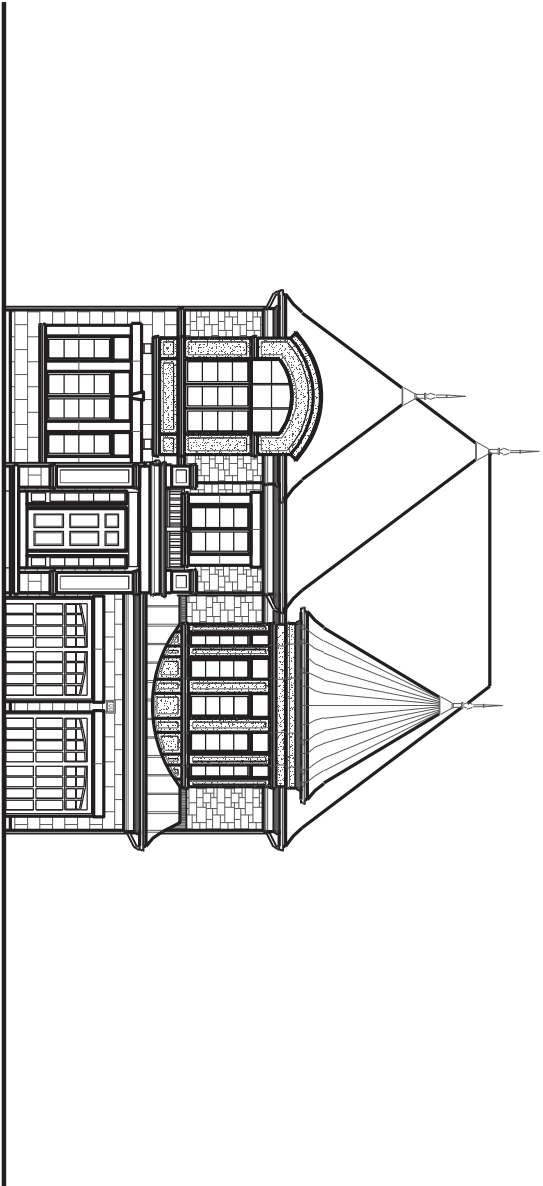
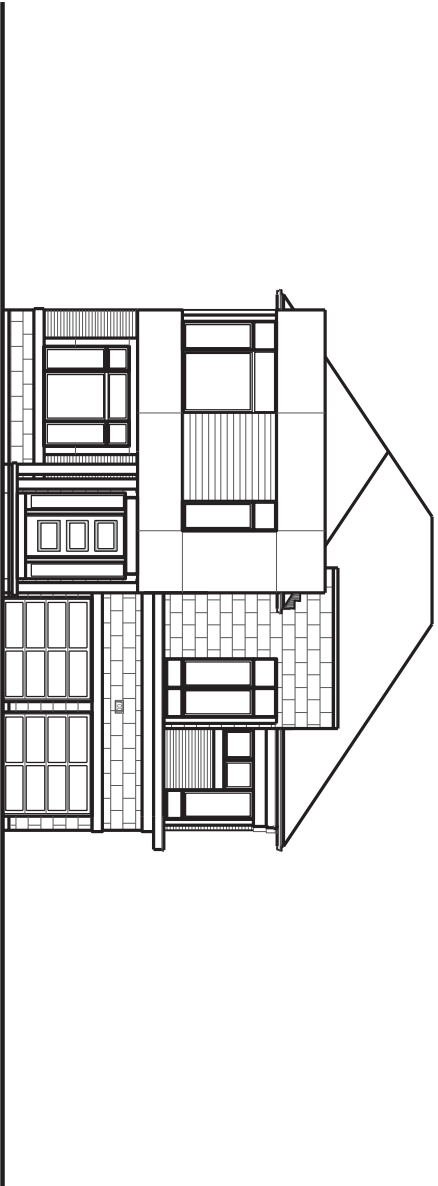


FRONT ELEVATION 'A'



FRONT ELEVATION 'B'



FRONT ELEVATION C

	EL A	EL B	EL C	EL D	EL E	EL F	EL G	EL H	EL I	EL J	EL K	EL L	EL M	EL N	EL O	EL P	EL Q	EL R	EL S	EL T	EL U	EL V	EL W	EL X	EL Y	EL Z	EL AA	EL AB	EL AC	EL AD	EL AE	EL AF	EL AG	EL AH	EL AI	EL AJ	EL AK	EL AL	EL AM	EL AN	EL AO	EL AP	EL AQ	EL AR	EL AS	EL AT	EL AU	EL AV	EL AW	EL AX	EL AY	EL AZ	EL BA	EL BB	EL BC	EL BD	EL BE	EL BF	EL BG	EL BH	EL BI	EL BJ	EL BK	EL BL	EL BM	EL BN	EL BO	EL BP	EL BQ	EL BR	EL BS	EL BT	EL BU	EL BV	EL BW	EL BX	EL BY	EL BZ	EL CA	EL CB	EL CC	EL CD	EL CE	EL CF	EL CG	EL CH	EL CI	EL CJ	EL CK	EL CL	EL CM	EL CN	EL CO	EL CP	EL CQ	EL CR	EL CS	EL CT	EL CU	EL CV	EL CW	EL CX	EL CY	EL CZ	EL DA	EL DB	EL DC	EL DD	EL DE	EL DF	EL DG	EL DH	EL DI	EL DJ	EL DK	EL DL	EL DM	EL DN	EL DO	EL DP	EL DQ	EL DR	EL DS	EL DT	EL DU	EL DV	EL DW	EL DX	EL DY	EL DZ	EL EA	EL EB	EL EC	EL ED	EL EE	EL EF	EL EG	EL EH	EL EI	EL EJ	EL EK	EL EL	EL EM	EL EN	EL EO	EL EP	EL EQ	EL ER	EL ES	EL ET	EL EU	EL EV	EL EW	EL EX	EL EY	EL EZ	EL FA	EL FB	EL FC	EL FD	EL FE	EL FF	EL FG	EL FH	EL FI	EL FJ	EL FK	EL FL	EL FM	EL FN	EL FO	EL FP	EL FQ	EL FR	EL FS	EL FT	EL FU	EL FV	EL FW	EL FX	EL FY	EL FZ	EL GA	EL GB	EL GC	EL GD	EL GE	EL GF	EL GG	EL GH	EL GI	EL GJ	EL GK	EL GL	EL GM	EL GN	EL GO	EL GP	EL GQ	EL GR	EL GS	EL GT	EL GU	EL GV	EL GW	EL GX	EL GY	EL GZ	EL HA	EL HB	EL HC	EL HD	EL HE	EL HF	EL HG	EL HH	EL HI	EL HJ	EL HK	EL HL	EL HM	EL HN	EL HO	EL HP	EL HQ	EL HR	EL HS	EL HT	EL HU	EL HV	EL HW	EL HX	EL HY	EL HZ	EL IA	EL IB	EL IC	EL ID	EL IE	EL IF	EL IG	EL IH	EL II	EL IJ	EL IK	EL IL	EL IM	EL IN	EL IO	EL IP	EL IQ	EL IR	EL IS	EL IT	EL IU	EL IV	EL IW	EL IX	EL IY	EL IZ	EL JA	EL JB	EL JC	EL JD	EL JE	EL JF	EL JG	EL JH	EL JI	EL JJ	EL JK	EL JL	EL JM	EL JN	EL JO	EL JP	EL JQ	EL JR	EL JS	EL JT	EL JU	EL JV	EL JW	EL JX	EL JY	EL JZ	EL KA	EL KB	EL KC	EL KD	EL KE	EL KF	EL KG	EL KH	EL KI	EL KJ	EL KK	EL KL	EL KM	EL KN	EL KO	EL KP	EL KQ	EL KR	EL KS	EL KT	EL KU	EL KV	EL KW	EL KX	EL KY	EL KZ	EL LA	EL LB	EL LC	EL LD	EL LE	EL LF	EL LG	EL LH	EL LI	EL LJ	EL LK	EL LL	EL LM	EL LN	EL LO	EL LP	EL LQ	EL LR	EL LS	EL LT	EL LU	EL LV	EL LW	EL LX	EL LY	EL LZ	EL MA	EL MB	EL MC	EL MD	EL ME	EL MF	EL MG	EL MH	EL MI	EL MJ	EL MK	EL ML	EL MN	EL MO	EL MP	EL MQ	EL MR	EL MS	EL MT	EL MU	EL MV	EL MW	EL MX	EL MY	EL MZ	EL NA	EL NB	EL NC	EL ND	EL NE	EL NF	EL NG	EL NH	EL NI	EL NJ	EL NK	EL NL	EL NM	EL NN	EL NO	EL NP	EL NQ	EL NR	EL NS	EL NT	EL NU	EL NV	EL NW	EL NX	EL NY	EL NZ	EL OA	EL OB	EL OC	EL OD	EL OE	EL OF	EL OG	EL OH	EL OI	EL OJ	EL OK	EL OL	EL OM	EL ON	EL OO	EL OP	EL OQ	EL OR	EL OS	EL OT	EL OU	EL OV	EL OW	EL OX	EL OY	EL OZ	EL PA	EL PB	EL PC	EL PD	EL PE	EL PF	EL PG	EL PH	EL PI	EL PJ	EL PK	EL PL	EL PM	EL PN	EL PO	EL PP	EL PQ	EL PR	EL PS	EL PT	EL PU	EL PV	EL PW	EL PX	EL PY	EL PZ	EL QA	EL QB	EL QC	EL QD	EL QE	EL QF	EL QG	EL QH	EL QI	EL QJ	EL QK	EL QL	EL QM	EL QN	EL QO	EL QP	EL QQ	EL QR	EL QS	EL QT	EL QU	EL QV	EL QW	EL QX	EL QY	EL QZ	EL RA	EL RB	EL RC	EL RD	EL RE	EL RF	EL RG	EL RH	EL RI	EL RJ	EL RK	EL RL	EL RM	EL RN	EL RO	EL RP	EL RQ	EL RR	EL RS	EL RT	EL RU	EL RV	EL RW	EL RX	EL RY	EL RZ	EL SA	EL SB	EL SC	EL SD	EL SE	EL SF	EL SG	EL SH	EL SI	EL SJ	EL SK	EL SL	EL SM	EL SN	EL SO	EL SP	EL SQ	EL SR	EL SS	EL ST	EL SU	EL SV	EL SW	EL SX	EL SY	EL SZ	EL TA	EL TB	EL TC	EL TD	EL TE	EL TF	EL TG	EL TH	EL TI	EL TJ	EL TK	EL TL	EL TM	EL TN	EL TO	EL TP	EL TQ	EL TR	EL TS	EL TT	EL TU	EL TV	EL TW	EL TX	EL TY	EL TZ	EL UA	EL UB	EL UC	EL UD	EL UE	EL UF	EL UG	EL UH	EL UI	EL UJ	EL UK	EL UL	EL UM	EL UN	EL UO	EL UP	EL UQ	EL UR	EL US	EL UT	EL UU	EL UV	EL UW	EL UX	EL UY	EL UZ	EL VA	EL VB	EL VC	EL VD	EL VE	EL VF	EL VG	EL VH	EL VI	EL VJ	EL VK	EL VL	EL VM	EL VN	EL VO	EL VP	EL VQ	EL VR	EL VS	EL VT	EL VU	EL VV	EL VW	EL VX	EL VY	EL VZ	EL WA	EL WB	EL WC	EL WD	EL WE	EL WF	EL WG	EL WH	EL WI	EL WJ	EL WK	EL WL	EL WM	EL WN	EL WO	EL WP	EL WQ	EL WR	EL WS	EL WT	EL WU	EL WV	EL WW	EL WX	EL WY	EL WZ	EL XA	EL XB	EL XC	EL XD	EL XE	EL XF	EL XG	EL XH	EL XI	EL XJ	EL XK	EL XL	EL XM	EL XN	EL XO	EL XP	EL XQ	EL XR	EL XS	EL XT	EL XU	EL XV	EL XW	EL XX	EL XY	EL XZ	EL YA	EL YB	EL YC	EL YD	EL YE	EL YF	EL YG	EL YH	EL YI	EL YJ	EL YK	EL YL	EL YM	EL YN	EL YO	EL YP	EL YQ	EL YR	EL YS	EL YT	EL YU	EL YV	EL YW	EL YX	EL YY	EL YZ	EL ZA	EL ZB	EL ZC	EL ZD	EL ZE	EL ZF	EL ZG	EL ZH	EL ZI	EL ZJ	EL ZK	EL ZL	EL ZM	EL ZN	EL ZO	EL ZP	EL ZQ	EL ZR	EL ZS	EL ZT	EL ZU	EL ZV	EL ZW	EL ZX	EL ZY	EL ZZ
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[illegible]

- 1 - TITLE PAGE
- 2 - BASEMENT PLAN, E.L.'A'
- 3 - GROUND FLOOR PLAN, E.L.'A'
- 4 - SECOND FLOOR PLAN, E.L.'A'
- 5 - PART. OPT. 5 BEDROOM SECOND FLOOR PLAN, E.L.'A' (E.L. 'B' & 'C' SIMILAR)
- 6 - PART. STD. PLANS, ELEVATION B
- 7 - BASEMENT PLAN, E.L.'B' CONCEPT

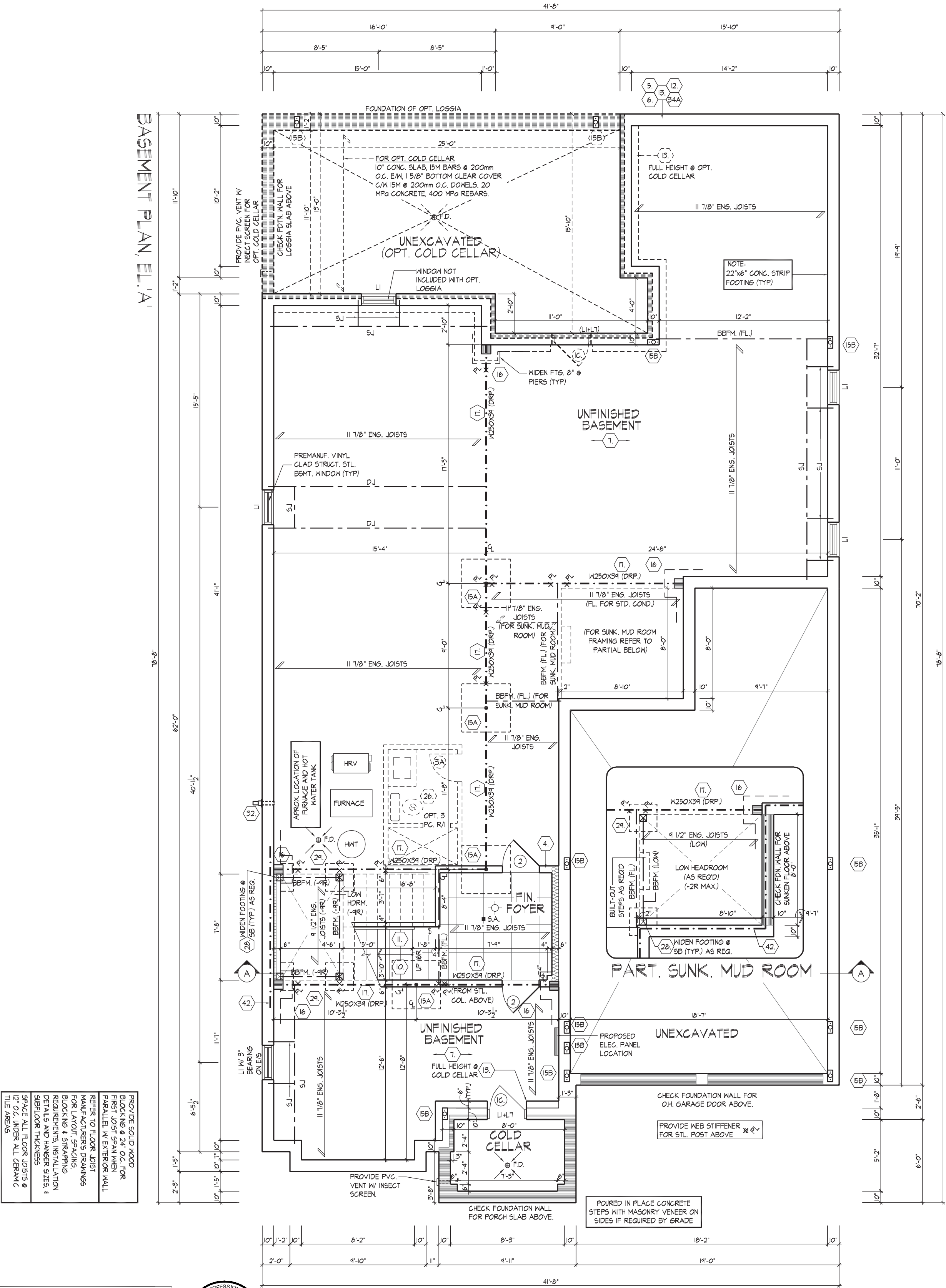
- 8 - GROUND FLOOR PLAN, EL.'B' - CORNER
- 9 - SECOND FLOOR PLAN, EL.'B' - CORNER
- 10 - PART. SSMT., GRND. & SECOND FLOOR PLAN 'A' W/ OPT. ELEVATOR (EL. 'B' & 'C' SIMILAR)
- 11 - PART. OPT. SERVICE STAIR & ELEVATOR, EL. 'A'
- 12 - PART. OPT. 5 BEDROOM SECOND FLOOR PLAN, EL.'A' - W/ ELEVATOR (EL. 'B' & 'C' SIMILAR)
- 13 - PART. STD. PLANS, ELEVATION 'C'
- 14 - FRONT ELEVATION 'A' & REAR ELEVATION 'A' & 'B'
- 16 - LEFT SIDE ELEVATION 'A'
- 17 - RIGHT SIDE ELEVATION 'A'
- 18 - FRONT ELEVATION 'B'
- 19 - LEFT SIDE ELEVATION 'B'
- 20 - RIGHT SIDE ELEVATION 'B'
- 21 - UPGRADED REAR ELEVATION 'B'
- 222 - FRONT ELEVATION 'B' - CORNER
- 223 - UPGRADE LEFT SIDE ELEVATION 'B' - CORNER
- 224 - RIGHT SIDE ELEVATION 'B' - CORNER
- 225 - UPGRADED REAR ELEVATION 'B' - CORNER
- 226 - FRONT & REAR ELEVATION 'C'
- 227 - LEFT SIDE ELEVATION 'C'
- 228 - RIGHT SIDE ELEVATION 'C'

W1 - WALK

- w2 - LOOK OUT DECK CONDITION
- w3 - WALK OUT BASEMENT CONDITION
- w4 - WALK OUT DECK CONDITION
- w5 - LOOK OUT DECK CONDITION
- w6 - WALK OUT BASEMENT CONDITION
- w7 - DECK DETAILS 1
- w8 - DECK DETAILS 2

 			
7. -	-	-	-
6. -	-	-	-
5. -	-	-	-
4. -	-	-	-
3. -	-	-	-
2. REV/AS PER FLOOR, ROOF AND STRUCTURAL ENGINEER ISSUE FOR PERMIT	2020.03.30	MAS	
1. REVISED DESIGN AS PER CLIENT COMMENTS	2019/11/26	BB	
REVISIONS	DATE (YYYYMMDD)	BY	

BASEMENT PLAN, E.L. A



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: [Signature]
DATE: MAR 31, 2020

This stamp certifies compliance with the applicable
Design Guidelines only and bears no further
professional responsibility.

wsp

100 COMMERCE VALLEY DR. W.
THORNHILL ONTARIO CANADA L3T 0A1
TEL: 1-800-882-4211/FAX: 1-800-823-3055/WWW.WSPGROUP.CA

FOR STRUCTURAL ONLY. EXCLUDING
ENGINEERED ROOF TRUSS, FLOOR
JOIST, AND FLOOR LVL BEAM DESIGN.

[illegible]

MASONRY WALL NON-LOAD BEARING	MASONRY WALL NOTE 1. SOLID MASONRY WALL W/ 3'-10M VERT. REBARS (LAP 1'-6" GROUTED INTO BRICK JOINT)
	MASONRY WALL TO BE TIED TO THE BOTTOM OF PORTICO ROOF W/ CORROSION RESISTANT METAL TIES @ 24" O.C. USING 3-1/2" NAILS EACH
	MASONRY VENEER TIED TO MASONRY VENEER WITH GALV. METAL TIES @ 16" O.C. AND 24" VERTICAL. FILL VOID BETWEEN MASONRY VENEER W/YES SOLID W/ MORTAR

It is the builder's complete responsibility to ensure that all plans submitted for approval comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for the design of the proposed building or for working drawings with respect to any zoning or other regulatory requirements. The proposed house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY:
DATE: MAR 31, 2020

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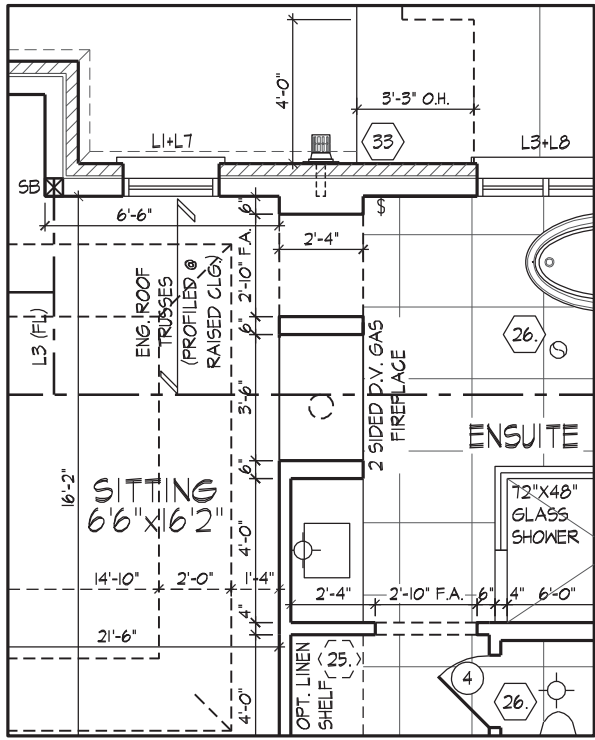
JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: 
DATE: MAR 31, 2020

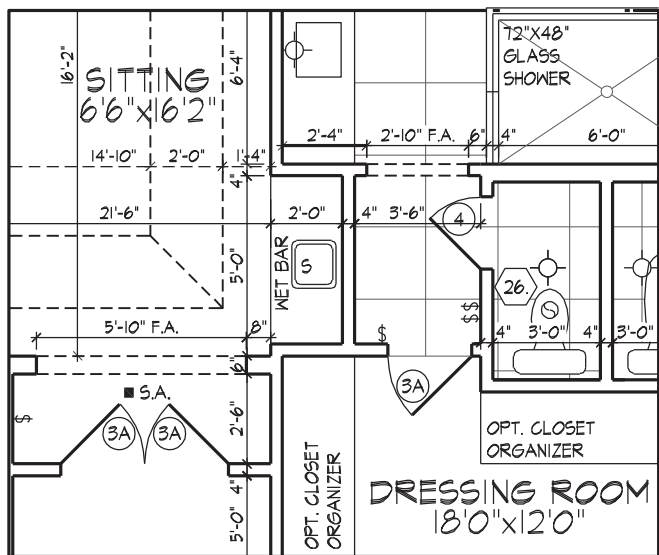
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WSP
130-COMMERCE VALLEY DR. W.
THORNHILL ONTARIO CANADA L1T 0A1

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JOIST, AND FLOOR LVL BEAM DESIGN.

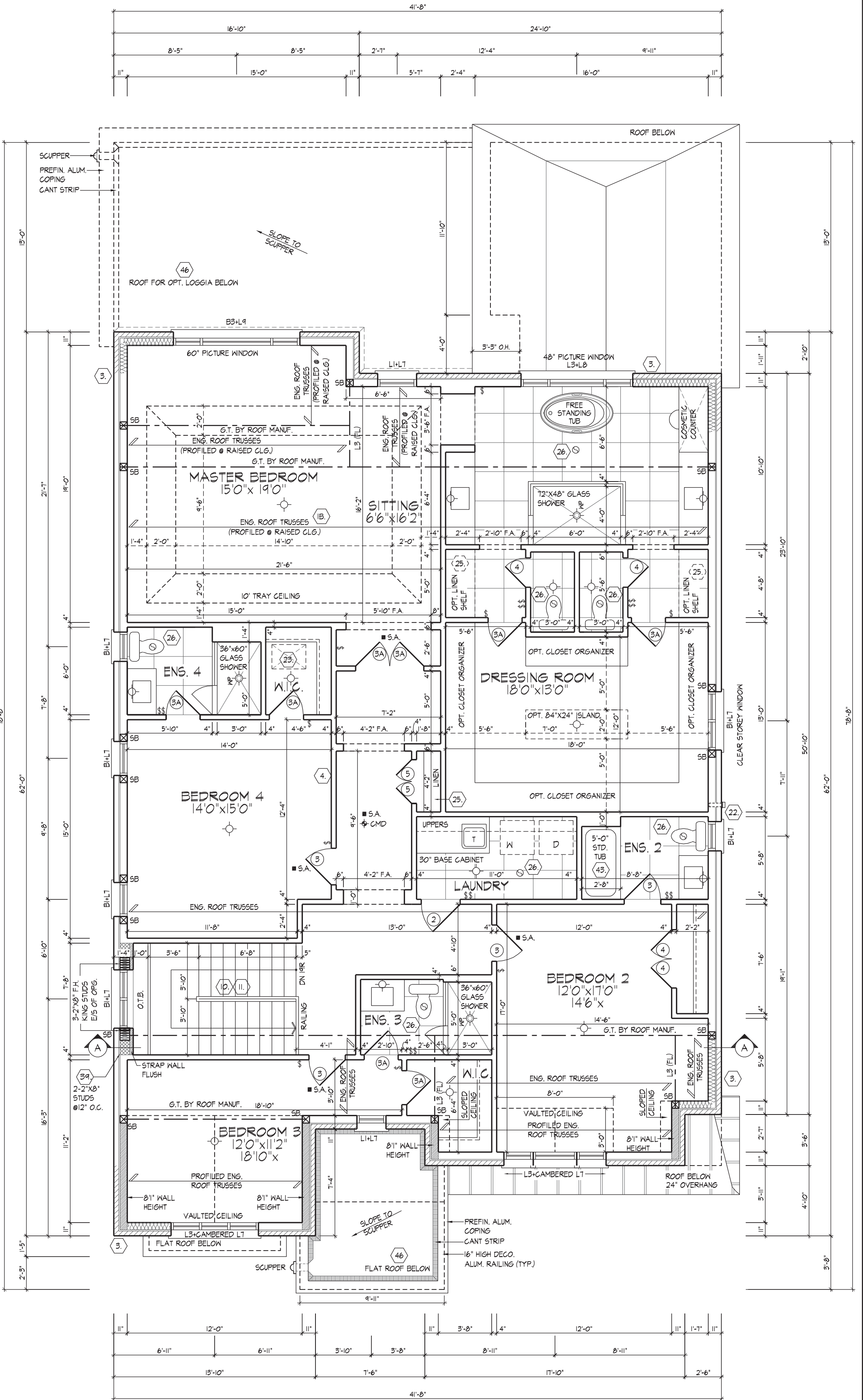


PART. SECOND FLOOR PLAN EL. 'A'
OPT. SITTING AREA FIREPLACE
ELEV. 'B' & 'C' SIMILAR
(STANDARD SECOND FLOOR PLAN ONLY)



PART. SECOND FLOOR PLAN EL. 'A'
OPT. SITTING AREA NET BAR
ELEV. 'B' & 'C' SIMILAR
(STANDARD SECOND FLOOR PLAN ONLY)

SECOND FLOOR PLAN, E.L. 'A'



REFER TO ROOF TRUSS
MANUFACTURER'S DRAWINGS
FOR LAYOUT, SPACING, AND
INSTALLATION DETAILS AND
HANGER SIZES.

PROVIDE 6 CURBS &
WAT TO EXTERIOR & MAIN
FLOOR LEVEL.

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

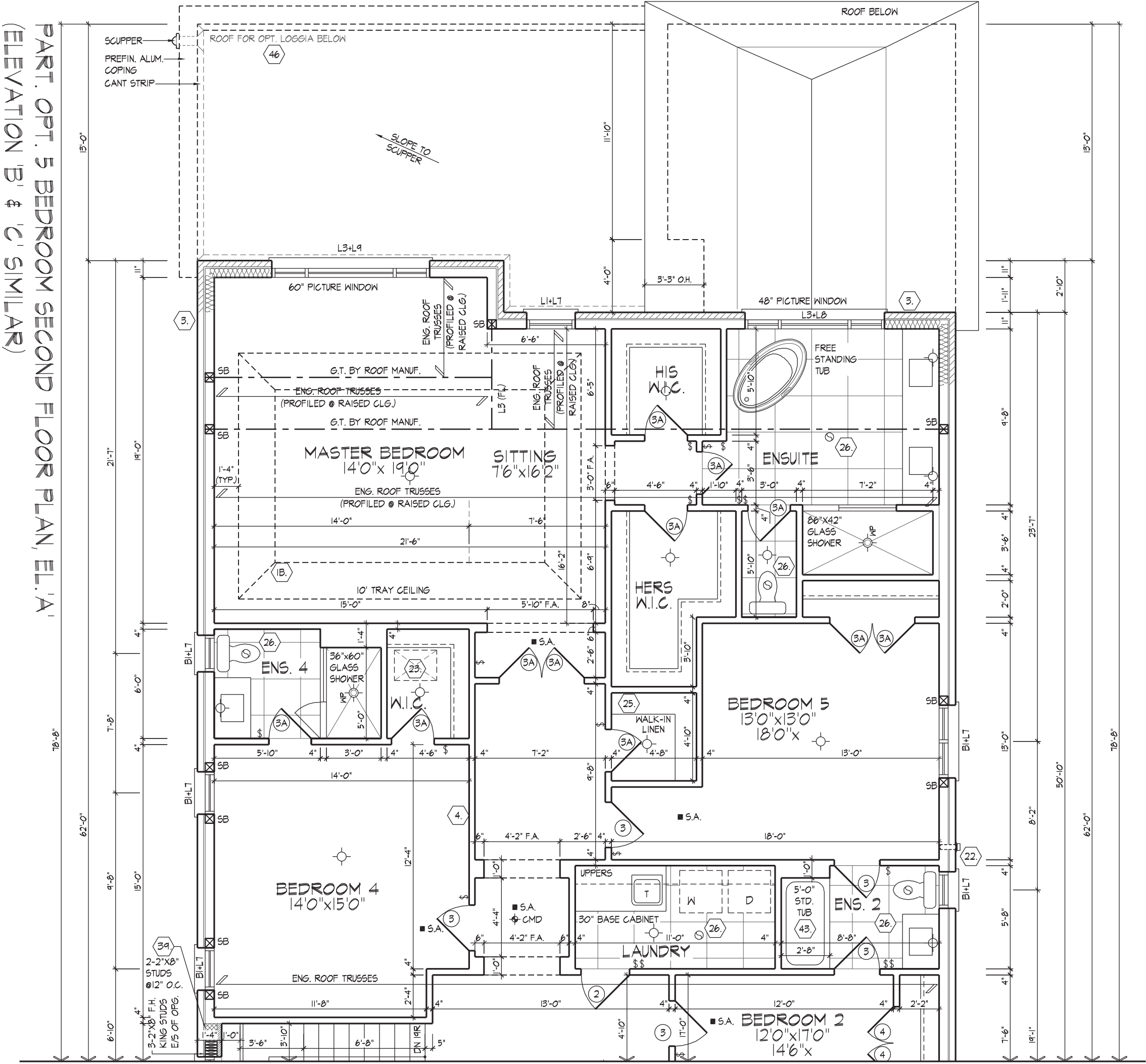
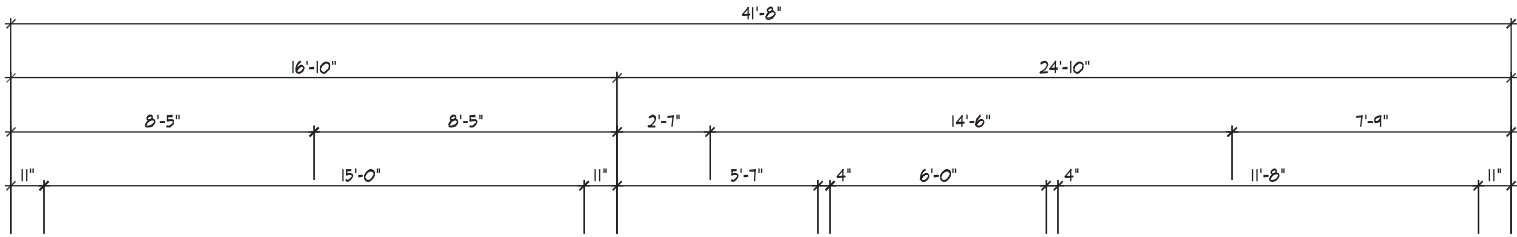
JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: [Signature]
DATE: MAR 31 2020

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FOR STRUCTURAL ONLY, EXCLUDING
ENGINEERED ROOF TRUSS, FLOOR
JOIST, AND FLOOR LVL. BEAM DESIGN.



REFER TO STANDARD PLAN FOR COMPLETE CONSTRUCTION NOTES & DIMENSIONS
REFER TO ROOF TRUSS MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, INSTALLATION DETAILS AND HANGER SIZES.

PART. OPT. 5 BEDROOM SECOND FLOOR PLAN, EL.'A'
(ELEVATION 'B' & 'C' SIMILAR)

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE DESIGN PROFESSIONAL ACT, 1990.

DATE: 2020/01

DESIGN ASSOCIATES INC.

1990S

217020WS0005.DWG

5 of 29

PART. OPT. 5 BEDROOM SECOND FLOOR PLAN, EL.'A' (EL. 'B' & 'C' SIMILAR)

GOLDPARK HOMES - 217020 UNIT 5005 - THE KNIGHTSWOOD

PINE VALLEY, VAUGHAN, ONT.

Drawn By: SB

Checked By: SB

Scale: 3/16"=1'-0"

File Number: 217020WS0005.DWG

Rev: 2020.03.30

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL

APPROVED BY: [Signature]

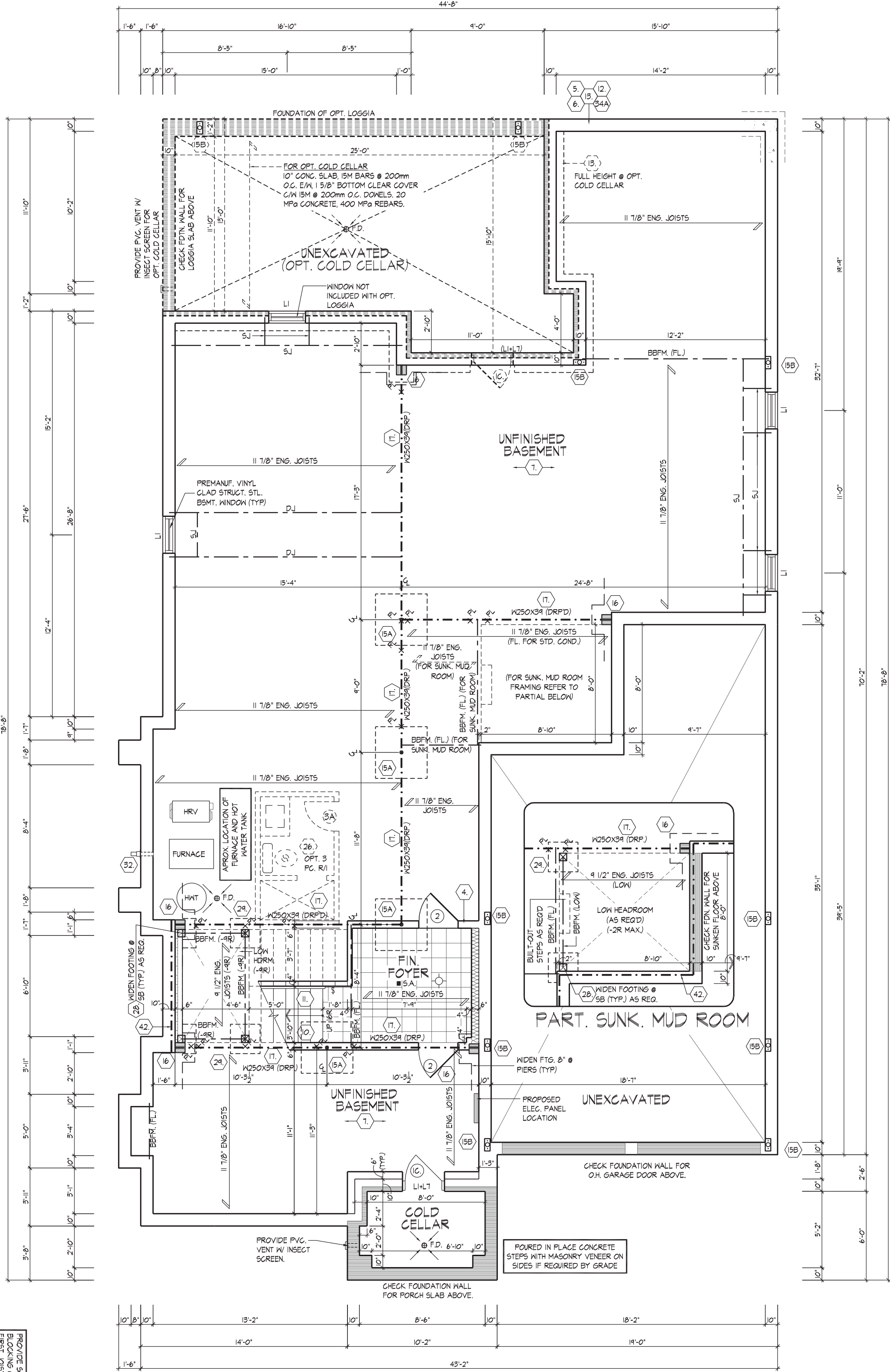
DATE: MAR 31 2020

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FOR STRUCTURAL ONLY. EXCLUDING ENGINEERED ROOF TRUSS, FLOOR JOIST, AND FLOOR LVL. BEAM DESIGN.




BASEMENT PLAN, E.L.B. - CORNER



REDO/RE SOLID WOOD BLOCKING @ 24\"/>

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL

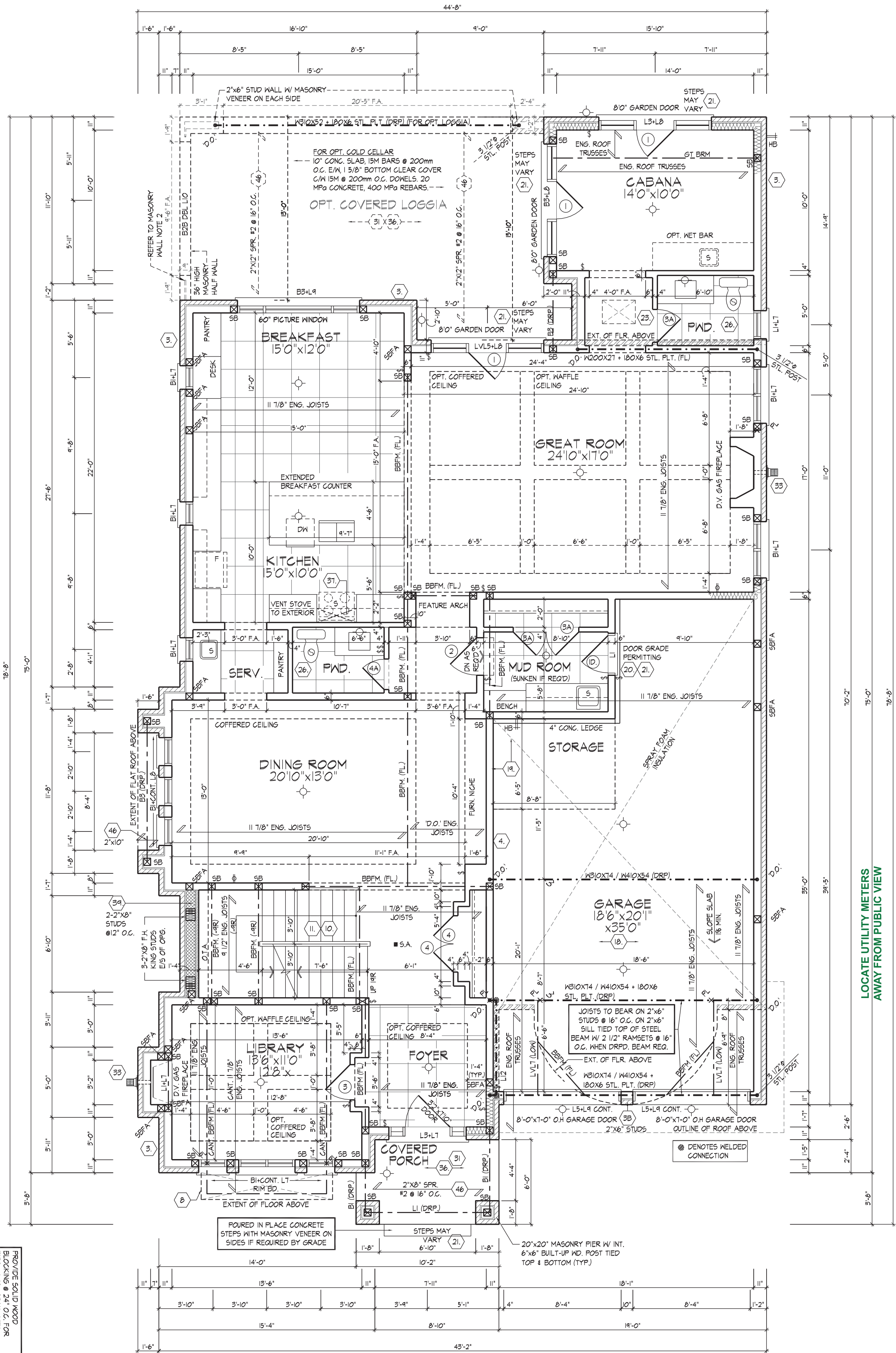
APPROVED BY: 
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FOR STRUCTURAL ONLY, EXCLUDING
ENGINEERED ROOF TRUSS, FLOOR
JOIST, AND FLOOR LVL BEAM DESIGN.

GROUND FLOOR PLAN, EL. 'B' - CORNER



**LOCATE UTILITY METERS
AWAY FROM PUBLIC VIEW**

MASONRY WALL NOTE 2.

MASONRY WALL LOAD BEARING	SOLID MASONRY WALL W/ 2'-10M VERT. REBARs (LAP 1'-6" DOWN INTO BRICK JOINT)
	2"x6" SILL PLATE @ TOP ANCHORED TO SOLID MASONRY WALL W/ 1/2" ϕ x 12" BOLTS @ 24" O.C. STAGGERED
	MASONRY VENEER TIED TO MASONRY VENEER WITH GALV. METAL TIES @ 16" O.C. AND 24" VERTICAL. FILL VOID BETWEEN MASONRY VENEER WITHES SOLID W/ MORTAR

PROVIDE 5/8" ID R.O.C. FOR BLOCKING @ 24" O.C. FOR FIRST JOIST SPAN WHEN PARALLEL W/ EXTERIOR WALL	REFER TO FLOOR JOIST MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, BLOCKING & STRAPPING REQUIREMENTS, INSTALLATION DETAILS AND HANGER SIZES, & SUBFLOOR THICKNESS
SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS	REFER TO ROOF TRUSS MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, INSTALLATION DETAILS AND HANGER SIZES.

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: 
DATE: MAR 31, 2020

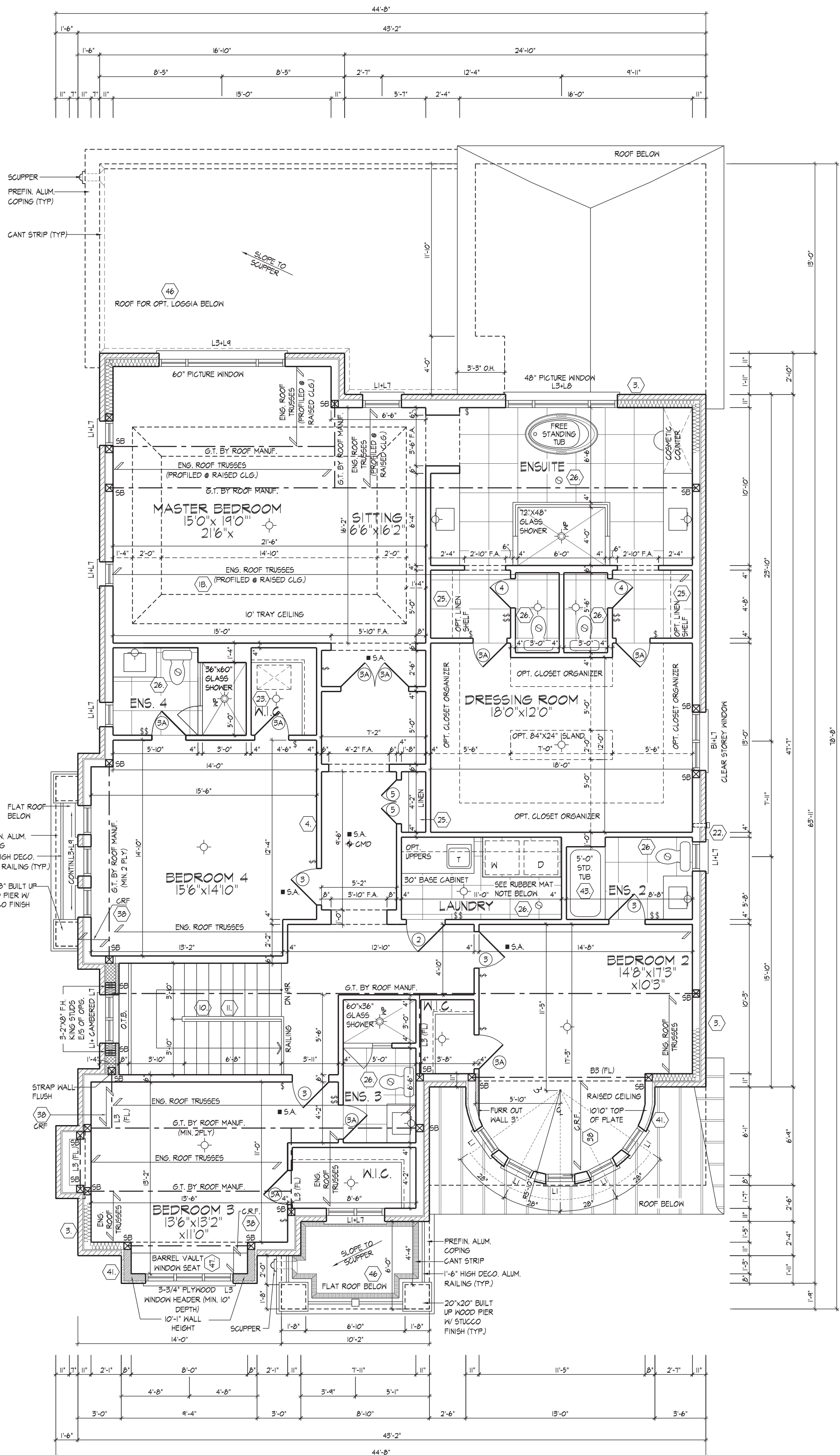
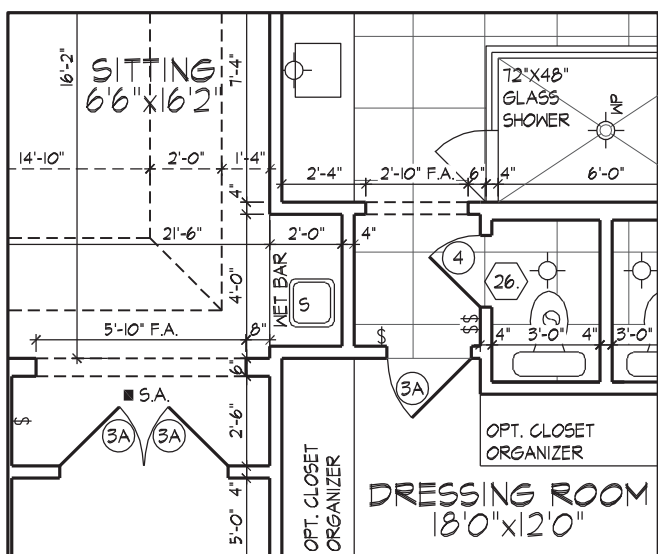
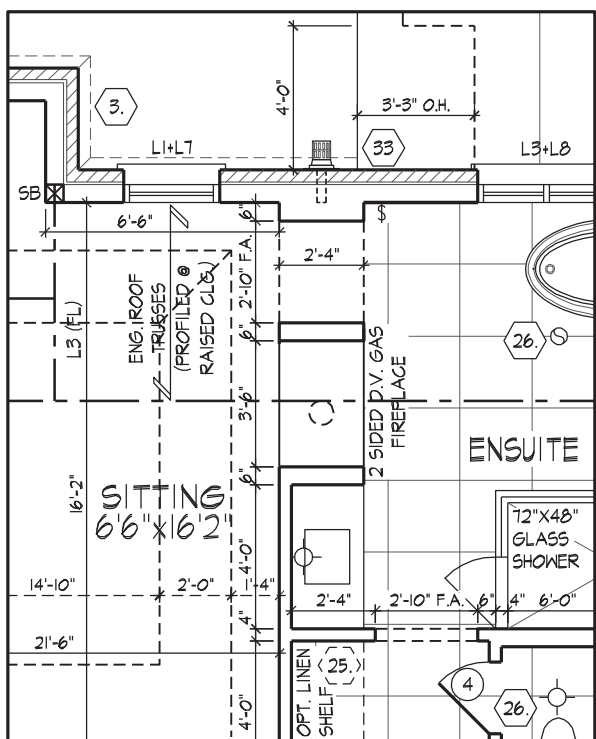
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.



WSP

FOR STRUCTURAL ONLY. EXCLUDING
ENGINEERED ROOF TRUSS, FLOOR
JOIST, AND FLOOR LVL BEAM DESIGN.

MASIMARD | FRI MAR 27/20 09:21 PM | K:\PROJECTS\2017\217020.GOLD\WORKING\SINGLES\50\217020WS5005-KNIGHTSWOOD.DWG



REFER TO ROOF TRUSS
MANUFACTURER'S DRAWINGS
FOR LAYOUT, SPACING,
INSTALLATION DETAILS AND
HANGER SIZES.

PROVIDE 6" CURB &
RUBBER MAT.
MAT TO EXTEND 6" MIN.
ABOVE FLOOR LEVEL.




100 COMMERCE VALLEY DR. W.
THORNHILL ONTARIO CANADA L3T 0A1
TEL: 1-905-882-4211/FAX: 1-905-882-0055/WWW.RISPGROUP.CA

ONLY. EXCLUDING
TRUSS, FLOOR
LVL BEAM DESIGN.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

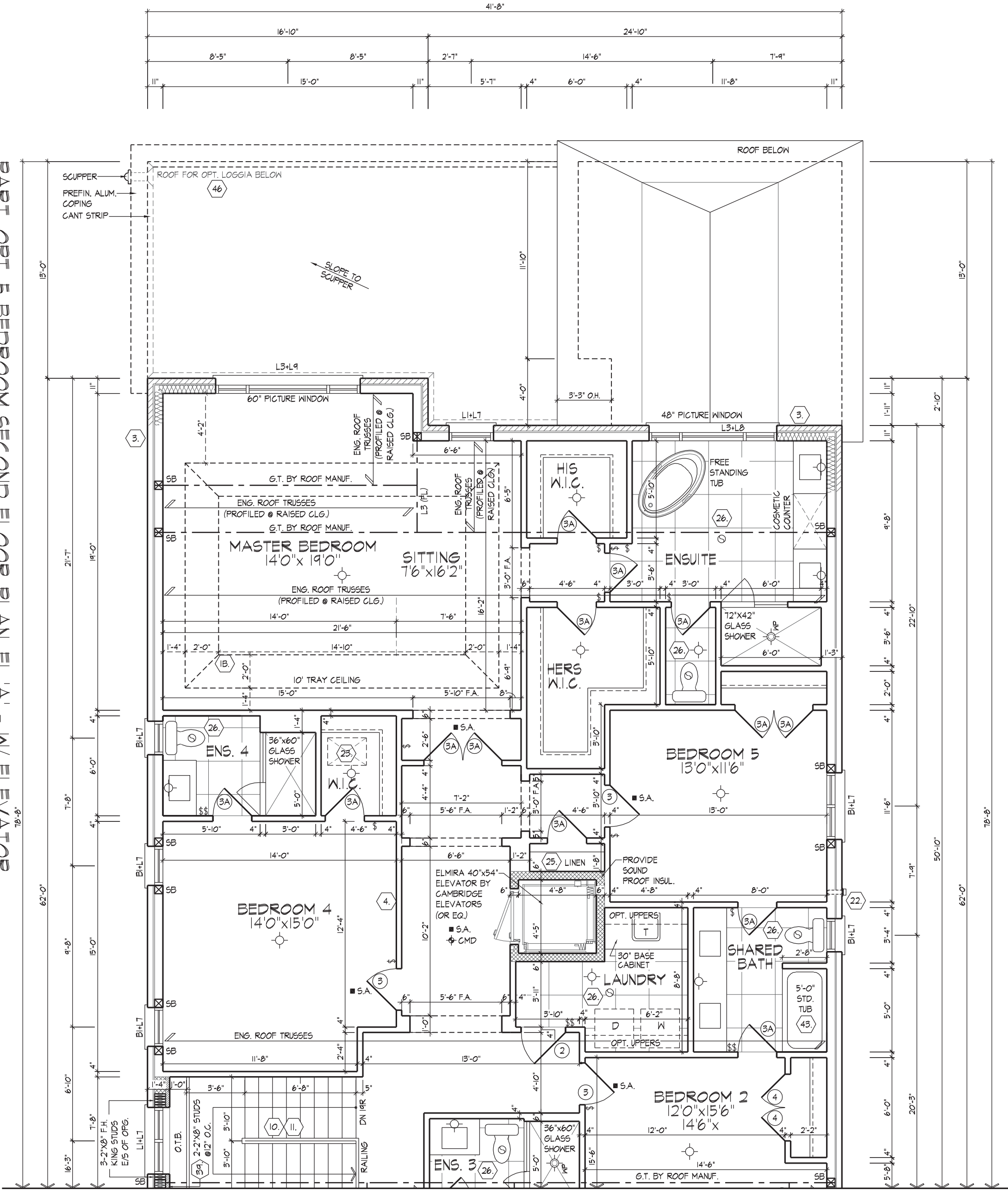
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: 
DATE: MAR 31, 2020

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

[illegible]



PART. OPT. 5 BEDROOM SECOND FLOOR PLAN, EL. 'A' - W/ ELEVATOR
(ELEVATION 'B' & 'C' SIMILAR) (ELEVATION 'B' CORNER N/A)

REFER TO STANDARD PLAN FOR COMPLETE CONSTRUCTION NOTES & DIMENSIONS
REFER TO ROOF TRUSS MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, INSTALLATION DETAILS AND MEMBER SIZES.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THE DESIGN AND THE CALCULATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE CITY OF VICTORIA'S BUILDING ACT AND BY-LAWS.

DATE: 2020/01

DESIGNER: **HUNT DESIGN ASSOCIATES INC.**

19905

PART. OPT. 5 BEDROOM SECOND FLOOR PLAN, EL. 'A' - W/ ELEVATOR (EL. 'B' & 'C' SIMILAR)

GOLDPARK HOMES - 217020

UNIT 5005 - THE KNIGHTSWOOD

REV/2020.03.30

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT

ARCHITECTURAL CONTROL REVIEW AND APPROVAL

APPROVED BY: **A. KONG**

DATE: **MAR 11, 2020**

2020/04/10

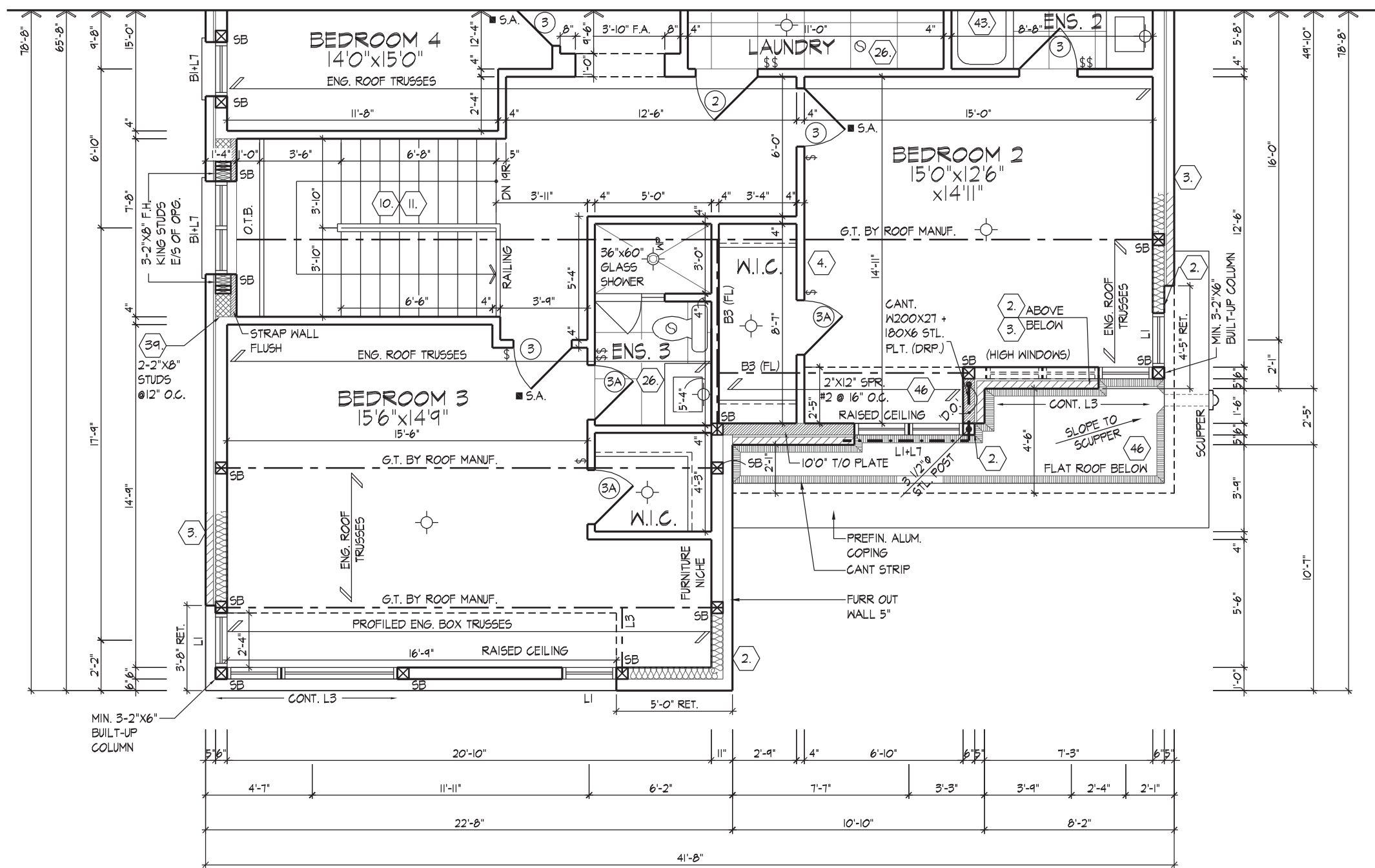
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FOR STRUCTURAL ONLY, EXCLUDING ENGINEERED ROOF TRUSS, FLOOR JOIST, AND FLOOR LVL. BEAM DESIGN.

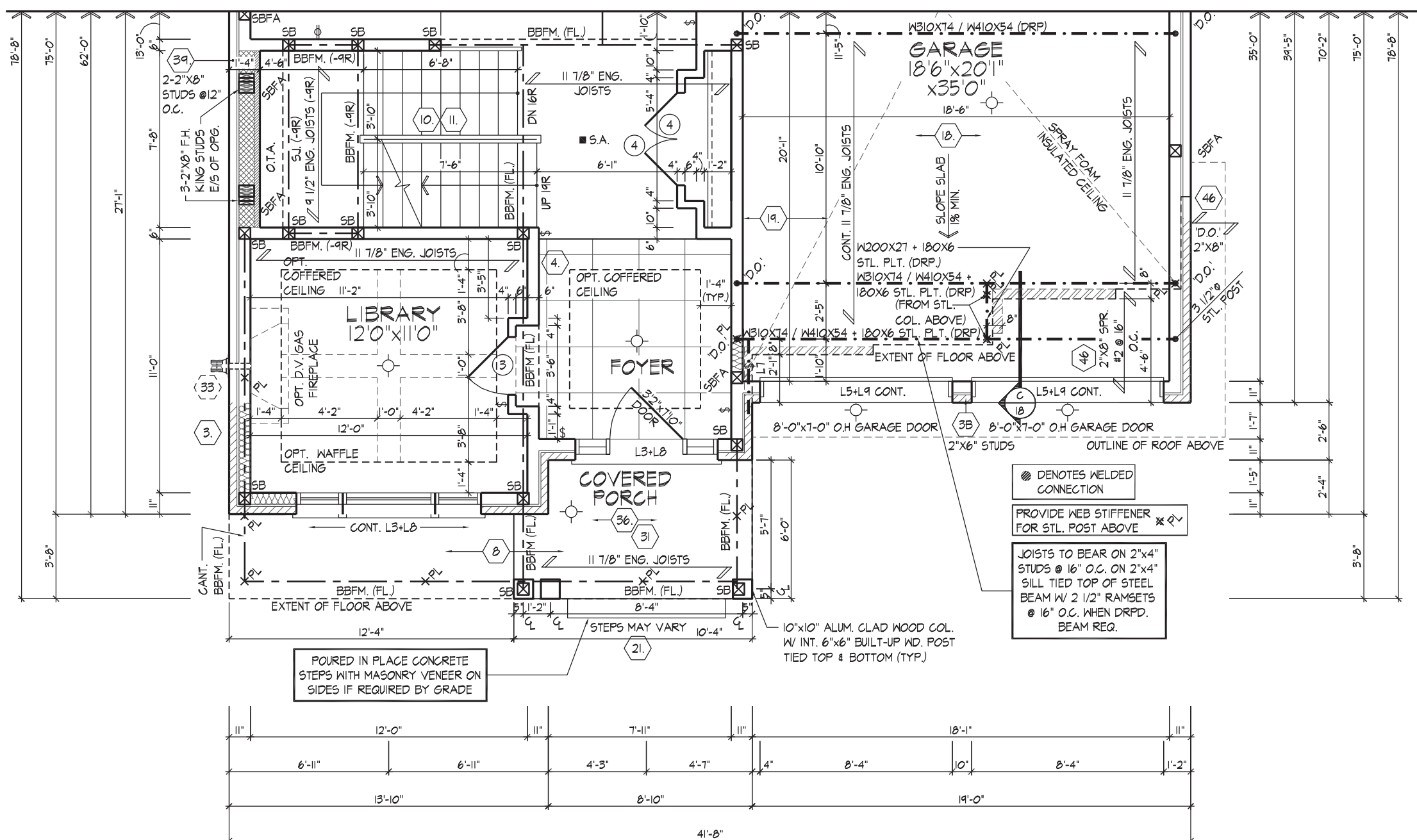
190 COMMERCIAL VALLEY DR. 10
THORNHILL, ONTARIO L3T 9V7
TEL: 1-800-862-4271 FAX: 1-800-862-0000 WWW.HUNTDESIGN.COM

WSP

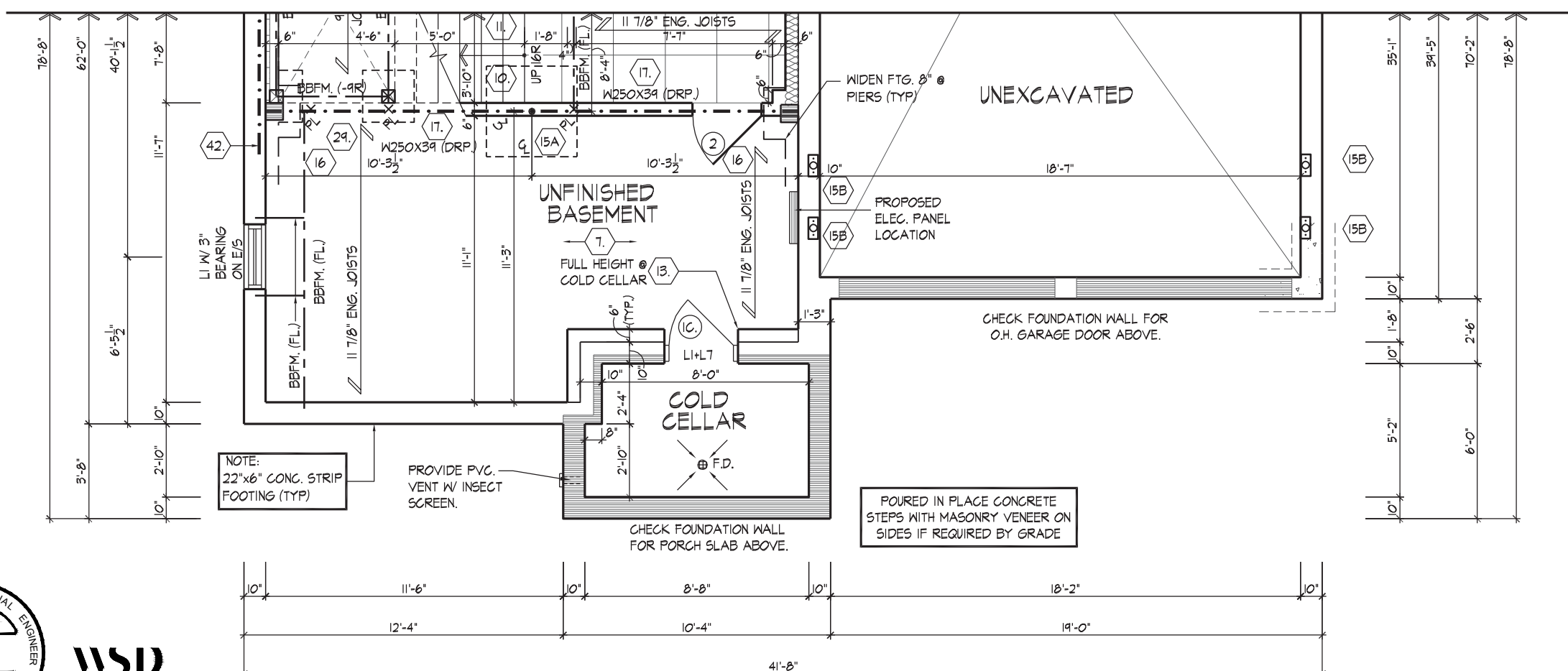
PART. SECOND FLOOR PLAN, E.L. C



PART. GROUND FLOOR PLAN, E.L. C



PART. BASEMENT PLAN, ET. C



JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: [Signature]
DATE: MAR 31, 2020

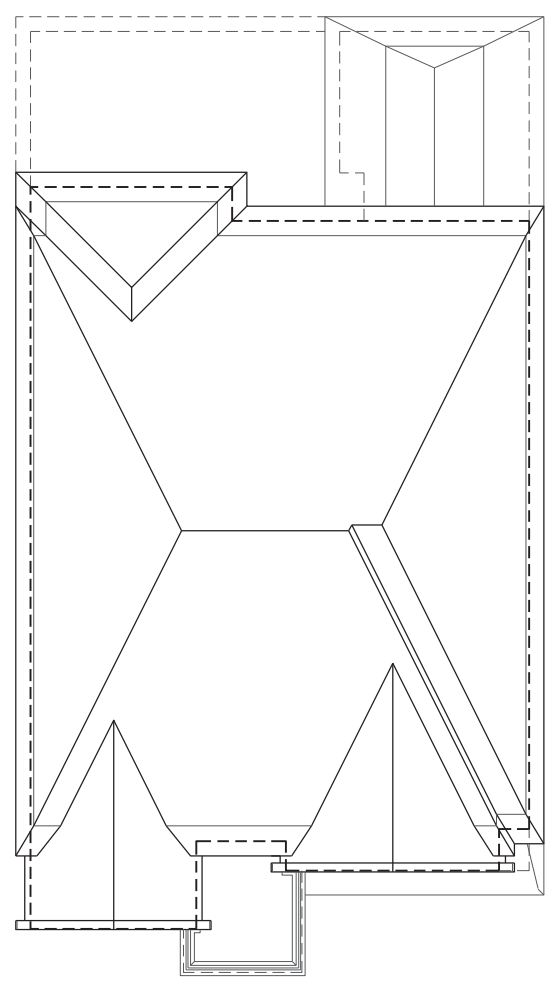
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professional responsibility.



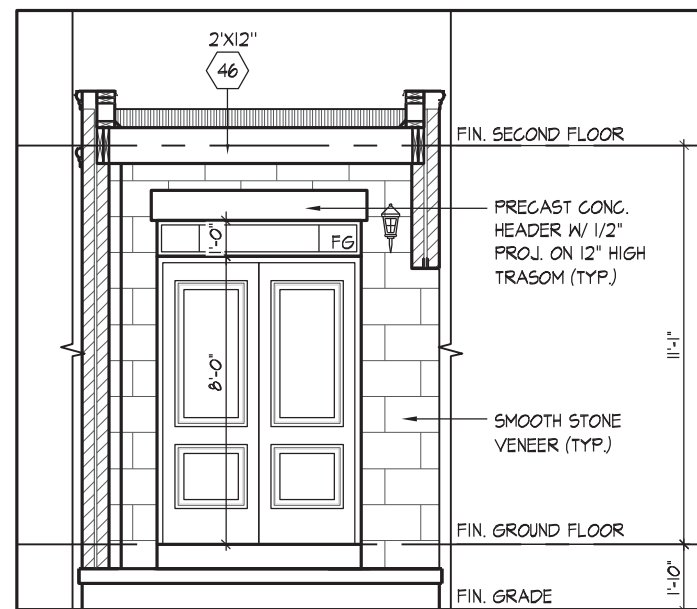
FOR STRUCTURAL ONLY. EXCLUDING
ENGINEERED ROOF TRUSS, FLOOR
JOIST, AND FLOOR LVL BEAM DESIGN.

wsp
130 COMMERCIAL VALLEY DR. W.
THORNHILL, ONTARIO CANADA L3T 0A1
905-882-4211 FAX: 1-800-822-3055 WWW.WSPGROUP.CA

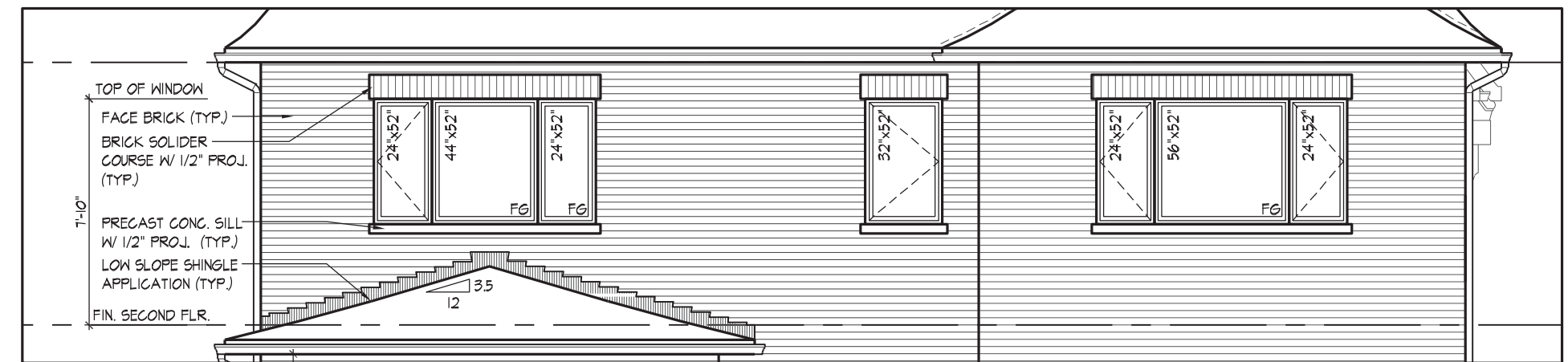
MASIMARD | FRI MAR 27/20 09:21 PM | K:\PROJECTS\2017\217020.GOLD\WORKING\SINGLES\50\217020WS5005-KNIGHTSWOOD.DWG



ROOF PLAN
ELEV. 'A'
N.T.S.



INTERIOR PORTICO ELEV.

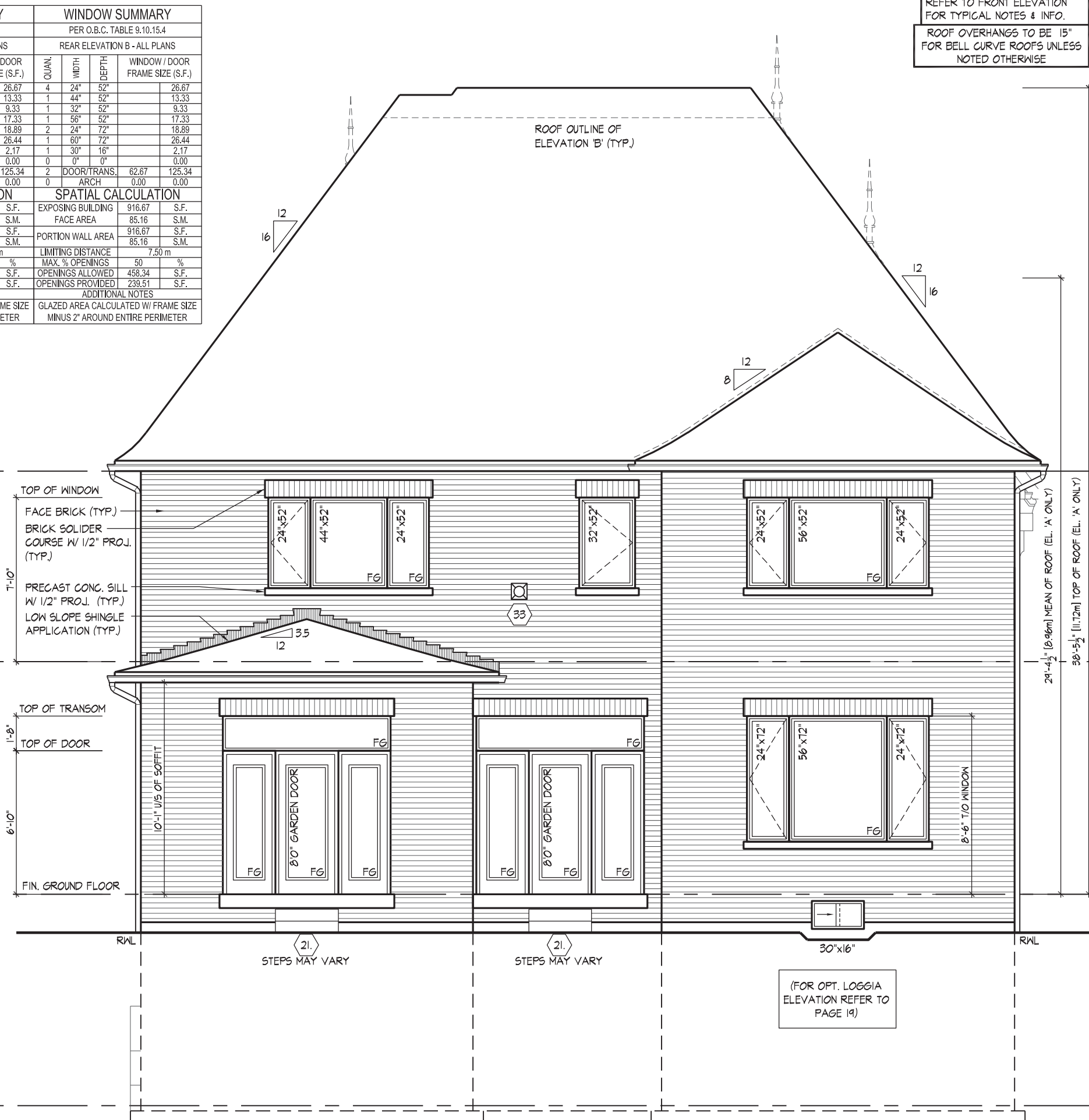


PART. REAR ELEVATION 'A' - OPT. 5 BEDROOM &
OPT. 5 BEDROOM W/ ELEVATOR PLANS
(EL. 'B' SIMILAR)



FRONT ELEVATION 'A'

WINDOW SUMMARY					WINDOW SUMMARY				
PER O.B.C. TABLE 9.10.15.4					PER O.B.C. TABLE 9.10.15.4				
REAR ELEVATION A - ALL PLANS					REAR ELEVATION B - ALL PLANS				
QTY	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)		QTY	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	
4	24"	52"	26.67		4	24"	52"	26.67	
1	44"	52"	13.33		1	44"	52"	13.33	
1	32"	52"	9.33		1	32"	52"	9.33	
1	56"	52"	17.33		1	56"	52"	17.33	
2	24"	72"	18.69		2	24"	72"	18.69	
1	60"	72"	26.44		1	60"	72"	26.44	
1	30"	16"	2.17		1	30"	16"	2.17	
0	0"	0"	0.00		0	0"	0"	0.00	
2	DOOR/TRANS	62.67	125.34		2	DOOR/TRANS	62.67	125.34	
0	ARCH	0.00	0.00		0	ARCH	0.00	0.00	
SPATIAL CALCULATION					SPATIAL CALCULATION				
EXPOSING BUILDING					EXPOSING BUILDING				
FACE AREA					FACE AREA				
PORTION WALL AREA					PORTION WALL AREA				
LIMITING DISTANCE					LIMITING DISTANCE				
MAX. % OPENINGS					MAX. % OPENINGS				
OPENINGS ALLOWED					OPENINGS ALLOWED				
OPENINGS PROVIDED					OPENINGS PROVIDED				
ADDITIONAL NOTES					ADDITIONAL NOTES				
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER					GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER				



REAR ELEVATION 'A' & 'B'

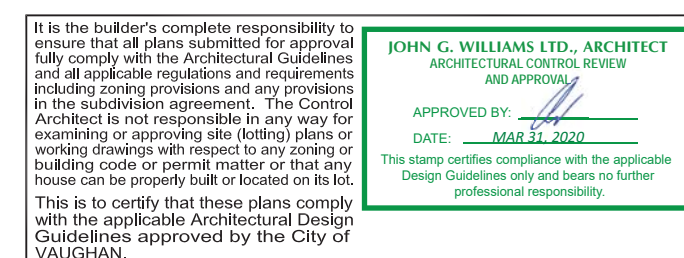
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot. This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: MAR 31, 2020
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE AS A DESIGNER.
QUALIFICATION INFORMATION
Olin Fairbairn
SIGNATURE [Signature]
REGISTRATION INFORMATION
HUNT DESIGN ASSOCIATES INC.
19695

HUNT DESIGN ASSOCIATES INC.
8966 Woodbine Ave, Markham, ON L3R 0J7
T 905.737.5133 F 905.737.7326

FRONT ELEVATION 'A' & REAR ELEVATION 'A' & 'B'
GOLDPARK HOMES - 217020 UNIT 5005 - THE KNIGHTSWOOD
PINE VALLEY, VAUGHAN, ONT.
REV.2020.03.30
Drawn By: MN
Checked By: SB
Scale: 3/16"=1'-0"
File Number: 217020WS5005.DWG
Page Number: 14 of 29





WINDOW SUMMARY				WINDOW SUMMARY			
PER O.B.C. TABLE 9.10.15.4				PER O.B.C. TABLE 9.10.15.4			
RIGHT SIDE ELEVATION A - STD.				OPT. RIGHT SIDE EL. "A" FOR 5 BED, & 5 BED W/ OPT. FLOOR COND.			
QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (F.T.)	QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (F.T.)
1	48"	16"	8.11	0	ARCH	0.00	0.00
1	48"	16"	39.11	0	ARCH	0.00	0.00
2	48"	68"	3.67	0	ARCH	0.00	0.00
2	48"	68"	3.67	0	ARCH	0.00	0.00
2	30"	16"	4.33	2	30"	16"	4.33
0	0"	0"	0.00	0	24"	52"	8.67
0	0"	0"	0.00	0	24"	52"	8.67
0	0"	0"	0.00	2	30"	16"	4.33
0	0"	0"	0.00	0	0"	0"	0.00
0	0"	0"	0.00	0	0"	0"	0.00
0	0"	0"	0.00	0	0"	0"	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
SPATIAL CALCULATION				SPATIAL CALCULATION			
EXPOSING BUILDING				EXPOSING BUILDING			
FACE AREA				FACE AREA			
1555.83 S.F.				1555.83 S.F.			
PORTION WALL AREA				PORTION WALL AREA			
124.58 S.F.				124.58 S.F.			
LIMITING DISTANCE				LIMITING DISTANCE			
MAX. % OPENINGS				MAX. % OPENINGS			
7.91 %				7.91 %			
OPENINGS ALLOWED				OPENINGS ALLOWED			
OPENINGS PROVIDED				OPENINGS PROVIDED			
53.89 S.F.				53.89 S.F.			
ADDITIONAL NOTES				ADDITIONAL NOTES			
GLAZED AREA CALCULATED W/ FRAME SIZE				GLAZED AREA CALCULATED W/ FRAME SIZE			
MINUS Z' AROUND ENTIRE PERIMETER				MINUS Z' AROUND ENTIRE PERIMETER			

REFER TO FRONT ELEVATION
FOR TYPICAL NOTES & INFO.

ROOF OVERHANGS TO BE 15"
FOR BELL CURVE ROOFS UNLESS
NOTED OTHERWISE

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable codes and regulations, including zoning provisions and any provisions of the subdivision agreement. The City of North Arch is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to whether the building code or permit matter or that any other properly built and installed lot.

It is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

DATE: / / 2022

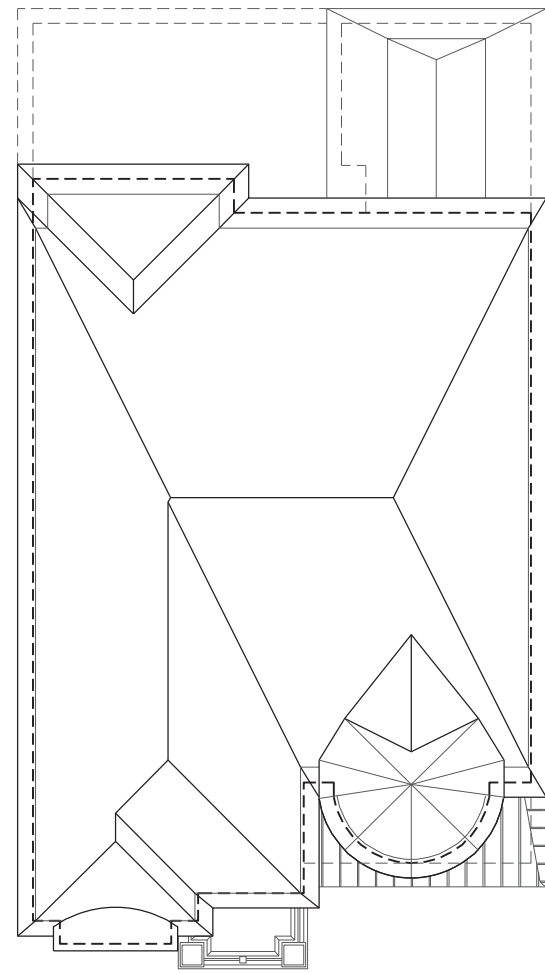
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HUNT 
DESIGN ASSOCIATES INC.
www.huntdesign.ca

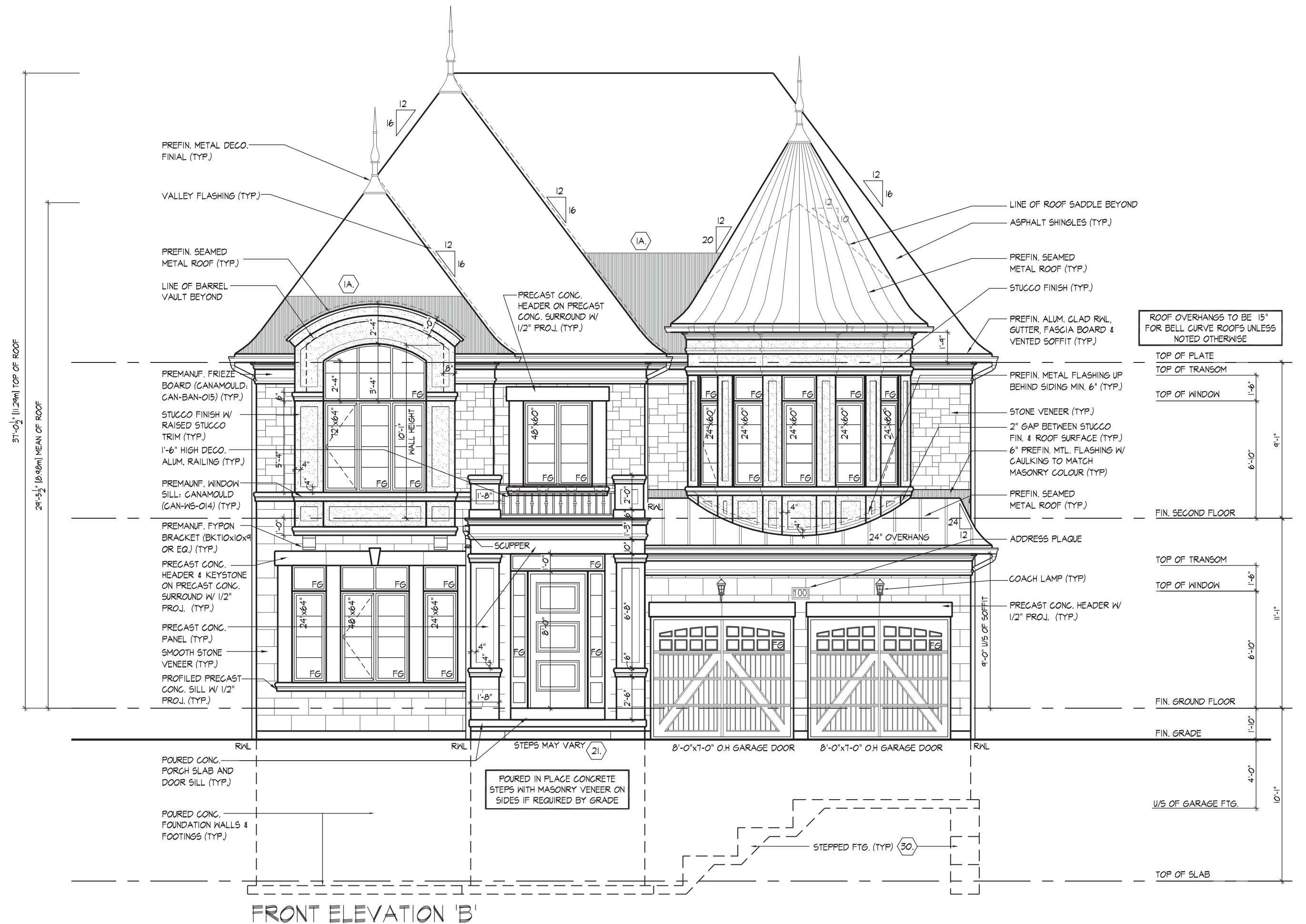
RIGHT SIDE ELEVATION 'A'
UNIT 5005 - THE KNIGHTSWOOD
REV.2020.03.30

Drawn By: MN
Checked By: SB
Scale: 3/16"=1'-0"
File Number: 217020WS5005.DWG
Page Number: 17 of 29
8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

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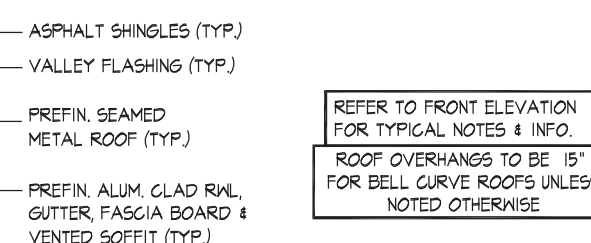


ROOF PLAN
ELEV. 'B'
N.T.S.



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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: MAR 31, 2020
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.



Architectural elevation drawing of a building facade showing three levels: First Floor, Second Floor, and Third Floor. The drawing includes material callouts and vertical dimensions.

Third Floor:

- PREMANUF. FRIEZE BOARD (CANAMOULD; CAN-BAN-OIS) (TYP)
- STONE VENEER (TYP)
- STUCCO FINISH W/ RAISED STUCCO TRIM (TYP)

Second Floor:

- SMOOTH STONE VENEER (TYP)
- PRECAST CONC. ACCENT PANELS (TYP)

First Floor:

- POURED CONC. PORCH SLAB (TYP)
- POURED CONC. FOUNDATION WALLS & FOOTINGS (TYP)

Vertical Dimensions:

- Third Floor to Second Floor: 9'-10"
- Second Floor to First Floor: 8'-6"
- First Floor to FIN. GRADE: 1'-0"
- FIN. GRADE to BASE: 1'-1"

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JOHN G. WILLIAMS LTD.
ARCHITECTURAL CONTROL
AND APPROVAL

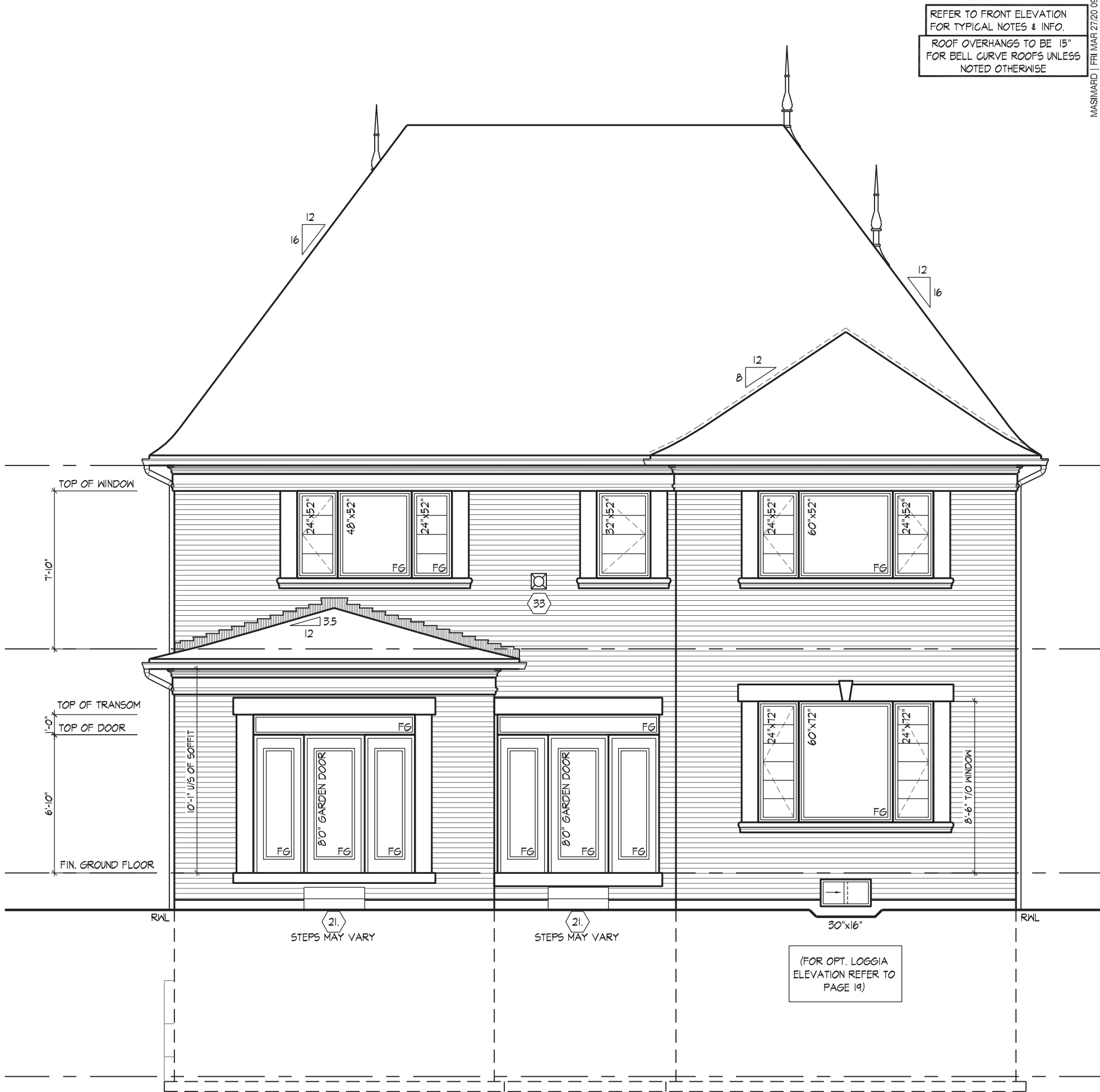
APPROVED BY:

DATE: MAR 31, 2021

This stamp certifies compliance with
Design Guidelines only and is not
a professional responsibility.



PART. REAR ELEVATION 'B' - OPT. 5 BEDROOM &
OPT. 5 BEDROOM W/ ELEVATOR PLANS



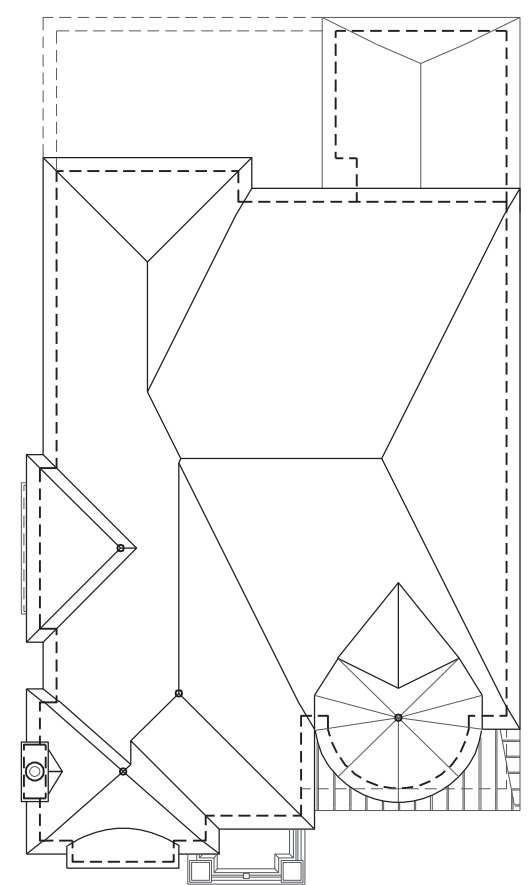
UPGRADED REAR ELEVATION 'B'

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY:
DATE: MAR 31, 2020
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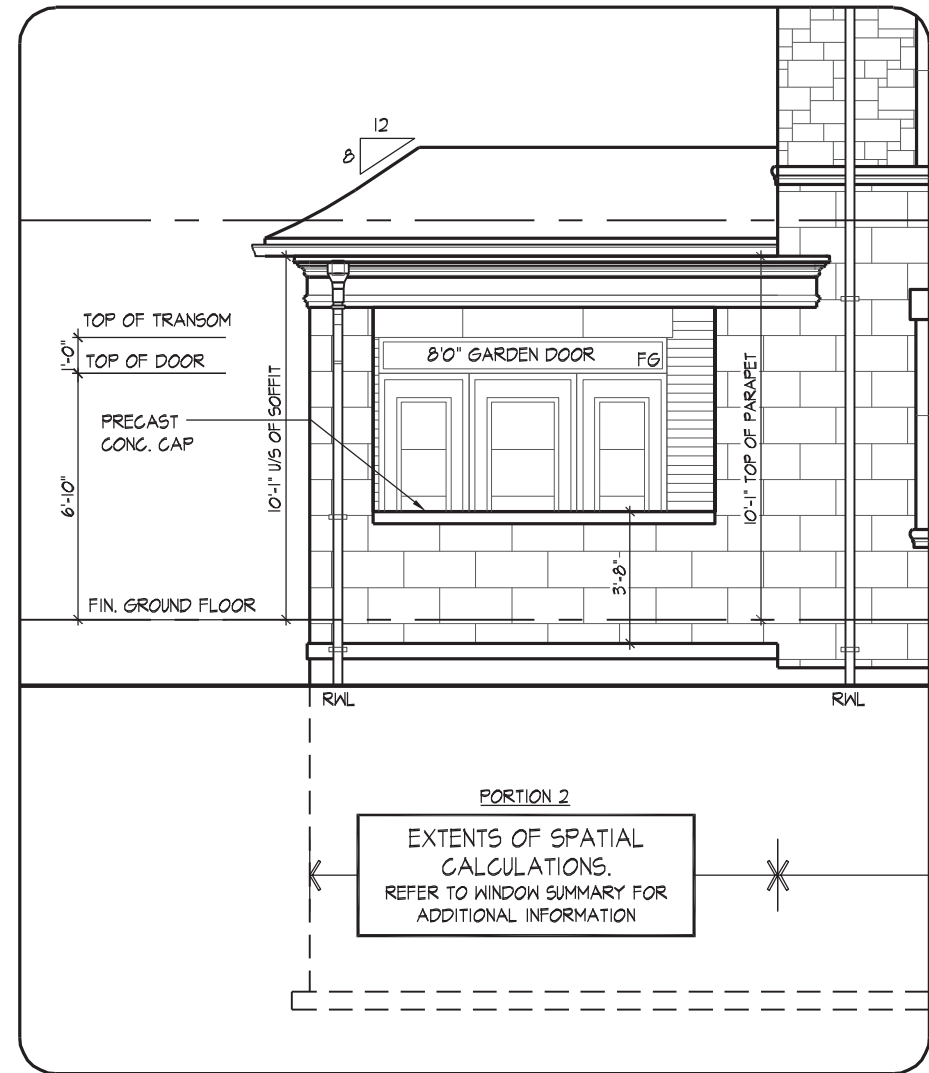
FRONT ELEVATION 'B' - CORNER



ROOF PLAN
ELEV. 'B'
CORNER
N.T.S.

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY:
DATE: MAR 31, 2020
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.



PART. UPGRADE LEFT SIDE ELEVATION 'B' W/ OPT. COVERED LOGGIA



UPGRADE LEFT SIDE ELEVATION 'B' - CORNER

WINDOW SUMMARY					WINDOW SUMMARY				
PER O.B.C. TABLE 9.10.15.4					PER O.B.C. TABLE 9.10.15.4				
LEFT SIDE ELEVATION B - PORTION 1					LEFT SIDE ELEVATION B - PORTION 2				
QTY	WTH	DEPT	WINDOW / DOOR FRAME SIZE (S.F.)		QTY	WTH	DEPT	WINDOW / DOOR FRAME SIZE (S.F.)	
3	20"	64"	20.00	0	0"	0"	0"	0.00	
3	20"	52"	16.00	0	0"	0"	0"	0.00	
3	24"	64"	25.00	0	0"	0"	0"	0.00	
3	24"	68"	28.67	0	0"	0"	0"	0.00	
1	40"	64"	15.00	0	0"	0"	0"	0.00	
1	30"	16"	2.17	0	0"	0"	0"	0.00	
0	0"	0"	0.00	0	0"	0"	0"	0.00	
0	0"	0"	0.00	0	0"	0"	0"	0.00	
0	0"	0"	0.00	0	0"	0"	0"	0.00	
0	0"	0"	0.00	0	0"	0"	0"	0.00	
1	ARCH	4.34	4.34	2	DOOR GLZ.	8.25	16.50		
0	ARCH	0.00	0.00	1	DOOR GLZ.	11.00	11.00		
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00		
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00		
SPATIAL CALCULATION					SPATIAL CALCULATION				
EXPOSING BUILDING					EXPOSING BUILDING				
1540.16 S.F.					1540.16 S.F.				
FACE AREA					FACE AREA				
143.09 S.M.					143.09 S.M.				
PORTION WALL AREA					PORTION WALL AREA				
128.62 S.M.					128.62 S.M.				
LIMITING DISTANCE					LIMITING DISTANCE				
8 2.0 m					8 10.19 m				
MAX. % OPENINGS					MAX. % OPENINGS				
110.75 %					110.75 %				
OPENINGS ALLOWED					OPENINGS ALLOWED				
108.17 S.F.					108.17 S.F.				
ADDITIONAL NOTES					ADDITIONAL NOTES				
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER					GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER				

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot. This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY:
DATE: MAR 31, 2020
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE AS A DESIGNER.
QUALIFICATION INFORMATION:
NAME: Orlin Fairbairn
SIGNATURE:
REGISTRATION INFORMATION:
HUNT DESIGN ASSOCIATES INC. 19695
20201 BCIN

HUNT DESIGN ASSOCIATES INC.
www.hunt-design.ca

UPGRADE LEFT SIDE ELEVATION 'B' - CORNER
GOLDPARK HOMES - 217020 UNIT 5005 - THE KNIGHTSWOOD
PINE VALLEY, VAUGHAN, ONT. REV.2020.03.30
Down By: MN SB 3/16"=1'-0" 217020WS5005.DWG 23 of 29
Checked By: Scale: 8966 Woodbine Ave., Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

RIGHT SIDE ELEVATION 'B' - CORNER

Materials and Details:

- ASPHALT SHINGLES (TYP.)
- VALLEY FLASHING (TYP.)
- PREFIN. ALUM. GLAD RAIL, GUTTER, FASCIA BOARD & VENTED SOFFIT (TYP.)
- PREFIN. SEALED METAL ROOF (TYP.)
- PREMANUF. FRIEZE BOARD (GANAMOULD; CAN-BAN-OIS) (TYP.)
- STONE VENEER (TYP.)
- STUCCO FINISH W/ RAISED STUCCO TRIM (TYP.)
- SMOOTH STONE VENEER (TYP.)
- PRECAST CONC. ACCENT PANELS (TYP.)
- POURED CONC. PORCH SLAB (TYP.)
- POURED CONC. FOUNDATION WALLS & FOOTINGS (TYP.)
- FACE BRICK (TYP.)
- BRICK SOLIDER COURSE W/ 1/2" PROJ. (TYP.)
- PRECAST CONC. SILL W/ 1/2" PROJ. (TYP.)
- STEPPED FTG. (TYP.)

Spatial Calculations:

SPATIAL CALCULATION		
EXPOSING BUILDING	1540.16	S.F.
FACE AREA	143.09	S.M.
PORTION WALL AREA	1540.16	S.F.
	143.09	S.M.
LIMITING DISTANCE	7	1.2 m
MAX % OPENINGS	107.81	%
OPENINGS ALLOWED	59.89	S.F.
ADDITIONAL NOTES		
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER		

Dimensions and Notes:

- LOCATE UTILITY METERS AWAY FROM PUBLIC VIEW
- EXTENTS OF SPATIAL CALCULATIONS REFER TO WINDOW SUMMARY FOR ADDITIONAL INFORMATION
- REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFO.
- ROOF OVERHANGS TO BE 15" FOR BELL CURVE ROOFS UNLESS NOTED OTHERWISE

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements, including zoning provisions and any provisions in the subdivision agreement. The Contractor/Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: _____
DATE: MAR 31, 2020

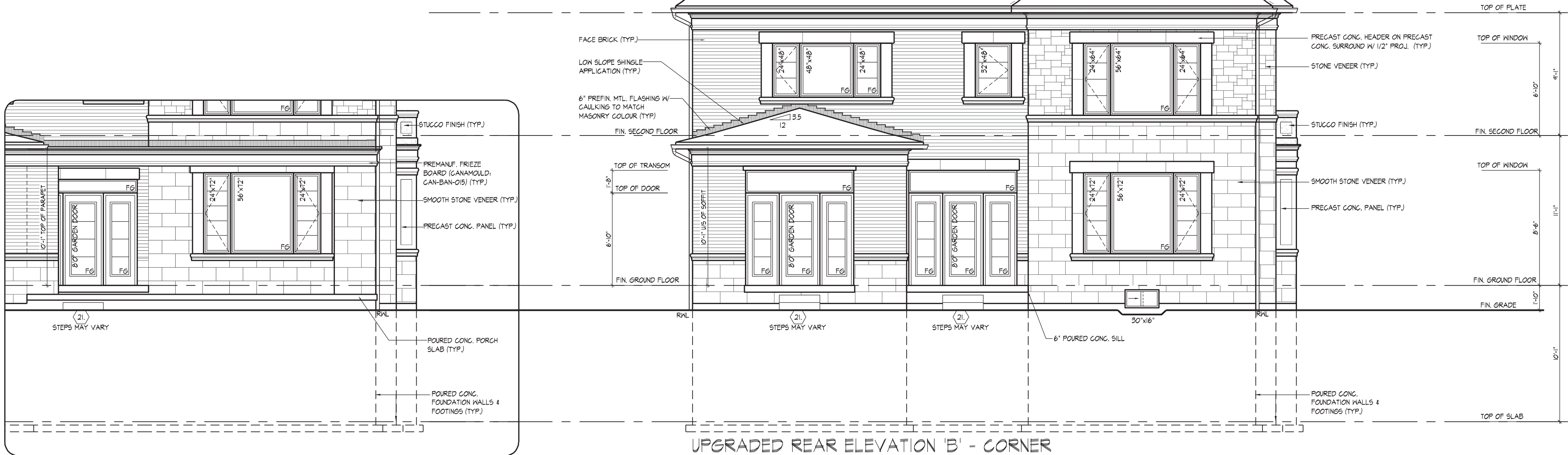
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RIGHT SIDE ELEVATION 'B' - CORNER				
GOLDPARK HOMES - 217020		UNIT 5005 - THE KNIGHTSWOOD		
PINE VALLEY, VAUGHAN, ONT.		REV.2020.03.30		
Drawn By	Checked By	Scale	File Number	Page Number
MN	SB	L 3/16"=1'-0"	217020W/S5005.DWG	24 of 29
8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326				

WINDOW SUMMARY			
PER O.B.C. TABLE 9.10.15.4			
REAR ELEVATION B - CORNER			
QTY	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)
2	24"	48"	12.22
1	48"	48"	13.44
1	32"	48"	8.56
2	24"	64"	16.67
1	56"	64"	21.87
2	24"	72"	18.89
1	56"	72"	24.56
1	30"	16"	2.17
2	DOOR/TRANS.		62.67
0	ARCH		0.00
SPATIAL CALCULATION			
EXPOSING BUILDING	988.25	S.F.	
FACE AREA	91.81	S.M.	
PORTION WALL AREA	988.25	S.F.	
	91.81	S.M.	
LIMITING DISTANCE	MAX.	7.50 m	
MAX. % OPENINGS	494.13	S.F.	
OPENINGS ALLOWED	243.51	S.F.	
OPENINGS PROVIDED			
ADDITIONAL NOTES			
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER			

REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFO.
ROOF OVERHANGS ARE TO BE 15" UNLESS NOTED OTHERWISE



UPGRADED REAR ELEVATION 'B' W/ OPT. LOGGIA

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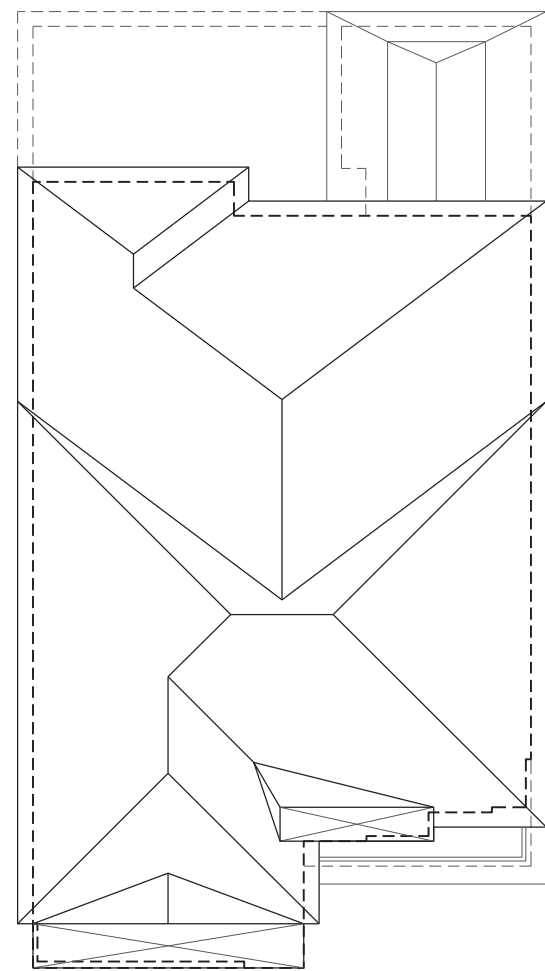
JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY:
DATE: MAR 31, 2020
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THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.
QUALIFICATION INFORMATION:
NAME: Orin Fairbairn
SIGNATURE:
REGISTRATION INFORMATION: BCIN 19695
HUNT DESIGN ASSOCIATES INC.
19695

HUNT
DESIGN ASSOCIATES INC.
www.hunt-design.ca

UPGRADED REAR ELEVATION 'B' - CORNER
GOLDPARK HOMES - 217020
PINE VALLEY, VAUGHAN, ONT.
Down By: MN
Checked By: SB
Scale: 3/16"=1'-0"
File Number: 217020WS5005.DWG
Page Number: 25 of 29

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ROOF PLAN
ELEV. 'C'
N.T.S.

ASPHALT SHINGLES (TYP.)
VALLEY FLASHING (TYP.)

LINE OF ROOF
SADDLE BEYOND
LINE OF RAISED
CEILING

ALUMINUM
GLAD WOOD
PANEL (TYP.)
PREMANUF. LONG
BOARD SIDING (TYP.)

ALUMINUM
PANELS (TYP.)

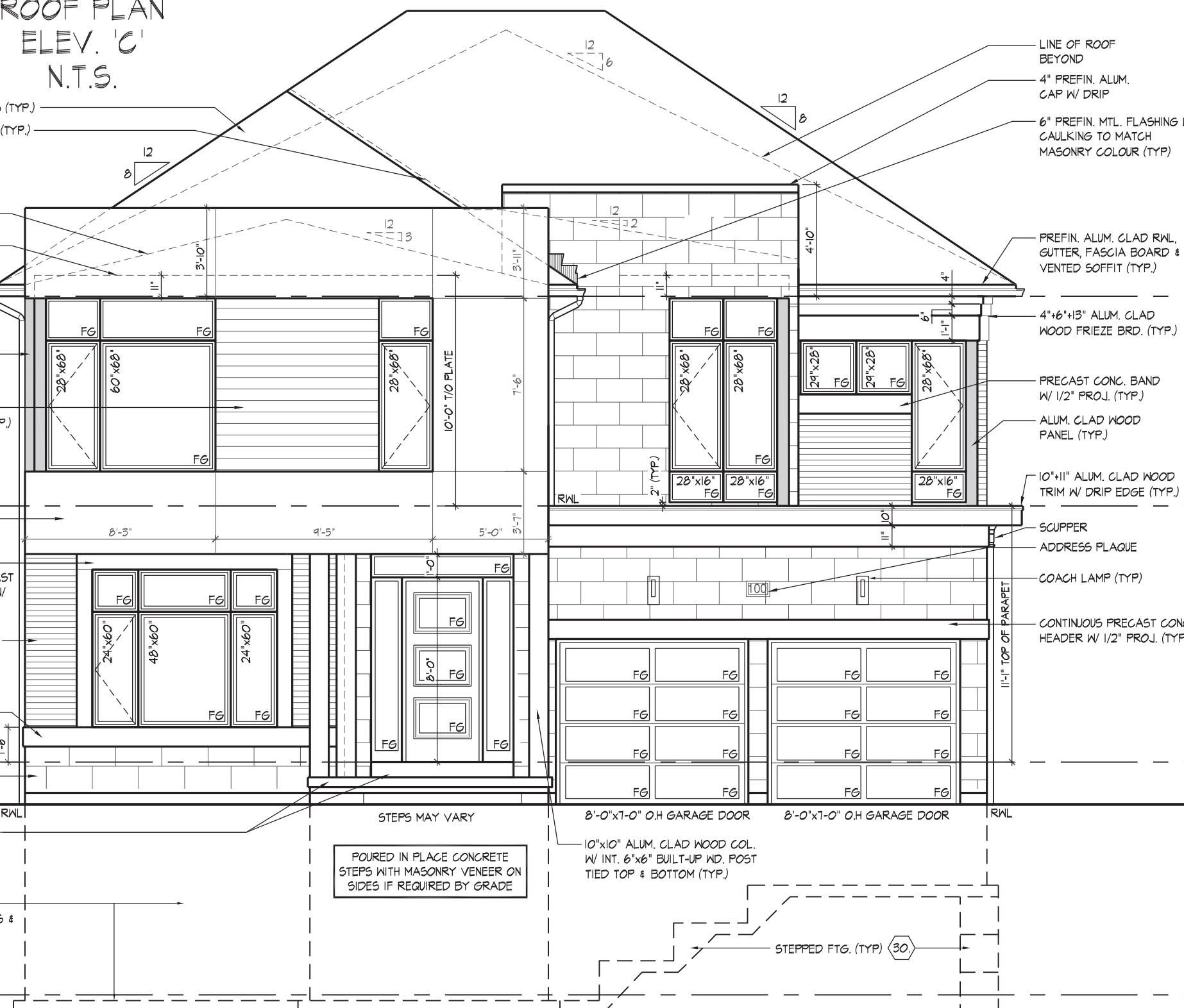
PRECAST CONC.
HEADER ON PRECAST
CONC. SURROUND W/
1/2" PROJ. (TYP.)
FACE BRICK (TYP.)

10" PRECAST
CONC. BAND W/
1/2" PROJ. (TYP.)

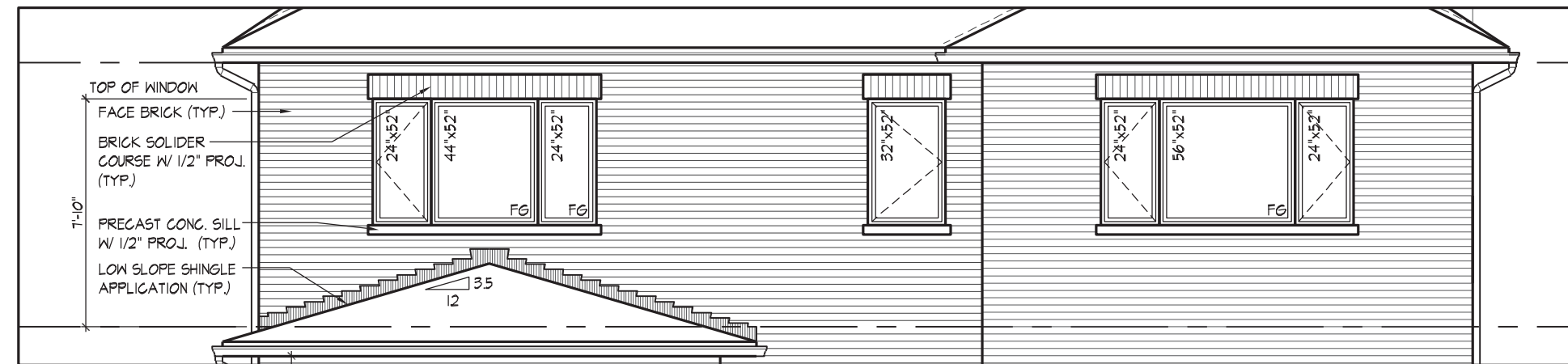
SMOOTH STONE
VENEER (TYP.)

POURED CONC.
PORCH SLAB AND
DOOR SILL (TYP.)

POURED CONC.
FOUNDATION WALLS &
FOOTINGS (TYP.)



FRONT ELEVATION 'C'



PART. REAR ELEVATION 'C' - OPT. 5 BEDROOM &
OPT. 5 BEDROOM W/ ELEVATOR PLANS

WINDOW SUMMARY			
PER O.B.C. TABLE 9.10.15.4			
REAR ELEVATION C - ALL PLANS			
QTY	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)
4	24"	52"	28.67
1	48"	52"	14.87
1	32"	52"	9.33
1	60"	52"	18.67
2	24"	72"	18.89
1	60"	72"	28.44
1	30"	16"	2.17
0	0"	0"	0.00
2	DOOR TRANS.	62.67	125.34
0	ARCH	0.00	0.00
SPATIAL CALCULATION			
EXPOSING BUILDING	938.97	S.F.	
FACE AREA	87.33	S.M.	
PORTION WALL AREA	938.97	S.F.	
PORTION WALL AREA	87.33	S.M.	
LIMITING DISTANCE	7.50 m		
MAX. % OPENINGS	50	%	
OPENINGS ALLOWED	469.99	S.F.	
OPENINGS PROVIDED	242.17	S.F.	
ADDITIONAL NOTES			
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER			

TOP OF PLATE
TOP OF TRANSOM
TOP OF WINDOW

TOP OF WINDOW

TOP OF WINDOW

FIN. SECOND FLOOR

TOP OF TRANSOM
TOP OF WINDOW

TOP OF TRANSOM
TOP OF WINDOW

TOP OF WINDOW

FIN. GROUND FLOOR

FIN. GROUND FLOOR

FIN. GRADE

U/S OF GARAGE FTG.

TOP OF SLAB

TOP OF WINDOW
TOP OF TRANSOM
TOP OF WINDOW

TOP OF WINDOW

FIN. GROUND FLOOR

FIN. GROUND FLOOR

FIN. GROUND FLOOR

FIN. GROUND FLOOR

FIN. GROUND FLOOR

FIN. GROUND FLOOR

FIN. GROUND FLOOR

FIN. GROUND FLOOR

FIN. GROUND FLOOR

FIN. GROUND FLOOR

FIN. GROUND FLOOR

FIN. GROUND FLOOR

FIN. GROUND FLOOR

FIN. GROUND FLOOR

FIN. GROUND FLOOR

FIN. GROUND FLOOR

FIN. GROUND FLOOR

FIN. GROUND FLOOR

FIN. GROUND FLOOR

FIN. GROUND FLOOR



REAR ELEVATION 'C'

REFER TO FRONT ELEVATION
FOR TYPICAL NOTES & INFO.

REFER TO FRONT ELEVATION
FOR TYPICAL NOTES & INFO.
ROOF OVERHANGS ARE TO
BE 15" UNLESS NOTED
OTHERWISE

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: MAR 31, 2020
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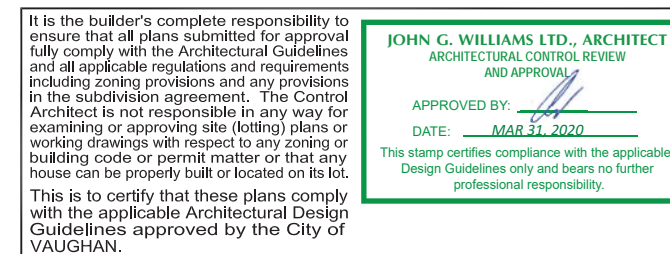
THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.
QUALIFICATION INFORMATION:
NAME: Olin Fairbairn
SIGNATURE: [Signature]
REGISTRATION INFORMATION:
HUNT DESIGN ASSOCIATES INC.
19695

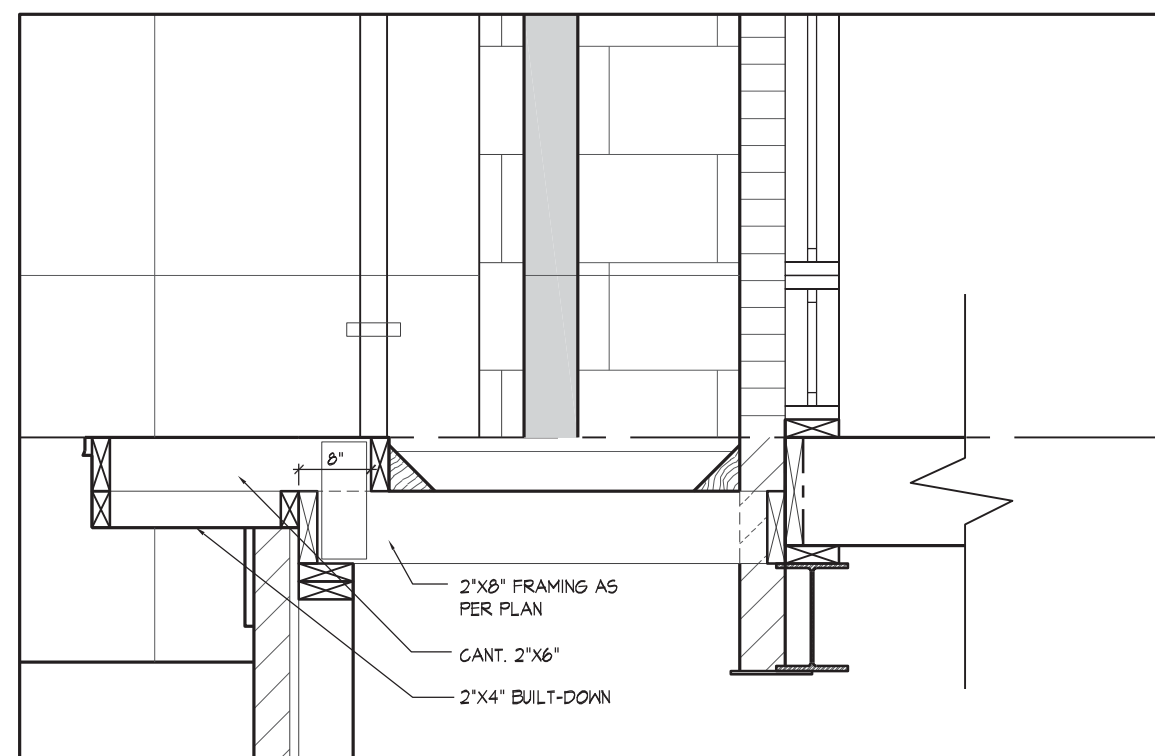
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www.hunt-design.ca

GOLDPARK HOMES - 217020
PINE VALLEY, VAUGHAN, ONT.
8966 Woodbine Ave, Markham, ON L3R 0J7
T 905.737.5133 F 905.737.7326

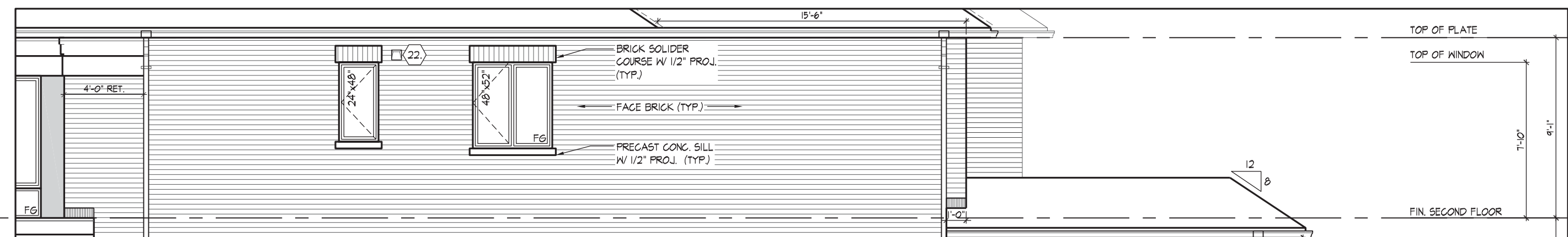
FRONT & REAR ELEVATION 'C'
UNIT 5005 - THE KNIGHTSWOOD
REV. 2020.03.30

26 of 29





SECTION C
N.T.S

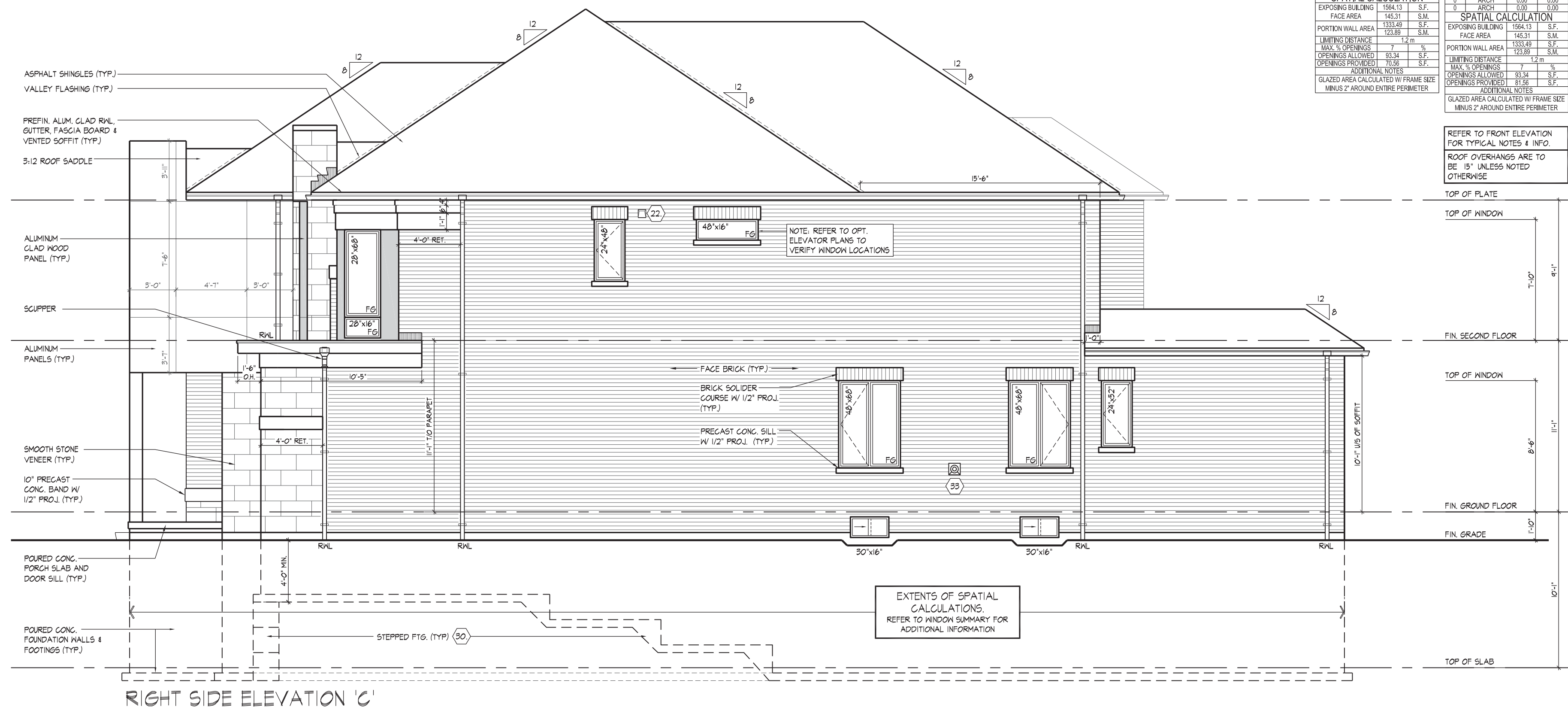


PART. RIGHT SIDE ELEVATION 'C' - OPT. 5 BEDROOM PLAN & OPT. 5 BEDROOM W/ ELEVATOR PLAN

WINDOW SUMMARY				WINDOW SUMMARY			
PER O.S.C. TABLE 9.10.15.4				PER O.S.C. TABLE 9.10.15.4			
RIGHT SIDE ELEVATION C - STD.				OPT. RIGHT SIDE EL. C OR 5 BED. & 5 BED W/ OPT. ELEVATOR COND.			
QUANTITY	UNIT	WINDOW / DOOR FRAME SIZE	AREA	QUANTITY	UNIT	WINDOW / DOOR FRAME SIZE	AREA
1	24"	48"	6.11	1	24"	48"	6.11
1	48"	16"	3.87	1	48"	16"	3.87
2	48"	66"	39.11	2	48"	66"	39.11
2	30"	52"	6.87	2	30"	52"	6.87
2	30"	16"	4.33	1	48"	52"	14.67
1	28"	66"	10.67	2	48"	66"	39.11
0	0"	0"	0.00	2	30"	52"	6.87
0	0"	0"	0.00	2	30"	16"	4.33
0	0"	0"	0.00	1	28"	66"	10.67
0	0"	0"	0.00	0	0"	0"	0.00
0	0"	0"	0.00	0	0"	0"	0.00
0	0"	0"	0.00	0	0"	0"	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
SPATIAL CALCULATION				SPATIAL CALCULATION			
EXPOSING BUILDING 1564.13 S.F.				EXPOSING BUILDING 1564.13 S.F.			
FACE AREA 145.31 S.F.				FACE AREA 145.31 S.F.			
PORTION WALL AREA 1333.49 S.F.				PORTION WALL AREA 1333.49 S.F.			
LIMITING DISTANCE 72.28' S.F.				LIMITING DISTANCE 72.28' S.F.			
MAX. 3 OPENINGS				MAX. 3 OPENINGS			
OPENINGS ALLOWED 93.34 S.F.				OPENINGS ALLOWED 93.34 S.F.			
OPENINGS PROVIDED 70.56 S.F.				OPENINGS PROVIDED 70.56 S.F.			
ADDITIONAL NOTES				ADDITIONAL NOTES			
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER				GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER			

REFER TO FRONT ELEVATION
FOR TYPICAL NOTES & INFO.

ROOF OVERHANGS ARE TO
BE 15" UNLESS NOTED
OTHERWISE



RIGHT SIDE ELEVATION 'C'

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: _____

DATE: MAR 31, 2020

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QUALIFICATION INFORMATION

Orin Fairbairn 2012

NAME SIGNATURE

REGISTRATION INFORMATION

HUNT DESIGN ASSOCIATES INC. 1998

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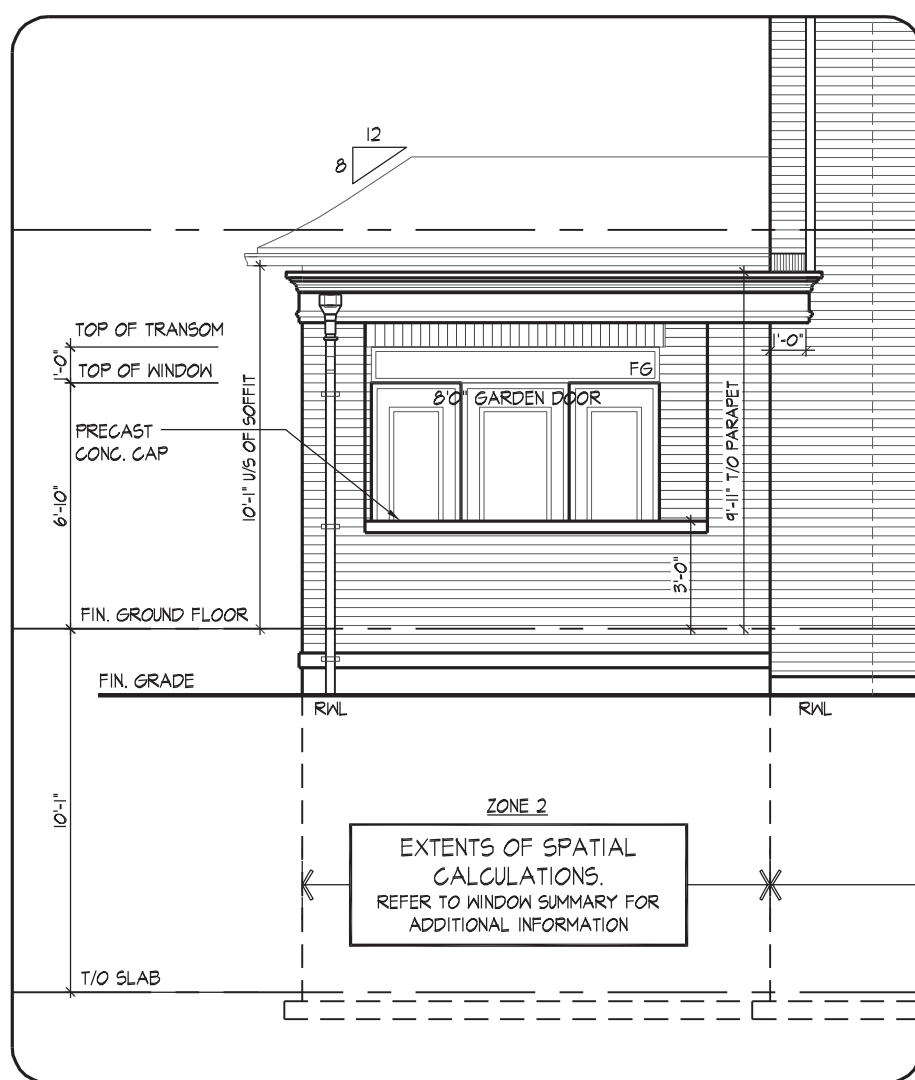
GOLDPARK HOMES - 217020
PINE VALLEY, VAUGHAN, ONT.

Drawn By	Checked By	Scale
MN	SB	3/16"=1'-0"

RIGHT SIDE ELEVATION 'C'
UNIT 5005 - THE KNIGHTSWOOD
REV.2020.03.30

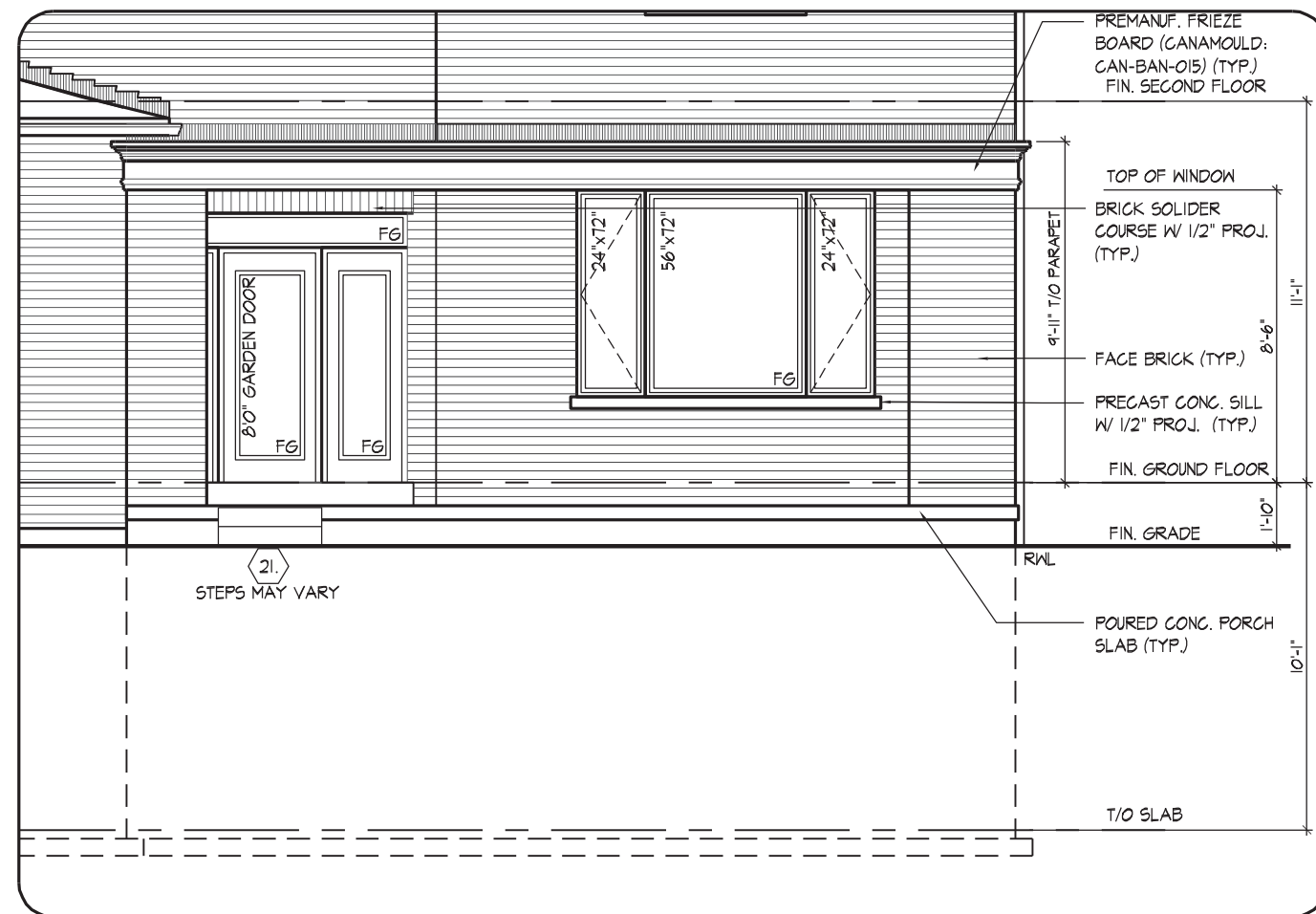
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of 29

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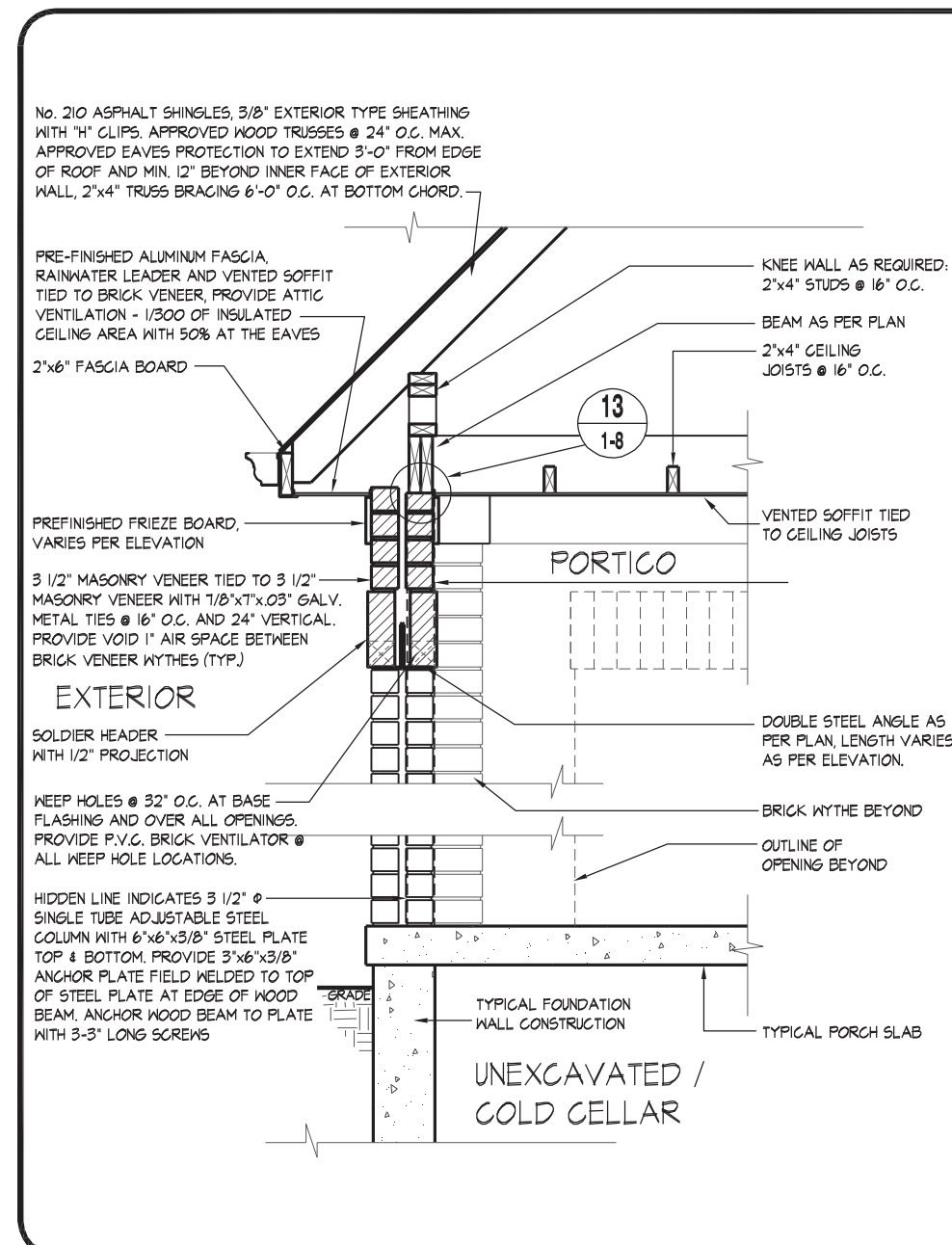
PART. LEFT SIDE ELEVATION 'A'
OPT. LOGGIA (ELEV. 'B' & 'C' SIMILAR)

REFER TO FRONT ELEVATION
FOR TYPICAL NOTES & INFO.
ROOF OVERHANGS TO BE 15'
FOR BELL CURVE ROOFS UNLESS
NOTED OTHERWISE



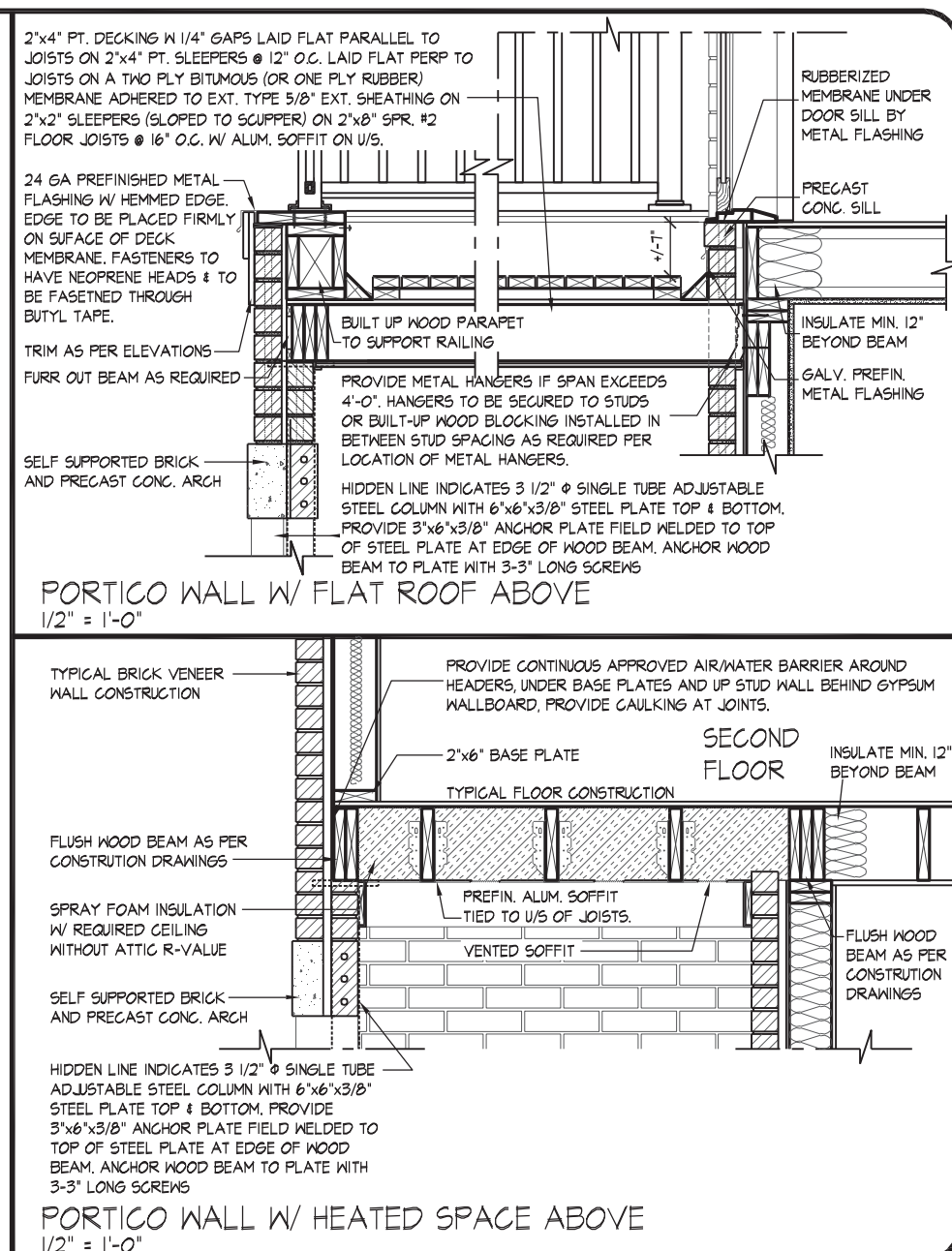
PART. REAR ELEVATION 'A'
OPT. LOGGIA (ELEV. 'B' & 'C' SIMILAR)

REFER TO FRONT ELEVATION
FOR TYPICAL NOTES & INFO.
ROOF OVERHANGS TO BE 15'
FOR BELL CURVE ROOFS UNLESS
NOTED OTHERWISE

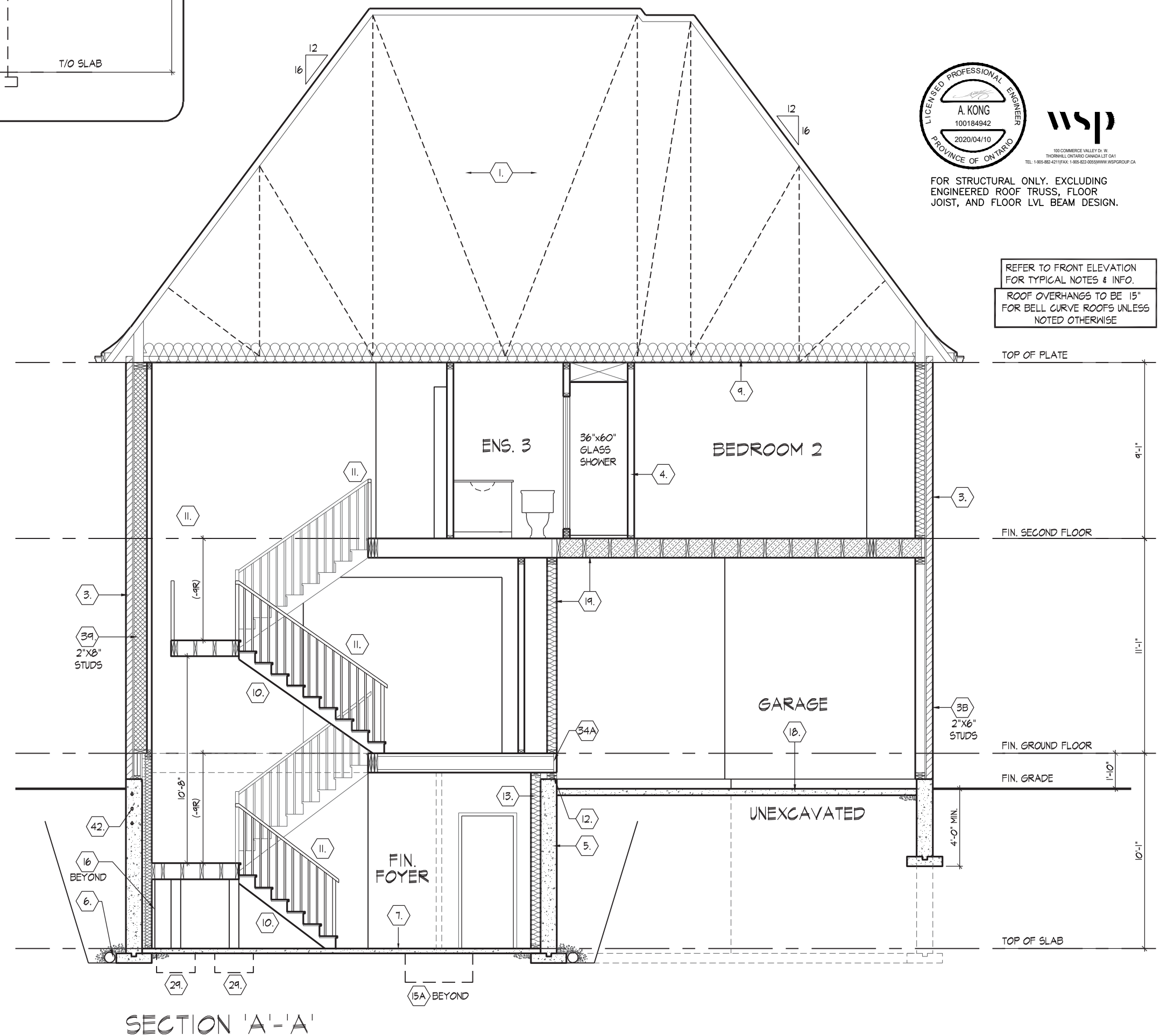


14 TYPICAL BRICK PORTICO WALL (DOUBLE BRICK VENEER WYTHE WALL)

1/2" = 1'-0"



PORTICO WALL W/ HEATED SPACE ABOVE
1/2" = 1'-0"



SECTION 'A'-A'



FOR STRUCTURAL ONLY. EXCLUDING
ENGINEERED ROOF TRUSS, FLOOR
JOIST, AND FLOOR LVL BEAM DESIGN.

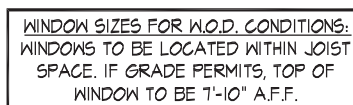
REFER TO FRONT ELEVATION
FOR TYPICAL NOTES & INFO.
ROOF OVERHANGS TO BE 15'
FOR BELL CURVE ROOFS UNLESS
NOTED OTHERWISE



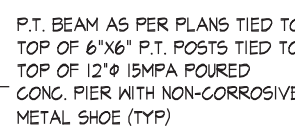
NOTE:
REFER TO STANDARD FLOOR
PLANS FOR COMPLETE DIMENSIONS
& STRUCTURAL INFORMATION

NOTE:
REFER TO STANDARD FLOOR
PLANS FOR COMPLETE DIMENSIONS
& STRUCTURAL INFORMATION

	ARCH	0.00	0.00
SPATIAL CALCULATION			
KPOSING BUILDING	1016.36	S.F.	
FACE AREA	94.42	S.M.	
ENTRANCE WALL AREA	1016.36	S.F.	
	94.42	S.M.	
IMITING DISTANCE	7.50 m		
MAX. % OPENINGS	50	%	
PENINGS ALLOWED	508.18	S.F.	
PENINGS PROVIDED	243.62	S.F.	
ADDITIONAL NOTES			
LAZED AREA CALCULATED W/ FRAME SIZE			
MINUS 2' AROUND ENTIRE PERIMETER			



REFER TO FRONT ELEVATION & STANDARD
REAR FOR TYPICAL NOTES & INFO.

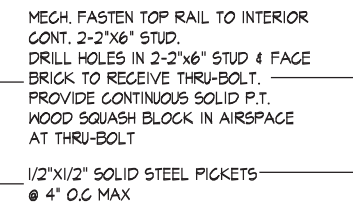


W.O.D. CONDITION

WINDOW SUMMARY					
PER O.B.C. TABLE 9-10.15.4					
LEFT SIDE ELEVATION A - PORTION 2					
QUAN.	UNIT	ADJUSTED HEIGHT	WINDOW / DOOR FRAME SIZE		
0	"	8"	8.34		
0	"	0"	0.00		
0	"	0"	0.00		
0	"	0"	0.00		
0	"	0"	0.00		
0	"	0"	0.00		
0	"	0"	0.00		
0	"	0"	0.00		
0	"	0"	0.00		
0	"	0"	0.00		
2	DOOR GLZ	8.25	8.50		
1	ARCH	11.00	11.00		
0	ARCH	0.00	0.00		
0	ARCH	0.00	0.00		
SPIATAL CALCULATION					
EXPOSING BUILDING			1884.59	S.F.	
FACE AREA			147.21	S.F.	
PORTION WALL AREA			178.75	S.F.	
			16.61	S.F.	
LIMITING DISTANCE			9.0 m		
MAX. % OPENINGS			34	%	
OPENINGS ALLOWED			50.78	S.F.	
OPENINGS PROVIDED			36.44	S.F.	
ADDITIONAL NOTES					
GLAZED AREA CALCULATED W/FRAME SIZE MINUS 2" X 4" DOUBLE PRIMED					

WINDOW SUMMARY			
PER O.B.C. TABLE 9.10, 15.4			
LEFT SIDE ELEVATION - PORTION 2			
QUN.	UNIT	DESCRIPTION	WINDOW SIZE (S-F)
0	0°	0°	0.00
0	0°	0°	0.00
0	0°	0°	0.00
0	0°	0°	0.00
0	0°	0°	0.00
0	0°	0°	0.00
0	0°	0°	0.00
0	0°	0°	0.00
2	DOOR	DOOR 2	8.25 16.50
1	DOOR	DOOR 1	11.00 11.00
0	ARCH	0.00	0.00
0	0	0.00	0.00
SPATIAL CALCULATION			
EXPOSING BUILDING		1582.20	S.F.
FACE AREA		146.99	S.F.
PORTION WALL AREA		178.75	S.F.
		16.81	S.F.
LIMITING DISTANCE		6.0 m	
MAX. % OPENINGS		34	%
OPENINGS ALLOWED		60.78	S.F.
OPENINGS PROVIDED		27.50	S.F.
ADDITIONAL NOTES			
GLAZED AREA CALCULATED W/ FRAME SIZE			

WINDOW SUMMARY			
PER O.B.C. TABLE 9.10.15.4			
LEFT SIDE ELEVATION C - PORTION 2			
Q	QUAN.	UNIT	WINDOW / DOOR FRAME SIZE (S.F.)
1	0	0" 0"	0.00
2	0	0" 0"	0.00
3	0	0" 0"	0.00
4	0	0" 0"	0.00
5	0	0" 0"	0.00
6	0	0" 0"	0.00
7	0	0" 0"	0.00
8	0	0" 0"	0.00
9	0	0" 0"	0.00
10	0	0" 0"	0.00
11	0	0" 0"	0.00
12	0	0" 0"	0.00
13	0	0" 0"	0.00
14	0	0" 0"	0.00
15	0	0" 0"	0.00
16	0	0" 0"	0.00
17	0	0" 0"	0.00
18	0	0" 0"	0.00
19	0	0" 0"	0.00
20	0	0" 0"	0.00
21	0	0" 0"	0.00
22	0	0" 0"	0.00
23	0	0" 0"	0.00
24	0	0" 0"	0.00
25	0	0" 0"	0.00
26	0	0" 0"	0.00
27	0	0" 0"	0.00
28	0	0" 0"	0.00
29	0	0" 0"	0.00
30	0	0" 0"	0.00
31	0	0" 0"	0.00
32	0	0" 0"	0.00
33	0	0" 0"	0.00
34	0	0" 0"	0.00
35	0	0" 0"	0.00
36	0	0" 0"	0.00
37	0	0" 0"	0.00
38	0	0" 0"	0.00
39	0	0" 0"	0.00
40	0	0" 0"	0.00
41	0	0" 0"	0.00
42	0	0" 0"	0.00
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44	0	0" 0"	0.00
45	0	0" 0"	0.00
46	0	0" 0"	0.00
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50	0	0" 0"	0.00
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61	0	0" 0"	0.00
62	0	0" 0"	0.00
63	0	0" 0"	0.00
64	0	0" 0"	0.00
65	0	0" 0"	0.00
66	0	0" 0"	0.00
67	0	0" 0"	0.00
68	0	0" 0"	0.00
69	0	0" 0"	0.00
70	0	0" 0"	0.00
71	0	0" 0"	0.00
72	0	0" 0"	0.00
73	0	0" 0"	0.00
74	0	0" 0"	0.00
75	0	0" 0"	0.00
76	0	0" 0"	0.00
77	0	0" 0"	0.00
78	0	0" 0"	0.00
79	0	0" 0"	0.00
80	0	0" 0"	0.00
81	0	0" 0"	0.00
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1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE TO THE O.B.C
2. ALL EXPOSED METAL SHALL BE PRIMED AND PAINTED TO PREVENT CORROSION
3. ALL HOLES THRU MASONRY AND WOOD SHALL BE MECH. DRILLED-PAK ALL EXPOSED HOLES WITH CAULKING AFTER ALL WELDING IS COMPLETE

1.C1 **TYPIC**
 $1/2' = 1'-0"$

HUNT
DESIGN ASSOCIATES INC.
www.huntdesign.ca

WALK OUT DECK CONDITION
UNIT 5005 - THE KNIGHTSWOOD
 REV.2020.03.30

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Contractor/Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

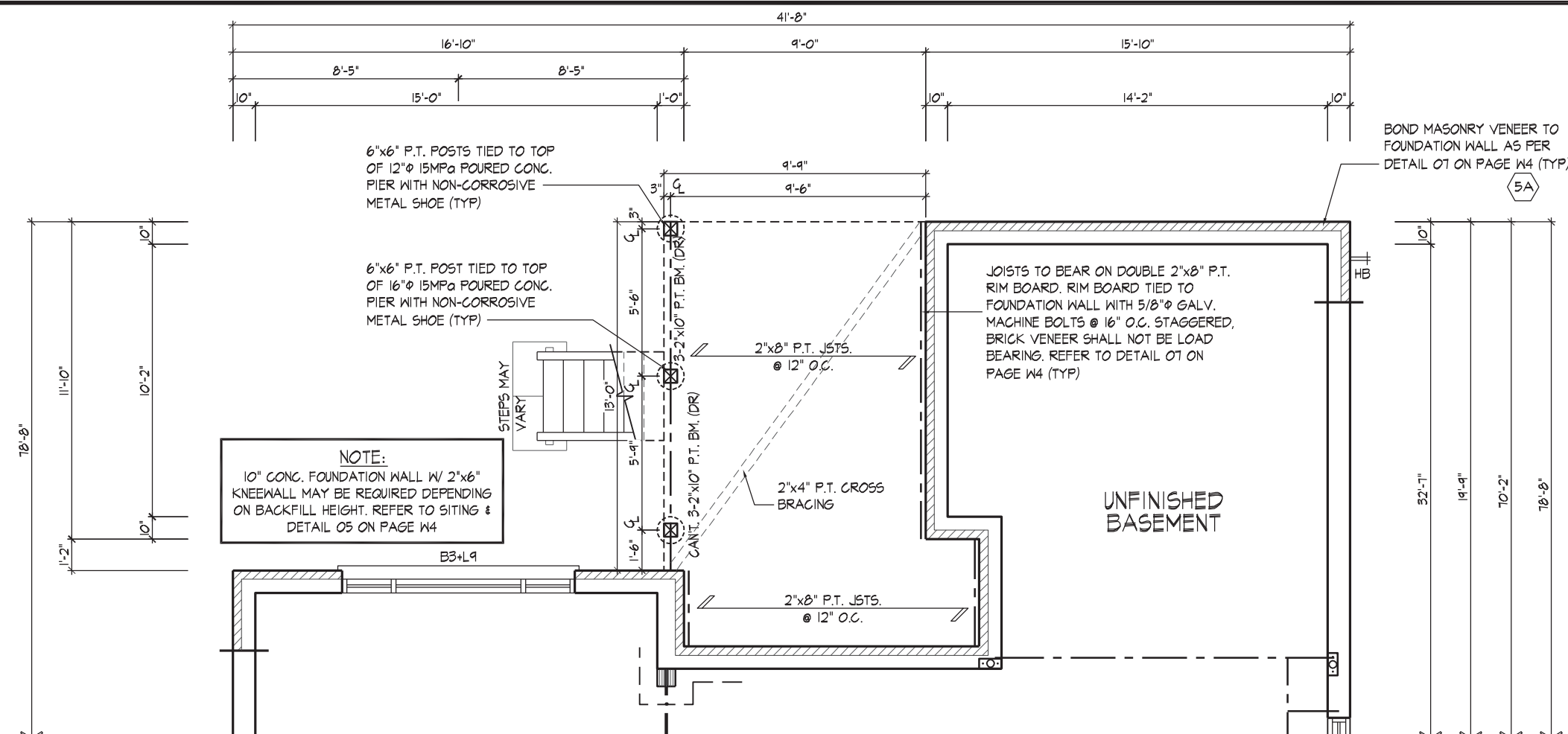
APPROVED BY: 

DATE: MAR 31, 2020

This stamp certifies compliance with the applicable
Design Guidelines only and bears no further
professional responsibility.

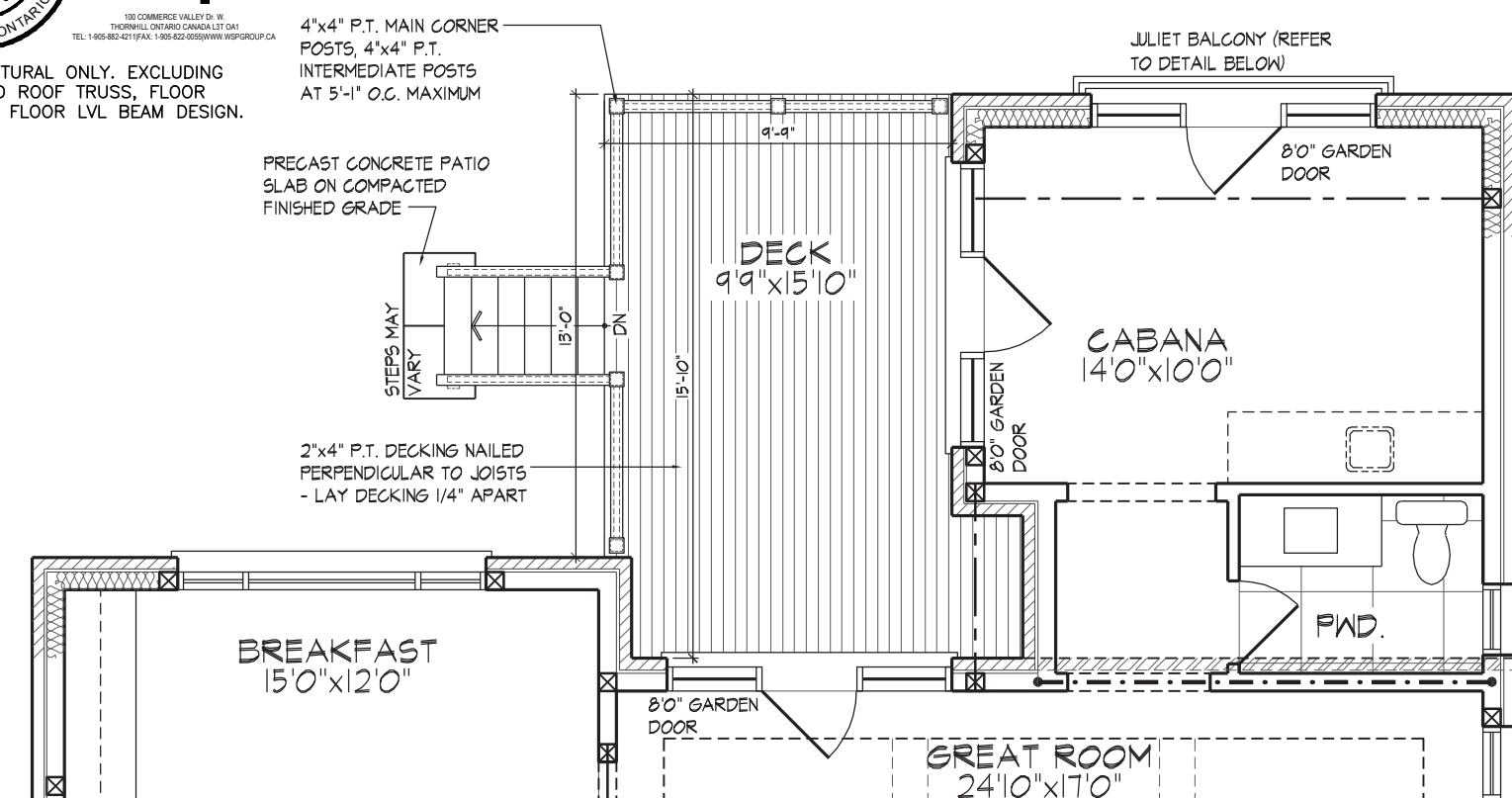
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Page Number
W1 of W8



PART, BASEMENT PLAN ELEV. 'A', 'B' & 'C' - L.O.D. COND.

NOTE:
REFER TO STANDARD FLOOR
PLANS FOR COMPLETE DIMENSIONS
& STRUCTURAL INFORMATION



PART, GROUND FLOOR PLAN ELEV. 'A', 'B' & 'C' - L.O.P. COND.

NOTE:
REFER TO STANDARD FLOOR
PLANS FOR COMPLETE DIMENSIONS
& STRUCTURAL INFORMATION

WINDOW SUMMARY					WINDOW SUMMARY				
PER O.B.C. TABLE 9.0.1(5.4)					PER O.B.C. TABLE 9.0.1(5.4)				
REAR ELEVATION A & B-ALL PLANS					REAR ELEVATION C- ALL PLANS				
QUAN.	WIDTH	DEPTH	WINDOW/ DOOR FRAME SIZE (S.F.)	QUAN.	WIDTH	DEPTH	WINDOW/ DOOR FRAME SIZE (S.F.)		
4	24"	52"	26.67	4	24"	52"	26.67		
1	44"	52"	13.33	1	48"	52"	14.67		
1	60"	52"	16.67	1	60"	52"	16.67		
1	56"	52"	15.33	1	60"	52"	14.67		
2	24"	72"	18.89	2	24"	72"	18.89		
2	24"	72"	18.89	2	24"	72"	18.89		
2	24"	72"	7.22	2	24"	30"	7.22		
1	56"	72"	15.33	1	56"	72"	15.33		
2	DOOR/TRANS.	82/67	125.34	2	DOOR/TRANS.	82/67	125.34		
0	ARCH	0	0.00	0	ARCH	0	0.00		
SPATIAL CALCULATED					SPATIAL CALCULATED				
EXPOSING BUILDING 1052.09 S.F.					EXPOSING BUILDING 1075.59 S.F.				
PORTION WALL AREA 97.74 S.F.					PORTION WALL AREA 97.24 S.F.				
PORTION WALL AREA 1092.79 S.F.					PORTION WALL AREA 99.81 S.F.				
LIMITING DISTANCE 7.50' MIN.					LIMITING DISTANCE 7.50' MIN.				
MAX. % OPENINGS 50 %					MAX. % OPENINGS 50 %				
OPENINGS ALLOWED 508.05 S.F.					OPENINGS ALLOWED 537.70 S.F.				
OPENINGS NOT ALLOWED 584.74 S.F.					OPENINGS NOT ALLOWED 537.89 S.F.				
ADDITIONAL NOTES					ADDITIONAL NOTES				
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS WINDOW FRAME PERIMETERS					GLAZED AREA CALCULATED W/ FRAME SIZE MINUS WINDOW FRAME PERIMETERS				

WINDOW SUMMARY				
PER O.B.C. TABLE 9-10.1.5				
REAR ELEVATION - ALL PLANS				
QUAN.	WIDTH	DEPTH	WINDOW / FRAME SIZE (S.F.)	
4	24"	52"	16.67	
1	48"	52"	26.67	
1	32"	52"	9.33	
1	60"	52"	18.89	
1	60"	72"	26.44	
2	34"	30"	7.22	
1	60"	52"	9.33	
2	DOOR	TRANS.	176.34	
0	ARCH	0.00	0.00	
SPATIAL CALCULATION				
EXPOSING BUILDING			1075.39	S.F.
FACE AREA			99.91	S.M.
PORTION WALL AREA			1075.39	S.F.
LIMITING DISTANCE			99.91	S.M.
MAX. % OPENINGS				
OPENINGS ALLOWED			53.70	S.F.
OPENINGS PROVIDED			256.62	S.F.
NOTES				
GLAZED AREA CALCULATED IN FRAME SIZE				
JUNOS 2" AROUND ENTIRE PERIMETER				

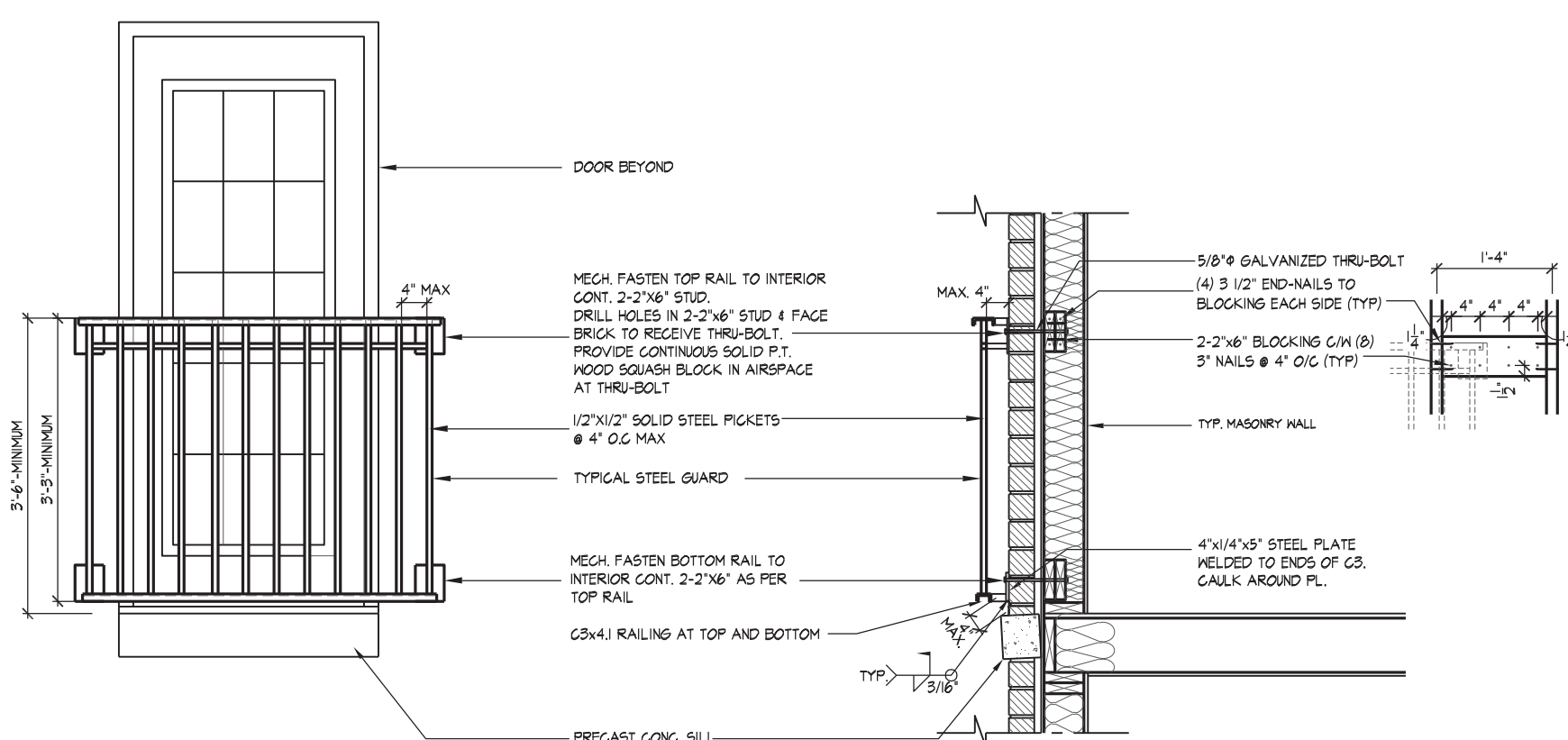


PART, REAR ELEVATION 'A', 'B' & 'C' - L.O.D. CONDITION

REFER TO FRONT ELEVATION & STANDARD
REAR FOR TYPICAL NOTES & INFO.



PART. LEFT SIDE ELEV. 'A', 'B', & 'C'
L.O.D. CONDITION



GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE TO THE O.B.C
2. ALL EXPOSED METAL SHALL BE PRIMED AND PAINTED TO PREVENT CORROSION
3. ALL HOLES THRU MASONRY AND WOOD SHALL BE MECH. DRILLED-PACK ALL EXPOSED HOLES WITH CAULKING AFTER ALL WELDING IS COMPLETE

1.C1 TYPICAL STEEL GUARD DETAIL AT SECOND FLOOR JULIET BALCONY
1/2" = 1'-0"

WINDOW SUMMARY			
PERF O.B.C., TABLE 9.10, 15.4			
LEFT SIDE ELEVATION A - PORTION 1			
QUANTITY	UNIT	DESCRIPTION	WINDOW DOOR FRAME SIZE (S)
2	"48"	24"	6.11
2	"28"	52"	16.00
2	"48"	60"	34.22
1	"72"	68"	30.22
2	"30"	16"	4.33
0	"0"	"0"	0.00
0	"0"	"0"	0.00
0	"0"	"0"	0.00
0	"0"	"0"	0.00
0	"ARCH"	0.00	0.00
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0	"ARCH"	0.00	0.00
0	"0"	0.00	0.00
SPIRAL CALCULATION			
EXPOSING BUILDING		1613.70	S.F.
FACE AREA		149.92	S.F.
PORTION WALL AREA		1416.55	S.F.
		131.60	S.F.
LIMITING DISTANCE 12 m			
MAX % OPENINGS			%
OPENINGS ALLOWED		99.16	S.F.
OPENINGS PROVIDED		90.89	S.F.
ADDITIONAL NOTES:			
GLAZED AREA CALCULATED W/FRAME SIZE			
MINUS 3% ARCHIT. ENTREE PERMITS			

WINDOW SUMMARY				
PER O.B.C. TABLE 5.10.15.4				
LEFT SIDE ELEVATION A - PORTION 2				
QUAN.	UNIT	LEFT	RIGHT	WINDOW / DOOR FRAME SIZE
0	18"	98"		8.94
0	0"	0"		0.00
0	0"	0"		0.00
0	0"	0"		0.00
0	0"	0"		0.00
0	0"	0"		0.00
0	0"	0"		0.00
0	0"	0"		0.00
2	DOOR SL	8.25		18.50
1	ARCH	11.00		11.00
0	ARCH	0.00		0.00
0	ARCH	0.00		0.00
SPATIAL CALCULATION				
EXPOSING BUILDING		16137.0	S.F.	
FACE AREA		149.92	S.F.	
PORTION WALL AREA		197.15	S.F.	
		16.32	S.F.	
LIMITING DISTANCE			9.0 m	
MAX. % OPENINGS		84	%	
OPENING ALLOWED		67.03	S.F.	
OPENINGS PROVIDED		36.44	S.F.	
ADDITIONAL NOTES:				
GLAZED AREA CALCULATED W/ FRAME SIZE				
MINUS 1/2" AROUND ENTIRE PERIMETER				

WINDOW SUMMARY			
PER F.O.B.C., TABLE 8.10, 15.4			
LEFT SIDE ELEVATION B - PORTION 1			
QUAN.	1	2	WINDOW / DOOR FRAME SIZE
1	24"	48"	6.11
2	28"	52"	16.00
1	48"	60"	34.22
1	72"	68"	30.00
2	30"	16"	4.33
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00
0	0"	0.00	0.00
SPATIAL CALCULATION			
EXPOSING BUILDING		1611.31	S.F.
FACE AREA		148.70	S.F.
PORTION WALL AREA		125.34	S.F.
LIMITING DISTANCE		12 m	
MAX. % OPENINGS			
OPENINGS ALLOWED		97.45	%
OPENINGS PROVIDED		90.89	%
ADDITIONAL NOTES			
GLAZED AREA CALCULATED W/ FRAME SIZE			
UNGLAZED AREA ENTERED PERIMETER			

[illegible]

WINDOW SUMMARY			
PORT O.B.C., TABLE S-10, 15.4			
LEFT SIDE ELEVATION C - PORTION I			
QUAN.	UNIT	WINDOW / DOOR FRAME SIZE	S.F.
2	48"	24"	6.11
2	28"	52"	16.00
2	48"	60"	34.22
1	72"	60"	30.22
2	30"	16"	4.33
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00
SPATIAL CALCULATION			
EXPOSING BUILDING		1622.00	S.F.
FACE AREA		150.89	S.F.
PORTION WALL AREA		1379.64	S.F.
LIMITING DISTANCE		12.0	M
MAX. X OPENINGS			
OPENINGS ALLOWED		96.57	S.F.
OPENINGS PROVIDED		90.89	S.F.
ADDITIONAL NOTES:			
GLAZED AREA CALCULATED W/ FRAME SIZE			
MINUS 3' X 4' ENTRY PERIMETER			

WINDOW SUMMARY				
PER O.B.C. TABLE E.10.15.4				
LEFT SIDE ELEVATION C - PORTION 2				
# QUANT	UNIT	HEIGHT	WINDOW / DOOR FRAME SIZE	GLAZED AREA
0	0	0	0	0.00
0	0	0	0	0.00
0	0	0	0	0.00
0	0	0	0	0.00
0	0	0	0	0.00
0	0	0	0	0.00
0	0	0	0	0.00
0	0	0	0	0.00
0	0	0	0	0.00
0	0	0	0	0.00
1	DOOR GLZ	8.25	18.50	151.50
1	DOOR GLZ	11.00	11.00	121.00
0	ARCH	0.00	0.00	0.00
0	ARCH	0.00	0.00	0.00
0	ARCH	0.00	0.00	0.00
			SPIRITUAL CALCULATION	
EXPOSING BUILDING			1822.00	S.F.
FACE AREA			150.69	S.F.
PORTION WALL AREA			191.15	S.F.
			18.52	S.F.
LIMITING DISTANCE			5.0	m
MAX. % OPENINGS			54	%
OPENINGS ALLOWED			67.03	S.F.
OPENINGS PROVIDED			27.50	S.F.
ADDITIONAL NOTES				
GLAZED AREA CALCULATED W/ FRAME SIZE				
MINUS 2% AREA DEDUCTED FOR FRAME PARAMETERS				

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: 
DATE: MAR 31, 2020

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION

Orin Fairbairn 202

NAME SIGNATURE

REGISTRATION INFORMATION

HUNT DESIGN ASSOCIATES INC. 19

All drawings specifications related documents and design are the copy

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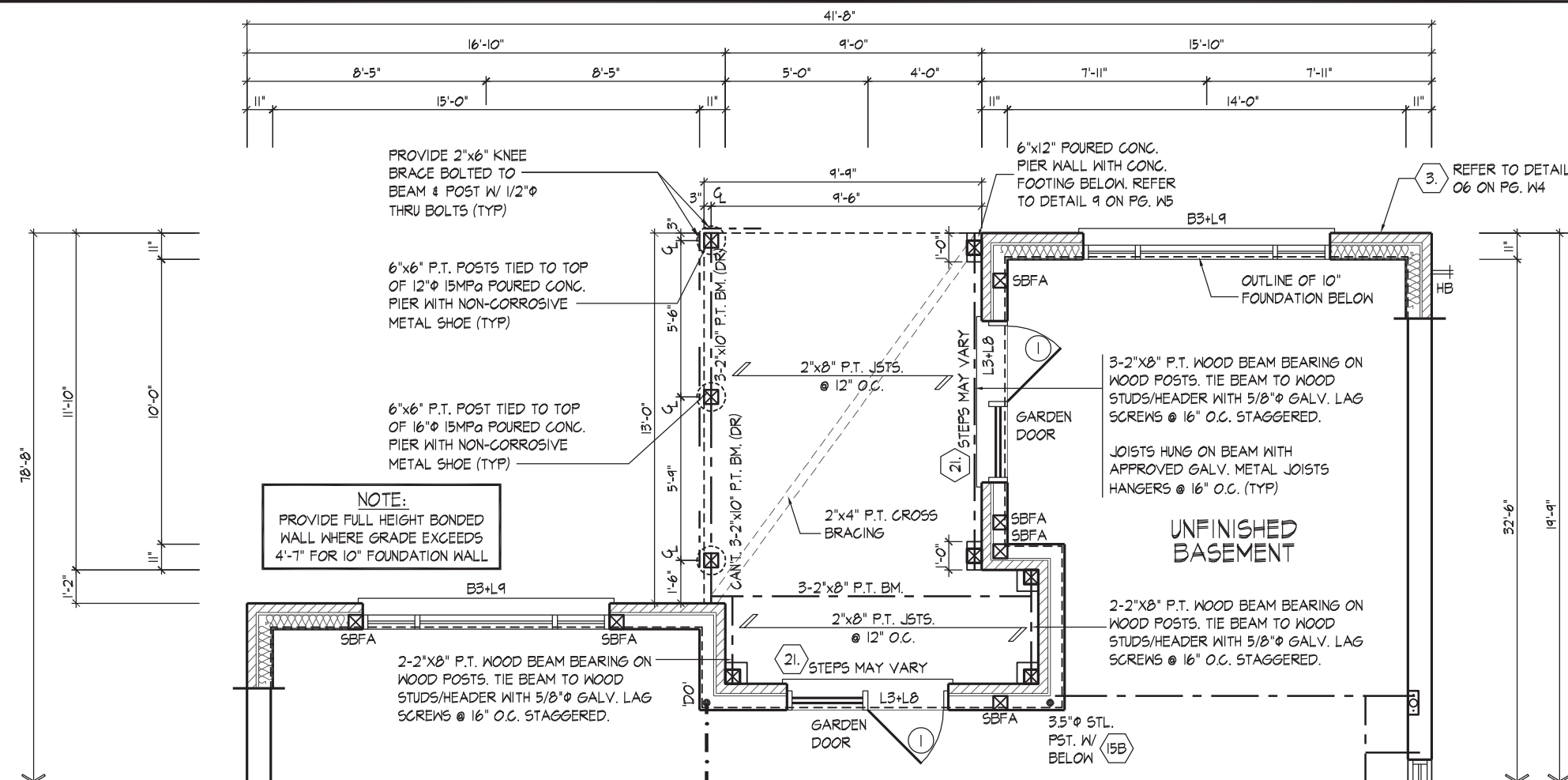
GOLDPARK HOMES - 217020
PINE VALLEY, VAUGHAN, ONT.

LOOK OUT DECK CONDITION
UNIT 5005 - THE KNIGHTSWOOD
REV.2020.03.30

Drawn By	Checked By	Scale	File Number
OF	SB	3/16"=1'-0"	217020WS50
8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326			

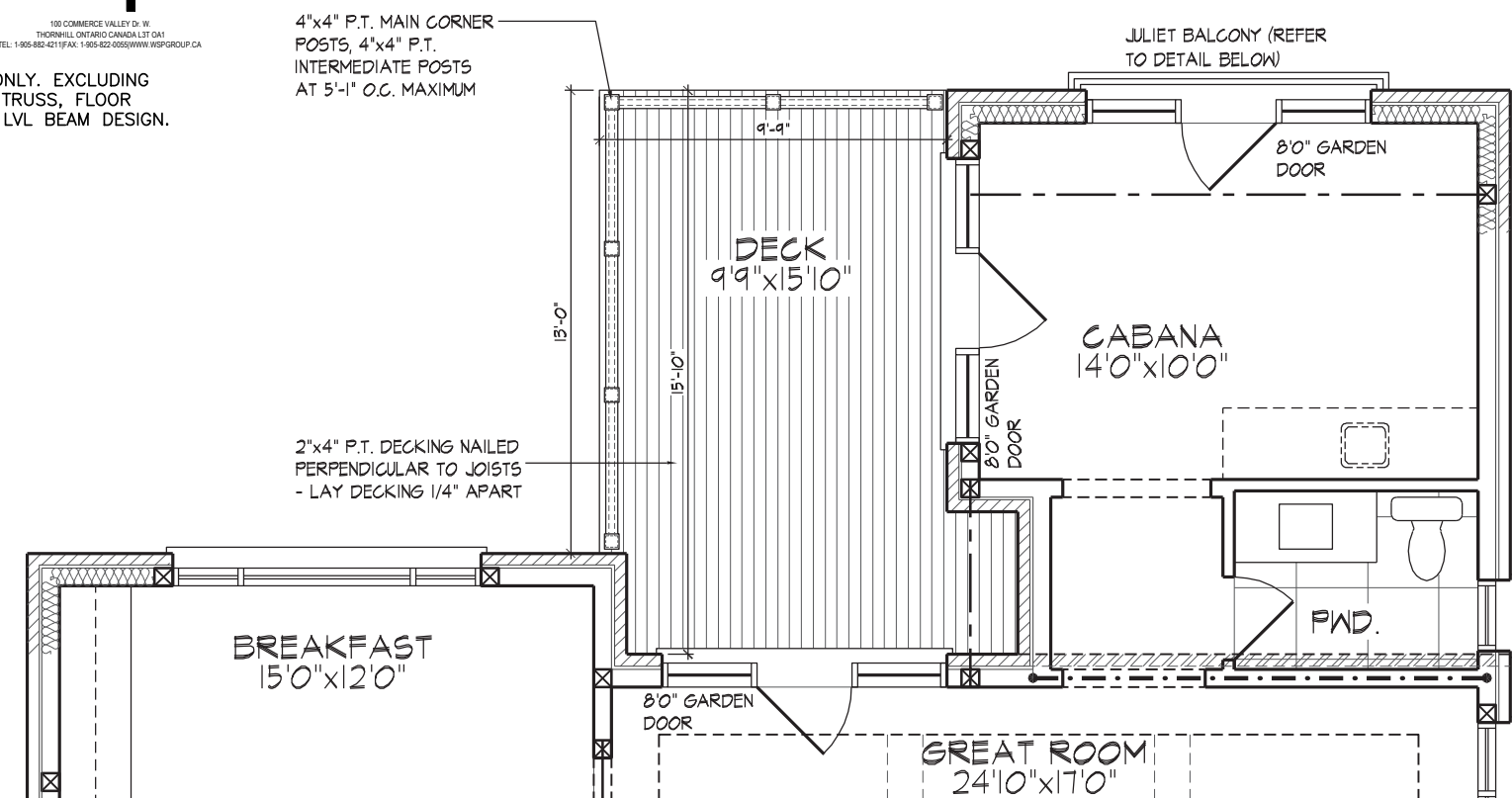
Page Number
110 110

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PART. BASEMENT PLAN ELEV. 'A', 'B' & 'C' - W.O.B. COND

NOTE:
REFER TO STANDARD FLOOR
PLANS FOR COMPLETE DIMENSIONS
& STRUCTURAL INFORMATION



PART. GROUND FLOOR PLAN ELEV. 'A', 'B' & 'C' - W.O.B. COND.

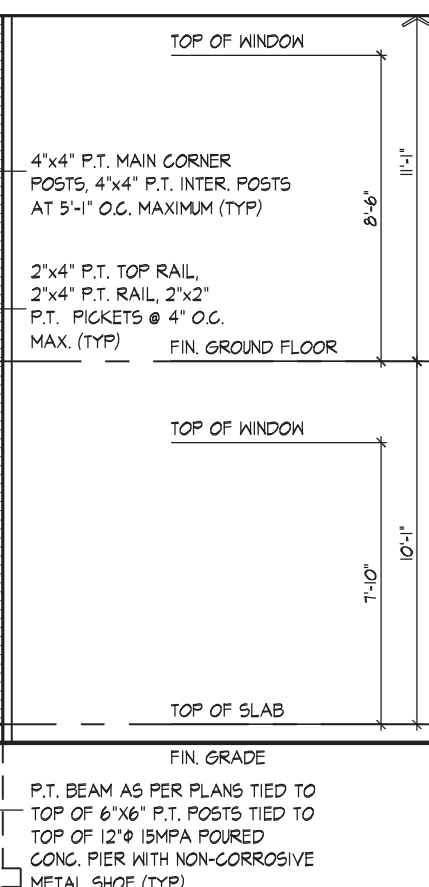
NOTE:
REFER TO STANDARD FLOOR
PLANS FOR COMPLETE DIMENSIONS
& STRUCTURAL INFORMATION

WINDOW SCHEDULE				WINDOW SCHEDULE			
PER O.B.C. TABLE 9.10.15.4				PER O.B.C. TABLE 9.10.15.4			
REAR ELEVATION - ALL PLANS				REAR ELEVATION - C. ALL PLANS			
QUANT.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	QUANT.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)
4	24"	52"	26.67	4	24"	52"	26.67
1	44"	52"	13.33	1	48"	52"	14.67
1	56"	52"	17.33	1	60"	52"	19.33
1	56"	52"	17.33	1	60"	52"	18.67
2	24"	72"	18.69	2	24"	72"	18.69
1	56"	72"	31.11	1	60"	72"	28.44
4	24"	60"	31.11	4	24"	60"	31.11
2	56"	60"	40.44	2	60"	60"	40.44
1	DOOR TRANS.	62.67	129.34	1	DOOR TRANS.	62.67	129.34
1	DOORTRANS.	27.67	129.34	1	DOORTRANS.	27.67	129.34
SPATIAL CALCULATION				SPATIAL CALCULATION			
EXPONENTIAL WALL AREA				EXPONENTIAL WALL AREA			
1281.23 S.F.				1304.56 S.F.			
FACE AREA				FACE AREA			
1281.23 S.F.				121.20 S.F.			
PORTION WALL AREA				PORTION WALL AREA			
1281.23 S.F.				1304.56 S.F.			
1281.23 S.F.				121.20 S.F.			
LIMITING DISTANCE				LIMITING DISTANCE			
7.50 m				7.50 m			
MAX % OPENINGS				MAX % OPENINGS			
50 %				50 %			
CLOSING ALLOWED				CLOSING ALLOWED			
66.67 %				66.67 %			
CLOSING ALLOWED				CLOSING ALLOWED			
50.00 %				50.00 %			
ADDITIONAL NOTES				ADDITIONAL NOTES			
GLAZED AREA CALCULATED IN FRAME SIZE				GLAZED AREA CALCULATED IN FRAME SIZE			
FROM CENTRE OF FRAME				FROM CENTRE OF FRAME			



PART. REAR ELEVATION 'A', 'B' & 'C' - W.O.B. CONDITION

REFER TO FRONT ELEVATION & STANDARD
REAR FOR TYPICAL NOTES & INFO.



PART. LEFT SIDE ELEV. 'A', 'B', & 'C'
W.O.B. CONDITION

WINDOW SUMMARY					WINDOW SUMMARY				
PER D.O.C. TABLE 9.10-15.4					PER D.O.C. TABLE 9.10-15.4				
LEFT SIDE ELEVATION B - PORTION 1					LEFT SIDE ELEVATION B - PORTION 2				
COUNT	METHOD	WINDOW / DOOR FRAME SIZE (S.F.)	WINDOW / DOOR FRAME SIZE (S.F.)		COUNT	METHOD	WINDOW / DOOR FRAME SIZE (S.F.)	WINDOW / DOOR FRAME SIZE (S.F.)	
2	24"	48"	6.11	0.00	0	0"	0"	0.00	
2	28"	55"	16.00	0.00	0	0"	0"	0.00	
2	48"	60"	34.22	0.00	0	0"	0"	0.00	
1	36"	60"	34.22	0.00	0	0"	0"	0.00	
2	30"	16"	4.33	0.00	0	0"	0"	0.00	
0	0"	0"	0.00	0.00	0	0"	0"	0.00	
0	0"	0"	0.00	0.00	0	0"	0"	0.00	
0	0"	0"	0.00	0.00	0	0"	0"	0.00	
0	0"	0"	0.00	0.00	0	0"	0"	0.00	
0	ARCH	0.00	0.00	0.00	2	DOOR GLZ.	8.25	16.00	
0	ARCH	0.00	0.00	0.00	1	DOOR GLZ.	11.00	11.00	
0	ARCH	0.00	0.00	0.00	1	DOORTRAN	27.67	27.67	
0	ARCH	0.00	0.00	0.00	0	ARCH	24.95	24.95	
SPATIAL CALCULATION					SPATIAL CALCULATION				
EXPOSING BUILDING FACE AREA		1782.34	S.F.		EXPOSING BUILDING FACE AREA		1782.34	S.F.	
PORTION WALL AREA		1481.77	S.F.		PORTION WALL AREA		268.59	S.F.	
LIMITING DISTANCE		12 m			LIMITING DISTANCE		9.0 m		
MAX % OPENINGS		%			MAX % OPENINGS		94	%	
OPENINGS PROVIDED		104.82	S.F.		OPENINGS PROVIDED		91.52	S.F.	
OPENINGS PROVIDED		90.49	S.F.		OPENINGS PROVIDED		55.17	S.F.	
ADDITIONAL NOTES					ADDITIONAL NOTES				
GLAZED AREA CALCULATED IN FRAME SIZE MINUS Z AROUND INTER-FRAME PERIMETER					GLAZED AREA CALCULATED IN FRAME SIZE MINUS Z AROUND INTER-FRAME PERIMETER				

WINDOW SUMMARY					WINDOW SUMMARY				
PER O.C.B. TALE 9.10.15.4					PER O.C.B. TALE 9.10.15.4				
LEFT SIDE ELEVATION C- PORTION 1					LEFT SIDE ELEVATION C- PORTION 2				
QUANT	WIDTH	HEIGHT	WINDOW/DOOR FRAME SIZE (S.F.)		QUANT	WIDTH	HEIGHT	WINDOW/DOOR FRAME SIZE (S.F.)	
2	24"	48"	6.11	0	0"	0"	0"	0.00	
2	28"	52"	16.00	0	0"	0"	0"	0.00	
2	48"	60"	34.22	0	0"	0"	0"	0.00	
1	30"	60"	15.00	0	0"	0"	0"	0.00	
2	30"	16"	4.33	0	0"	0"	0"	0.00	
0	0"	0"	0.00	0	0"	0"	0"	0.00	
0	0"	0"	0.00	0	0"	0"	0"	0.00	
0	0"	0"	0.00	0	0"	0"	0"	0.00	
0	0"	0"	0.00	0	0"	0"	0"	0.00	
0	ARCH	0.00	0.00	2	DOOR GLZ.	8.25	16.00	11.00	
0	ARCH	0.00	0.00	1	DOOR GLZ.	11.00	11.00	11.00	
0	ARCH	0.00	0.00	1	DOOR/TRAN	27.67	27.67	27.67	
0	ARCH	0.00	0.00	1	DOOR/TRAN	25.95	25.95	25.95	
SPATIAL CALCULATION					SPATIAL CALCULATION				
EXPOSING BUILDING					EXPOSING BUILDING				
FACE AREA					FACE AREA				
173.03 S.F.					173.03 S.F.				
PORTION WALL AREA					PORTION WALL AREA				
1473.23 S.F.					288.59 S.F.				
LIMITING DISTANCE					LIMITING DISTANCE				
1.2 m					9.0 m				
MAX # OPENINGS					MAX # OPENINGS				
103.55 S.F.					94 S.F.				
OPENINGS PROVIDED					OPENINGS PROVIDED				
80.69 S.F.					55.17 S.F.				
ADDITIONAL NOTES					ADDITIONAL NOTES				
GLAZED AREA CALCULATED IN FRAME SIZE					GLAZED AREA CALCULATED IN FRAME SIZE				
MINUS 2 AROUND INTRIFRME					MINUS 2 AROUND INTRIFRME				

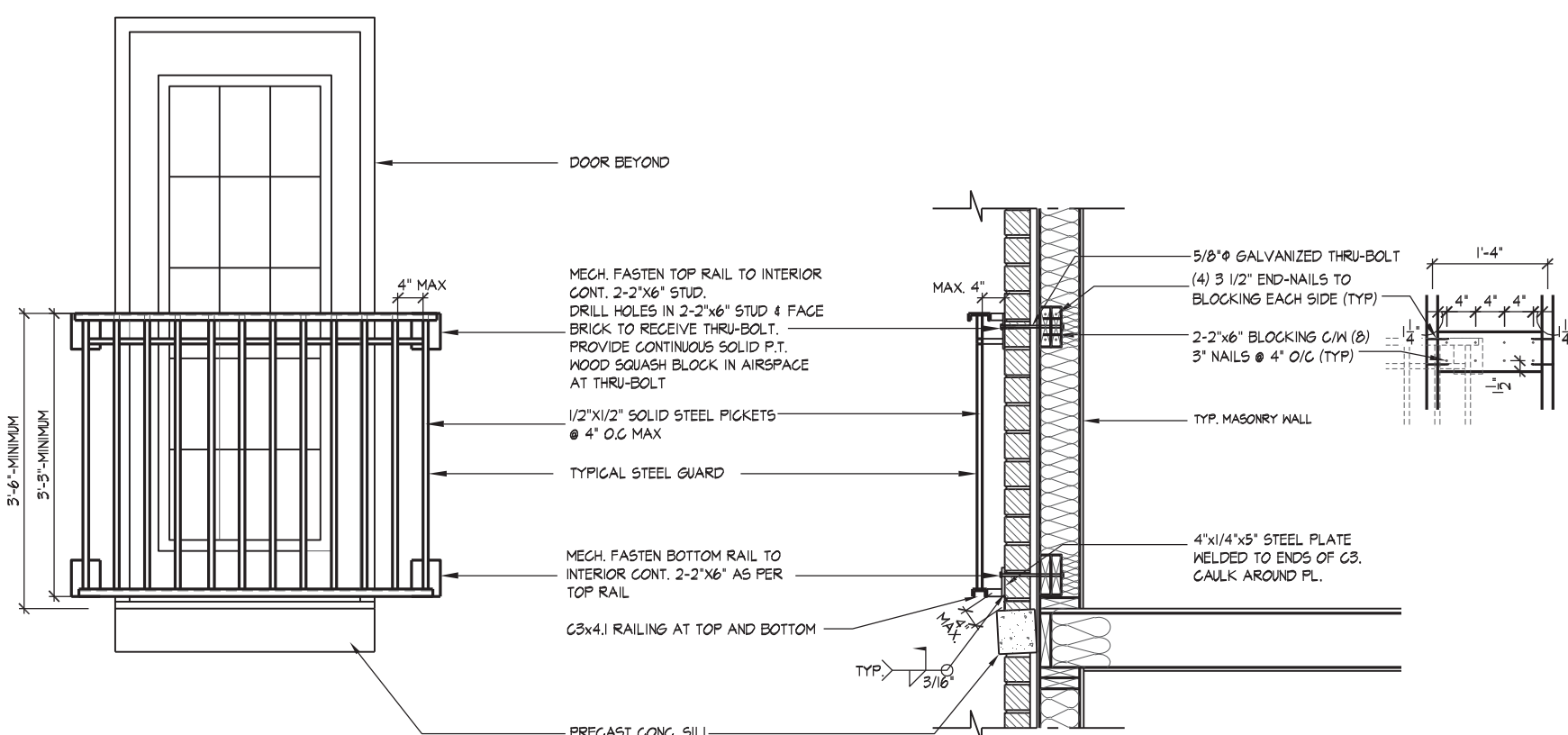
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements, including zoning provisions and any provisions in the subdivision agreement. The Contractor is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning, building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: 
DATE: MAR 31, 2020

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.



GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE TO THE O.B.C
2. ALL EXPOSED METAL SHALL BE PRIMED AND PAINTED TO PREVENT CORROSION
3. ALL HOLES THRU MASONRY AND WOOD SHALL BE MECH. DRILLED-PACK ALL EXPOSED HOLES WITH CAULKING AFTER ALL WELDING IS COMPLETE

1.C1 TYPICAL STEEL GUARD DETAIL AT SECOND FLOOR JULIET BALCONY

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION
Order Foldhere

NAME _____ SIGNATURE _____

HUNT DESIGN ASSOCIATES INC.	19
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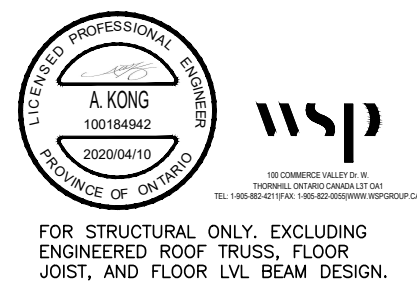
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DESIGN ASSOCIATES INC.

GOLDPARK HOMES - 217020
PINE VALLEY, VAUGHAN, ONT.

UNIT 5005 - THE KNIGHTSWOOD
REV.2020.03.30

Drawn By	Checked By	Scale	File Number
OF	SB	3/16"=1'-0"	217020WS5005.DWG
8966 Woodbine Ave. Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326			

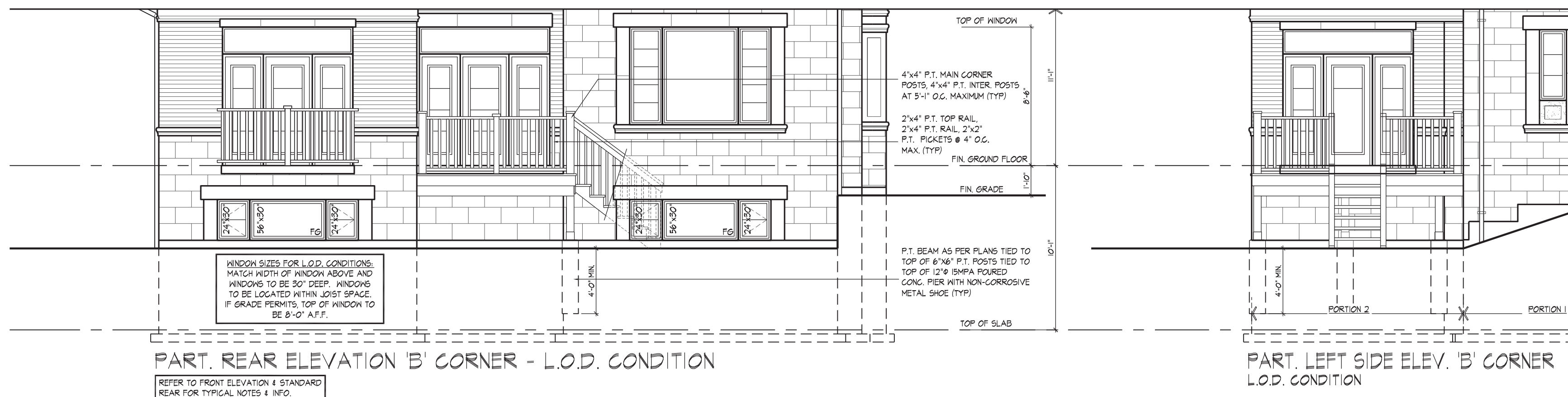
Page Number
11/3 of 11/8



NOTE:
REFER TO STANDARD FLOOR
PLANS FOR COMPLETE DIMENSIONS
& STRUCTURAL INFORMATION

PART. GROUND FLOOR PLAN ELEV. 'B' CORNER - L.O.D. COND.

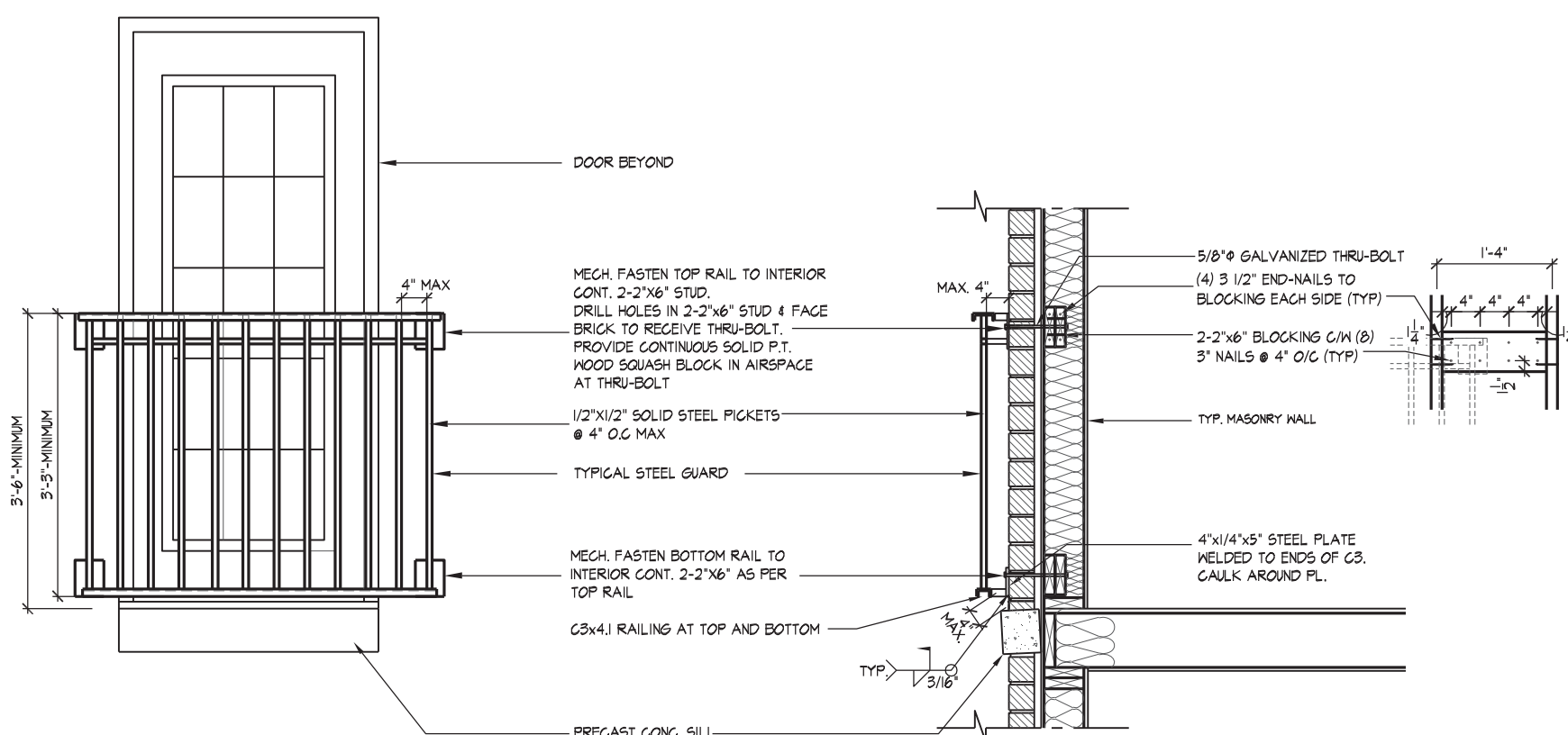
NOTE:
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PLANS FOR COMPLETE DIMENSIONS
& STRUCTURAL INFORMATION



PART. REAR ELEVATION 'B' CORNER - L.O.D. CONDITION

REFER TO FRONT ELEVATION & STANDARD
REAR FOR TYPICAL NOTES & INFO.

PART. LEFT SIDE ELEV. 'B' CORNER
L.O.D. CONDITION



GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE TO THE O.B.C
2. ALL EXPOSED METAL SHALL BE PRIMED AND PAINTED TO PREVENT CORROSION
3. ALL HOLES THRU MASONRY AND WOOD SHALL BE MECH. DRILLED-PACK ALL EXPOSED HOLES WITH CAULKING AFTER ALL WELDING IS COMPLETE

1.C1 TYPICAL STEEL GUARD DETAIL AT SECOND FLOOR JULIET BALCONY

1.C1 TYPIC $1/2' = 1'-0"$

WINDOW SUMMARY			
PER O.B.C. TABLE 9.10.15.4			
REAR ELEVATION B-CORNER			
QUAN	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)
2	24"	48"	12.22
1	48"	48"	13.44
1	24"	48"	3.56
2	24"	64"	15.67
1	56"	64"	24.89
2	24"	72"	18.49
1	56"	72"	24.89
4	24"	24"	14.88
2	56"	30"	16.78
0	0"	0"	
2	DOOR	82.67	123.56
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00
SPATIAL CALCULATION			
EXPOSING BUILDING		1123.67	S.F.
PORTION WALL AREA		104.39	S.F.
PORTION WALL AREA		104.39	S.F.
LIMITING DISTANCE		5.0	ft.
MAX. % OPENINGS ALLOWED		50	%
OPENINGS ALLOWED		561.84	S.F.
OPENINGS PROVIDED		274.56	S.F.
ADDITIONAL NOTES			
GLAZED AREA CALCULATED WITH FRAME SIZE			
MINUS 1/2 DOOR ENTIRE PERIMETER			

[illegible]

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It is to be certified that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL REVIEW AND APPROVAL

APPROVED BY: _____
DATE: MAR 31, 2020

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THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION

Orin Fairbairn 202

NAME SIGNATURE

REGISTRATION INFORMATION

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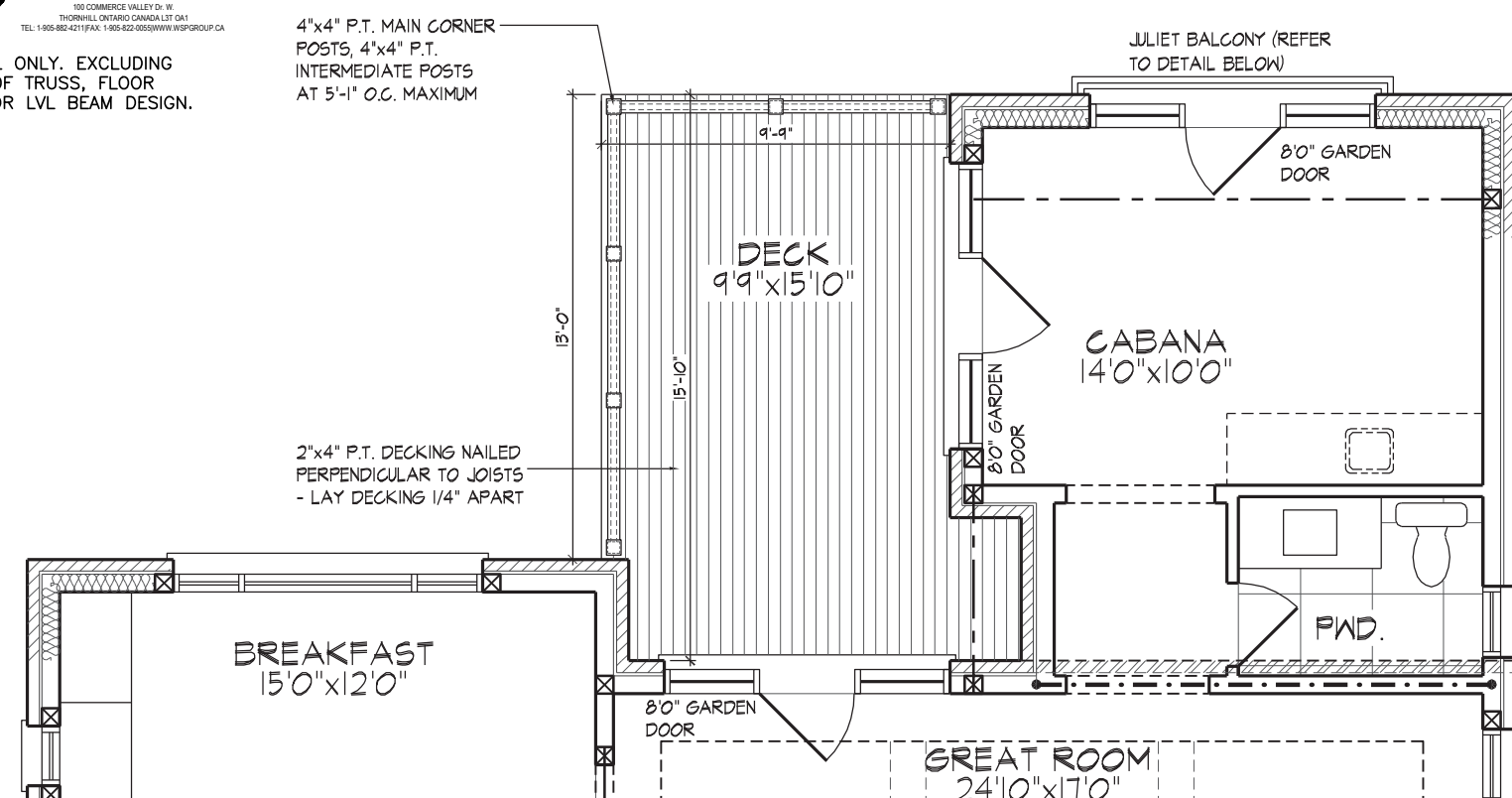
GOLDPARK HOMES - 217020
PINE VALLEY, VAUGHAN, ONT.

Drawn By	Checked By	Scale
OF	SB	3/16" = 1'-0"

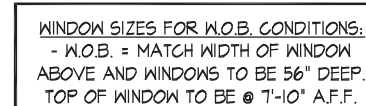
LOOK OUT DECK CONDITION
UNIT 5005 - THE KNIGHTSWOOD
 REV.2020.03.30

File Number: 217020WS5005.DWG Page Number: W5 of W8

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NOTE:
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& STRUCTURAL INFORMATION



REFER TO FRONT ELEVATION & STANDARD
REAR FOR TYPICAL NOTES & INFO.



1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE TO THE O.B.C
2. ALL EXPOSED METAL SHALL BE PRIMED AND PAINTED TO PREVENT CORROSION
3. ALL HOLES THRU MASONRY AND WOOD SHALL BE MECH. DRILLED-PACK ALL EXPOSED HOLES WITH CAULKING AFTER ALL WELDING IS COMPLETE

1.C1 **TYPICAL STEEL GUARD DETAIL AT SECOND FLOOR JULIET BALCONY**

WINDOW SUMMARY

PER O.B.C. TABLE E-10, 15.4

LEFT SIDE ELEVATION B - PORTION 1

QUAN.	WIDTH INCHES	DEPTH INCHES	WINDOW / DOOR FRAME SIZE (S.F.)	S.F.	
3	20"	84"	20.00	0.00	
3	20"	84"	20.00	0.00	
3	24"	84"	25.00	0.00	
3	24"	88"	26.67	0.00	
1	48"	84"	48.00	0.00	
1	30"	16"	2.17	0.00	
0	0"	0"	0.00	0.00	
0	0"	0"	0.00	0.00	
0	0"	0"	0.00	0.00	
0	0"	0"	0.00	0.00	
ARCHI	4.34	4.34	DOOR GLZ	8.25	
0	ARCHI	0.00	DOOR GLZ	11.00	
0	ARCHI	0.00	0.00	DOORTHRN	27.67
0	ARCHI	0.00	0.00	DOORTHRN	27.67
SPATIAL CALCULATION					
EXPOSING BUILDING FACE AREA 1789.06 S.F.					
FACED AREA 164.35 S.F.					
PORTRON WALL AREA 1496.64 S.F.					
LIMITING DISTANCE 2.0 m					
MAX. % OPENINGS 8 %					
OPENINGS ALLOWED 1739.57 S.F.					
OPENINGS PROVIDED 108.17 S.F.					
ADDITIONAL NOTES:					
GLAZED AREA CALCULATED W/ FRAME SIZE					

WINDOW SUMMARY

PER O.B.C. TABLE E-10, 15.4

LEFT SIDE ELEVATION B - PORTION 2

QUAN.	WIDTH INCHES	DEPTH INCHES	WINDOW / DOOR FRAME SIZE (S.F.)	S.F.
0	0"	0"	0.00	0.00
0	0"	0"	0.00	0.00
0	0"	0"	0.00	0.00
0	0"	0"	0.00	0.00
0	0"	0"	0.00	0.00
0	0"	0"	0.00	0.00
0	0"	0"	0.00	0.00
0	0"	0"	0.00	0.00
0	0"	0"	0.00	0.00
0	0"	0"	0.00	0.00
0	0"	0"	0.00	0.00
0	0"	0"	0.00	0.00
0	0"	0"	0.00	0.00
0	0"	0"	0.00	0.00
0	0"	0"	0.00	0.00
0	0"	0"	0.00	0.00
0	0"	0"	0.00	0.00
0	0"	0"	0.00	0.00
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0	0"	0"	0.00	0.00
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0	0"	0"	0.00	0.00
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0	0"	0"	0.00	0.00
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0	0"	0"	0.00	0.00
0	0"	0"	0.00	0.00
0	0"	0"	0.00	0.00
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0	0"	0"	0.00	0.00
0	0"	0"	0.00	0.00
0	0"	0"	0.00	0.00
0	0"	0"	0.00	0.00
0	0"	0"	0.00	0.00
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0	0"	0"	0.00	0.00
0	0"	0"	0.00	0.00
0	0"	0"	0.00	0.00
0	0"	0"	0.00	0.00
0	0"	0"	0.00	0.00
0	0"	0"	0.00	0.00
0	0"	0"	0.00	0.00
0	0"	0"	0.00	0.00
0	0"	0"	0.00	0.00
0	0"	0"	0.00	0.00
0	0"	0"	0.00	0.00
0	0"	0"	0.00	0.00
0	0"	0"	0.00	0.00
0	0"	0"	0.00	0.00
0	0"	0"	0.00	0.00
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It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

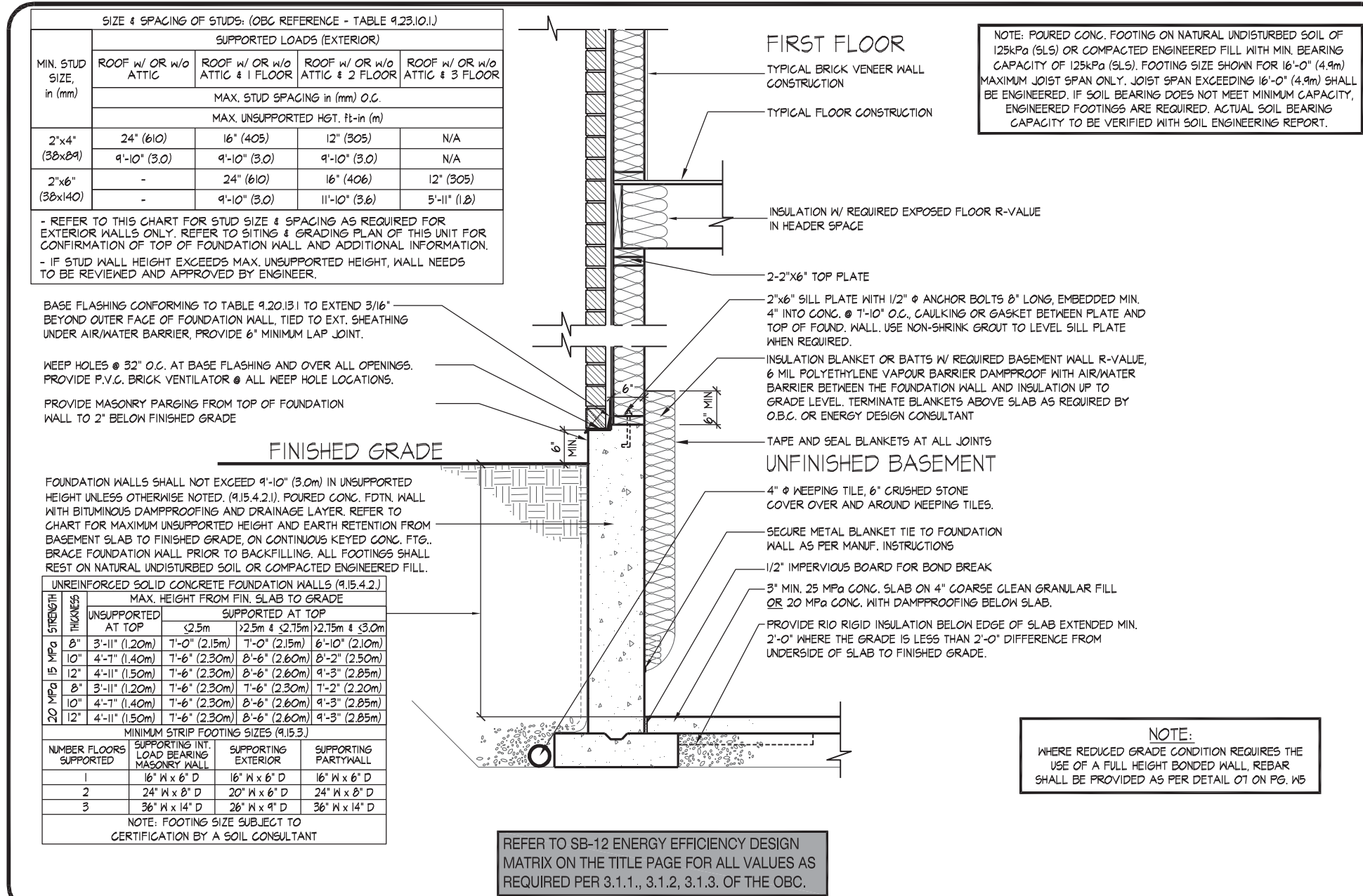
APPROVED BY: _____
DATE: MAR 31, 2020

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

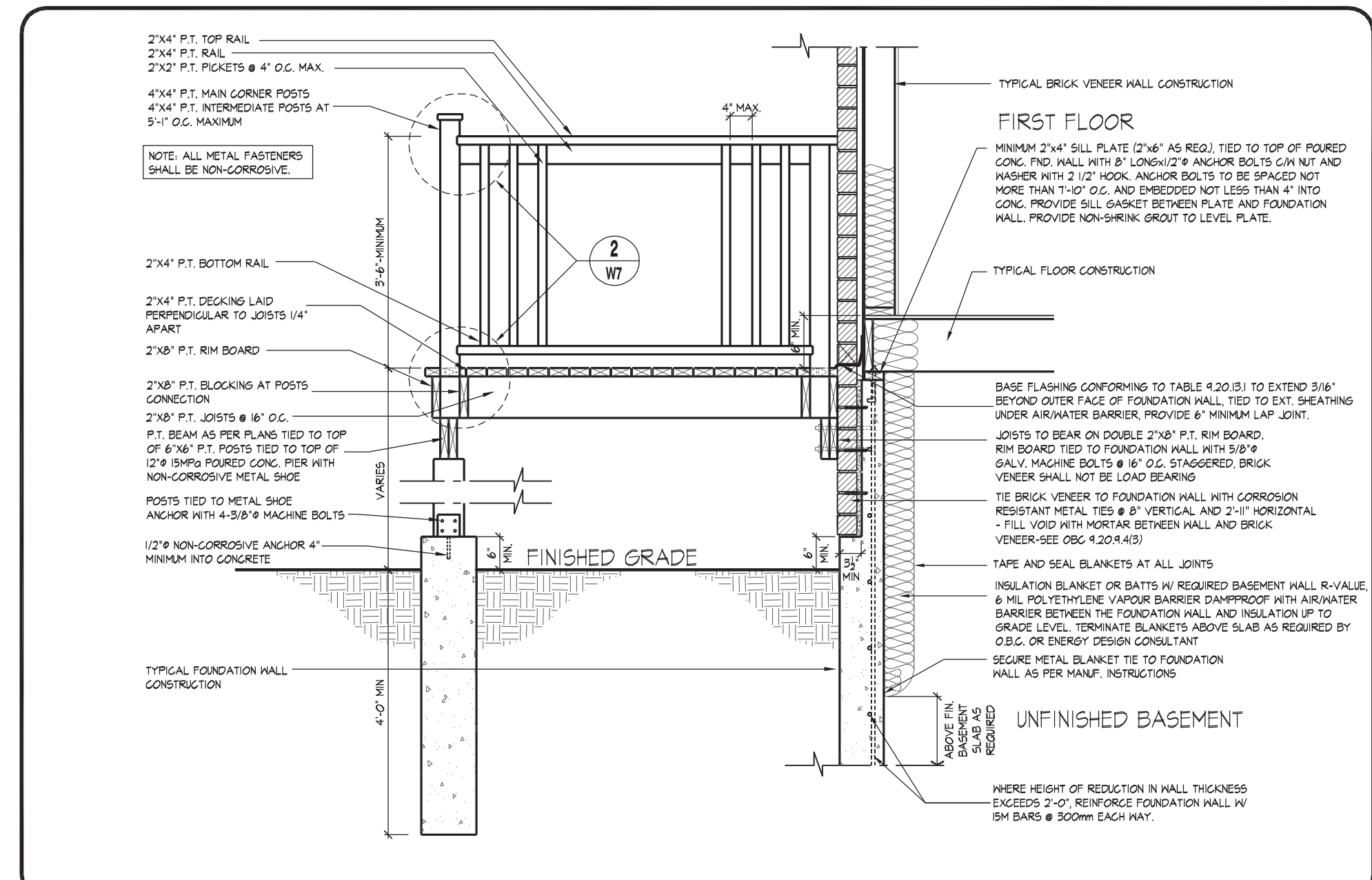
THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER. QUALIFICATION INFORMATION			202
NAME ORIN FAIRBARN	SIGNATURE		E
REGISTRATION INFORMATION			19
HUNT DESIGN ASSOCIATES INC.			19
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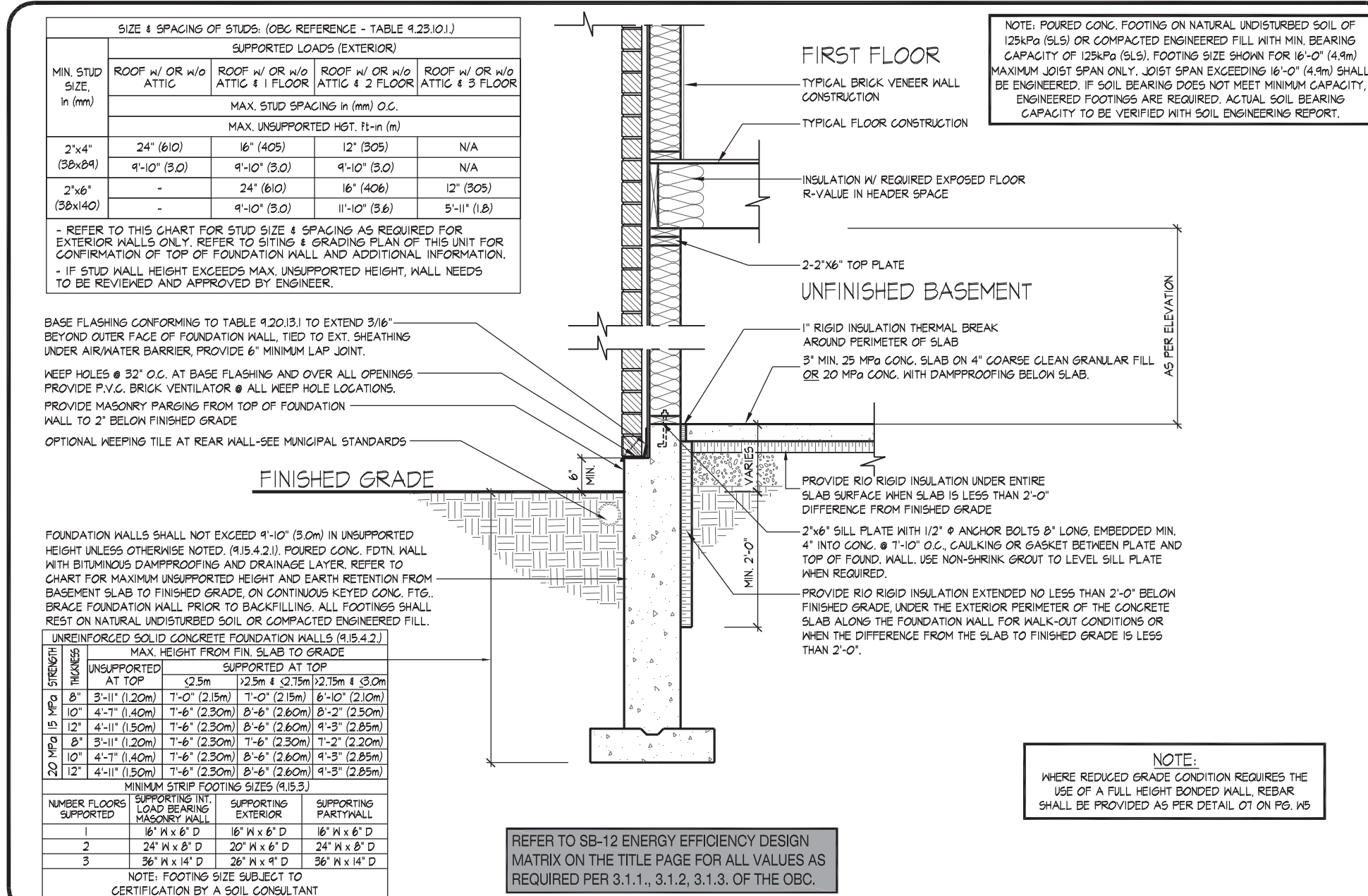
WALK OUT BASEMENT CONDITION				
GOLDPARK HOMES - 217020		UNIT 5005 - THE KNIGHTSWOOD		
PINE VALLEY, VAUGHAN, ONT.		REV.2020.03.30		
Drawn By	Checked By	Scale	File Number	Page Number
OF	SB	3/16"=1'-0"	217020/WS5005.DWG	W6 of W8
8966 Woodbine Ave., Markham, ON L3R 0T7 T 905.737.5133 F 905.737.7326				
A's written permission (H.D.A. assumes no responsibility or liability for this property unless it bears the appropriate BCN number and ordinal signature.)				



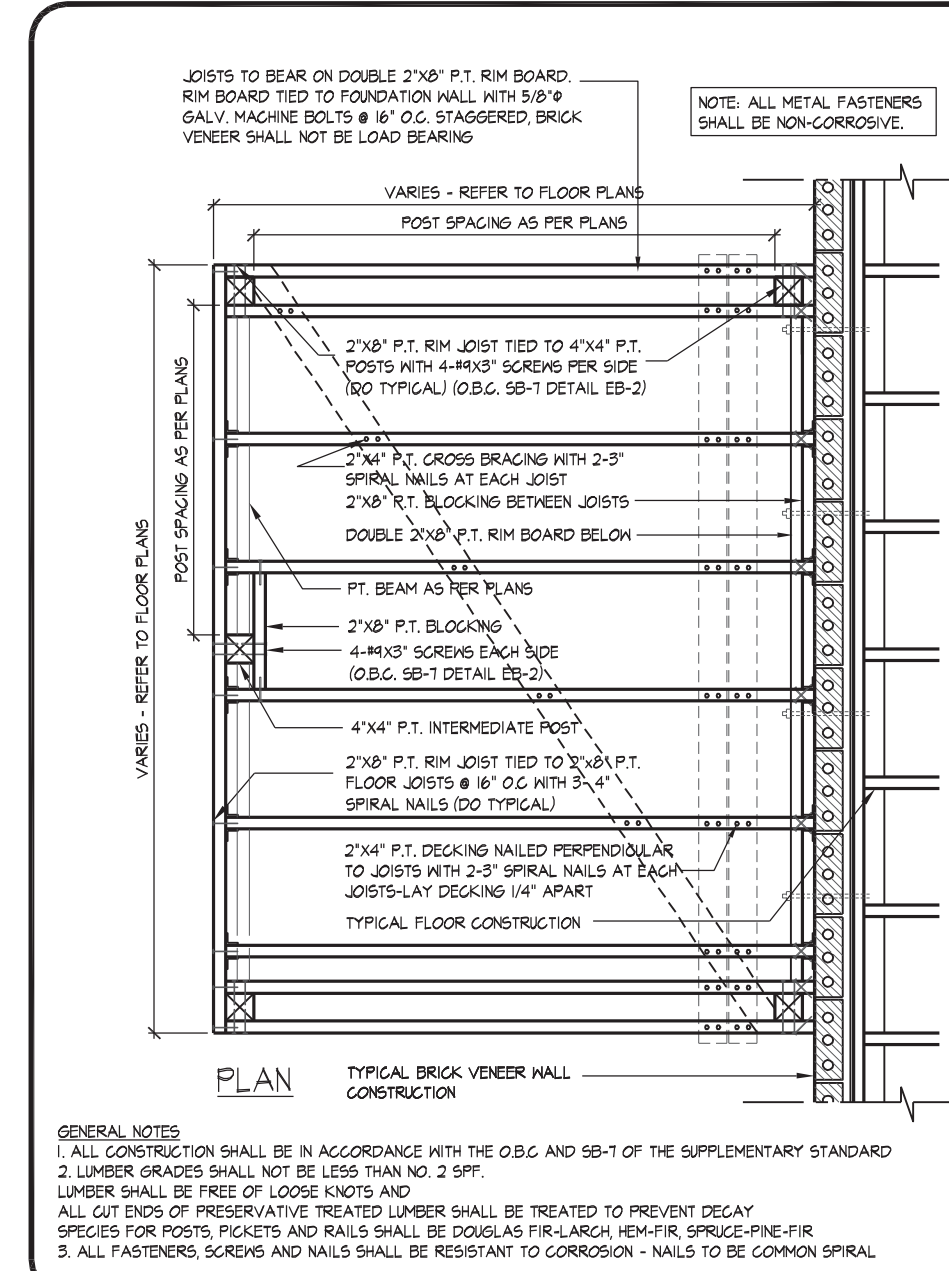
05 MASONRY VENEER, 2"x6" STUDS, 10' FOUNDATION WALL Laterally UNSUPPORTED
1/2" = 1'-0"



07 MASONRY VENEER, TYPICAL WALK/LOOK OUT WOOD DECK, SOLID MASONRY
1/2" = 1'-0"



06 MASONRY VENEER, 2"x6" STUDS, SLAB ON GRADE / WALK OUT BASEMENT CONDITION
1/2" = 1'-0"



08 TYP. DECK FRAMING ON WOOD LEDGER, BRICK VENEER
1/2" = 1'-0"



wsp

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ENGINEERED ROOF TRUSS, FLOOR
JOIST, AND FLOOR LVL. BEAM DESIGN.

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QUALIFICATION INFORMATION
Otin Fairbairn
NAME
REGISTRATION INFORMATION
HUNT DESIGN ASSOCIATES INC.
19695

Scale
BCN
20201

Drawn By
HDAI

Checked By
HDAI

Scale
3/16"=1'-0"

File Number
217020WS5005.DWG

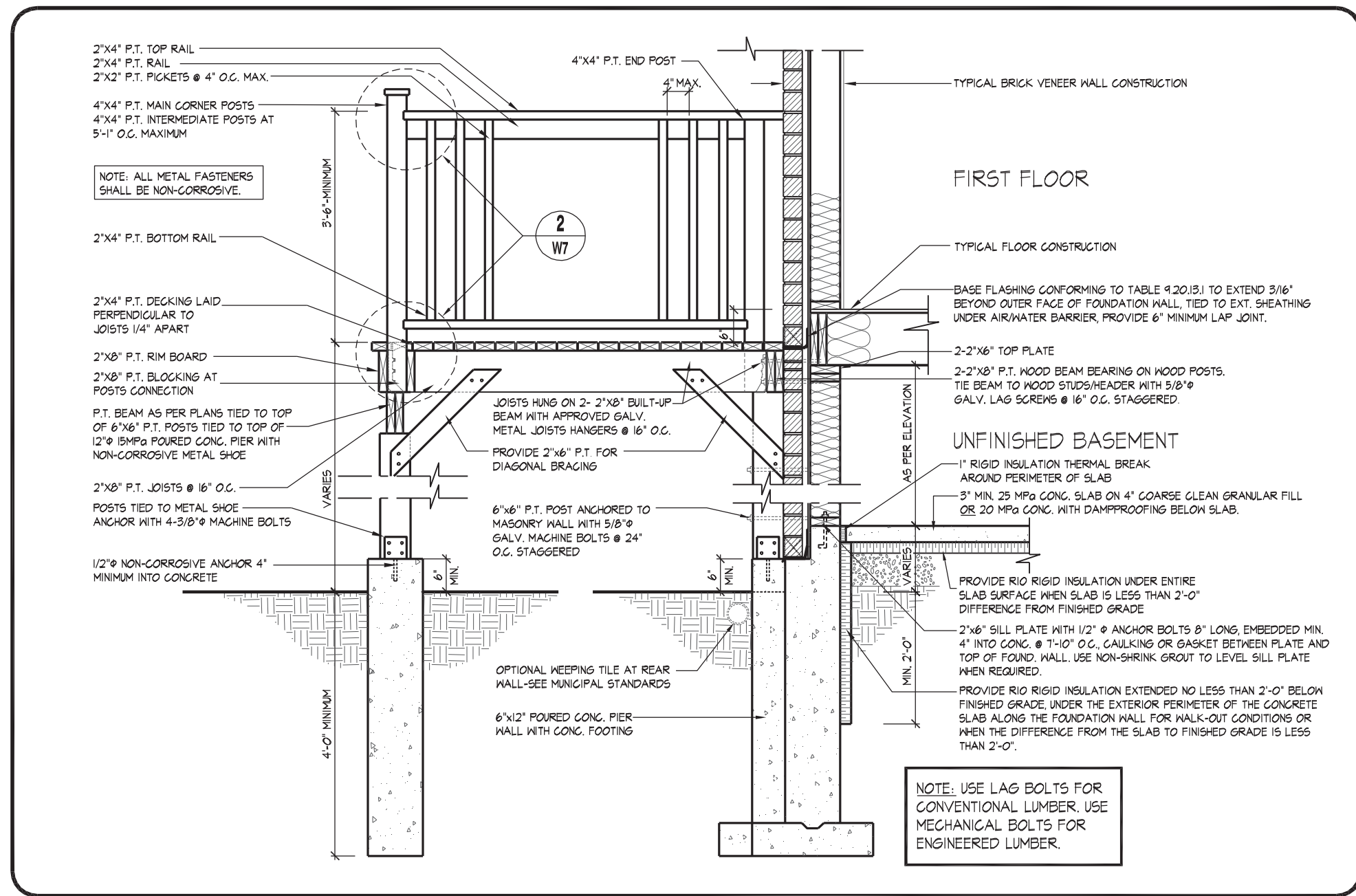
Page Number
W7 of W8

8966 Woodbine Ave, Markham, ON L3R 0J7
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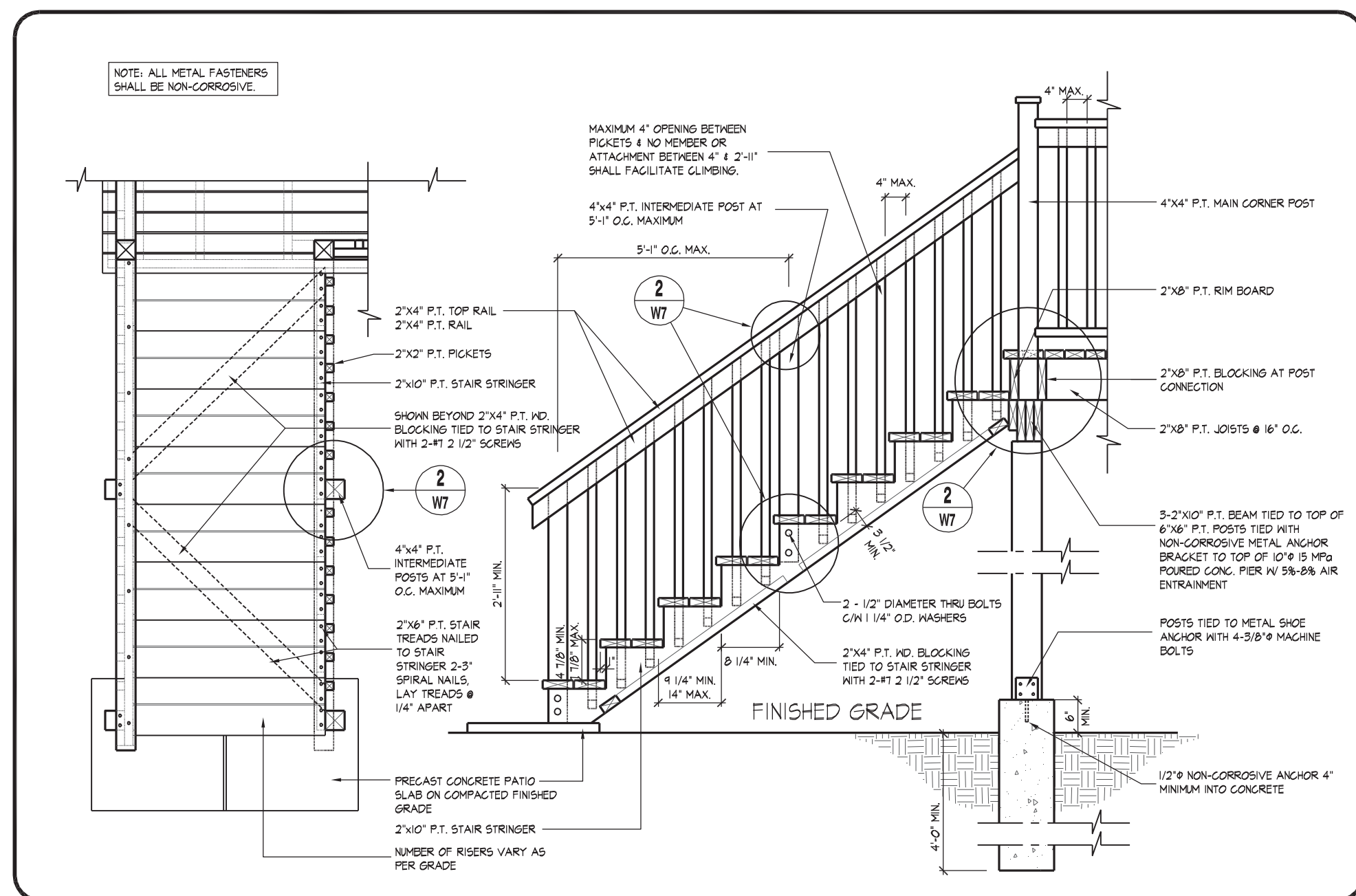
HUNT DESIGN ASSOCIATES INC.

DECK DETAILS 1
GOLDPARK HOMES - 217020
PINE VALLEY, VAUGHAN, ONT.
UNIT 5005 - THE KNIGHTSWOOD
REV.2020.03.30

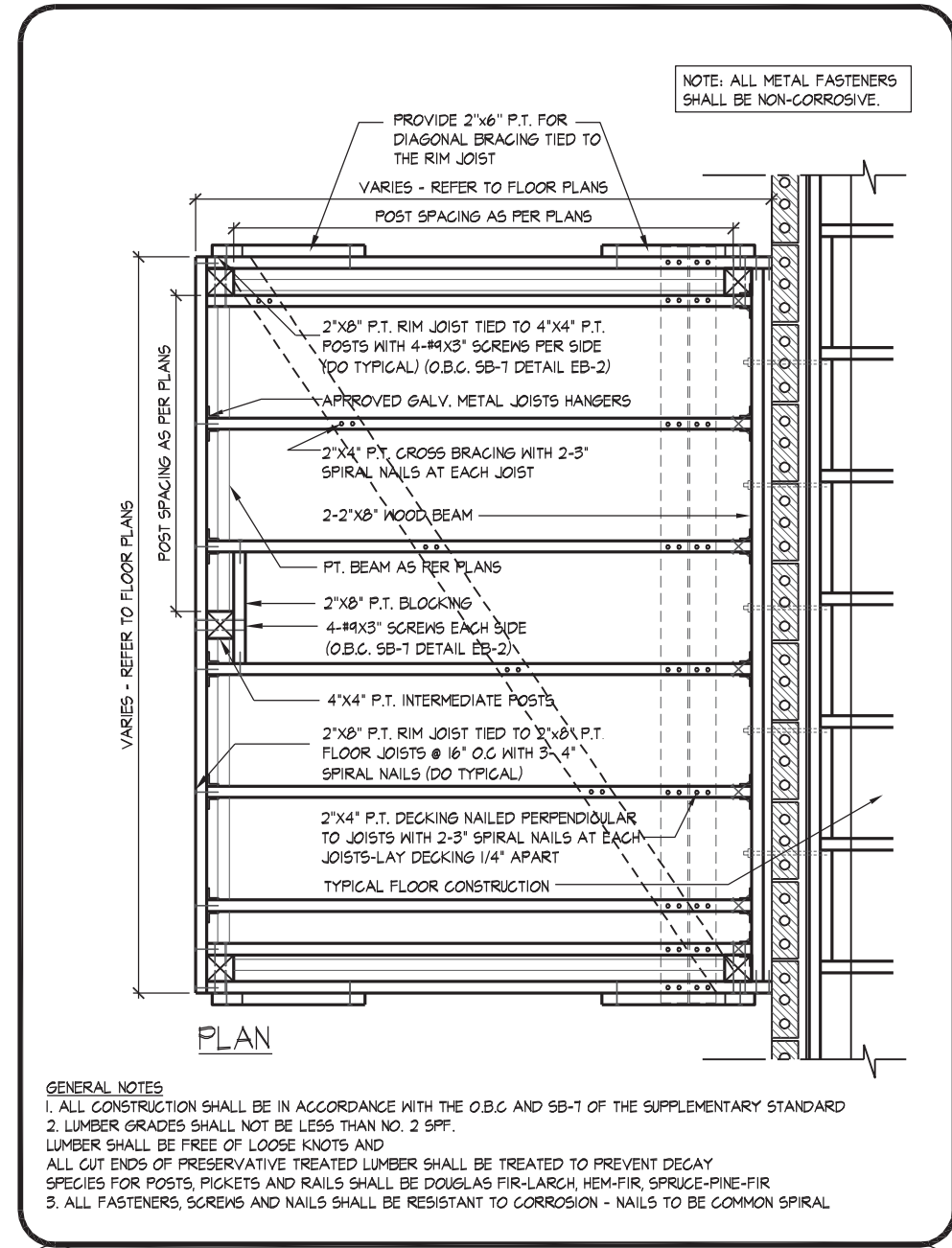
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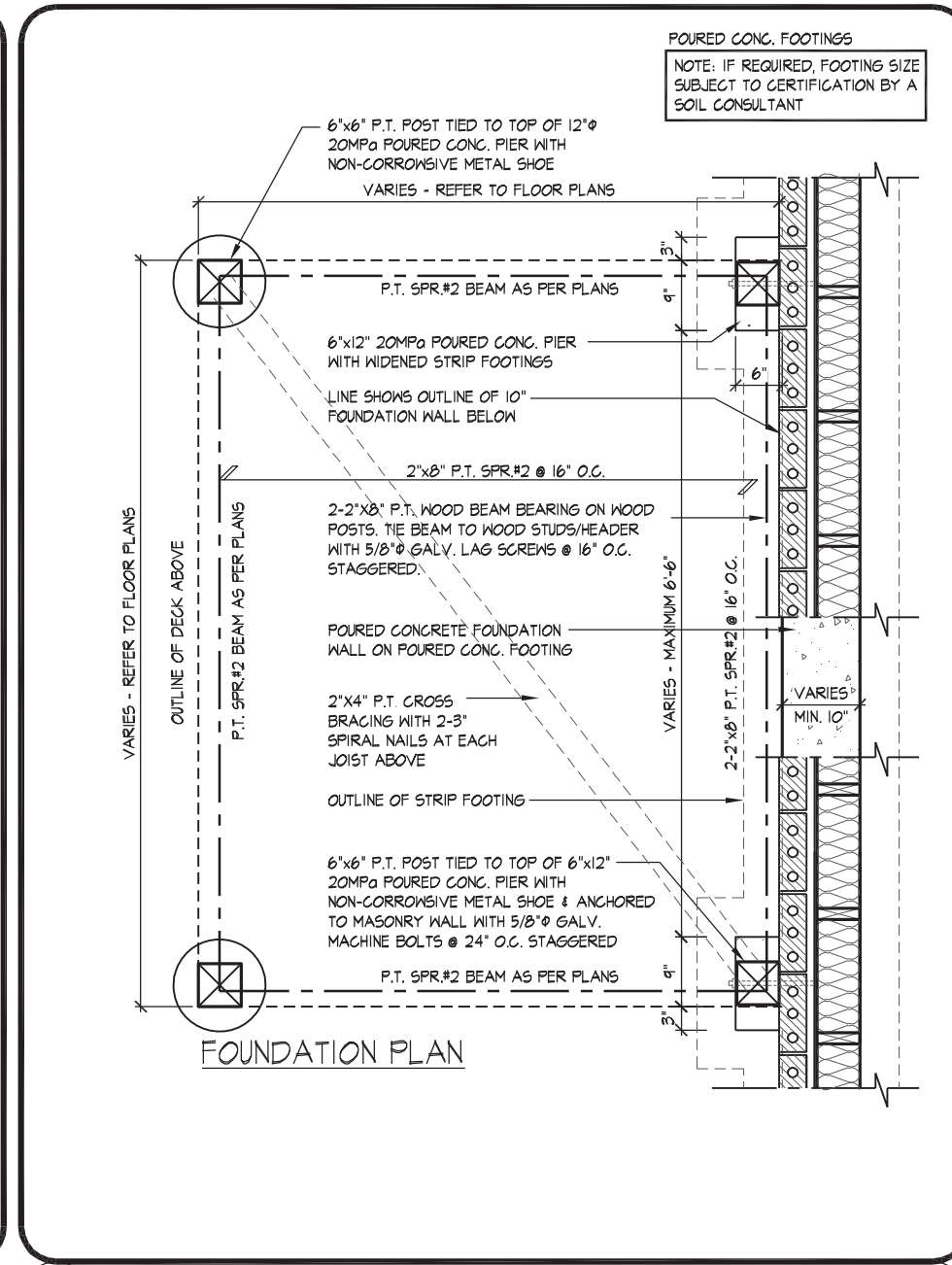
09 MASONRY VENEER, TYPICAL WOOD DECK FOR WALK OUT BASEMENT
1/2" = 1'-0"



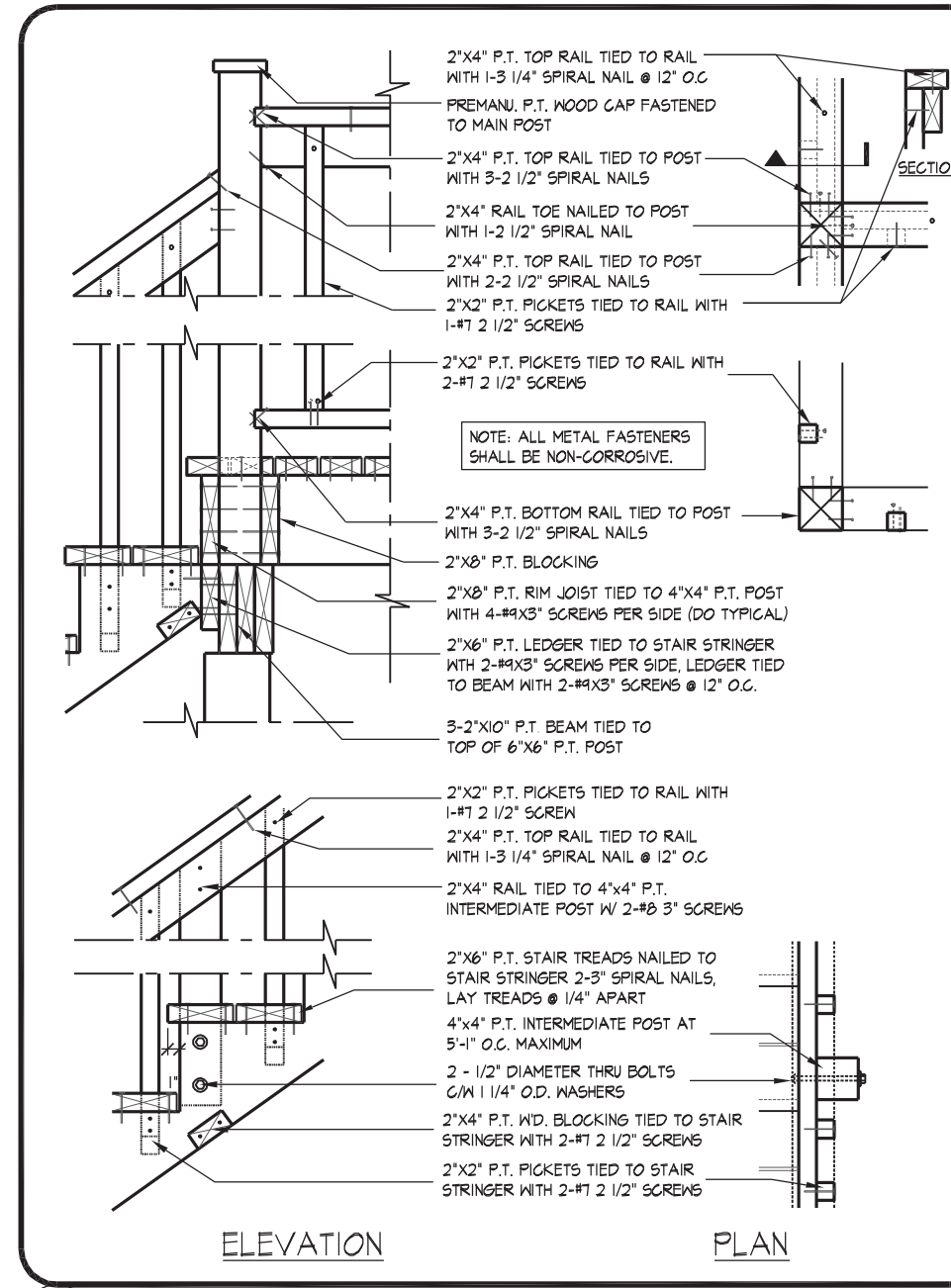
01 TYPICAL WOOD DECK STAIR
1/2" = 1'-0"



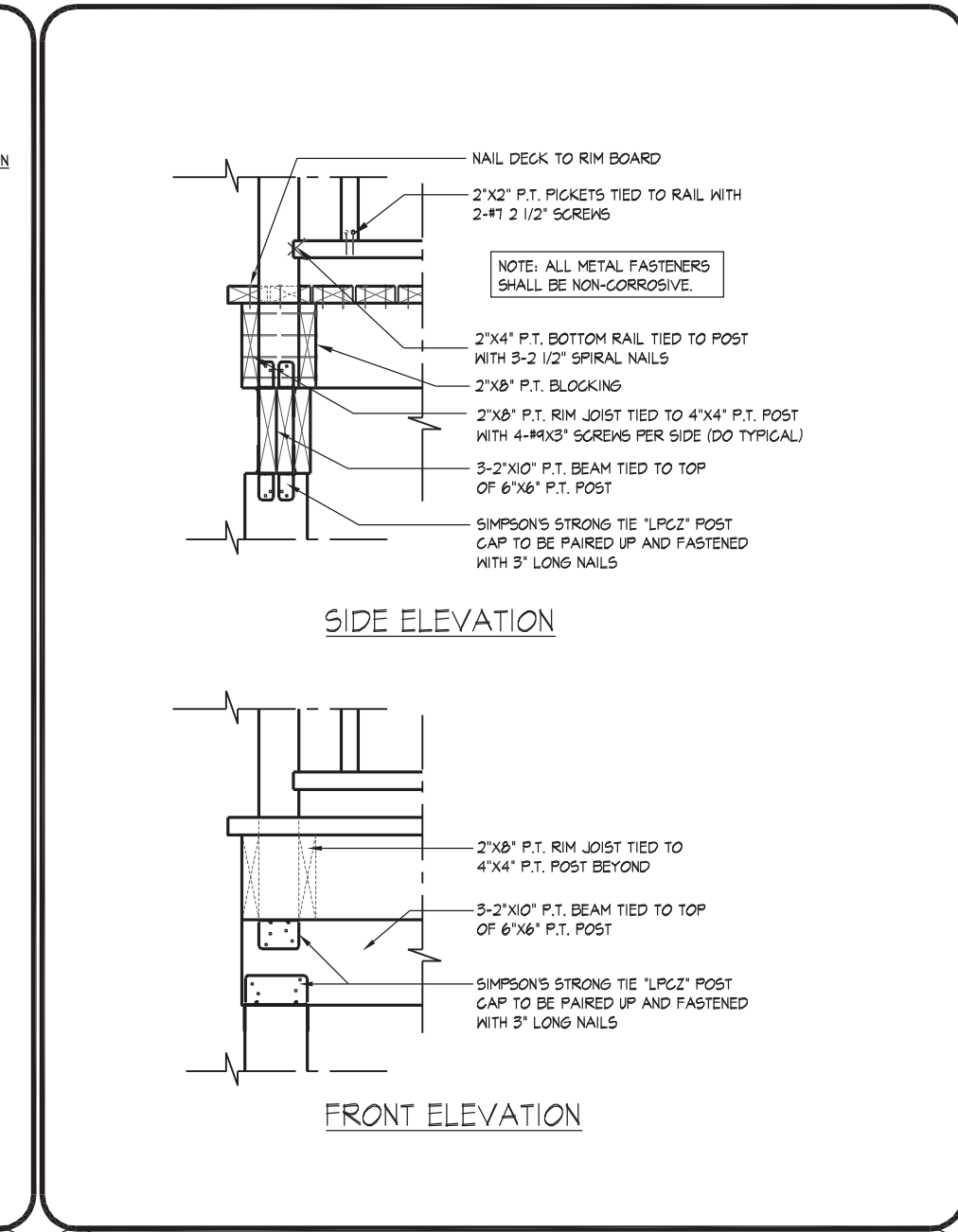
10 MASONRY VENEER, TYPICAL DECK FRAMING PLAN
1/2" = 1'-0"



11 MASONRY VENEER, TYPICAL DECK FOUNDATION PLAN
1/2" = 1'-0"



02 TYP. MAIN AND INTERMEDIATE POST ANCHORAGE
3/4" = 1'-0"



03 TYP. POST & BEAM CONNECTION
3/4" = 1'-0"



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QUALIFICATION INFORMATION

Orin Fairbairn

20201

BCN

REGISTRATION INFORMATION

HUNT DESIGN ASSOCIATES INC.

19695



DECK DETAILS 2

GOLDPARK HOMES - 217020

PINE VALLEY, VAUGHAN, ONT.

UNIT 5005 - THE KNIGHTSWOOD

REV.2020.03.30

Drawn By: HDAL

Checked By: HDAL

Scale: 3/16" = 1'-0"

File Number: 217020WS5005.DWG

Page Number: W8 of W8

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