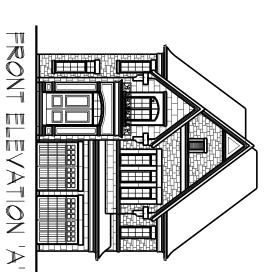
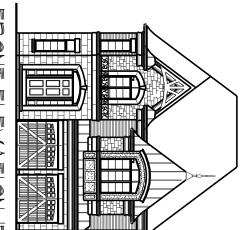
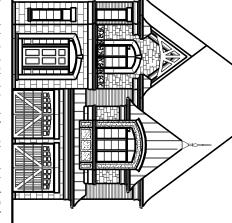
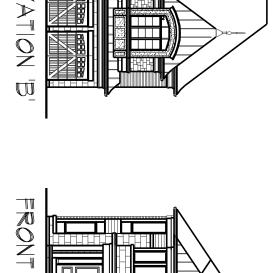
	13.38 %	13.41 %	12.92 %	12 95 %	TOTAL WINDOW %
	(60.68 sq. m.)	(60.81 sq. m.)	(58.57 sq. m.)	(58 70 sq m.)	GROSS WINDOW AREA (INCL GLASS DOORS & SKYLIGHTS)
	(453.38 sq. m.)	(453 38 sq m)	(453.38 sq. m.)	(453.38 sq. m.)	GIOSS WALL ADEX
	OPT. 5 BED & GRND 4880 18 sq. ft.	OPT GRND 4880 18 sq. ft	OPT 5 BED 4880 18 sq. ft	STD. PLAN 4880.18 sq. ft	
	EL 'C' WOB	EL 'C' - WOB	EL 'C' WOB	EL 'C' WOB	
	(51.21 sq. m.)	(51.35 sq. m.)	(49.11 sq m.)	(49.24 sq m.)	(INCL GLASS DOORS & SKYLIGHTS)
	551.27 sq. ft.	552.71 sq. ft.	528.60 sq. ft	530.04 sq. ft	GROSS WINDOW AREA
	4584.25 sq. ft. (425.89 sq. m.)	4584.25 sq. ft. (425.89 sq. m.)	4584.25 sq. ft. (425.89 sa. m.)	4584.25 sq. ft. (425.89 sa. m.)	GROSS WALL AREA
	EL 'C' LOD OPT 5 BED & GRND	EL 'C' LOD OPT GRND	EL 'C' LOD OPT 5 BED	EL. 'C' - LOD STD. PLAN	
	10.98 %	11.01 %	10.48 %	11.53 %	TOTAL WINDOW %
	493.60 sq π (45.86 sq m)	495.05 sq. π (45.99 sq. m.)	470 94 Sq. ft (43.75 sq. m.)	518.38 Sq. nt (48.16 sq. m.)	GROSS WINDOW AREA (INCL GLASS DOORS & SKYLIGHTS)
	(417.59 sq m)	(417.59 sq. m.)	(417.59 sq m)	(417.59 sq. m.)	GROSS WALL AREA
	4494.88 sq. ft.	4494.88 sq. ft	4494.88 sq. ft	4494.88 sq. ft	
	EL. 'C' - WOD	EL. 'C' - WOD	EL. 'C' - WOD	EL. 'C' - WOD	
11.61 %	10.98 %	11.02 %	10.48 %	10.51 %	TOTAL WINDOW %
518.38 sq. ft.	490.27 sq. ft.	491.71 sq. ft (45.68 sq. m.)	467.60 sq. ft.	469.05 sq. ft.	GROSS WINDOW AREA
(414.64 sq. m.)		(414.64 sq. m.)	(414.64 sq. m.)	(414.64 sq. m.)	GROSS WALL AREA
OPT SERVICE STAIRS 4463 10 sq. ft	OPT 5 BED & GRND 4463 10 sq. ft	OPT GRND 4463 10 sq ft	OPT 5 BED 4463 10 sq. ft	STD PLAN 4463 10 sq. ft	
<u> </u>	EL 'C'	EL 'C'	EL 'C'	EL 'C'	
	(58.23 sq. m.) 12 63 %	(58.36 sq. m.)	(56.12 sq m.)	(56.26 sq. m.)	TOTAL WINDOW %
	626.76 sq. ft	628.21 sq. ft	604.10 sq. ft	605.54 sq. ft	GROSS WINDOW AREA
	4961.01 sq. n. (460.89 sq. m.)		(460.89 sq. m.)	(460.89 sq. m.)	GROSS WALL AREA
	OPT. 5 BED & GRND		OPT 5 BED	STD PLAN	
	11.17 %	11.20 %	10.69 %	10.72 %	TOTAL WINDOW %
	(48.77 sq. m.)	(48.90 sq. m.)	(46.66 sq. m.)	(46.79 sq. m.)	(INCL GLASS DOORS & SKYLIGHTS)
	(436.54 sq. m.) 524.91 sq. ft	(436.54 sq. m.) 526.36 sq. ft	(436.54 sq. m.) 502.25 sq. ft	(436.54 sq. m.) 503.69 sq. ft	GROSS WINDOW AREA
	4698.84 sq. ft.	4698.84 sq. ft.	4698.84 sq. ft.	4698.84 sq. ft.	GROSS WALL AREA
	EL 'B' - LOD OPT 5 BED & GRND	OPT GRND	OPT 5 BED	STD. PLAN	
	10.05 %	10.08 %	9.56 %	9.59 %	TOTAL WINDOW %
	(43.02 sq. m.)	(43.16 sq m)	(40.92 sq. m.)	(41.05 sq. m.)	GROSS WINDOW AREA (INCL GLASS DOORS & SKYLIGHTS)
	(428.23 sq. m.)	(428.23 sq. m.)	(428.23 sq. m.)	(428.23 sq. m.)	GROSS WALL AREA
	4609.47 sq. ft	4609.47 sq. ft	4609 47 sq. ft	4609.47 sq. ft	
	EL. 'B' - WOD	EL. 'B' - WOD	EL. 'B' - WOD	EL. 'B' - WOD	
10.75 %	10.04 %	10.08 %	9.55 %	10.75 %	TOTAL WINDOW %
492.02 sq. ft.	459.77 sq. ft.	461 22 sq. ft. (42.85 sq. m.)	437.11 sq. ft.	492.02 sq. ft.	GROSS WINDOW AREA (INCL GLASS DOORS & SKYLIGHTS)
(425.28 sq. m.)	(425.28 sq. m.)	(425.28 sq. m.)	(425.28 sq. m.)	(425.28 sq. m.)	GROSS WALL AREA
OPT SERVICE STAIRS 4577.69 sq. ft.	D&GRND 9 sa ft		(D)	STD. PLAN 4577.69 sq. ft	
Ξ Ž	11.69 %	11./2 %	11.23 %	11.26 %	IOIAL WINDOW %
	(53.97 sq m)	(54.10 sq. m.)	(51.86 sq. m.)	(52 00 sq m.)	(INCL. GLASS DOORS & SKYLIGHTS)
	(461.76 sq m.) 580.93 sq ft	(461.76 sq. m.) 582.37 sq. ft	(461.76 sq. m.) 558.26 sq. ft	(461.76 sq. m.) 559.71 sq. ft	
	OPT 5 BED & GRND 4970.35 sq. ft	OPT GRND 4970.35 sq. ft	OPT. 5 BED 4970.35 sq. ft.	STD. PLAN 4970.35 sq. ft.	00000 0001
	EL 'A'- WOB	EL 'A' - WOB	EL 'A'- WOB	EL.'A'- WOB	; ; ;
	(48.59 sq. m.) 11.16 %	(48.72 sq m) 11 19 %	(46.48 sq. m.) 10.68 %	(46.62 sq. m.) 10.71 %	TOTAL WINDOW %
	522 98 sq. ft	524 42 sq. ft	500.31 sq. ft	501.76 sq. ft	GROSS WINDOW AREA
	4686.26 sq. ft (435.37 sq. m.)	4686.26 sq. ft (435.37 sq. m.)	4686.26 sq. ft. (435.37 sq. m.)	4686.26 sq. ft. (435.37 sq. m.)	GROSS WALL AREA
	OPT 5 BED & GRND		OPT. 5 BED	STD. PLAN	
	11.32 %	11.35 %	10.83 %	10.86 %	TOTAL WINDOW %
	(48.34 sq. m.)	(48.47 sq. m.)	(46.23 sq. m.)	(46.37 sq. m.)	GROSS WINDOW AREA (INCL GLASS DOORS & SKYLIGHTS)
	(427.07 sq. m.)	(427.07 sq. m.)	(427.07 sq. m.)	(427.07 sq. m.)	
	4596.89 sq. ft	4596.89 sq. ft	4596.89 sq. ft	4596.89 sq. ft.	GROSS WALL AREA
	EL 'A' WOD	EL. 'A' - WOD	EL 'A' WOD	EL.'A'-WOD	
10.93 %	11.32 %	11 43 %	10.90 %	10.93 %	TOTAL WINDOW %
499.09 sq. ft.	516.98 sq. ft.	521.76 sq. ft.	497.65 sq. ft.	499.09 sq. ft.	GROSS WINDOW AREA
			4565 11 sq. ft (424.11 sq. m.)	4565 11 sq. ft (424 11 sq. m.)	GROSS WALL AREA
EL 'A' OPT SERVICE STAIRS	EL. 'A'	EL.'A'	EL. 'A'	EL. 'A' STD. PLAN	WINDOW / WALL AREA CALCULATIONS









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FRONT ELEVATION B

ELEVATION

UNIT 4202 - 'THE ROSEDALE'

- SB-12 ENERGY EFFICIENCY DESIGN MATRIX
- PROPOSED VALUES MAY BE SUBSTITUTED W/ 2.11+1.76ci (R12+R10ci)
 OW GRADE SLAB ENTIRE SURFACE > 600mm BELOW GRADE
 3E OF BELOW GRADE SLAB ≤ 600mm BELOW GRADE PACKAGE \geq SPACE HEAT

 GAS

 GELECTRIC

 EARTH 5.46 (R31) 5.46 (R31) 3.87 (R22) 3.52 ci (R20 ci) * .76 (R10) .76 (R10) ☐ OIL☐ PROPANE☐ SOLID FUEL 5.46 (R31) 5.46 (R31) 3.87 (R22) 3.52 ci (R20 ci) 1.76 (R10) 1.76 (R10) 1 - TITLE PAGE
 2 - BASEMENT & GROUND FLOOR PLANS - ELEV. 'A'
 3 - OPT. 9FT. BASEMENT COND. & OPT. FLR. PLANS
 4 - SECOND & OPT. SECOND FLOOR PLANS - ELEV. 'A'
 5 - PARTIAL FLOOR PLANS - ELEV. 'B'
 6 - PARTIAL FLOOR PLANS - ELEV. 'C'
 7 - PARTIAL BASEMENT & GROUND FLOOR PLAN W/ LIBRARY - ELEV. 'A'
 9 - LEFT SIDE ELEVATION 'A'
 10 - RIGHT SIDE ELEVATION 'B'
 13 - LEFT SIDE ELEVATION 'B'
 14 - RIGHT SIDE ELEVATION 'B'
 15 - FRONT ELEVATION 'C'
 16 - LEFT SIDE ELEVATION 'C'
 17 - RIGHT SIDE ELEVATION 'C'
 18 - CROSS SECTION A-A
 19 - CONSTRUCTION NOTES
 W1 - DECK CONDITIONS
 W2 - DECK CONDITIONS
 W3 - DECK DETAILS
 W4 - DECK DETAILS
- SECOND FLOOR AREA AREA CALCULATIONS ROUND FLOOR AREA V EFFICIENCY (%)
 W HFATER (EF)
- ATIONS EL.'A' EL.'B' EL.'C' STD. PLAN STD. PLAN STD. PLAN STD. PLAN OFT. SERWICE STARS OFT. SERWICE STARS OFT. LIBRARY OF

SUBTOTAL

FINISHED 9 FT. BASEMENT AREA

INISHED 8 FT. 3ASEMENT AREA

TOTAL NET AREA

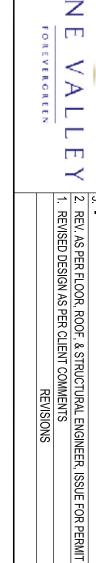
DEDUCT ALL OPEN AREAS

COVERAGE W/PORCH

COVERAGE W/OUT PORCH







HCNT LI

ESIGN ASSOCIATES INC.

RAAM 8966 Woo

GOLDPARK HOMES - 217020 PINE VALLEY, VAUGHAN ONT.

TITLE PAGE UNIT 4202 - THE ROSEDALE REV.2020.03.30

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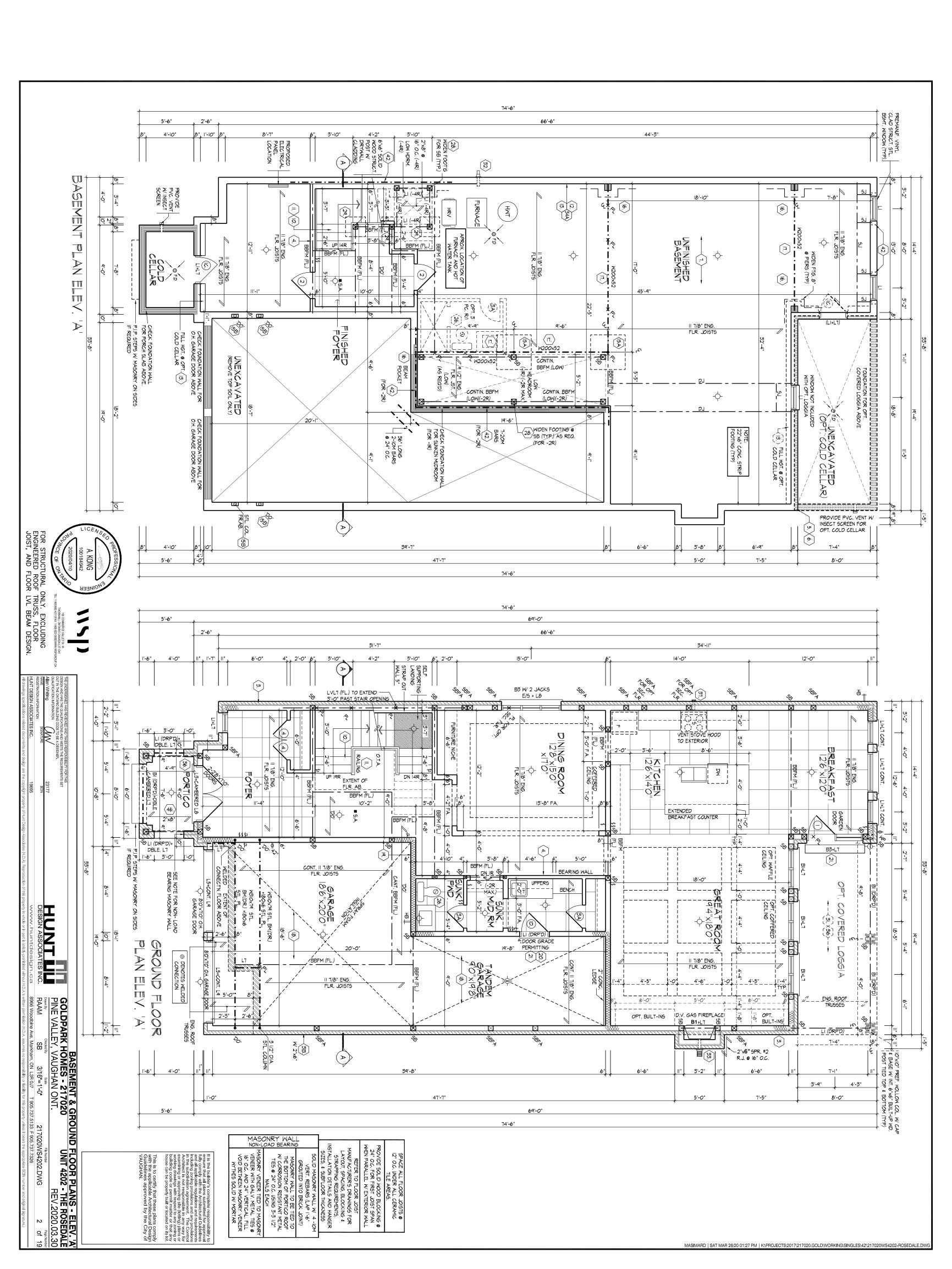
2020.03.30 2018/06/14 DATE (YYYY/MM/DD)

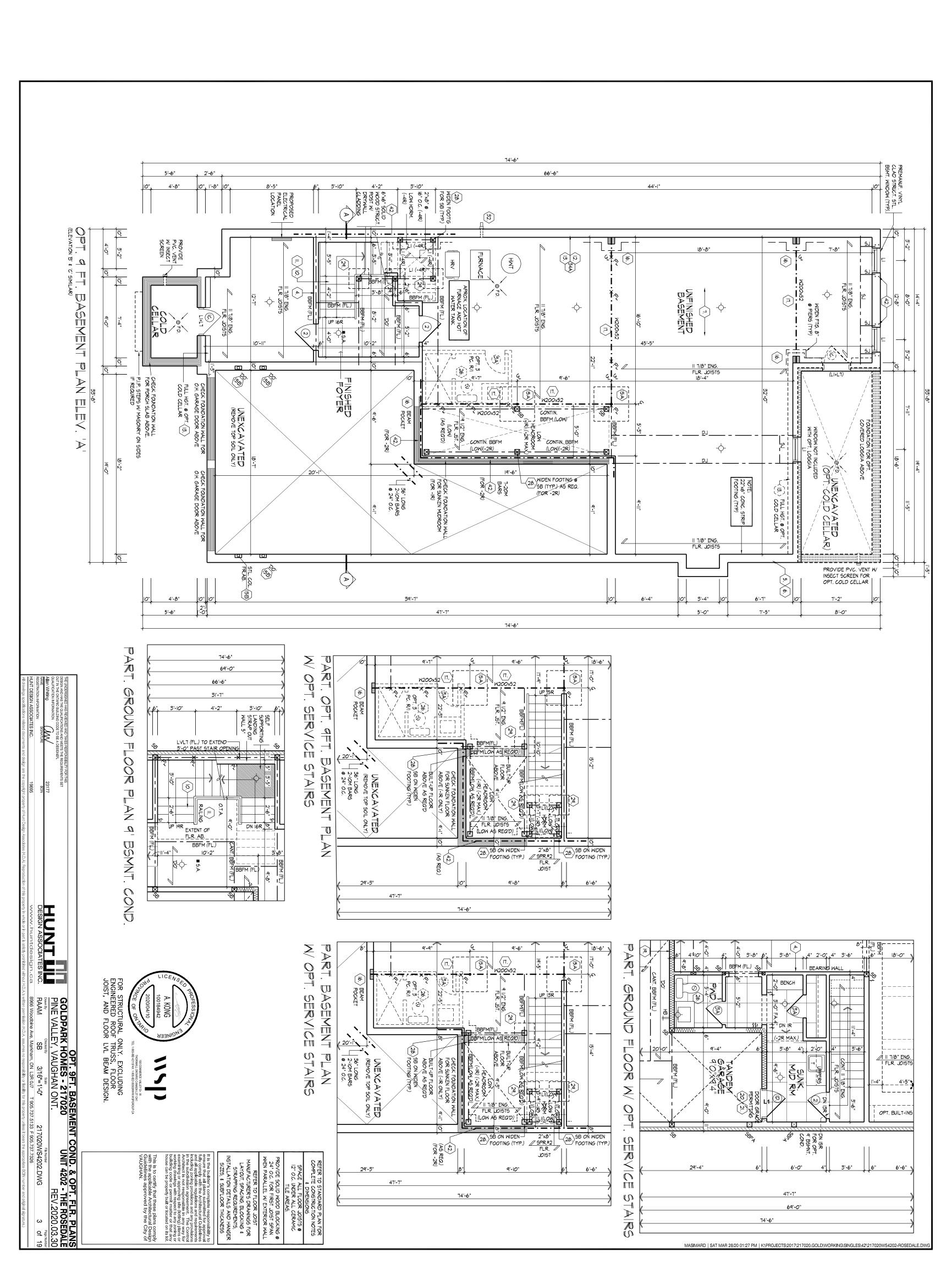
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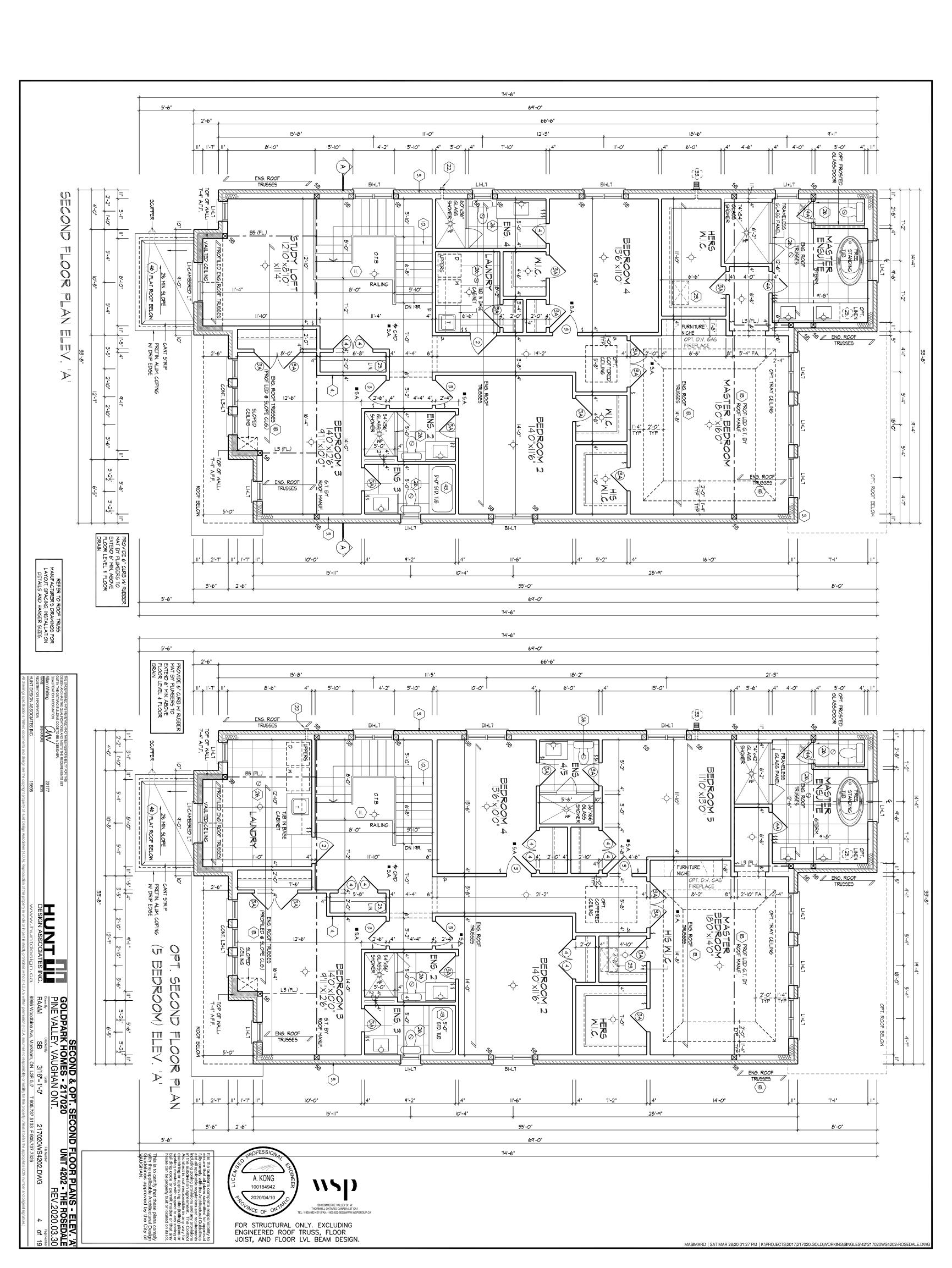
AM SB

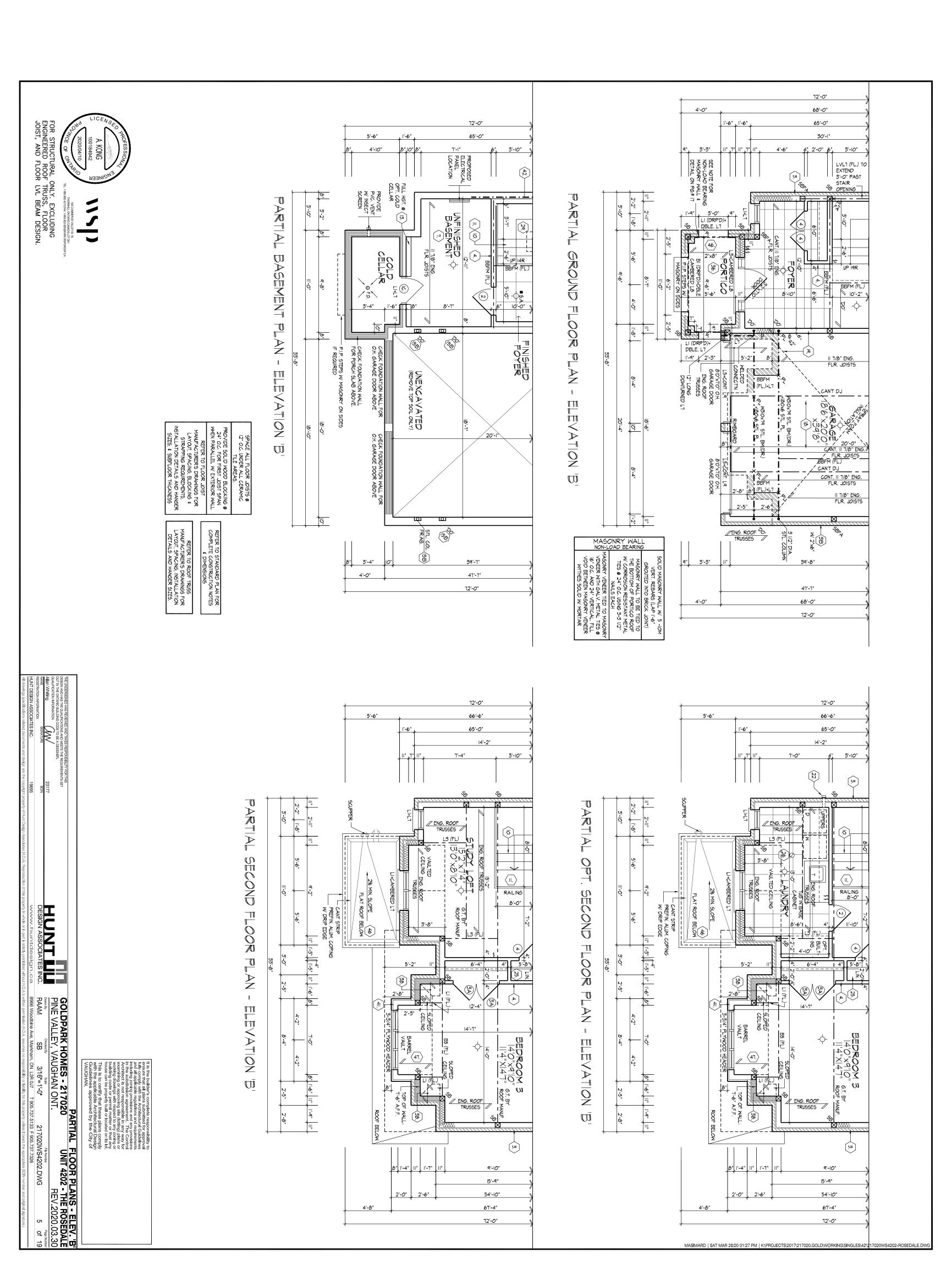
Woodbine Ave, Markha 3/16"=1'-0"

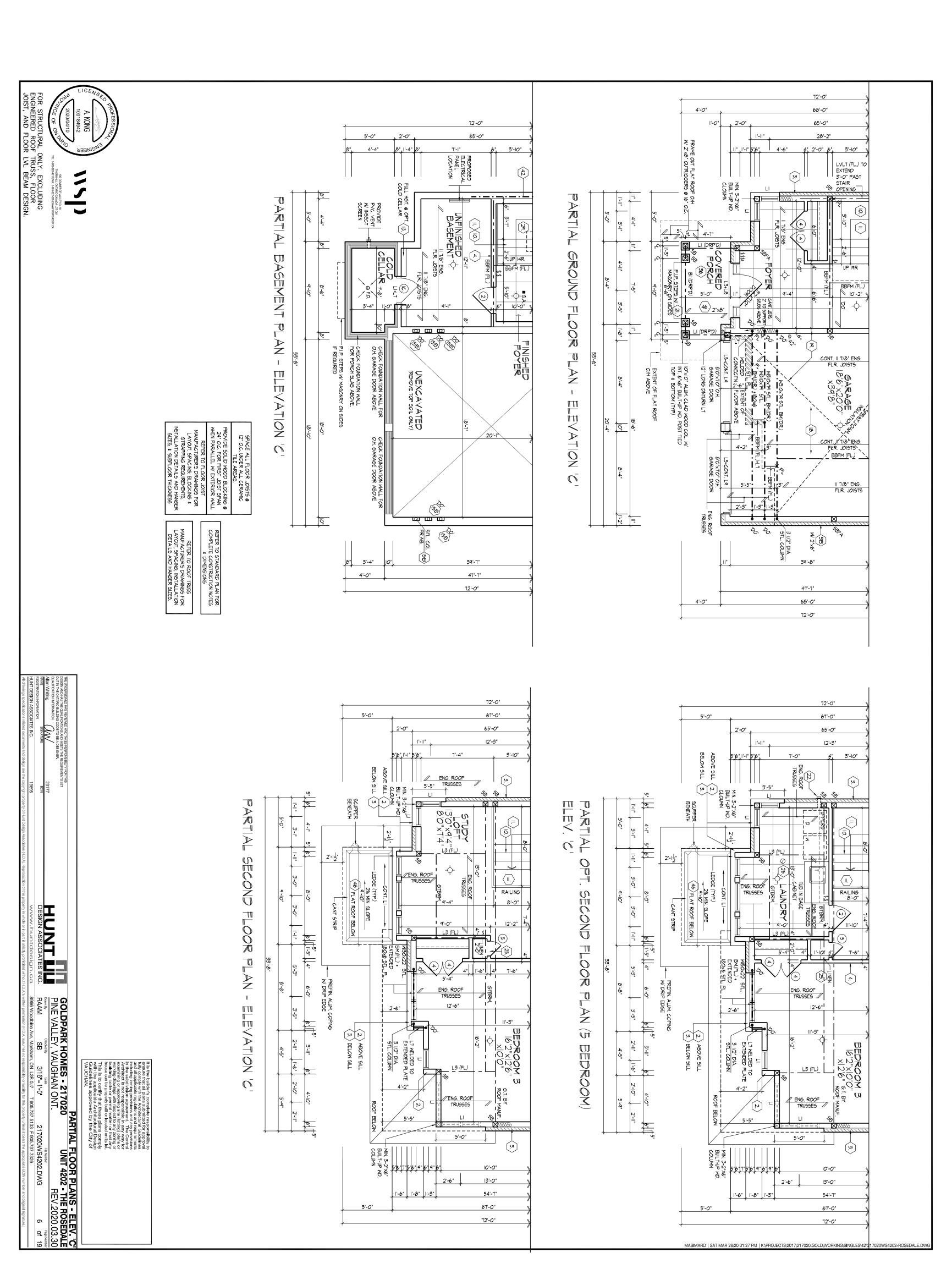
kham, ON L3R 0J7 T 217020WS4202.DWG
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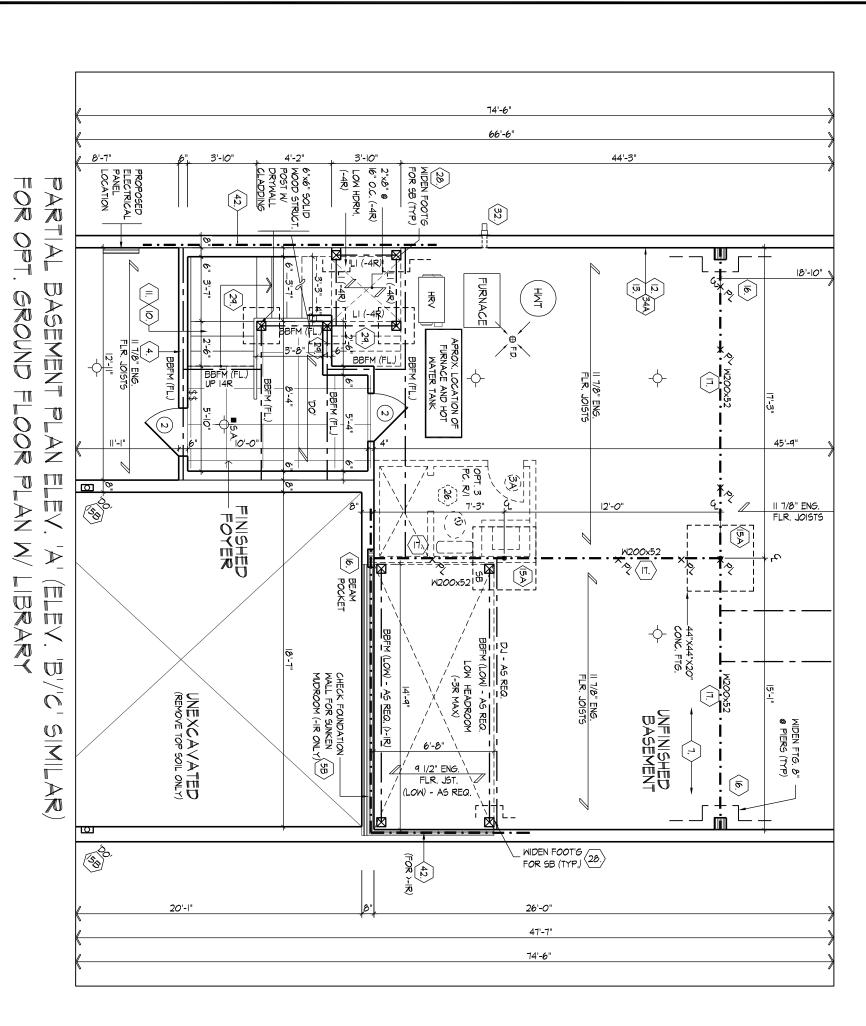




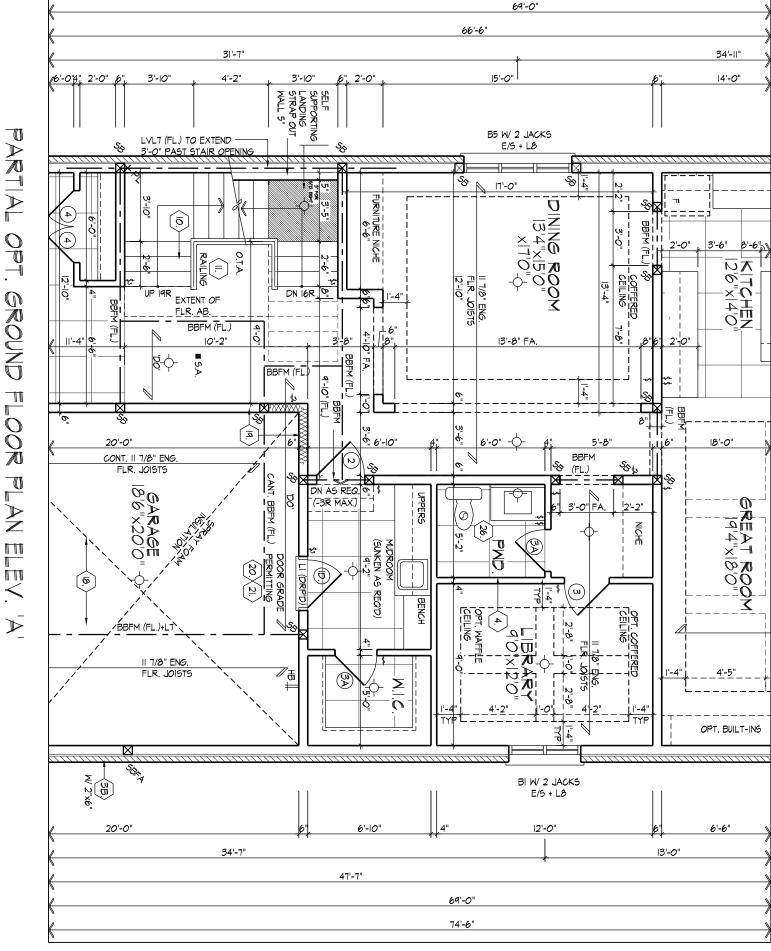








(ELEV. 'B'/'C' SIMILAR) W/ LIBRARY GROUND



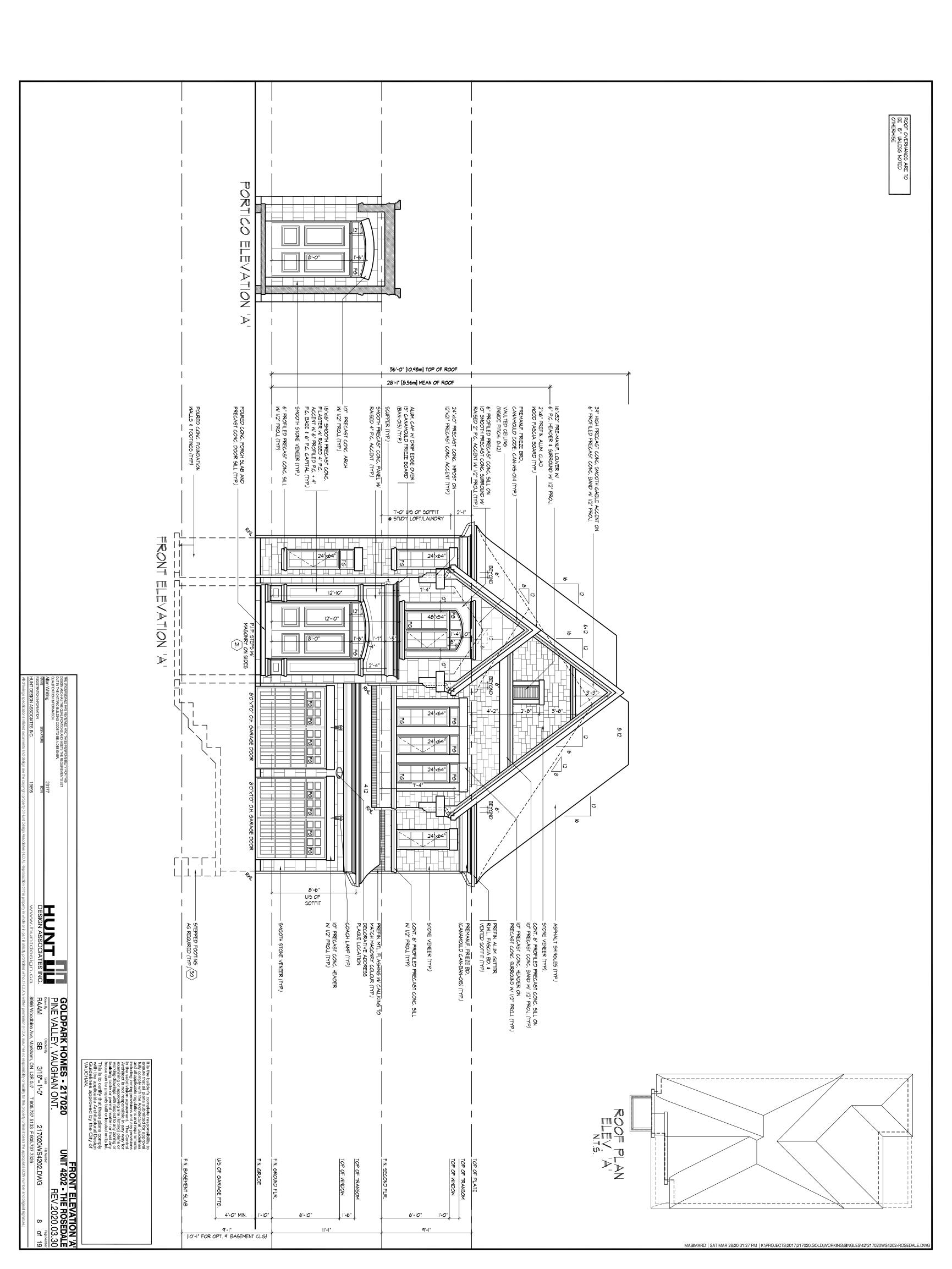
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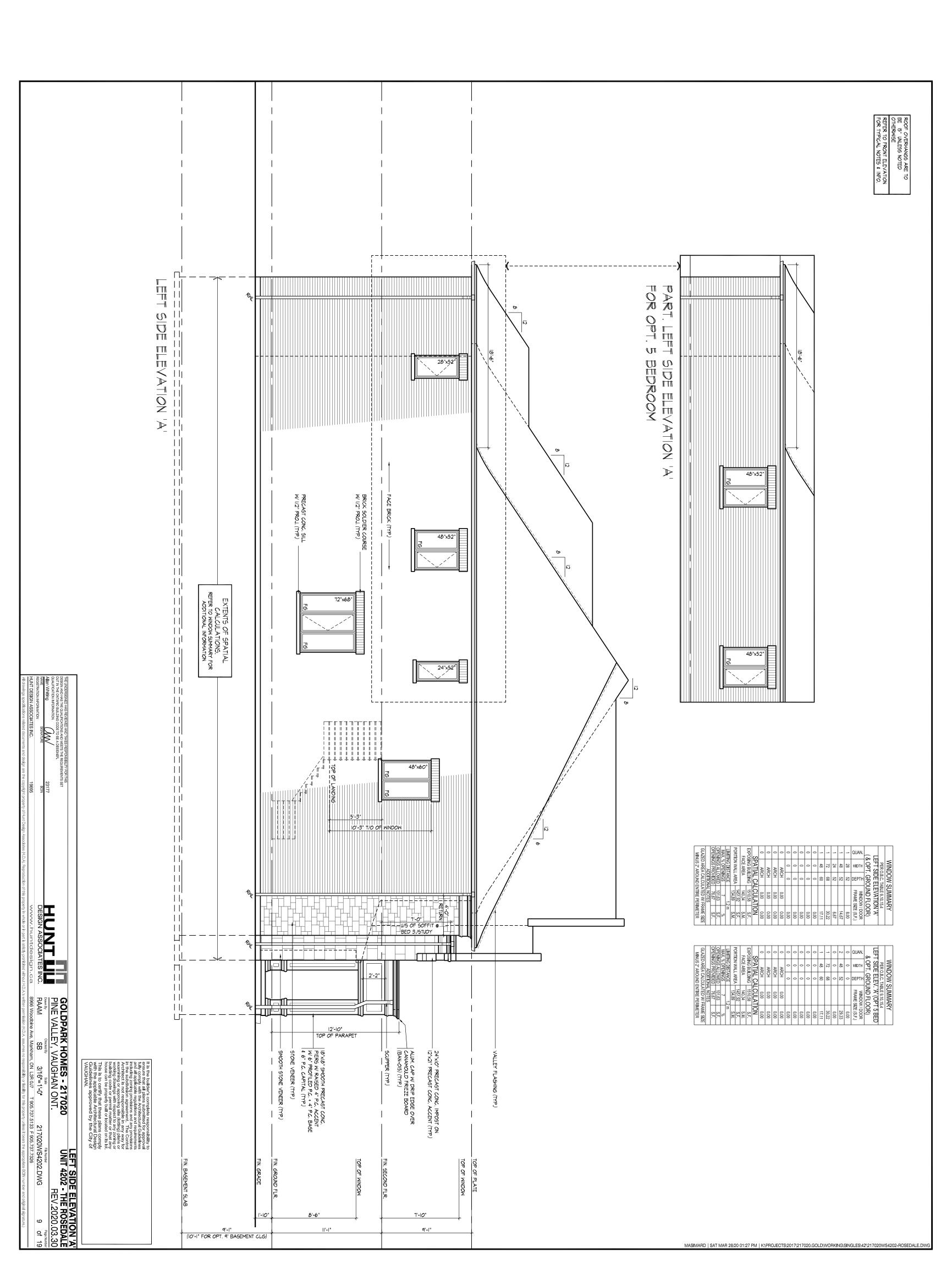
74'-6"

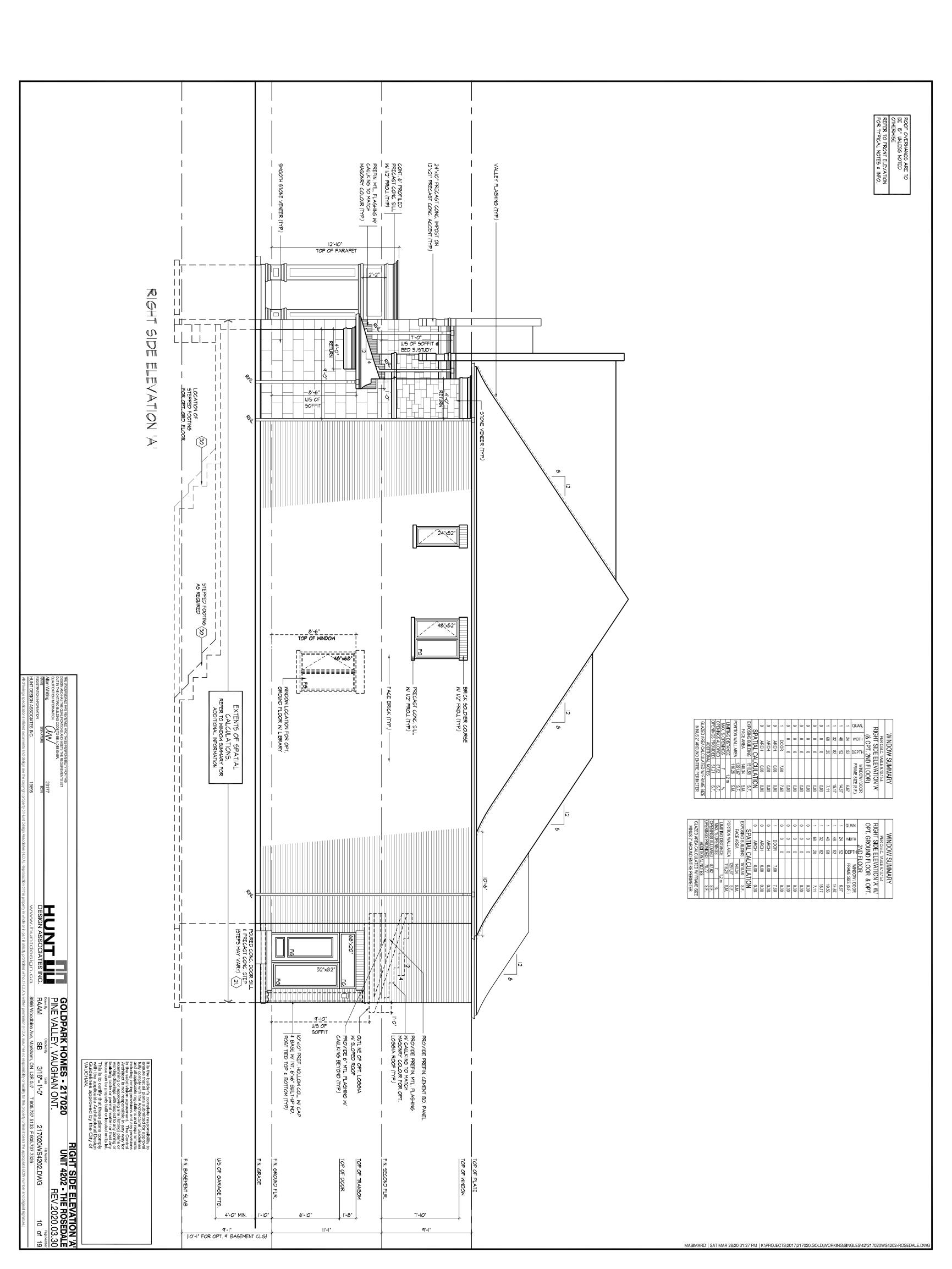
PARTIAL BASEMENT & GROUND FLOOR PLAN W/ LIBRARY - ELEV. 'A'
GOLDPARK HOMES - 217020 UNIT 4202 - THE ROSEDALE
PINE VALLEY, VAUGHAN ONT.

Page Number
Pa It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its id. This is to certify that these plans comply with the applicable Architectural Design Guidellines approved by the City of VAUGHAM. 3/16"=1'-0" 217020WS4202.DWG T905.737.5133 F 905.737.7326

PROVIDE SOLID WOOD BLOCKING
24" O.C. FOR FIRST JOIST SPAN
WHEN PARALLEL W EXTERIOR WAL CERAMIC PLAN FOR





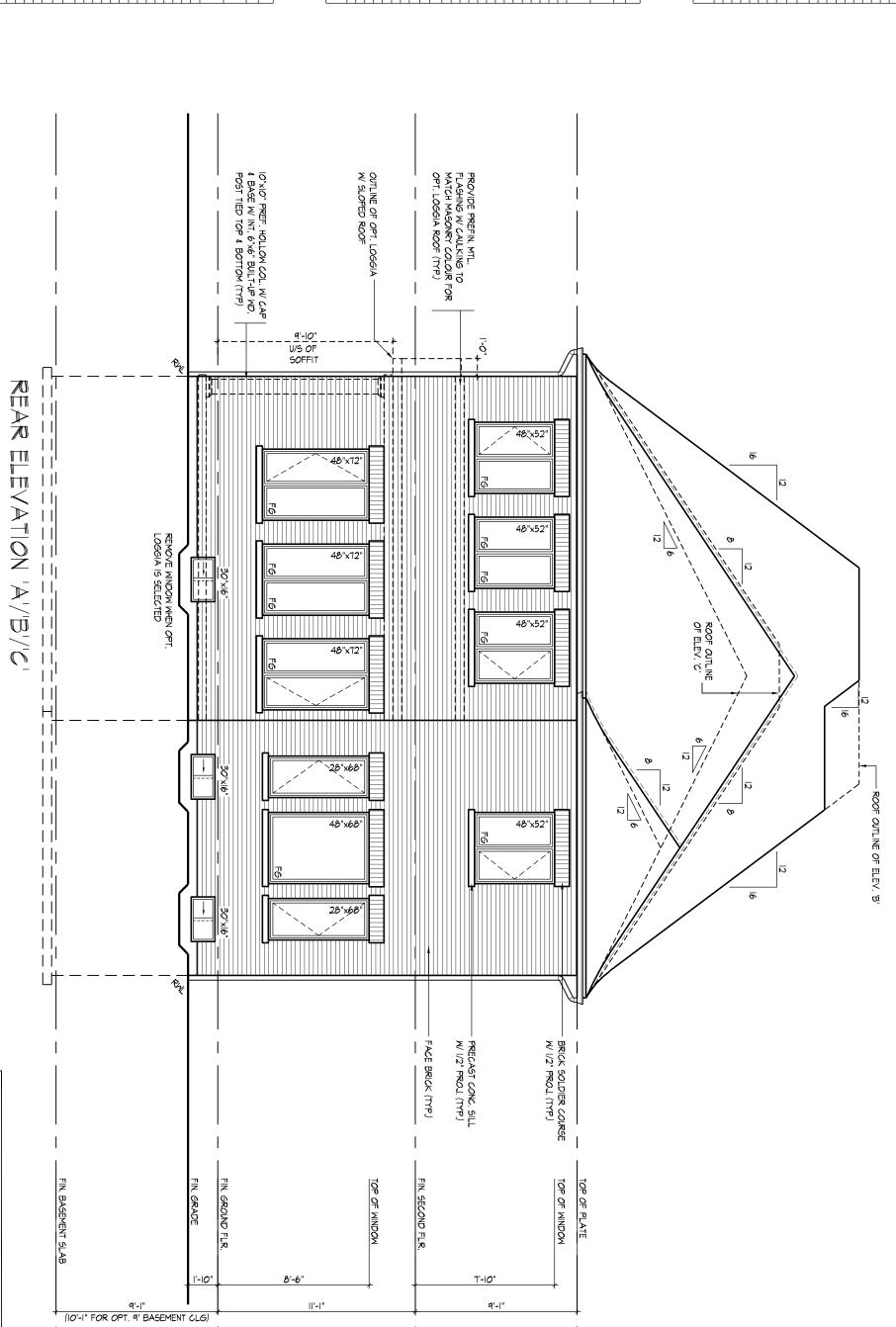


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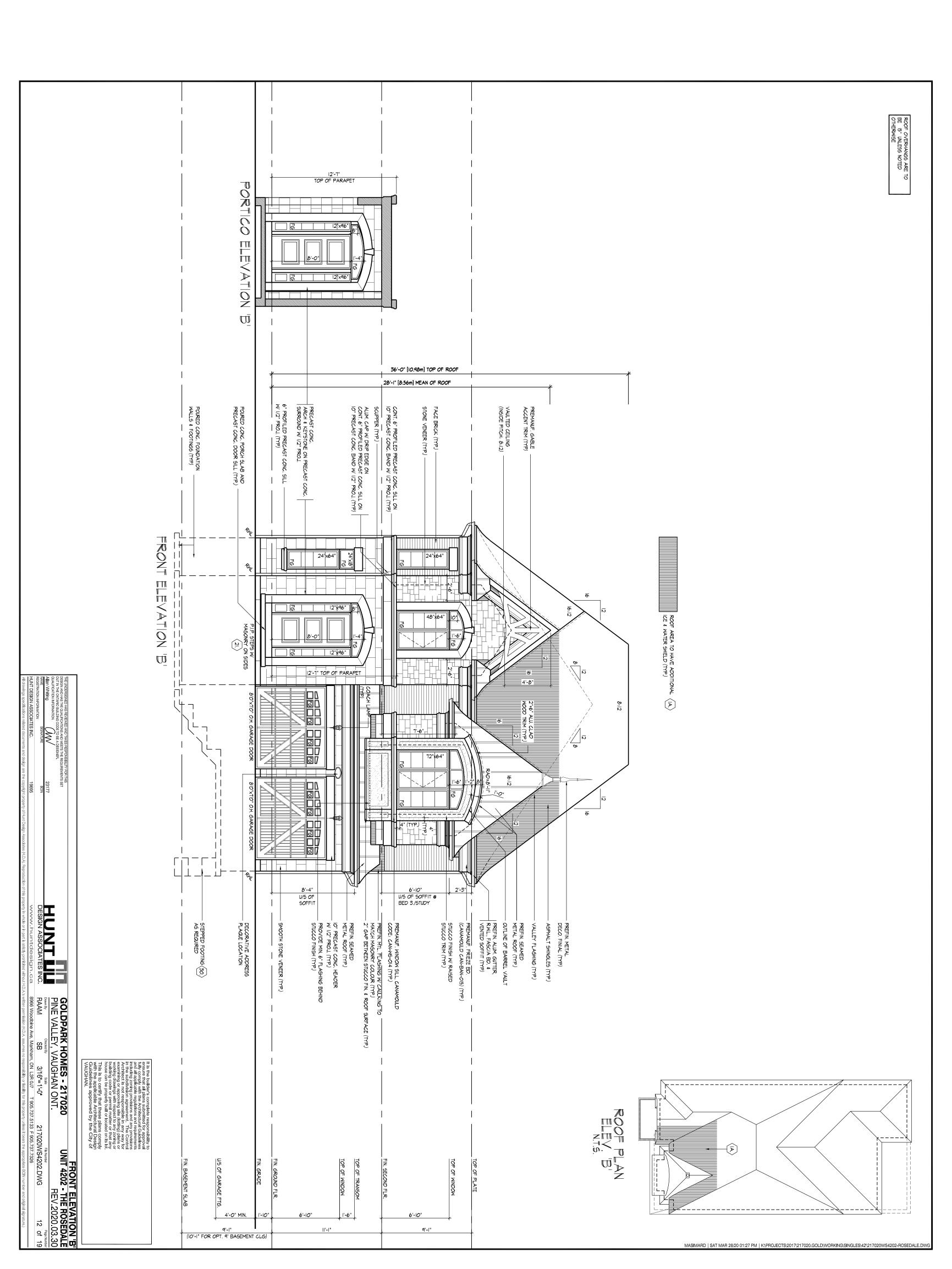
GLAZEI		OPENINGS PROVIDED	OPENIN	MAX.	LIMITIN	FOR HON WALL AND	DOBTO	FA	EXPOSING BUILDING	S	0	0	0	0	0	0	0	0	0	4	_	2	ယ	ω	QUAN.			
AREA	A	GS PRC	DPENINGS ALLOWED	MAX. % OPENINGS	IMITING DISTANCE	יוע עערב	N W N	FACE AREA	NG BU	PATI/	ARCH	ARCH	ARCH	ARCH	0"	O _I	0"	0"	O _I	48"	48"	28"	48"	30"	WIDTH	REA	PER O	NN N
CALCUL	NOLLIG)VIDED	OWED	NGS	ANCE	717.	Λ <u>Π</u> ΓΛ	Α	LDING	\L CA	요	오	H	CH	0"	0	0"	0"	0	52"	68"	68"	72"	16"	DEPTH	RELEV	BC TA	OW S
GLAZED AREA CALCULATED W/FRAME SIZE	ADDITIONAL NOTES	168.39	371.20	50.50	7.50	68.29	735.05	68.29	735.05	SPATIAL CALCULATION	0.00	0.00	0.00	0.00											WINDOW / DOOR FRAME SIZE (S.F.	REAR ELEV 'C' - STD	PER O.B.C. TABLE 9.10.15.4	WINDOW SUMMARY
RAME SIZE		SF		%	.50 m	SM	S.F.	SM	S.F.	ON	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	58.67	19.56	21.33	62.33	6.50	/ DOOR IZE (S.F.)		4	~
GLAZE		OPENINGS PROVIDED	OPENI	MAX.	LIMIT	FONTE	JITANA	F/	EXPOS	S	0	0	0	0	0	0	0	0	4	_	2	ယ	_	2	QUAN.			
D AREA	l _A	IGS PRO	OPENINGS ALLOWED	MAX. % OPENINGS	IMITING DISTANCE	FOR HOW WALL AIVER	ו מיאי ואל	FACE AREA	EXPOSING BUILDING	PATI/	ARCH	ARCH	AR	ARCH	0"	O _I	0"	0"	48"	48"	28"	48"	48"	28"	WIDTH	REA	PERC	N N
CALCU	NOLLIG	OBDIVO	_OWED	INGS	ANCE	ראוזרא	ADE A	A	LDING	4L C⊅	유	오	ARCH	CH	0"	0	0"	0"	52"	68	.89	72"	30"	30"	DEPTH	R ELE\)BCT	0 V
_AZED AREA CALCULATED W/ FRAME SI	ADDITIONAL NOTES	178.50	457.56	50.50	7.5	84 17	906.05	84.17	906.05	SPATIAL CALCULAT	0.00	0.00	0.00	0.00											WINDOV FRAME S	REAR ELEV. 'C' - L.O.D.	PER O B C TABLE 9 10 15 4	WINDOW SUMMARY
MINITS 2" ARCHIND ENTIRE DERIMETER		SF	SF	%	7.50 m	SM	S.F.	S.M.	SF	ΠON	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	58.67	19.56	21.33	62.33	7.94	8.67	WINDOW / DOOR FRAME SIZE (S.F.)	٥	5.4	₽
GLAZ		OPEN	OPEN	MAX	LIMIT	FON	Tagga	_	EXPO		0	0	0	0	0	0	0	0	0	4	_	2	3	2	QUAN.			
ED ARE	_	NGS PF	INGS AL	MAX. % OPENINGS	IMITING DISTANCE	FOR HOW WALL AIVER	IVW NO	FACE AREA	EXPOSING BUILDING	SPAT	A	A	A	A	0"	O _I	0"	0"	0	48"	48"	28"	48"	30	WIDTH	RE/	굙	<u>≤</u>
A CALCU	DITIO	OPENINGS PROVIDED	OPENINGS ALLOWED	NINGS	TANCE	ר אוירא	\DE\	EA	JILDING	SPATIAL CAL	ARCH	ARCH	ARCH	ARCH	0"	O _I	0"	0"	O _I	52"	68"	68"	72"	24"	DEPTH	R ELEV	OBC T	DOW
MINITS 2" ARCHIND ENTIRE DERIMETER	ADDITIONAL NOTES	169.11	433.32	50.50	7.5	79.72	858.05	79.72	858.05	\LCULAT	0.00	0.00	0.00	0.00											WINDON FRAME S	REAR ELEV 'C' - W.O.D	PER O.B.C. TABLE 9 10 15 4	WINDOW SUMMARY
RAME SIZE		SF	S.F.	%	.50 m	S.M	S.F.	S.M.	S.F.	<u> </u> ON	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	58.67	19.56	21.33	62.33	7.22	WINDOW / DOOR FRAME SIZE (S.F.)	Ö	5.4	₹
GLAZE		OPEN	OPEN	MAX.	LIMIT		Tana	Е	EXPO		0	0	0	0	0	0	0	0	0	4	_	2	2	4	QUAN.			
ED ARE/	A	NGS PR	OPENINGS ALLOWED	MAX. % OPENINGS	IMITING DISTANCE	FORTION WALL AIVER	IVW NO	FACE AREA	SING BL	3PAT	AF	Ą	AF	AF	0"	O _I	0"	0"	O _I	48"	48"	28"	28"	48"	WIDTH	REA	PR	<u>≷</u>
CALCU	DDITION	OPENINGS PROVIDED	LOWED	VINGS	TANCE	- ANEA	ADEA	ΕA	EXPOSING BUILDING	AL C/	ARCH	ARCH	ARCH	ARCH	0"	O _I	0	0"	O _I	52"	68"	68"	56"	56	DEPTH	R ELEV	DBC T	WOC
GLAZED AREA CALCULATED W/ FRAME SIZE	ADDITIONAL NOTES	180 44	533.81	50.50	7.5	98.20	1057.05	98.20	1057.05	SPATIAL CALCULAT	0.00	0.00	0.00	0.00											WINDOV FRAME S	REAR ELEV 'C' WO.B	PER OBC TABLE 9 10 15 4	WINDOW SUMMARY
RAME SIZE		SF	SF	%	7.50 m	SM	SF	S.M.	SF	ΠON	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	58.67	19.56	21.33	17.33	63.56	WINDOW / DOOR =RAME SIZE (S.F.)	'n	5.4	₹

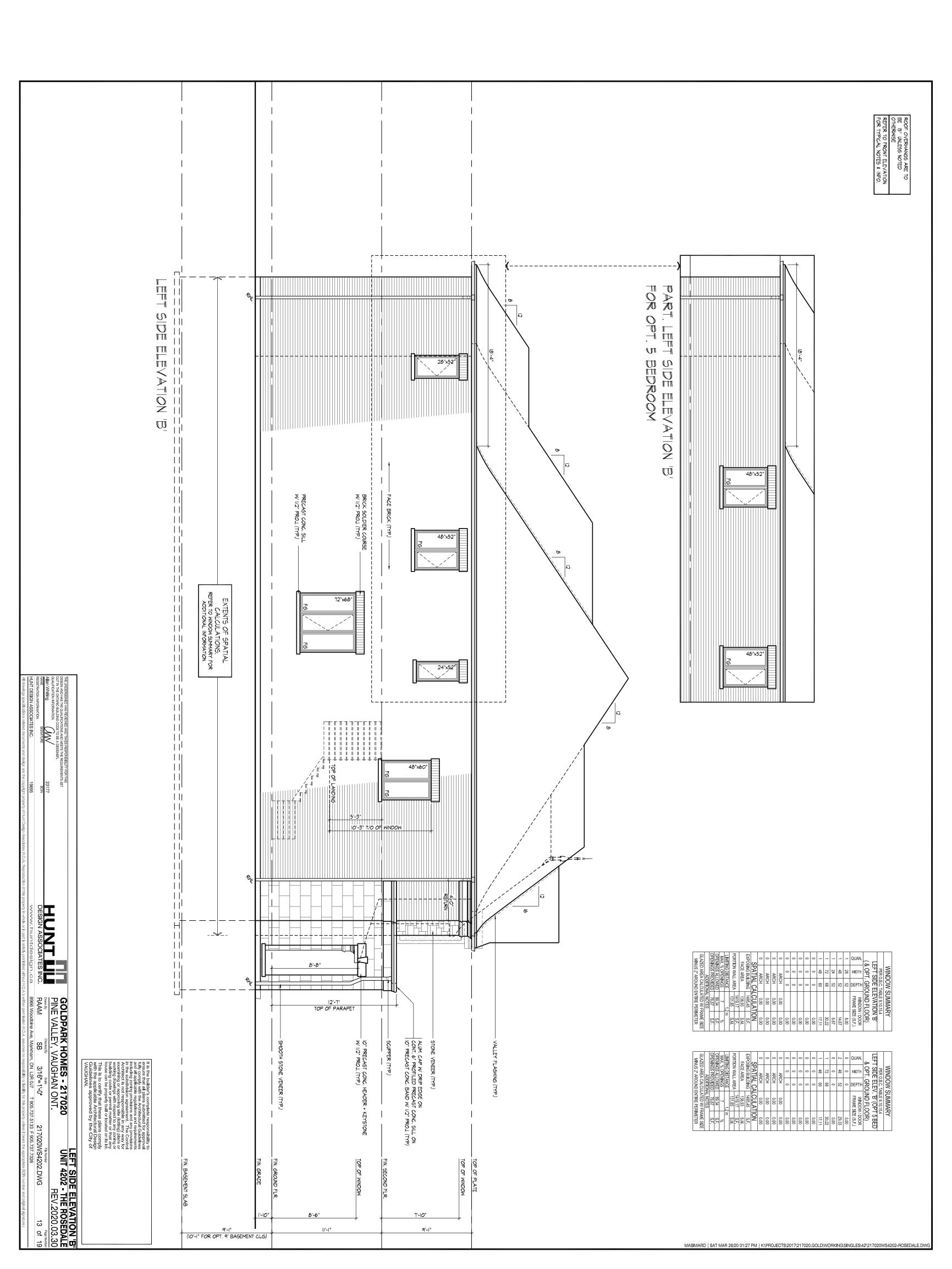
GLAZE		OPENIN	OPENI	MAX	LIMIT		DOBTIO	F,	EXPOS	S	0	0	0	0	0	0	0	0	0	4	_	2	ယ	ω	QUAN.			
D AREA JS 2" AR	AD	OPENINGS PROVIDED	DPENINGS ALLOWED	MAX. % OPENINGS	IMITING DISTANCE	OIN MACE	DORTION WALL AREA	FACE AREA	EXPOSING BUILDING	PATI/	ARCH	ARCH	ARCH	ARCH	0"	0"	0"	0"	0"	48"	48"	28"	48"	30"	W I DTH	REA	PER O	N N
CALCUL	DITIONA	VIDED	OWED	NGS	ANCE	5	AREA	Α	LDING	L CAI	유	오	오	오	O _I	0"	0"	0"	0"	52"	68"	68"	72"	16"	DEPTH	R ELEV	B.C. TAI	S MO
NTIRE PE	ADDITIONAL NOTES	168.39	371.20	50.50	7.	68.29	735.05	68.29	735.05	SPATIAL CALCULA	0.00	0.00	0.00	0.00											WINDO	REAR ELEV 'B' STD	PER O.B.C. TABLE 9.10.15.4	WINDOW SUMMARY
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER		SF	SF	%	.50 m	SM	SF	SM	SF	TION	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	58.67	19.56	21.33	62.33	6.50	WINDOW / DOOR FRAME SIZE (S.F.)		5.4	Ŕγ
GLAZE		OPEN	OPEN	MAX.	LIMIT			, T	EXPO	(0	0	0	0	0	0	0	0	0	4	_	2	ω	_	2	QUAN.			
IUS 2" A	A	NGS PR	OPENINGS ALLOWED	MAX. % OPENINGS	IMITING DISTANCE	OIA AAVI	DORTION WALL AREA	FACE AREA	EXPOSING BUILDING	SPAT	AF.	Ą	Ą	Ą	0"	0"	0"	0"	48"	48"	28"	48"	48"	28"	WIDTH	RE	PER	<u>≷</u>
ROUND	DOTTON	OPENINGS PROVIDED	LOWED	VINGS	TANCE	7		Ā	ILDING	SPATIAL CAI	ARCH	ARCH	ARCH	ARCH	0"	0"	0"	0"	52"	68	68"	72"	30"	30"	DEPTH	RELEV	OBC T	WOO
MINUS 2" AROUND ENTIRE PERIMETER	ADDITIONAL NOTES	178.50	457.56	50.50	7.5	84.17	906.05	84.17	906.05	_CULAT	0.00	0.00	0.00	0.00											WINDOW / DOOR FRAME SIZE (S.F.)	REAR ELEV. 'B' - L.O.D	PER O.B.C. TABLE 9.10.15.4	WINDOW SUMMARY
NAME SIZE		SF	SF	%	7.50 m	SM	SF	SM	SF	N N	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	58.67	19.56	21.33	62.33	7.94	8.67	WINDOW / DOOR RAME SIZE (S.F.)		4	2
GLAZE		OPEN	OPEN	MAX	LIMIT	0/1	DOB-TI	Ţ	EXPO	CO	0	0	0	0	0	0	0	0	0	4	_	2	ယ	2	QUAN.			
US 2" AF	A	OPENINGS PROVIDED	OPENINGS ALLOWED	MAX. % OPENINGS	IMITING DISTANCE	אייירו	DORTION WALL AREA	FACE AREA	EXPOSING BUILDING	PATI	ARCH	ARCH	ARCH	ARCH	0"	0"	0"	0"	0"	48"	48"	28"	48"	30"	WIDTH	REA	PER	<u>×</u>
CALCUI	DITION	OVIDED	.OWED	INGS	ANCE	- אורא	AREA	Α	LDING	AL CA	СН	오	오	유	0"	0"	0"	"0	0"	52"	68"	68"	72"	24"	DEPTH	R ELEV)BCT/	WOC
MINUS 2" AROUND ENTIRE PERIMETER	ADDITIONAL NOTES	169.11	433.32	50.50	7.5	79.72	858.05	79.72	858.05	SPATIAL CALCULAT	0.00	0.00	0.00	0.00											WINDOW / DOOR FRAME SIZE (S.F.)	REAR ELEV 'B' W.O.D	PER O.B.C. TABLE 9.10.15.4	WINDOW SUMMARY
METER		SF	S.F.	%	.50 m	SM	SF	SM	S.F.	9	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	58.67	19.56	21.33	62.33	7.22	//DOOR IZE (S.F.)		.4	~
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MINUS 2" AROUND ENTIRE PERIMETER	ADDITIONAL NOTES	180.44	533.81	50.50	7.5	98.20	1057.05	98.20	1057.05	SPATIAL CALCULAT	0.00	0.00	0.00	0.00											WINDOW / DOOR FRAME SIZE (S.F.	REAR ELEV 'B' W.O.B	PER O.B.C. TABLE 9.10.15.4	WINDOW SUMMARY
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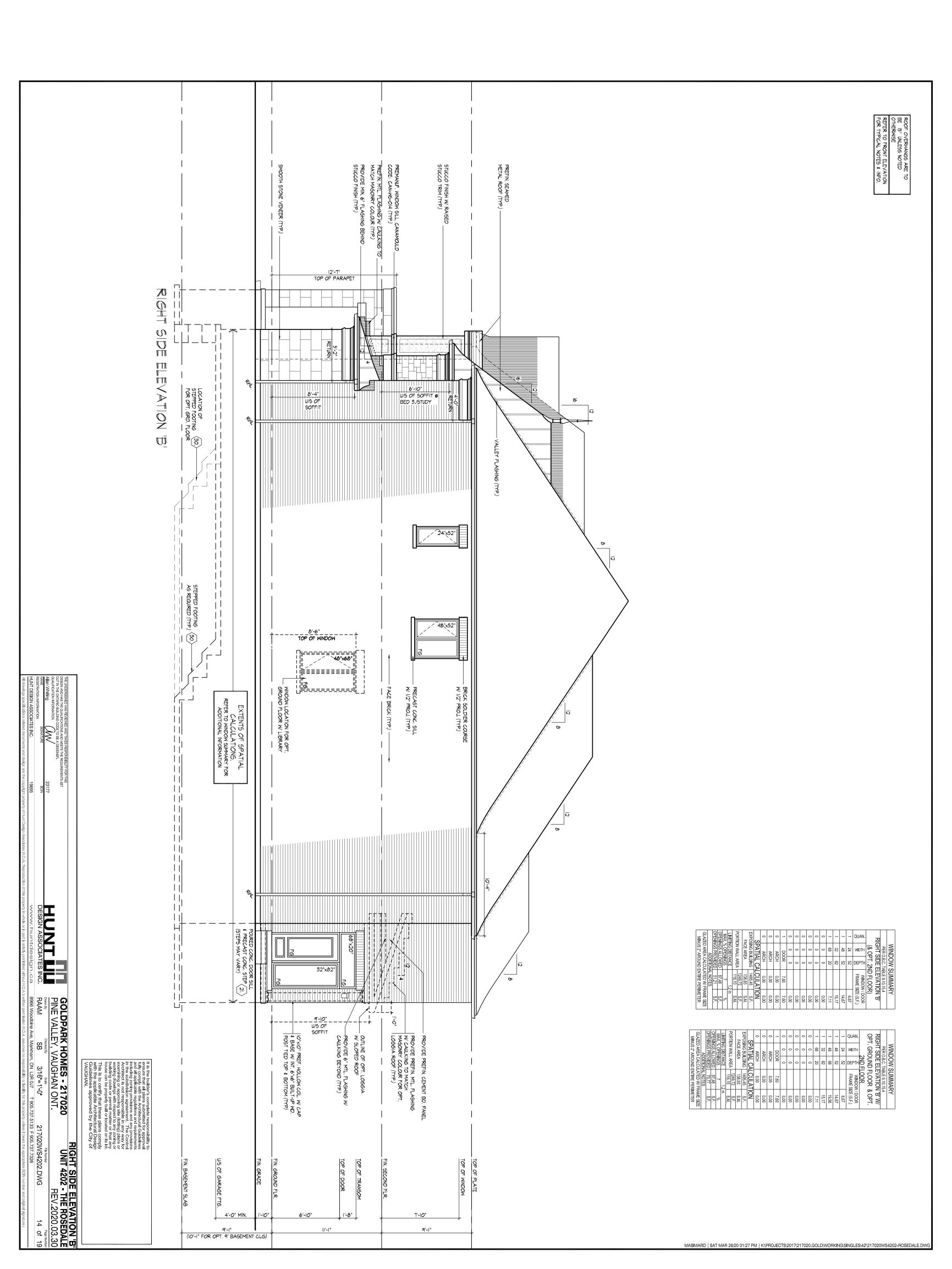
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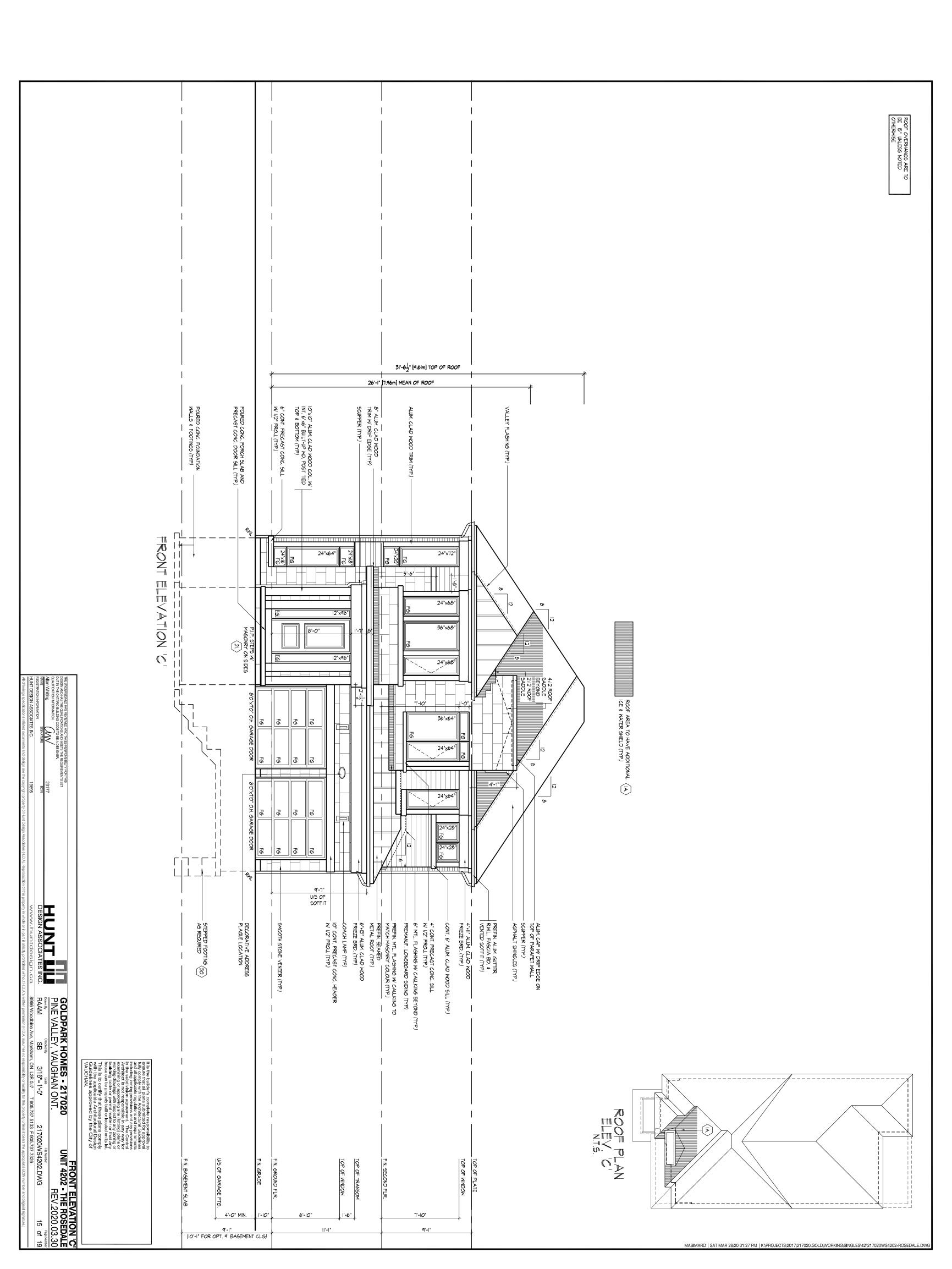


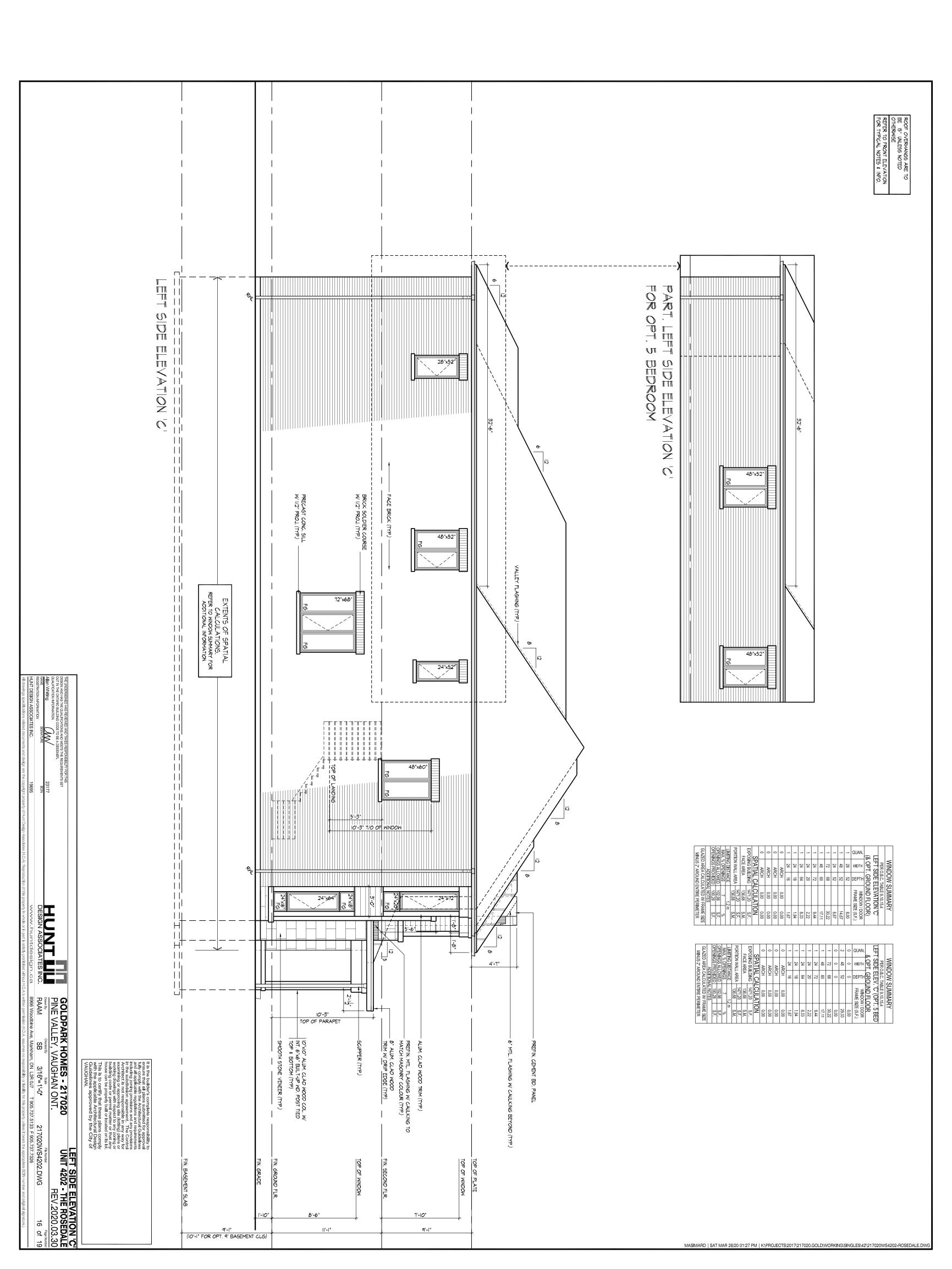
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ROSED/	UNIT 4202 - THE	MES - 217020	GOLDPARK HOMES - 217020		Y FOR THIS REMENTS SET	THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET
JN A/B	REAR ELEVATION 'A'/B'/C'					
		VAUGHAN.				
	/ the City of	Guidelines approved by the City of				
	plans comply	This is to certify that these plans comply with the applicable Architectural Design				
	ocated on its lot.	house can be properly built or located on its lot				
	ter or that any	building code or permit matter or that any				
	lotting) plans or	examining or approving site (lotting) plans or				
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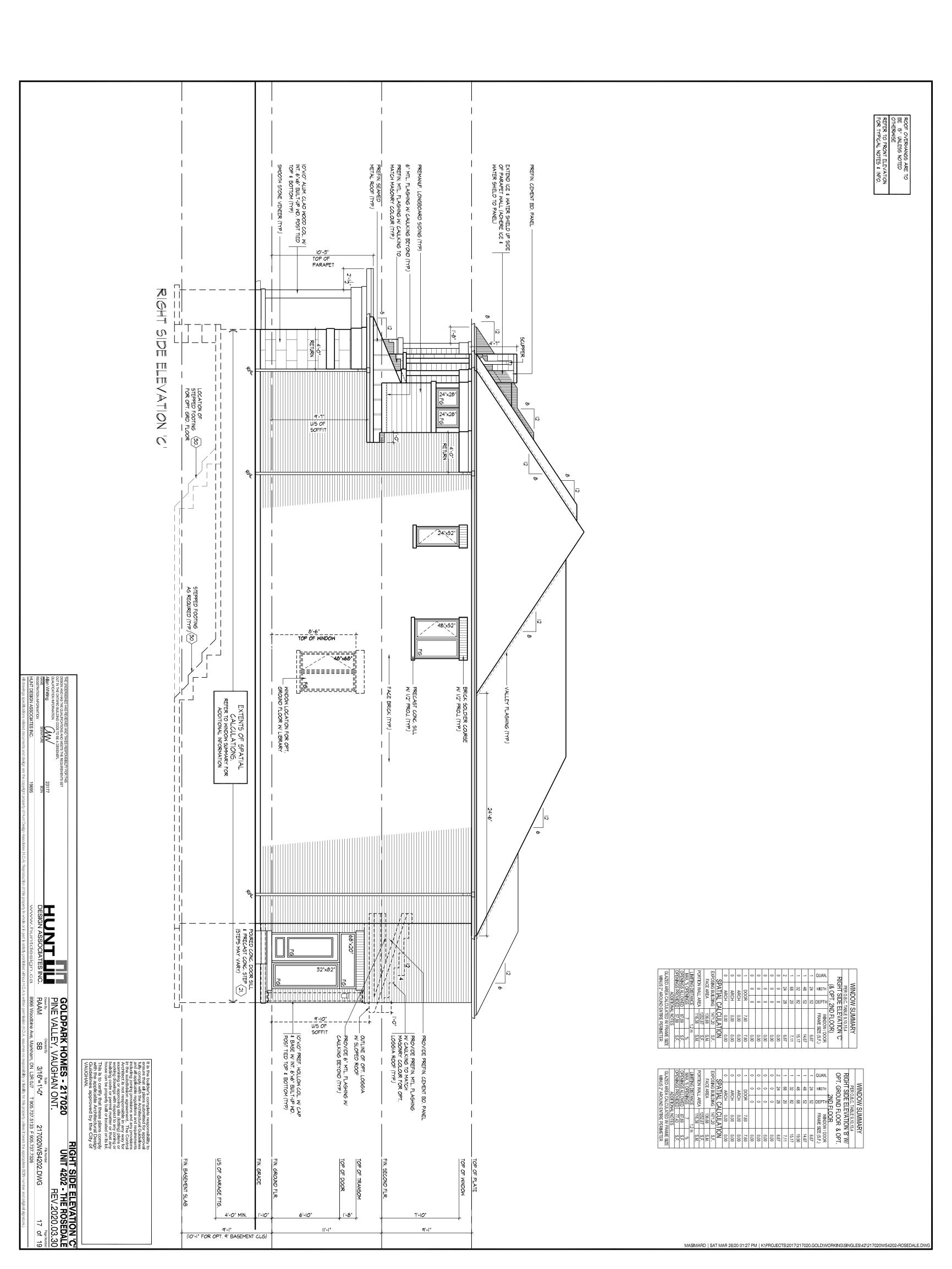


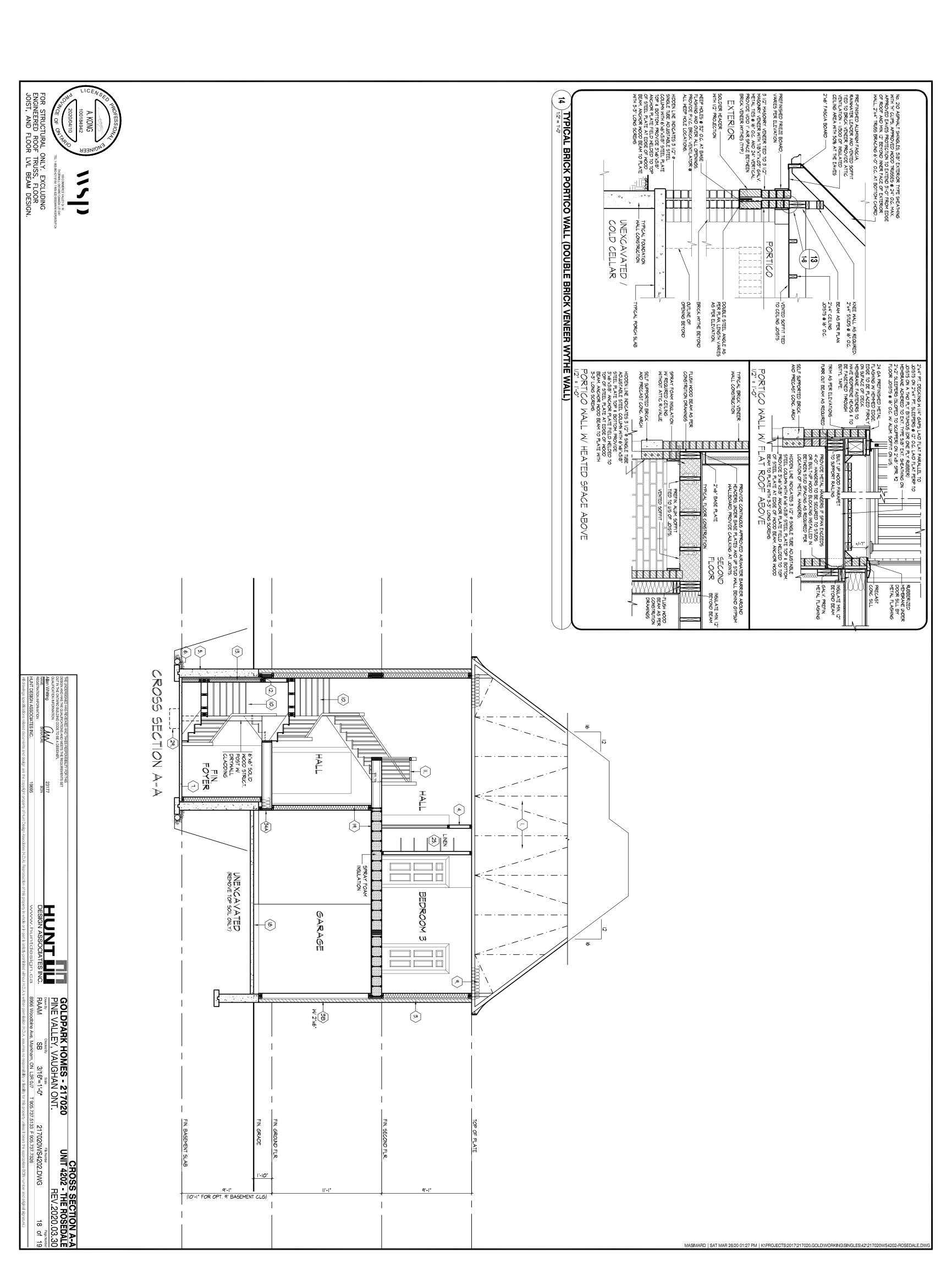












BRICK VENUEER WALL CONSTRUCTION W/ CONTIN. INSULATION 3 1/2" (90) BRICK VENUEER 1" (25) AIR SPACE 7/8*X"***(0.03" (22x180x0.76) GALV METAL TIES (9) 18" (400) O.C. HORIZ 24" (600) O.C. VERT. BONDING AND FASTENING FOR TIES TO CONFORM WITH 9,209, ON APPROVED AIR/WAITER BARRIER AS PER O.B.C. 927.3. ON EXTERIOR TYPE RIGID INSULATION (JOINTS UNTAPED) MECHANICALLY FASTENED AS PER MANUFACTURERS SPECIFICATIONS, ON 398" (9.5) EXTENIOR TYPE SHEATHING, STUDS CONFORMING TO O.B.C (9.23.10.1) & SECTION 1.1, INSULATION AND 6 mil POLYETHYLENE VAPOUR BARRIER WITH APPROVED CONTIN. AIR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INTERIOR FINISH. PROVIDE WEEP HOLES (9.22" (800) O.C. BOTTOM COURSE AND OVER OPENINGS. PROVIDE BASE FLASHING UP MIN. 6" (150) OVER RIGID INSULATION (9.20.13.6), (REFER TO 35 NOTE AS REQUIRED) SDING MATERIAL AS PER ELEVATION ATTACHED TO FRAMING MEMBERS OR BLOCKING BETWEEN THE FRAMING MEMBERS ON APPROVED SHEATHING PAPER ON 3/8" (9.5) EXT. GRADE SHEATHING ON STUDS CONFORMING TO O.B.C (9.23.10.1), & SECTION 1.1. INSULATION, APPROVED 6 MIL POLYETHYLENE AIRWAPOUR BARRIER, ON 17.2" (12.7) GYPSUM WALLBOARD INT. FIN. (GYPSUM SHEATHING, RIGID INSULATION, AND FIBERBOARD SHALL NOT BE USED FOR THE ATTACHMENT OF SIDING (9.23.16.3.(1.)) (REFER TO 35 NOTE AS REQ.) SIDING WALL CONSTRUCTION W/ CONTIN. INSULATION SIDING MATERIAL AS PER ELEVATION ATTACHED TO 11 IRRING MEMATICAL TO ANALYSIS OF THE ASSET EXT. LOFT WALL CONSTRUCTION - NO CADDING SECTION 1.1, INSULATION AND 6 mil POLYETHYLENE VAPOUR BA APPROVED CONT. AIR BARRIER. 1/2" (12.7) GYPSI IM WALL. EXT. LOFT WALL CONSTRUCTION - NO CADDING SECTION 1.1, INSULATION AND 6 mil POLYETHYLENE VAPOUR BA APPROVED CONT. AIR BARRIER. 1/2" (12.7) GYPSI IM WALL. EXT. LOFT WALL. | INTERIOR STUD PARTITIONS | (9.23.9.8., 9.23.10) | BEARING PARTITIONS SHALL BE A MINIMUM 2"x4" (38x89) @ 16" (406) O.C. FOR 2 STOREY AND 12" (305) O.C. FOR 3 STOREY, NON-BEARING PARTITIONS 2"x4" (38x89) PATE AND 2-2"x4" (238x89) TOP PLATE. 1/2" (12.7) INT. DRYWALL BOTH SIDES OF STUDS, PROVIDE 2"x6" (38x440) STUDS, WHERE NOTED, PROVIDE 2"x4" (38x89) @ 24" (610) O.C. LADDER FRAMING WHERE WALLS INTERSECT PERPENDICULAR TO ONE ANOTHER. PROVIDE 2"x4" (38x89) WOOD BLOCKING ON FLAT @ 3"1" (1794) O.C. MAX. BETWEEN FLOOR JOISTS. JOISTS WHEN NON-LOADBEARING WALLS ARE PARALLEL TO FLOOR JOISTS. BRICK VENEER WALL @ GARAGE CONSTRUCTION 3 1/2" (90) BRICK VENEER, MIN. 1" (25) AIR SPACE, 7/8",7">(3.2" (25) BRICK VENEER, MIN. 1" (25) AIR SPACE, 7/8",7">(3.2" (22) 180 (27) (6AL). METAL TIES @ 16" (400) O.C. HORIZ, 24" (600) O.C. VERT, BONDING AND FASTENING FOR TIES TO CONFORM WITH 9,20.9. ON APPROVED SHEATHING PAPER, 38" (9.5) EXTERIOR TYPE SHEATHING ON STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1., 1/2" (12.7) GYPSON WALLBOARD INTERIOR FINISH, PROVIDE WEEP HOLES @ 32" (800) O.C. AT BOTTOM COURSE AND OVER OPENINGS, PROVIDE BASE FLASHING UP 6" (150) MIN. BEHIND BUILDING PAPER (9.20.13.6.) (REFER TO 35 NOTE AS SECO) SIDING WALL CONSTRUCTION SIDING MATERIAL AS PER FI FVATION AT PROVIDE ICE AND WATER SHIELD 5 FOUNDATION WALL/FOOTINGS POURED CONC. FOUNDATION WALL AS ADDITION ADD SIDING WALL @ GARAGE CONSTRUCTION SIDING MATERIAL AS PER ELEVATION ATTACHED TO TO PROFILED ROOF TRUSSES (1B) ROOF TRUSSES SHALL BE PROFILED AUD/OR STEPPED AT RAISED COFFER/TRAY CEILINGS. ANGLED TRAY CEILINGS WILL BE SHEATHED W/ 3/8" (9.5) PLYWOOD. 1 ROOF CONSTRUCTION (9.19 NO. 210 (10.25 KG/M2) ASPHALT SH POURED CONC. FOUNDATION WALL SA PER CHART BELOW ON CONTINUOUS KEYED CONCRETE FOOTING. FOUNDATION WALLS SHALL EXTEND NOT LESS THAN 8" (150) ABOVE FINISHED GRADE. THE GUTSIDE OF THE FOUNDATION SHALL BE DAMPROOFED FROM THE TOP OF THE FOOTING TO FINISHED GRADE AND BRUSH COAT FROM THE TOP OF THE FOOTING TO FINISHED GRADE AND BRUSH COAT FROM THE TOP TO 2" BELOW GRADE. PROVIDE A DRANAGE LAYER ON THE GUTSIDE OF THE FOUNDATION WALL SEAL THE DRANAGE LAYER AT THE TOP THE CONC. FOOTING SHALL BE DAMPROOFED. CONCRETE FOOTINGS SUPPORTING JOST SPANS GREATER THAN 16-1" (4900) SHALL BE SIZED IN ACCORDANCE WITH 9 15-3.4 (1), (2) OF THE GOB. (REFER TO CHART BELOW FOR RESPECTIVE SIZE), BRACE FOUNDATION WALL PRIOR TO BACKFILLING. ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OF 125MPS SL.S. IF SOIL BEARING DOES NOT MEET MINIMUM CAPACITY. ENGINEERED FOOTINGS ARE REQUIRED. ACTUAL SOIL BEARING CAPACITY OF REFER TO CONSTRUCTION DRAWINGS AND BETAILS FOR FOUNDATION WALL STRENGTH AND THICKNESS AND 9-15-4. FOUNDATION WALLS SHALL NOT EXCEED 9-10" (3.0m) IN UNSUPPORTED HEIGHT UNLESS OTHERWISE NOTED. [9.15.4.2.(1.)] NO. 210 (10.25 KG/MZ) ASPHALT SHINGLES, 3/8" (9.5) PLYWOOD SHEATHING WITH "H" CLIPS, APPROVED WOOD TRUSSES @ 24" (610) O.C. MAX. APPROVED EAVES PROTECTION TO EXTEND 2-11" (900) FROM EDGE OF ROOF AND MIN. 12" (393) BEYOND INNER FACE OF EXTERIOR WALL, 2"X" (138X98) TRUSS BRACING @ 6-0" (1830) O.C. AT BOTTOM CHORD. PREFIN. ALUM. 24NESTROUGH FASCIA, RWL & VENTED SOFFIT, ATTIC VENTILATION 1:300 OF NSULATED CEILING AREA WITH MIN. 25% OR REQUIRED OPENINGS LOCATED AT 10P OF SPACE & MIN. 25% OR REQUIRED OPENINGS LOCATED AT TOP OF SPACE & MIN. 25% OR REQUIRED OPENINGS MOTO CONCRETE SPLASH PADS OR PER MINNIGPAL REQUIREMENTS. TOWNHOUSES TO HAVE 5" MIN. EAVESTROUGH WITH ELEC. TRACED HEATER CABLE ALONG FAVESTROUGH WAID NOW. RWI UNREINFORCED SOLID CONCRETE FOUNDATION WALLS (9.15.4.2.) MAX. HEIGHT FROM FIN. SLAB TO GRADE SUPPORTED AT TOP AT TOP AT TOP AD TO THE TOP WATERIAL AS PER ELEVATION ATTACHED TO FURRING MEMBERS ON ED ARWATER BARRIER AS PER O.B.C. 9.27.3. ON EXTERIOR TYPE RIGID ION (JOINTS UNTAPED) MECHANICALLY FASTENED AS PER CTURERS SPECIFICATIONS ON 3/8" (9.5) EXT. GRADE SHEATHING ON O.D.B.C. (9.23.10.1.) & SECTION 1.1., INSULATION, APPROVED LYFETHYLENE AIRWAPOUR BARRIER, ON 1/2" (12.7) GYPSUM WALLBOARD (GYPSUM SHEATHING, RIGID INSULATION, AND FIBERBOARD SHALL NOT BE DIT THE ATTACHMENT OF SIDING (9.23.16.3.(1.)) (REFER TO 35 NOTE AS REQ.) R SPACE 7(8"X"70,00" (22X180x0.76) GALV. METAL TIES 1.C. VERT. BONDING AND FASTENING FOR TIES TO WED SHEAT-ING PAPER, 30" (9.5) EXTERIOR TYPE 1 TO D.B.C. (9.23 1.1.1), & SECTION 1.1. INSULATION 8 BARRIER WITH APPROVED CONTIN. AIR BARRIER. 1/2" (100 FINISH. PROVIDE WEEP HOLES @ 32" (800) O.C. (100 FINISH. PROVIDE WEEP HOLES @ 32" (800) O.C. (100 FINISH. PROVIDE WEEP HOLES @ 32" (800) O.C. (100 FINISH. PROVIDE WEEP HOLES @ 32" (800) O.C. (100 FINISH. PROVIDE WEEP HOLES @ 32" (800) O.C. (100 FINISH. PROVIDE WEEP HOLES @ 32" (800) O.C. (100 FINISH. PROVIDE WEEP HOLES @ 32" (800) O.C. PER O.B.C. 9.27.3. ON EXTERIOR TYPE RIGID CHANICALLY FASTENED AS PER 3, ON 3/8" (9.5) EXTERIOR TYPE SHEATHING, 33.10.1.) & SECTION 1.1., INSULATION AND 6 SEX WITH APPROVED CONT. AIR BARRIER. 1/2" NISH. (9.23.) | SUPPORTED AT TOP | >2.5m & \$2.75m & \$3.0m | 7-0" (2.15m) | 6-10" (2.10m) | 8-6" (2.60m) | 8-2" (2.50m) | 8-6" (2.60m) | 9-3" (2.85m) | 7-6" (2.30m) | 7-2" (2.20m) | 8-6" (2.60m) | 9-3" (2.85m) | 8-6" (2.60m) | 9-3" (2.85m) | 8-6" (2.60m) | 9-3" (2.85m) TO O.B.C (9.23.10.1.) & RARRIER WITH AND INT. FINISH. (9.23.) SIAHS OH HAMP MIN. 7-5" (2204) MIDEL 279 (2004) PRICE 284" (2005) SILL PLATES 2%4" (38x89) SILL PLATE MITH 1/2" (12.7)Ø ANCHOR BOLTS 8" (2005) LONG, EMBEDDED MIN. 4" (100) INTO CONC., @ 4-0" (1220) O.C., CALILUNING OR GASKET BETWEEN PLATE AND TOP OF FOUNDATION WALL. USE NON-SHRINK GROUT TO LEVEL SILL PLATE WHEN REQUIRED (9.23.7.) BASEMENT INSULATION (ISB-12) 3.1.1.7.) BASEMENT FLOOR, DAMPROOFED WITH BUILDING PAPER BETWEEN THE FOUNDATION WALL AND INSULATION UP TO GRADE LEVEL. 1.) & 14) BEARING STUD PARTITION (ISB-12) 3.1.1.7.) BEARING STEEL BASEMENT COLUMN (IS-15.36.) 9.2.1.1.1) 15) ADJUSTABLE STEEL PLATE TOP & BOTTOM, FIELD WELD BASEMENT COLUMN (ISB-12) 3.1.1.7.) BADJUSTABLE STEEL PLATE TOP & BOTTOM, FIELD WELD BASEMENT COLUMN (ISB-12) 3.1.1.7.) BADJUSTABLE STEEL PLATE TOP & BOTTOM, FIELD WELD BASEMENT COLUMN (ISB-12) 3.1.1.7.) BADJUSTABLE STEEL PLATE TOP & BOTTOM, FIELD WELD BASEMENT COLUMN (ISB-12) 3.1.1.7.) BADJUSTABLE STEEL PLATE TOP & BOTTOM, FIELD WELD BASEMENT COLUMN (ISB-12) 3.1.1.7. BADJUSTABLE STEEL PLATE TOP & BOTTOM, FIELD WELD BASEMENT COLUMN (ISB-12) 3.1.1.7. BADJUSTABLE STEEL PLATE TOP & BOTTOM, FIELD WELD BASEMENT COLUMN (ISB-12) 3.1.1.7. BADJUSTABLE STEEL PLATE TOP & BOTTOM, FIELD WELD BASEMENT COLUMN (ISB-12) 3.1.1.7. BADJUSTABLE STEEL PLATE TOP & BOTTOM, FIELD WELD BASEMENT COLUMN (ISB-12) 3.1.1.7. BADJUSTABLE STEEL PLATE TOP & BOTTOM, FIELD WELD BASEMENT COLUMN (ISB-12) 3.1.1.7. BADJUSTABLE STEEL PLATE TOP & BOTTOM, FIELD WELD BASEMENT COLUMN (ISB-12) 3.1.1.7. BADJUSTABLE STEEL PLATE TOP & BOTTOM, FIELD WELD FOUNDATION REDUCTION IN THICKNESS FOR JOISTS WHERE THE TOP OF THE FOUNDATION WALL IS REDUCED IN THICKNESS TO PERMIT THE INSTALLATION OF FLOOR JOISTS, THE REDUCED SECTION SHALL BE NOT MORE THAN 13 3/4" (350) HIGH & NOT LESS THAN 3 1/2" (90) THICK (9.15.4.7(1)) WEEPING TILE (9.14.3.) BASEMENT SLAB OR SLAB ON GRADE (9.16.4.3.) BASEMENT SLAB OR SLAB ON GRADE (9.16.4.3.) 3" (80) MIN. 25MPa (3600psi) CONC. SLAB ON GRADE (9.16.4.3.) TANK (12.7) GYPSUM BOARD ON CEILING WIT (12.7) GYPSUM BOARD ON CEILING WALLS (MIX BEANUCS AND GARAGE TO HOUSE WALLS/CEILING W/CONTIN. INSULATION (17.27) GYPSUM BOARD ON CEILING AND ON WALLS (MIX BEANUCS AND GARAGE SHAB (9.16. 9.35.) GARAGE SLAB (9.16. 9.35.) 4"(100) 23MPG (46400s) CONC. SLAB WITH 5-8% AIR ENTRAINMENT ON OPT. 4"(100) COARSE GRANULUAR FILL WITH COMPACTED SUB-BASE OR COMPACTED NATIVE FILL. SLOPE TO FRONT (@ 1% MIX). GARAGE TO HOUSE WALLS/CEILING (9.10.9.16.) 1/2"(12.7) GYPSUM BOARD ON WALL AND CEILING BETWEEN HOUSE AND GARAGE, PLUS RECUIRED INSULATION IN WALLS AND SPRAY FOAM FOR CEILINGS. TAPE AND SEAL ALL JOINTS GAS TIGHT. (9.10.17.10. CANULC-S705.2) GARAGE TO HOUSE WALLS/CEILING W/ CONTIN. INSULATION (17.27) GYPSUM BOARD ON CEILING AND ON WALLS INSTALLED OVER EXTERIOR TYPE RIGID INSULATION (10)NTS UNTAPED) INSCHALLY FASTENED AS PER MANUFACTURER'S SPECIFICATIONS ON 3/8" SYTERIOR GRADE SHEATHING ON STUDS BETWEEN HOUSE AND GARAGE, PLUS REQUIRED INSULATION (10)NTS UNTAPED HOSE, TAPE AND SEAL ALL JOINTS GAS TIGHT. (9.10.7.10, CANVULC-S705.2) SEAL ALL JOINTS GAS TIGHT. (9.10.9.16. , 9.10.17.10, CANVULC-S705.2) 3" (80) MIN. 25MPa (3600psi) CONC. SLAB ON 4" (100) COARSE GRANULAR FILL. OR 20MPa (2900psi) CONC. WITH DAMPPROOFING BELOW SLAB. PROVIDE 1/2" (12.7) IMPERVIOUS BOARD FOR BOND BREAK AT EDGE. (9.13.) WHERE A BASEMENT SLAB IS WITHIN 24" (610) OF THE EXTERIOR GRADE PROVIDE RIGID INSULL AROUND THE PERIMETER EXTENDING MIN. 24" (610) BELOW GRADE. FOR SLAB ON GRADE CONDITIONS RIGID INSULATION SHALL BE APPULED TO THE UNDERSIDE OF THE ENTIRE SLAB. (188-12] 3.1.1.7.(5) & (6)) EXPOSED FLOOR TO EXTERIOR (9.10.17.10, & CANULC-\$705.2) PROVIDE SPRAY FOAM INSULATION BETWEEN CANT. JOIST AND INSTALL FIN. SOFFIT OR CLADDING AS PER ELEVATION TO U/S OF EXPOSED CANT. JOIST. SOFFIT OR CLADDING AS PER ELEVATION TO U/S OF EXPOSED CANT. JOIST. INSULATION, 6 mil POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM BOARD INTERIOR FINISH OR APPROVED EQ. (इं) NON-ADJUSTABLE STEEL BASEMENT COLUMN 3 1/2" (90)Ø x 0.188" (4,78) NON-ADJUSTABLE STEEL COLUMN WITH 6'x6'x3/8" (152x152x9.5) STEEL PLATE TOP & BOTTOM. BOTTOM PLATE C.W. 2 1/2"Ø x 12" LONG x2" HOOK ANCHORS. FIELD WELD BASEMENT COLUMN CONNECTION. POURED CONCRETE FOOTING ON NATURAL UNDISTURBED SQIL OF 125kPa S.L.S., OR COMPACTED ENGINEERED FILL WITH MIN. BEARING CAPACITY OF 125kPa S.L.S., AS PER SOILS REPORT. SUPPORTING 2 STOREY FLR. LOAD PROVIDE 48"x48"x24" (1070x1070x460) CONC. FOOTING SUPPORTING 3 STOREY FLR. LOAD PROVIDE 48"x48"x24" (1220x1220x610) CONC. FOOTING | NON-ADJUSTABLE STL. COLUMN AT FOUNDATION WALL | 3 1/2" (90)/0 x 0.188" (4.78) NON-ADJUSTABLE STEEL COLUMN WITH 6"x6"x3/8" (152x152x9.5) STEEL TOP PLATE & 6"x4"x3/8" (152x100x9.5) BOTTOM PLATE. BASE PLATE 4-1/2"x10"x1/2" (120x250x12.7) WITH 2-1/2"0 x 12" LONG x 2" HOOK ANCHORS (2-12.7/0x305x50). FIELD WELD COLUMN TO BASE PLATE & STEEL BM. (5A) GUARD HEIGHTS - O.B.C. 9.8.8. NITERIOR GUARDS: 2-11" (900) MIN. (LESS THAN 5-11" (1800) TO GRADE) S-6" (1070) MIN. (MORE THAN 5-11" (1800) TO GRADE) GUARDS FOR EXIT STRRS: 30" (920) MIN. GUARDS FOR EXIT STRRS: 30" (920) MIN. GUARDS FOR HANDINGS @ EXIT STARS: 3" (1070) MIN. GUARDS FOR HANDINGS @ EXIT STARS: 3" (1070) MIN. GUARDS FOR HANDINGS @ EXIT STARS: 3" (1070) MIN. GUARDS FOR HANDINGS @ EXIT STARS: 3" (1070) MIN. GUARDS FOR HANDINGS @ EXIT STARS: 3" (1070) MIN. GUARDS FOR HANDINGS @ EXIT STARS: 3" (1070) MIN. GUARDS FOR HANDINGS @ EXIT STARS (1070) MIN. GUARDS FOR HANDINGS @ EXIT STARS (1070) MIN. RECUIRED GUARDS BETWEEN WALKING SURFACE & ADJACENT SURFACE WITH A DIFFERENCE IN ELEVATION MORE THAN 23.5%" (900) OR ADJACENT SURFACE WITHN 3-11" (1200) & WALKING SURFACE W.A SLOPE MORE THAN 1 IN 12 SHALL BE PROTECTED WITH GUARDS PER CONISTRUCTION HEX NOTIE 11. HANDRAIL HEIGHTS - O.B.C. 9.8.7. - REQUIRED AS PER 9.8.7.1.(3) MIN. HEIGHT AT STARS OR RAMP: 3"-2" (965) MAX. HEIGHT AND MIN. 7-3" (2200) WIDE: 2-9" (866) MIN. HEIGHT OR RAMP MIN. 7-3" (2200) WIDE: 2-9" (866) | OUSTS/TRUSSES AS PER PLANS W 2*2" (383.38) PURLINS @ 16" (406) O.C. PERPENDICULAR TO JOISTS (PURLINS NOT REQ. W/ SPRAY FOAM OR ROOF TRUSSES), W/ INSULATION BETWEEN JOIST, 6 mil POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) (28 GYPSUM BOARD INT. FINISH OR APPROVED EQ. (CANVULC-S705.2, 9.19.1, 9.10.17.1) (27 GYPSUM BOARD INT. FINISH OR APPROVED EQ. (CANVULC-S705.2, 9.19.1, 9.10.17.1) (28 MAX. RISE MAX. RIN MIN. RUN MAX. TREAD MIN. TREAD MIN. TREAD PRIVATE 77/8" (200) | 5" (125) 14" (355) | 8 1/4" (350) | NO.LIMIT | 11" (280) | 9 1/4" (235) | 9 1/4" (235) | 9 1/4" (235) | 1/4" (235) | 9 1/4" (235) | 9 1/4" (235) | 9 1/4" (235) | 9 1/4" (235) | 9 1/4" (235) | 9 1/4" (235) | 9 1/4" (235) | 9 1/4" (235) | 9 1/4" (235) | 9 1/4" (235) | 9 1/4" (235) | 9 1/4" (235) | 9 1/4" (235) | 9 1/4" (235) | 9 1/4" (235) | 9 1/4" (235) | 9 1/4" (235) | 9 1/4" (235) | 9 1/4" (235) | 9 1/4" (235) | 9 1/4" (235) | 9 1/4" (235) | 9 1/4" (235) | 9 1/4" (235) | 9 1/4" (235) | 9 1/4" (235) | 9 1/4" (235) | 9 1/4" (235) | 9 1/4" (235) | 9 1/4" (235) | 9 1/4" (235) | 9 1/4" (235) | 9 1/4" (235) | 9 1/4" (235) | 9 1/4" (235) | 9 1/4" (235) | 9 1/4" (235) | 9 1/4" (235) | 9 1/4" (235) | 9 1/4" (235) | 9 1/4" (235) | 9 1/4" (235) | 9 1/4" (235) | 9 1/4" (235) | 9 1/4" (235) | 9 1/4" (235) | 9 1/4" (235) | 9 1/4" (235) | 9 1/4" (235) | 9 1/4" (235) | 9 1/4" (235) | 9 1/4" (235) | 9 1/4" (235) | 9 1/4" (235) | 9 1/4" (235) | 9 1/4" (235) | 9 1/4" (235) | 9 1/4" (235) | 9 1/4" (235) | 9 1/4" (235) | 9 1/4" (235) | 9 1/4" (235) | 9 1/4" (235) | 9 1/4" (235) | 9 1/4" (235) | 9 1/4" (235) | 9 1/4" (235) | 9 1/4" (235) | 9 1/4" (235) | 9 1/4" (235) | 9 1/4" (235) | 9 1/4" (235) | 9 1/4" (235) | 9 1/4" (235) | 9 1/4" (235) | 9 1/4" (235) | 9 1/4" (235) | 9 1/4" (235) | 9 1/4" (235) | 9 1/4" (235) | 9 1/4" (235) | 9 1/4" (235) | 9 1/4" (235) | 9 1/4" (235) | 9 1/4" (235) | 9 1/4" (235) | 9 1/4" (235) | 9 1/4" (235) | 9 1/4" (235) | 9 1/4" (235) | 9 1/4" (235) | 9 1/4" (235) | 9 1/4" (235) | 9 1/4" (235) | 9 1/4" (235) | 9 1/4" (235) | 9 1/4" (235) | 9 1/4 PRIVATE 2-10" (660) MIN. RUN. 57/8" (150) MAX. NOSING 1" (25) PUBLIC 2-11" (600) MIN. AVG. RUN 77/8" (200) MAX. NOSING 1" (25) PUBLIC 2-11" (600) MIN. AVG. RUN 77/8" (200) *** HEIGHT OVER STAIRS (HEADROOM) IS MEASURED VERTICALLY ACROSS WIDTH OF STAIRS FROM A STRAIGHT LINE TO THE TREAD & LANDING NOSING TO LOWEST POINT ABOVE AND NOT LESS THAN 6-5" (1950) FOR SINGLE DWELLING UNIT 8-6" (33) 4" (2050) FOR EVERYTHING ELSE. (9.8.2.2.) REQUIRED LANDING IN GARAGE - O.B.C. 9.8.6.2.(3.) FOR AN EXTERIOR STAIR SERVING A GARAGE W/ MORE THAN 3 RISERS. GUARDS, HANDRAILS & STEPS AS PER CONSTRUCTION HEX NOTE 10 & 11. FOUNDATION REDUCTION IN THICKNESS FOR MASONRY WHERE THE TOP OF THE FOUNDATION WALL IS REDUCED IN THICKNESS T PERMIT THE INSTALLATION OF MASONRY EXTERIOR FACING. THE REDUCED SECTION SHALL RE NOT LECC THAN ASON OF THE REDUCED SECTION SHALL RE NOT LECC THAN A SON OF THE REDUCED SECTION SHALL RE NOT LECC THAN A SON OF THE REDUCED SECTION SHALL RE NOT LECC THAN A SON OF THE REDUCED SECTION SHALL RE NOT LECC THAN A SON OF THE REDUCED SECTION SHALL RE NOT LECC THAN A SON OF THE REDUCED SECTION SHALL RE NOT LECC THAN A SON OF THE REDUCED SECTION SHALL RE NOT LECC THAN A SON OF THE REDUCED SECTION SHALL RE NOT LECC THAN A SON OF THE REDUCED SECTION SHALL RE NOT LECC THAN A SON OF THE REDUCED SECTION SHALL RE NOT LECC THAN A SON OF THE REDUCED SECTION SHALL RESULT FOR THE RESULT FOR TH **GUARDS/RAILINGS** (9.8.7., 9.8.8.) GUARDS TO BE DESIGNED NOT TO FACILITATE CLIMBING AND PROVIDING MAX. OPENING CONFORMING TO O.B.C. 9.8.8.5. & 9.8.8.6. AND BE ABLE TO RESIST LOADS AS PER TABLE 9.8.8.2. EXPOSED CEILING TO EXTERIOR W/o ATTIC HERE THE TOP OF THE FOUNDATION WALL IS REDUCED IN THICKNESS TO RMIT THE INSTALLATION OF MASONRY EXTERIOR FACING. THE REDUCED CTION SHALL BE NOT LESS THAN 3 1/2" (9) THICK. THE BROWNEER SHALL TIED TO THE FOUNDATION WALL WITH CORROSION RESISTANT METAL TIES TO THE FOUNDATION WALL WITH CORROSION FINANT METAL TIES 7 7/8" (200) VERTICAL AND 2"-11" (889) HORIZONTAL FILL VOID WITH MORTAR TWEEN WALL AND BRICK VENEER (9.15.4.7(2)(3) & 9.20.9.4(3)) HEADER CONSTRUCTION (34A) HEADER CONSTRUCTION (34A) HEADER CONSTRUCTION PROVIDE CONTINUOUS, APPROVED AIR/VAPOUR BARRIER (HEADER WRAP) UNDER THE SILL PLATE, ARQUIND THE RIM BOARD AND UNDER THE BOTTOM PLATE. THE HEADER WRAP SHALL EXTEND 6' (152) BELOW THE TOP OF FOUNDATION WALL AND WILL BE SEALED TO THE CONCRETE FOUNDATION WALL EXTEND HEADER WRAP 6' (152) UP THE INTERIOR SIDE OF THE STUD WALL AND OVERLAP WITH THE VAPOUR BARRIER AND SEAL THE JOINT. ALL EDGES/JOINTS MUST BE MECHANICALLY CLAMPED. (22) CAPPED DRYER EXHAUST VENTED TO EXT. CONFORMING TO PART 6, OBC 9.32. (11) 23) ATTIC ACCESS (9.19.2.1.) ATTIC ACCESS HATCH WITH MINL AREA OF 0.32m2 AND NO DIM. LESS THAN 21 1/2" (545) WITH WEATHER STRIPPING. HATCHWAYS TO THE ATTIC OR ROOF SPACE WILL BE FITTED WITH DOORS OR COVERS AND WILL BE INSULATED WITH MIN. R20 (RSI 3.25) (ISB-12) 3.1.1.8.(1)) (24) TOP OF FIREPLACE CHIMNEYS (9.21.) FIREPLACE CHIMNEY SHALL BE 2-11" (889) ABOVE THE HIGHEST POINT AT WHICH IT COMES IN CONTACT WITH THE ROOF AND 2-0" (610) ABOVE THE ROOF SURFACE WITHIN A HORIZ. DISTANCE OF 10"-0" (3048) FROM THE CHIMNEY. 39 (38) CONVENTIONAL ROOF FRAMING (9.23.13., 9.23.15.) 2"X6" (38X140) RAFTERS (9.16" (406) O.C. (2"X8" (38X184) RIDGE BOARD. 2"X4" (38X89) COLLAR TIES AT MID-SPAN, CEILING JOISTS TO BE 2"X4" (38X89) (9.16" (406) O.C. FOR MAX. 9"3" (2819) SPAN & 2"X6" (38X140) (9.16" (406) O.C. FOR MAX. SPAN 14"-7" (436)), RAFTERS FOR BUILT UP ROOF OVER PRE-ENGINEERED ROOF TRUSSES AND OR CONVENTIONAL FRAMING TO BE 2"X4" (38X89) (9.24" (610) O.C. UNLESS OTHERWISE SPECIFIED. PARTY WALL BEARING (9.23.8) 12"x12"x5/8" (305x305x15.9) STEEL PLATE FOR STEEL BEAMS AND 12"x12"x1/2" (305x305x12.7) STEEL PLATE FOR WOOD BEAMS BEARING (MIN. 3.12" (89)) ON CONC. BLOCK PARTY WALL, ANCHORED WITH 2-3/4" (2-19) x 8" (200) LONG GALV. ANCHORS WITHN SOLID BLOCK COURSE. LEVEL W/ NON-SHRINK GROUT. REFER TO NOTE SOLID BEARING (SECTION 3.0) FOR WD. STUD PARTY WALL. (36) COLD CELLAR PORCH SLAB (9.39.) FOR MAX 8-2" (2500) PORCH DEPTH. 5" (127).5 (28) WOOD FRAMING IN CONTACT TO CONCRETE WOOD BEARING WALLS, THE UNDERSIDE OF BUILT-UP WOOD POSTS AND SILLS SHALL BE WRAPPED WITH 2 mil POLY, STRIP FOOTINGS SUPPORTING THE FOUNDATION WALL SHALL BE WIDENED 6" (152) BELOW THE BEARING WALL AND/OR WOOD POST. (9.17.4.3.) (37) RANGE HOODS AND RANGE-TOP FANS COOKING APPLIANCE EXHAUST FANS VENTED TO EXTERIOR MUST CONFORM TO OBC 9.10.22, 9.32.3.9. & 9.32.3.10. 34 FLOOR FRAMING TRG SUBFLOOR ON WO FURNACE VENTING (9.32.) DIRECT VENT FURNACE TERMINAL MIN. 3-0" (915) FROM A GAS REGULATOR. MIN. 12" (305) ABOVE FIN. GRADE, FROM ALL OPENINGS, EXHAUST AND NITAKE VENTS. HRY INTAKE TO BE A MIN. (DF 6-0" (1830) FROM ALL EXHAUST TERMINALS. REFER TO GAS UTILIZATION CODE. (26) MECHANICAL VENTILATION (9.32.1.3.) MECHANICAL EXHAUST FAN, VENTED TO EXTERIOR, TO PROVIDE AT LEAST ONE AIR CHANGE PER HOUR. SEE GENERAL NOTE 2.3. 25 PROVIDE 4 SHELVES MIN. 14" (356) DEEP 2 WALL ASSENBLY CONTAINS INSULATION CONFORMING TO CANULC-S702 & HAVING A MASS OF NOT LESS THAN 1.22 KGM/2.00 FWALL SUPFACE AND 1/2" (12.7) TYPE X GYPSUM WALLBOARD INTERIOR FINISH. EXTERIOR CLADDING MUST BE NON-COMBUSTIBLE WHEN LIMITING DISTANCE IS 23.5/8" (0.80m) O'R LESS, WALL ASSEMBLY REQUIRES TO HAVE A FIRE RESISTANCE RATING OF WOT LESS THAN 4.5 MINUTES & CONFORMING TO 0.B.C. (9.10.14, O.R.9.10.15.), REFER TO DETAILS FOR TYPE & SPECS. ** AN OPENING IN AN EXPOSING BUILDING FACE NOT MORE THAN 4.5 MINUTES & CONFORMING TO DE CONSIDERED AN UNPROTECTED OPENING AS PER CANAL (1.30cm²) SHALL NOT BE CONSIDERED AN UNPROTECTED OPENING AS PER (33) FIREPLACE VENTING (9.32.3.) DIRECT VENT GAS FIREPLACE VENT TO BE A MIN. 12" (305) FROM ANY OPENING AND ABOVE FIN. GRADE. REFER TO GAS UTILIZATION CODE. (31) CONC. PORCH SLAB (9.16.4.) MIN. 4" (100) CONCRETE SLAB ON GRADE ON 4" (100) COARSE GRANULAR FILL, REINFORCED WITH 6x6xW2.9xW2.9 MESH PLACED NEAR MID-DEPTH OF SLAB, CONC. STRENGTH 32MPa (4640ps) WITH 5-8% AIR ENTRAINMENT ON COMPACTED SUB-GRADE. (9.15.3.9.) MIN. HORIZ. STEP = 23 5/8" (600). MAX. VERT. STEP = 23 5/8" (600) (29) BUILT-UP WOOD POST AND FOOTING (9.17.4.1., 9.15.3.7.) 3-2"X6" (3-38x140) BUILT-UP WOOD POST (UNLESS OTHERWISE NOTED) ON METAL BASE SHOE ANCHORED TO CONC. WITH 1/2" (12.7) Ø BOLT, 24"x24"x12" (610x610x305) CONC. FOOTING OR AS PROVIDED ON PLAN. REFER TO NOTE 28 22 DRYER EXHAUST CAPPED DRYER EXHAU EXTERIOR AND GARAGE STEPS PRECAST CONC. STEP OR WOOD STEP WHERE NOT EXPOSED TO WEATHER. MAX RISE 7 7/8" (200), MIN. TREAD 9 1/4" (235). FOR THE REQUIRED NUMBER OF STEPS REFER TO STING AND GRACING DRAWINGS. EXTERIOR CONCRETE STARS WITH MORE THAN 2 RISERS AND 2 TREADS SHALL BE PROVIDED WITH FOUNDATION AS REQUIRED BY ARTICLE 9.8.9.2. OR SHALL BE CANTILEVERED AS PER SUBSECTION 9.8.10. STUDS ARE TO BE CONTINUOUS, C/M 3/8" (9.5) THICK EXTERIOR PLYWOOD SHEATHING, PROVIDE SOLID WOOD BLOCKING BETWEEN WOOD STUDS @ 4"-0" (1220) O.C. VERTICALLY. TWO STOREY VOLUME SPACES OR MAX. 8*-2" (2500) PORCH DEPTH, 5" (127) 32 MPa (4640psi) CONC. SLAB W/ -8% AIR ENTRÁINMENT, REINE, WITH 10M BARS @ 7 7/8" (200) O.C. EACH -18ECTION, WI 7 1/4" (22) CLEAR COVER FROM BOITTOM OF SLAB TO FHIST -AYER OF BARS & SECONDL JAVER OF BARS LAID DIRECTLY ON 170 POF LOWER -AYER IN OPPOSITE DIR. 24"x24" (610x610) 10M DOWELS @ 23 5/8" (600) O.C., -INCHORED IN PERIMETER FND. WALLS. SLOPE SLAB 1.0% FROM DOOR. NOR FRAMING (9.23.3.5., 9.23.9.4., 9.23.14.) SUBFLOOR ON WOOD FLOOR JOISTS. FOR CERAMIC TILE APPLICATION O.B.C. 9.30.6. ALL JOISTS WHERE REQUIRED TO BE BRIDGED WITH 2"x2" 28) CAPOSS BRACING OR SOLID BLOCKING @ 6"-11" (2108) O.C. MAX. ALL STS TO BE STRAPPED WITH 1"x3" (19x64) @ 6"-11" (2108) O.C. UNLESS A EL TYPE CEILING FINISH IS APPLIED. (9.23.10.1., 9.23.11., 9.23.16.) cont. SECTION 1.0. CONSTRUCTION NOTES 47 46 (41B) (41A) **40** 45 4 43 42 <u>4</u> # **40** 40 1/2" (12.7) GYPSI IM CHEATLING CONC. BLOCK) SLOPED CEILING CONSTRUCTION ([SB-12] 2.1.1.7., 9.23.4.2.) SLOPED CEILING CONSTRUCTION ([SB-12] 2.1.1.7., 9.23.4.2.) 2*\(\text{2}\)" (38\)2\(\text{2}\)" (38\)2\(\text{2}\)" (38\)2\(\text{2}\)" (38\)2\(\text{3}\) (38\)2\(\text{2}\)" (38\)3\(\text{3}\) (9\)1\(\text{4}\)(10\)3\(\text{2}\) (05\)3\(\text{3}\) (05\)3\(\text{3}\)3\(\text{3 HEINFORCING AT STAIRS AND SUNKEN FLOOR AREAS 2-20M BARS IN TOP PORTION OF WALL (19-0" TO 19-0" OPENING) 3-20M BARS IN TOP PORTION OF WALL (19-0" TO 19-0" OPENING) 4-20M BARS IN TOP PORTION OF WALL (19-0" TO 19-0" OPENING) 4-20M BARS IN TOP PORTION OF WALL (19-0" TO 19-0" OPENING) 4-20M BARS IN TOP PORTION OF WALL (19-0" TO 19-0" OPENING) - BARS STACKED VERTICALLY AT INTERIOR FACE OF WALL @ 6" O.C. REINFORCING AT BASEMENT WINDOWS 2-15M HORIZ. REINFORCING ON THE INSIDE AND OUTSIDE FACE OF THE FOUNDATION WALL BELOW THE WIN. SILL EXTEND BARS 24" (610) BEYON THE OPENING. 2-15M VERTICAL REINFORCING ON THE INSIDE AND OUTSIDE OF THE WINDOW OPEN ON EACH SIDE OF THE WINDOW OPEN BARS TO HAVE MIN. 2" (50) CONC. COVER - BARS TO EXTEND 2-0" (610) BEYOND BOTH SIDES OF OPENING STUD WALL REINFORCEMENT TUCCO FINISH CONFORMING TO O.B.C. SECTION 9.28. AND APPLIED PE MANUFACTURERS SPECIFICATIONS OVER 1 1/2" (38) E.I.F.S. (MINIMUM) OI APPROVED DEAINAGE MAT ON 1/2" (12.7) DENSGLASS GOLD GYPSUM BE ON STUDS CONFORMING TO O.B.C. (2.31.01.) & SECTION 11.1. INSULATION APPROVED 6 MIL. POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (REFER TO 35 NOTE AS REQUIRED) STUCCO WALL CONSTRUCTION W/ CONTIN. INSULATION WALLBOARD INT. STUCKNING TO O.B.C. SECTION 9.28. AND APPLIED PROMOUNT OF THE SPECIFICATIONS OVER 1 1/2" (38) E.I.F.S. (MINIMUM) CAPPROVED DRAINAGE MAT ON APPROVED AR/WATER BARRIER AS PER AS PER MANUFACTURERS SPECIFICATIONS, ON 7/16" EXTERNER AS PER MANUFACTURERS SPECIFICATIONS, ON 7/16" EXTERNER SPECIFICATIONS, ON 7/16" EXTER 2 HR. FIREWALL ((SB-3) WALL TYPE '866' & '81b') 1/2' (12.7) GYPSLM SHEATHING ON EACH SIDE ON 2''2" (38x38) YERTICA WOOD STRAPPING @ 24" (610) O.C ON 8" (200) CONC. BLOCK 75% SOULT FILL STRAPPING CAVITY EACH SIDE WITH AT LEAST 90% OF ABSORPTIVE FILL STRAPPING CAVITY EACH SIDE WITH AT LEAST 90%. TAPE, FILL & SRAM ANTERIAL PROCESSED FROM ROCK, SLAG OR GLASS, TAPE, FILL & SRAM ALL GYPSUM JOINTS. AT LINFINISHED AREAS, EXTERIOR FACE OF CONC BLOCK TO BE SEALED WITH 2 COATS OF PAINT. GYPSUM SHEATHING TO BE ATTACHED TO CONC. BLOCK. (REFER TO DETAILS) PANEL FOR UNDERSIDE OF SO BALCONY CONDITION SEE FLAT RODE/RAI CONV CON BARREL VAULT CONSTRUCTION CANTILEVERED 2"x4" (38x89) SPACERS LAID FLAT ON 2"x10" (38x235) SPACERS LAID FLAT ON 2"x10" (38x235) SPACERS LOIS TO BUILT-UP 3-3/4" (19) PLYWOOD HEADER PROBARREL. SPRAY FOAM INSULATION BETWEEN JOISTS W/ GYPSUM BOINTERIOR FIN. (REFER TO DETALS) STUD WALL REINFORCEMENT PROVIDE STUD WALL REINFORCEMENT IN MAIN BATHROOM CONFORMING TO O.B.C. (9.5.2.3.(1) AND 3.8.3.8.(3)) (REFER TO DETECTION OF THE PROVIDE STUD WALL REINFORCEMENT IN MAIN BATHROOM CONFORMING TO O.B.C. (9.5.2.3.(1) AND 3.8.3.8.(3)) (REFER TO DETECTION OF THE PROVIDE STUD WALL REINFORCEMENT) UNSUPPORTED FOUNDATION WALLS REINFORCING AT STAIRS AND SUNKEN FLOOR A STUCCO WALL @ GARAGE CONST. STUCCO FINISH CONFORMING TO O.B.C. S 1 HR. PARTY WALL (DOUBLE STUD) (ISB-3) WALL TYPE WIS 5/8" (15.9) TYPE X GYPSUM SHEATHING ON EXTERIOR SIDE OF 2 RO 5/8" (13.9) TYPE X GYPSUM SHEATHING ON EXTERIOR SIDE OF 2 RO) 25/4" (138.89) STUDS @ 16" (1406) O.C. MIN. 1" (25) APART ON SEPARAT (38x89) SILL PRIES. (25x" (38x140) AS REQUIRED FILL ONE SIDE OF CAVITY WITH AT LEAST 90% OF ABSORPTIVE MATERIAL PROCESSED ROCK, SLAG OR GLASS. TAPE FILL AND SAND ALL GYPSUM JOINTS. FLAT ROOF/BALCONY CONSTRUCTION WINDOW WELLS DECKING W 1/4" (6.4) GAPS CAID FLAI PARALLEL 10 JOIS IS ON 274. PT. SLEEPERS @ 12" (305) O.C. LAID FLAT PERPENDIOULAR TO JOIST BALCONY OVER HEATED SPACE CONDITION SEE FLAT ROOF/BALCONY CONSTRUCTION NOTE FOR ASSEMBLY. R PLANS FOR FLOOR JOIST SIZE & REFER TO HEX NOTE 9 FOR INSULA OOFING MEMBRANE (9.26.11, 9.26.15, 9.26.16) FULLY ADHERE SEXTERIOR GRADE PLYWOOD SHEATHING ON 2"x2" (38.38) PUTWARDS SCUPPER @ 2% MINIMUM LAID PERPENDICULAR TO LOOR JOISTS @ 16" (406) O.C. (UNLESS OTHERWISE NOTED). BE 4" (100) MIN ABOVE FINISHED BALCONY FLOOR CONTINU PLOED TO BE PROVIDED ON OUTSIDE FACE OF CURB. SCUPP PEDGE TO BE PROVIDED ON OUTSIDE FACE OF CURB. SCUPP OF CATED 24" (610) MIN. AWAY FROM HOUSE. PREFINISHED ALLIN THE NEW PROMETS OF CURB. SCUPP ON THE PROVIDED ON THE NEW PREFINISHED ALLIN THE NEW PROMETS OF CURB. WHERE REPORTS OF THE PROVIDED ON THE NEW PREFINISHED ALLIN THE NEW PROMETS. TOPENS INTO A WINDOW WELL, A CLEARANCE OF (550) SHALL BE PROVIDED IN FRONT OF THE WINL (ELL SHALL BE DRAINED TO THE FOOTING LEVEL C. LOCATION WITH A 4" (100) WEEPING TILE CW A FILL OCHION WITH CRUSHED STONE. (9.9. 10.1.(5), 9.14.) ONSTRUCTION NOTE. INCLUDE 2"x4" (38 LAID FLAT PARALLEL TO JOISTS ON 2"x4" C. LAID FLAT PERPENDICULAR TO JOIST

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FOR STRUCTURAL ONLY. EXCLUDING ENGINEERED ROOF TRUSS, FLOOR JOIST, AND FLOOR LVL BEAM DESIGN.

DESIGN ASSOCIATES INC.

Woodbine Ave, Markh

GOLDPARK HOMES - 217020
PINE VALLEY, VAUGHAN ONT.

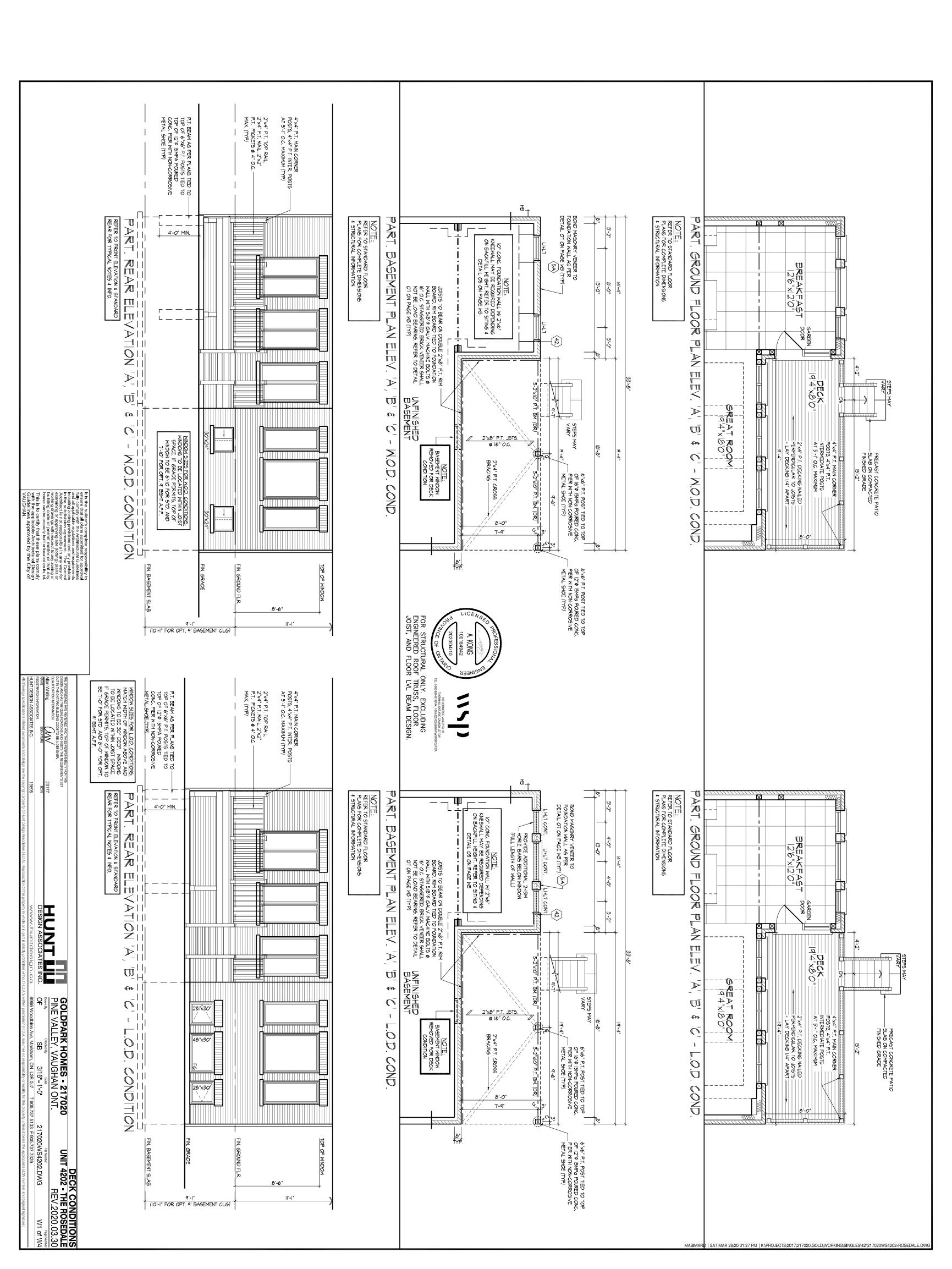
Drawn By Scale
RAAM SB 3/16"=1'-0'
8966 Woodbine Ave, Markham ON 1 90 0 77 3/16"=1'-0"

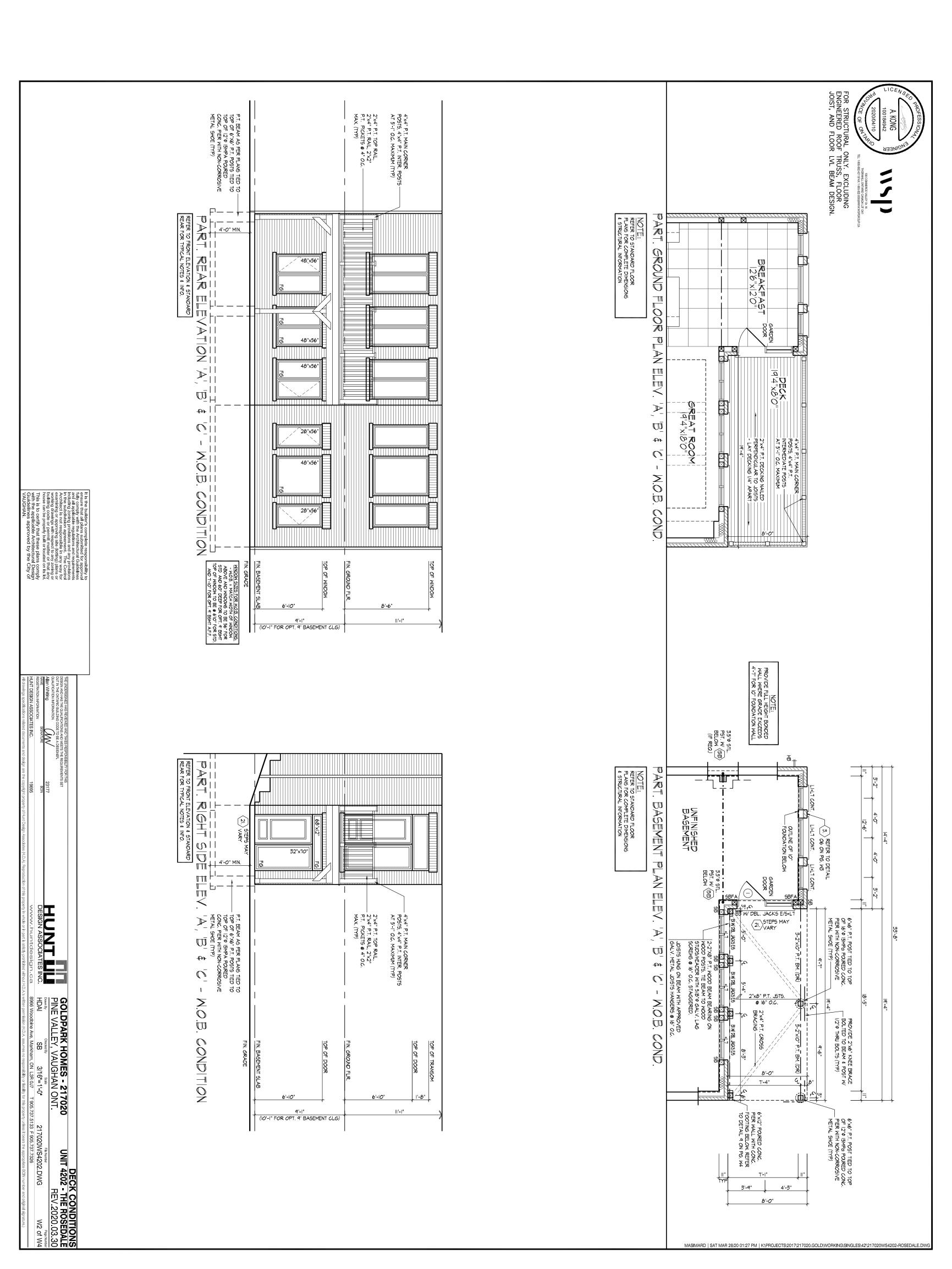
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CONSTRUCTION NOTES
UNIT 4202 - THE ROSEDALE
REV. 2020.03.30 19 으.





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THORSE OF ON THE 1-95-883-21/PA. 1-95-822/2058/WWW.WSPO. NO. STRUCTURAL ONLY. EXCLUDING ENGINEERED ROOF TRUSS, FLOOR JOIST, AND FLOOR LVL BEAM DESIGN.

ATION INFORMATION
DESIGN ASSOCIATES INC.

HUNT DESIGN ASSOCIATION

HDAI 8966 W

Voodbine Ave, Markh

3/16"=1'-0"

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W3 of W4

GOLDPARK HOMES - 217020 PINE VALLEY, VAUGHAN ONT.

DECK DETAILS
UNIT 4202 - THE ROSEDALE
REV.2020.03.30

8 FOUNDATION WALLS SHALL NOT EXCEED 4'-10" (3.0m) IN UNSUPPORTED HEIGHT UNLESS OTHERWISE NOTED, (415.4.2.1), POURED CONC. FDTN, WALL WITH BITUMINOUS DAMPPROOFING AND DRAINAGE LAYER, REFER TO CHART FOR MAXIMUM UNSUPPORTED HEIGHT AND EARTH RETRINION FROM BASEMENT SLAB TO FINISHED FARDE; ON CONTINUOUS EXPED CONC. FTG. BRACE FOUNDATION WALL PRIOR TO BACKFILLING. ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OR COMPACTED BYGINETED FILL.

WINEINFORCED SOLID CONCRETE FOUNDATION WALLS (415.4.2.)

MAX. HEIGHT FROM PIN. 3.4 BB TO GRADE

S. B. SHI' (1.20m) 1'-0" (2.15m) 1'-0" (2.15m) 8'-0" (2.20m) 8'-2" (2.25m)

S. DO" 41-1" (1.40m) 1'-6" (2.30m) 8'-6" (2.60m) 8'-2" (2.55m)

S. DO" 41-1" (1.40m) 1'-6" (2.30m) 8'-6" (2.60m) 1'-2" (2.25m)

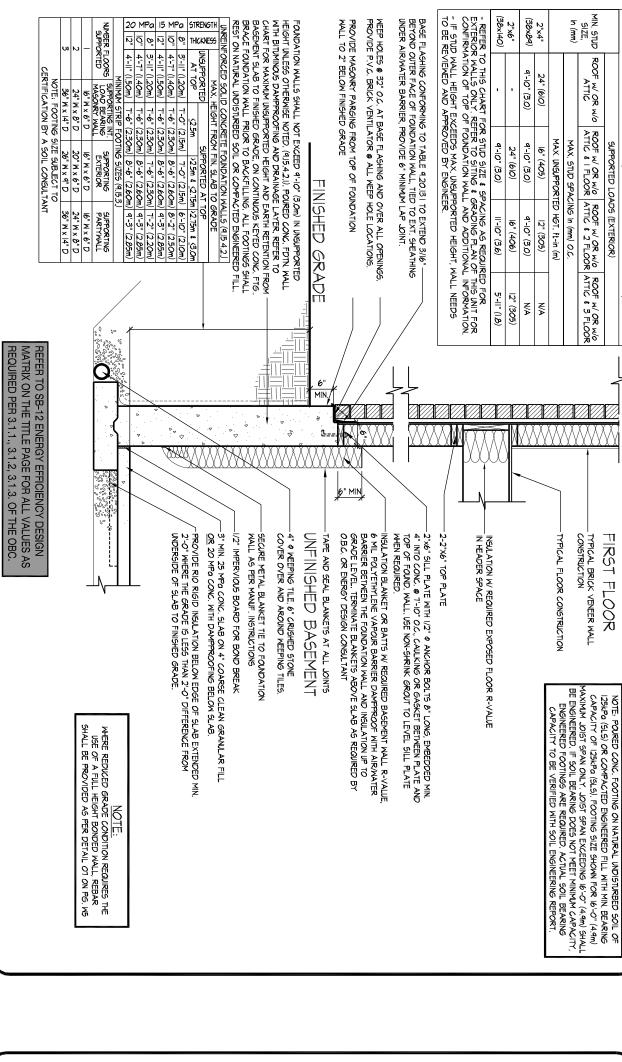
S. DO" 41-1" (1.40m) 1'-6" (2.30m) 8'-6" (2.60m) 1'-2" (2.25m)

S. DOWN STRIP FOOTING SIZES (415.3.)

NINIMAN STRIP FOOTING SIZES (415.3.)

NINIMAN STRIP FOOTING SIZES (415.3.)

NOTE: FOOTING SIZE SUBSCIT TO CERTIFICATION BY A SOIL CONSULTANT MIN. STUD SIZE, in (mm) - REFER TO THIS CHART FOR STUD SIZE & SPACING AS REQUIRED FOR EXTERIOR WALLS ONLY, REFER TO SITING & GRADING PLAN OF THIS UNIT FOR CONFIRMATION OF TOP OF FOUNDATION WALL AND ADDITIONAL INFORMATION.
- IF STUD WALL HEIGHT EXCEEDS MAX. UNSUPPORTED HEIGHT, WALL NEEDS TO BE REVIEWED AND APPROVED BY ENGINEER. MASONRY VENEER, 2"x6" STUDS, SLAB ON GRADE / WALK OUT BASEMENT CONDITION 2"×4" (36×69) ROOF W/ OR W/O ROOF W/ OR W/O ATTIC \$ 1 FLOOK ATTIC \$ 2 FLOOK ATTIC \$ 3 FLOOK SIZE & SPACING OF STUDS: (OBC REFERENCE - TABL FINISHED GRADE TABLE 4.23.10.1.) REFER TO SB-12 ENERGY EFFICIENCY DESIGN MATRIX ON THE TITLE PAGE FOR ALL VALUES AS REQUIRED PER 3.1.1., 3.1.2, 3.1.3. OF THE OBC. 2--UNFINISHED BASEMENT PROVIDE RIO RIGID INSULATION UNDER ENTIRE SLAB SURFACE WHEN SLAB IS LESS THAN 2'-O DIFFERENCE FROM FINISHED GRADE PROVIDE RIO RIGID INSULATION EXTENDED NO LESS THAN 2'-O' BELOW FINISHED GRADE, WOER THE EXTERIOR PERIMETER OF THE CONCRETE SLAB ALONG THE FOUNDATION WALL FOR WALK-OUT CONDITIONS OR WHEN THE DIFFERENCE FROM THE SLAB TO FINISHED GRADE IS LESS THAN 2'-O'. 2"x6" SILL PLATE WITH 1/2" & ANCHOR BOLTS &" LONG, EMBEDDED MIN.
4" INTO CONC. @ T'-10" O.C., CAULKING OR GASKET BETWEEN PLATE AND
TOP OF FOUND, WALL, USE NON-SHRINK GROUT TO LEVEL SILL PLATE
WHEN REQUIRED. I" RIGID INGULATION THERMAL BREAK AROUND PERIMETER OF SLAB 3" MIN. 25 MPA CONC. SLAB ON 4" COARSE CLEAN GRANLAR OR 20 MPA CONC. WITH DAMPPROOFING BELOW SLAB. NSULATION W/ REQUIRED EXPOSED FLOOR R-VALUE IN HEADER SPACE TYPICAL BRICK VENEER WALL FIRST FLOOR MPICAL FLOOR CONSTRUCTION NOTE: WHERE REDUCED GRADE CONDITION REQUIRES THE USE OF A FULL HEIGHT BONDED WALL, REBAR SHALL BE PROVIDED AS PER DETAIL OT ON PG. WS AS PER ELEVATION



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MASONRY VENEER, 2'x6" STUDS, 10" FOUNDATION WALL LATERALLY UNSUPPORTED

