

- (RC) COMPLETE ROOF (INCLUDING REAR) CONNECTED TO FRONT DOWNSPOUT AND CONNECTED TO RDC SERVICE CONNECTION.  
(RF) HALF ROOF CONNECTED TO FRONT DOWNSPOUT AND CONNECTED TO RDC SERVICE CONNECTION.  
(RR) HALF ROOF CONNECTED TO REAR DOWNSPOUT AND CONNECTED TO INFILTRATION TRENCH.
- 1.1 - ROOF DRAINS TO BE CONNECTED AT THE FRONT TO RDC SERVICE CONNECTION FOR ROOF CONFIGURATIONS RC, RF, & RR (REFER TO SCS DWG. 906 DETAIL B).
- 1.2 - IF ROOF CONFIGURATION IS RF OR RC, FRONT ROOF DRAINS TO BE CONNECTED TO FRONT DOWNSPOUT & CONNECTED TO RDC SERVICE CONNECTION (REFER TO SCS DWG. 906 DETAIL B).
- 1.3 - IF ROOF CONFIGURATION IS RR, REAR ROOF DRAINS TO BE CONNECTED TO REAR ROOF DOWNSPOUT AND CONNECTED TO INFILTRATION TRENCH (REFER TO SCS DWG. 906 DETAIL A).
- 1.4 - THE CONTRACTOR SHALL CHECK AND VERIFY ALL GIVEN GRADE ELEVATIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION. FOOTINGS TO BEAR ON NATURAL UNDISTURBED SOIL OR ROCK AND TO BE A MINIMUM OF 1.22m BELOW FINISHED GRADE.
- 1.5 - ALL FRONT AND REAR YARDS SHALL BE GRADED AT A 2%-5% GRADE WITHIN 5.0m OF THE DWELLING UNIT.
- 1.6 - MAXIMUM DRIVEWAY SLOPE SHALL BE 8%.
- 1.7 - THE MAXIMUM ALLOWABLE SLOPE IS 3:1 (HORIZONTAL AND VERTICAL) WITH A MAXIMUM ELEVATION DIFFERENCE OF 600mm.
- 1.8 - DRIVEWAYS TO BE SET BACK A MINIMUM OF 1.0m, FROM ABOVE GROUND SERVICES OR OTHER OBSTRUCTION.
- 1.9 - LOT HIGH POINT (HP) TO BE 2.0m UPSTREAM OF DOWNSPOUTS.
- 1.10 - ROOF LEADER EMERGENCY OVERFLOW TO DISCHARGE VIA SPLASH PAD, (REFER TO SCS DWG. 906 DETAIL A FOR ROOF CONFIGURATION RR AND DETAIL B FOR ROOF CONFIGURATION RC & RF).
- 1.11 - INFILTRATION TRENCHES NOT TO CROSS BETWEEN LOT LINES. (REFER TO SCS DWG. 906 DETAIL A).
- 1.12 - IF ROOF CONFIGURATION IS RR, REAR ROOF DOWNSPOUTS CONNECTED TO 100mmØ CAP, REMOVE CAP AND CONNECT TO REAR LOT INFILTRATION TRENCH. BUILDER IS RESPONSIBLE TO BUILD THE REAR YARD ROOF LEADER CONNECTION TO THE CAP AT THE TRENCHES (TYP.) REFER TO SCS DWG. 906 DETAIL A.
- 1.13 - BUILDER TO REFER TO SCS DWG. 906 DETAILS A & B FOR DETAILS ON THE INFILTRATION TRENCH.

LOT 157

WE HAVE REVIEWED THE SITE AND GRADING PLAN FOR THE PROPOSED BUILDING TO BE CONSTRUCTED, AND HEREBY CERTIFY THAT:

- The proposed grading and appurtenant drainage works comply with sound engineering principles.
- The proposed grading is in conformity with the grading plan approval for this subdivision and will not adversely affect adjacent lands.
- The proposed building is compatible with the proposed grading.
- The proposed water service curb stop is to be located in the grassed portion of the front yard.
- The driveway conforms with the City of Vaughan By-Law 1-88 as amended and is a minimum 1.0 metre clear of all street landscape catch basins.
- The proposed building is a minimum of 0.6 m side yard setback from a drainage swale.

SCS CONSULTING GROUP LTD.



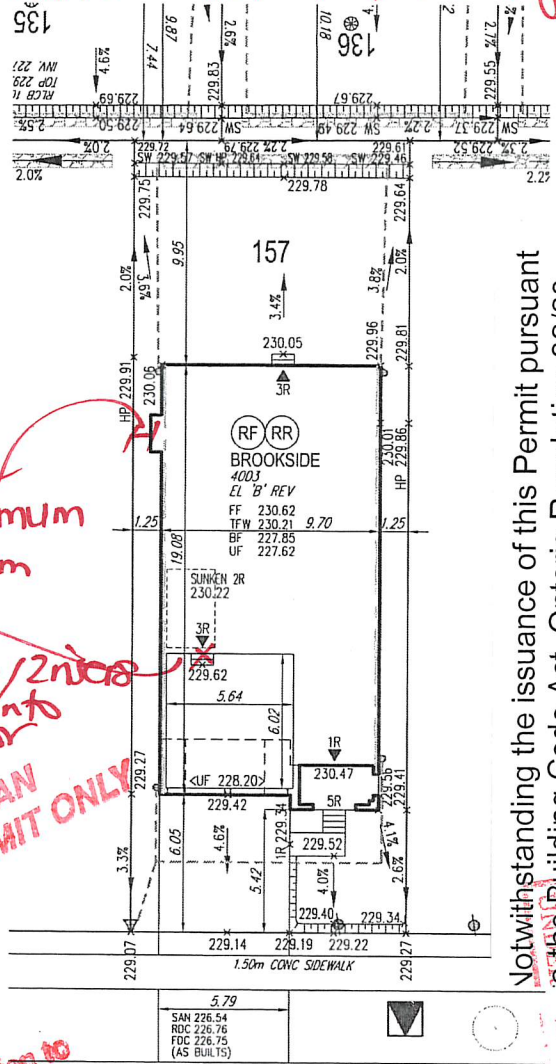
Date: March 13/20 Reviewed By: C.C.

As per subdivision agreement air conditioning unit required and shall comply with subsection 3.14 h) of Zoning Bylaw 1-88.

minimum 0.7m

maximum 1 step/2 risers may encroach into minimum interior garage length of 6.0 metres

CITY OF VAUGHAN FOR BUILDING PERMIT ONLY

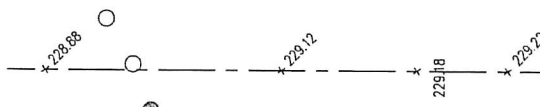


Notwithstanding the issuance of this Permit pursuant to the Building Code Act, Ontario Regulation 82/20, as amended, made pursuant to the Emergency Management and Civil Protection Act, orders the closure of all places of non-essential business, including certain construction projects. It is the responsibility of those involved in any business to comply with this Order and the Emergency Management and Civil Protection Act, Ontario Regulation 82/20, as amended.

REVISED

Site plans and construction to comply with City of Vaughan By-Law 1-88 s.s.

PINE HEIGHTS DRIVE



STANDARD AIR CONDITIONER REQUIRED

ZONING ONLY 20-513

COVERAGE CALCULATION	
LOT NO.:	157
LOT AREA:	428.24 m <sup>2</sup>
BLDG. AREA: (AND PORCH)	188.31 m <sup>2</sup>
LOT COVERAGE:	43.97 %
LANDSCAPE AREA:	204.85 m <sup>2</sup>
LANDSCAPE COV.:	47.84 %
BUILDING HEIGHT	
MAX BUILDING HEIGHT:	11.00 m
FROM AVERAGE FIN. GRADE @ FRONT OF BUILDING TO MEAN	
ESTABLISHED GRADE:	229.43
F.F. TO TOP OF ROOF:	9.65 m
F.F. TO MEAN OF ROOF:	7.90 m
PROPOSED BLDG. HGT:	9.09 m
FRONT YARD LANDSCAPE AREA	
FRONT YARD AREA:	66.06 m <sup>2</sup>
LANDSCAPE AREA:	34.70 m <sup>2</sup>
COVERAGE (60% MIN.):	52.53 %
SOFT LANDSCAPE AREA	
SOFT LANDSCAPE AREA:	31.25 m <sup>2</sup>
SOFT COVERAGE (60% MIN.):	90.06 %
REAR YARD LANDSCAPE AREA	
REAR YARD AREA:	121.71 m <sup>2</sup>
SOFT LANDSCAPE AREA:	121.21 m <sup>2</sup>
COVERAGE (60% MIN.):	99.59 %

FOR OFFICE USE ONLY

CITY OF VAUGHAN BUILDING STANDARDS DEPARTMENT PLANS EXAMINATION

RECEIVED MAY 1 2020

DATE REVIEWED MAY 5, 2020

ZONING GRADING BUILDING CODE

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Vaughan.

JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW AND APPROVAL  
APPROVED BY: [Signature]  
DATE: MAR 20, 2020  
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

- GENERAL NOTES:
- BUILDER TO VERIFY LOCATION OF UTILITIES AND OTHER SERVICES. IF MIN. DIMENSIONS ARE NOT MAINTAINED, BUILDER IS TO RELOCATE AT BUILDER'S EXPENSE.
  - BUILDER TO VERIFY ELEV. OF STM. AND SAN. LATERALS IN RELATION TO BASEMENT US OF FOOTING ELEVATIONS FOR COMPLIANCE WITH MUNICIPAL STANDARDS PRIOR TO EXCAVATION.
  - APPROVED PERMIT DRAWINGS & CONSTRUCTION NOTES MUST BE REVIEWED AND FOLLOWED IN CONJUNCTION WITH THE SITING AND GRADING PLAN. BUILDER TO VERIFY BUILDING ENVELOPE ON SITE PLAN MATCHES APPROVED PERMIT DRAWINGS & CONSTRUCTION NOTES PRIOR TO POURING CONCRETE. IF THERE ARE ANY DISCREPANCIES, THEY ARE TO BE BROUGHT TO THE ATTENTION OF HUNT DESIGN ASSOCIATES INC.
  - UNLESS NOTED ON BUILDING ENVELOPE OR APPROVED PERMIT DRAWINGS & CONSTRUCTION NOTES, ALL TOP OF FOUNDATION WALLS INCLUDING GARAGE WALLS TO BE CONSISTENT WITH THE ELEVATION PROVIDED FOR TFW ON SITING AND GRADING PLAN. THE EXTERIOR OF THE FOUNDATION WALL TO BE PROVIDED WITH A REDUCTION OF THICKNESS FOR MASONRY VENEER AS REQUIRED.

ENGINEERED PILLARS	DOUBLE STAINLESS STEEL RDC CONNECTION (REFER TO SCS DWG. 902 DETAIL H1 MODIFIED)	CONNECTION TO RADIATION SERVICE AT THE FRONT OF THE HOUSE (SEE NOTE 1) AND CONNECTION TO REAR LOT INFILTRATION TRENCH (REFER TO SCS DWG. 902 DETAIL H1 MODIFIED)	SANITARY MANHOLE	WATER SERVICE	BELL PEDESTAL	HYDRO TRANSFORMER	PAINTED MOTOR	EXISTING GRADES	PROPOSED GRADES	SWALE DIRECTION	EMBANKMENT BERM MAX 1:1 SLOPE	SANITARY LINE	STORM WATER LINE	WATERLINE	HYDRO LINE	GAS LINE	CABLE LINE	HYDRO, GAS, BELL, CABLE LINE	DOWNSPOUTS	WINDING PERMITTED	45 MINUTE FIRE RATED WALL	SEVERAL DISTANCE IS LESS THAN 1.2m TO LOT LINE (AND WINDING PERMITTED)	EXTERIOR DOOR LOCATION	EXTERIOR DOOR LOCATION IF GRADE PERMITS	SLUMP PUMP AND SURFACE DISCHARGE LOCATION	UPGRADE ELEVATION	CHAIN LINK FENCE	PERMITS AND DATE	PRIVACY FENCE	ACOUSTIC FENCE	FINISHED FLOOR	TOP OF FOUNDATION WALL	BASEMENT FLOOR	UNDERSIDE OF FOOTING	WALKOUT DECK	WALKOUT BASEMENT	REV	MODIFIED	REVERSED	NO DOOR	HIGHLIGHTED GRADE
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