SLAB CABLE PEDESTAL CATCH BASIN USF UNDER SIDE FOOTING USFR UNDER SIDE FOOTING @ DBL. CATCH BASIN ENGINEERED FILL USFG UNDER SIDE FOOTING @
GARAGE
TOP OF ENGINEERED
FILL HYDRO CONNECTION P FIRE HYDRANT NUMBER OF RISERS TO GRADE WALKOUT DECK STREET LIGHT TRANSFORMER SEWER CONNECTIONS 2 LOTS LOOKOUT BASEMENT LOB WALK OUT BASEMENT SEWER CONNECTIONS I WUB REV WALK UP BASEMENT REVERSE PLAN WATER CONNECTION STD STANDARD PLAN WATER VALVE CHAMBER DOOR Δ HYDRANT AND VALVE HYDRO METER GAS METER 0 WINDOW AIR CONDITIONING DOWN SPOUT TO SPLASH PAD MANHOLE - STORM • DOWNSPOUT CONNECTED TO STM SWALE DIRECTION MANHOLE-SANITARY CHAINLINK FENCE PRIVACY FENCE SOUND BARRIER SOUND BARRIER
FOOTING TO BE EXTENDED
TO 1.22 (MIN) BELOW GRADE
NOTE: USF IS BASED ON 150mm (6") FOOTING DEPTH. CONTRACTOR
TO CONFIRM WITH WORKING DRAWINGS FOR SPECIFIC SIZES THAT
MAY SUPERSEDE THIS SIZE.

NO.	DESCRIPTION	DATE	DWN	CHK
1	ISSUED FOR REVIEW	16-JAN-20	DJH	
2	REVISED PER ENG COMM - FINAL	06-FEB-20	DJH	
1			-	
-				

IMPORTANT FOOTING NOTE:

- IT IS THE RESPONSIBILITY OF THE BUILDER TO VERIFY FROM THE
- ARCHITECTURAL DRAWINGS BEFORE CONSTRUCTION, WHETHER
- ADDITIONAL THICKNESS MAY BE REQUIRED,
- LOT GRADING PLANS ASSUME A 183 TO USF DISTANCE OF 0.23, BASED
ON FOOTING THICKNESS UP TO 6".

- IF ADDITIONAL FOOTING THICKNESS IS REQUIRED THE USF IS TO BE
- LOWERED BY THE FOLLOWING AMOUNTS:

- UP TO 9"FOOTING, LOWER USF BY 0.07

- 11" FOOTING, COWER USF BY 0.13

- 12" FOOTING, LOWER USF BY 0.15

- 13" FOOTING, LOWER USF BY 0.15

- 13" FOOTING, LOWER USF BY 0.18

- 14" FOOTING, LOWER USF BY 0.20

DESIGN

WWW.RNDESIGN.COM T:905-738-3177 WWW.THEPLUSGROUP.CA

DANIEL HANNEN.

J. DECLARE THAT I HAVE REVIEWED AND TAKEN
DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF
OF RN DESIGN ITD, UNDER DIVISION C.PART-3 SUBSECTION-3.2.4
OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS
REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: FIRM BCIN: DATE: Feb-6-2020

20888 26995

SIGNATURE

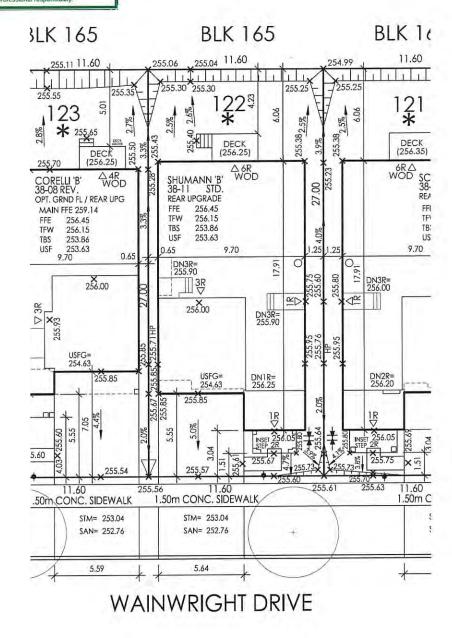
GOLD PARK HOMES

MCLAUGHLIN AND MAYFIELD-PH2 BRAMPTON, ON

DRAWING

SITE PLAN

DJH	SCALE 1:250
PROJECT No. 19037 (13098 Ph.2)	LOT NUMBER



URBANTECH NOTES:

- 1) No final utility location information at this time. Urbantech will not be responsible for future changes to design. Builder should notify purchaser's that street hardware and above ground utility furniture may be added or removed from their frontener. from their frontages.
- 2) Builder to lower underside of footings where adjacent to RLCB leads. Exact depth to be determined on site during footing excavation.
- 3) Builder to stake out driveway curb depressions at time of curb installation.
- 4) Builder to verify location of all hydrants, street lights, transformers and all r services. If min, dimensions are not maintained as per City standards, builder is to relocate at his own expense.
- 5) Builder to confirm service connection elevations and review for absence of conflict prior to footing excavation.
- 6) Final fence design have not been provided at this time. Purchaser to be advised that actual fencing details may not be as shown on this plan.

URBANTECH CONSULTING

We certify that the proposed grades at the lot corners are correct, and that the lot grading of the subject lot is in conformity to the approved subdivision grading plans and City standards.

REVIEWED BY: MW DATE: Feb 7/20



This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

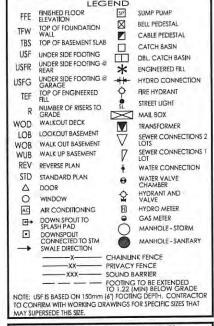
JOHN G. WILLIAMS LTD., ARCHITECT ARCHITECTURAL CONTROL REVIEW AND APPROVAL APPROVED BY: DATE: FEB 10. 2020 is stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.



INTERNAL GARAGE WIDTH: INTERNAL GARAGE LENGTH: GARAGE DOOR WIDTH:

NOTE: BUILDER TO VERIFY LOCATION OF ALL HYDRANTS, STREET LIGHTS, TRANSFORMERS AND OTHER SERVICES. IF MIN. DIMENSIONS ARE NOT MAINTAINED BUILDER IS TO RELOCATE AT HIS OWN EXPENSE

:S
43M-2039
R1F-9.0-2452
LOT 123
313.2
N/A
N/A
3
10.9
N/A
N/A



NO.	DESCRIPTION	DATE	DWN	CHK
1	ISSUED FOR REVIEW	16-JAN-20	DJH	
2	REVISED PER ENG COMM - FINAL	06-FEB-20	DJH	
				-

MPORTANT FOOTING NOTE:

- IT IS THE RESPONSIBILITY OF THE BUILDER TO VERIFY FROM THE
ARCHITECTURAL DEAWINGS BEFORE CONSTRUCTION, WHETHER
ADDITIONAL THICKNESS MAY BE REQUIRED.
- LOT GRADING PLANS ASSUME A TBS TO USF DISTANCE OF 0.23, BASED
ON FOOTING THICKNESS UP TO 6".
- IF ADDITIONAL FOOTING THICKNESS IS REQUIRED THE USF IS TO BE
LOWERED BY THE FOLLOWING AMOUNTS:
- UP TO 9"FOOTING, LOWER USF BY 0.07
- 10" FOOTING, LOWER USF BY 0.13
- 12" FOOTING, LOWER USF BY 0.15
- 13" FOOTING, LOWER USF BY 0.18
- 14" FOOTING, LOWER USF BY 0.18



WWW.RNDESIGN.COM T:905-738-3177 WWW.THEPLUSGROUP.CA

DANIEL HANNINEN

I. DECLARE THAT I HAVE REVIEWED AND TAKEN
DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF
OF RN DESIGN LTD, UNDER DIVISION C, PART-3 SUBSECTION-3, 2, 4
OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS
REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: FIRM BCIN: DATE: Feb-6-2020

20888 26995

SIGNATURE

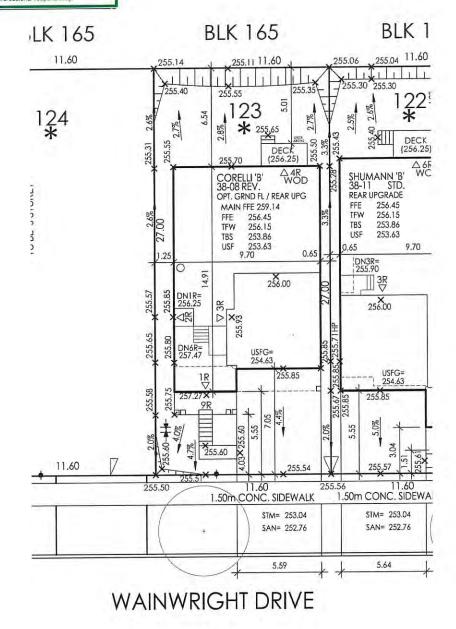
GOLD PARK HOMES

MCLAUGHLIN AND MAYFIELD-PH2 BRAMPTON, ON

DRAWING

SITE PLAN

DRAWN BY	SCALE
DJH	1:250
PROJECT No.	LOT NUMBER
19037 (13098 Ph.2)	LOT 123



URBANTECH NOTES

- 1) No final utility location information at this time. Urbantech will not be responsible for future changes to design, Builder should notify purchaser's that street hardware and above ground utilify furniture may be added or removed
- Builder to lower underside of footings where adjacent to RLCB leads. Exact depth to be determined on site during footing excavation.
- 3) Builder to stake out driveway curb depressions at time of curb installation.
- 4) Builder to verify location of all hydrants, street lights, transformers and all er services. If min. dimensions are not maintained as per City standards, builder is to relocate at his own expense.
- 5) Builder to confirm service connection elevations and review for absence of conflict prior to footing excavation.
- Final fence design have not been provided at this time. Purchaser to be advised that actual fencing details may not be as shown on this plan.

URBANTECH CONSULTING

We certify that the proposed grades at the lot corners are correct, and that the lot grading of the subject lot is in conformity to the approved subdivision grading plans and City standards.

REVIEWED BY: MW DATE: Feb 7/20



This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

JOHN G. WILLIAMS LTD., ARCHITECT ARCHITECTURAL CONTROL REVIEW AND APPROVAL APPROVED BY: DATE: FEB 27, 2020 is stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.



(PER UNIT) INTERNAL GARAGE WIDTH: INTERNAL GARAGE LENGTH: GARAGE DOOR WIDTH:

NOTE: BUILDER TO VERIFY LOCATION OF ALL HYDRANTS, STREET LIGHTS, TRANSFORMERS AND OTHER SERVICES. IF MIN. DIMENSIONS ARE NOT MAINTAINED BUILDER IS TO RELOCATE AT HIS OWN EXPENSE

BUILDING STATISTICS 43M-2039 ZONE R1F-9.0-2452 LOT NUMBER LOT 124 LOT AREA(m)² 313.2 BLDG AREA(m)² N/A LOT COVERAGE(%) N/A No. OF STOREYS 107 N/A N/A



NO.	DESCRIPTION	DATE	DWN	СНК
1	ISSUED FOR REVIEW	19-FEB-20	DJH	
2	REVISED PER ENG COMM - FINAL	24-FEB-20	DJH	
_				-

MPORTANT FOOTING NOTE:

-IT IS THE RESPONSIBILITY OF THE BUILDER TO VERIFY FROM THE
ARCHITECTURAL DRAWINGS BEFORE CONSTRUCTION, WHETHER
ADDITIONAL THICKNESS MAY BE REQUIRED.
-LOT GRADING PLANS ASSUME A 185 TO USF DISTANCE OF 0.23, BASED
ON FOOTING THICKNESS UP TO 6°.
-IF ADDITIONAL FOOTING THICKNESS IS REQUIRED THE USF IS TO BE
LOWERED BY THE FOLLOWING AMOUNTS:

- UP TO 9° FOOTING, LOWER USF BY 0.10

- 11° FOOTING, LOWER USF BY 0.13

- 12° FOOTING, LOWER USF BY 0.15

- 13° FOOTING, LOWER USF BY 0.18

- 14° FOOTING, LOWER USF BY 0.18



WWW.RNDESIGN.COM T:905-738-3177 WWW.THEPLUSGROUP.CA

I. DANIEL HANNINEN DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD, UNDER DIVISION C.PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 20888
FIRM BCIN: 26995 FIRM BCIN: DATE: Feb-24-2020

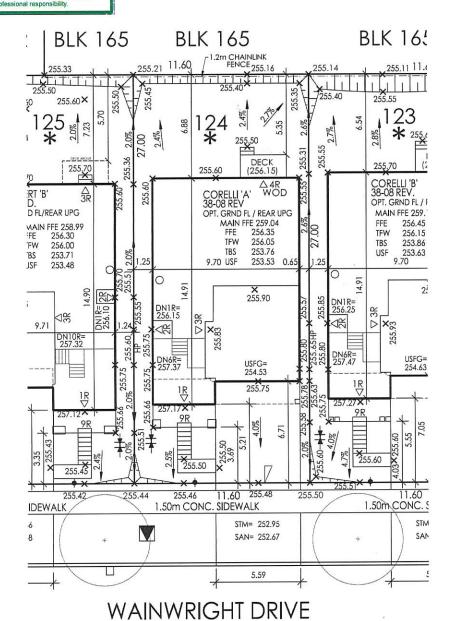
GOLD PARK HOMES

PROJECT/LOCATION

MCLAUGHLIN AND MAYFIELD-PH2 BRAMPTON, ON

SITE PLAN

DRAWN BY	SCALE
DJH	1:250
PROJECT No.	LOT NUMBER
19037 (13098 Ph.2)	LOT 124



URBANTECH NOTES:

1) No final utility location information at this time. Urbantech will not be responsible for future changes to design. Builder should notify purchaser's that street hardware and above ground utility furniture may be added or removed m their frontages.

2) Builder to lower underside of footings where adjacent to RLCB leads. Exact depth to be determined on site during footing excavation.

4) Builder to verify location of all hydrants, street lights, transformers and all other services. If min. dimensions are not maintained as per City standards, builder is to relocate at his own expense.

5) Builder to confirm service connection elevations and review for absence of conflict prior to footing excavation.

6) Final fence design have not been provided at this time. Purchaser to advised that actual fencing details may not be as shown on this plan.

URBANTECH CONSULTING

We certify that the proposed grades at the lot corners are correct, and that the lot grading of the subject lot is in conformity to the approved subdivision grading plans and City standards.

REVIEWED BY: <u>MW</u> DATE: Feb 27/20



This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

JOHN G. WILLIAMS LTD., ARCHITECT APPROVED BY: DATE: NOV 19, 2019 is stamp certifies compliance with the applica Design Guidelines only and bears no furthe professional responsibility.



(PER UNIT) INTERNAL GARAGE WIDTH: INTERNAL GARAGE LENGTH: GARAGE DOOR WIDTH:

NOTE: BUILDER TO VERIFY LOCATION OF ALL HYDRANTS, STREET LIGHTS, TRANSFORMERS AND OTHER SERVICES. IF MIN. DIMENSIONS ARE NOT MAINTAINED BUILDER IS TO RELOCATE AT HIS OWN EXPENSI

BUILDING STATISTICS REG. PLAN No. 43M-2039 R1F-9.0-2452 LOT 125 LOT NUMBER LOT AREA(m $)^2$ 313.2 BLDG AREA(m) 2 N/A LOT COVERAGE(%) N/A No. OF STOREYS MEAN HEIGHT(m) N/A PEAK HEIGHT(m)

DECK LINE(m)

N/A



DESCRIPTION	DATE	DWN	CH
ISSUED FOR REVIEW	12-NOV-19	DJH	
REVISED PER ENG COMM - FINAL	14-NOV-19	DJH	
			H
			Т
			\vdash
			\vdash
			Т
		_	
	ISSUED FOR REVIEW	ISSUED FOR REVIEW 12-NOV-19	ISSUED FOR REVIEW 12-NOV-19 DJH

PRIANT FOOTING NOTE:

3 THE RESPONSIBILITY OF THE BUILDER TO VERIFY FROM THE
:HIECTURAL DRAWINGS BEFORE CONSTRUCTION, WHETHER
:HIECTURAL DRAWINGS BEFORE CONSTRUCTION, WHETHER
:HIECTURAL DRAWINGS BEFORE REQUIRED.
:GRADING PLANS ASSUME A 7BS TO USF DISTANCE OF 0.23, BASED
FOOTING THICKNESS UP TO 6".

ADDITIONAL FOOTING THICKNESS IS REQUIRED THE USF IS TO BE
VERED BY THE FOLLOWING AMOUNTS:

UP TO 9"FOOTING, LOWER USF BY 0.07

WWW.RNDESIGN.COM T:905-738-3177 WWW.THEPLUSGROUP.CA

DECLARE THAT I HAVE REVIEWED AND TAKEN

J. DECLARE THAT I HAVE REVIEWED AND TAKEN
DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF
OF RN DESIGN LTD. UNDER DIVISION C, PART-3 SUBSECTION-3.2.4
OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS
REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 20888 FIRM BCIN: 26995 DATE: Nov 14, 2019

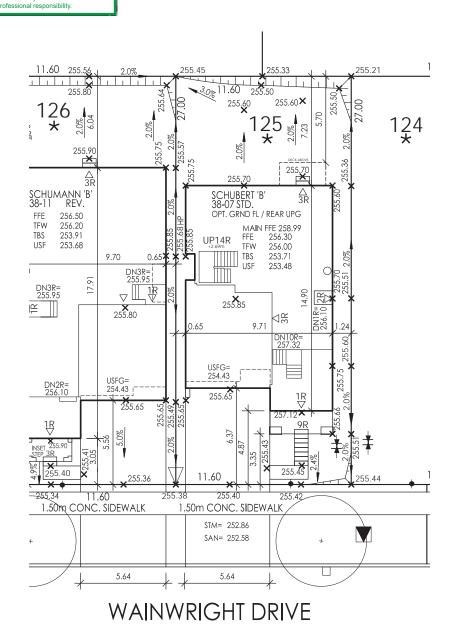
GOLD PARK HOMES

MCLAUGHLIN AND MAYFIELD-PH2 BRAMPTON, ON

DRAWING

SITE PLAN

DRAWN BY	SCALE
DJH	1:250
PROJECT No.	LOT NUMBER
19037 (13098 Ph.2)	LOT 125



No final utility location information at this time. Urbantech will not be responsible for future changes to design. Builder should notify purchaser's that street hardware and above ground utility furniture may be added or removed

2) Builder to lower underside of footings where adjacent to RLCB leads. Exact depth to be determined on site during footing excavation.

to stake out driveway curb depressions at time of curb installation.

4) Builder to verify location of all hydrants, street lights, transformers and all er services. If min. dimensions are not maintained as per City standards, builder is to relocate at his own expense.

6) Final fence design have not been provided at this time. Purchaser to be advised that actual fencing details may not be as shown on this plan.

URBANTECH CONSULTING

We certify that the proposed grades at the lot corners are correct, and that the lot grading of the subject lot is in conformity to the approved subdivision grading plans and City standards.

REVIEWED BY: M.W. DATE: Nov 14/19



This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

JOHN G. WILLIAMS LTD., ARCHITECT ARCHITECTURAL CONTROL REVIEW AND APPROVAL

APPROVED BY:

DATE: OCT 28, 2019
This stamp certifies compliance with the application of the professional responsibility.

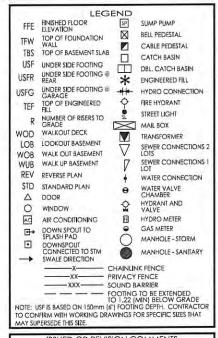


(PER UNIT) INTERNAL GARAGE WIDTH: INTERNAL GARAGE LENGTH: GARAGE DOOR WIDTH:

NOTE: BUILDER TO VERIFY LOCATION OF ALL HYDRANTS, STREET LIGHTS, TRANSFORMERS AND OTHER SERVICES. IF MIN. DIMENSIONS ARE NOT MAINTAINED BUILDER IS TO RELOCATE AT HIS OWN EXPENSE

BUILDING STATISTICS 43M-2039 R1F-9.0-2452 LOT 126 313.2 N/A N/A LOT COVERAGE(%) 8.9 N/A

N/A



NO.	DESCRIPTION	DATE	DWN	CHK
1	ISSUED FOR REVIEW	18-OCT-19	DJH	
2	REVISED PER ENG COMM - FINAL	22-OCT-19	DJH	
			1 - 2	
		1		

MPORTANT FOOTING NOTE; IT IS THE RESPONSIBILITY OF THE BUILDER TO VERIFY FROM THE RICHITECTURAL DRAWINGS REFORE CONSTRUCTION, WHETHE ARCHITECTURAL DRAWINGS BEFORE CONSTRUCTION, WHETHER ADDITIONAL THICKNESS MAY BE REQUIRED.
LOT GRADING PLANS ASSUME A TAST TO USF DISTANCE OF 0.23, BASED ON FOOTING THICKNESS UP TO 4".
IF ADDITIONAL FOOTING THICKNESS IS REQUIRED THE USF IS TO BE LOWERED BY THE FOLLOWING AMOUNTS:

UP TO 9" FOOTING, LOWER USF BY 0.07

10" FOOTING, LOWER USF BY 0.13

12" FOOTING, LOWER USF BY 0.13

12" FOOTING, LOWER USF BY 0.15

13" FOOTING, LOWER USF BY 0.15

13" FOOTING, LOWER USF BY 0.16

14" FOOTING, LOWER USF BY 0.18



WWW.RNDESIGN.COM T:905-738-3177 WWW.THEPLUSGROUP.CA

I, DANIEL HANNINENDECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD, UNDER DIVISION C, PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 2088

SIGNATURE

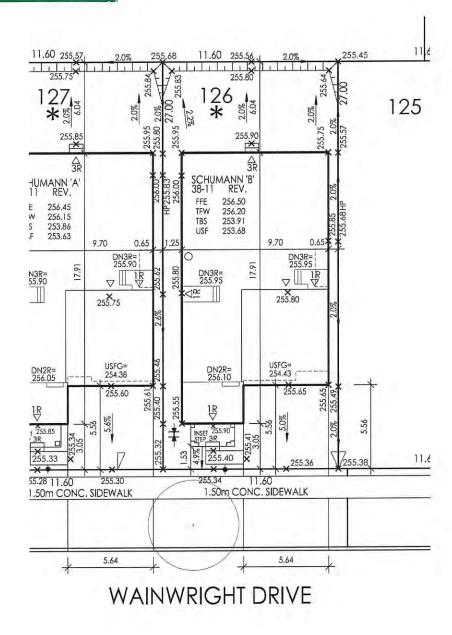
GOLD PARK HOMES

MCLAUGHLIN AND MAYFIELD-PH2 BRAMPTON, ON

DRAWING

SITE PLAN

DRAWN BY DJH	SCALE 1:250
PROJECT No.	LOT NUMBER
19037 (13098 Ph.2)	LOT 126



URBANTECH NOTES

- No final utility location information at this time. Urbantech will not be responsible for future changes to design. Builder should notify purchaser's that street hardware and above ground utility furniture may be added or removed from their frontages.
- Builder to lower underside of footings where adjacent to RLCB leads. Exact depth to be determined on site during footing excavation.
- 4) Builder to verify location of all hydrants, street lights, transformers and all other services. If min. dimensions are not maintained as per City standards, builder is to relocate at his own expense.
- conflict prior to footing excavation.
- Final fence design have not been provided at this time, Purchaser to be advised that actual fencing details may not be as shown on this plan.

URBANTECH CONSULTING

We certify that the proposed grades at the lot corners are correct, and that the lot grading of the subject lot is in conformity to the approved subdivision grading plans and City standards.

REVIEWED BY: M.W. DATE: Oct 25/19



This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

IOHN G. WILLIAMS LTD., ARCHITECT ARCHITECTURAL CONTROL REVIEW AND APPROVAL

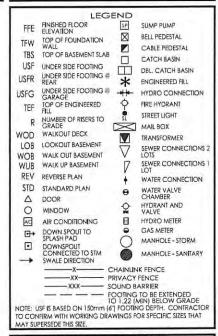
APPROVED BY:

DATE: OCT 28, 2019
This stamp certifies compliance with the applica
Design Guidelines only and bears no further
professional responsibility.



(PER UNIT) INTERNAL GARAGE WIDTH: INTERNAL GARAGE LENGTH: GARAGE DOOR WIDTH: 5.53 m 6.10 m NOTE: BUILDER TO VERIFY LOCATION OF ALL HYDRANTS, STREET LIGHTS, TRANSFORMERS AND OTHER SERVICES. IF MIN. DIMENSIONS ARE NOT MAINTAINED BUILDER IS TO RELOCATE AT HIS OWN EXPENSE

BUILDING STATISTICS 43M-2039 R1F-9.0-2452 LOT 127 LOT AREA(m)2 BLDG AREA(m)² N/A LOT COVERAGE(%) N/A No. OF STOREYS MEAN HEIGHT(m) PEAK HEIGHT(m) N/A



NO.	ISSUED OR REVISION CO	DATE	DWN	CHK
1	ISSUED FOR REVIEW	18-OCT-19	DJH	
2	REVISED PER ENG COMM - FINAL	22-OCT-19	DJH	
				5-
			-	

MPORIANI FOOTING NOTE:

IT IS THE RESPONSIBILITY OF THE BUILDER TO VERIEY FROM THE RECHIECTURAL DRAWINGS BEFORE CONSTRUCTION, WHETHER NODITIONAL THICKNESS MAY BE REQUIRED.

LOT GRADING PLANS ASSUME A TIST TO USF DISTANCE OF 0.23, BASED ON FOOTING THICKNESS UP TO USF DISTANCE OF 0.23, BASED ON FOOTING THE FOLLOWING AMOUNTS:

- UP TO 9" FOOTING, LOWER USF BY 0.07

- 10" FOOTING, LOWER USF BY 0.10

- 11" FOOTING, LOWER USF BY 0.13

- 12" FOOTING, LOWER USF BY 0.15

- 13" FOOTING, LOWER USF BY 0.15

- 14" FOOTING, LOWER USF BY 0.20

WWW.RNDESIGN.COM T:905-738-3177 WWW.THEPLUSGROUP.CA

I, DANIEL HANNINEN DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD, UNDER DIVISION C, PART-3 SUBSECTION-3, 2, 4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 206

FIRM BCIN: 26995 DATE: Oct. 29-2019

SIGNATURE:

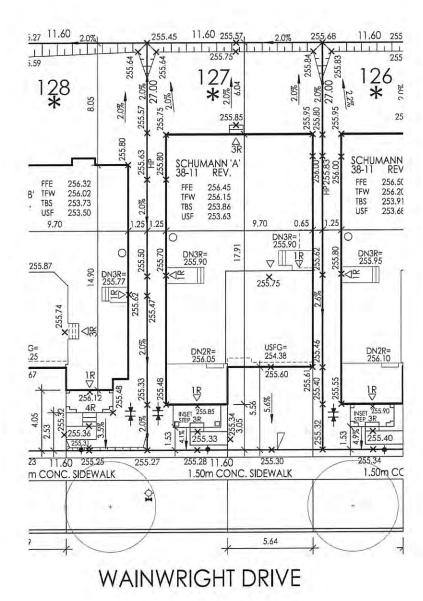
GOLD PARK HOMES

MCLAUGHLIN AND MAYFIELD-PH2 BRAMPTON, ON

DRAWING

SITE PLAN

DRAWN BY	SCALE
DJH	1:250
PROJECT No.	LOT NUMBER
19037 (13098 Ph.2)	LOT 127



URBANTECH NOTES:

- No final utility location information at this time. Urbantech will not be responsible for future changes to design. Builder should notify purchaser street hardware and above ground utility furniture may be added or reference that former and
- Builder to lower underside of footings where adjacent to RLCB leads, Exact depth to be determined on site during footing excavation.
- 4) Builder to verify location of all hydrants, street lights, transformers and all other services. If min, dimensions are not maintained as per City standards, builder is to relocate at his own expense.
- conflict prior to footing excavation.
- 6) Final fence design have not been provided at this time. Purchaser to be advised that actual fencing details may not be as shown on this plan.

URBANTECH CONSULTING

We certify that the proposed grades at the lot comers are correct, and that the lot grading of the subject lot is in conformity to the approved subdivision grading plans and City standards.

REVIEWED BY: M.W. DATE: Oct 25/19



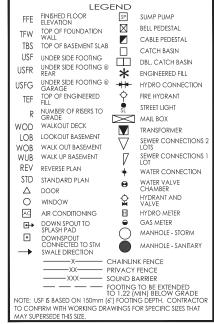
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

JOHN G. WILLIAMS LTD., ARCHITECT ARCHITECTURAL CONTROL REVIEW AND APPROVAL APPROVED BY: DATE: OCT 29, 2019 is stamp certifies compliance with the applica Design Guidelines only and bears no further



(PER UNIT) INTERNAL GARAGE WIDTH: INTERNAL GARAGE LENGTH: GARAGE DOOR WIDTH: 5.53 m 6.10 m 2 - 2.44 r NOTE: BUILDER TO VERIFY LOCATION OF ALL HYDRANTS, STREET LIGHTS, TRANSFORMERS AND OTHER SERVICES. IF MIN. DIMENSIONS ARE NOT MAINTAINED BUILDER IS TO RELOCATE AT HIS OWN EXPENSI

BUILDING STATISTICS 43M-2039 R1F-9.0-2452 LOT 128 LOT NUMBER LOT AREA(m $)^2$ 313.2 BLDG AREA(m) 2 N/A LOT COVERAGE(%) N/A No. OF STOREYS MEAN HEIGHT(m) 8.8 N/A PEAK HEIGHT(m) N/A DECK LINE(m)



	ISSUED OR REVISION CO	<u> </u>	_	
NO.	DESCRIPTION	DATE	DWN	CHK
1	ISSUED FOR REVIEW	18-OCT-19	DJH	
2	RE-SITED TO ELEV 'B'	21-OCT-19	DJH	
3	REVISED PER ENG COMM - FINAL	23-OCT-19	DJH	
4	REVISED PER ENG COMM - FINAL	28-OCT-19	DJH	

ORIANT FOOTING NOTE:

STHE RESPONSIBILITY OF THE BUILDER TO VERIFY FROM THE

HITECTURAL DRAWINGS BEFORE CONSTRUCTION, WHETHER

DIFIONAL THICKNESS MAY BE REQUIRED.

T GRADING PLANS ASSUME A 7BS TO USF DISTANCE OF 0.23, BASED

FOOTING THICKNESS UP TO 6".

ADDITIONAL FOOTING THICKNESS IS REQUIRED THE USF IS TO BE

VERED BY THE FOLLOWING AMOUNTS:

UP TO 9" FOOTING, LOWER USF BY 0.07

10" FOOTING, LOWER USF BY 0.10
11" FOOTING, LOWER USF BY 0.13
12" FOOTING, LOWER USF BY 0.13
12" FOOTING, LOWER USF BY 0.18



WWW.RNDESIGN.COM T:905-738-3177 WWW.THEPLUSGROUP.CA

I, DANIEL HANNINEN DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD, UNDER DIVISION C, PART-3 SUBSECTION-3.2.4 OF THE BULLIONS CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 20888 FIRM BCIN: 26995 DATE: Oct 30, 2019

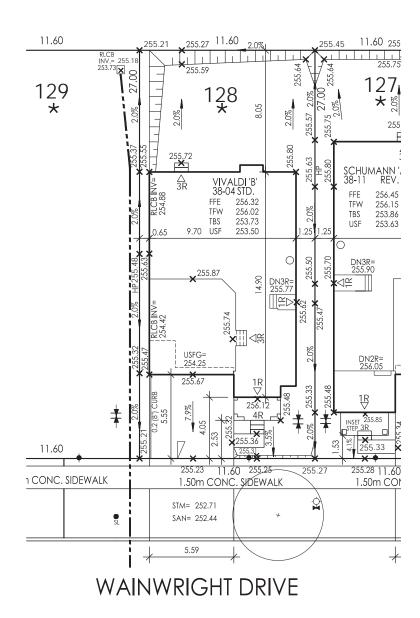
GOLD PARK HOMES

MCLAUGHLIN AND MAYFIELD-PH2 BRAMPTON, ON

DRAWING

SITE PLAN

DRAWN BY	SCALE
DJH	1:250
PROJECT No.	LOT NUMBER
19037 (13098 Ph.2)	LOT 128



URBANTECH NOTES:

No final utility location information at this time. Urbantech will not be responsible for future changes to design. Builder should notify purchaser's that street hardware and above ground utility furniture may be added or removed

Builder to lower underside of footings where adjacent to RLCB leads. Exact depth to be determined on site during footing excavation.

3) Builder to stake out driveway curb depressions at time of curb installation.

4) Builder to verify location of all hydrants, street lights, transformers and all other services. If min. dimensions are not maintained as per City standards, builder is to relocate at his own expense.

6) Final fence design have not been provided at this time. Purchaser to be advised that actual fencing details may not be as shown on this plan.

URBANTECH CONSULTING

We certify that the proposed grades at the lot corners are correct, and that the lot grading of the subject lot is in conformity to the approved subdivision grading plans and City standards

REVIEWED BY: M.W. DATE: Oct 29/19



This is to certify that these plans comply with the applicable Architectural Design with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

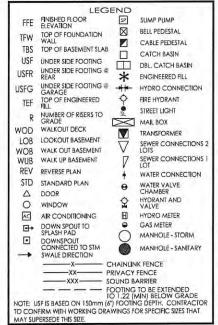
JOHN G. WILLIAMS LTD., ARCHITECT ARCHITECTURAL CONTROL REVIEW AND APPROVAL APPROVED BY: DATE: NOV 18, 2019 This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.



INTERNAL GARAGE WIDTH: INTERNAL GARAGE LENGTH: GARAGE DOOR WIDTH:

NOTE: BUILDER TO VERIFY LOCATION OF ALL HYDRANTS, STREET LIGHTS, TRANSFORMERS AND OTHER SERVICES. IF MIN. DIMENSIONS ARE NOT MAINTAINED BUILDER IS TO RELOCATE AT HIS OWN EXPENSE

BUILDING STATISTICS REG. PLAN No. 43M-2039 ZONE R1F-9.0-2452 LOT NUMBER LOT 129 LOT AREA(m)² 313.2 BLDG AREA(m)² N/A LOT COVERAGE(%) N/A No. OF STOREYS PEAK HEIGHT(m) N/A DECK LINE(m) N/A



	ISSUED OR REVISION C			_
NO.	DESCRIPTION	DATE	DWN	CHK
1	ISSUED FOR REVIEW	12-NOV-19	DJH	
2	REVISED PER ENG COMM - FINAL	14-NOV-19	DJH	
				1
		F		
			1	

LI POOTING NOTE:

-IT IS THE RESPONSIBILITY OF THE BUILDER TO VERIFY FROM THE ARCHITECTURAL DRAWINGS BEFORE CONSTRUCTION, WHETHER ADDITIONAL THICKNESS MAY BE REQUIRED.

-LOT GRADING PLANS ASSUME A TBS TO USF DISTANCE OF 0.23, BASED ON FOOTING THICKNESS UP TO 6°.

-IP TO PROTING THICKNESS IS REQUIRED THE USF IS TO BE LOWERED BY THE FOLLOWING AMOUNTS:

- UP TO PFOOTING, LOWER USF BY 0.07

- 10° FOOTING, LOWER USF BY 0.10

- 11° FOOTING, LOWER USF BY 0.13

- 12° FOOTING, LOWER USF BY 0.15

- 13° FOOTING, LOWER USF BY 0.18

- 14° FOOTING, LOWER USF BY 0.18



WWW.RNDESIGN.COM T:905-738-3177 WWW.THEPLUSGROUP.CA

I. DECLARE THAT I HAVE REVIEWED AND TAKEN

DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF
OF RN DESIGN LTD.UNDER DIVISION C.PART-3 SUBSECTION-3.2.4
OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS
REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 20888 FIRM BCIN: 26995 DATE: Nov 14, 2019 Call!

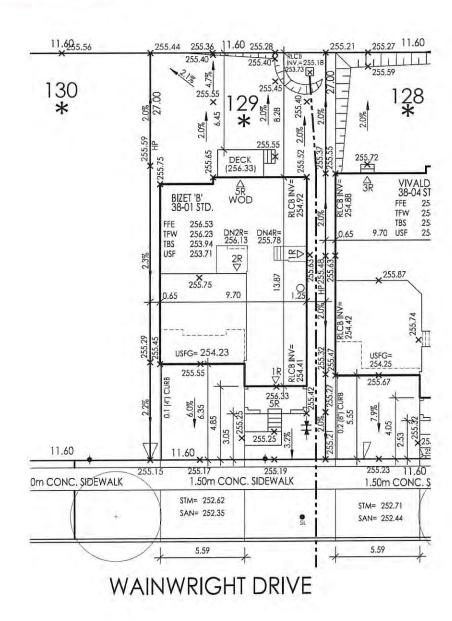
SIGNATURE

GOLD PARK HOMES

MCLAUGHLIN AND MAYFIELD-PH2 BRAMPTON, ON

SITE PLAN

DRAWN BY	SCALE 1:250
PROJECT No.	LOT NUMBER
19037 (13098 Ph.2)	LOT 129



URBANTECH NOTES

1) No final utility location information at this time. Urbantech will not be responsible for future changes to design. Builder should notify purchaser's that street hordware and above ground utility furniture may be added or removed

2) Builder to lower underside of footings where adjacent to RLCB leads. Exact depth to be determined on site during footing excavation.

3) Builder to stake out driveway curb depressions at time of curb installation.

4) Builder to verify location of all hydrants, street lights, transformers and all other services. If min, dimensions are not mointoined as per City standards, builder is to relocate at his own expense.

Builder to confirm service connection elevations and review for absence of conflict prior to footing excavation.

Final fence design have not been provided at this time. Purchaser to be advised that actual fencing details may not be as shown on this plan.

URBANTECH CONSULTING

We certify that the proposed grades at the lot corners are correct, and that the lot grading of the subject lot is in conformity to the approved subdivision grading plans and City standards.

REVIEWED BY: M.W. DATE: NOV 14/19



This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

JOHN G. WILLIAMS LTD., ARCHITECT ARCHITECTURAL CONTROL REVIEW AND APPROVAL APPROVED BY: DATE FEB 10, 2026

This stamp certifies compliance with the applicat Design Guidelines only and bears no further professional responsibility.



PER UNIT) INTERNAL GARAGE WIDTH: INTERNAL GARAGE LENGTH: GARAGE DOOR WIDTH:

NOTE: BUILDER TO VERIFY LOCATION OF ALL HYDRANTS, STREET LIGHTS, TRANSFORMERS AND OTHER SERVICES. IF MIN. DIMENSIONS ARE NOT MAINTAINED BUILDER IS TO RELOCATE AT HIS OWN EXPENSE

BUILDING STATISTICS 43M-2039 REG. PLAN No. R1F-9.0-2452 ZONE LOT 130 LOT NUMBER LOT AREA(m)² 313.2 BLDG AREA(m)2 N/A N/A LOT COVERAGE(%) No. OF STOREYS 8.4 MEAN HEIGHT(m) N/A PEAK HEIGHT(m) N/A DECK LINE(m)

FINISHED FLOOR ELEVATION M BELL PEDESTAL TOP OF FOUNDATION WALL CABLE PEDESTAL TOP OF BASEMENT SLAB CATCH BASIN USF UNDER SIDE FOOTING DBL. CATCH BASIN USFR UNDER SIDE FOOTING @ ENGINEERED FILL USFG UNDER SIDE FOOTING ®
GARAGE
TOP OF ENGINEERED
FILL HYDRO CONNECTION 0 FIRE HYDRANT STREET LIGHT NUMBER OF RISERS TO GRADE WALKOUT DECK MAIL BOX TRANSFORMER LOOKOUT BASEMENT LOB SEWER CONNECTIONS 2 LOTS WOR WALK OUT BASEMENT SEWER CONNECTIONS I WALK UP BASEMENT REVERSE PLAN WATER CONNECTION STD STANDARD PLAN WATER VALVE CHAMBER DOOR HYDRANT AND VALVE WINDOW HYDRO METER GAS METER MANHOLE - STORM AC AIR CONDITIONING DOWN SPOUT TO SPLASH PAD DOWNSPOUT CONNECTED TO STM SWALE DIRECTION -MANHOLE - SANITARY CHAINLINK FENCE PRIVACY FENCE SOUND BARRIER OCONFIRM WITH WORKING DRAWINGS FOR SPECIFIC SIZES THAT MAY SUPERSEDE THIS SIZE

NO.	ISSUED OR REVISION CO		DWN	CHK
1	ISSUED FOR REVIEW	23-JAN-20	DJH	
2	REVISED PER ENG COMM - FINAL	06-FEB-20	DJH	
			- 1	
		10,00		
1				
			=	

IMPORTANI FOOTING NOTE:

-IT IS THE RESPONSIBILITY OF THE BUILDER TO VEREY FROM THE ARCHITECTURAL DRAWINGS BEFORE CONSTRUCTION, WHETHER ADDITIONAL THICKNESS MAY BE REQUIRED.
-LOT GRADING FLANS ASSUME A TBS TO USF DISTANCE OF 0.23, BASED ON FOOTING THICKNESS UP TO 6'.
-IF ADDITIONAL FOOTING THICKNESS IS REQUIRED THE USF IS TO BE LOWERED BY THE FOLLOWING AMOUNTS:

- UP TO 9' FOOTING, LOWER USF BY 0.07
- 10' FOOTING, LOWER USF BY 0.13
- 12' FOOTING, LOWER USF BY 0.15
- 12' FOOTING, LOWER USF BY 0.18
- 13' FOOTING, LOWER USF BY 0.18
- 14' FOOTING, LOWER USF BY 0.18

DESIGN

WWW.RNDESIGN.COM T:905-738-3177 WWW.THEPLUSGROUP.CA

DANIEL HANINEN.

I. DECLARE THAT I HAVE REVIEWED AND TAKEN
DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF
OF RIN DESIGN LID, UNDER DIVISION C, PART-3 SUSSECTION-3,2,4
OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS
REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: FIRM BCIN: DATE: Feb-6-2020 20888 26995

SIGNATURE:

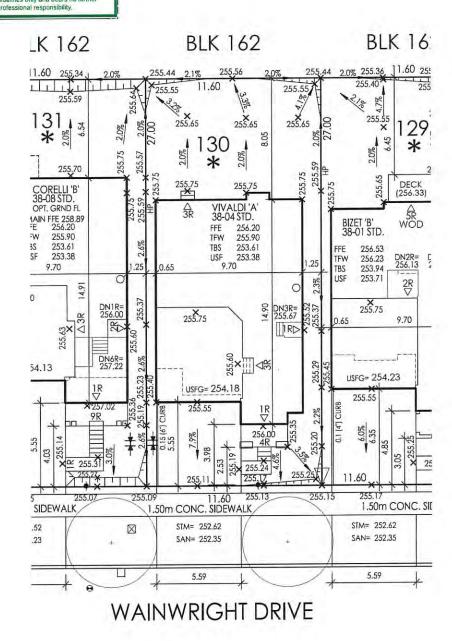
GOLD PARK HOMES

MCLAUGHLIN AND MAYFIELD-PH2 BRAMPTON, ON

DRAWING

SITE PLAN

DRAWN BY	SCALE	Π
DJH	1:250	
PROJECT No.	LOT NUMBER	
19037 (13098 Ph.2)	LOT 130	J



URBANTECH NOTES:

- 1) No final utility location information at this time. Urbantech will not be responsible for future changes to design. Builder should notify purchaser's that street hardware and above ground utility furniture may be added or removed from their frontages.
- 2) Builder to lower underside of footings where adjacent to RLCB leads. Exact depth to be determined on site during footing excavation.
- 3) Builder to stake out driveway curb depressions at time of curb installation.
- 4) Builder to verify location of all hydrants, street lights, transformers and all services. If min. dimensions are not maintained as per City standards, builder is to relocate at his own expense.
- 5) Builder to confirm service connection elevations and review for absence of nflict prior to footing excavation.
- Final fence design have not been provided at this time. Purchaser to be advised that actual fencing details may not be as shown on this plan.

URBANTECH CONSULTING

We certify that the proposed grades at the lot corners are correct, and that the lot grading of the subject lot is in conformity to the approved subdivision grading plans and City standards.

REVIEWED BY: MW DATE: Feb 7/20



This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

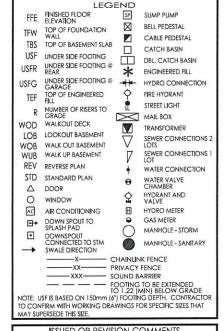
JOHN G. WILLIAMS LTD., ARCHITECT ARCHITECTURAL CONTROL REVIEW AND APPROVAL APPROVED BY: DATE: NOV 10, 2017
This stamp certifies compliance with the applica
Design Guidelines only and bears no further
professional responsibility.



INTERNAL GARAGE WIDTH: INTERNAL GARAGE LENGTH: GARAGE DOOR WIDTH:

NOTE: BUILDER TO VERIFY LOCATION OF ALL HYDRANTS, STREET LIGHTS, TRANSFORMERS AND OTHER SERVICES. IF MIN. DIMENSIONS ARE NOT MAINTAINED BUILDER IS TO RELOCATE AT HIS OWN EXPENSE

BUILDING STATISTICS REG. PLAN No. 43M-2039 7ONF R1F-9.0-2452 LOT NUMBER LOT 131 LOT AREA(m)² 313.2 BLDG AREA(m)² N/A LOT COVERAGE(%) N/A No. OF STOREYS MEAN HEIGHT(m) 10.8 PEAK HEIGHT(m) N/A DECK LINE(m) N/A



NO.	DESCRIPTION	DATE	DWN	CHK
1	ISSUED FOR REVIEW	12-NOV-19	DJH	
2	REVISED PER ENG COMM - FINAL	14-NOV-19	DJH	

MPORIANI FOOTING NOIE:

-IT IS THE RESPONSIBILITY OF THE BUILDER TO VERIFY FROM THE ARCHITECTURAL DRAWINGS BEFORE CONSTRUCTION, WHETHER ARCHITECTURAL DRAWINGS BEFORE CONSTRUCTION, WHETHER ADDITIONAL THICKNESS MY BE REQUIRED.

-LOT GRADING PLANS ASSUME A TRS TO USF DISTANCE OF 0.23, BASED ON FOOTING THICKNESS UP TO 6".

-IF ADDITIONAL FOOTING THICKNESS IS REQUIRED THE USF IS TO BE LOWERD BY THE FOLLOWING AMOUNTS:

- UP TO F FOOTING, LOWER USF BY 0.07

- 10" FOOTING, LOWER USF BY 0.10

- 11" FOOTING, LOWER USF BY 0.13

- 12" FOOTING, LOWER USF BY 0.15

- 13" FOOTING, LOWER USF BY 0.18

- 14" FOOTING, LOWER USF BY 0.20

DESIGN

WWW.RNDESIGN.COM T:905-738-3177 WWW.THEPLUSGROUP.CA

DANIFI HANNINEN

I. DECLARE THAT I HAVE REVIEWED AND TAKEN
DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF
OF RN DESIGN LTD.UNDER DIVISION C.PART-3 SUBSECTION-3.2.4
OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS
REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 20888 FIRM BCIN: 26995 DATE: Nov 14, 2019 CATA

SIGNATURE

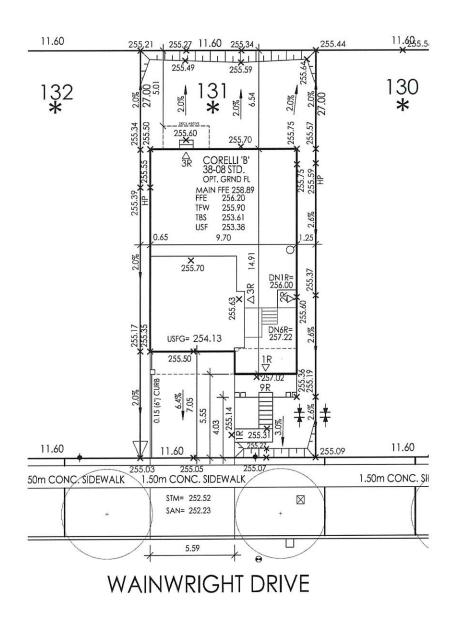
GOLD PARK HOMES

MCLAUGHLIN AND MAYFIELD-PH2 BRAMPTON, ON

DRAWING

SITE PLAN

DRAWN BY	SCALE
DJH	1:250
PROJECT No.	LOT NUMBER
19037 (13098 Ph.2)	LOT 131



URBANTECH NOTES

- No final utility location information at this time. Urbantech will not be responsible for tuture changes to design. Builder should notify purchaser's that street hardware and above ground utility furniture may be added or removed
- 2) Builder to lower underside of footings where adjacent to RLCB leads. Exact depth to be determined on site during footing excavation.
- Builder to stake out driveway curb depressions at time of curb installation.
- 4) Builder to verify location of all hydrants, street lights, transformers and all other services. If min, dimensions are not maintained as per City standards, builder is to relocate at his own expense.
- 5) Builder to confirm service connection elevations and review for absence of conflict prior to footing excavation.
- Final fence design have not been provided at this time. Purchaser to be advised that actual fencing details may not be as shown on this plan.

URBANTECH CONSULTING

We certify that the proposed grades at the lot corners are correct, and that the lot grading of the subject lot is in conformity to the approved subdivision grading plans and City standards.

Nov. 14/10

Nov 14/19 REVIEWED BY: M.W. DATE:



This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

JOHN G. WILLIAMS LTD., ARCHITECT ARCHITECTURAL CONTROL REVIEW AND APPROVAL APPROVED BY: DATE: FEB 12. ZUZU

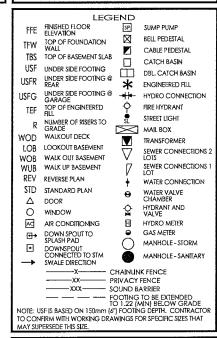
is stamp certifies compliance with the applical
Design Guidelines only and bears no further
professional responsibility.



INTERNAL GARAGE WIDTH: INTERNAL GARAGE LENGTH: GARAGE DOOR WIDTH:

NOTE: BUILDER TO VERIFY LOCATION OF ALL HYDRANTS, STREET LIGHTS, TRANSFORMERS AND OTHER SERVICES. IF MIN. DIMENSIONS ARE NOT MAINTAINED BUILDER IS TO RELOCATE AT HIS OWN EXPENSE

BUILDING STATISTICS REG. PLAN No. 43M-2039 ZONE R1F-9.0-2452 LOT NUMBER LOT 132 LOT AREA(m)² 313.2 BLDG AREA(m)² N/A LOT COVERAGE(%) N/A No. OF STOREYS MEAN HEIGHT(m) 10.7 PEAK HEIGHT(m) N/A DECK LINE(m) N/A



	ISSUED OR REVISION COMMENTS				
NO.	DESCRIPTION	DATE	DWN	CHK	
1	ISSUED FOR REVIEW	04-FEB-20	DJH		
2	REVISED PER ENG COMM - FINAL	10-FEB-20	DJH		
			<u> </u>		

IMPORTANT FOOTING NOTE:

-IT IS THE RESPONSIBILITY OF THE BUILDER TO VERIFY FROM THE
ARCHITECTURAL DRAWINGS BEFORE CONSTRUCTION, WHETHER
ARCHITECTURAL DRAWINGS BEFORE CONSTRUCTION, WHETHER
ADDITIONAL HICKNESS MY BE REQUIRED.

-LOT GRADING PLANS ASSUME A TBS TO USF DISTANCE OF 0,23, BASED
ON FOOTING FILICKNESS UP TO 6".

-IF ADDITIONAL FOOTING THICKNESS IS REQUIRED THE USF IS TO BE
LOWERED BY THE FOLLOWING AMOUNTS:

- UP TO 9" FOOTING, LOWER USF BY 0.10

- 11" FOOTING, LOWER USF BY 0.13

- 12" FOOTING, LOWER USF BY 0.15

- 13" FOOTING, LOWER USF BY 0.15

- 13" FOOTING, LOWER USF BY 0.18

- 14" FOOTING, LOWER USF BY 0.18

- 14" FOOTING, LOWER USF BY 0.18



WWW.RNDESIGN.COM T:905-738-3177 WWW.THEPLUSGROUP.CA

I, DANIEL HANNINEN DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD, UNDER DIVISION C, PARTS, SUBSECTION-3.2.4 OF THE BULLDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 20888 FIRM BCIN; 26905 DATE: FEB-14-2020

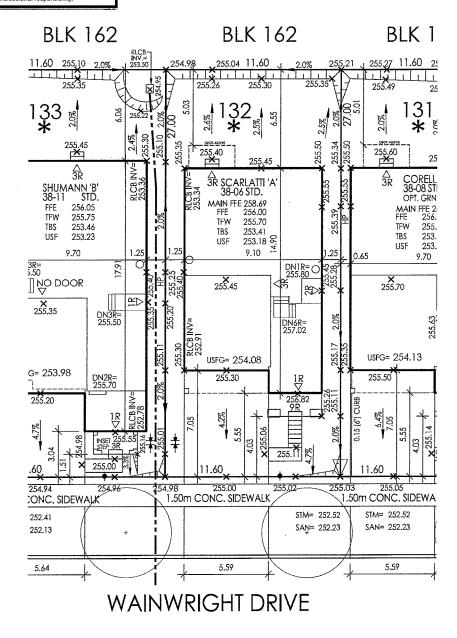
SIGNATURE

GOLD PARK HOMES

McLAUGHLIN AND MAYFIELD-PH2 BRAMPTON, ON

SITE PLAN

DRAWN BY	SCALE
HLQ	1:250
PROJECT No.	LOT NUMBER
19037 (13098 Ph.2)	LOT 132



URBANTECH NOTES

- 1) No final utility location information at this time. Urbantech will not be responsible for future changes to design. Builder shauld notify purchaser's that street hordware and abave ground utility furniture may be added ar removed from their frontages.
- Builder to lower underside of footings where adjacent to RLCB leads. Exact depth to be determined on site during footing excavation.
- 3) Builder to stake out driveway curb depressions at time of curb installation.
- 4) Builder to verify location of all hydrants, street lights, transformers and all er services. If min, dimensions are not maintained as per City standards, builder is to relocate at his own expense.
- 5) Builder to confirm service connection elevations and review for absence at
- 6) Final fence design have not been provided at this time. Purchaser to be advised that actual fencing details may not be as shown on this plan.

URBANTECH CONSULTING

We certify that the proposed grades at the lot corners are correct, and that the lot grading of the subject lot is in conformity to the approved subdivision grading plans and City standards.

REVIEWED BY: MW DATE: Feb 11/20



This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

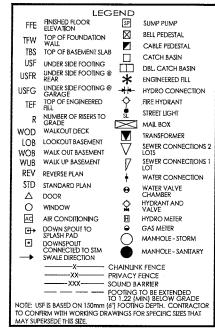
JOHN G. WILLIAMS LTD., ARCHITECT ARCHITECTURAL CONTROL REVIEW AND APPROVAL FEB 12, 2020



INTERNAL GARAGE WIDTH: 5.53 m INTERNAL GARAGE LENGTH: 6.10 m GARAGE DOOR WIDTH: 2-2.44 m

NOTE: BUILDER TO YERIFY LOCATION OF ALL HYDRANTS, STREET LIGHTS, TRANSFORMERS AND OTHER SERVICES. IF MIN. DIMENSIONS ARE NOT MAINTAINED BUILDER IS TO RELOCATE AT HIS OWN EXPENSE

BUILDING STATISTICS 43M-2039 R1F-9.0-2452 LOT NUMBER LOT 133 LOT AREA(m) 2 N/A N/A LOT COVERAGE(%) No. OF STOREYS 8.9 PEAK HEIGHT(m) N/A



	ISSUED OR REVISION COMMENTS					
NO.	DESCRIPTION	DATE	DWN	CHK		
1	ISSUED FOR REVIEW	04-FEB-20	DJH			
2	REVISED PER ENG COMM - FINAL	10-FEB-20	DJH			
- 1						

IMPORTANT FOOTING NOTE:
-IT IS THE RESPONSIBILITY OF THE BUILDER TO VERIFY FROM THE ARCHITECTURAL DRAWINGS BEFORE CONSTRUCTION, WHETHER ARCHITECTURAL DRAWINGS BEFORE CONSTRUCTION, WHETHER ADDITIONAL THICKNESS MAY BE REQUIRED.

LOT GRADING PLANS ASSUME A 783 TO USF DISTANCE OF 0.23, BASED ON FOOTING THICKNESS UP TO 6".

IF ADDITIONAL FOOTING THICKNESS IS REQUIRED THE USF IS TO BE LOWERED BY THE FOLLOWING AMOUNTS:

UP TO 9" FOOTING, LOWER USF BY 0.07

10" FOOTING, I.OWER USF BY 0.13

12" FOOTING, LOWER USF BY 0.13

12" FOOTING, LOWER USF BY 0.18

13" FOOTING, LOWER USF BY 0.18

14" FOOTING, LOWER USF BY 0.18

DESIGN

WWW.RNDESIGN.COM T:905-738-3177 WWW.THEPLUSGROUP.CA

NINEN DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD. UNDER DIVISION C, PART-3 SUBSECTION-3, 2, 4 OF THE BULLIONG CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

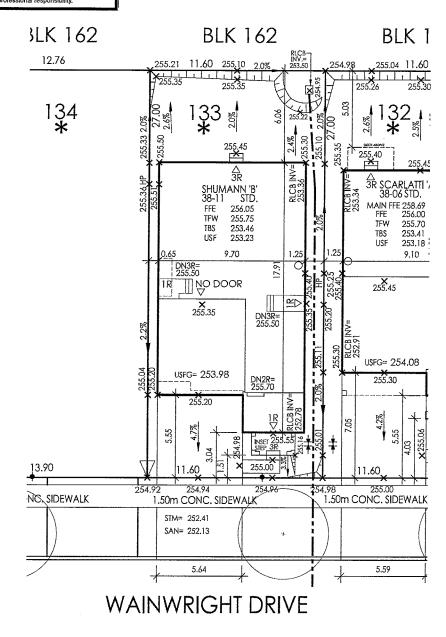
GOLD PARK HOMES

PROJECT/LOCATION

MCLAUGHLIN AND MAYFIELD-PH2 BRAMPTON, ON

SITE PLAN

DRAWN BY	SCALE
DJH	1:250
PROJECT No.	LOT NUMBER
19037 (13098 Ph.2)	LOT 133



- 1) No final utility location information at this time. Urbantech will not be responsible for future changes to design, Builder should notify purchaser's that street hordware and obove ground utility furniture may be added or removed from that fractions.
- Builder to lower underside of footings where adjocent to RLCB leads. Exact depth to be defermined on site during footing excavation.
- 3) Builder to stoke out driveway curb depressions at time of curb installation.
- 4) Builder to verify location of all hydrants, street lights, transformers and all other services. If min. dimensions are not maintained as per City standards, builder is to relacate at his awn expense.
- 5) Builder to confirm service connection elevations and review for absence of conflict prior to footing excavation.
- 6) Final fence design have not been provided at this time, Purchaser to be advised that actual fencing details may not be as shown on this plan.

URBANTECH CONSULTING

We certify that the proposed grades at the lot corners are correct, and that the lot grading of the subject lat is in conformify to the opproved subdivision grading plans and City standards.

REVIEWED BY: MW DATE: Feb 11/20

