

AREA CALCULATIONS

GROSS WALL AREA GROSS WINDOW AREA (NOL GLASS DOORS & SYLIGHTS) TOTAL WINDOW %	GROSS WALL AREA GROSS WINDOW AREA (INCL. GLASS DOORS & SKYLIGHTS) TOTAL WINDOW %	GROSS WALL AREA GROSS WINDOW AREA (NOL GLASS DOORS & SYLIGHTS) TOTAL WINDOW %	WINDOW / WALL AREA CALCULATIONS GROSS WALL AREA GROSS WINDOW AREA (INCL. GLASS DOORS & SKYLIGHTS) TOTAL WINDOW %	COVERAGE W/OUT PORCH COVERAGE W/ PORCH COVERAGE W/ OPT. LOGGIA	DEDUCT ALL OPEN AREAS TOTAL NET AREA FINISHED BASEMENT AREA	GROUND FLOOR AREA SECOND FLOOR AREA SUBTOTAL
EL. 'A' - WOB STD. PLAN 5759.89 sq. ft. (535.11 sq. m.) 699.88 sq. ft. (65.02 sq. m.) 12.15 %	EL. 'A' - LOD STD. PLAN 5323.24 sq. ft. (494.55 sq. m.) 549.60 sq. ft. (51.06 sq. m.) 10.32 %	EL, 'A' - WOD STD, PLAN 5193,36 sq. ft. (482.48 sq. m.) 532.10 sq. ft. (49.43 sq. m.) 10.25 %	EL. 'A' STD. PLAN 5144.47 sq. ft. (477.94 sq. m.) 530.44 sq. ft. (49.28 sq. m.) 10.31 %	(8.73 sq. m.) (8.73 sq. m.) (8.73 sq. m.) (2657 sq. ft. (246.84 sq. m.) 2714 sq. ft. (252.14 sq. m.) 3083 sq. ft. (286.42 sq. m.)	8 sq. ft. (0.74 sq. m.) 4376 sq. ft. (406.54 sq. m.) 94 sq. ft.	STD, FLAN & OPT. 5 BED 2033 Sq. ft. (188.87 sq. m.) 2351 sq. ft. (218.42 sq. m.) 4384 sq. ft.
EL. 'A' - WOB OPT. 5 BED. 5759.89 sq. ft. (535.11 sq. m.) 711.88 sq. ft. (66.14 sq. m.) 12.36 %	EL. 'A' - LOU OPT. 5 BED. 5323.24 sq. ft. (494.55 sq. m.) 561.60 sq. ft. (52.17 sq. m.) 10.55 %	EL, 'A' - WOD OPT, 5 BED, 5193,36 sq. ft. (482.48 sq. m.) 544.10 sq. ft. (50.55 sq. m.) 10.48 %	EL. 'A' OPT. 5 BED. 5144.47 sq. ft. (477.94 sq. m.) 542.44 sq. ft. (50.39 sq. m.) 10.54 %	m.) (8.73 sq. m.) 2657 sq. ft. 246.84 sq. m.) 2714 sq. ft. 52.14 sq. m.) 52.14 sq. m.) 3083 sq. ft. 86.42 sq. m.)	~· - ~	**
EL. 'B' - WOB STD. PLAN 5808.65 sq. ft. (539.64 sq. m.) 775.98 sq. ft. (72.09 sq. m.) 13.36 %	EL. B'-LOD STD. PLAN 5372.00 sq. ft. (499.08 sq. m.) 625.70 sq. ft. (58.13 sq. m.) 11.65 %	EL. 'B' - WOD STD. PLAN 5240.12 sq. ft. (486.82 sq. m.) 608.20 sq. ft. (56.50 sq. m.) 11.61 %	EL. 'B' STD. PLAN 5193.23 sq. ft. (482.47 sq. m.) 606.53 sq. ft. (56.35 sq. m.) 11.68 %	(8.73 sq. m.) (8.73 sq. m.) (8.73 sq. m.) (2643 sq. ft. (245.54 sq. m.) 2701 sq. ft. (250.93 sq. m.) 3070 sq. ft. (285.21 sq. m.)	(406.92 sq. m.) 8 sq. ft. (0.74 sq. m.) 4372 sq. ft. (406.17 sq. m.) 94 sq. ft.	EL. 'B' STD. PLAN & OPT. 5 BED 2020 sq. ft. (187.66 sq. m.) 2360 sq. ft. (219.25 sq. m.) 4380 sq. ft.
COPT. 5 BED. 5808.65 sq. ft. (539.64 sq. m.) 787.98 sq. ft. (73.21 sq. m.) 13.57 %	CPT. 5 BED. 5372.00 sq. ft. (499.08 sq. m.) 637.70 sq. ft. (59.24 sq. m.) 11.87 %	EL. 'B' - WOD OPT, 5 BED. 5240,12 sq. ft. (486.82 sq. m.) 620,20 sq. ft. (57.62 sq. m.) 11.84 %	EL. 'B' OPT. 5 BED. 5193.23 sq. ft. (482.47 sq. m.) 618.53 sq. ft. (57.46 sq. m.) 11.91 %	(8.73 sq. m.) sq. ft. sq. m.) sq. ft. sq. m.) sq. ft. sq. m.)		-
EL. 'B' - WOB CORNER 6024.16 sq. ft. (559.66 sq. m.) 906.70 sq. ft. (84.24 sq. m.) 15.05 %	CORNER 5587.51 sq. ft. (519.10 sq. m.) 756.42 sq. ft. (70.27 sq. m.) 13.54 %	EL. 'B' - WOD CORNER 5455,63 sq. ft. (506.84 sq. m.) 738.92 sq. ft. (68.65 sq. m.) 13.54 %	EL. 'B' CORNER 5408.75 sq. ft. (502.49 sq. m.) 737.25 sq. ft. (68.49 sq. m.) 13.63 %	(8.73 sq. m.) (8.73 2692 sq. ft. (250.09 sq. m.) 2750 sq. ft. (255.48 sq. m.) 3119 sq. ft. (289.76 sq. m.)	\sim	EL. 'B' CORN. STD. PLAN 2069 sq. ft. (192.22 sq. m.) 2409 sq. ft. (223.80 sq. m.) 4478 sq. ft.
WOB NER Sq. ft. sq. m) sq. ft. sq. ft.	-LOD NER sq. ft. sq. m.) sq. ft. 4 %	. WOD . WOD . WER . sq. ft sq. ft.	'B' VIER VIER Sq. ft. sq. m.) sq. ft. sq. ft.	(8.73 sq. m.) sq. ft. sq. m.) sq. ft. sq. m.) sq. ft. sq. m.) sq. ft. sq. m.)	· · ·	
EL. 'C' - WOB STD. PLAN 5744.82 sq. ft. (533.71 sq. m.) 782.22 sq. ft. (72.67 sq. m.) 13.62 %	STD. PLAN 5308.17 sq. ft. (493.15 sq. m.) 631.95 sq. ft. (58.71 sq. m.) 11.91 %	EL. 'C' - WOD STD. PLAN 5176.30 sq. ft. (480.89 sq. m) 614.45 sq. ft. (57.08 sq. m.) 11.87 %	EL. 'C' STD. PLAN 5129.41 sq. ft. (476.54 sq. m.) 612.78 sq. ft. (56.93 sq. m.) 11.95 %	(8.73 sq. m.) (8.73 sq. ft.) 2643 sq. ft. (245.54 sq. m.) 2702 sq. ft. (251.02 sq. m.) 3070 sq. ft. (285.21 sq. m.)		STD. PLAN & OPT. 5 BED 2020 sq. ft. (187.66 sq. m.) 2445 sq. ft. (227.15 sq. m.) 4465 sq. ft.
EL. 'C' - WOB OPT. 5 BED. 5744.82 sq. ft. (533.71 sq. m.) 794.22 sq. ft. (73.79 sq. m.) 13.82 %	C. (25 - LOU OPT, 5 BED, 5308.17 sq. ft. (493.15 sq. m.) 643.95 sq. ft. (59.82 sq. m.) 12.13 %	EL. 'C' - WOD OPT. 5 BED. 5176.30 sq. ft. (480.89 sq. m.) 626.45 sq. ft. (58.20 sq. m.) 12.10 %	EL. 'C' OPT. 5 BED. 5129,41 sq. ft. (476.54 sq. m.) 624,78 sq. ft. (58.04 sq. m.) 12.18 %	(8.73 sq. m.) sq. ft. sq. m.) sq. ft. sq. m.) sq. ft. sq. m.)	(417.88 sq. m.) 8 sq. ft. (0.74 sq. m.) 4490 sq. ft. (417.13 sq. m.) 94 sq. ft.	EL. 'C' OPT. ELEVATOR & OPT. 5 BED 2053 sq. ft. (190.73 sq. m.) 2445 sq. ft. (227.15 sq. m.) 4498 sq. ft.

UNIT 500 HTSWOOD'

/ EFFICIENCY (%) / HEATER (EF) PROPOSED VALUES MAY BE SUBSTITUTED W/ 2.11+1.76ci (R12+R10ci) OW GRADE SLAB ENTIRE SURFACE > 600mm BELOW GRADE 3E OF BELOW GRADE SLAB ≤ 600mm BELOW GRADE NTED SLAB OR SLAB ≤ 600mm BELOW GRADE PACKAGE \geq SPACE HEAT GAS GELECTRIC EARTH 10.56 (R60) 5.46 (R31) 5.46 (R31) 3.87 (R22) 3.52 ci (R20 ci) * .76 (R10) .76 (R10) 5.46 (R31) 5.46 (R31) 3.87 (R22) 3.52 ci (R20 ci) 1.76 (R10) 1.76 (R10) 1-TITLE PAGE 2. BASEMENT PLAN, EL.W 3 - GROUND FLOODR PLAN, EL.W 4 - SECOND FLOODR PLAN, EL.W 4 - SECOND FLOODR PLAN, EL.B' 5 - PART, DPT, 5 BEDROOM SECOND FLOOR PLAN, EL.B' - CORNER 8 - GROUND FLOOR PLAN, EL.B' - CORNER 9 - SECOND FLOOR PLAN, EL.B' - CORNER 10 - PART, STD, PLANS, ELEVATION B' - CORNER 11 - PART, DPT, 5 BEDROOM SECOND FLOOR PLAN, W/ OPT, ELEVATOR (EL. B' & C' SIMILAR) 11 - PART, DPT, 5 BEDROOM SECOND FLOOR PLAN, W/ OPT, ELEVATOR (EL. B' & C' SIMILAR) 11 - PART, DPT, 5 BEDROOM SECOND FLOOR PLAN, EL.W - W/ ELEVATOR (EL. B' & C' SIMILAR) 11 - PART, DPT, 5 BEDROOM SECOND FLOOR PLAN, EL.W - W/ ELEVATOR (EL. B' & C' SIMILAR) 12 - PART, DPT, 5 BEDROOM SECOND FLOOR PLAN, EL.W - W/ ELEVATOR (EL. B' & C' SIMILAR) 13 - PART, STD, FLANS, ELEVATION C' 14 - RRONT ELEVATION W' & REAR ELEVATION B' 15 - PRONT ELEVATION B' 16 - LEFT SIDE ELEVATION B' - CORNER 17 - RIGHT SIDE ELEVATION B' - CORNER 18 - RRONT ELEVATION C' - CORNER 19 - LEFT SIDE ELEVATION C' 27 - LEFT SIDE ELEVATION C' 28 - CORSTRUCTION MOTES 29 - CORNER SECTION WA & PART, LEFT & REAR ELEV. W FOR OPT, LOGGIA (EL. B' & C' SIMILAR) 29 - CONSTRUCTION MOTES 29 - CONSTRUCTION MOTES 29 - CONSTRUCTION MOTES 20 - RIGHT SIDE ELEVATION C' 29 - CONSTRUCTION MOTES 20 - RIGHT SIDE ELEVATION C' 29 - CONSTRUCTION MOTES 20 - CONSTRUCTION MOTES 21 - LUCK OUT DECK CONDITION WS - LOCK OUT DECK CONDITION WS - LOCK OUT DECK CONDITION WS - DECK DETAILS 1 WS - DECK DETAILS 2

AREA CALCULATIONS



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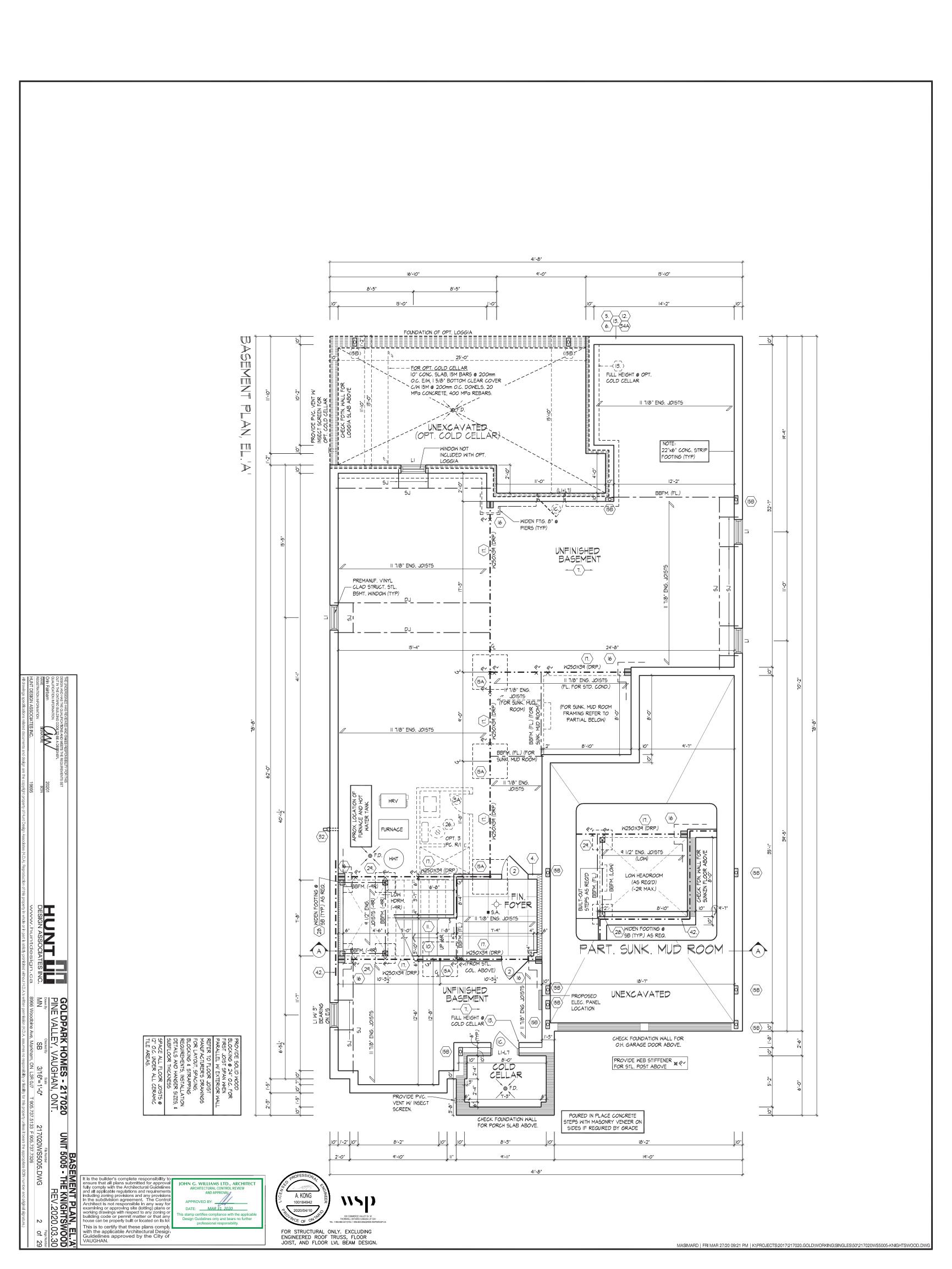
SB-12 ENERGY EFFICIENCY DESIGN MATRIX

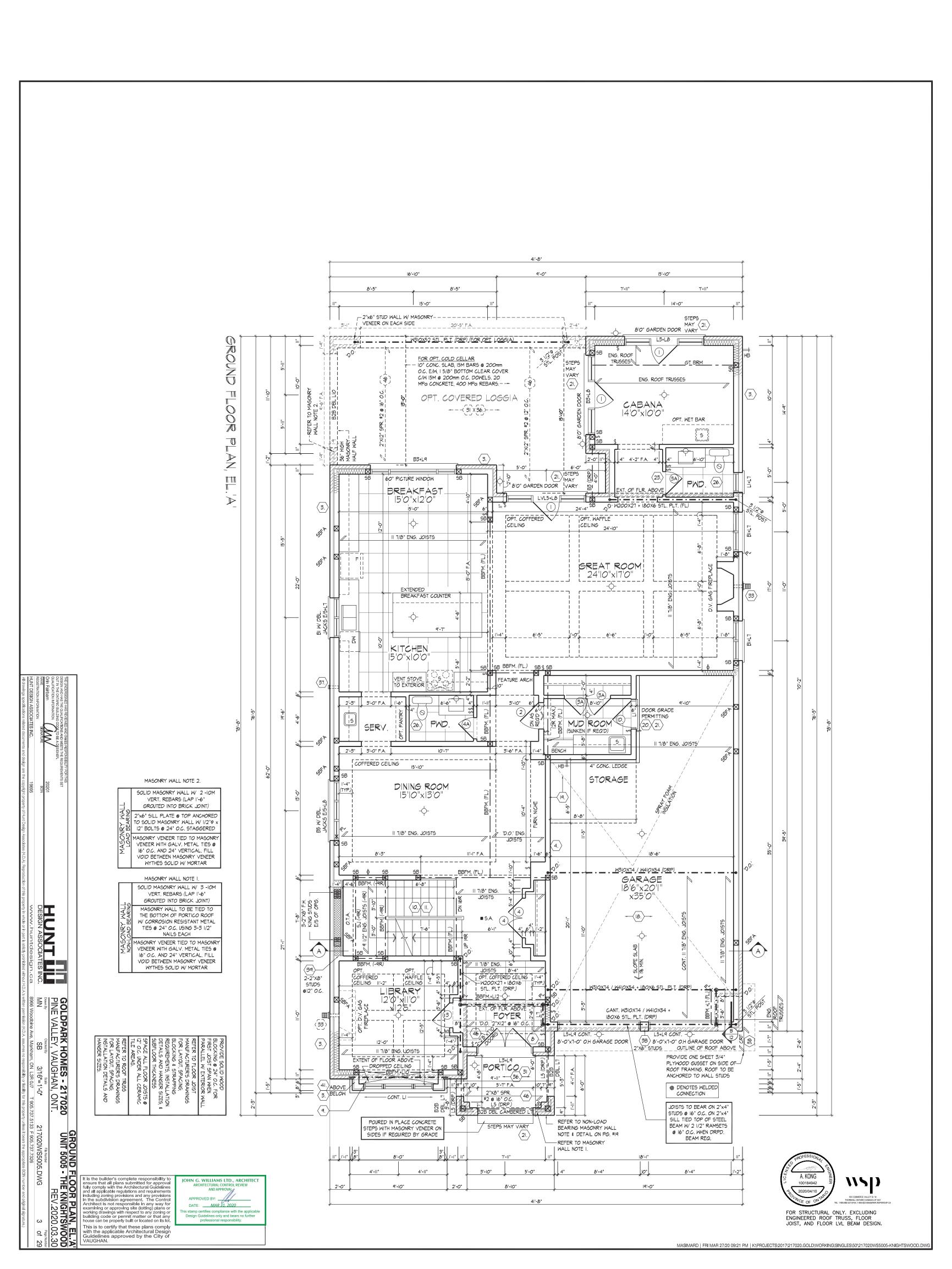
)		
ВҮ	DATE (YYYY/MM/DD) BY	REVISIONS
BB	2019/11/26	REVISED DESIGN AS PER CLIENT COMMENTS
MAS	2020.03.30	REV. AS PER FLOOR, ROOF AND STRUCTURAL ENGINEER ISSUE FOR PERMIT

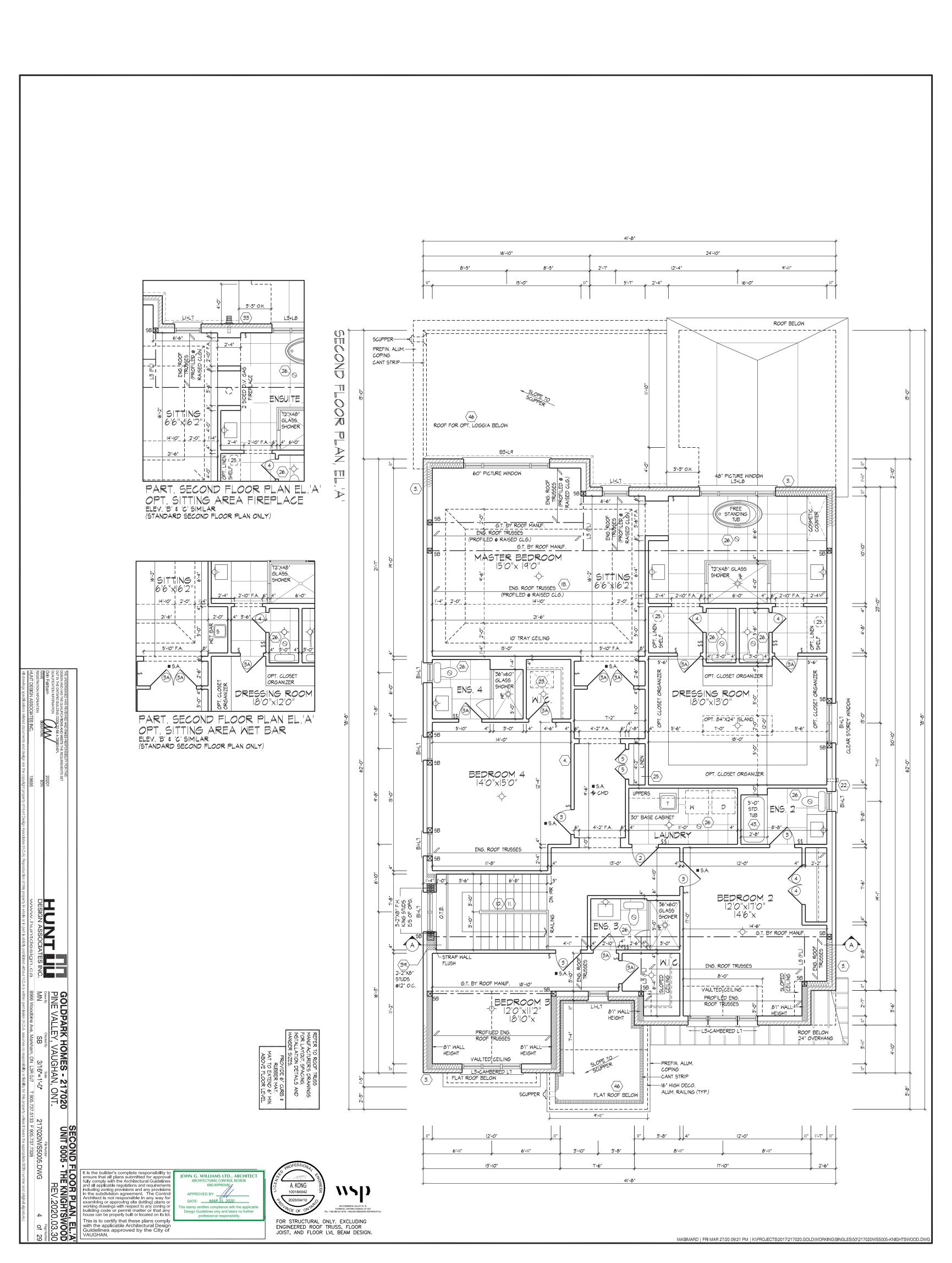
GOLDPARK HOMES - 217020
PINE VALLEY, VAUGHAN, ONT.

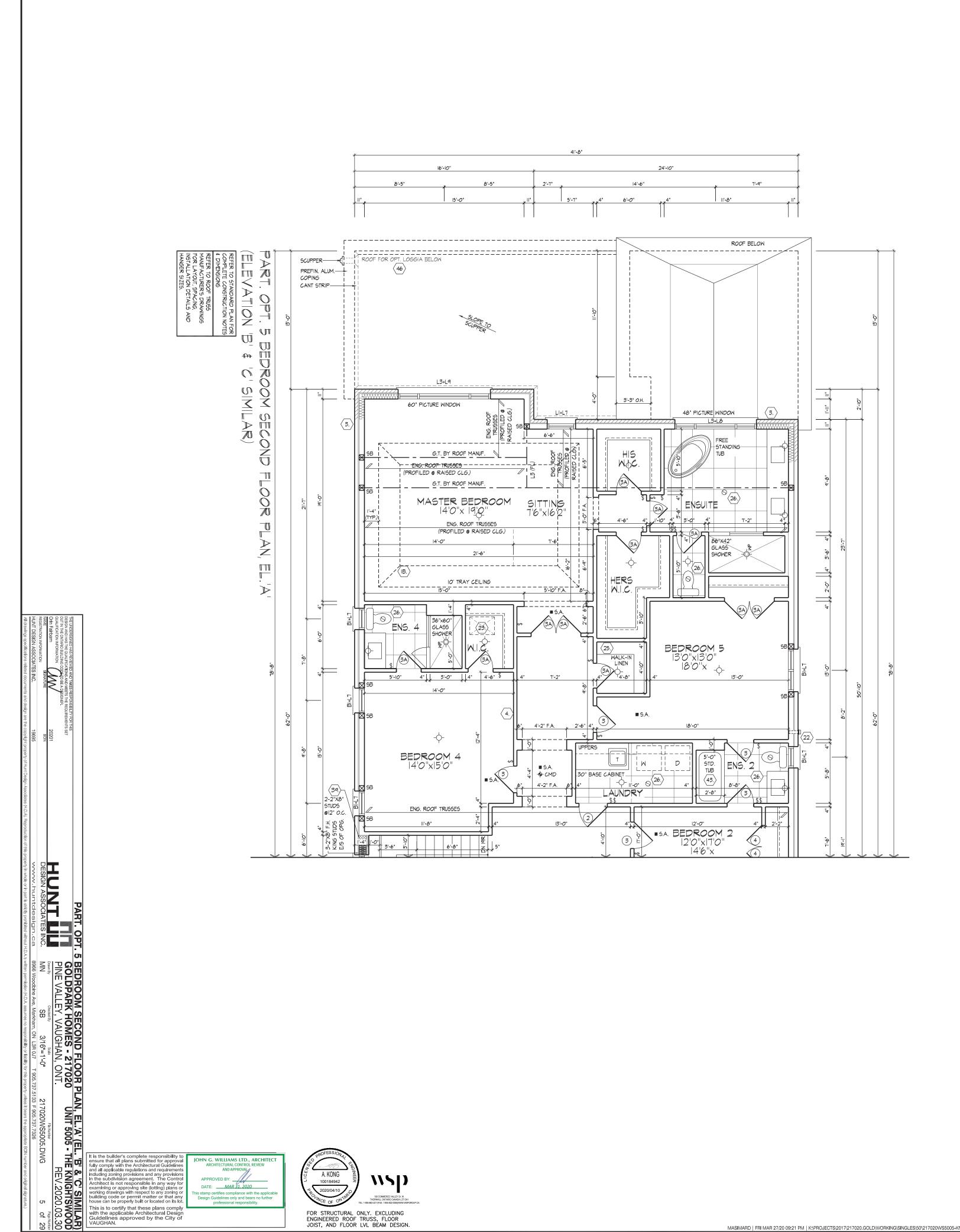
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MN SB 3/16"=1'-0'
8966 Woodbine Ave, Markham. ON 1 30 A 17 3/16"=1'-0" 217020WS5005.DWG
1905.737.5133 F 905.737.7326 TITLE PAGE
UNIT 5005 - THE KNIGHTSWOOD
REV.2020.03.30
File Number
217020WS5005.DWG
1 of 29

HUNT LINE DESIGN ASSOCIATES INC.







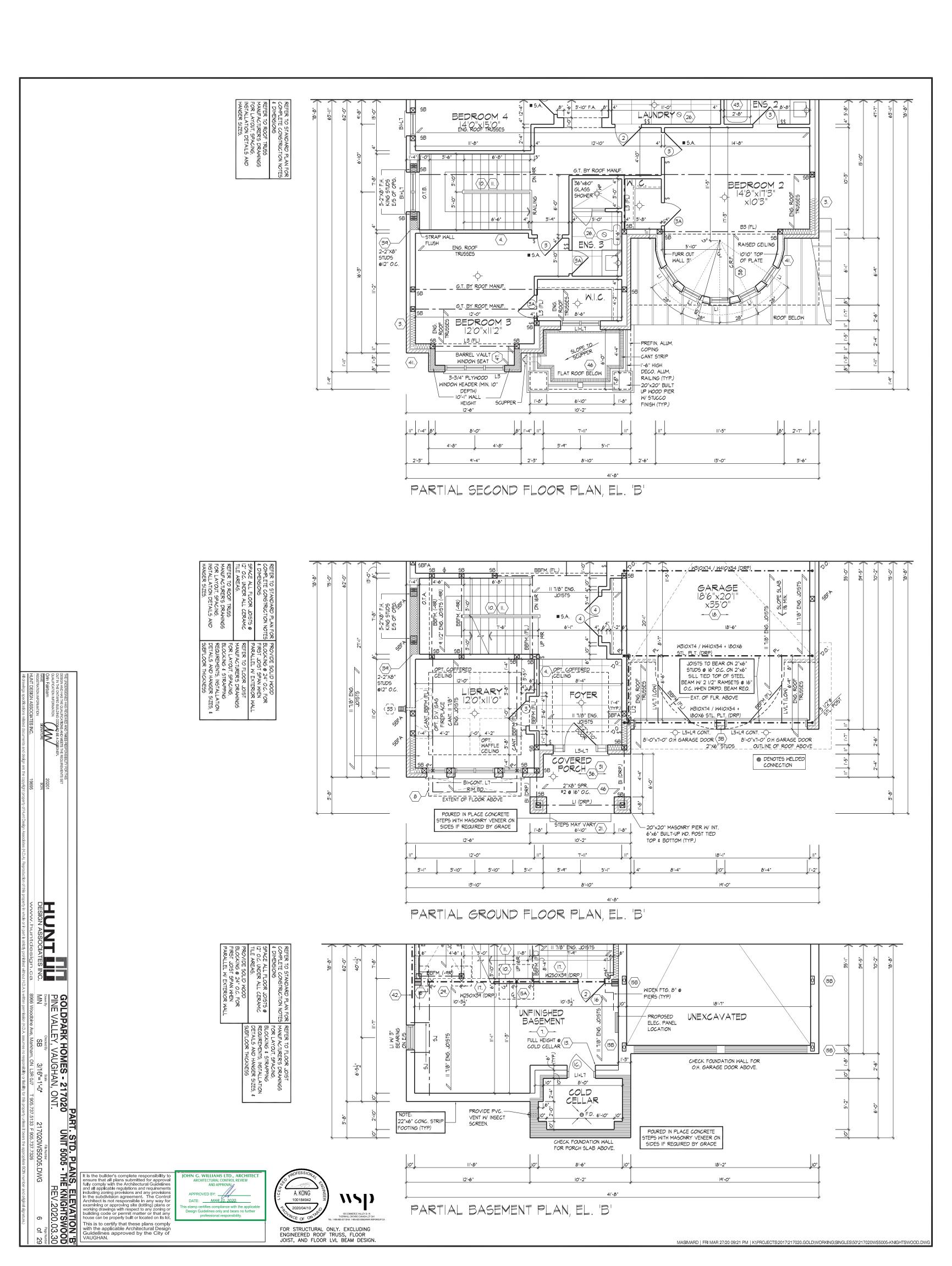


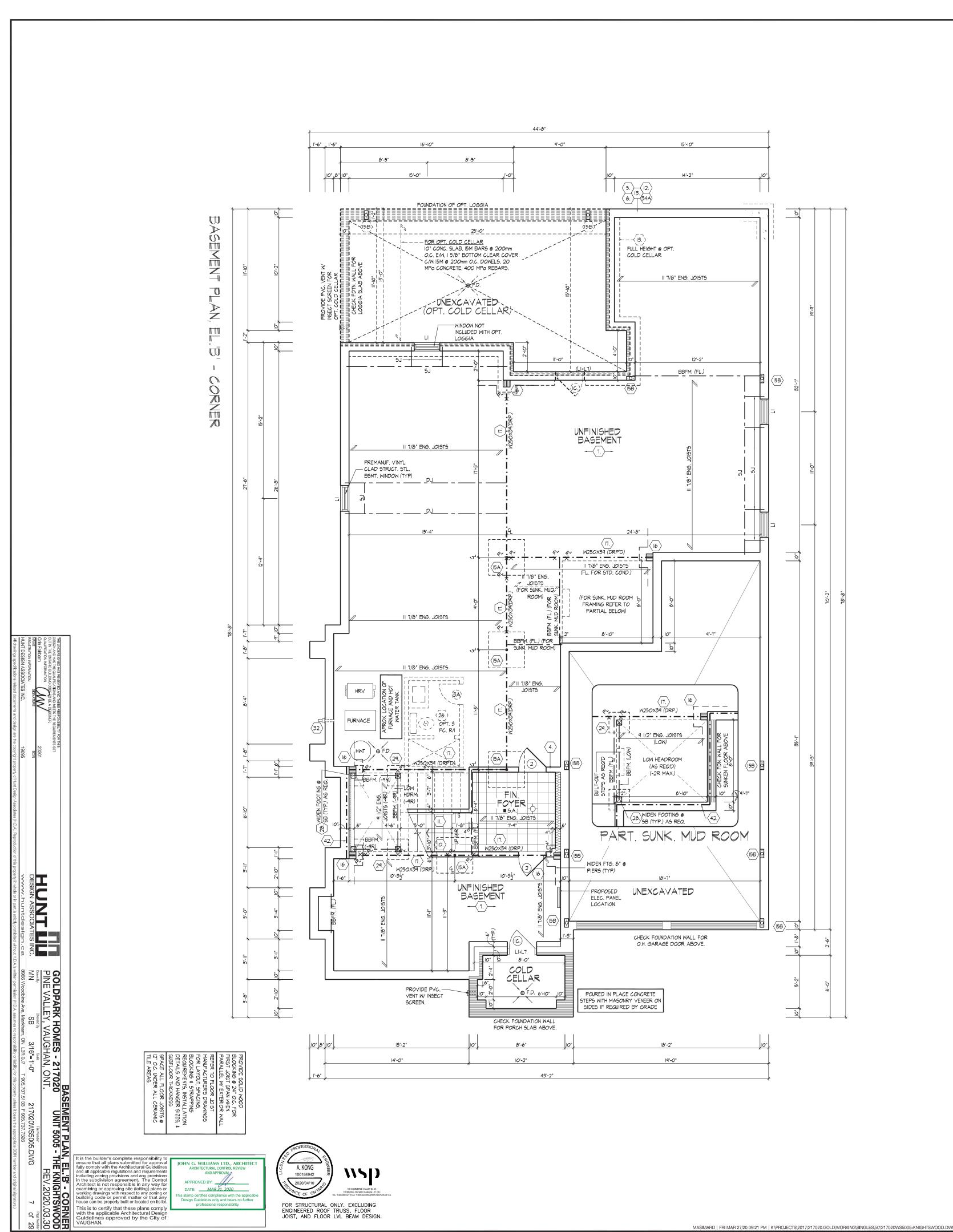
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot. This is to certify that these plans comply This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

217020WS5005.DWG T905.737.5133 F 905.737.7326

JOHN G. WILLIAMS LTD., ARCHITECT APPROVED BY: DATE: <u>MAR 31, 2020</u> is stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

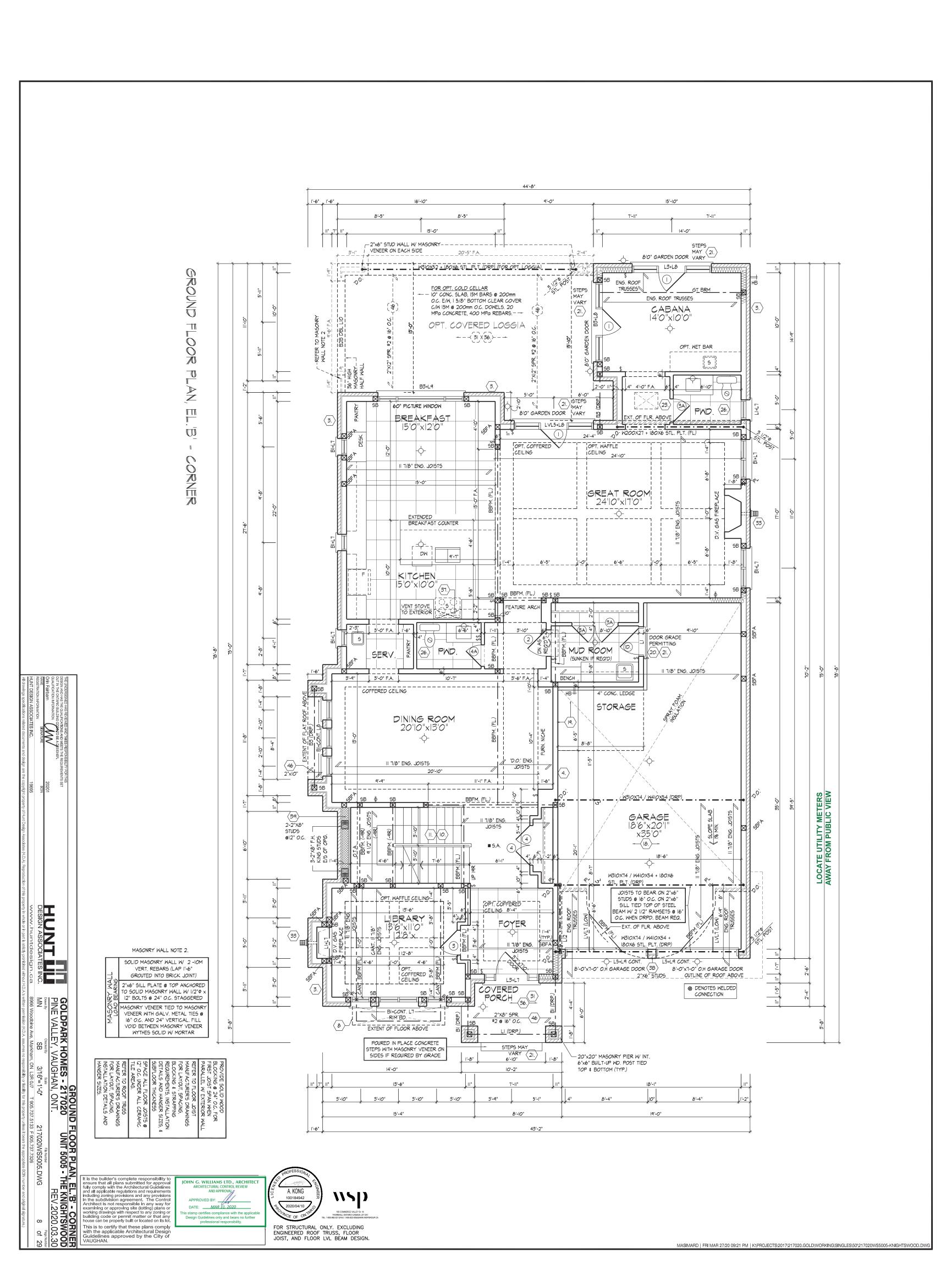


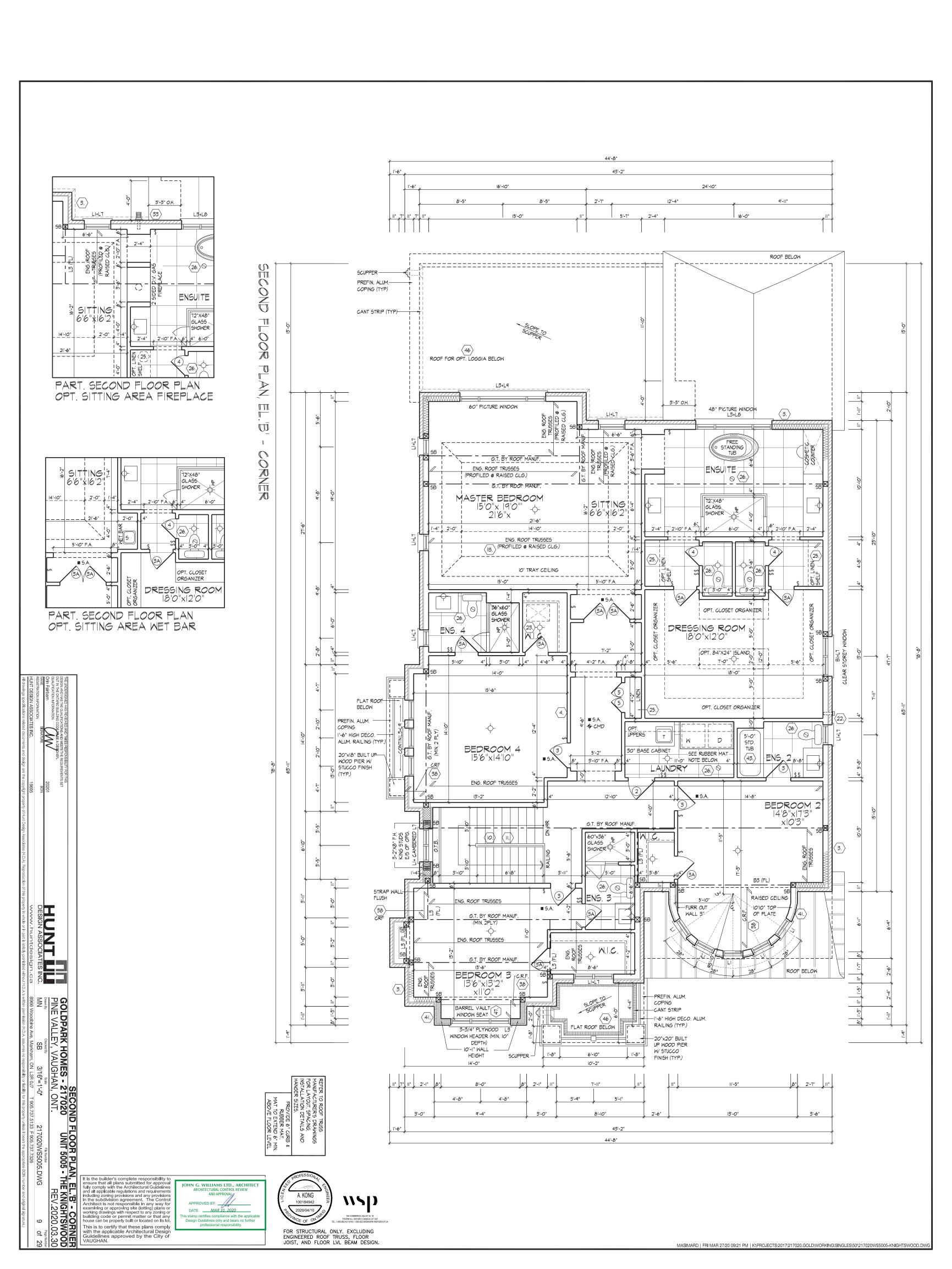


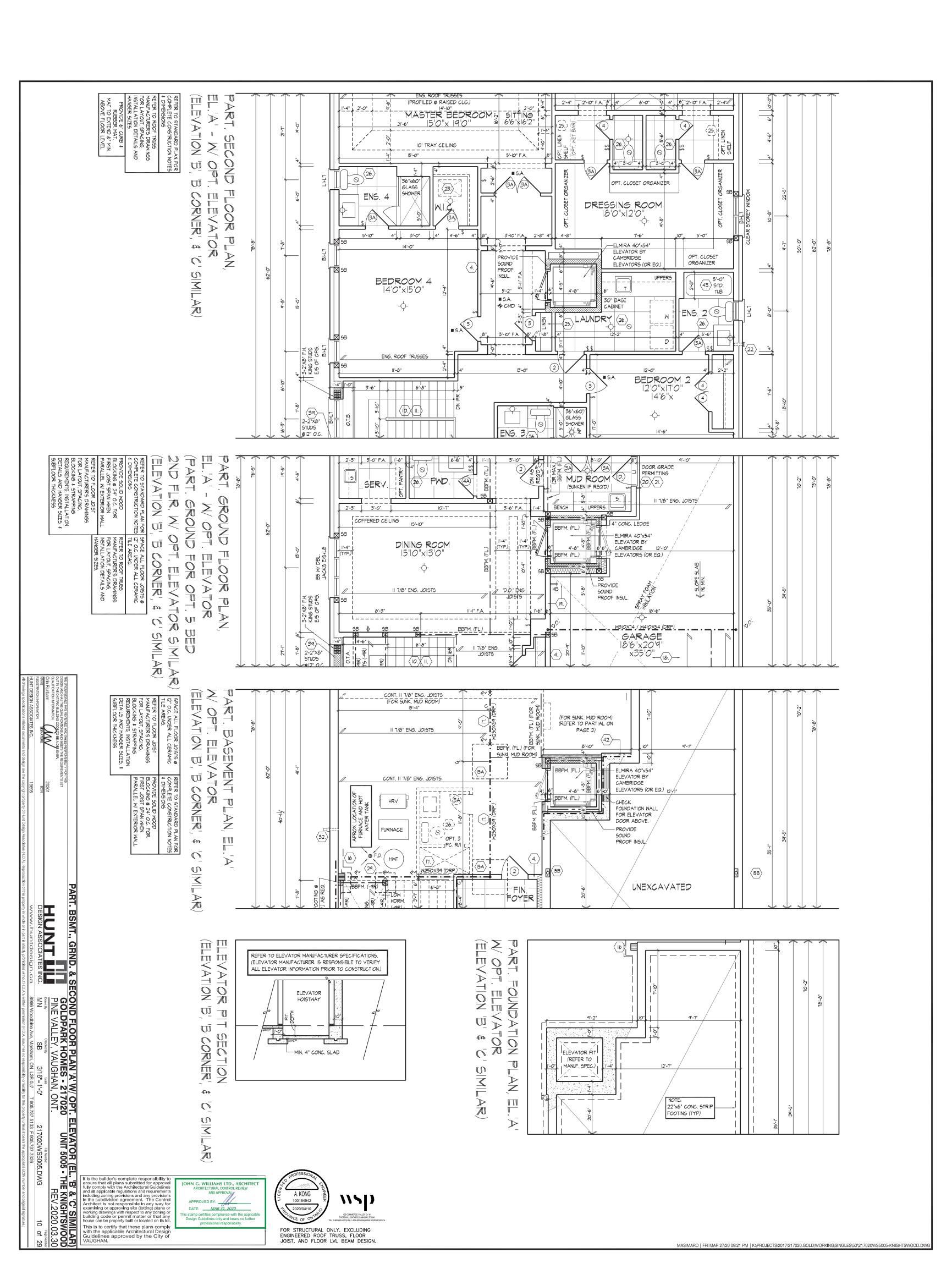


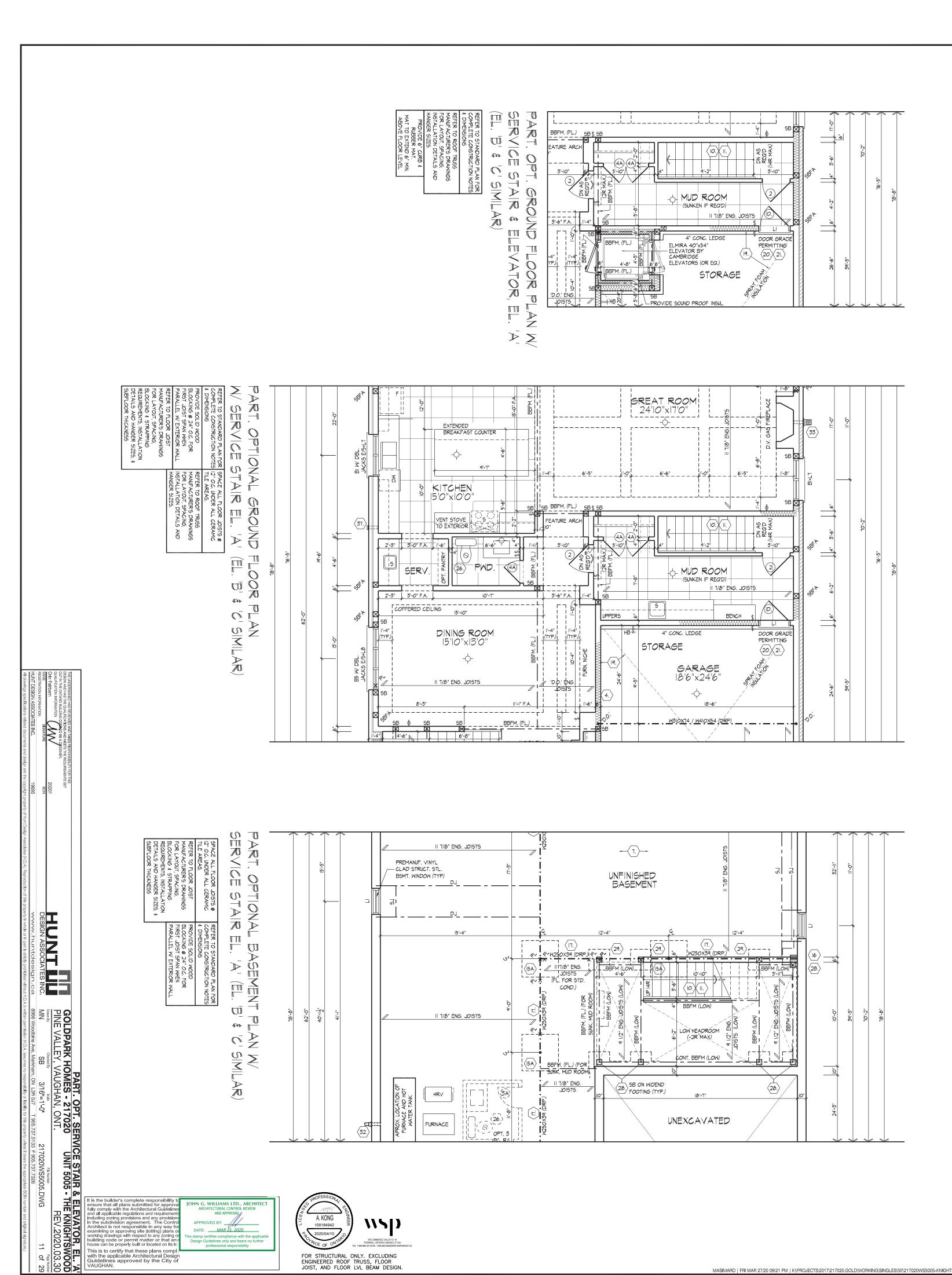
FOR STRUCTURAL ONLY. EXCLUDING ENGINEERED ROOF TRUSS, FLOOR JOIST, AND FLOOR LVL BEAM DESIGN.

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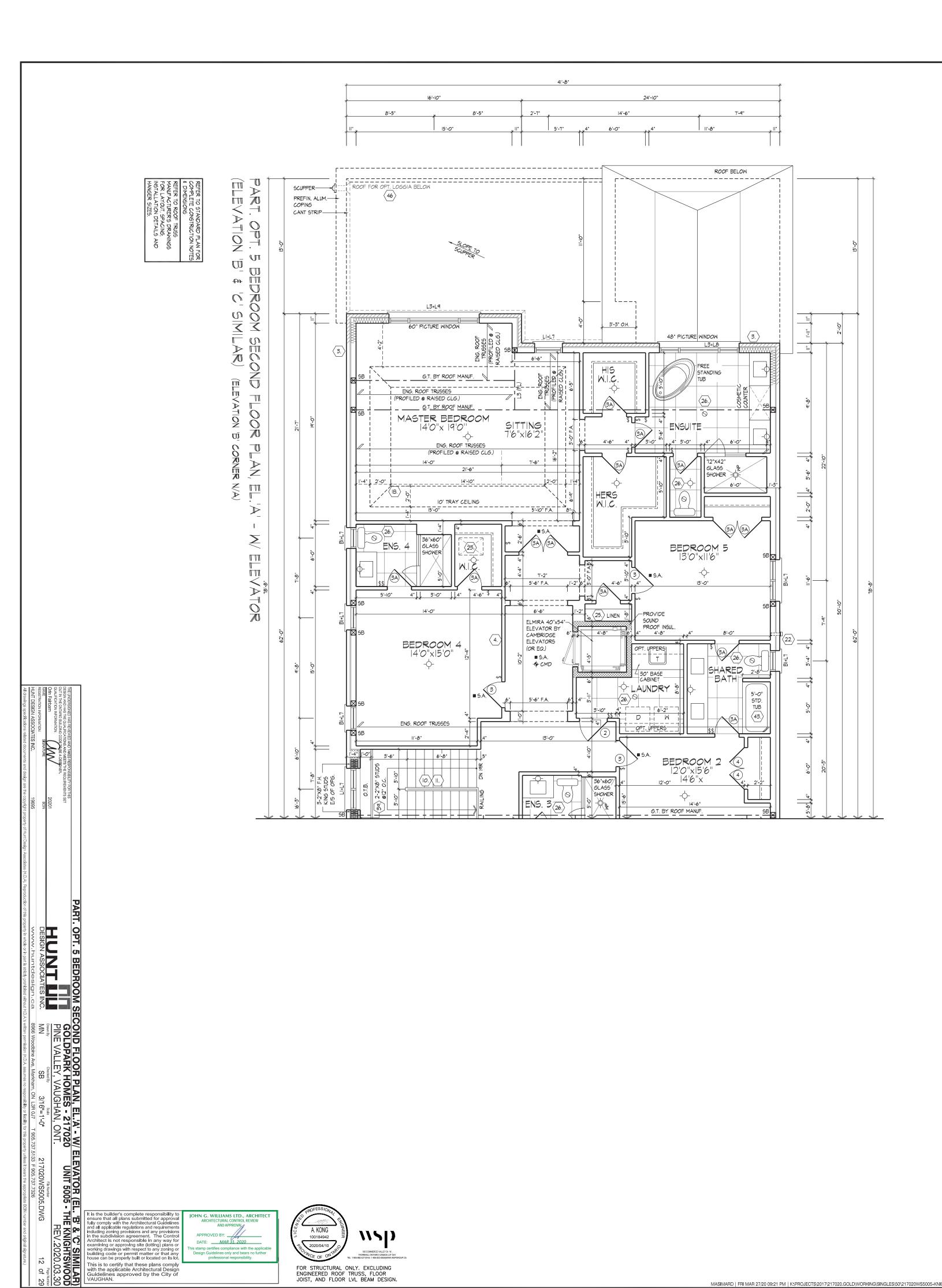






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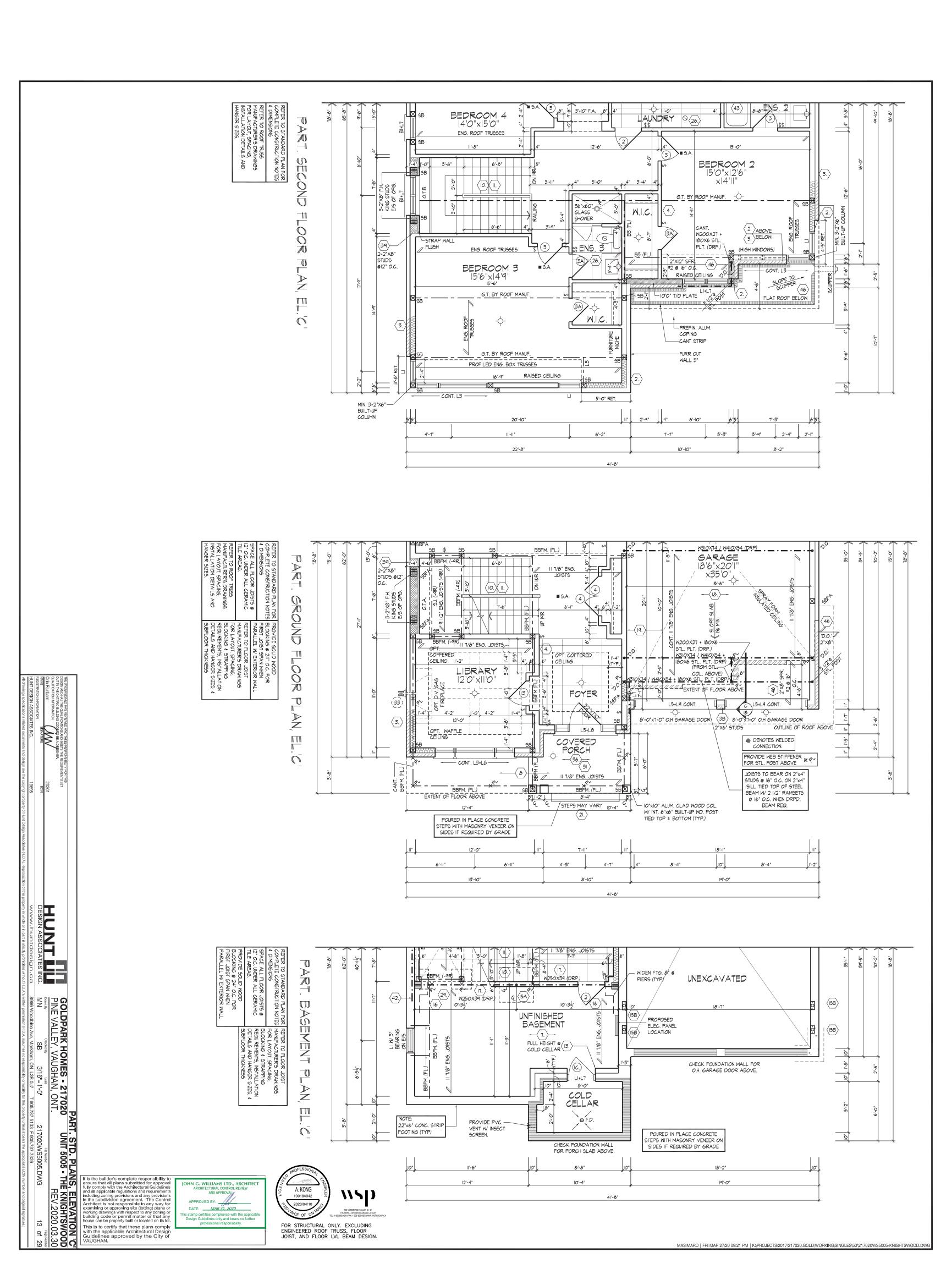
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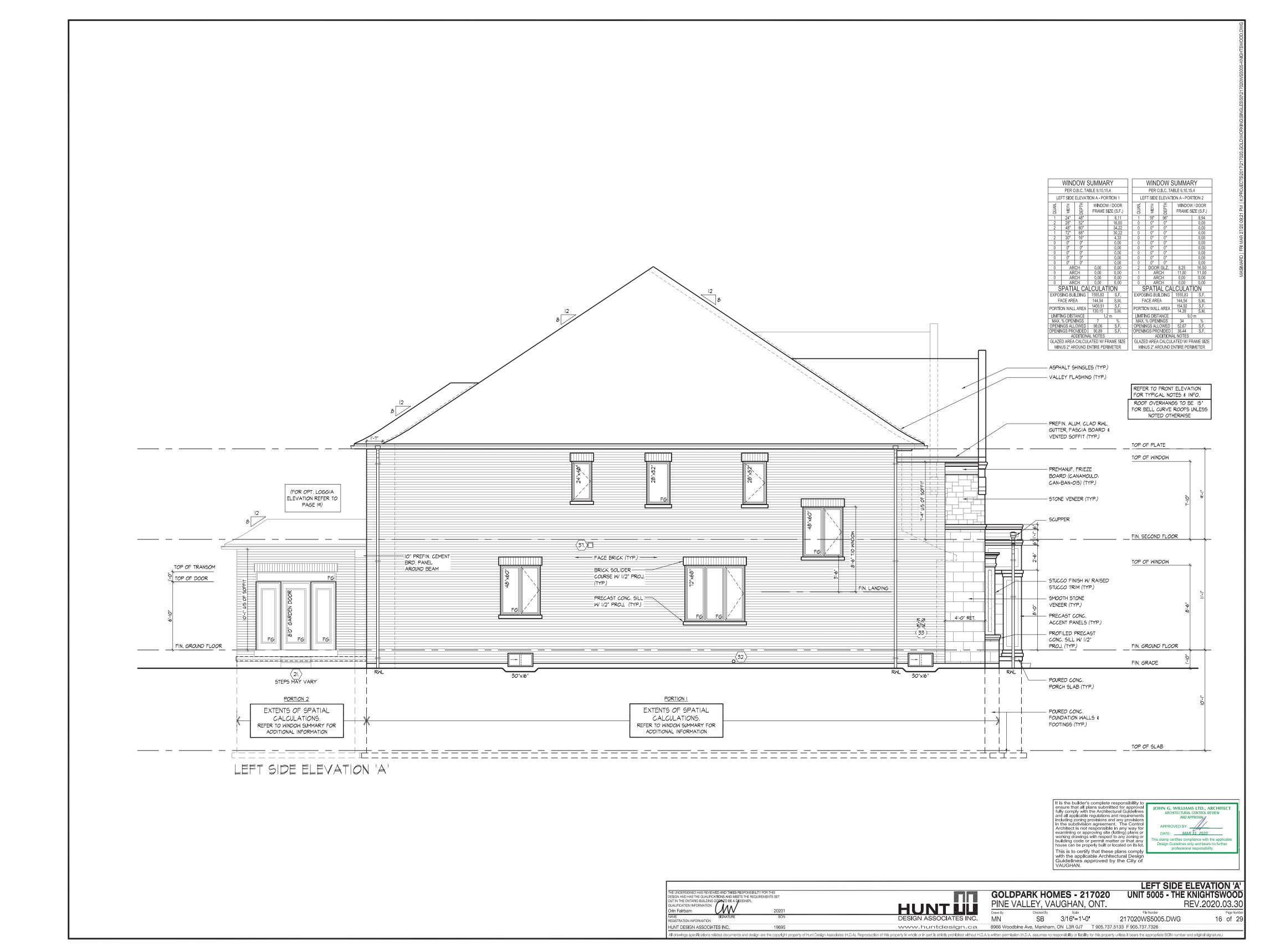


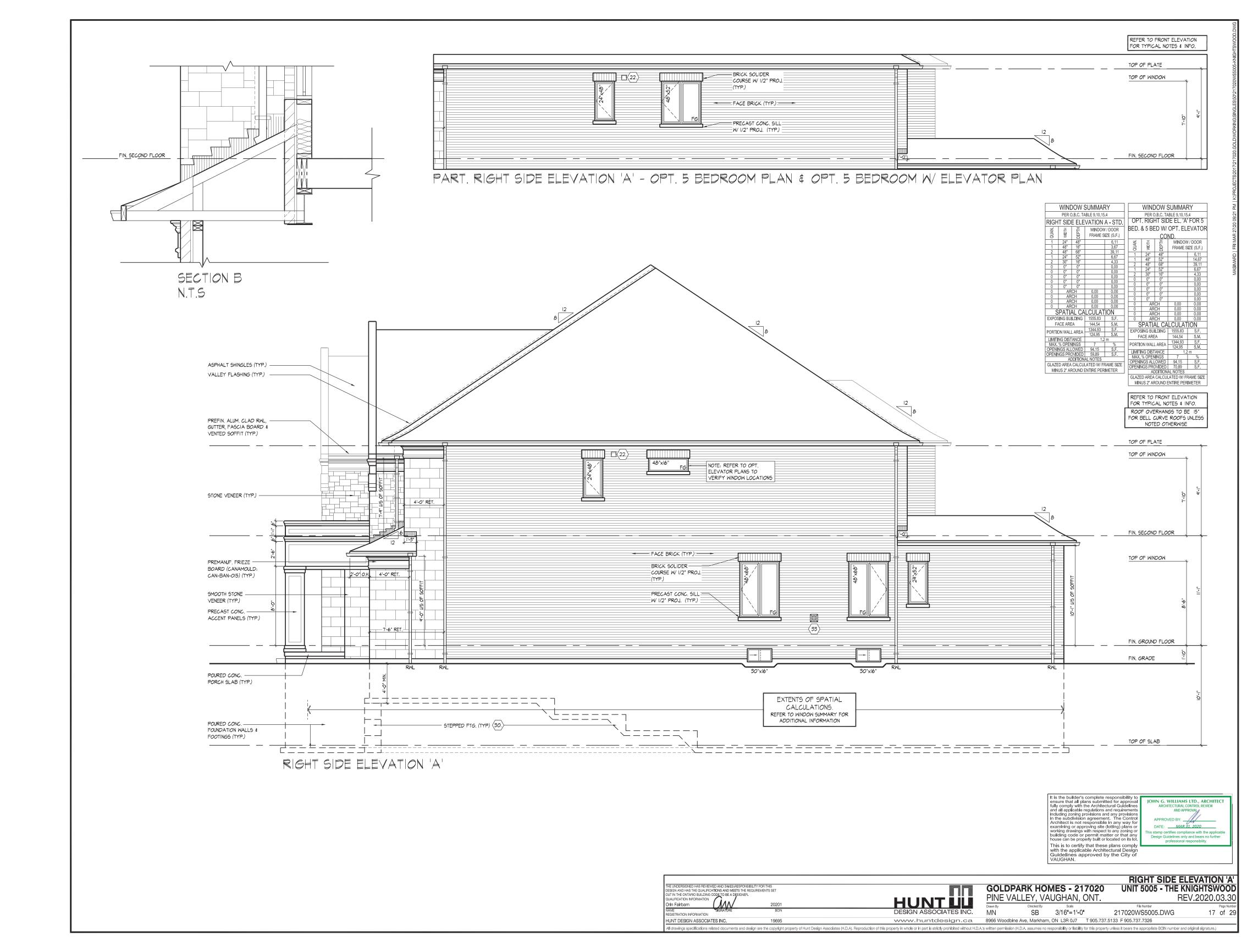
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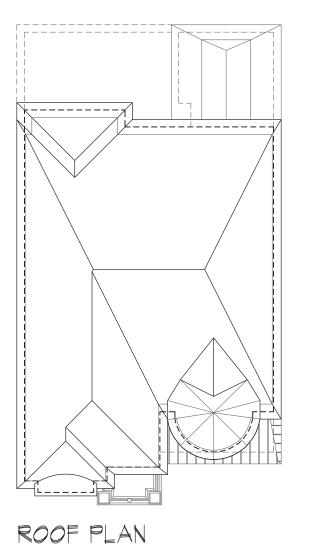
APPROVED BY:



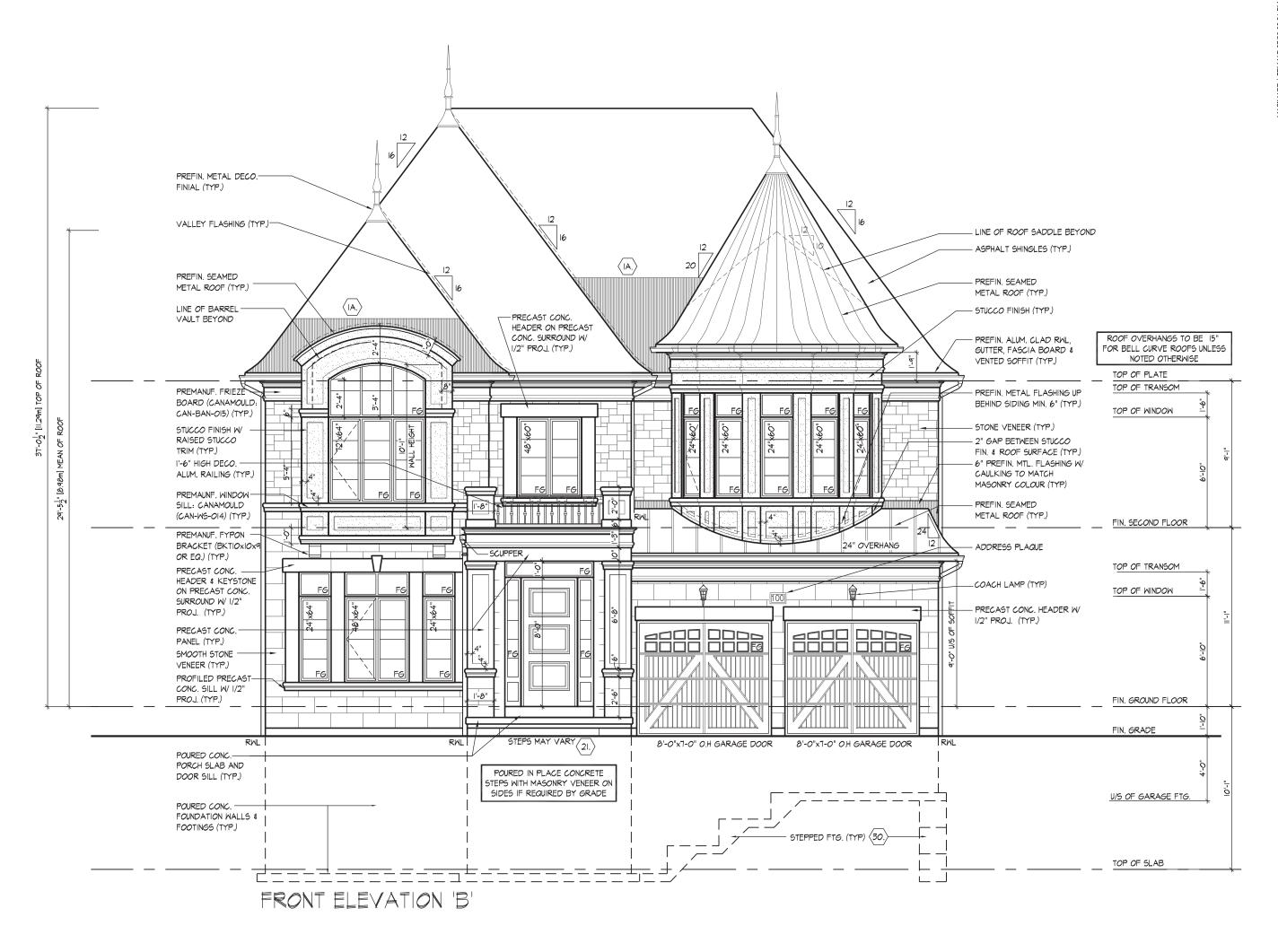






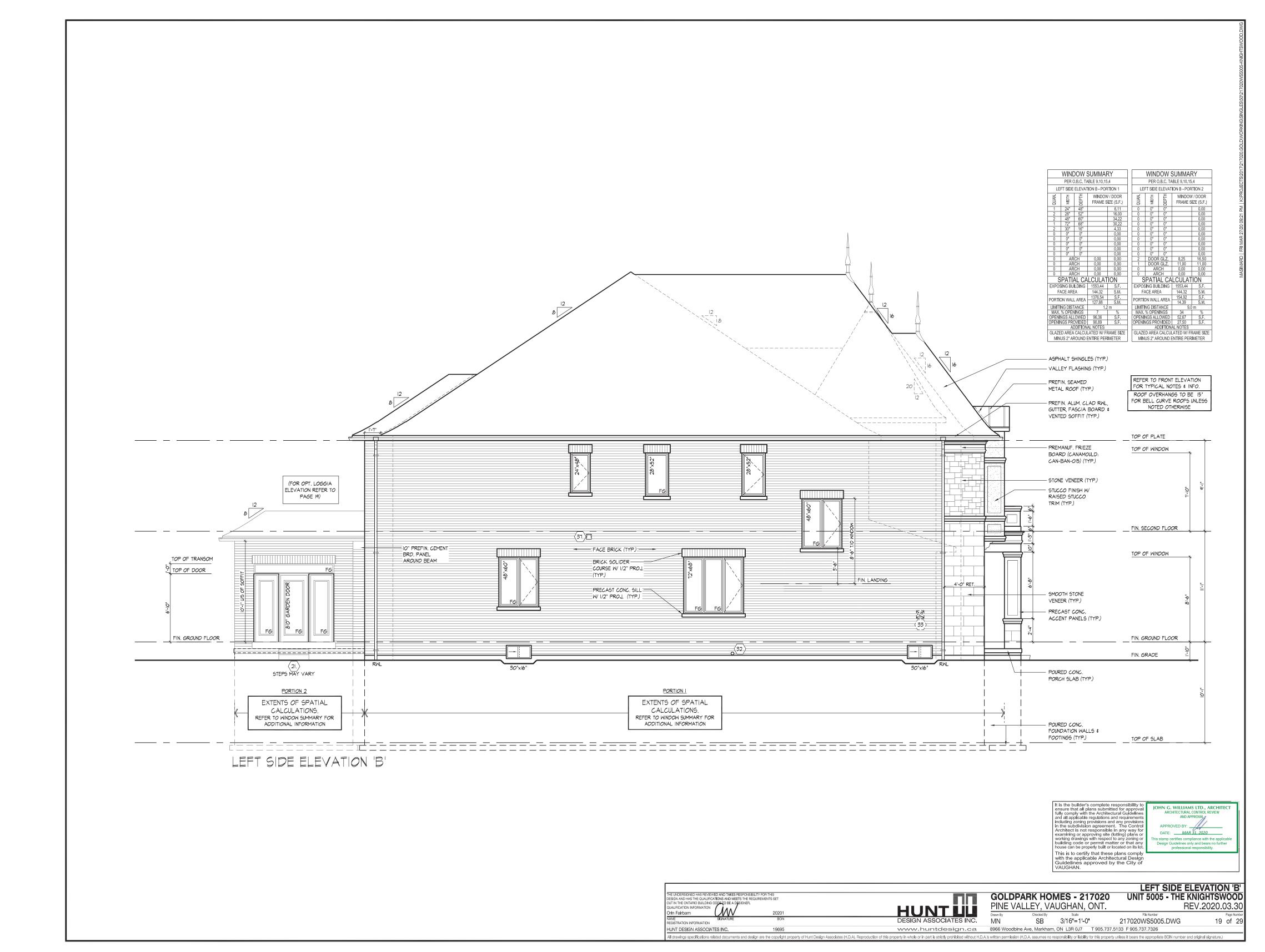


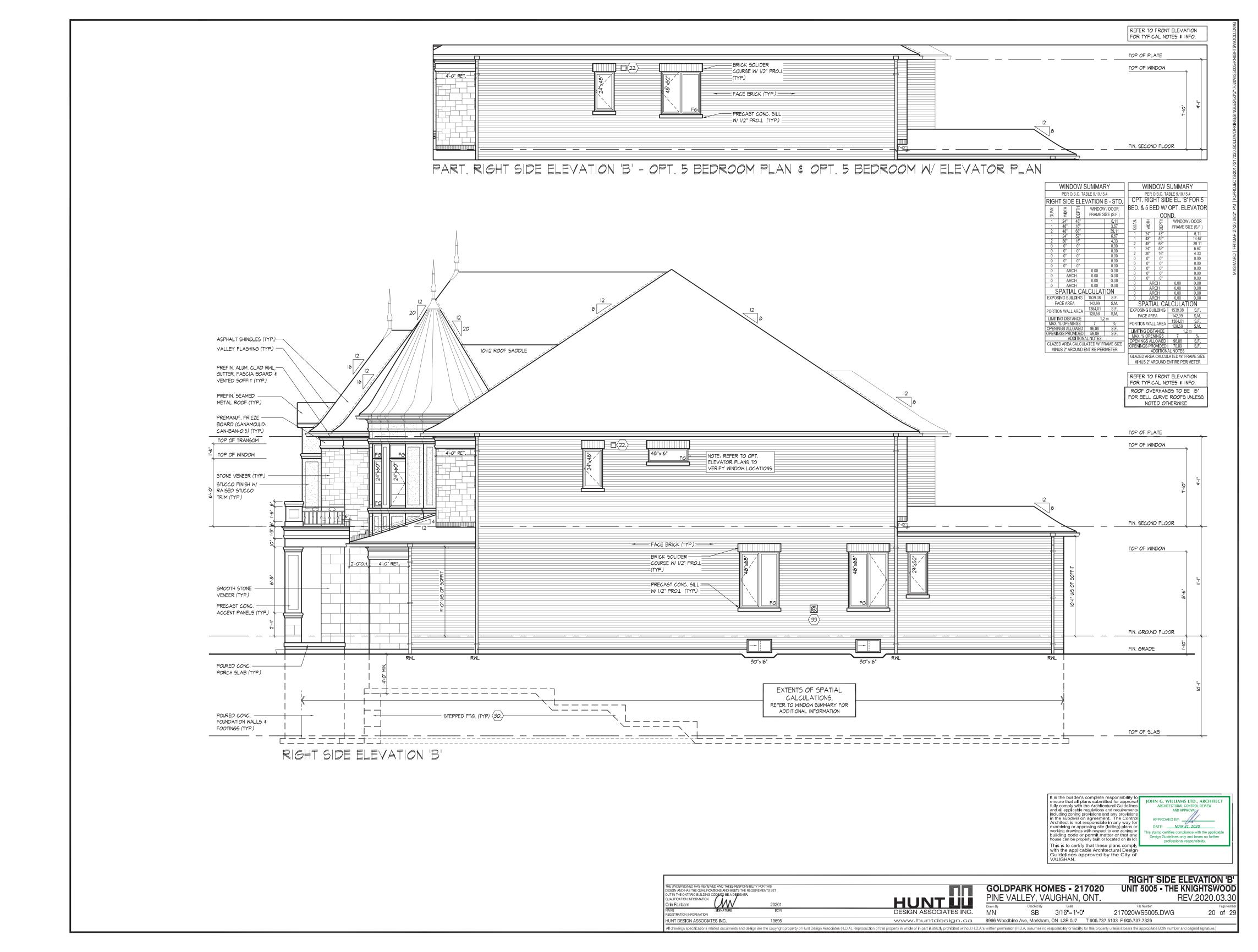
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				FRONT E	LEVATION 'B'
THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET		GOLDPARK HO	MES - 217020	UNIT 5005 - THE K	NIGHTSWOOD
OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER. QUALIFICATION INFORMATION	HUNTIÜ	PINE VALLEY, VA	UGHAN, ONT.	RI	EV.2020.03.30
Orin Fairbarn 20201		Drawn By Checked By	Scale	File Number	Page Numb
NAME SIGNATURE BCIN REGISTRATION INFORMATION	DESIGN ASSOCIATES INC.	MN SB	3/16"=1'-0"	217020WS5005.DWG	18 of 2
HUNT DESIGN ASSOCIATES INC. 19695	www.huntdesign.ca 8	966 Woodbine Ave, Markham	i, ON L3R 0J7 T 905.737	.5133 F 905.737.7326	
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THE UNIDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE OWN AND MEETS THE REQUIREMENTS SET OF THE KINIGHTS WOUT IN THE OWN AND MEETS THE REQUIREMENTS SET OF THE KINIGHTS WOUT IN THE OWN AND MEETS THE REQUIREMENTS SET OF THE KINIGHTS WOUT IN THE OWN AND MEETS THE REQUIREMENTS SET OF THE KINIGHTS WOUT IN THE OWN AND MEETS THE REQUIREMENT SET OF THE KIN



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ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY:

DATE: MAR 31, 2020

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE COURT REPORT THE EQUIREMENTS SET OUT IN THE OWNARIO BUILDING CODE OF BE A DESIGNARY.

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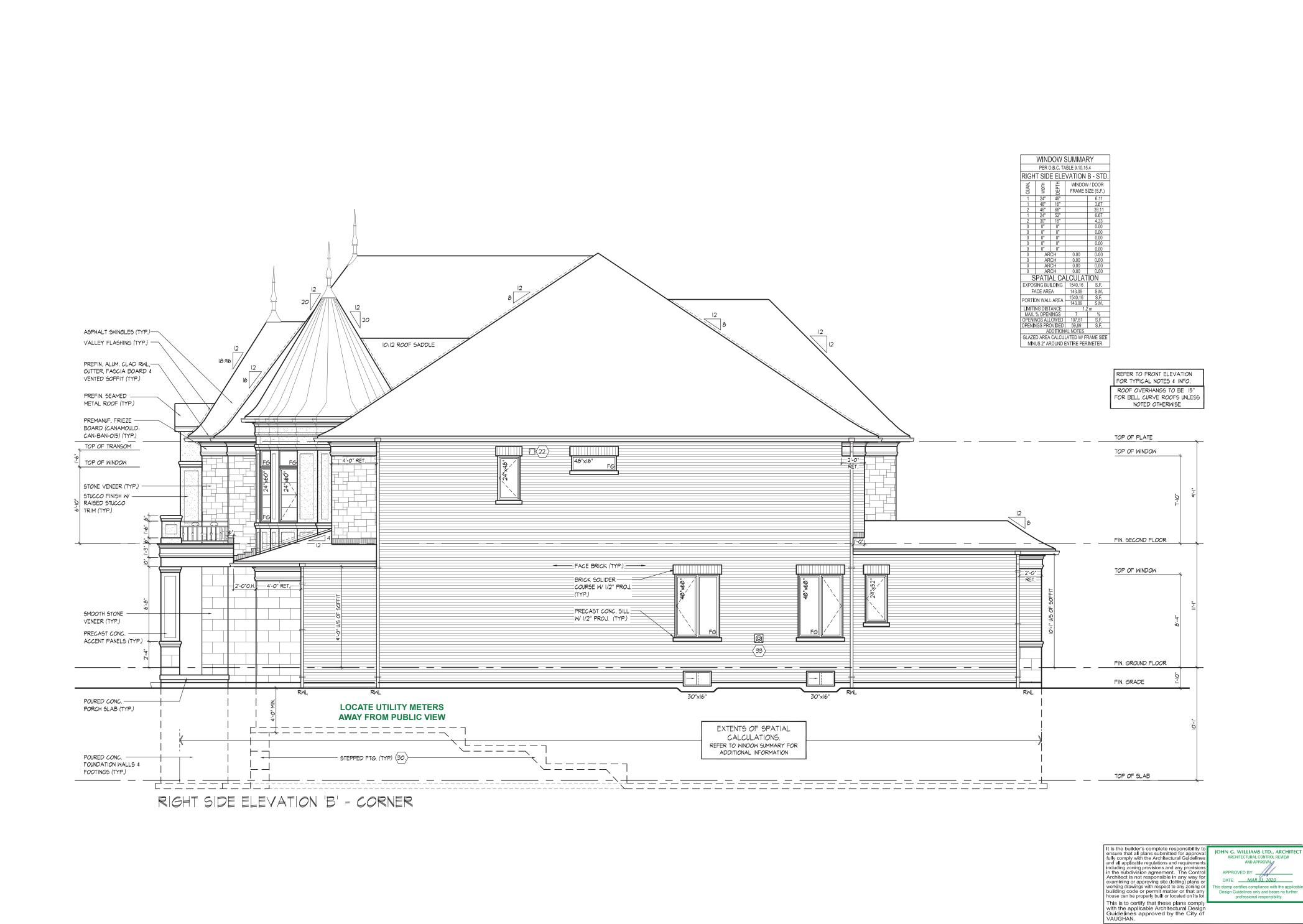
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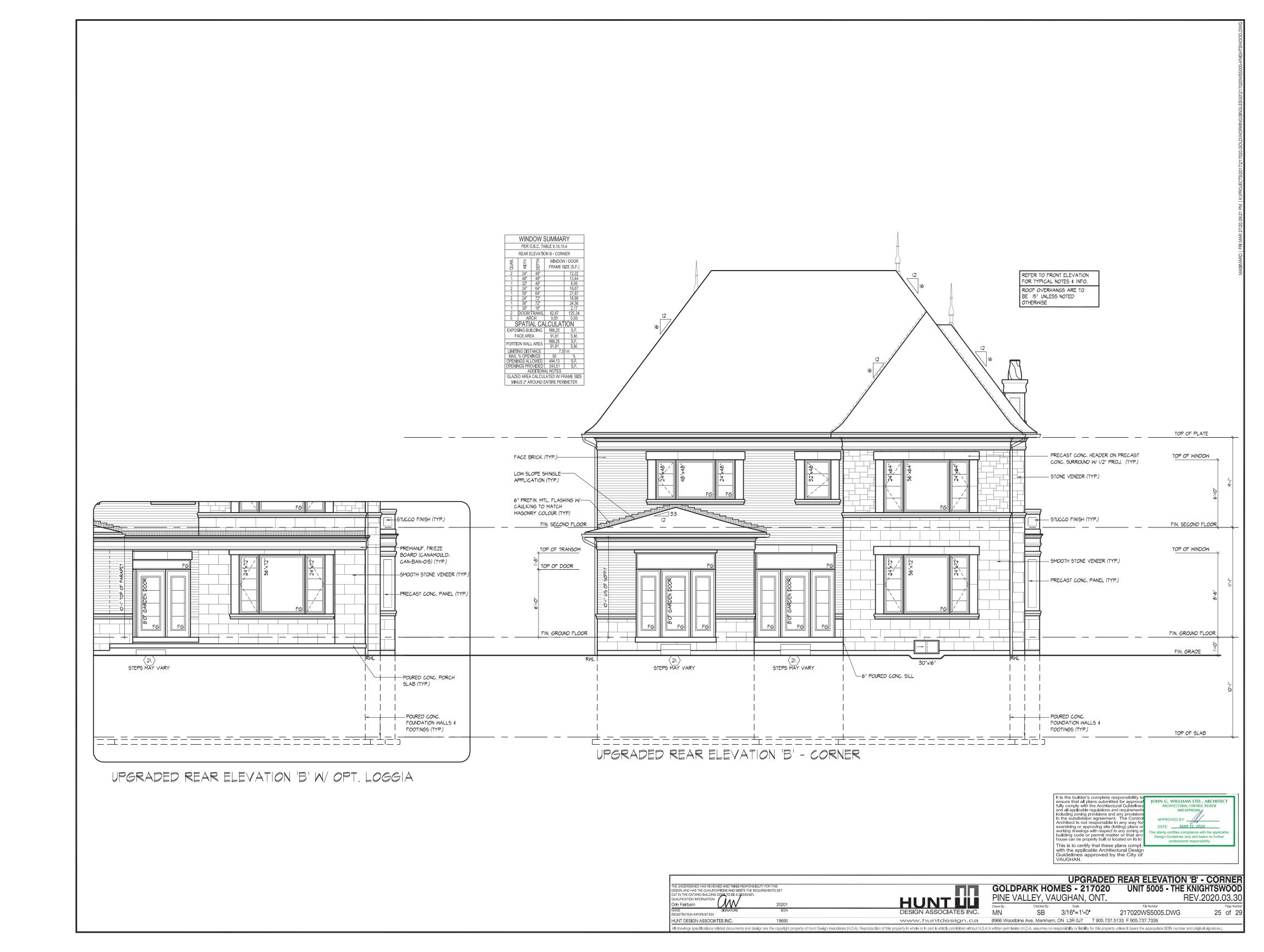
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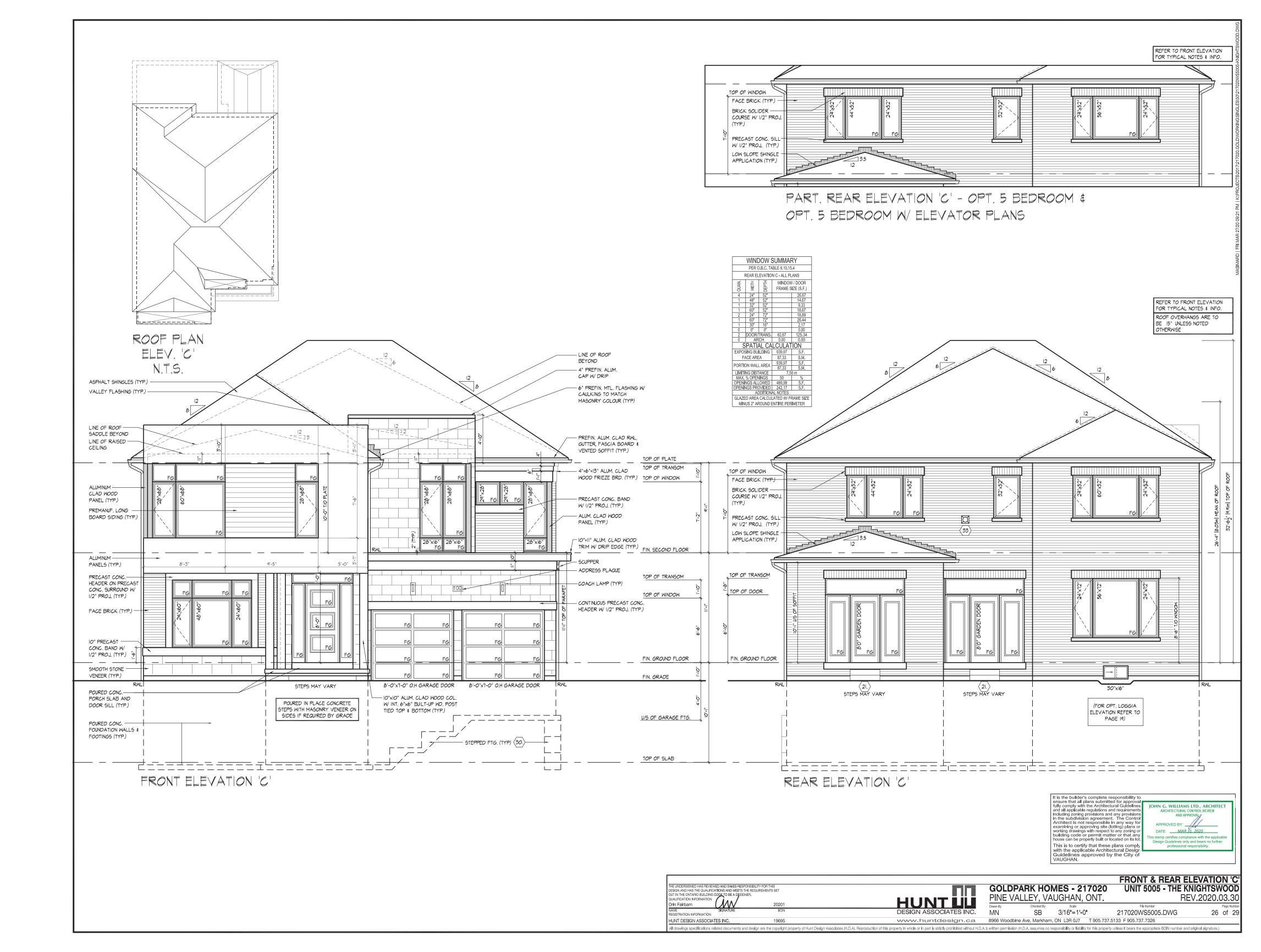
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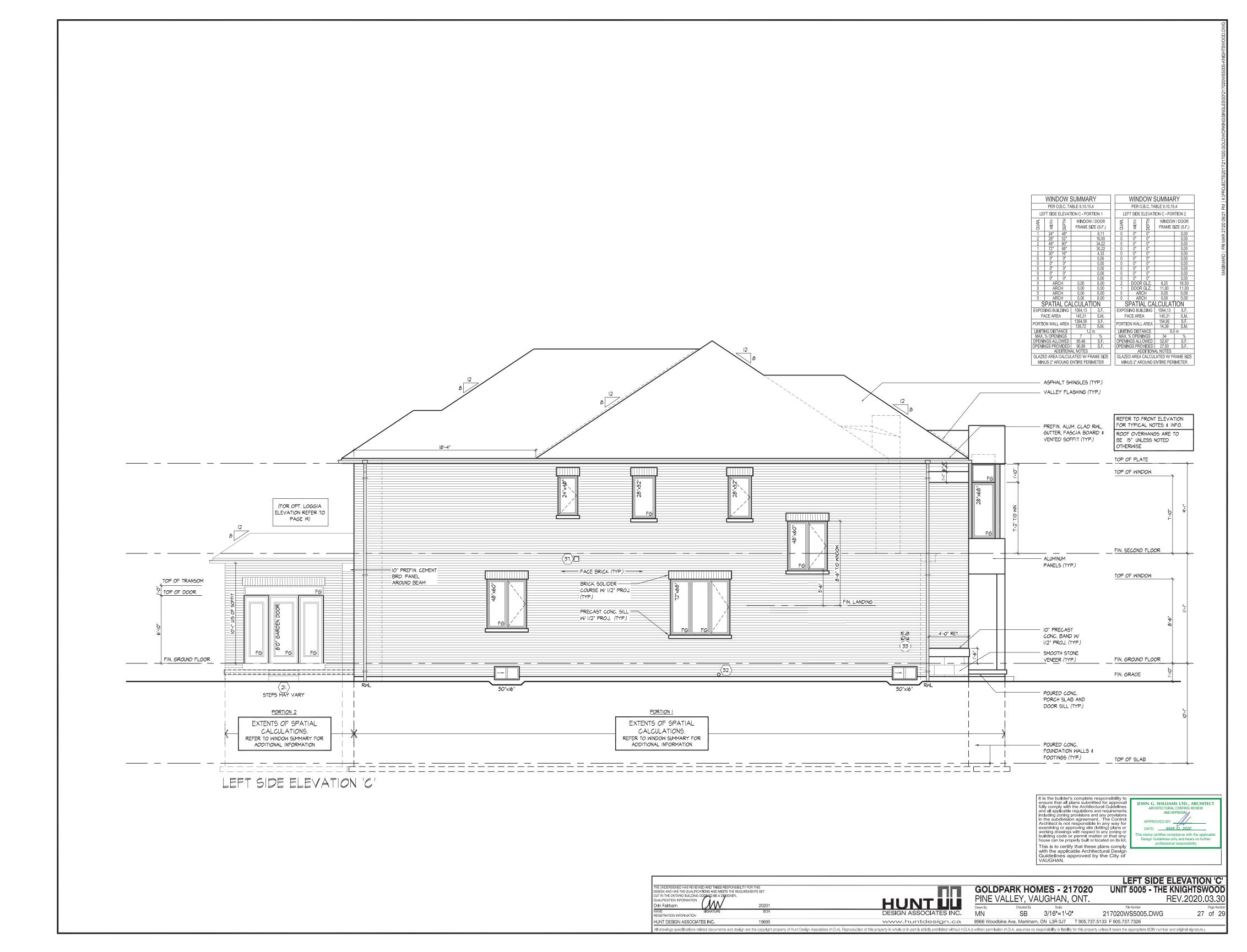
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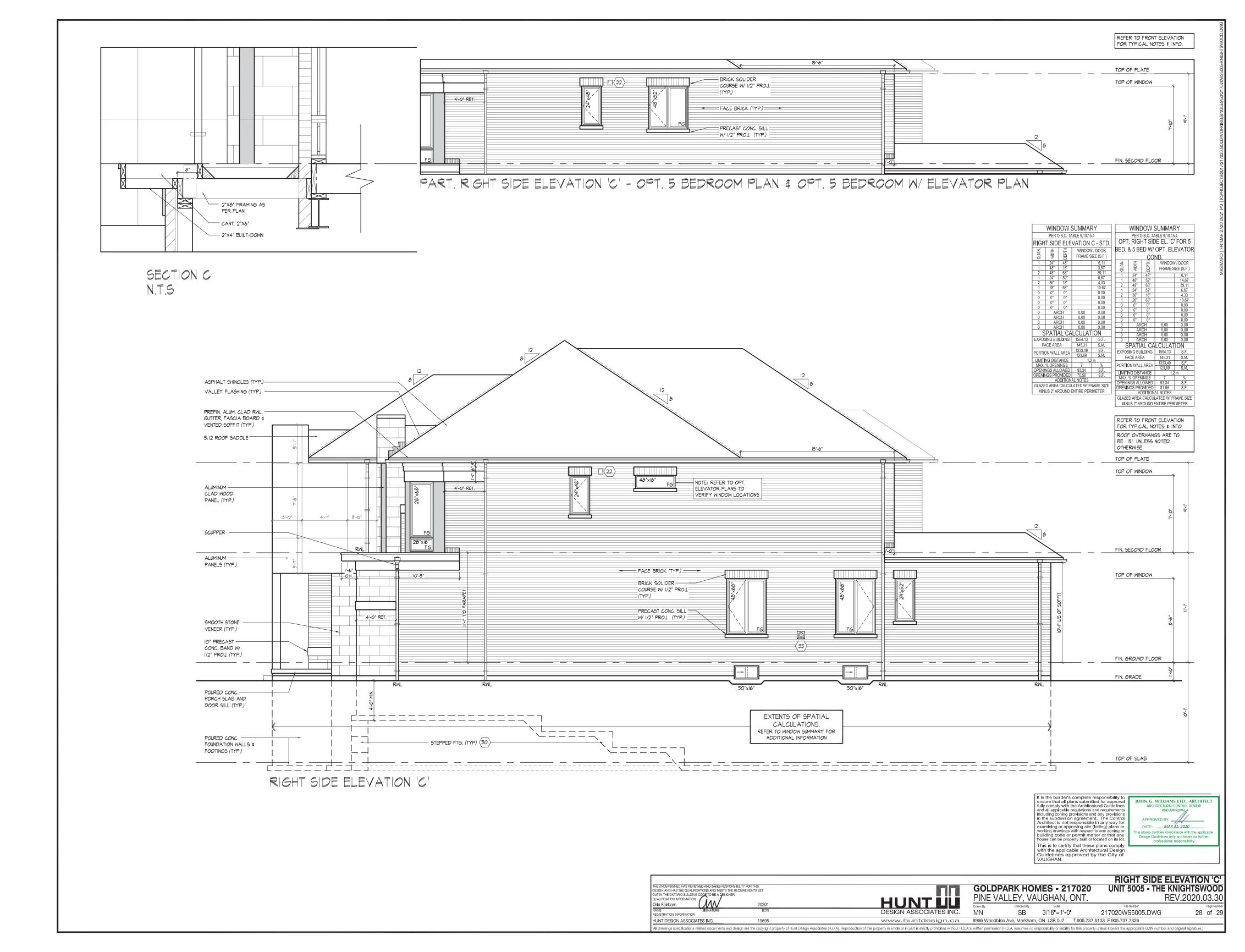


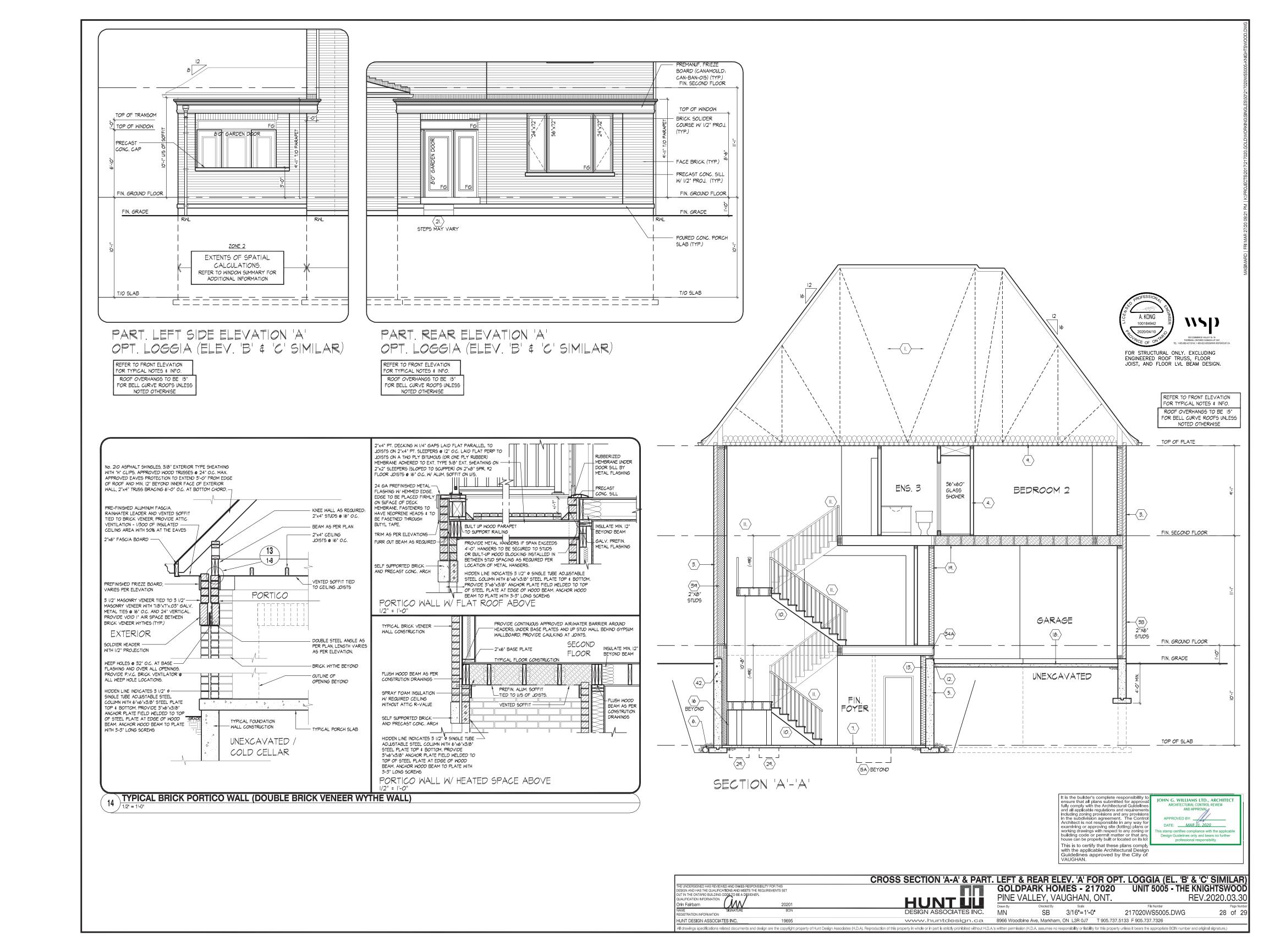
RIGHT SIDE ELEVATION 'B' - CORNER
THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS
DESIGN AND HAS THE COULIFICATIONS AND MEETS THE REQUIREMENTS SET
OUT IN THE ONTARIO BUILDING CODE TO BEA DESIGNER.
OUT IN THE ONTARIO BUILDING CODE TO BEA DESIGNER.
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PROVIDE ICE AND WATER SHIELD IN THE AREAS INDICATED. THE ICE AND WATER SHIELD SHALL BE A SELF ADHERING AND SELF SEALING MEMBRANE. SIDE LAPS MUST BE A MINIMUM 3 1/2" (90) AND END LAPS A MINIMUM 6" (152). AND TO EXTEND UP DORMER WALLS A MINIMUM 12" (305).

1B PROFILED ROOF TRUSSES

ROOF TRUSSES SHALL BE PROFILED AND/OR STEPPED AT RAISED COFFER/TRAY CEILINGS. ANGLED TRAY CEILINGS WILL BE SHEATHED W/ 3/8" (9.5) PLYWOOD.

SIDING WALL CONSTRUCTION SIDING MATERIAL AS PER ELEVATION ATTACHED TO FRAMING MEMBERS, FURRING MEMBERS OR BLOCKING BETWEEN THE FRAMING MEMBERS ON APPROVED SHEATHING PAPER ON 3/8" (9.5) EXT. GRADE SHEATHING ON STUDS CONFORMING TO 0.6.C (9.23.10.1.) & SECTION 1.1., INSULATION, APPROVED 6 MIL POLYETHYLENE AIR/VAPOUR BARRIER, ON 1/2" (12.7) GYPSUM WALLBOARD INT. FIN. (GYPSUM SHEATHING, RIGID INSULATION, AND FIBERBOARD SHALL NOT BE USED TO SENTING AS 162.1 (1) (FEFED TO 3.5 NOTE AS 162.1 AS 162.1 (1) (FEFED TO 3.5 NOTE AS 162.1 AS 162.1 (1) (FEFED TO 3.5 NOTE AS 162.1 AS 162.1 AS 162.1 (1) (FEFED TO 3.5 NOTE AS 162.1 AS 162.1 AS 162.1 (1) (FEFED TO 3.5 NOTE AS 162.1 AS 162.1 (1) (FEFED TO 3.5 NOTE AS 162.1 AS 162.1 AS 162.1 (1) (FEFED TO 3.5 NOTE AS 162.1 AS 16

FOR THE ATTACHMENT OF SIDING (9.23.16.3.(1.)) (REFER TO 35 NOTE AS REQ.) 2A SIDING WALL CONSTRUCTION W/ CONTIN. INSULATION SIDING MATERIAL AS PER ELEVATION ATTACHED TO FURRING MEMBERS ON APPROVED AIR/WATER BARRIER AS PER O.B.C. 9.27.3. ON EXTERIOR TYPE RIGID INSULATION (JOINTS UNTAPED) MECHANICALLY FASTENED AS PER MANUFACTURER'S SPECIFICATIONS ON 3/8" (9.5) EXT. GRADE SHEATHING ON STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1., INSULATION, APPROVED 6 MIL POLYETHYLENE AIR/VAPOUR BARRIER, ON 1/2" (12.7) GYPSUM WALLBOARD

10

| MAY RISE | MIN RISE | MAY RIN | MIN RIN | MAY RISE | MAY RIN | MIN RIN | MAY RISE | MAY RIN | MIN RIN | MAY RISE | MAY RIN | MIN RIN | MAY RISE | MAY RIN | MIN RIN | MAY RISE | MAY RIN | MIN RIN | MAY RISE | MAY RIN | MIN RIN | MAY RISE | MAY RIN | MIN RIN | MAY RISE | MAY RIN | MIN RIN | MAY RISE | MAY RIN | MIN RIN | MAY RISE | MAY RIN | MIN RIN | MAY RISE | MAY RIN | MIN RIN | MAY RISE | MAY RIN | MIN RIN | MAY RISE | MAY RIN | MIN RIN | MAY RISE | MAY RIN | MIN RIN | MAY RISE | MAY RIN | MIN RIN | MAY RISE | MAY RIN | MIN RIN | MAY RISE | MAY RIN | MIN RIN | MAY RISE | MAY RIN | MIN RIN | MAY RISE | MAY RIN | MIN RIN | MAY RISE | MAY RIN | MIN RIN | MAY RISE | MAY RISE | MAY RIN | MAY RISE | MAY RI

NT. FIN. (GYPSUM SHEATHING, RIGID INSULATION, AND FIBERBOARD SHALL NOT BE USED FOR THE ATTACHMENT OF SIDING (9.23.16.3.(1.)) (REFER TO 35 NOTE AS REQ.) 2B SIDING WALL @ GARAGE CONSTRUCTION SIDING MATERIAL AS PER ELEVATION ATTACHED TO FRAMING MEMBERS, FURRING MEMBERS OR BLOCKING BETWEEN THE FRAMING MEMBERS ON APPROVED SHEATHING PAPER ON 3/8" (9.5) EXTERIOR TYPE SHEATHING ON STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1.,1/2" (12.7) GYPSUM WALLBOARD INTERIOR FINISH. (GYPSUM SHEATHING, RIGID INSULATION AND (9.23.16.3.(1,)) (REFER TO 35 NOTE AS REQ.)

BRICK VENEER WALL CONSTRUCTION 3 1/2" (90) BRICK VENEER 1" (25) AIR SPACE, 7/8"x7'x0.03" (22x180x0.76) GALV. METAL TIES @ 16" (400) O.C. HORIZ. 24" (600) O.C. VERT. BONDING AND FASTENING FOR TIES TO CONFORM WITH 9.20.9. ON APPROVED SHEATHING PAPER, 3/8" (9.5) EXTERIOR TYPE SHEATHING, STUDS CONFORMING TO O.B.C. (9.23.10.1.) & SECTION 1.1., INSULATION AND 6 mil POLYETHYLENE VAPOUR BARRIER WITH APPROVED CONTIN. AIR BARRIER. 1/2" (12.7) GYPSUM WALLBOARD INTERIOR FINISH. PROVIDE WEEP HOLES @ 32" (800) O.C. BOTTOM COURSE AND OVER OPENINGS. PROVIDE BASE FLASHING UP MIN. 6" (150) BEHIND BUILDING PAPER (9.20.13.6.) (REFER TO 35 NOTE AS REQUIRED)

3A BRICK VENEER WALL CONSTRUCTION W/ CONTIN. INSULATION 2" (90) BRICK VENEER 1" (25) AIR SPACE, 7/8"x7"x0.03" (22x180x0.76) GALV. METAL S @ 16" (400) O.C. HORIZ. 24" (600) O.C. VERT. BONDING AND FASTENING FOR S TO CONFORM WITH 9.20.9. ON APPROVED AIR/WATER BARRIER AS PER O.B.C. 27.3. ON EXTERIOR TYPE RIGID INSULATION (JOINTS UNTAPED) MECHANICALL FASTENED AS PER MANUFACTURER'S SPECIFICATIONS, ON 3/8" (9.5) EXTERIOR TYPE SHEATHING, STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1., INSULATION AND 6 mil POLYETHYLENE VAPOUR BARRIER WITH APPROVED CONTIN. AIR BARRIER. 1/2" (12.7) GYPSUM WALLBOARD INTERIOR FINISH. PROVIDE WEEP HOLES @ 32" (800) O.C. BOTTOM COURSE AND OVER OPENINGS. PROVIDE BASE FLASHING UP MIN. 6" 150) OVER RIGID INSULATION (9.20.13.6.) (REFER TO 35 NOTE AS REQUIRED)

3B BRICK VENEER WALL @ GARAGE CONSTRUCTION 3 1/2" (90) BRICK VENEER, MIN. 1" (25) AIR SPACE, 7/8"x7"x0.03" (22x180x0.76) GALV. METAL TIES @ 16" (400) O.C. HORIZ. 24" (600) O.C. VERT. BONDING AND FASTENING FOR TIES TO CONFORM WITH 9.20.9. ON APPROVED SHEATHING PAPER, 3/8" (9.5) EXTERIOR TYPE SHEATHING ON STUDS CONFORMING TO O.B.C (9.23.1) SECTION 1.1., 1/2" (12.7) GYPSUM WALLBOARD INTERIOR FINISH, PROVIDE WEEP HOLES @ 32" (800) O.C. AT BOTTOM COURSE AND OVER OPENINGS, PROVIDE BASE FLASHING UP 6" (150) MIN. BEHIND BUILDING PAPER (9.20.13.6.) (REFER TO

INTERIOR STUD PARTITIONS (9.23.9.8., 9.23.10) BEARING PARTITIONS SHALL BE A MINIMUM 2"x4" (38x89) @ 16" (406) O.C. FOR 2 STOREY AND 12" (305) O.C. FOR 3 STOREY, NON-BEARING PARTITIONS 2"x4" (38x89) @ 24" (610) O.C. PROVIDE 2"x4" (38x89) BOTTOM PLATE AND 2-2"x4" (2.38x89) TOP PLATE. 1/2" (12.7) INT. DRYWALL BOTH SIDES OF STUDS, PROVIDE 2"x6" (38x140) STUDS WHERE NOTED. PROVIDE 2"x4" (38x89) @ 24" (610) O.C. LADDER FRAMING WHERE WALLS INTERSECT PERPENDICULAR TO ONE ANOTHER. PROVIDE 2"x4" (38x89) WOOD BLOCKING ON FLAT @ 3-11" (1194) O.C. MAX. BETWEEN FLOOR

JOISTS WHEN NON-LOADBEARING WALLS ARE PARALLEL TO FLOOR JOISTS.

 $\langle \overline{_{4A}} \rangle$ EXT. LOFT WALL CONSTRUCTION - NO CLADDING

3/8" (9.5) EXTERIOR TYPE SHEATHING, STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1., INSULATION AND 6 mil POLYETHYLENE VAPOUR BARRIER WITH APPROVED CONT. AIR BARRIER. 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (9.23.) 4B EXT. LOFT WALL CONSTRUCTION - NO CLADDING W/ CONTINUOUS INSULATION

APPROVED AIR/WATER BARRIER AS PER O.B.C. 9.27.3. ON EXTERIOR TYPE RIGID INSULATION (JOINTS UNTAPED) MECHANICALLY FASTENED AS PER MANUFACTURER'S SPECIFICATIONS, ON 3/8" (9.5) EXTERIOR TYPE SHEATHING, STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1., INSULATION AND 6 mil POLYETHYLENE VAPOUR BARRIER WITH APPROVED CONT. AIR BARRIER. 1/2" 12.7) GYPSUM WALLBOARD INT. FINISH. (9.23.)

5 FOUNDATION WALL/FOOTINGS

POURED CONC. FOUNDATION WALL AS PER CHART BELOW ON CONTINUOUS KEYED CONCRETE FOOTING FOUNDATION WALLS SHALL EXTEND NOT LESS KEYED CONCRETE FOOTING FOUNDATION WALLS SHALL EXTEND NOT LESS THAN 6" (150) ABOVE FINISHED GRADE. THE OUTSIDE OF THE FOUNDATION SHALL BE DAMPROOFED FROM THE TOP OF THE FOOTING TO FINISHED GRADE AND BRUSH COAT FROM THE TOP TO 2" BELOW GRADE. PROVIDE A DRAINAGE LAYER ON THE OUTSIDE OF THE FOUNDATION WALL. SEAL THE DRAINAGE LAYER CONTRACTOR OF THE FOUNDATION WALL. SEAL THE DRAINAGE LAYER CONTRACTOR OF THE FOUNDATION WALL. SEAL THE DRAINAGE LAYER CONTRACTOR OF THE FOUNDATION WALL. J THE TOP, THE TOP OF THE CONC. FOOTING SHALL BE DAMPROOFED CONCRETE FOOTINGS SUPPORTING JOIST SPANS GREATER THAN 16'-1" (4900 SHALL BE SIZED IN ACCORDANCE WITH 9.15.3.4 (1),(2) OF THE O.B.C. (REFER TO CHART BELOW FOR RESPECTIVE SIZE). BRACE FOUNDATION WALL PRIOR TO BACKFILLING. ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OF 125kPa S.L.S. OR COMPACTED ENGINEERED FILL WITH MIN. BEARING CAPACITY OF 125kPa S.L.S.. IF SOIL BEARING DOES NOT MEET MINIMUM CAPACITY, ENGINEERED FOOTINGS ARE REQUIRED. ACTUAL SOIL BEARING CAPACITY TO BE VERIFIED WITH SOIL ENGINEERING REPORT.

REFER TO CONSTRUCTION DRAWINGS AND DETAILS FOR FOUNDATION VALL STRENGTH AND THICKNESS AND 9.15.4. FOUNDATION WALLS SHALL NOT EXCEED 9-10" (3.0m) IN UNSUPPORTED HEIGHT UNLESS OTHERWISE NOTED. [9.15.4.2.(1.)]

	UNREINFORCED SOLID CONCRETE FOUNDATION WALLS (9.15.4.2.)								
長	SS	MAX	MAX. HEIGHT FROM FIN. SLAB TO GRADE						
STRENGTH	THICKNESS	UNSUPPORTED	SI	JPPORTED AT TO)P				
l R	崖	AT TOP	≤2.5m	>2.5m & ≤2.75m	>2.75m & ≤3.0m				
MPa	* 8"	3'-11" (1.20m)	7'-0" (2.15m)	7'-0" (2.15m)	6'-10" (2.10m)				
	10"	4'-7" (1.40m)	7'-6" (2.30m)	8'-6" (2.60m)	8'-2" (2.50m)				
15	12"	4'-11" (1.50m)	7'-6" (2.30m)	8'-6" (2.60m)	9'-3" (2.85m)				
МРа	* 8"	3'-11" (1.20m)	7'-6" (2.30m)	7'-6" (2.30m)	7'-2" (2.20m)				
	10"	4'-7" (1.40m)	7'-6" (2.30m)	8'-6" (2.60m)	9'-3" (2.85m)				
8	12"	4'-11" (1.50m)	7'-6" (2.30m)	8'-6" (2.60m)	9'-3" (2.85m)				

 \star 9" MIN. THICK FOUNDATION WALL IS REQUIRED FOR MASONRY VENEER FINISHED EXTERIOR WALLS WITH CONTINUOUS INSULATION CONDITION, TO PROVIDE MIN. BEARING FOR SILL PLATES, BEAMS AND FLOOR JOIST AS PER

9.23.7.2., 9.23.8.1., & 9.23.9.1. OF THE O.B.O.							
MINIMUM STRIP FOOTING SIZES (9.15.3.) UNLESS NOTED OTHERWISE ON PLANS							
NUMBER FLOORS SUPPORTED	SUPPORTING INT. LOAD BEARING MASONRY WALLS	SUPPORTING SUPPORTING EXTERIOR PARTYWALL					
1	16' WIDE x 6" THICK	16" WIDE x 6" THICK	16" WIDE x 6" THICK				
2	24' WIDE x 8" THICK	20" WIDE x 6" THICK	24" WIDE x 8" THICK				
3	36" WIDE x 14" THICK	26" WIDE x 9" THICK	36" WIDE x 14" THICK				

REFER TO SB-12 ENERGY EFFICIENCY DESIGN MATRIX ON THE TITLE PAGE FOR ALL VALUES AS REQUIRED PER 3.1.1., 3.1.2., 3.1.3. OF THE OBC.

FOUNDATION REDUCTION IN THICKNESS FOR MASONRY THE FOUNDATION WALL IS RED SECTION SHALL BE NOT LESS THAN 3 1/2" (90) THICK. THE BRICK VENEER SHALL BE TIED TO THE FOUNDATION WALL WITH CORROSION RESISTANT METAL TIES @ 7 7/8" (200) VERTICAL AND 2-11" (889) HORIZONTAL FILL VOID WITH MORTAR BETWEEN WALL AND BRICK VENEER (9.15.4.7(2)(3) & 9.20.9.4(3))

FOUNDATION REDUCTION IN THICKNESS FOR JOISTS WHERE THE TOP OF THE FOUNDATION WALL IS REDUCED IN THICKNESS TO PERMIT THE INSTALLATION OF FLOOR JOISTS. THE REDUCED SECTION SHALL BE NOT MORE THAN 13 3/4" (350) HIGH & NOT LESS THAN 3 1/2" (90) THICK (9.15.4.7(1)) 23 WEEPING TILE (9.14.3.)

" (100) Ø WEEPING TILE W/ FILTER CLOTH WRAP & 6" (152) CRUSHED STONE COVER **BASEMENT SLAB OR SLAB ON GRADE** (9.16.4.3.) 3" (80) MIN. 25MPa (3600psi) CONC. SLAB ON 4" (100) COARSE GRANULAR FILL, OR 20MPa (2900psi) CONC. WITH DAMPPROOFING BELOW SLAB. PROVIDE 1/2" (12.7) IMPERVIOUS BOARD FOR BOND BREAK AT EDGE. (9.13.) WHERE A

BASEMENT SLAB IS WITHIN 24" (610) OF THE EXTERIOR GRADE PROVIDE RIGID INSUL. AROUND THE PERIMETER EXTENDING MIN. 24" (610) BELOW GRADE. FO SLAB ON GRADE CONDITIONS RIGID INSULATION SHALL BE APPLIED TO THE UNDERSIDE OF THE ENTIRE SLAB. ([SB-12] 3.1.1.7.(5) & (6)) **EXPOSED FLOOR TO EXTERIOR** (9.10.17.10, & CAN/ULC-S705.2)

PROVIDE SPRAY FOAM INSULATION BETWEEN CANT. JOIST AND INSTALL FIN. SOFFIT OR CLADDING AS PER ELEVATION TO U/S OF EXPOSED CANT. JOIST. EXPOSED CEILING TO EXTERIOR w/ ATTIC (9.25.2.4) INSULATION, 6 mil POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM BOARD

INTERIOR FINISH OR APPROVED EQ. **EXPOSED CEILING TO EXTERIOR W/O ATTIC**

JOISTS/TRUSSES AS PER PLANS W/ 2"x2" (38x38) PURLINS @ 16" (406) O.C. PERPENDICULAR TO JOISTS (PURLINS NOT REQ. W/ SPRAY FOAM OR ROOF TRUSSES), W/ INSULATION BETWEEN JOIST, 6 mil POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM BOARD INT. FINISH OR APPROVED EQ. (CAN/ULC-S705.2, 9.19.1, 9.10.17.1)

/	, ———								
/		MAX. RISE	MIN. F	RISE	MAX. RUN	MIN. RUN	MAX. TREAD	M	N. TREAD
	PRIVATE	7 7/8" (200)	5" (12	25)	14" (355)	8 1/4" (210)	14" (355)	9	1/4" (235)
	PUBLIC	7' (180)	5" (12	25)	NO LIMIT	11" (280)	NO LIMIT	-	11" (280)
		MIN. STAIR	WIDTH		CURVED ST	AIRS	ALL S	TAIF	RS
	PRIVATE	TE 2'-10" (860) MIN. RUN 5 7/8" (150) MAX. NOSIN					MAX. NOSIN	G	1" (25)
	PUBLIC	2'-11" (9	00)	MIN	I. AVG. RUN	7 7/8" (200)			
	** HEIGHT OVER STAIRS (HEADROOM) IS MEASURED VERTICALLY ACROSS								

WIDI H OF STAIRS FROM A STRAIGHT LINE TO THE TREAD & LANDING NO: TO LOWEST POINT ABOVE AND NOT LESS THAN 6-5" (1950) FOR SINGLE DWELLING UNIT & 6-8 3/4" (2050) FOR EVERYTHING ELSE. (9.8.2.2.)

REQUIRED LANDING IN GARAGE - O.B.C. 9.8.6.2.(3.)
FOR AN EXTERIOR STAIR SERVING A GARAGE W, MORE THAN 3 RISERS.
GUARDS, HANDRAILS & STEPS AS PER CONSTRUCTION HEX NOTE 10 & 11.

GUARDS/RAILINGS (9.8.7., 9.8.8.) GUARDS TO BE DESIGNED NOT TO FACILITATE CLIMBING AND PROVIDING MAX. OPENING CONFORMING TO O.B.C. 9.8.8.5. & 9.8.8.6. AND BE ABLE TO RESIST LOADS AS PER TABLE 9.8.8.2. GUARD HEIGHTS - O.B.C. 9.8.8.

INTERIOR GUARDS: 2'-11" (900) MIN. EXTERIOR GUARDS: 2'-11" (900) MIN. (LESS THAN 5'-11" (1800) TO GRADE) 3'-6" (1070) MIN. (MORE THAN 5'-11" (1800) TO GRADE) GUARDS FOR EXIT STAIRS: 3'-0" (920) MIN. GUARDS FOR LANDINGS @ EXIT STÁIRS: 3'-6" (1070) MIN.

GUARDS FOR FLOORS & RAMPS IN GARAGES (SERVICE STAIRS) FLOOR OR RAMP W/O EXTERIOR WALLS THAT IS 23 5/8" (600) OR MORE ABOVE ADJACENT SURFACE REQUIRES CONT. CURB MIN. 6" (150) HIGH, AND GUARD

TWEEN WALKING SURFACE & ADJACENT SURFACE WITH A DIFFERENCE IN ELEVATION MORE THAN 23 5/8 (600) OR ADJACENT SURFACE WITHIN 3'-11" (12 & WALKING SURFACE W/ A SLOPE MORE THAN 1 IN 12 SHALL BE PROTECTED WITH GUARDS PER CONSTRUCTION HEX NOTE 11.

HANDRAIL HEIGHTS - O.B.C. 9.8.7. - REQUIRED AS PER 9.8.7.1.(3)

MIN. HEIGHT AT STAIRS OR RAMP: 2-10" (865)

MAX. HEIGHT AT STAIRS OR RAMP: 32" (965)

MAX. HEIGHT AT LANDING: 3'-6" (1070 STAIRS OR RAMP MIN. 7'-3" (2200) WIDE: 2'-9" (865) MIN. HEIGHT SILL PLATES

2"x4" (38x89) SILL PLATE WITH 1/2" (12.7)Ø ANCHOR BOLTS 8" (200) LONG EMBEDDED MIN. 4" (100) INTO CONC. @ 4-0" (1220) O.C., CAULKING OR GASKET BETWEEN PLATE AND TOP OF FOUNDATION WALL. USE NON-SHRINK GROUT TO LEVEL SILL PLATE WHEN REQUIRED (9.23.7.)

BASEMENT INSULATION ([SB-12] 3.1.1.7.) PROVIDE CONTINUOUS BLANKET INSULATION W/ BUILT IN 6 mil POLYETHYLENE VAPOUR BARRIER. INSULATION TO EXTEND NO MORE THAN 8" (200) ABOVE FINISHED BASEMENT FLOOR. DAMPROOFED WITH BUILDING PAPER BETWEEN THE FOUNDATION WALL AND INSULATION UP TO GRADE LEVEL.

BEARING STUD PARTITION IN BASEMENT (9.15.3.6., 9.23.10.1.) 2"x4" (38x89) STUDS @ 16" (406) O.C., 2"x4" (38x89) SILL PLATE (2"x6" (38x140) AS REQUIRED) ON DAMPPROOFING MATERIAL OR 2 mil POLYETHYLENE FILM, 1/2" (12.7) Ø ANCHOR BOLTS 8" (200) LONG, EMBEDDED 4" (100) MIN. INTO CONC. @ 7'-10" (2390) O.C. 4" (100) HIGH CONC. CURB ON CONC. FOOTING. FOR SIZE REFER TO HEX NOTE 5. ADD HORIZ, BLOCKING AT MID-HEIGHT IF WALL IS UNFINISHED.

ADJUSTABLE STEEL BASEMENT COLUMN (9.15.3.4.) 9'-10" (3000) MAX. SPAN BETWEEN COLUMNS. 3 1/2" (90)Ø SINGLE TUBE ADJUSTABLE STEEL COLUMN CONFORMING TO CAN/CGSB-7.2M, AND WITH 6"x6"x3/8" (152x152x9.5) STEEL PLATE TOP & BOTTOM. FIELD WELD BASEMENT

COLUMN CONNECTION. POURED CONCRETE FOOTING ON NATURAL UNDISTURBED SOIL OF 125kPa S.L.S. OR COMPACTED ENGINEERED FILL WITH MIN. BEARING CAPACITY OF 125kPa S.L.S. AS PER SOILS REPORT. JPPORTING 2 STOREY FLR. LOAD PROVIDE 34"x34"x16" (870x870x410) CONC. FOOTING SUPPORTING 3 STOREY FLR. LOAD PROVIDE 40"x40"x19" (1060x1060x480) CONC. FOOTING

NON-ADJUSTABLE STEEL BASEMENT COLUMN 3 1/2" (90)Ø x 0.188" (4.78) NON-ADJUSTABLE STEEL COLUMN WITH 6"x6"x3/8" (152x152x9.5) STEEL PLATE TOP & BOTTOM. BOTTOM PLATE CW 2 1/2"Ø x 12" LONG x2" HOOK ANCHORS. FIELD WELD BASEMENT COLUMN CONNECTION. POURED CONCRETE FOOTING ON NATURAL UNDISTURBED SOIL OF 125kPa S.L.S. OR COMPACTED ENGINEERED FILL WITH MIN. BEARING CAPACITY OF 125kPa S.L.S. AS PER SOILS REPORT. UPPORTING 2 STOREY FLR. LOAD PROVIDE 42"x42"x18" (1070x1070x460) CONC. FOOTING

SUPPORTING 3 STOREY FLR. LOAD PROVIDE 48"x48"x24" (1220x1220x610) CONC. FOOTING NON-ADJUSTABLE STL. COLUMN AT FOUNDATION WALL 3 1/2" (90)Ø x 0.188" (4.78) NON-ADJUSTABLE STEEL COLUMN WITH 6"x6"x3/8" (152x152x9.5) STEEL TOP PLATE & 6"x4"x3/8" (152x100x9.5) BOTTOM PLATE. BASE PLATE 4-1/2"x10"x1/2" (120x250x12.7) WITH 2- 1/2"0 x 12" LONG x 2" HOOK ANCHORS

(2-12 70x305x50) FIELD WELD COLUMN TO BASE PLATE & STEEL BM STEEL BEAM BEARING AT FOUNDATION WALL (9.23.8.1.)

BEAM POCKET OR 8"x8" (200x200) POURED CONC. NIB WALLS, MIN. BEARING 3 1/2" (90). **WOOD STRAPPING AT STEEL BEAMS** (9.23.4.3.(3.), 9.23.9.3.) 1"x3" (19x64) CONTIN. WOOD STRAPPING BOTH SIDES OF STEEL BEAM.

GARAGE SLAB (9.16., 9.35.) 4" (100) 32MPa (4640psi) CONC. SLAB WITH 5-8% AIR ENTRAINMENT ON OPT.
4" (100) COARSE GRANULAR FILL WITH COMPACTED SUB-BASE OR
COMPACTED NATIVE FILL. SLOPE TO FRONT @ 1% MIN. GARAGE TO HOUSE WALLS/CEILING (9.10.9.16.)

1/2" (12.7) GYPSUM BOARD ON WALL AND CEILING BETWEEN HOUSE AND GARAGE, PLUS REQUIRED INSULATION IN WALLS AND SPRAY FOAM FOR CEILINGS. TAPE AND SEAL ALL JOINTS GAS TIGHT. (9.10.17.10, CAN/ULC-S705.2 GARAGE TO HOUSE WALLS/CEILING W/ CONTIN. INSULATION 1/2" (12.7) GYPSUM BOARD ON CEILING AND ON WALLS INSTALLED OVER EXTERIOR TYPE RIGID INSULATION (JOINTS UNTAPED) MECHANICALLY FASTENED AS PER MANUFACTURER'S SPECIFICATIONS ON 3/8" EXTERIOR GRADE SHEATHING ON STUDS BETWEEN HOUSE AND GARAGE, PLUS REQUIRED INSULATION IN WALLS & SPRAY FOAM FOR CEILINGS. TAPE AND SEAL ALL JOINTS GAS TIGHT. (9.10.9.16., 9.10.17.10, CAN/ULC-S705.2)

(9.10.9.16., 9.10.13.10., 9.10.13.15.) GAS-PROOF DOOR AND FRAME. DOOR EQUIPPED WITH SELF CLOSING DEVICE AND WEATHER STRIPPING.

EXTERIOR AND GARAGE STEPS MAX RISE 7 7/8" (200), MIN, TREAD 9 1/4" (235), FOR THE REQUIRED NUMBER OF STEPS REFER TO SITING AND GRADING DRAWINGS. EXTERIOR CONCRETE STAIRS WITH MORE THAN 2 RISERS AND 2 TREADS SHALL BE PROVIDED WITH FOUNDATION AS REQUIRED BY ARTICLE 9.8.9.2. OR SHALL BE CANTILEVERED AS PER SUBSECTION 9.8.10.

DRYER EXHAUST

CAPPED DRYER EXHAUST VENTED TO EXT. CONFORMING TO PART 6, OBC 9.32. **ATTIC ACCESS** (9.19.2.1.)

ATTIC ACCESS HATCH WITH MIN. AREA OF 0.32m2 AND NO DIM. LESS THAN 21 1/2" (545) WITH WEATHER STRIPPING. HATCHWAYS TO THE ATTIC OR ROOF SPACE WILL BE FITTED WITH DOORS OR COVERS AND WILL BE INSULATED WITH MIN. R20 (RSI 3.52) ([SB-12] 3.1.1.8.(1))

FIREPLACE CHIMNEYS (9.21.) TOP OF FIREPLACE CHIMNEY SHALL BE 2-11" (889) ABOVE THE HIGHEST POINT AT WHICH IT COMES IN CONTACT WITH THE ROOF AND 2-0" (610) ABOVE THE ROOF SURFACE WITHIN A HORIZ, DISTANCE OF 10'-0" (3048) FROM THE CHIMNEY.

LINEN CLOSET PROVIDE 4 SHELVES MIN. 14" (356) DEEP.

MECHANICAL VENTILATION (9.32.1.3.) MECHANICAL EXHAUST FAN, VENTED TO EXTERIOR, TO PROVIDE AT LEAST ONE AIR CHANGE PER HOUR. SEE GENERAL NOTE 2.3.

PARTY WALL BEARING (9.23.8) 12"x12"x5/8" (305x305x15.9) STEEL PLATE FOR STEEL BEAMS AND 12"x12"x1/2" (305x305x12.7) STEEL PLATE FOR WOOD BEAMS BEARING (MIN. 3-1/2" (89)) ON CONC. BLOCK PARTY WALL, ANCHORED WITH 2-3/4" (2-19) x 8" (200) LÓNG GALV. ANCHORS WITHIN SOLID BLOCK COURSE. LEVEL W, NON-SHRINK GROUT.

REFER TO NOTE SOLID BEARING (SECTION 3.0) FOR WD. STUD PARTY WALL.

WOOD FRAMING IN CONTACT TO CONCRETE WOOD BEARING WALLS, THE UNDERSIDE OF BUILT-UP WOOD POSTS AND SILLS SHALL BE WRAPPED WITH 2 mil POLY. STRIP FOOTINGS SUPPORTING THE FOUNDATION WALL SHALL BE WIDENED 6" (152) BELOW THE BEARING WALL AND/OR WOOD POST. (9.17.4.3.)

BUILT-UP WOOD POST AND FOOTING (9.17.4.1., 9.15.3.7.) 3-2"x6" (3-38x140) BUILT-UP WOOD POST (UNLESS OTHERWISE NOTED) ON METAL BASE SHOE ANCHORED TO CONC. WITH 1/2" (12.7) Ø BOLT, 24"x24"x12 (610x610x305) CONC. FOOTING OR AS PROVIDED ON PLAN. REFER TO NOTE 28

STEP FOOTINGS (9.15.3.9.) MIN. HORIZ. STEP = 23 5/8" (600). MAX. VERT. STEP = 23 5/8" (600).

CONC. PORCH SLAB (9.16.4.) MIN. 4" (100) CONCRETE SLAB ON GRADE ON 4" (100) COARSE GRANULAR FILL, REINFORCED WITH 6x6xW2.9xW2.9 MESH PLACED NEAR MID-DEPTH O SLAB. CONC. STRENGTH 32MPa (4640psi) WITH 5-8% AIR ENTRAINMENT ON

FURNACE VENTING (9.32.) DIRECT VENT FURNACE TERMINAL MIN. 3-0" (915) FROM A GAS REGULATOR. MIN. 12" (305) ABOVE FIN. GRADE, FROM ALL OPENINGS, EXHAUST AND INTAKE VENTS. HEV INTAKE TO BE A MIN. OF 6-0" (1830) FROM ALL EXHAUST TERMINALS. REFER TO GAS UTILIZATION CODE.

FIREPLACE VENTING (9.32.3.) DIRECT VENT GAS FIREPLACE VENT TO BE A MIN. 12" (305) FROM ANY OPENING AND ABOVE FIN. GRADE. REFER TO GAS UTILIZÁTION CODE.

FLOOR FRAMING (9.23.3.5., 9.23.9.4., 9.23.14.) &G SUBFLOOR ON WOOD FLOOR JOISTS. FOR CERAMIC TILE APPLICATION SEE O.B.C. 9.30.6. ALL JOISTS WHERE REQUIRED TO BE BRIDGED WITH 2"X2" (38x38) CROSS BRACING OR SOLID BLOCKING @ 6-11" (2108) O.C. MAX. ALL JOISTS TO BE STRAPPED WITH 1"X3" (19x64) @ 6-11" (2108) O.C. UNLESS A PANEL TYPE CEILING FINISH IS APPLIED.

HEADER CONSTRUCTION PROVIDE CONTINUOUS APPROVED AIR/VAPOUR BARRIER (HEADER WRAP) UNDER THE SILL PLATE, AROUND THE RIM BOARD AND UNDER THE BOTTOM PLATE. THE HEADER WRAP SHALL EXTEND 6" (152) BELOW THE TOP OF FOUNDATION WALL AND WILL BE SEALED TO THE CONCRETE FOUNDATION WALL. EXTEND HEADER WRAP 6" (152) UP THE INTERIOR SIDE OF THE STUD WALL AND OVERLAP WITH THE VAPOUR BARRIER AND SEAL

THE JOINT. ALL EDGES/JOINTS MUST BE MECHANICALLY CLAMPED. EXPOSED BUILDING FACE w/ LIMITING DISTANCE <= 3'-11' (1.20m)

WALL ASSEMBLY CONTAINS INSULATION CONFORMING TO CANULC-5702 & HAVING A MASS OF NOT LESS THAN 1.22 KG/M2 OF WALL SURFACE AND 1/2' (12.7) TYPE X GYPSUM WALLBOARD INTERIOR FINISH. EXTERIOR CLADDING MUST BE NON-COMBUSTIBLE WHEN LIMITING DISTANCE IS 23 5/8' (0.60m) OR LESS. WALL ASSEMBLY REQUIRES TO HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN 45 MINUTES & CONFORMING TO 0.B.C. (9.10.14. OR 9.10.15.). REFER TO DETAILS FOR TYPE & SPECS. ** AN OPENING IN AN EXPOSING BUILDING FACE NOT MORE THAN (20.16.2) (3.00.76.5) (3.00.76.2) (3.00 ² (130cm²) SHALL NOT BE CONSIDERED AN UNPROTECTED OPENING AS PER

COLD CELLAR PORCH SLAB (9.39.)

FOR MAX. 8'-2" (2500) PORCH DEPTH, 5" (127) 32 MPa (4640psi) CONC. SLAB W/ 5-8% AIR ENTRAINMENT. REINF. WITH 10M BARS @ 7 7/8" (200) O.C. EACH DIRECTION, W. 1 1/4" (32) CLEAR COVER FROM BOTTOM OF SLAB TO FIRST LAYER OF BARS & SECOND LAYER OF BARS LAID DIRECTLY ON TOP OF LOWER LAYER IN OPPOSITE DIR. 24"x24" (610x610) 10M DOWELS @ 23 5/8" (600) O.C., ANCHORED IN PERIMETER FND. WALLS, SLOPE SLAB 1.0% FROM DOOR.

RANGE HOODS AND RANGE-TOP FANS COOKING APPLIANCE EXHAUST FANS VENTED TO EXTERIOR MUST CONFORM TO OBC 9.10.22, 9.32.3.9. & 9.32.3.10.

CONVENTIONAL ROOF FRAMING (9.23.13., 9.23.15.) 2"x6" (38x140) RAFTERS @ 16" (406) O.C., 2"x8" (38x184) RIDGE BOARD. 2"x4" (38x89) COLLAR TIES AT MID-SPAN. CEILING JOISTS TO BE 2"x4" (38x89) @ 16" (406) O.C. FOR MAX. 9-3" (2819) SPAN & 2"x6" (38x140) @ 16" (406) FOR MAX, SPAN 14'-7" (4450), BAFTERS FOR BUILT LIP BOOF OVER PRE-ENGINEERED ROOF TRUSSES AND OR CONVENTIONAL FRAMING TO BE 2"x4" (38x89) @ 24" (610) O.C. UNLESS OTHERWISE SPECIFIED.

TWO STOREY VOLUME SPACES (9.23.10.1., 9.23.11., 9.23.16.)

(**************************************								
WALL AS	SSEMBLY	WIND LOADS						
EXTERIOR	STUDS	<= 0.5	kPA (q50)	> 0.5 kPa (q50)				
EXTENION	31003	SPACING	MAX HEIGHT	SPACING	MAX HEIGHT			
BRICK	2-2"x6" (2-38x140)	12" (305) O.C.	18'-4" (5588)	8" (200) O.C.	18'-4" (5588)			
SIDING	SPR.#2	16" (406) O.C.	18'-4" (5588)	12' (305) O.C.	18'-4" (5588)			
BRICK	2-2"x8" (2-38x184)	12" (305) O.C.	21'-0" (6400)	12' (305) O.C.	21'-0" (6400)			
SIDING	SPR.#2	16" (406) O.C.	21'-0" (6400)	16" (406) O.C.	21'-0" (6400)			
** STUD SIZE & SPACING TO BE VERIFIED BY STRUCTURAL ENGINEER **								
STUDS ARE TO BE CONTINUOUS, C,W 3/8" (9.5) THICK EXTERIOR PLYWOOD SHEATHING. PROVIDE SOLID WOOD BLOCKING BETWEEN WOOD STUDS								

FOR HORIZ. DISTANCES LESS THAN 9'-6" (2896) PROVIDE 2"x6" (38x140) STUDS @ 16" (406) O.C. WITH CONTIN. 2-2"x6" (2-38x140) TOP PLATE + 1-2"x6" (1-38x140) BOTTOM PLATE & MIN. OF 3-2"x8" (3-38x184) CONT. HEADER AT GROUND FLOOR CEILING LEVEL TOE-NAILED & GLUED AT TOP, BOTTOM PLATES & HEADERS.

cont. SECTION 1.0. CONSTRUCTION NOTES

1 HR. PARTY WALL (CONC. BLOCK) ([SB-3] WALL TYPE 'B6e' & 'B1b') 1/2" (12.7) GYPSUM SHEATHING ON EACH SIDE ON 2"X2" (38x38) VERTICAL WD. STRAPPING @ 24" (610) O.C. ON 8" (200) CONC. BLOCK FILL STRAPPING CAVITY EACH SIDE WITH AT LEAST 90% OF ABSORPTIVE MATERIAL PROCESSED FROM ROCK, SLAG OR GLASS. TAPE, FILL & SAND ALL GYPSUM JOINTS. EXPOSED BLOCK MUST BE SEALED W/ 2 COATS OF PAINT OR

1 HR. PARTY WALL (DOUBLE STUD) ([SB-3] WALL TYPE W13c') 5/8" (15.9) TYPE X' GYPSUM SHEATHING ON EXTERIOR SIDE OF 2 ROWS OF 2"X4" (38X89) STUDIS @ 16" (406) O.C., MIN. 1" (25) APART ON SEPARATE 2"X4" (38X89) SILL PLATES. (2"X6" (38X140) AS REQUIRED) FILL ONE SIDE OF STUD CAVITY WITH AT LEAST 90% OF ABSORPTIVE MATERIAL PROCESSED FROM ROCK, SLAG OR GLASS. TAPE FILL AND SAND ALL GYPSUM JOINTS.

1/2" (12.7) GYPSUM SHEATHING ON EACH SIDE ON 2"X2" (38x38) VERTICAL WOOD STRAPPING @ 24" (610) O.C ON 8" (200) CONC. BLOCK 75% SOLID. FILL STRAPPING CAVITY EACH SIDE WITH AT LEAST 90% OF ABSORPTIVE MATERIAL PROCESSED FROM ROCK, SLAG OR GLASS. TAPE, FILL & SAND ALL GYPSUM JOINTS. AT UNFINISHED AREAS, EXTERIOR FACE OF CONC. BLOCK TO BE SEALED WITH 2 COATS OF PAINT. GYPSUM SHEATHING TO BE ATTACHED TO CONC. BLOCK. (REFER TO DETAILS)

STUCCO FINISH CONFORMING TO O.B.C. SECTION 9.28. AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1 1/2" (38) E.I.F.S. (MINIMUM) ON APPROVED DRAINAGE MAT ON 1/2" (12.7) DENSGLASS GOLD GYPSUM BOARL ON STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1., INSULATION, APPROVED 6 MIL. POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (REFER TO 35 NOTE AS REQUIRED)

STUCCO FINISH CONFORMING TO O.B.C. SECTION 9.28. AND APPLIED PERMANUFACTURERS SPECIFICATIONS OVER 1 1/2" (38) E.I.F.S. (MINIMUM) ON APPROVED DRAINAGE MAT ON APPROVED AIRWATER BARRIER AS PER O.B.C. 9.27.3. ON EXTERIOR TYPE RIGID INSULATION (JOINTS UNTAPED) MECHANICAL FASTENED AS PER MANUFACTURER'S SPECIFICATIONS, ON 7/16" EXTERIOR TY SHEATHING ON STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1., INSULATION, APPROVED 6 MIL. POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (REFER TO 35 NOTE AS REQUIRED

STUCCO FINISH CONFORMING TO O.B.C. SECTION 9.28. AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1 1/2" (38) E.F.I.S (MINIMUM) ON APPROVED DRAINAGE MAT ON 1/2" (12.7) DENSGLASS GOLD GYPSUM BRD. ON STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1., 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (REFER TO 35 NOTE AS REQ.),

*** FOR DWELLINGS USING CONTIN, INSULATION CONSTRUCTION,

PROVIDE APPROVED DRAINAGE MAT ON 7/16" (11) EXTERIOR TYPE SHEATHING

OVER FURRING (AS REQ.) AND STUDS IN LIEU OF 1 1/2" (38) E.F.I.S (MINIMUM)

ON APPROVED DRAINAGE MAT ON 1/2" (12.7) DENSGLASS GOLD GYPSUM BRD.

3-20M BARS IN TOP PORTION OF WALL (8-0" TO 10-0" OPENING) 4-20M BARS IN TOP PORTION OF WALL (10-0" TO 15-0" OPENING - BARS STACKED VERTICALLY AT INTERIOR FACE OF WALL @ 6" O.C REINFORCING AT BASEMENT WINDOWS 2-15M HORIZ. REINFORCING ON THE INSIDE AND OUTSIDE FACE OF THE FOUNDATION WALL BELOW THE WIN. SILL. EXTEND BARS 24" (610) BEYOND THE OPENING. 2-15M VERTICAL REINFORCING ON THE INSIDE AND OUTSIDE FACE OF THE FOUNDATION WALL ON EACH SIDE OF THE WINDOW OPENING. - BARS TO HAVE MIN. 2" (50) CONC. COVER - BARS TO EXTEND 2'-0" (610) BEYOND BOTH SIDES OF OPENING

WINDOW WELLS OTHER SUITABLE LOCATION WITH A 4" (100) WEEPING TILE CAVIA FILTER

45 SLOPED CEILING CONSTRUCTION ([SB-12] 2.1.1.7., 9.23.4.2.) 2"x12" (38x286) ROOF JOISTS @ 16" (406) O.C. MAX. (UNLESS OTHERWISE NOTED) W, 2*x2* (38x38) PURLINS @ 16* (406) O.C. PERPENDICULAR TO ROOF JOIST (PURLINS NOT REQ. W/ SPRAY FOAM), W/ INSULATION BETWEEN JOIST, 6 mil POLYETHYLENE VAPOUR BARRIER, 1/2* (12.7) GYPSUM WALLBOARD INT. FINISH OR APPROVED EQ. INSULATION VALUÈ DIRECTLY ABOVE THE INNER

FLAT ROOF/BALCONY CONSTRUCTION WATERPROOFING MEMBRANE (9.26.11, 9.26.15, 9.26.16) FULLY ADHERED TO 5 (15.9) T&G EXTERIOR GRADE PLYWOOD SHEATHING ON 2"X2" (38X38) PURLINS ANGLED TOWARDS SCUPPER @ 2% MINIMUM LAID PERPENDICULAR TO 2"X8" (38x184) FLOOR JOISTS @ 16" (406) O.C. (UNLESS OTHERWISE NOTED). BUILT U CURB TO BE 4" (100) MIN. ABOVE FINISHED BALCONY FLOOR. CONTINUOUS 'L' TRIM DRIP EDGE TO BE PROVIDED ON OUTSIDE FACE OF CURB. SCUPPER ORAL TO BE LOCATED 24" (610) MIN. AWAY FROM HOUSE. PREFINISHED ALUMINUM C **BALCONY CONDITION**

FLAT ROOF/BALCONY CONSTRUCTION NOTE, INCLUDE 2"x4" (38x89) PT SEE FLAH MOOF/BALCOINT COING INCUITING THE INTEGER 22 AT 1957.

DECKING W 1/4" (6.4) GAPS LAID FLAT PARALLEL TO JOISTS ON 2°42" (38

PT. SLEEPERS @ 12" (305) O.C. LAID FLAT PERPENDICULAR TO JOISTS

SEE FLAT ROOF/BALCONY CONSTRUCTION NOTE FOR ASSEMBLY. REFER TO PLANS FOR FLOOR JOIST SIZE & REFER TO HEX NOTE 9 FOR INSULATION AND INTERIOR FINISH

FURRED WITH 2"x2" (38x38) WD. STRAPPING & 1/2" (12.7) GYPSUM SHEATHING.

40A) 2 HR. FIREWALL ([SB-3] WALL TYPE 'B6e' & 'B1b')

41 STUCCO WALL CONSTRUCTION

41A STUCCO WALL CONSTRUCTION W/ CONTIN. INSULATION

STUCCO WALL @ GARAGE CONST.

UNSUPPORTED FOUNDATION WALLS (9.15.4.2.) REINFORCING AT STAIRS AND SUNKEN FLOOR AREAS 2-20M BARS IN TOP PORTION OF WALL (UP TO 8'-0" OPENING)

STUD WALL REINFORCEMENT
PROVIDE STUD WALL PROVIDE STUD WALL REINFORCEMENT IN MAIN BATHROOM CONFORMING TO O.B.C. (9.5.2.3.(1) AND 3.8.3.8.(3)) (REFER TO DETAILS)

WHERE A WINDOW OPENS INTO A WINDOW WELL. A CLEARANCE OF NOT LESS THAN 21 5/8" (550) SHALL BE PROVIDED IN FRONT OF THE WINDOW. EVERY WINDOW WELL SHALL BE DRAINED TO THE FOOTING LEVEL OR CLOTH WRAP AND FILLED WITH CRUSHED STONE. (9.9.10.1.(5), 9.14.6.3.)

SURFACE OF EXTERIOR WALLS SHALL NOT BE LESS THAN R20 (3.52 RSI).

BALCONY OVER HEATED SPACE CONDITION

47 BARREL VAULT CONSTRUCTION CANTILEVERED 2"x4" (38x89) SPACERS LAID FLAT ON 2"x10" (38x235) SPR. #2 ROOF JOIST NAILED TO BUILT-UP 3-3/4" (19) PLYWOOD HEADER PROFILED F. BARREL. SPRAY FOAM INSULATION BETWEEN JOISTS W/ GYPSUM BOARD. INTERIOR FIN. (REFER TO DETAILS)

REFER TO SB-12 ENERGY EFFICIENCY DESIGN MATRIX ON THE TITLE PAGE FOR ALL VALUES AS REQUIRED PER 3.1.1., 3.1.2., 3.1.3. OF THE OBC.

SECTION 1.1. WALL STUDS

REFER TO THIS CHART FOR STUD SIZE & SPACING AS REQUIRED FOR EXTERIOR WALLS ONLY. REFER TO SITING & GRADING PLAN OF THIS UNIT FOR CONFIRMATION OF TOP OF FOUNDATION WALL AND ADDITIONAL INFORMATION. IF STUD WALL HEIGHT EXCEEDS MAX. UNSUPPORTED HEIGHT, WALL NEEDS TO BE REVIEWED AND APPROVED BY ENGINEER.

SIZE & SPACING OF STUDS: (OBC REFERENCE - TABLE 9.23.10.1.)								
MIN.	SUPPORTED LOADS (EXTERIOR)							
STUD SIZE.	ROOF w/ OR w/o ATT I C	ROOF w/ OR w/o ATTIC & 1 FLOOR	ROOF w/ OR w/o ATTIC & 2 FLOOR	ROOF w/ OR w/o ATTIC & 3 FLOOR				
in (mm)	M	ING, in (mm) O.C						
()	1)							
2"x4"	24" (610)	16" (405)	12" (305)	N/A				
(38x89)	9'-10" (3.0)	9'-10" (3.0)	9'-10" (3.0)	N/A				
2"x6"	-	24" (610)	16" (406)	12" (305)				
(38x140)	-	9'-10" (3.0)	11'-10" (3.6)	5'-11" (1.8)				

SECTION 2.0. GENERAL NOTES

2.1. WINDOWS EXCEPT WHERE A DOOR ON THE SAME FLOOR LEVEL AS THE BEDROOM PROVIDES DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL CONTAINING A BEDROOM IS TO HAVE AT LEAST ONE OUTSIDE WINDOW W/ MIN. 0.35m2 UNOBSTRUCTED OPEN ORTION W/ NO DIMENSION LESS THAN 1'-3" (380). CAPABLE OF MAINTAINING THE OPENING WITHOUT THE NEED FOR ADDITIONAL SUPPORT, CONFORMING TO 9.9.10. 2) WINDOW GUARDS: A GUARD OR A WINDOW WITH A MAXIMUM RESTRICTED OPENING WIDTH OF 4" (100) IS REQUIRED WHERE THE TOP OF THE WINDOW SILL IS LOCATED LESS THAN 1'-7" (480) ABOVE FIN. FLOOR AND THE DISTANCE FROM THE INISHED FLOOR TO THE ADJACENT GRADE IS GREATER THAN 5'-11" (1800). (9.8.8.1 3) WINDOWS IN EXIT STAIRWAYS THAT EXTEND TO LESS THAN 2-11" (900) [3-6" (1070) FOR ALL OTHER BUILDINGS] SHALL BE PROTECTED BY GUARDS IN ACCORDANCE WITH NOTE #2 (ABOVE). OR THE WINDOW SHALL BE NON-OPERABLE AND DESIGNED TO WITHSTAND THE SPECIFIED LOADS FOR BALCONY GUARDS AS PROVIDED IN 4.1.5.15 OR 9.8.8.2

4) REFER TO TITLE PAGE FOR MAX. U-VALUE REQUIREMENTS

2.2 CEILING HEIGHTS

2.2. CEILING HEIGHTS					
THE CEILING HEIGHTS OF ROOMS AND SPACES SHALL CONFORM TO TABLE 9.5.3.1.					
ROOM OR SPACE	MINIMUM HEIGHTS				
LIVING ROOM, DINING ROOM AND KITCHEN	7'-7" OVER 75% OF REQUIRED FLOOR AREA WITH A CLEAR HEIGHT OF 6'-11" AT ANY POINT				
BEDROOM	7'-7" OVER 50% OF REQUIRED FLOOR AREA OR 6'-11" OVER ALL OF THE REQUIRED FLOOR AREA.				
BASEMENT	6'-11" OVER AT LEAST 75% OF THE BASEMENT AREA EXCEPT THAT UNDER BEAMS AND DUCTS THE CLEARANCE IS PERMITTED TO BE REDUCED TO 6'-5".				
BATHROOM, LAUNDRY AREA ABOVE GRADE	6'-11" IN ANY AREA WHERE A PERSON WOULD NORMALLY BE STANDING				
FINISHED ROOM NOT MENTIONED ABOVE	6'-11"				
MEZZANINES	6'-11" ABOVE & BELOW FLOOR ASSEMBLY (9.5.3.2.)				
STORAGE GARAGE	6'-7" (9.5.3.3.)				

2.3. MECHANICAL / PLUMBING

1) MECHANICAL VENTILATION IS REQUIRED TO PROVIDE 0.7 AIR CHANGE PER HOUR IF NOT AIR CONDITIONED 1 PER HOUR IF AIR CONDITIONED AVERAGED OVER 24 HOURS. WHEN A VENTILATION FAN (PRINCIPAL EXHAUST) IS REQUIRED, CONFORM TO OBC 9.32.3.4. WHEN A HRV IS REQUIRED, CONFORM TO 9.32.3.11. REFER TO MECHAN**I**CAL DRAW**I**NGS.

2) REFER TO HOT WATER TANK MANUFACTURER SPECS. CONFORM TO OBC 9.31.6. 3) REFER TO TITLE PAGE FOR SPACE HEATING EQUIPMENT, HRV AND DOMESTIC HOT WATER HEATER MINIMUM EFFICIENCIES.

4) DRAIN WATER HEAT RECOVERY UNIT(S) WILL BE INSTALLED CONFORMING TO THE REQUIREMENTS OF 3.1.1.12. OF THE O.B.C. LUMBER SHALL BE SPRUCE No.2 GRADE OR BETTER, UNLESS NOTED OTHERWISE. 2) STUDS SHALL BE STUD GRADE SPRUCE, UNLESS NOTED OTHERWISE.

3) LUMBER EXPOSED TO THE EXTERIOR TO BE SPRUCE No. 2 GRADE PRESSURE TREATED OR CEDAR, UNLESS NOTED OTHERWISE. 4) ALL LAMINATED VENEER LUMBER (LVL) BEAMS, GIRDER TRUSSES, AND METAL HANGER CONNECTIONS SUPPORTING ROOF FRAMING TO BE DESIGNED & CERTIFIED BY FLOOR AND ROOF TRUSS MANUFACTURER.

5) JOIST HANGERS: PROVIDE APPROVED METAL HANGERS FOR ALL JOISTS AND BUILT-UP WOOD MEMBERS INTERSECTING WITH FLUSH BUILT-UP WOOD MEMBERS. 6) WOOD FRAMING NOT TREATED WITH A WOOD PRESERVATIVE, IN CONTACT WITH CONCRETE, SHALL BE SEPARATED FROM THE CONC. BY AT LEAST 2 mil POLYETHYLEN FILM, No.50 (45lbs) ROLL ROOFING OR OTHER DAMPPROOFING MATERIAL, EXCEPT WHERE THE WOOD MEMBER IS AT LEAST 6" (152) ABOVE THE GROUND.

) STRUCTURAL STEEL SHALL CONFORM TO CAN/CSA-G40-21 GRADE 300W. HOLLOW TRUCT. SECTIONS SHALL CONFORM TO CAN/CSA-G40-21 GRADE 350W CLASS "H". 2) REINFORCING STEEL SHALL CONFORM TO CSA-G30-18M GRADE 400R.

2.6. FLAT ARCHES

1) FOR 8-0" (2440) CEILINGS, FLAT ARCHES SHALL BE 6'-10" (2080) A.F.F. 2) FOR 9'-0" (2740) CEILINGS, FLAT ARCHES SHALL BE 7'-10" (2400) A.F.F. 3) FOR 10'-0" (3040) CEILINGS, FLAT ARCHES SHALL BE 8'-6" (2600) A.F.F. 2.7. ROOF OVERHANGS
1) ALL ROOF OVERHANGS SHALL BE 1'-0" (305). UNLESS NOTED OTHERWISE.

2.8. FLASHING (9.20.13., 9.26.4. & 9.27.3.)) FLASHING MATERIALS & INSTALLATION SHALL CONFORM TO O.B.C.

2.9. GRADING
1) THE BUILDING SHALL BE LOCATED OR THE BUILDING SITE GRADED SO THE WATER WILL NOT ACCUMULATE AT OR NEAR THE BUILDING AND WILL NOT ADVERSELY AFFECT ADJACENT PROPERTIES. CONFORM TO 9.14.6.

2.10. ULC SPECIFIED ASSEMBLIES
ALL REQUIRED INDIVIDUAL COMPONENTS THAT FORM PART OF ANY 'ULC LISTED ASSEMBLY', SPECIFIED WITHIN THESE DRAWINGS, CANNOT BE ALTERED OR SUBSTITU' FOR ANY OTHER MATERIAL/PRODUCT OR SPECIFIED MANUFACTURER THAT IS IDENTIFIED IN THAT 'SPECIFIED ULC LISTING'. THERE SHALL BE NO DEVIATIONS UNDER ANY CIRCUMSTANCES IN ANY 'ULC LISTED ASSEMBLY' IDENTIFIED IN THESE DRAWINGS.

SECTION 3.0. LEGEND

3.1. WOOD LINTELS AND BUILT-UP WOOD (DIVISION B PART 9. TABLES A8 TO A10 AND A12, A15 & A16)

FOF	FORMING PART OF SENTENCE 9.23.4.2.(3), 9.23.4.2.(4), 9.23.12.3.(1),(3), 9.23.13.8.(2), 9.37.3.1.(1)						
	2"x8" SPRUCE #2		2"x10" SPRUCE #2		2"x12" SPRUCE #2		
L1	2/2"x8" (2/38x184)	L3	2/2"x10" (2/38x235)	L5	2/2"x12" (2/38x286)		
B1	3/2"x8" (3/38x184)	ВЗ	3/2"x10" (3/38x235)	B5	3/2"x12" (3/38x286)		
B2	4/2"x8" (4/38x184)	B4	4/2"x10" (4/38x235)	B6	4/2"x12" (4/38x286)		
B7	5/2"x8" (5/38x184)	B8	5/2"x10" (5/38x235)	В9	5/2"x12" (5/38x286)		
	ENGINEERED LUMBER S	CHE	DULE - GRADE 2.0E (UNLE	SS NO	OTED OTHERWISE)		
1 3/4" x 9 1/2" LVL				1 3/4" x 14" LVL			
LVL2	1-1 3/4"x9 1/2"	LVL3	1-1 3/4"x11 7/8"	LVL10	1-1 3/4"x14"		
LVL4	2-1 3/4"x9 1/2"	LVL6	2-1 3/4"x11 7/8"	LVL11	2-1 3/4"x14"		
LVL5	3-1 3/4"x9 1/2"	LVL7	3-1 3/4"x11 7/8"	LVL12	3-1 3/4"x14"		
LVL8	4-1 3/4"x9 1/2"	LVL9	4-1 3/4"x11 7/8"	LVL13	4-1 3/4"x14"		
	2.2 STEEL LINTELS SUPPORTING MASONBY VENEER						

3.2. STEEL LINTELS SUPPORTING MASONRY VENEER

	(DIVISION B PART 9. TABLE 9.20.5.2.B.) FORMING PART OF SENTENCE 9.20.5.2.(2) & 9.20.5.2.(3)							
CODE	SIZE	BRICK	STONE					
L7	3 1/2" x 3 1/2" x 1/4" (89 x 89 x 6.4)	8'-1" (2.47m)	7'-6" (2.30m)					
L8	4" x 3 1/2" x 1/4" (102 x 89 x 6.4)	8'-9" (2.66m)	8'-1" (2.48m)					
L9	4 7/8" x 3 1/2" x 5/16" (127 x 89 x 7.9)	10'-10" (3.31m)	10'-1" (3.03m)					
L10	4 7/8" x 3 1/2" x 3/8" (127 x 89 x 11)	11'-5" (3.48m)	10'-7" (3.24m)					
L11	5 7/8" x 3 1/2" x 3/8" (152 x 89 x 11)	12'-6" (3.82m)	11'-7" (3.54m)					
L12	7 1/8" x 4" x 3/8" (178 x 102 x 11)	14'-1" (4.30m)	13'-1" (3.99m)					

CONFORMING TO SECTIONS 9.5.11, 9.6., 9.7.2.1, 9.7.5.2, & 9.10.13.10 EXTERIOR | 2"-8" x 6'-8" x 1-3/4" (815 x 2030 x 45) INSULATED MIN. R4 (RSI 0.7) EXTERIOR | 2'-10" x 6'-8" x 1-3/4" (865 x 2030 x 45) INSULATED MIN. R4 (RSI 0.7) EXTERIOR | 3'-0" x 6'-8" x 1-3/4" (915 x 2030 x 45) INSULATED MIN. R4 (RSI 0.7) XTERIOR | 2'-6" x 6'-8" x 1-3/4" (760 x 2030 x 45) INSULATED MIN. R4 (RSI 0.7) EXTERIOR | 2'-8" x 6'-8" x 1-3/4" (815 x 2030 x 45) INS. MIN. R4 (RSI 0.7) (SEE HEX NOTE 20 E | EXTERIOR | 3'-0" x 8'-0" x 1-3/4" (915 x 2440 x 45) INSULATED MIN. R4 (RSI 0.7) A EXTERIOR 2-8" x 6-8" x 1-3/4" (815 x 2030 x 45) 20 MIN. F.R.R. DOOR/FRAME WITH APP. SELF CLOSING DEVIC INTERIOR | 2'-8" x 6'-8" x 1-3/8" (815 x 2030 x 35) INTERIOR | 2'-6" x 6'-8" x 1-3/8" (760 x 2030 x 35) PROVIDE 8'-0" HIGH A | INTERIOR | 2'-4" x 6'-8" x 1-3/8" (710 x 2030 x 35) INTERIOR DOORS FOR ALL 10' CEILING | INTERIOR | 2'-0" x 6'-8" x 1-3/8" (610 x 2030 x 35) CONDITIONS INTERIOR | 2'-2" x 6'-8" x 1-3/8" (660 x 2030 x 35) INTERIOR | 1'-6" x 6'-8" x 1-3/8" (460 x 2030 x 35) 3.4. ACRONYMS

T.IST JOIST ABOVE FINISHED FLOOR FM BEAM BY FLOOR MANUFACTURER LIN LINEN CLOSE IG | FIXED GLASS W/ BLACK BACKING | LVL | LAMINATED VENEER LUMBER OTB/A OPEN TO BELOW/ABOVE BRM BEAM BY ROOF MANUFACTURER PL POINT LOAD CONVENTIONAL ROOF FRAMING PLT | PLATE COMPLETE WITH PRESSURE TREATED [J] DOUBLE JOIST/ TRIPLE JOIST PAINTED DO OVER POWDER ROOM RT | ROOF TRUSS RP | DROPPED F.S. $oxedsymbol{\mathsf{EXTERIOR}}$ INSULATION FINISH SYSTEM $oxedsymbol{\mathsf{FWL}}$ RAIN WATER LEADER SB | SOLID BEARING WOOD POS IG ENGINEEREI EST | ESTIMATED SBFA SB FROM ABOVE FA | FLAT ARCH SJ | SINGLE JOIS FLOOR DRAIN SPR SPRUCE T/O TOP OF FLR | FLOOR TYP TYPICAL GT | GIRDER TRUSS U/S UNDERSIDE HB HOSE BIB WD WOOD IRV HEAT RETURN VENTILATION UNIT WIC WALK IN CLOSET WP WEATHER PROOF WT | HOT WATER TANK

LL ELECTRICAL FACILITIES SHALL BE INSTALLED IN ACCORDANCE WITH SECTION 9.34 S EXHAUST VENT CLASS 'B' VENT DUPLEX OUTLET (HEIGHT AS NOTED A.F DUPLEX OUTLET (12" HIGH) → \$ SWITCH (2/3/4 WAY) HEAVY DUTY OUTLET ROUGH IN FOR ELECTRIC VEHICLE ROUGH IN FOR LECTION (9.34.4) LIGHT FIXTURE (CEILING MOUNTE LIGHT FIXTURE (WALL MOUNTED) □ LIGHT FIXTURE (PULL CHAIN) TELEPHONE JACK CHANDELIER (CEILING MOUNTE CABLE T.V. JACK

SMOKE ALARM (9.10.19.) PROVIDE ONE PER FLOOR, NEAR THE STAIRS CONNECTING THE FLOOR LEVEL. ALARMS ARE TO BE INSTALLED IN EACH SLEEPING ROOM AND IN A LOCATION BETWEEN LEEPING ROOMS AND CONNECTING HALLWAYS AND WIRED TO BE INTERCONNECTED O ACTIVATE ALL ALARMS IF ONE SOUNDS. ALARMS ARE TO BE CONNECTED TO AN LECTRICAL CIRCUIT AND WITH A BATTERY BACKUP. ALARM SIGNAL SHALL MEET IPORAL SOLIND PATTERNS MIN. ALARMS SHALL HAVE A VISUAL SIGNALLING COMPONENT AS PER THE "NATIONAL FIRE ALARM AND SIGNALING CODE 72

CMD CARBON MONOXIDE ALARM (9.33.4.) * CHECK LOCAL BY-LAWS FOR REQUIREMENTS ** A CARBÓN MONOXIDE ALARM(S) CONFORMING TO CAN/CGA-6.19 SHALL BE INSTALLED ON OR NEAR THE CEILING IN EACH DWELLING UNIT ADJACENT TO EACH SLEEPING AREA. CARBON MONOXIDE ALARM(S) UDIBLE WITHIN SLEEPING ROOMS WHEN THE INTERVENING DOORS ARE CLOSED.

SB SOLID BEARING (BUILT-UP WOOD COLUMNS AND STUD POSTS) THE WIDTH OF A WOOD COLUMN SHALL NOT BE LESS THAN THAN THE WIDTH OF SUPPORTED MEMBER. BUILT-UP WOOD COLUMNS SHALL BE NAILED TOGETHER WITH NOT LESS THAN 3" (76) NAILS SPACED NOT MORE THAN 11 3/4" (300) O.C. THE NUMBER OF STUDS IN A WALL DIRECTLY BELOW A GIRDER TRUSS OR ROOF BEAM SHALL ONFORM TO TABLES A-34 TO A-37. (9.17.4., 9.23.10.7.)

TWO STOREY VOLUME SPACE, SEE CONSTRUCTION NOTE 39 VARYING PLATES, BUILT-OUT FLOORS, BEARING WALLS, ICE & WATER SHIELD

EXPOSED BUILDING FACE -O.B.C. 9.10.14. OR 9.10.15.

REFER TO HEX NOTE 35. & DETAILS FOR TYPE AND SPECIFICATIONS.

2 HR. FIREWALL

REFER TO HEX NOTE 40A.

1 HR. PARTY WALL REFER TO HEX NOTE 40. **SECTION 4.0. CLIMATIC DATA**

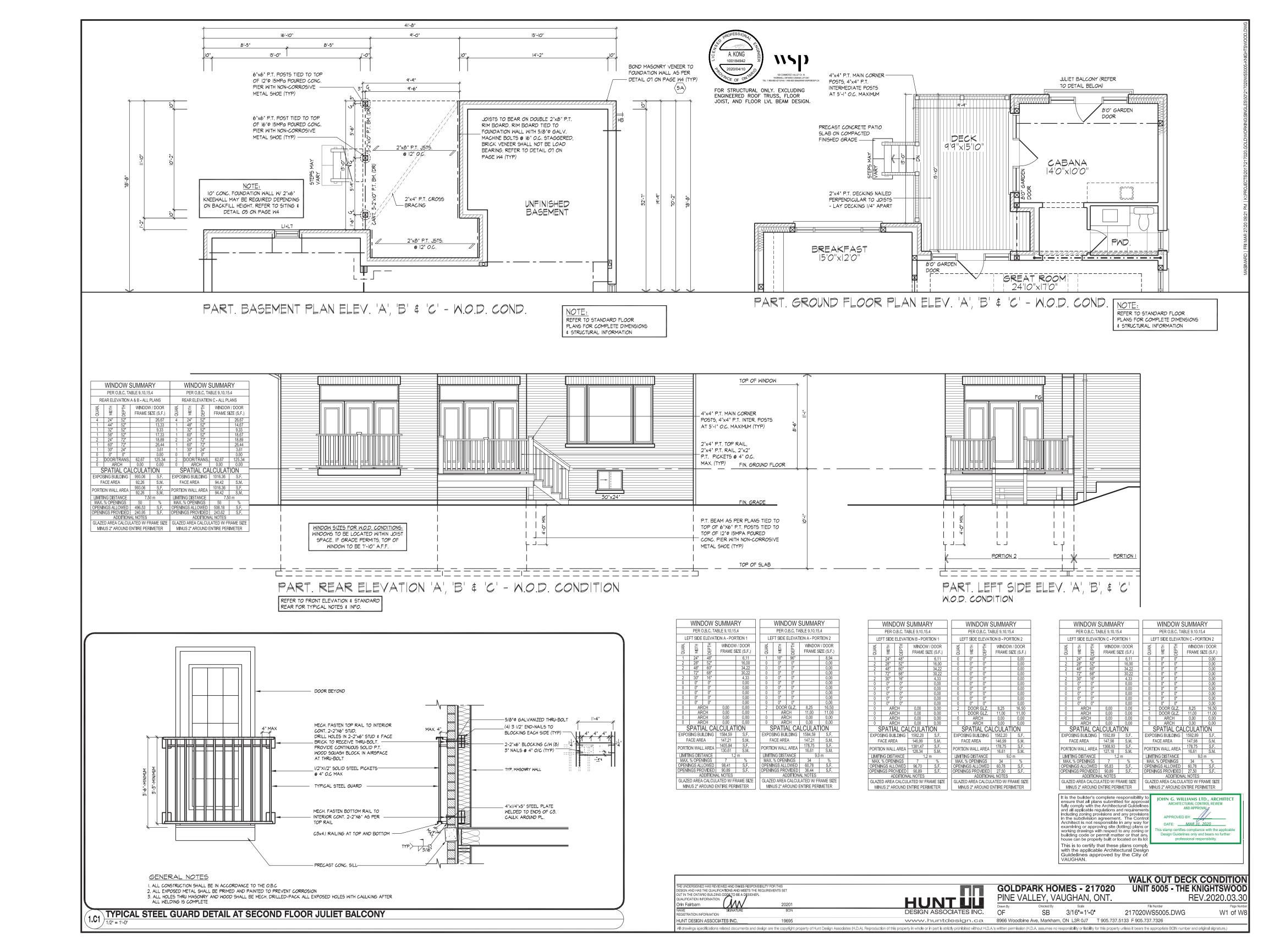
DESIGN SNOW LOAD (9.4.2.2.): 1.01 **kPa** WIND LOAD (q50) (SB-1.2.): 0.44 **kPa**

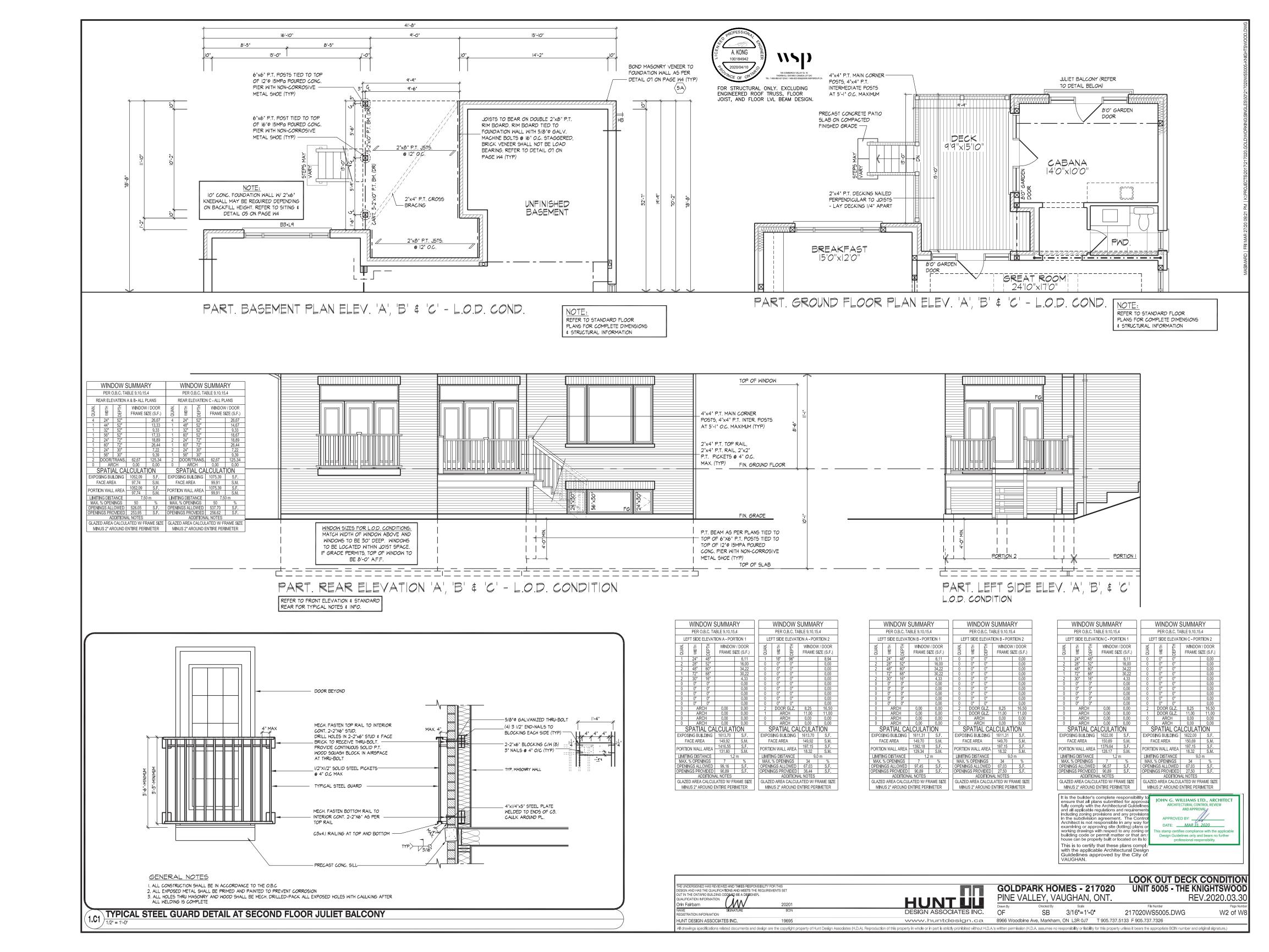


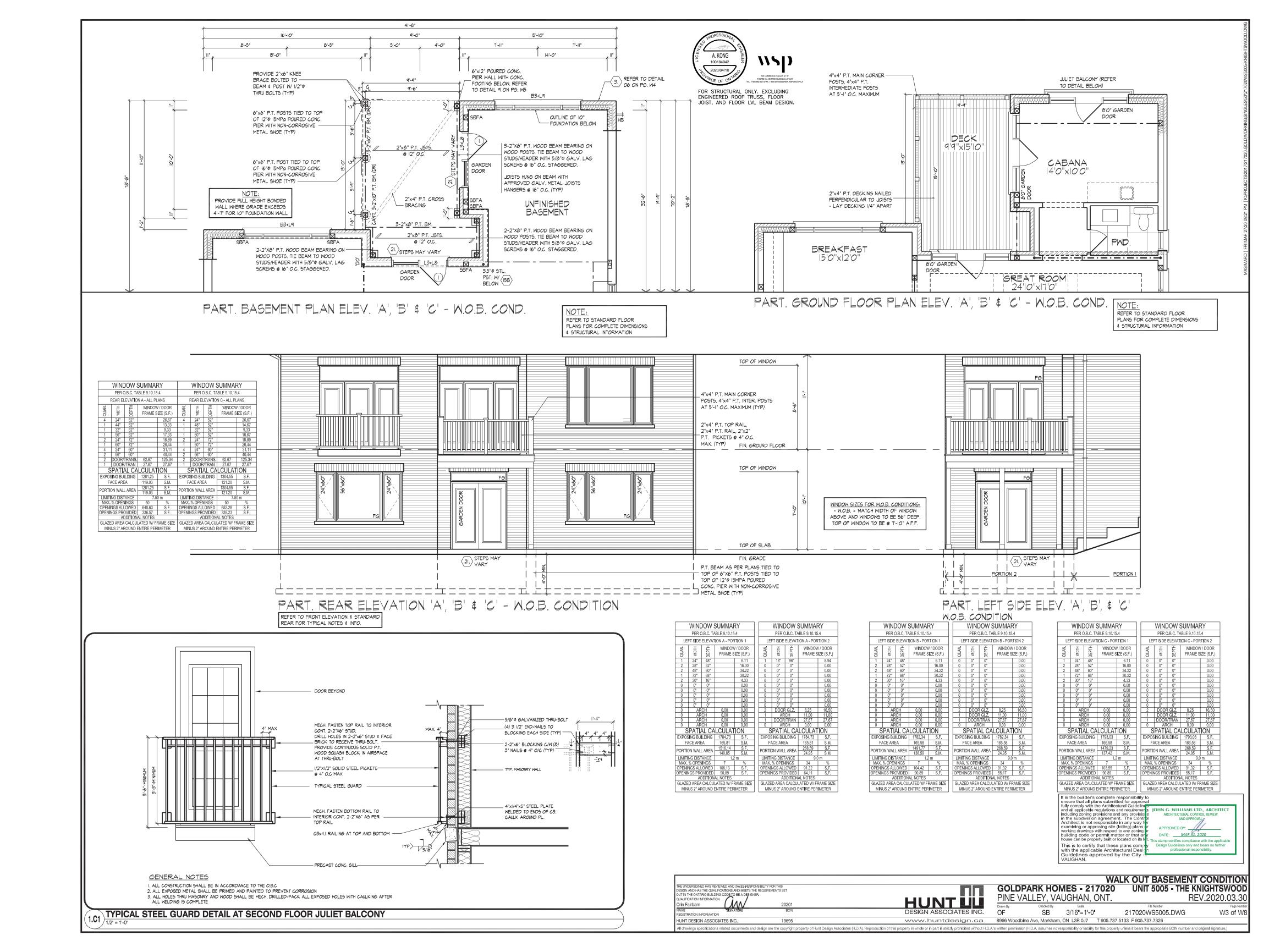
FOR STRUCTURAL ONLY, EXCLUDING ENGINEERED ROOF TRUSS, FLOOR JOIST, AND FLOOR LVL BEAM DESIGN.

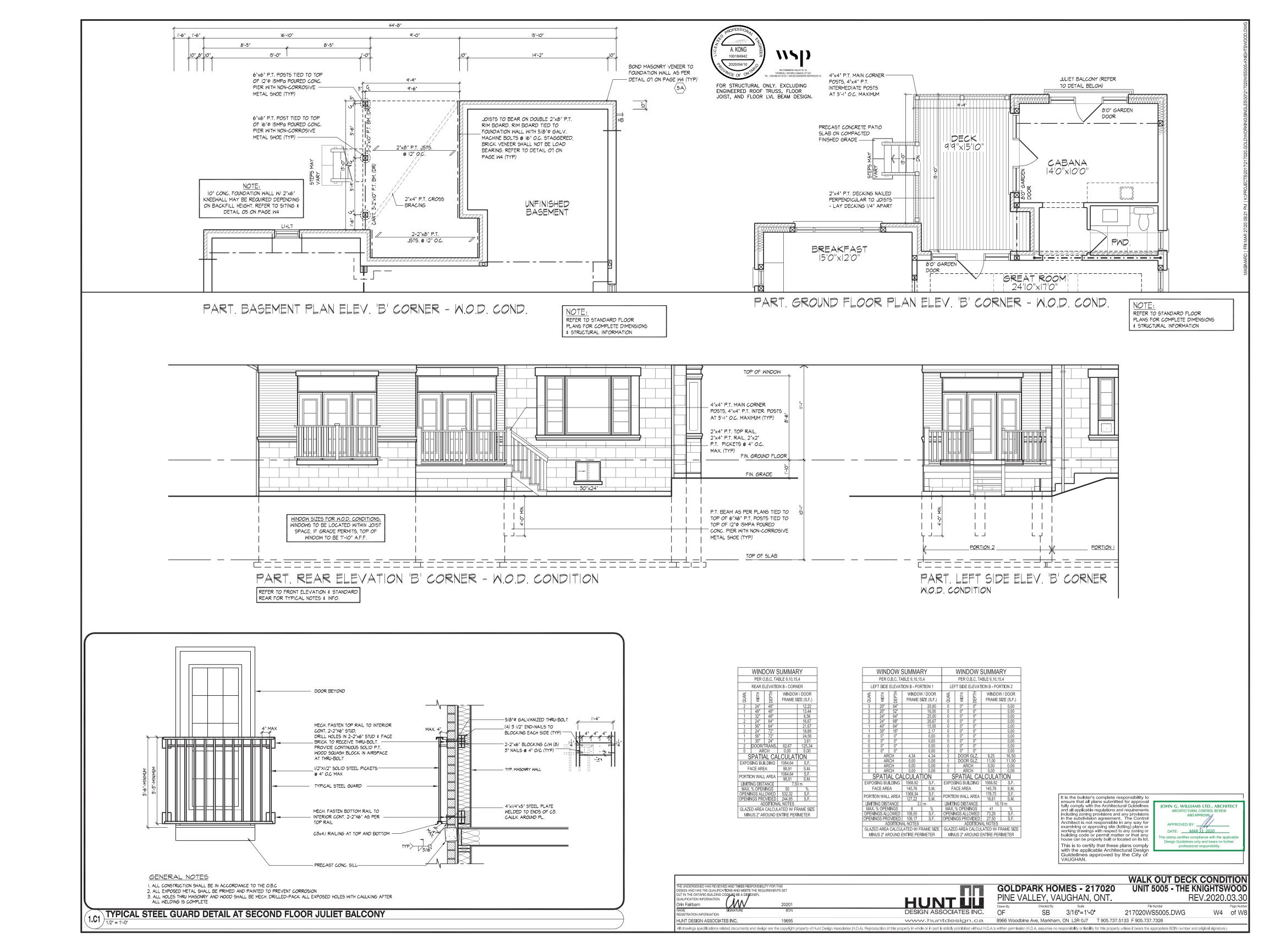
NSTRUCTION NOTE REVISION DATE: MARCH 21, 2018

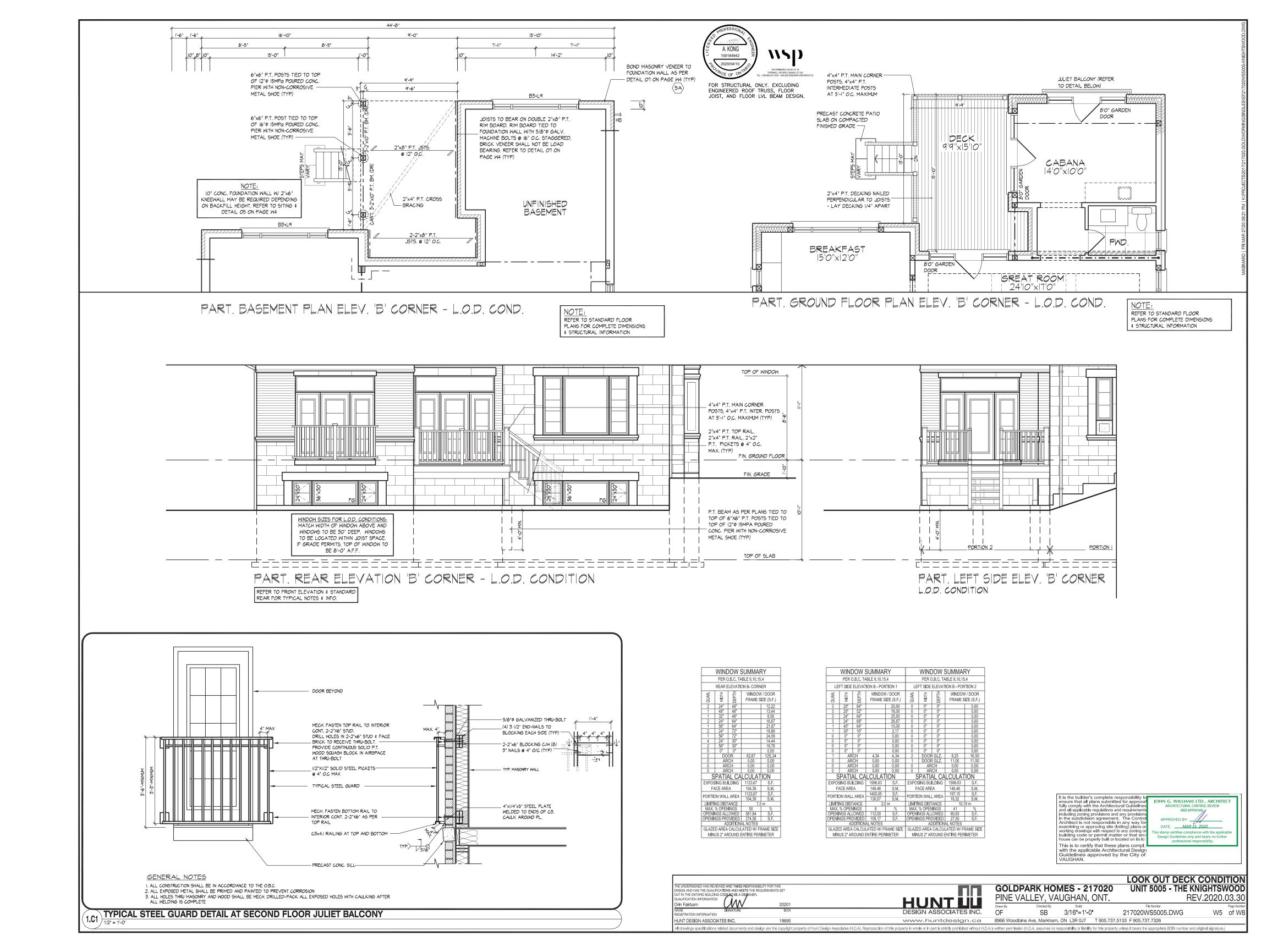
CONSTRUCTION NOTES HE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THE **UNIT 5005 - THE KNIGHTSWOOD GOLDPARK HOMES - 217020** ESIGN AND HAS THE QUALIFICATIONS AND MEETS THE UT IN THE ONTARIO BUILDING CODE TO BE A DESIGNEI PINE VALLEY, VAUGHAN, ONT. REV.2020.03.30 HUNTUU Orin Fairbarn 3/16"=1'-0" 217020WS5005.DWG MN SB 29 of 29 STRATION INFORMATION 8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326 HUNT DESIGN ASSOCIATES INC. www.huntdesign.ca ociates (H.D.A). Reproduction of this property in whole or in part is strictly prohibited without H.D.A.'s written permission (H.D.A. assumes no responsibility or liability or liability for this property unless it bears the appropriate BCIN number and original signature

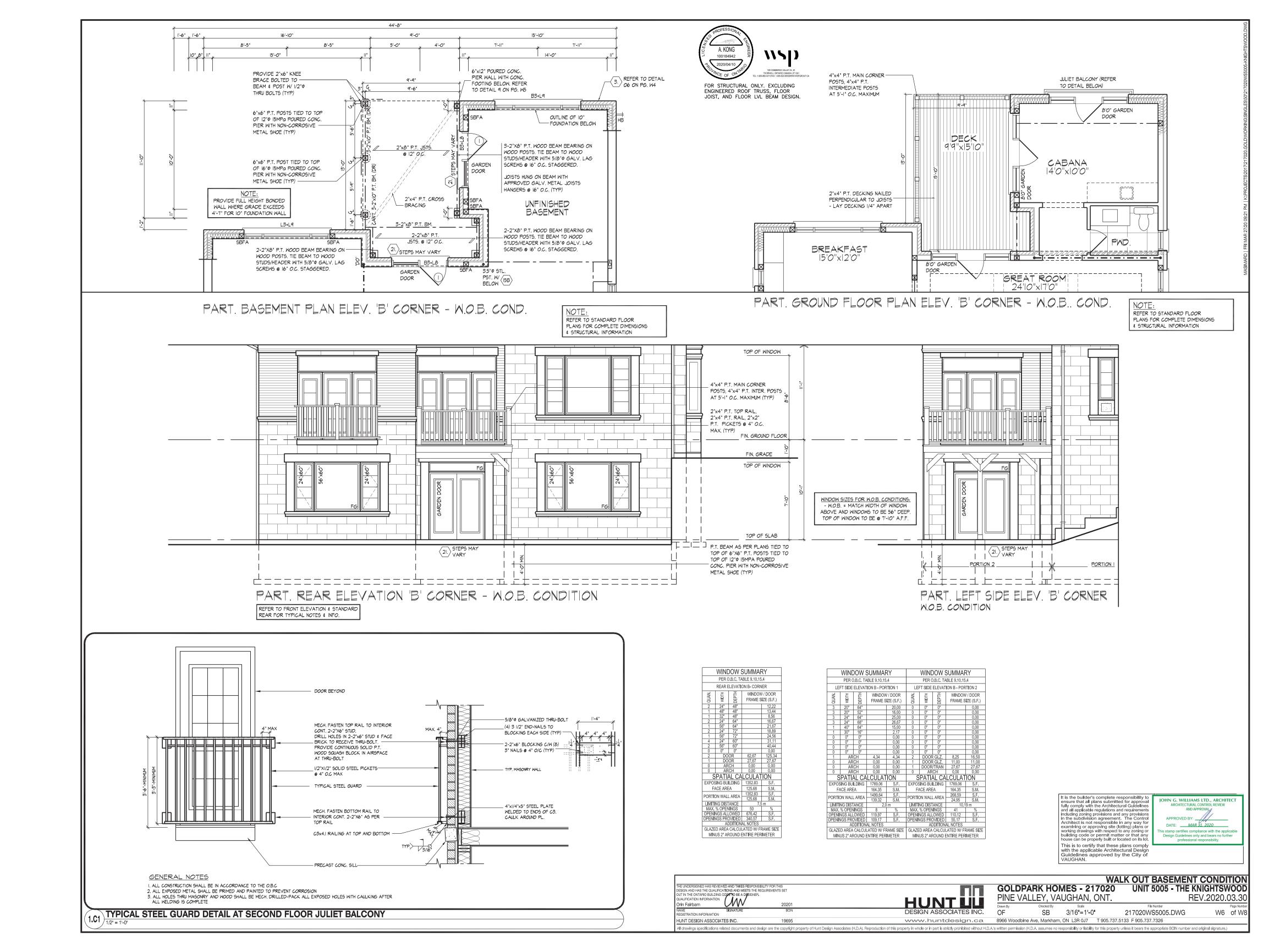


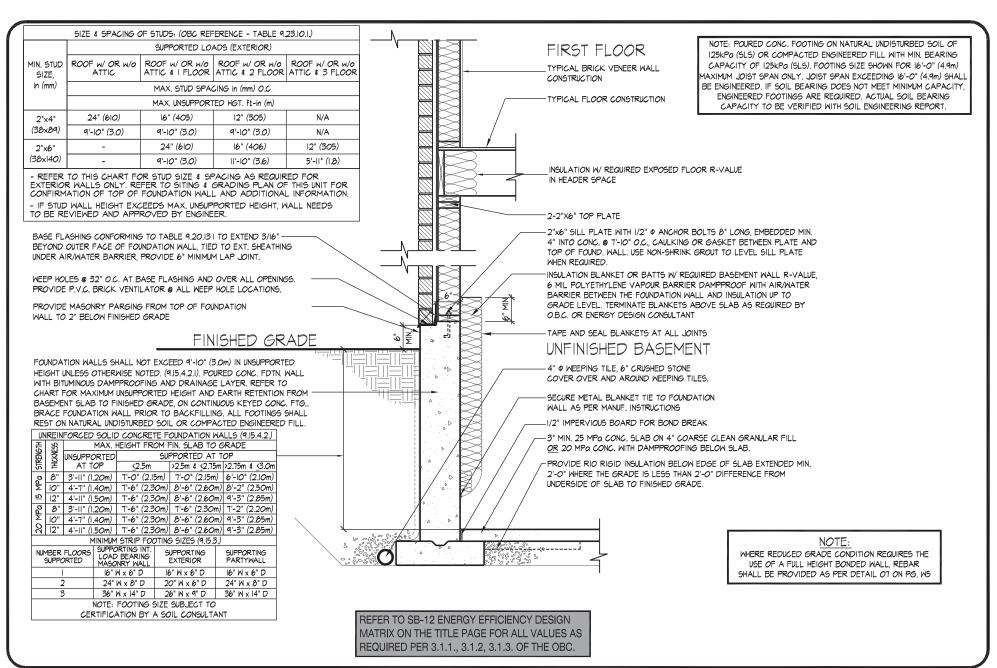




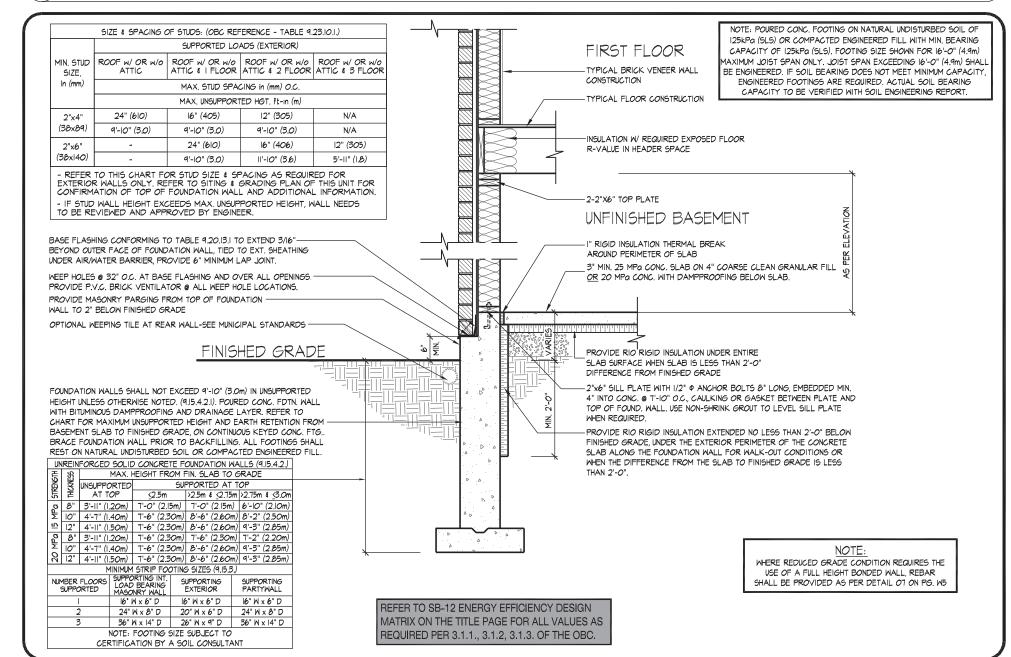






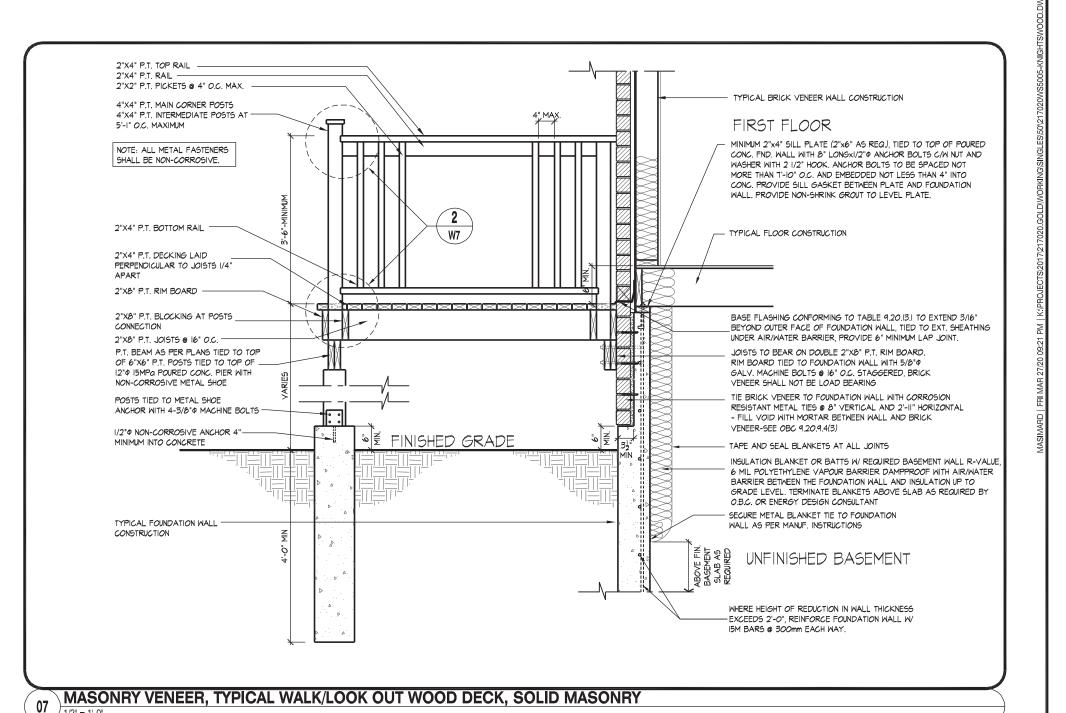


MASONRY VENEER, 2"x6" STUDS, 10" FOUNDATION WALL LATERALLY UNSUPPORTED



MASONRY VENEER, 2"x6" STUDS, SLAB ON GRADE / WALK OUT BASEMENT CONDITION



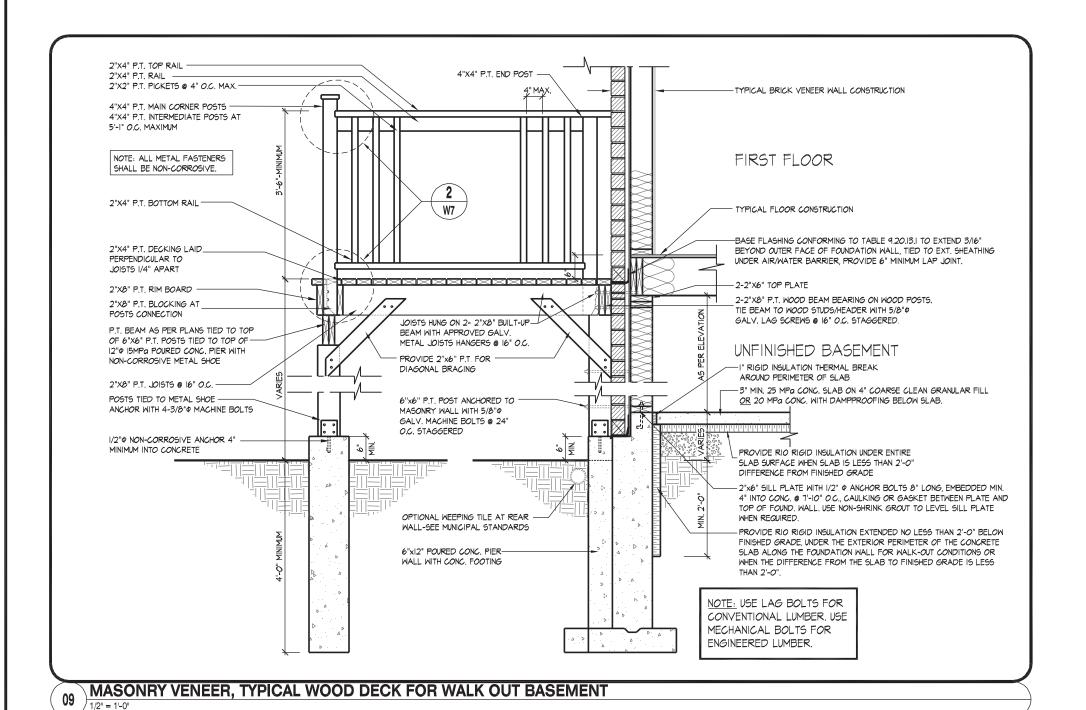


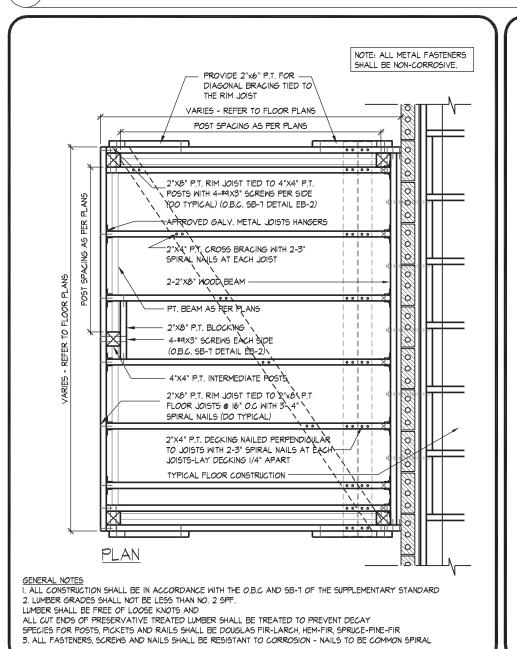
JOISTS TO BEAR ON DOUBLE 2"X8" P.T. RIM BOARD. RIM BOARD TIED TO FOUNDATION WALL WITH 5/8"4 NOTE: ALL METAL FASTENERS GALV. MACHINE BOLTS @ 16" O.C. STAGGERED, BRICK VENEER SHALL NOT BE LOAD BEARING VARIES - REFER TO FLOOR PLANS POST SPACING AS PER PLANS X 2"X8" P.T. RIM JOIST TIED TO 4"X4" P.T. POSTS WITH 4-#9X3" SCREWS PER SIDE RO TYPICAL) (O.B.C. SB-7 DETAIL EB-2) 2"X4" P.T. CROSS BRACING WITH 2-3" SPIRAL MAILS AT EACH JOIST 2"X8" R.T. BLOCKING BETWEEN JOISTS DOUBLE 2"X8" P.T. RIM BOARD BELOW -PT. BEAM AS RER PLANS 2"X8" P.T. BLOCKING 4-#9X3" SCREWS EACH SIDE (O.B.C. SB-7 DETAIL EB-2) - 4"X4" P.T. INTERMEDIATE POST 2"X8" P.T. RIM JOIST TIED TO "X"X8" P.T. FLOOR JOISTS @ 16" O.C WITH 3-4" SPIRAL NAILS (DO TYPICAL) 2"X4" P.T. DECKING NAILED PERPENDIÒŲLÄR TO JOISTS WITH 2-3" SPIRAL NAILS AT EACH JOISTS-LAY DECKING 1/4" APART TYPICAL FLOOR CONSTRUCTION TYPICAL BRICK VENEER WALL CONSTRUCTION GENERAL NOTES

I. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE O.B.C AND SB-1 OF THE SUPPLEMENTARY STANDARD 2. LUMBER GRADES SHALL NOT BE LESS THAN NO. 2 SPF. LUMBER SHALL BE FREE OF LOOSE KNOTS AND ALL CUT ENDS OF PRESERVATIVE TREATED LUMBER SHALL BE TREATED TO PREVENT DECAY SPECIES FOR POSTS PICKETS AND RAILS SHALL BE DOUGLAS FIRM ARCH HEM-FIR SPRICE-PINE-FIR 3. ALL FASTENERS, SCREWS AND NAILS SHALL BE RESISTANT TO CORROSION - NAILS TO BE COMMON SPIRAL

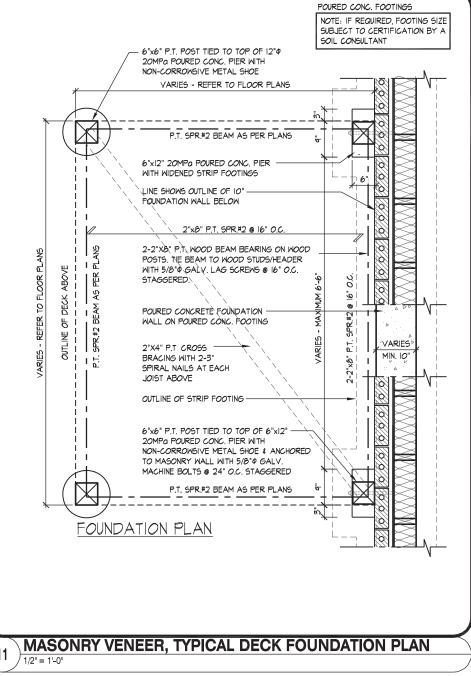
TYP. DECK FRAMING ON WOOD LEDGER, BRICK VENEER

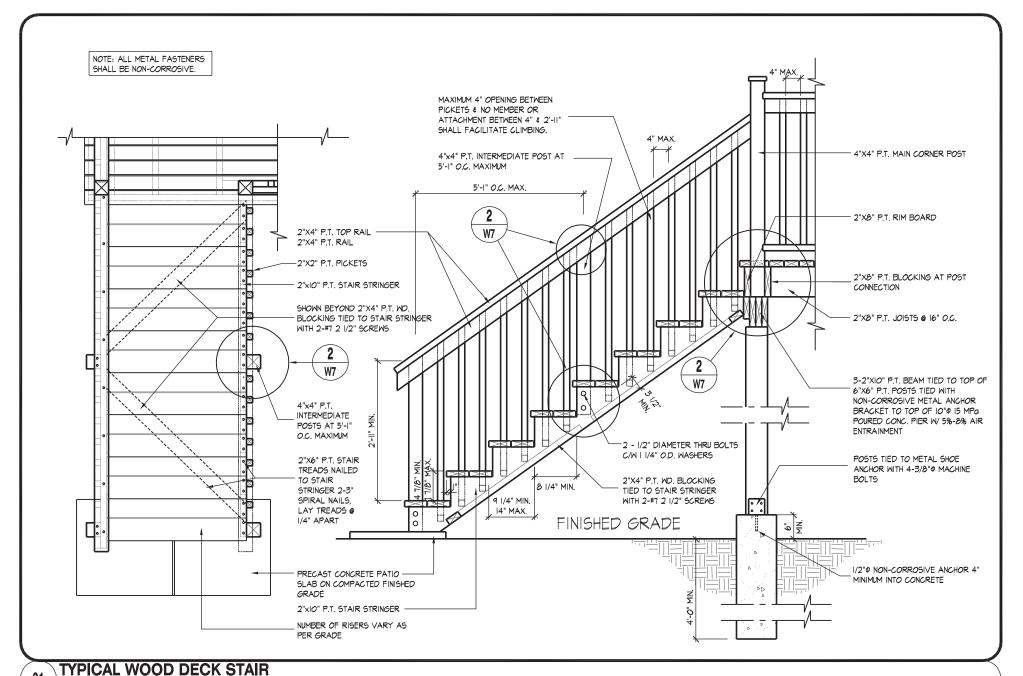
DECK DETAILS 1 HE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THE **GOLDPARK HOMES - 217020 UNIT 5005 - THE KNIGHTSWOOD** DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE DUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER PINE VALLEY, VAUGHAN, ONT. REV.2020.03.30 ÌW HUNTUU Orin Fairbarn HDAI 3/16"=1'-0" 217020WS5005.DWG HDA W7 of W8 STRATION INFORMATION 8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326 HUNT DESIGN ASSOCIATES INC. www.huntdesign.ca

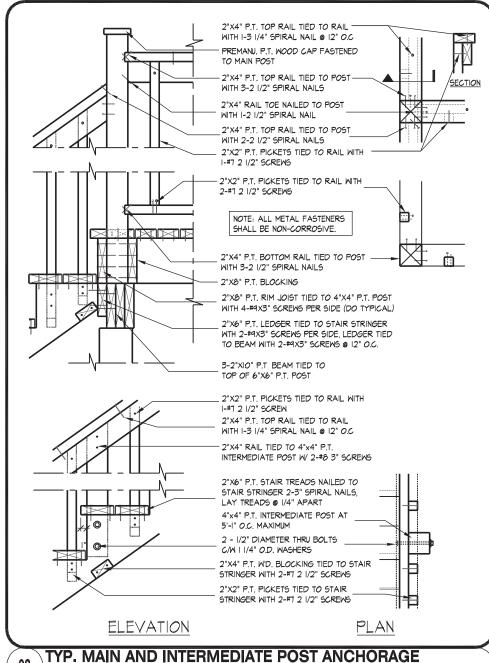




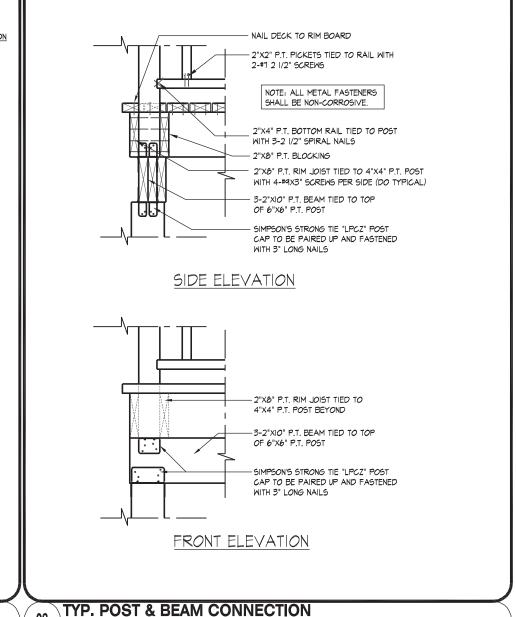
MASONRY VENEER, TYPICAL DECK FRAMING PLAN







1/2" = 1'-0"





DECK DETAILS 2 HE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS **UNIT 5005 - THE KNIGHTSWOOD GOLDPARK HOMES - 217020** DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQU DUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER. PINE VALLEY, VAUGHAN, ONT. REV.2020.03.30 HUNTLU Orin Fairbarn HDAI 3/16"=1'-0" 217020WS5005.DWG W8 of W8 HDA STRATION INFORMATION 8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326 www.huntdesign.ca HUNT DESIGN ASSOCIATES INC.