

FRONT ELEVATION 'A'

### FRONT ELEVATION 'B'

# FRONT ELEVATION'S

# UNIT 4202 - 'THE ROSEDALE'

SB-12 ENERGY EFFICIENCY DESIGN MATRIX		SP-12 (SECTION 3.1.1) TABLE 3.1.1.2A	
PRESCRIPTIVE COMPLIANCE		SPACE HEATING FUEL	
PACKAGE A1		<input type="checkbox"/> GAS <input type="checkbox"/> OIL	<input type="checkbox"/> ELECTRIC <input type="checkbox"/> PROPANE
		<input type="checkbox"/> EARTH	<input type="checkbox"/> SOLID FUEL
BUILDING COMPONENT	REQUIRED	PROPOSED	
INSULATION (R9) (R) VALUE	10.56 (R60)	10.56 (R60)	
CEILING W/ ATTIC SPACE	5.46 (R31)	5.46 (R31)	
CEILING W/O ATTIC SPACE	5.46 (R31)	5.46 (R31)	
EXPOSED FLOOR	3.87 (R22)	3.87 (R22)	
WALLS ABOVE GRADE	3.52 c1 *	3.52 c1 *	
BASEMENT WALLS	(R20 c1)	(R20 c1)	
* PROPOSED VALUES MAY BE SUBSTITUTED W/ 2.1+1.76x (R12+R10x)			
BELOW GRADE SLAB ENTIRE SURFACE > 600mm BELOW GRADE	-	-	
EDGE OF BELOW GRADE SLAB < 600mm BELOW GRADE	1.76 (R10)	1.76 (R10)	
HEATED SLAB OR SLAB < 600mm BELOW GRADE	1.76 (R10)	1.76 (R10)	
WINDOWS & DOORS			
WINDOWS/SLIDING GLASS DOORS (MAX U-VALUE)	1.6	1.6	
SKYLIGHTS (MAX U-VALUE)	2.8	2.8	
APPLIANCE EFFICIENCY			
SPACE HEATING EQUIP. (AFUE%)	96%	96%	
HVAC EFFICIENCY (%)	75%	75%	
DHW HEATER (EF)	0.8	0.8	

- 1 - TITLE PAGE
- 2 - BASEMENT & GROUND FLOOR PLANS - ELEV. 'A'
- 3 - OPT. 9FT. BASEMENT COND. & OPT. FLR. PLANS
- 4 - SECOND & OPT. SECOND FLOOR PLANS - ELEV. 'A'
- 5 - PARTIAL FLOOR PLANS - ELEV. 'B'
- 6 - PARTIAL FLOOR PLANS - ELEV. 'C'
- 7 - PARTIAL BASEMENT & GROUND FLOOR PLAN W/ LIBRARY - ELEV. 'A'
- 8 - FRONT ELEVATION 'A'
- 9 - LEFT SIDE ELEVATION 'A'
- 10 - RIGHT SIDE ELEVATION 'A'
- 11 - REAR ELEVATION 'A/B/C'
- 12 - FRONT ELEVATION 'B'
- 13 - LEFT SIDE ELEVATION 'B'
- 14 - RIGHT SIDE ELEVATION 'B'
- 15 - FRONT ELEVATION 'C'
- 16 - LEFT SIDE ELEVATION 'C'
- 17 - RIGHT SIDE ELEVATION 'C'
- 18 - CROSS SECTION A-A
- 19 - CONSTRUCTION NOTES
- W1 - DECK CONDITIONS
- W2 - DECK CONDITIONS
- W3 - DECK DETAILS
- W4 - DECK DETAILS

AREA CALCULATIONS									
	EL. 'A'	EL. 'B'	EL. 'C'	EL. 'A'	EL. 'B'	EL. 'C'	OFF. SERVICE STAIRS	OFF. SERVICE STAIRS	OFF. SERVICE STAIRS
GROUND FLOOR AREA									
STLD. PLAIN	1566 sq. ft.	1513 sq. ft.	1516 sq. ft.	1646 sq. ft.	1616 sq. ft.	1619 sq. ft.			
GROUND FLOOR AREA	1404.56 sq. m.	1400.56 sq. m.	1404.54 sq. m.	1510.13 sq. m.	1500.41 sq. m.	1505.41 sq. m.			
SECOND FLOOR AREA									
STLD. PLAIN	2076 sq. ft.	2069 sq. ft.	2039 sq. ft.	2073 sq. ft.	2059 sq. ft.	2039 sq. ft.			
SECOND FLOOR AREA	1920.87 sq. m.	1899.43 sq. m.	1884.33 sq. m.	1927.87 sq. m.	1911.25 sq. m.	1884.33 sq. m.			
SUBTOTAL									
STLD. PLAIN	3622 sq. ft.	3572 sq. ft.	3555 sq. ft.	3722 sq. ft.	3675 sq. ft.	3658 sq. ft.			
SUBTOTAL	3336.43 sq. m.	3313.85 sq. m.	3300.27 sq. m.	3455.77 sq. m.	3412.57 sq. m.	3393.84 sq. m.			
DEDUCT ALL OPEN AREAS									
STLD. PLAIN	24 sq. ft.	24 sq. ft.	24 sq. ft.	24 sq. ft.	24 sq. ft.	24 sq. ft.			
DEDUCT ALL OPEN AREAS	2.23 sq. m.	2.23 sq. m.	2.23 sq. m.	2.23 sq. m.	2.23 sq. m.	2.23 sq. m.			
TOTAL NET AREA	3588 sq. ft.	3548 sq. ft.	3531 sq. ft.	3700 sq. ft.	3651 sq. ft.	3634 sq. ft.			
TOTAL NET AREA	3342.27 sq. m.	3296.62 sq. m.	3281.04 sq. m.	3453.54 sq. m.	3391.39 sq. m.	3371.61 sq. m.			
FINISHED 9 FT. BASEMENT AREA									
STLD. PLAIN	86 sq. ft.	86 sq. ft.	86 sq. ft.	86 sq. ft.	86 sq. ft.	86 sq. ft.			
FINISHED 9 FT. BASEMENT AREA	7.99 sq. m.	7.99 sq. m.	7.99 sq. m.	7.99 sq. m.	7.99 sq. m.	7.99 sq. m.			
FINISHED 8 FT. BASEMENT AREA									
STLD. PLAIN	80 sq. ft.	80 sq. ft.	80 sq. ft.	80 sq. ft.	80 sq. ft.	80 sq. ft.			
FINISHED 8 FT. BASEMENT AREA	7.43 sq. m.	7.43 sq. m.	7.43 sq. m.	7.43 sq. m.	7.43 sq. m.	7.43 sq. m.			
COVERED PORCH									
STLD. PLAIN	2146 sq. ft.	2116 sq. ft.	2118 sq. ft.	2146 sq. ft.	2116 sq. ft.	2118 sq. ft.			
COVERED PORCH	1986.37 sq. m.	1968.38 sq. m.	1966.77 sq. m.	1987.37 sq. m.	1968.63 sq. m.	1966.77 sq. m.			
COVERED W/OUT PORCH									
STLD. PLAIN	2196 sq. ft.	2174 sq. ft.	2166 sq. ft.	2196 sq. ft.	2174 sq. ft.	2166 sq. ft.			
COVERED W/OUT PORCH	201.97 sq. m.	200.12 sq. m.	200.12 sq. m.	201.97 sq. m.	200.12 sq. m.	200.12 sq. m.			
COVERAGE									
STLD. PLAIN	2351 sq. ft.	2329 sq. ft.	2331 sq. ft.	2351 sq. ft.	2329 sq. ft.	2321 sq. ft.			
COVERAGE	218.42 sq. m.	216.37 sq. m.	216.63 sq. m.	218.42 sq. m.	216.37 sq. m.	215.63 sq. m.			

	EL. A'	EL. B'	EL. C'
	OPT. LIBRARY	OPT. LIBRARY	OPT. LIBRARY
	749 sq. ft.	1771 sq. ft.	1771 sq. ft.
	1741 sq. ft.	1709 sq. ft.	1711 sq. ft.
	161,74 sq. m.)	(168,77 sq. m.)	(168,86 sq. m.)
	2076 sq. ft.	2059 sq. ft.	2039 sq. ft.
	92,87 sq. m.)	(91,29 sq. m.)	(89,43 sq. m.)
	3817 sq. ft.	3788 sq. ft.	3780 sq. ft.
	(350,06 sq. m.)	(348,59 sq. m.)	(348,59 sq. m.)
	24 sq. ft.	24 sq. ft.	24 sq. ft.
	(2,23 sq. m.)	(2,23 sq. m.)	(2,23 sq. m.)
	37,973 sq. ft.	37,44 sq. ft.	37,26 sq. ft.
	(347,83 sq. m.)	(346,16 sq. m.)	(346,16 sq. m.)
	66 sq. ft.	66 sq. ft.	66 sq. ft.
	(7,99 sq. m.)	(7,99 sq. m.)	(7,99 sq. m.)
	80 sq. ft.	80 sq. ft.	80 sq. ft.
	(7,43 sq. m.)	(7,43 sq. m.)	(7,43 sq. m.)
	2146 sq. ft.	2118 sq. ft.	2118 sq. ft.
	99,37 sq. m.)	(96,88 sq. m.)	(96,77 sq. m.)
	2174 sq. ft.	2166 sq. ft.	2166 sq. ft.
	(201,87 sq. m.)	(201,23 sq. m.)	(201,23 sq. m.)
	2329 sq. ft.	2321 sq. ft.	2321 sq. ft.
	218,42 sq. m.)	(215,63 sq. m.)	(215,63 sq. m.)

[illegible][illegible]

# UNIT 4202 -

## SB-12 ENERGY EFFICIENCY DESIGN MATRIX

PRESCRIPTIVE COMPLIANCE

SB-12 (SECTION 3.1.1) TABLE 3.1.1.2.A

PACKAGE A1	SPACE HEATING FUEL	
	<input checked="" type="checkbox"/> GAS	<input type="checkbox"/> OIL
	<input type="checkbox"/> ELECTRIC	<input type="checkbox"/> PROPANE
	<input type="checkbox"/> EARTH	<input type="checkbox"/> SOLID FUEL

BUILDING COMPONENT	REQUIRED	PROPOSED
<b>INSULATION RSI (R) VALUE</b>		
CEILING W/ ATTIC SPACE	10.56 (R60)	10.56 (R60)
CEILING W/O ATTIC SPACE	5.46 (R31)	5.46 (R31)
EXPOSED FLOOR	5.46 (R31)	5.46 (R31)
WALLS ABOVE GRADE	3.87 (R22)	3.87 (R22)
BASEMENT WALLS	3.52 ci	3.52 ci
* PROPOSED VALUES MAY BE SUBSTITUTED W/ 2"1+1, R604 (R12+R1004)	(R20 ct)	(R20 ct) *
BELOW GRADE SLAB ENTIRE SURFACE > 600mm BELOW GRADE	-	-
EDGE OF BELOW GRADE SLAB < 600mm BELOW GRADE	1.76 (R10)	1.76 (R10)
HEATED SLAB OR SLAB < 600mm BELOW GRADE	1.76 (R10)	1.76 (R10)
<b>WINDOWS/SLIDING GLASS DOORS (MAX U-VALUE)</b>		
MINIMUMS/SLIDING GLASS DOORS (MAX U-VALUE)	1.6	1.6
SKYLIGHTS (MAX U-VALUE)	2.8	2.8
<b>APPLIANCE EFFICIENCY</b>		
SPACE HEATING EQUIP. (AFUE%)	96%	96%
HVAC EFFICIENCY (%)	75%	75%
DHW HEATER (EF)	0.8	0.8

AREA CALCULATIONS	EL. 'A'	EL. 'B'	EL. 'C'	EL. 'A'	EL. 'B'	EL. 'C'
<b>GROUND FLOOR AREA</b>	<b>STD. PLAN</b>	<b>STD. PLAN</b>	<b>STD. PLAN</b>	<b>OPT. SERVICE STAIRS</b>	<b>OPT. SERVICE STAIRS</b>	<b>OPT. SERVICE STAIRS</b>
	1546 sq. ft.	1515 sq. ft.	1516 sq. ft.	1646 sq. ft.	1616 sq. ft.	1616 sq. ft.
	(143.63 sq. m.)	(140.56 sq. m.)	(140.64 sq. m.)	(153.10 sq. m.)	(150.13 sq. m.)	(150.4 sq. m.)
<b>SECOND FLOOR AREA</b>						
	2070 sq. ft.	2059 sq. ft.	2059 sq. ft.	2070 sq. ft.	2059 sq. ft.	2059 sq. ft.
	(192.67 sq. m.)	(191.29 sq. m.)	(189.43 sq. m.)	(192.67 sq. m.)	(191.29 sq. m.)	(189.43 sq. m.)
<b>SUBTOTAL</b>						
	3616 sq. ft.	3572 sq. ft.	3569 sq. ft.	3714 sq. ft.	3675 sq. ft.	3668 sq. ft.
	(336.49 sq. m.)	(331.85 sq. m.)	(330.27 sq. m.)	(345.97 sq. m.)	(341.42 sq. m.)	(339.84 sq. m.)
<b>DEDUCT ALL OPEN AREAS</b>						
	24 sq. ft.	24 sq. ft.	24 sq. ft.	24 sq. ft.	24 sq. ft.	24 sq. ft.
<b>TOTAL NET AREA</b>						
	(223 sq. m.)	(223 sq. m.)	(223 sq. m.)	(223 sq. m.)	(223 sq. m.)	(223 sq. m.)
	3593 sq. ft.	3548 sq. ft.	3531 sq. ft.	3700 sq. ft.	3651 sq. ft.	3634 sq. ft.
	(334.27 sq. m.)	(329.62 sq. m.)	(328.04 sq. m.)	(343.74 sq. m.)	(339.19 sq. m.)	(337.61 sq. m.)
<b>FINISHED 8 FT. BASEMENT AREA</b>						
	86 sq. ft.	86 sq. ft.	86 sq. ft.	86 sq. ft.	86 sq. ft.	86 sq. ft.
	(7.99 sq. m.)	(7.99 sq. ft.)	(7.99 sq. m.)	(7.99 sq. m.)	(7.99 sq. m.)	(7.99 sq. m.)
<b>FINISHED 9 FT. BASEMENT AREA</b>						
	80 sq. ft.	80 sq. ft.	80 sq. ft.	80 sq. ft.	80 sq. ft.	80 sq. ft.
	(7.43 sq. m.)	(7.43 sq. m.)	(7.43 sq. m.)	(7.43 sq. m.)	(7.43 sq. m.)	(7.43 sq. m.)
<b>COVERPAGE W/O UT PORCH</b>						
	2146 sq. ft.	2116 sq. ft.	2116 sq. ft.	2146 sq. ft.	2116 sq. ft.	2116 sq. ft.
	(199.37 sq. m.)	(196.38 sq. m.)	(196.71 sq. m.)	(199.37 sq. m.)	(196.38 sq. m.)	(196.71 sq. m.)
<b>COVERPAGE W/ PORCH</b>						
	2196 sq. ft.	2174 sq. ft.	2166 sq. ft.	2196 sq. ft.	2174 sq. ft.	2166 sq. ft.
	(204.02 sq. m.)	(201.97 sq. m.)	(201.23 sq. m.)	(204.02 sq. m.)	(201.97 sq. m.)	(201.23 sq. m.)
<b>COVERPAGE W/ OPT. LOBBY</b>						
	2251 sq. ft.	2229 sq. ft.	2231 sq. ft.	2251 sq. ft.	2229 sq. ft.	2231 sq. ft.
	(218.42 sq. m.)	(216.37 sq. m.)	(215.63 sq. m.)	(218.42 sq. m.)	(216.37 sq. m.)	(215.63 sq. m.)

**GOLDPARK**  
WORTH MORE

**PINE VALLEY**  
FOREVERGREEN

THE UNDERSIGNED HAS REVIEWED AND MAKES REPRESENTATION THAT THE CALCULATION INFORMATION CONTAINED HEREIN IS A TRUE AND CORRECT CALCULATION INFORMATION FOR THE PROJECT AND THAT THE CALCULATION INFORMATION IS IN ACCORDANCE WITH THE REQUIREMENTS OF THE SB-12 ENERGY EFFICIENCY DESIGN MATRIX.

DESIGN ASSOCIATE

*WV*

20177

REGISTERED PROFESSIONAL

20177

HUNT DESIGN ASSOCIATES, INC.

19895

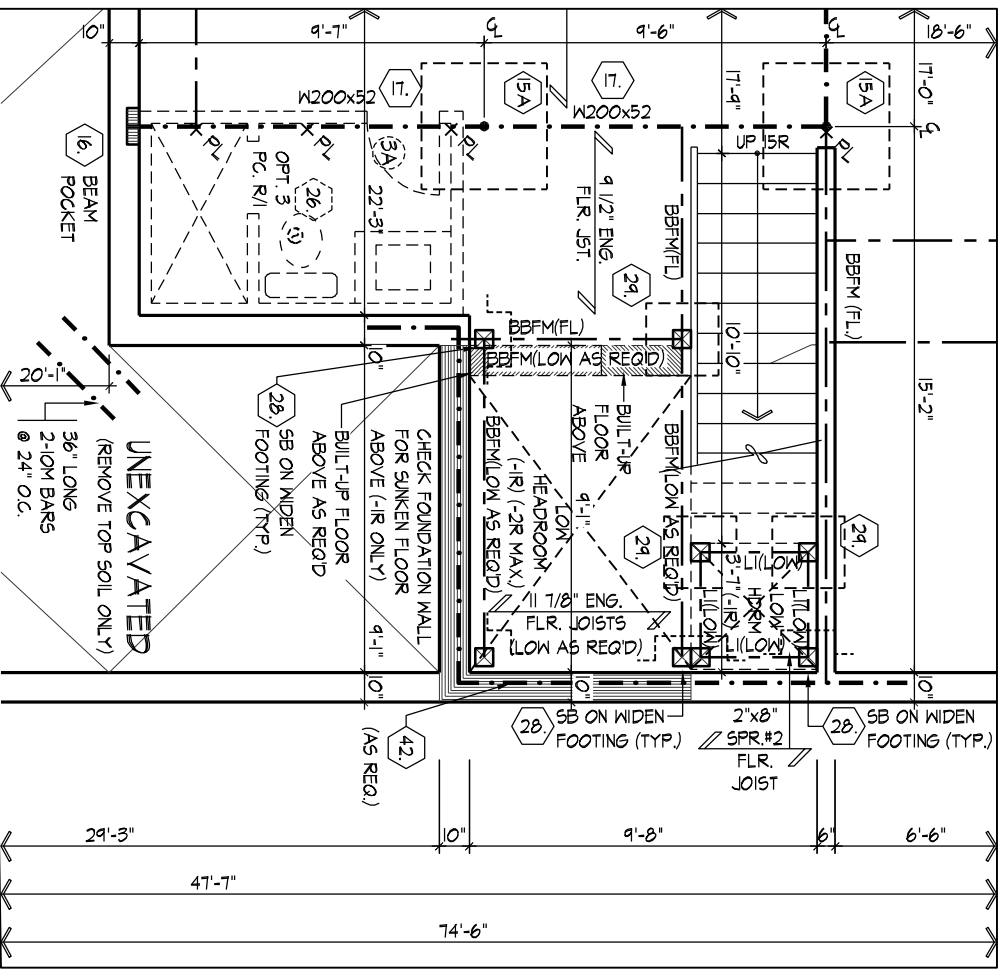
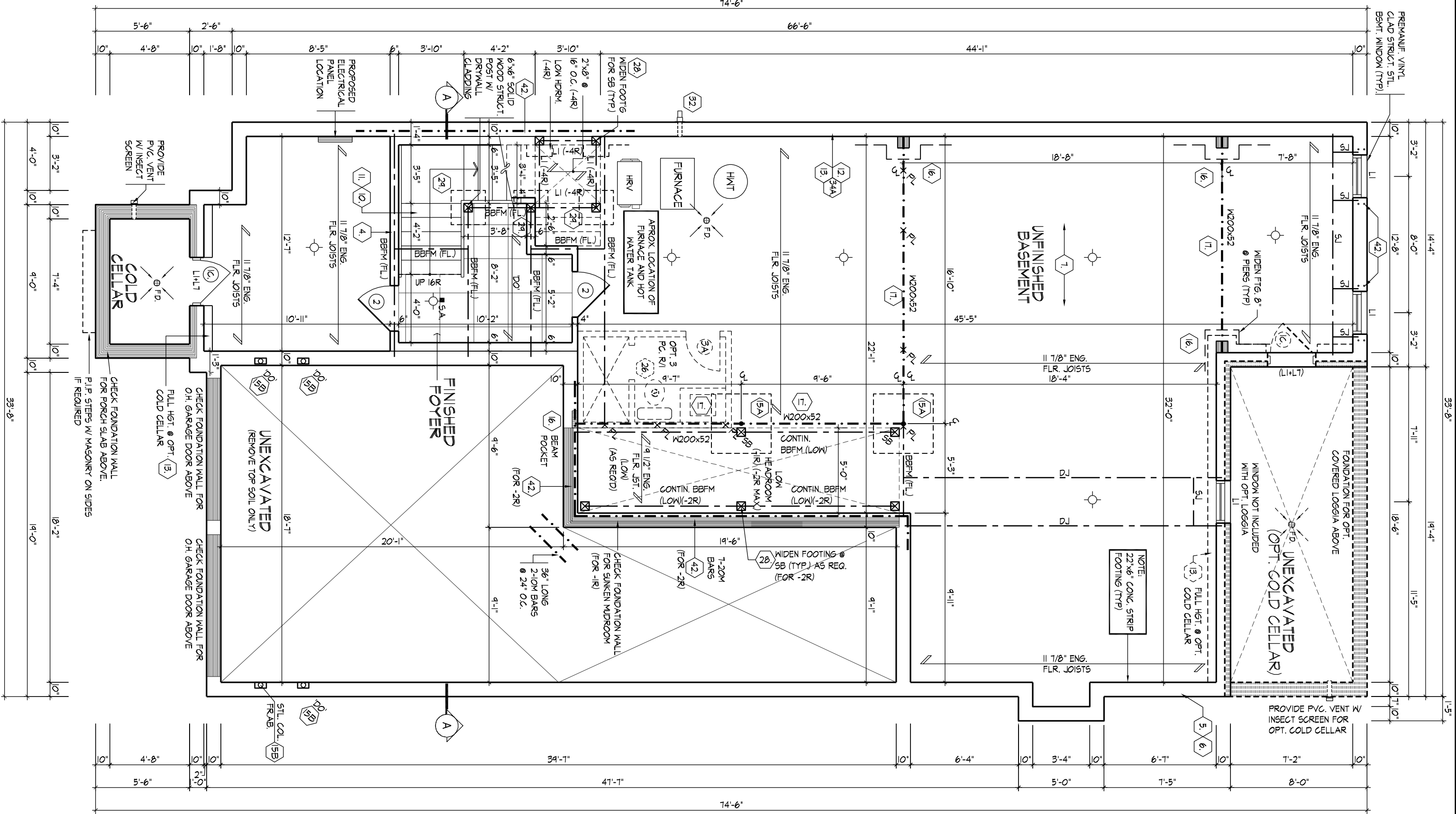
WWW.HUNT

THE ROSEDALE'									
1 - TITLE PAGE									
2 - BASEMENT & GROUND FLOOR PLANS - ELEV. 'A'									
3 - OPT. 9FT. BASEMENT COND. & OPT. FLR. PLANS									
4 - SECOND & OPT. SECOND FLOOR PLANS - ELEV. 'A'									
5 - PARTIAL FLOOR PLANS - ELEV. 'B'									
6 - PARTIAL FLOOR PLANS - ELEV. 'C'									
7 - PARTIAL BASEMENT & GROUND FLOOR PLAN W/ LIBRARY - ELEV. 'A'									
8 - FRONT ELEVATION 'A'									
9 - LEFT SIDE ELEVATION 'A'									
10 - RIGHT SIDE ELEVATION 'A'									
11 - REAR ELEVATION 'A/B/C'									
12 - FRONT ELEVATION 'B'									
13 - LEFT SIDE ELEVATION 'B'									
14 - RIGHT SIDE ELEVATION 'B'									
15 - FRONT ELEVATION 'C'									
16 - LEFT SIDE ELEVATION 'C'									
17 - RIGHT SIDE ELEVATION 'C'									
18 - CROSS SECTION A-A									
19 - CONSTRUCTION NOTES									
W1 - DECK CONDITIONS									
W2 - DECK CONDITIONS									
W3 - DECK DETAILS									
W4 - DECK DETAILS									
EL. 'A'	OPT. LIBRARY	PT. LIBRARY	EL. 'B'	OPT. LIBRARY	OPT. LIBRARY	EL. 'C'	24 sq. ft.	(223 sq. m.)	
							1709 sq. ft.	1711 sq. ft.	
							(158.77 sq. m.)	(159.96 sq. m.)	
							2099 sq. ft.	2099 sq. ft.	
							(191.229 sq. m.)	(189.43 sq. m.)	
							3768 sq. ft.	3750 sq. ft.	
							(346.64 sq. m.)	(346.39 sq. m.)	
							24 sq. ft.	24 sq. ft.	
							(223 sq. m.)	(223 sq. m.)	
							3744 sq. ft.	3726 sq. ft.	
							(347.63 sq. m.)	(346.16 sq. m.)	
							86 sq. ft.	86 sq. ft.	
							(7.99 sq. m.)	(7.99 sq. m.)	
							80 sq. ft.	80 sq. ft.	
							(7.43 sq. m.)	(7.43 sq. m.)	
							2116 sq. ft.	2118 sq. ft.	
							(196.39 sq. m.)	(196.77 sq. m.)	
							2174 sq. ft.	2166 sq. ft.	
							(201.97 sq. m.)	(201.23 sq. m.)	
							2329 sq. ft.	2321 sq. ft.	
							(216.37 sq. m.)	(215.63 sq. m.)	

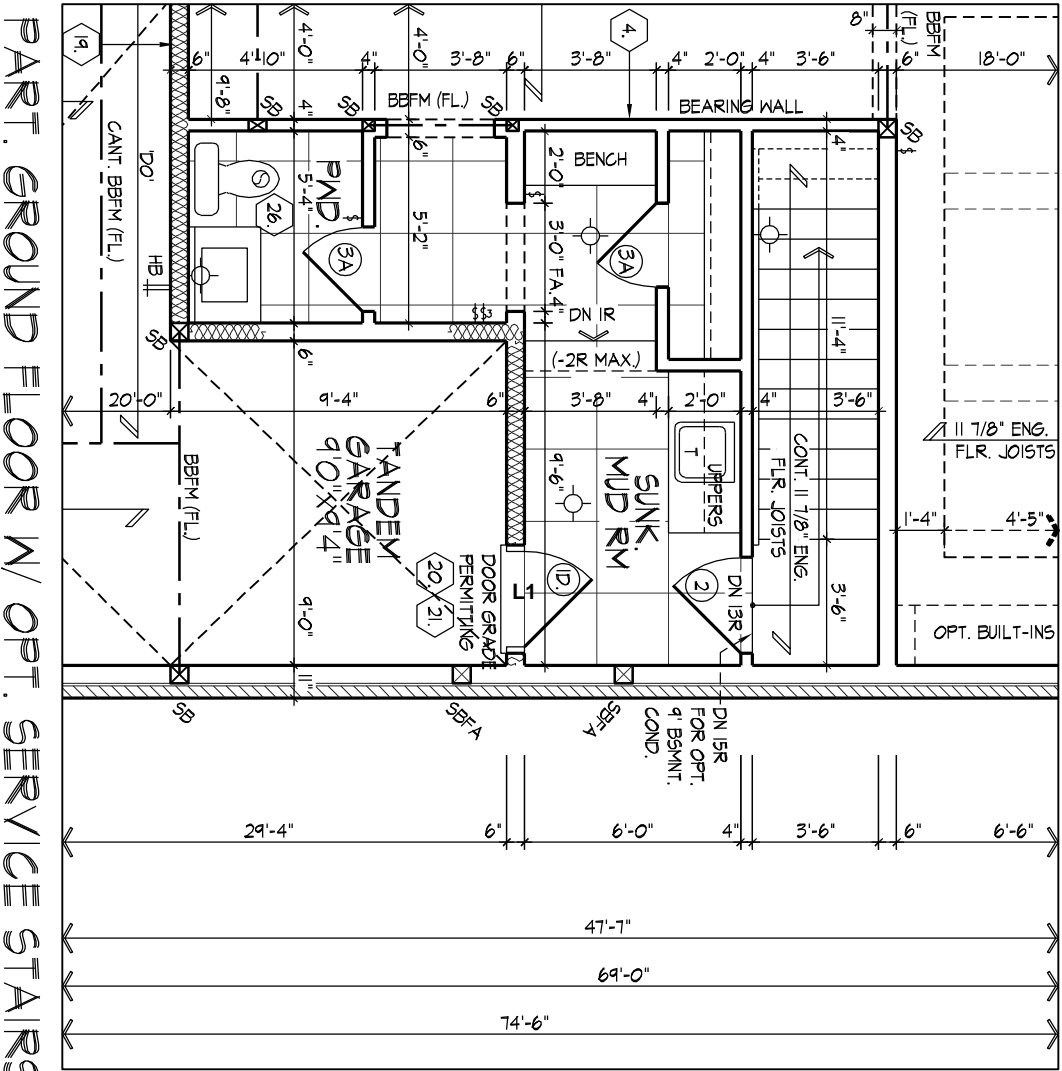




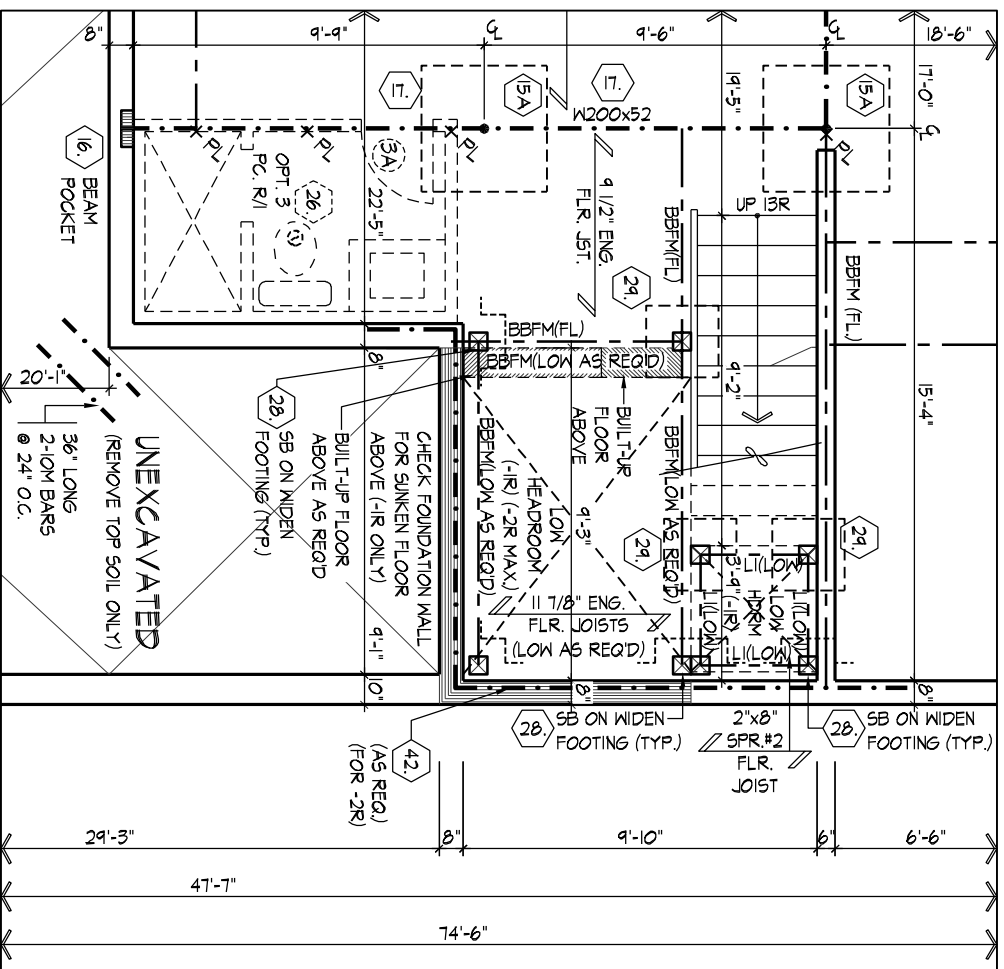




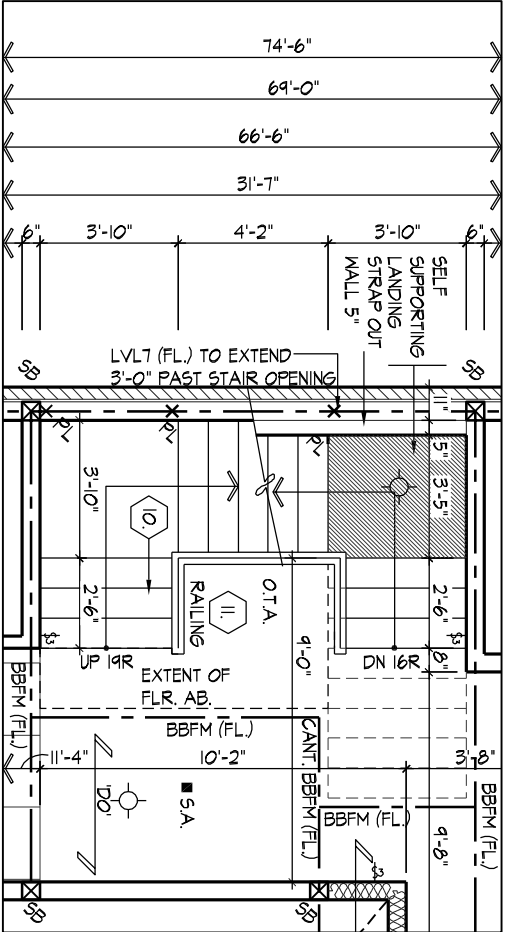
PART. OPT. 4 FT. BASEMENT PLAN  
W/ OPT. SERVICE STAIRS



PART. GROUND FLOOR PLAN W/ OPT. SERVICE STAIRS



PART. BASEMENT PLAN  
W/ OPT. SERVICE STAIRS



PART. GROUND FLOOR PLAN 9' BSMT. COND.

REFER TO STANDARD PLAN FOR COMPLETE CONSTRUCTION NOTES
SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS
PROVIDE SOLID WOOD BLOCKING @ 24" O.C. FOR FIRST JOIST SPAN WHEN PARALLEL W/ EXTERIOR WALL
REFER TO FLOOR JOIST FOR HANDICAPPED ACCESS FOR STRAPPING REQUIREMENTS
INSTALLATION DETAILS 5 AND HANGER SIZES, 1 SHEET FLOOR THICKNESS

It is the builder's complete responsibility to ensure that all plans submitted for approval and construction comply with the applicable codes and all applicable regulations and requirements in the subdivision agreement. The Control Authority is not responsible for any error or omission in the plans or for any error or omission in the working drawings with respect to any zoning or other regulations. The Control Authority is not responsible for any error or omission in the plans or for any error or omission in the working drawings with respect to any zoning or other regulations. The Control Authority is not responsible for any error or omission in the plans or for any error or omission in the working drawings with respect to any zoning or other regulations.



FOR STRUCTURAL ONLY, EXCLUDING ENGINEERED ROOF TRUSS, FLOOR JOIST, AND FLOOR LVL BEAM DESIGN.





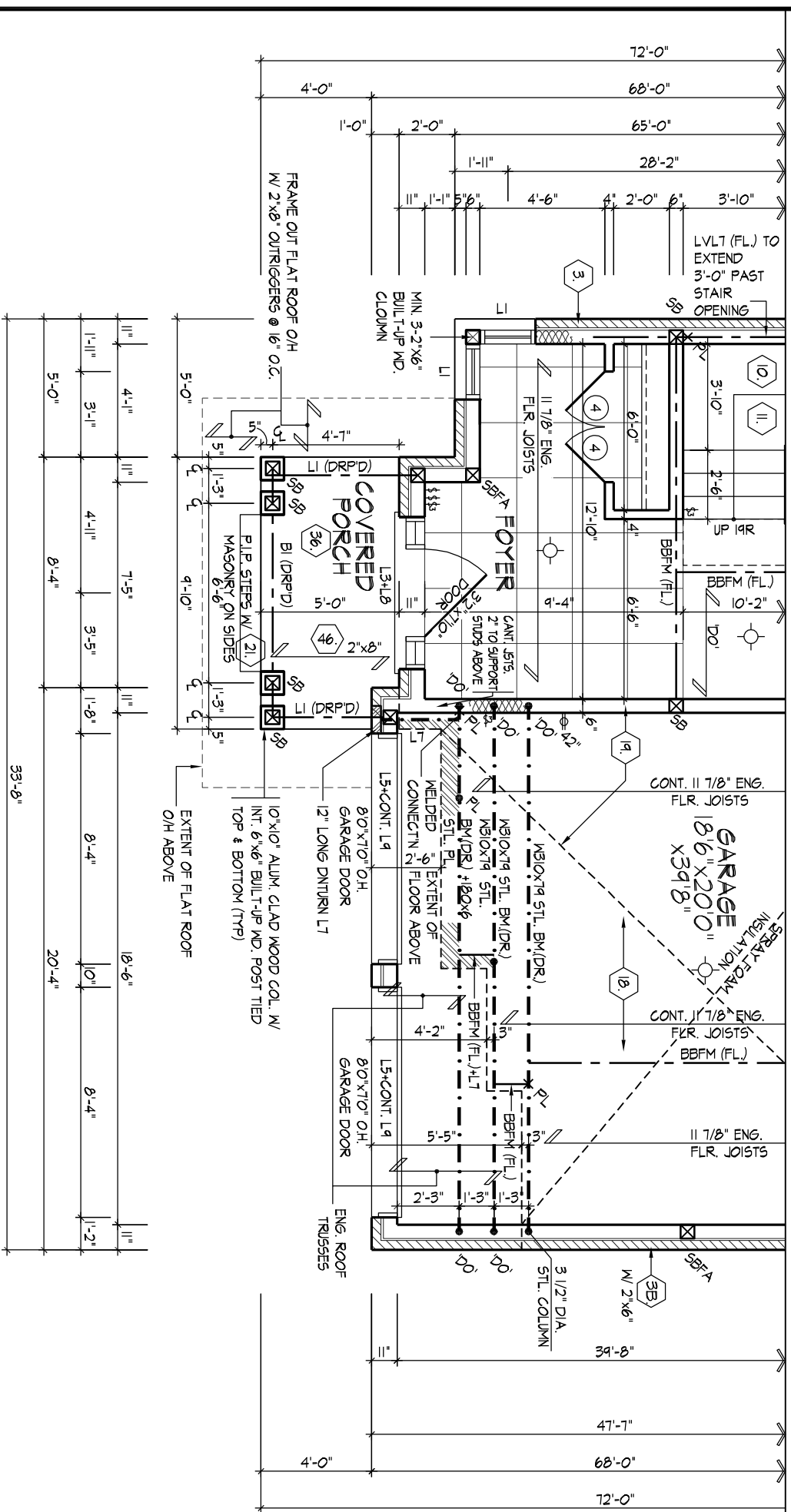




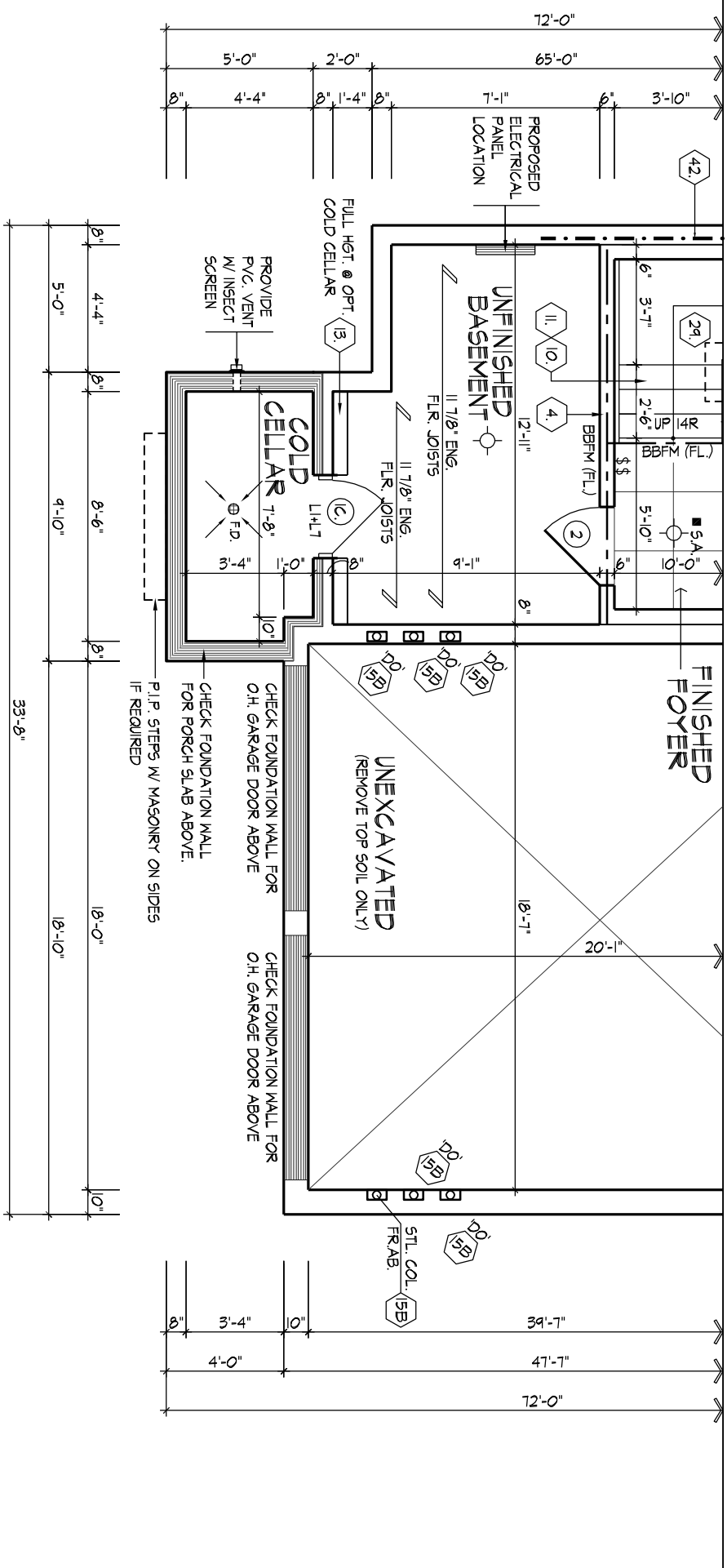




FOR STRUCTURAL ONLY. EXCLUDING  
ENGINEERED ROOF TRUSS, FLOOR  
JOIST, AND FLOOR LVL BEAM DESIGN

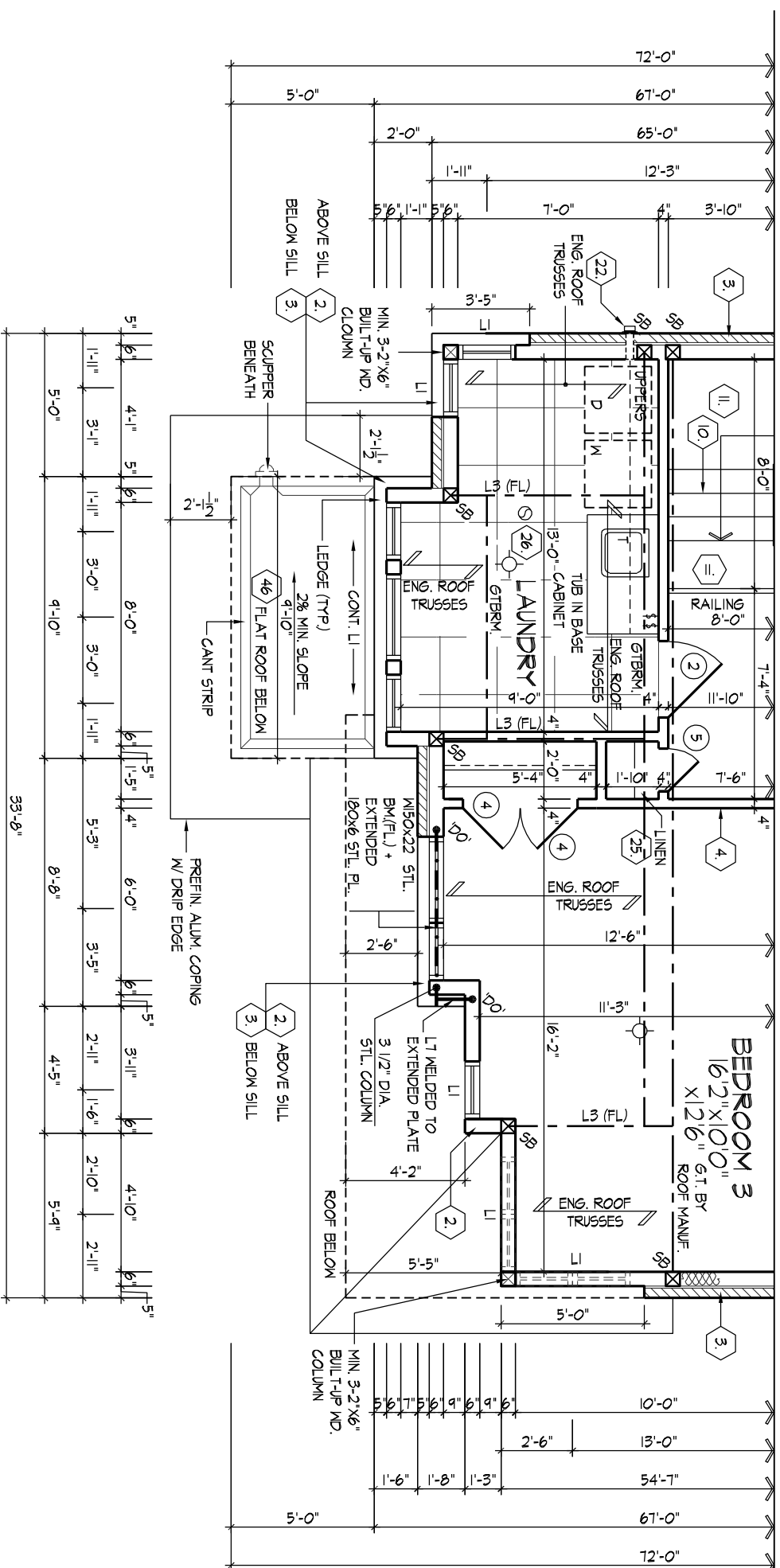


### PARTIAL GROUND FLOOR PLAN - ELEVATION 'C'

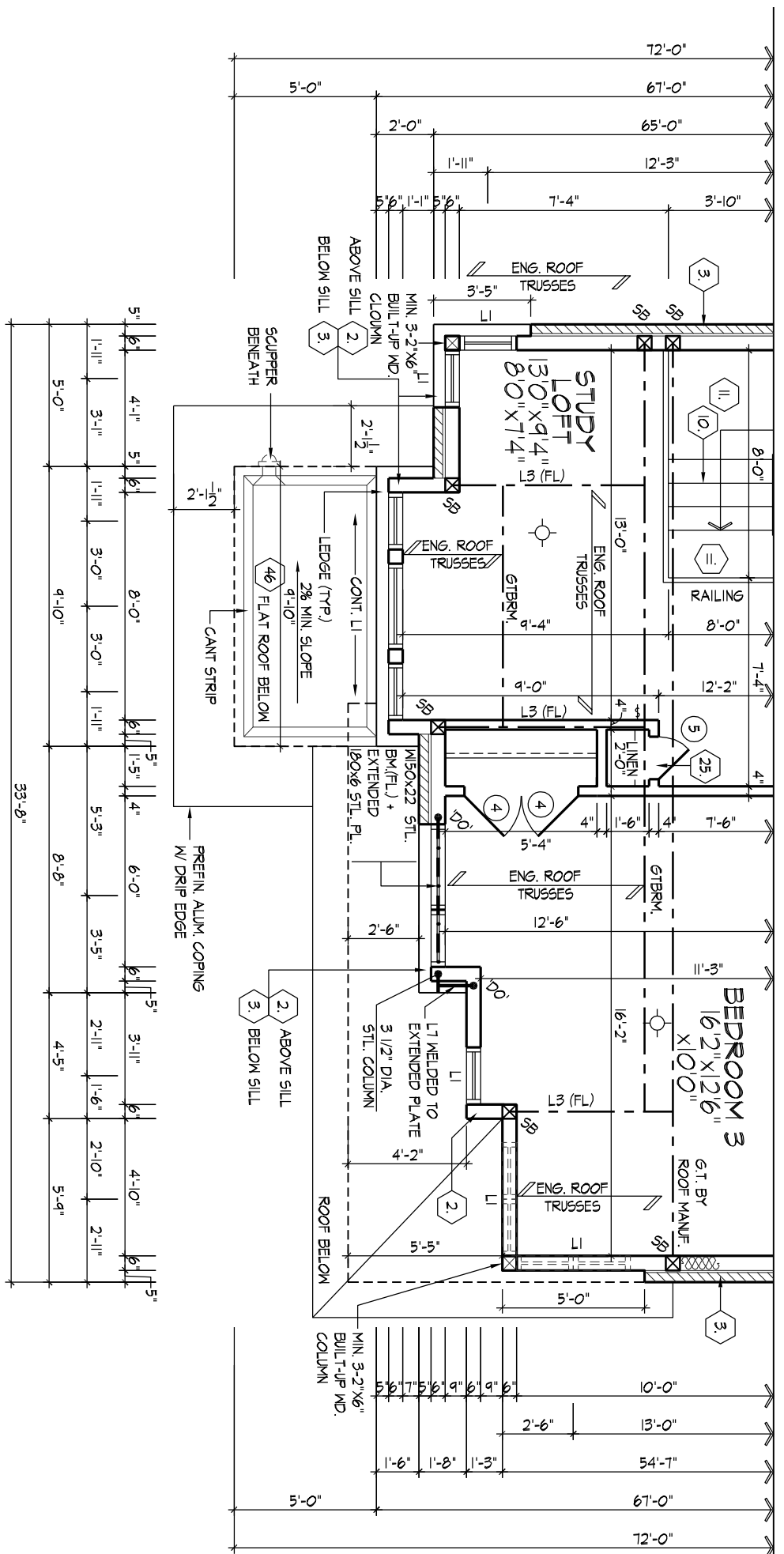


# PARTIAL BASEMENT PLAN - ELEVATION 'C'

<p>SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS</p> <p>PROVIDE SOLID FLOOR BLOCKING @ 24" O.C. FOR FIRST JOIST SPAN WHEN PARALLEL TO EXTERIOR WALL</p> <p>REFER TO FLOOR JOIST MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, BLOCKING &amp; STRAPPING REQUIREMENTS, INSTALLATION DETAILS AND HANGER SIZES &amp; SPACING THICKNESS</p>	<p>REFER TO STANDARD PLAN FOR COMPLETE CONSTRUCTION NOTES &amp; DIMENSIONS</p> <p>REFER TO ROOF TRUSS MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, INSTALLATION DETAILS AND HANGER SIZES.</p>
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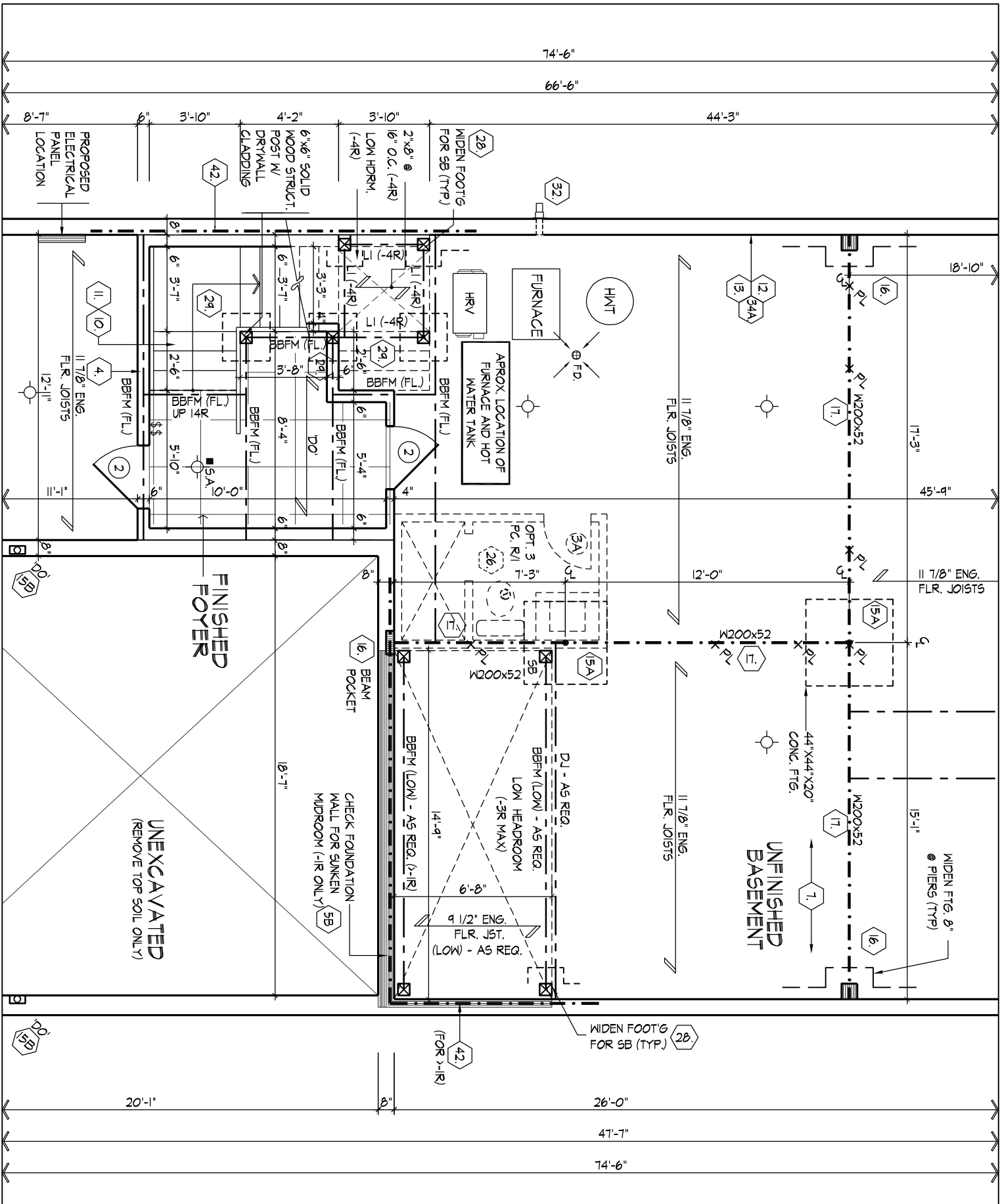


PARTIAL OPT. SECOND FLOOR PLAN (5 BEDROOM,  
ELEV. 'C'

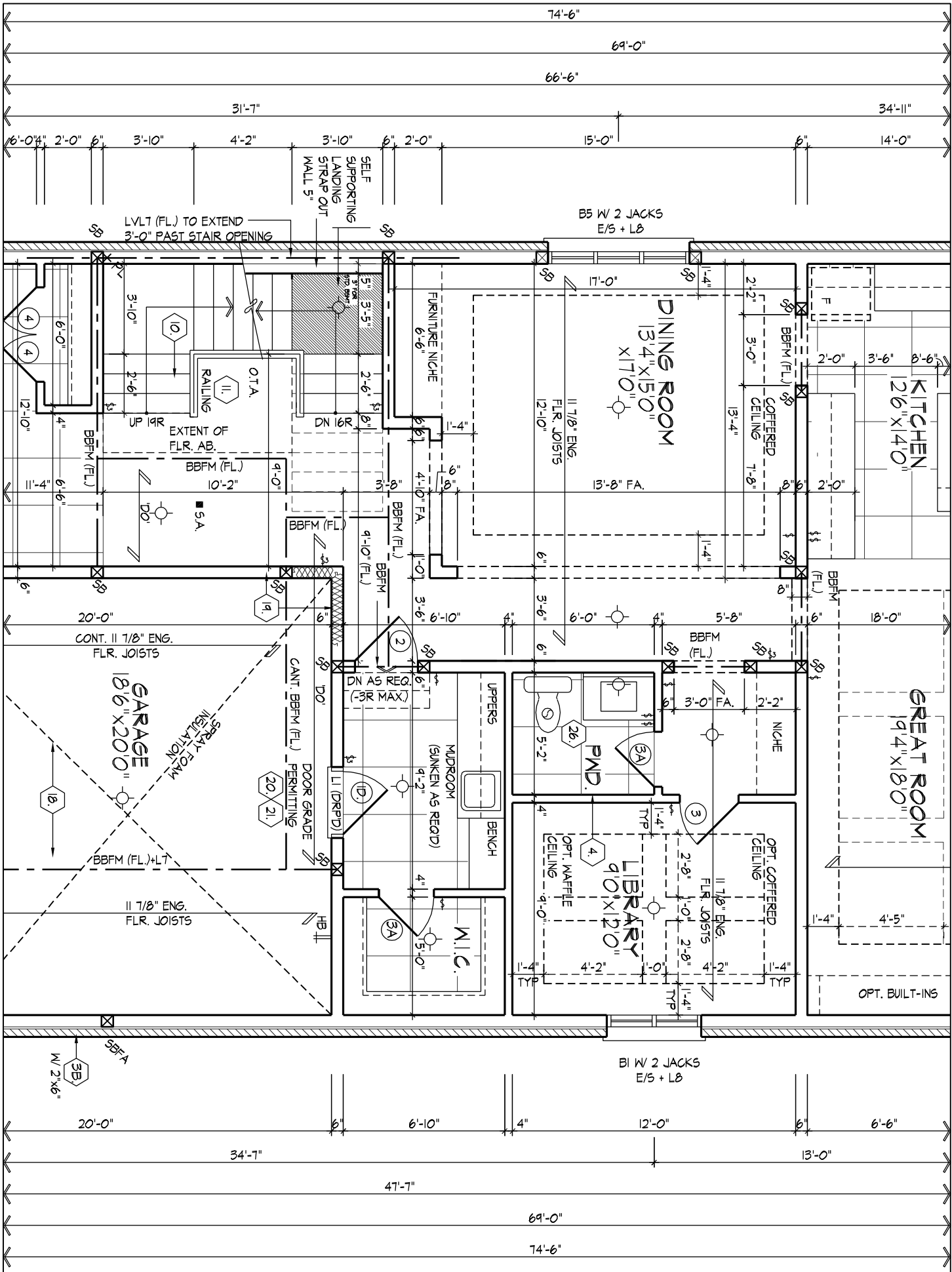


### PARTIAL SECOND FLOOR PLAN - ELEVATION 'C'

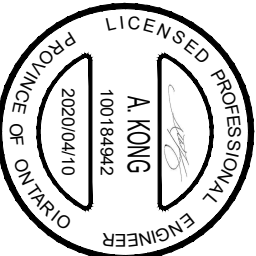




PARTIAL BASEMENT PLAN ELEV. 'A' (ELEV. 'B'/'C' SIMILAR)  
FOR OPT. GROUND FLOOR PLAN W/ LIBRARY



PARTIAL OPT. GROUND FLOOR PLAN ELEV. 'A'  
(ELEV. 'B'/'C' SIMILAR) W/ LIBRARY



FOR STRUCTURAL ONLY, EXCLUDING  
ENGINEERED ROOF TRUSS, FLOOR  
JOIST, AND FLOOR LV. BEAM DESIGN.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS  
DESIGN AND HAS THE CALCULATIONS AND MEETS THE REQUIREMENTS SET  
OUT IN THE NATIONAL BUILDING CODE OF CANADA.

ALLIN WINTERG  
STRUCTURE  
20177

DESIGN ASSOCIATES INC.  
19605



PARTIAL BASEMENT & GROUND FLOOR PLAN W/ LIBRARY - ELEV. 'A'  
GOLDPARK HOMES - 217020  
PINE VALLEY, VAUGHAN ONT.

Drawn By: RAAM  
Checked By: SB  
Scale: 3/16"=1'-0"

DESIGN ASSOCIATES INC.  
8866 Woodbine Ave, Markham, ON L3R 0J7  
T: 905.737.5133 F: 905.737.7326

217020WS4202.DWG  
REV: 2020.03.30

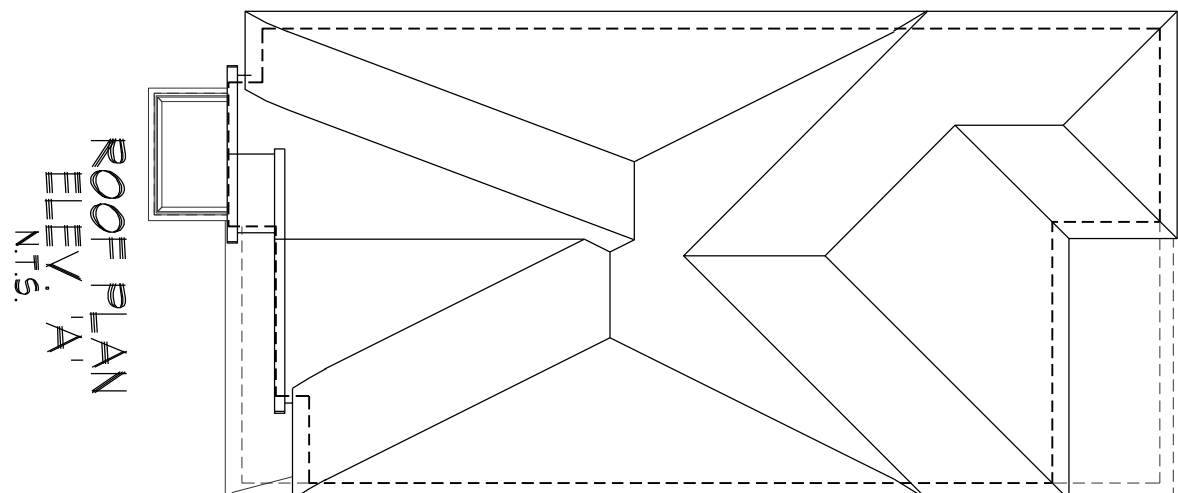
Page Number  
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It is the Engineer's complete responsibility to  
fully comply with the Architectural Guidelines  
and all applicable codes and regulations.  
The Engineer is not responsible for any provisions  
Architect is not responsible in any way for  
any provisions of the Building Code of Canada  
or any other code or regulation that may be  
applied to the project. The Engineer is not  
responsible for any provisions of the Building  
Code of Canada or any other code or regulation  
that may be applied to the project. The Engineer  
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Building Code of Canada or any other code or  
regulation that may be applied to the project.

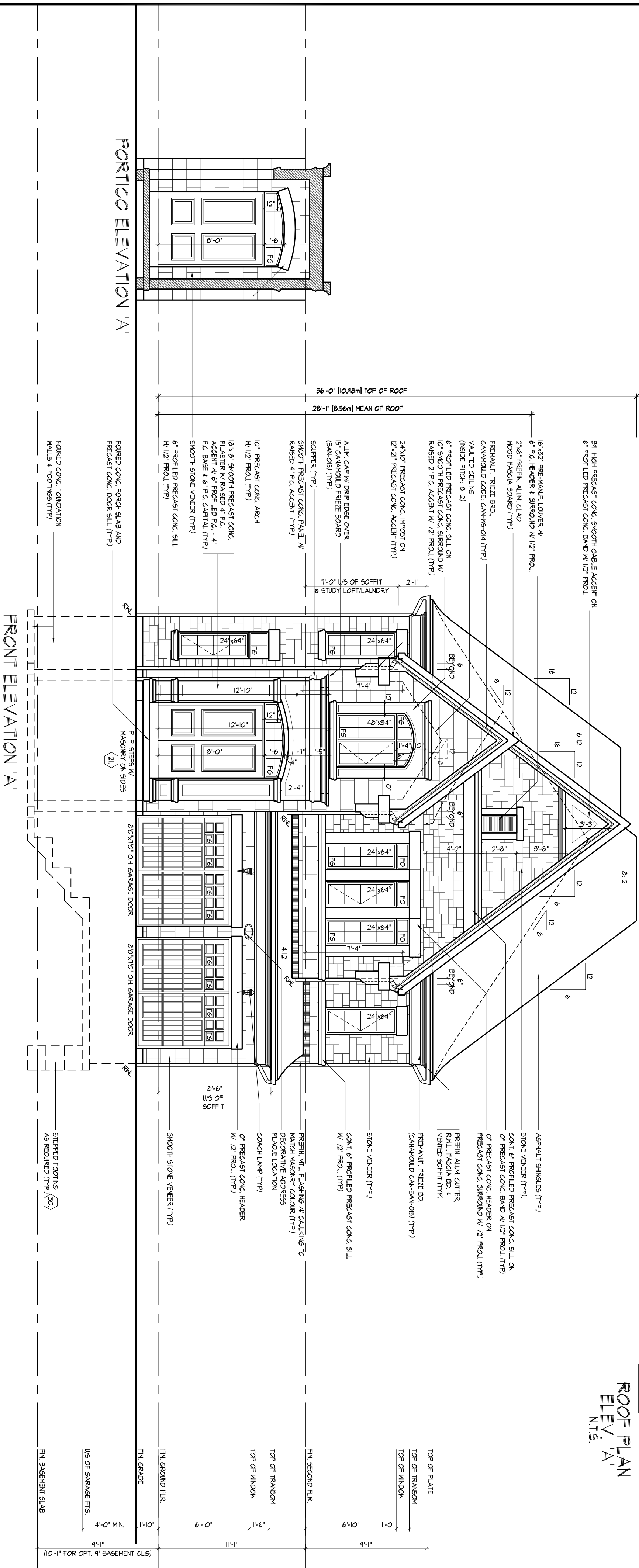
REFER TO STANDARD PLAN FOR COMPLETE CONSTRUCTION NOTES & DIMENSIONS
SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.
PROVIDE SOLID WOOD BLOCKING @ 24" O.C. FOR FIRST JOIST SPAN WHEN PARALLEL W/ EXTERIOR WALL.
REFER TO FLOOR JOIST MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, BLOCKING & STRAPPING REQUIREMENTS. INSTALLATION DETAILS AND HANGER SIZES, & SHELFLOOR THICKNESS



ROOF OVERHANGS ARE TO  
BE 15" UNLESS NOTED  
OTHERWISE



MASIMARD | SAT MAR 28/20 01:27 PM | K:\PROJECTS\2017\217020.GOLD\WORKING\SINGLES\42\217020WS4202-ROSEDALE.DWG



This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE OUTRIGGER BUILDING CODE TO BE A DESIGNER.	23177						
<table border="1"> <tr> <td>NAME</td> <td>SIGNATURE</td> <td>BOB</td> </tr> <tr> <td>ALLAN WHITTING</td> <td></td> <td></td> </tr> </table>	NAME	SIGNATURE	BOB	ALLAN WHITTING			
NAME	SIGNATURE	BOB					
ALLAN WHITTING							
<table border="1"> <tr> <td>REGISTRATION INFORMATION</td> <td></td> </tr> <tr> <td>HLUNT DESIGN ASSOCIATES INC.</td> <td>19898</td> </tr> </table>	REGISTRATION INFORMATION		HLUNT DESIGN ASSOCIATES INC.	19898			
REGISTRATION INFORMATION							
HLUNT DESIGN ASSOCIATES INC.	19898						

**HUNT**  
DESIGN ASSOCIATES INC.  
www.huntdesign.ca

**GOLDPARK HOMES - 217020**      **UNIT 4202 - THE ROSEDALE**  
**PINE VALLEY, VAUGHAN ONT.**      **REV. 2020.03.20**

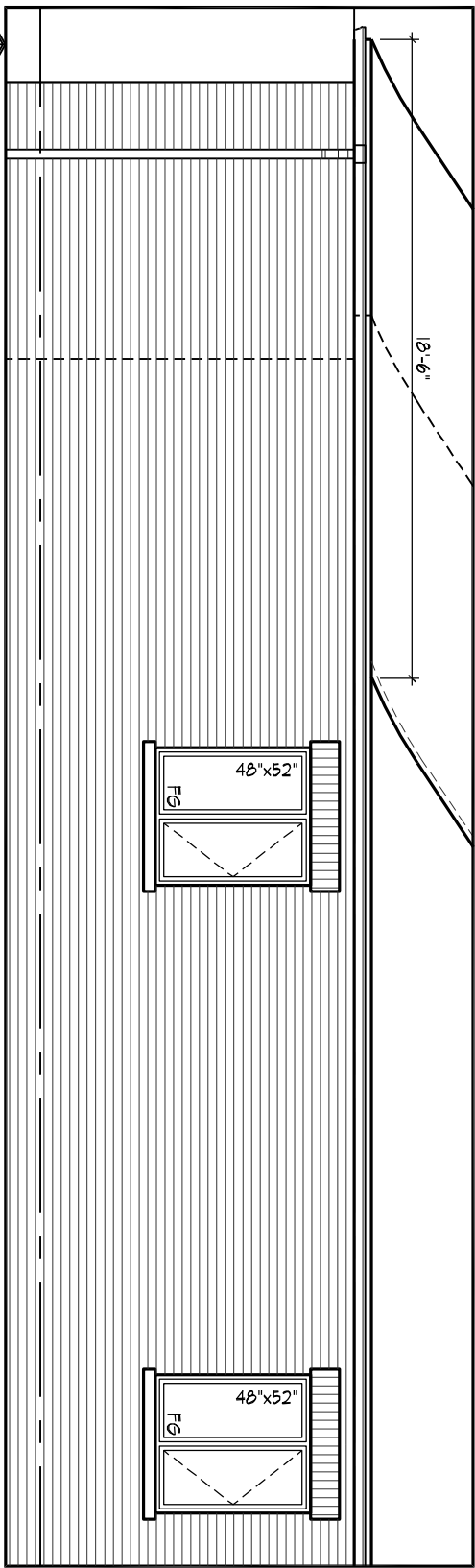
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8986 Woodbine Ave, Markham, ON L3R 0T7    T 905.737.5133    F 905.737.4236  
 (not for permission in O.A. assumptions/permissions / omissions / for the property) unless the associated BCN number and official signature)

07 19



ROOF OVERHANGS ARE TO BE 15" UNLESS NOTED OTHERWISE  
REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFO



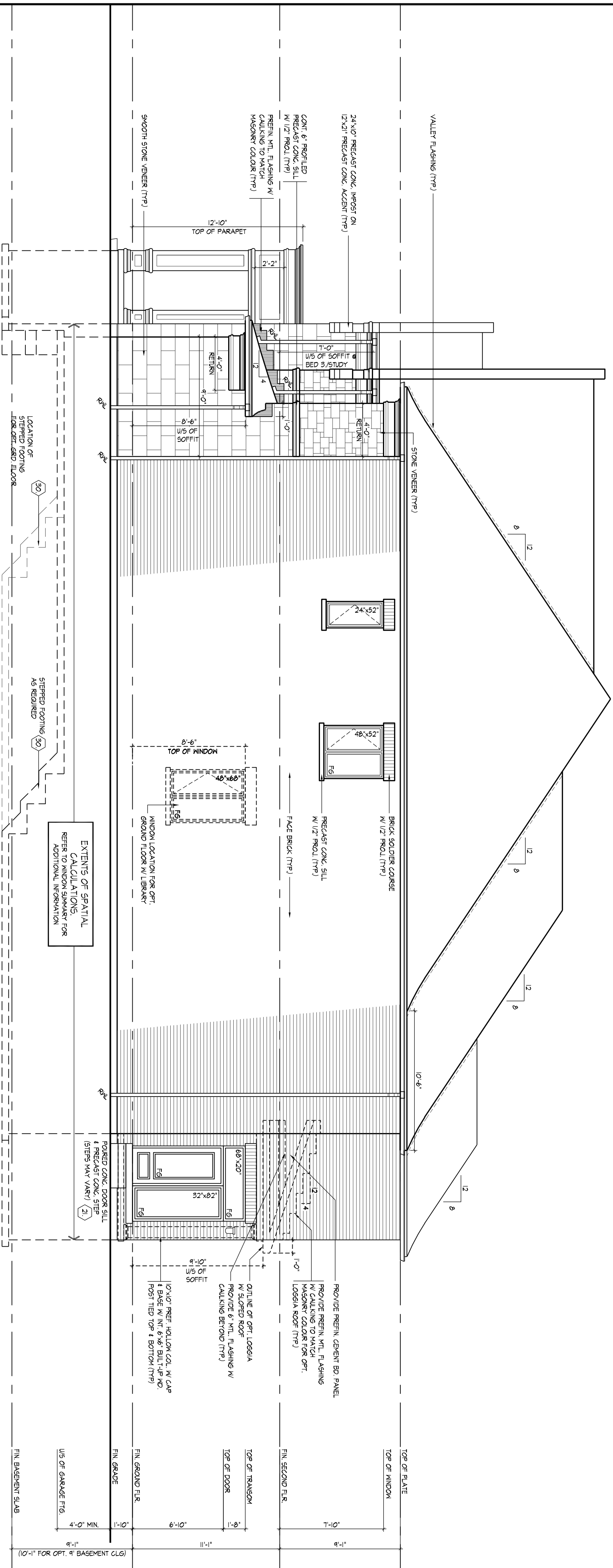
PART. LEFT SIDE ELEVATION 'A'  
FOR OPT. 5 BEDROOM

WINDOW SUMMARY												
REF: S.C. TABLE 3.10.15.4												
LEFT SIDE ELEVATION 'A' (8 OPT. GROUND FLOOR)												
NO.	W	H	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	W	H	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	W	H	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)
1	28	52		8.00	1	28	52	8.00	1	28	52	8.00
2	48	52		14.67	2	48	52	14.67	2	48	52	14.67
3	24	52		6.67	3	24	52	6.67	3	24	52	6.67
4	72	68		30.22	4	72	68	30.22	4	72	68	30.22
5	48	60		17.11	5	48	60	17.11	5	48	60	17.11
6	0	0	0	0.00	6	0	0	0.00	6	0	0	0.00
7	0	0	0	0.00	7	0	0	0.00	7	0	0	0.00
8	0	0	0	0.00	8	0	0	0.00	8	0	0	0.00
9	0	0	0	0.00	9	0	0	0.00	9	0	0	0.00
10	0	0	0	0.00	10	0	0	0.00	10	0	0	0.00
11	0	0	0	0.00	11	0	0	0.00	11	0	0	0.00
12	0	0	0	0.00	12	0	0	0.00	12	0	0	0.00
13	0	0	0	0.00	13	0	0	0.00	13	0	0	0.00
14	0	0	0	0.00	14	0	0	0.00	14	0	0	0.00
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17	0	0	0	0.00	17	0	0	0.00	17	0	0	0.00
18	0	0	0	0.00	18	0	0	0.00	18	0	0	0.00
19	0	0	0	0.00	19	0	0	0.00	19	0	0	0.00
20	0	0	0	0.00	20	0	0	0.00	20	0	0	0.00
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22	0	0	0	0.00	22	0	0	0.00	22	0	0	0.00
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40	0	0	0	0.00	40	0	0	0.00	40	0	0	0.00
41	0	0	0	0.00	41	0	0	0.00	41	0	0	0.00
42	0	0	0	0.00	42	0	0	0.00	42	0	0	0.00
43	0	0	0	0.00	43	0	0	0.00	43	0	0	0.00
44	0	0	0	0.00	44	0	0	0.00	44	0	0	0.00
45	0	0	0	0.00	45	0	0	0.00	45	0	0	0.00
46	0	0	0	0.00	46	0	0	0.00	46	0	0	0.00
47	0	0	0	0.00	47	0	0	0.00	47	0	0	0.00
48	0	0	0	0.00	48	0	0	0.00	48	0	0	0.00
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53	0	0	0	0.00	53	0	0	0.00	53	0	0	0.00
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65	0	0	0	0.00	65	0	0	0.00	65	0	0	0.00
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69	0	0	0	0.00	69	0	0	0.00	69	0	0	0.00
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74	0	0	0	0.00	74	0	0	0.00	74	0	0	0.00
75	0	0	0	0.00	75	0	0	0.00	75	0	0	0.00
76	0	0	0	0.00	76	0	0	0.00	76	0	0	0.00
77	0	0	0	0.00	77	0	0	0.00	77	0	0	0.00
78	0	0	0	0.00	78	0	0	0.00	78	0	0	0.00
79	0	0	0	0.00	79	0	0	0.00	79	0	0	0.00
80	0	0	0	0.00	80	0	0	0.00	80	0	0	0.00
81	0	0	0	0.00	81	0	0	0.00	81	0	0	0.00
82	0	0	0	0.00	82	0	0	0.00	82	0	0	0.00
83	0	0	0	0.00	83	0	0	0.00	83	0	0	0.00
84	0	0	0	0.00	84	0	0	0.00	84	0	0	0.00
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88	0	0	0	0.00	88	0	0	0.00	88	0	0	0.00
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90	0	0	0	0.00	90	0	0	0.00	90	0	0	0.00
91	0	0	0	0.00	91	0	0	0.00	91	0	0	0.00
92	0	0	0	0.00	92	0	0	0.00	92	0	0	0.00
93	0	0	0	0.00	93	0	0	0.00	93	0	0	0.00
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97	0	0	0	0.00	97	0	0	0.00	97	0	0	0.00
98	0	0	0	0.00	98	0	0	0.00	98	0	0	0.00
99	0	0	0	0.00	99	0	0	0.00	99	0	0	0.00
100	0	0	0	0.00	100	0	0	0.00	100	0	0	0.00

WINDOW SUMMARY												
REF: S.C. TABLE 3.10.15.4												
LEFT SIDE ELEV. 'A' (OPT 5 BED & OPT. GROUND FLOOR)												
NO.	W	H	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	SPARSAL CALCULATION							
					PERCENTAGE AREA	PERCENTAGE AREA	PERCENTAGE AREA	PERCENTAGE AREA	PERCENTAGE AREA	PERCENTAGE AREA	PERCENTAGE AREA	PERCENTAGE AREA
1	28	52		8.00	1	28	52	8.00	1	28	52	8.00
2	48	52		14.67	2	48	52	14.67	2	48	52	14.67
3	24	52		6.67	3	24	52	6.67	3	24	52	6.67
4	72	68		30.22	4	72	68	30.22	4	72	68	30.22
5	48	60		17.11	5	48	60	17.11	5	48	60	17.11
6	0	0	0	0.00	6	0	0	0.00	6	0	0	0.00
7	0	0	0	0.00	7	0	0	0.00	7	0	0	0.00
8	0	0	0	0.00	8	0	0	0.00	8	0	0	0.00
9	0	0	0	0.00	9	0	0	0.00	9	0	0	0.00
10	0	0	0	0.00	10	0	0	0.00	10	0	0	0.00
11	0	0	0	0.00	11	0	0	0.00	11	0	0	0.00
12	0	0	0	0.00	12	0	0	0.00	12	0	0	0.00
13	0	0	0	0.00	13	0	0	0.00	13	0	0	0.00
14	0	0	0	0.00	14	0	0	0.00	14	0	0	0.00
15	0	0	0	0.00	15	0	0	0.00	15	0	0	0.00
16	0	0	0	0.00	16	0	0	0.00	16	0	0	0.00
17	0	0	0	0.00	17	0	0	0.00	17	0	0	0.00
18	0	0	0	0.00	18	0	0	0.00	18	0	0	0.00
19	0	0	0	0.00	19	0	0	0.00	19	0	0	0.00
20	0	0	0	0.00	20	0	0	0.00	20	0	0	0.00
TOTAL WINDOW AREA					100.00	100.00	100.00	100.00	100.00	100.00	100.00	100.00
TOTAL WINDOW PERCENTAGE					100.00	100.00	100.00	100.00	100.00	100.00	100.00	100.00
TOTAL WINDOW PERCENTAGE					100.00	100.00	100.00	100.00	100.00	100.00	100.00	100.00
TOTAL WINDOW PERCENTAGE					100.00	100.00	100.00	100.00	100.00	100.00	100.00	100.00
TOTAL WINDOW PERCENTAGE					100.00	100.00	100.00	100.00	100.00	100.00	100.00	100.00
TOTAL WINDOW PERCENTAGE					100.00	100.00	100.00	100.00	100.00	100.00	100.00	100.00
TOTAL WINDOW PERCENTAGE					100.00	100.00	100.00	100.00	100.00	100.00	100.00	100.00
TOTAL WINDOW PERCENTAGE					100.00	100.00	100.00	100.00	100.00	100.00	100.00	100.00
TOTAL WINDOW PERCENTAGE					100.00	100.00	100.00	100.00	100.00	100.00	100.00	100.00
TOTAL WINDOW PERCENTAGE					100.00	100.00	100.00	100.00	100.00	100.00	100.00	100.00
TOTAL WINDOW PERCENTAGE					100.00	100.00	100.00	100.00	100.00	100.00	100.00	100.00
TOTAL WINDOW PERCENTAGE					100.00	100.00	100.00	100.00	100.00	100.00	100.00	100.00
TOTAL WINDOW PERCENTAGE					100.00	100.00	100.00	100.00	100.00	100.00	100.00	100.00
TOTAL WINDOW PERCENTAGE					100.00	100.00	100.00	100.00	100.00	100.00	100.00	100.00
TOTAL WINDOW PERCENTAGE					100.00	100.00	100.00	100.00	100.00	100.00	100.00	100.00
TOTAL WINDOW PERCENTAGE					100.00	100.00	100.00	100.00	100.00	100.00	100.00	100.00
TOTAL WINDOW PERCENTAGE					100.00	100.00	100.00	100.00	100.00	100.00	100.00	100.00
TOTAL WINDOW PERCENTAGE					100.00	100.00	100.00	100.00	100.00	100.00	100.00	100.00
TOTAL WINDOW PERCENTAGE					100.00	100.00	100.00	100.00	100.00	100.00	100.00	100.00
TOTAL WINDOW PERCENTAGE					100.00	100.00	100.00	100.00	100.00	100.00	100.00	100.00
TOTAL WINDOW PERCENTAGE					100.00	100.00	100.00	100.00	100.00	100.00	100.00	100.00
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TOTAL WINDOW PERCENTAGE					100.00	100.00	100.00	100.00	100.00	100.00	100.00	100.00
TOTAL WINDOW PERCENTAGE					100.00	100.00	100.00	100.00	100.00	100.00	100.00	100.00
TOTAL WINDOW PERCENTAGE					100.00	100.00	100.00	100.00	100.00	100.00	100.00	100.00
TOTAL WINDOW PERCENTAGE					100.00	100.00	100.00	100.00	100.00	100.00	100.00	100.00
TOTAL WINDOW PERCENTAGE					100.00	100.00	100.00	100.00	100.00	100.00	100.00	100.00
TOTAL WINDOW PERCENTAGE					100.00	100.00	100.00	100.00	100.00	100.00	100.00	100.00
TOTAL WINDOW PERCENTAGE					100.00	100.00	100.00	100.00	100.00	100.00	100.00	100.00
TOTAL WINDOW PERCENTAGE					100.00	100.00	100.00	100.00	100.00	100.00	100.00	100.00
TOTAL WINDOW PERCENTAGE					100.00	100.00	100.00	100.00	100.00	100.00	100.00	100.00
TOTAL WINDOW PERCENTAGE					100.00	100.00	100.00	100.00	100.00	100.00	100.00	100.00
TOTAL WINDOW PERCENTAGE					100.00	100.00	100.00	100.00	100.00	100.00	100.00	100.00
TOTAL WINDOW PERCENTAGE					100.00	100.00	100.00	100.00	100.00	100.00	100.00	100.00
TOTAL WINDOW PERCENTAGE					100.00	100.00	100.00	100.00	100.00	100.00	100.00	100.00
TOTAL WINDOW PERCENTAGE					100.00	100.00	100.00	100.00	100.00	100.00	100.00	100.00
TOTAL WINDOW PERCENTAGE					100.00	100.00	100.00	100.00	100.00	100.00	100.00	100.00
TOTAL WINDOW PERCENTAGE					100.00	100.00	100.00	100.00	100.00	100.00	100.00	100.00
TOTAL WINDOW PERCENTAGE					100.00	100.00	100.00	100.00	100.00	100.00	100.00	100.00
TOTAL WINDOW PERCENTAGE					100.00	100.00	100.00	100.00	100.00	100.00	100.00	100.00
TOTAL WINDOW PERCENTAGE					100.00	100.00	100.00	100.00	100.00	100.00	100.00	100.00
TOTAL WINDOW PERCENTAGE					100.00	100.00	100.00	100.00	100.00	100.00	100.00	100.00
TOTAL WINDOW PERCENTAGE					100.00	100.00	100.00	100.00	100.00	100.00	100.00	100.00
TOTAL WINDOW PERCENTAGE					100.00	100.00	100.00	100.00	100.00	100.00	100.00	100.00
TOTAL WINDOW PERCENTAGE					100.00	100.00	100.00	100.00	100.00	100.00	100.00	100.00
TOTAL WINDOW PERCENTAGE					100.00	100.00	100.00	100.00	100.00	100.00	100.00	100.00
TOTAL WINDOW PERCENTAGE					100.00	100.00	100.00	100.00	100.00	100.00	100.00	100.00
TOTAL WINDOW PERCENTAGE					100.00	100.00	100.00	100.00	100.00	100.00	100.00	100.00
TOTAL WINDOW PERCENTAGE					100.00	100.00	100.00	100.00	100.00	100.00	100.00	100.00
TOTAL WINDOW PERCENTAGE					100.00	100.00	100.00	100.00	100.00	100.00	100.00	100.00
TOTAL WINDOW PER												



ROOF OVERHANGS ARE TO  
BE 15" UNLESS NOTED  
OTHERWISE  
REFER TO FRONT ELEVATION  
FOR TYPICAL NOTES & INFO.

[illegible][illegible]

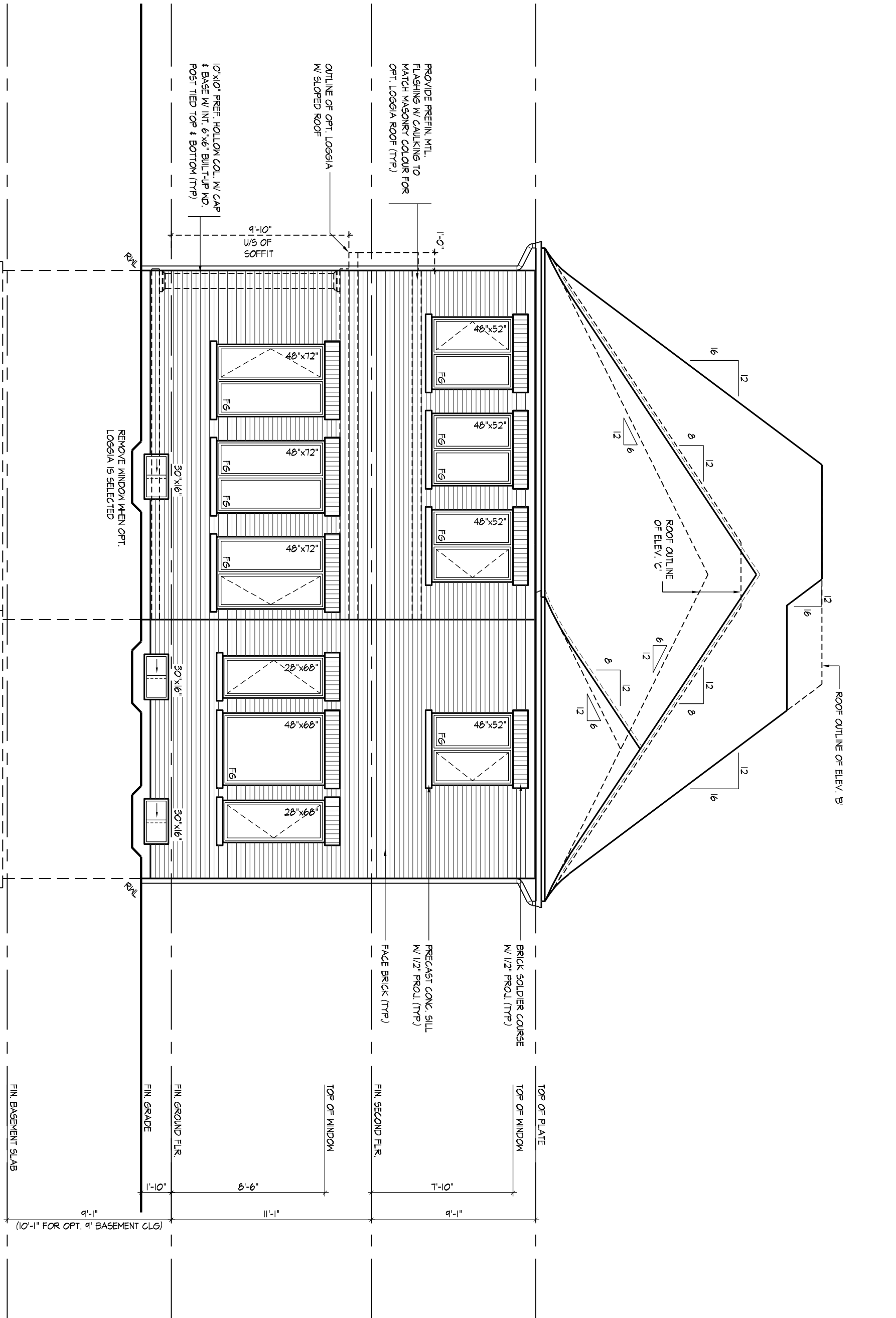
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.



ROOF OVERHANGS ARE TO BE 15" UNLESS NOTED OTHERWISE

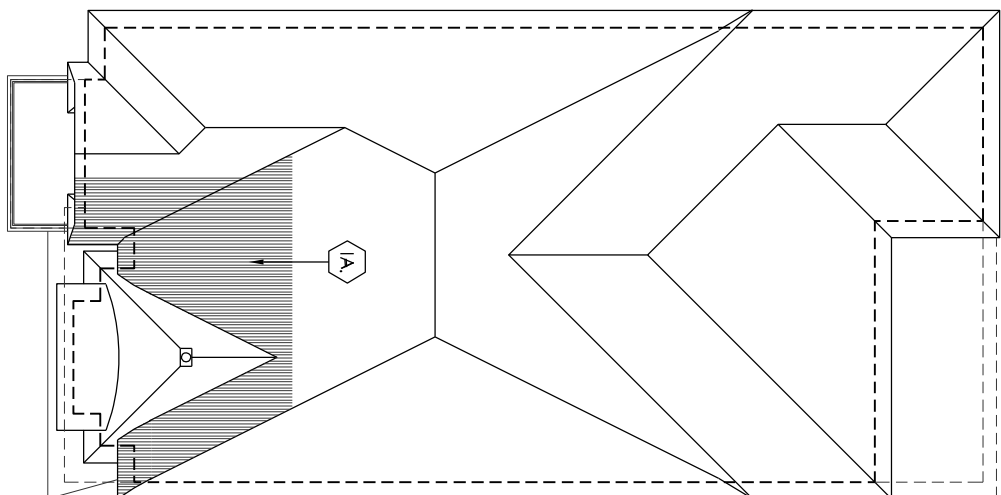
REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFO.

[illegible][illegible][illegible]

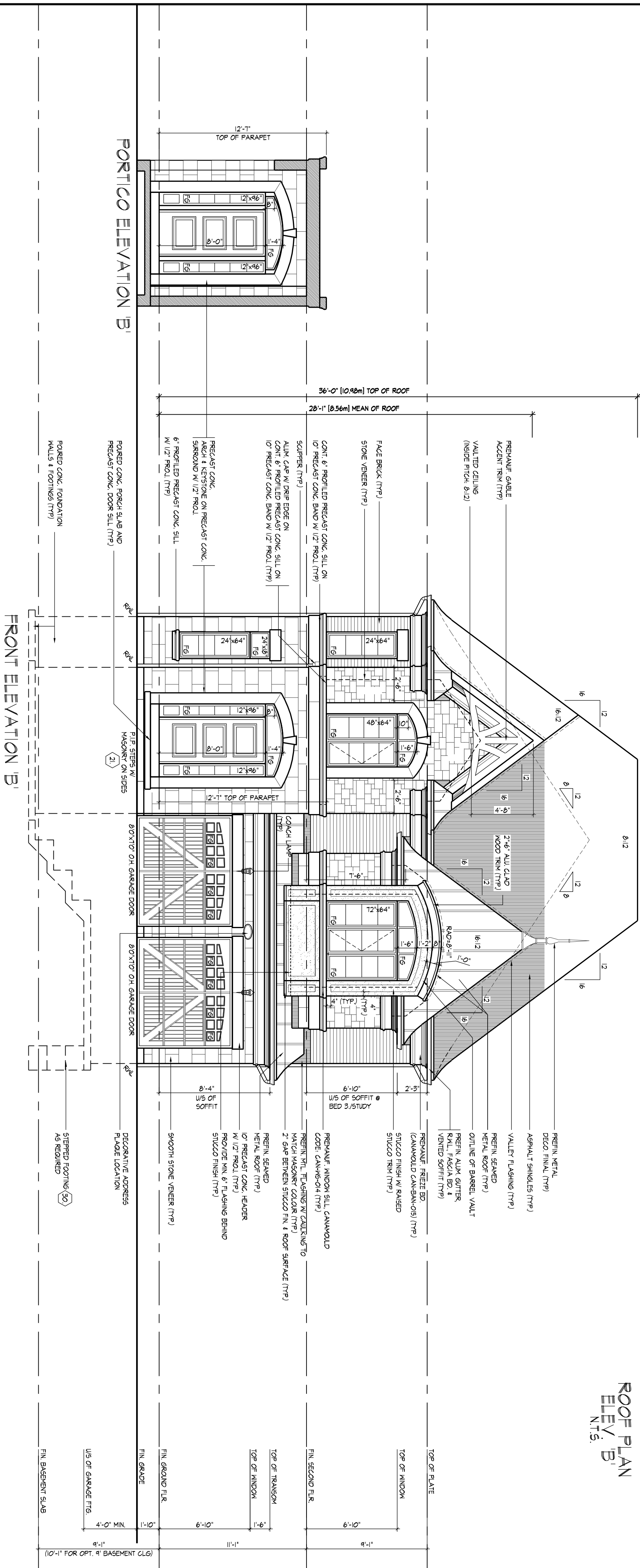
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ROOF OVERHANGS ARE TO  
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OTHERWISE



MASIMARD | SAT MAR 28/20 01:27 PM | K:\PROJECTS\2017\217020.GOLD\WORKING\SINGLES\42\217020WS4202-ROSEDALE.DWG



This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

<p> <u>Alan Whiting</u>          NAME          REGISTRATION INFORMATION          HUNT DESIGN ASSOCIATES INC.          1989B       </p>	<p>           SIGNATURE          23177          BORN       </p>
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All drawings specifications related documents and design are the property of HUNT DESIGN ASSOCIATES INC.



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**GOLDPARK HOMES - 217020**

**PINE VALLEY, VAUGHAN ONT.**

Item #	Quantity	Size	File number
RAMM	SB	31'6"-1'-0"	217020/MS-4202.DWG
9866 Woodbine Ave. Markham, ON L3R 0J7			REV. 2020.03.30
			12 of 19

905.737.3232

**UNIT 4202 - 'THE ROSEDALE'**

REV. 2020.03.30

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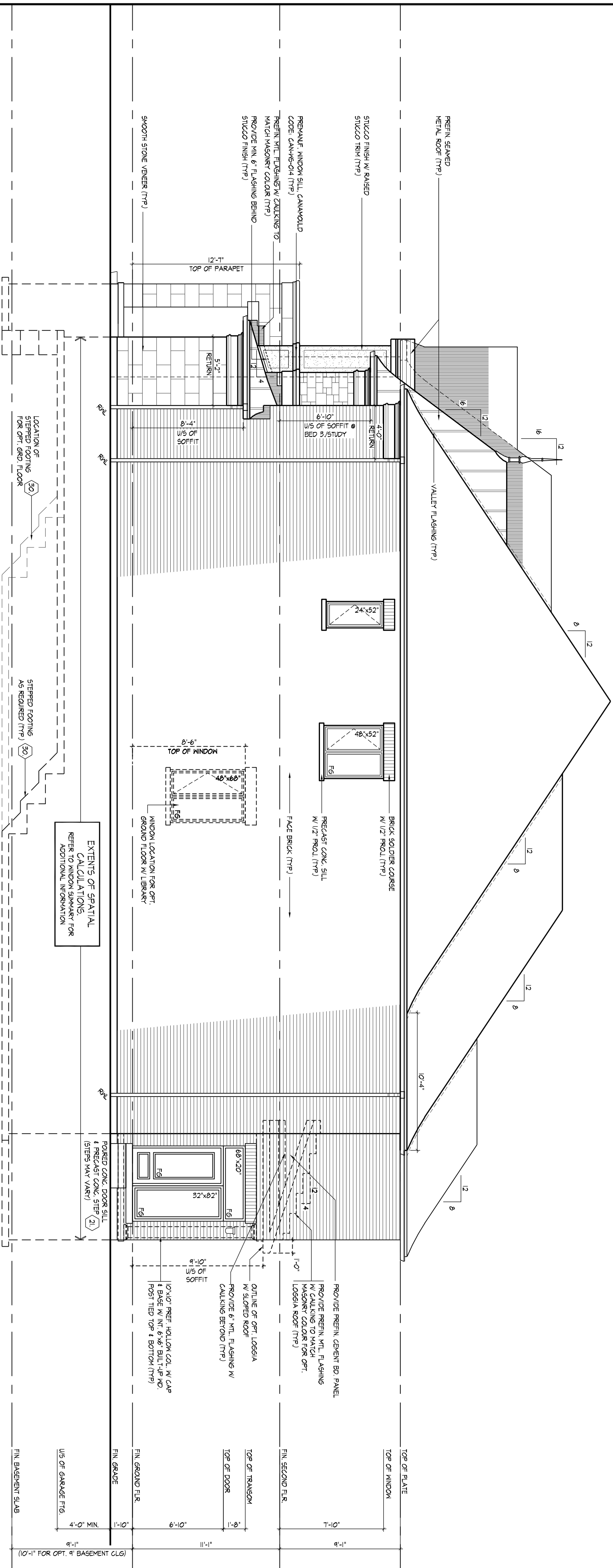







ROOF OVERHANGS ARE TO BE 15" UNLESS NOTED OTHERWISE

REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFO.

[illegible][illegible]

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.  
 QUALIFICATION INFORMATION: **Alan Whiting**  
 SIGNATURE:   
 DATE: 23.7.17  
 REGISTRATION INFORMATION: **HUNT DESIGN ASSOCIATES INC.**  
 REGISTRATION NUMBER: 196989

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**GOLDPARK HOMES - 217020**  
**PINE VALLEY, VAUGHAN ONT.**  
**UNIT 4202 - 'THE ROSEDALE'**  
**REV. 2020.03.30**

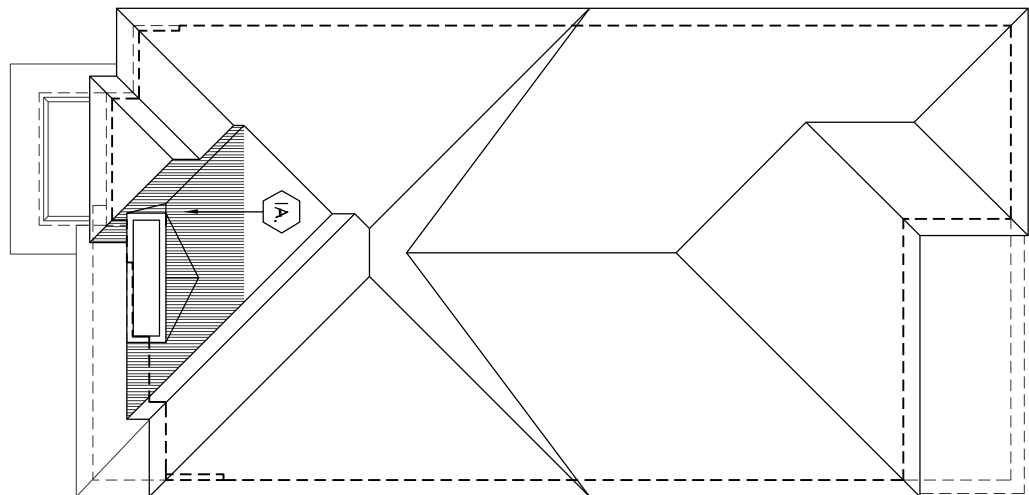
Drawn By	Checked By	Scale	File Number	Page Number
RAM	SB	3/16"=1'-0"	217020NS4202.DWG	14 of 19

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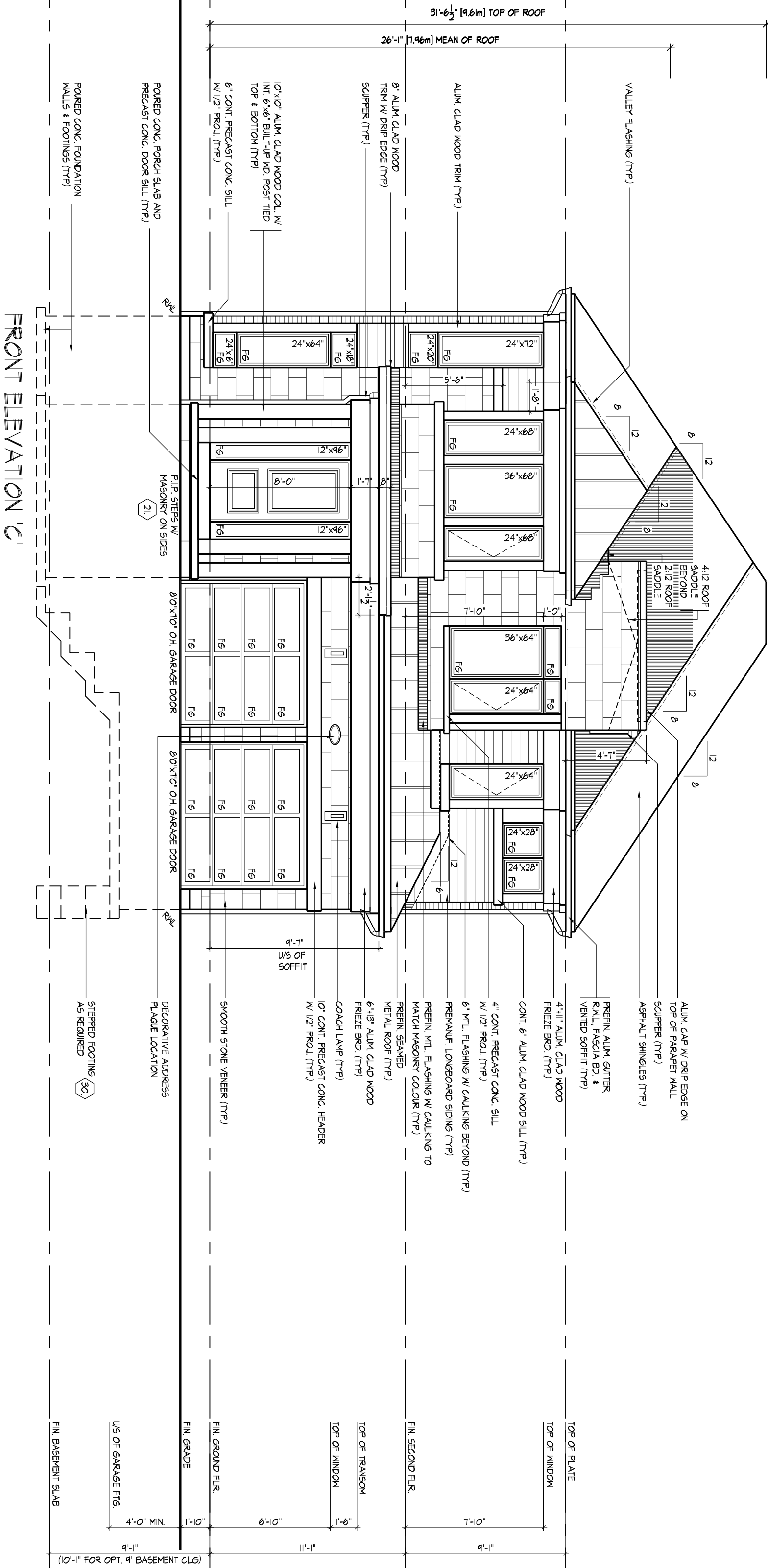
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ROOF OVERHANGS ARE TO  
BE 15" UNLESS NOTED  
OTHERWISE




ROOF PLAN  
ELEV.  
NTS.



This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

<p>THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND ASKS THE QUALIFICATION BOARD TO BE A DESIGNER.</p> <p>QUALIFICATION INFORMATION</p>	<p>23177</p>
<p>Alan Whitting</p>	<p>23177</p>
<p>NAME</p>	<p>SIGNATURE</p>
<p>REGISTRATION INFORMATION</p>	<p>BOB</p>
<p>HUNT DESIGN ASSOCIATES INC.</p>	<p>19869</p>

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**GOLDPARK HOMES - 217020**

**PINE VALLEY - VAUGHAN ONT.**

Drawn By	Checked By	Scale	File Number	Page Number
RAMM	SB	3/16" = 1'-0"	217020DWG402.DWG	15 of 15

9866 Woodbine Ave. Markham, Ont. L3R 0J7 T 905.375.5133 F 905.371.7266

**UNIT 4202 - "THE ROSEDALE"**

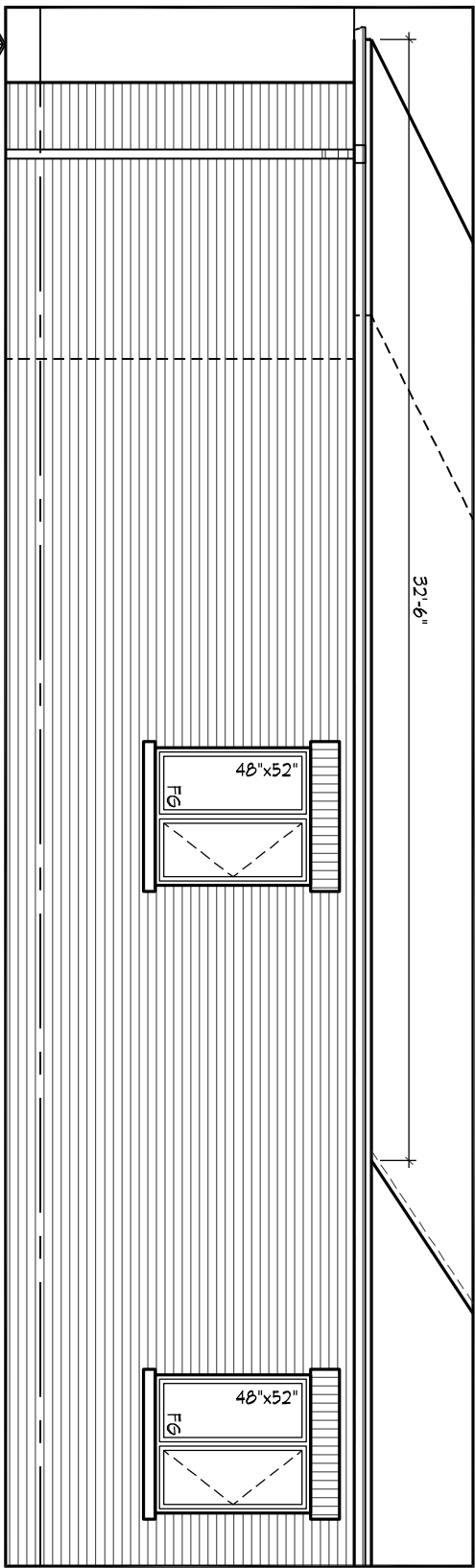
**REV. 2020.03.30**

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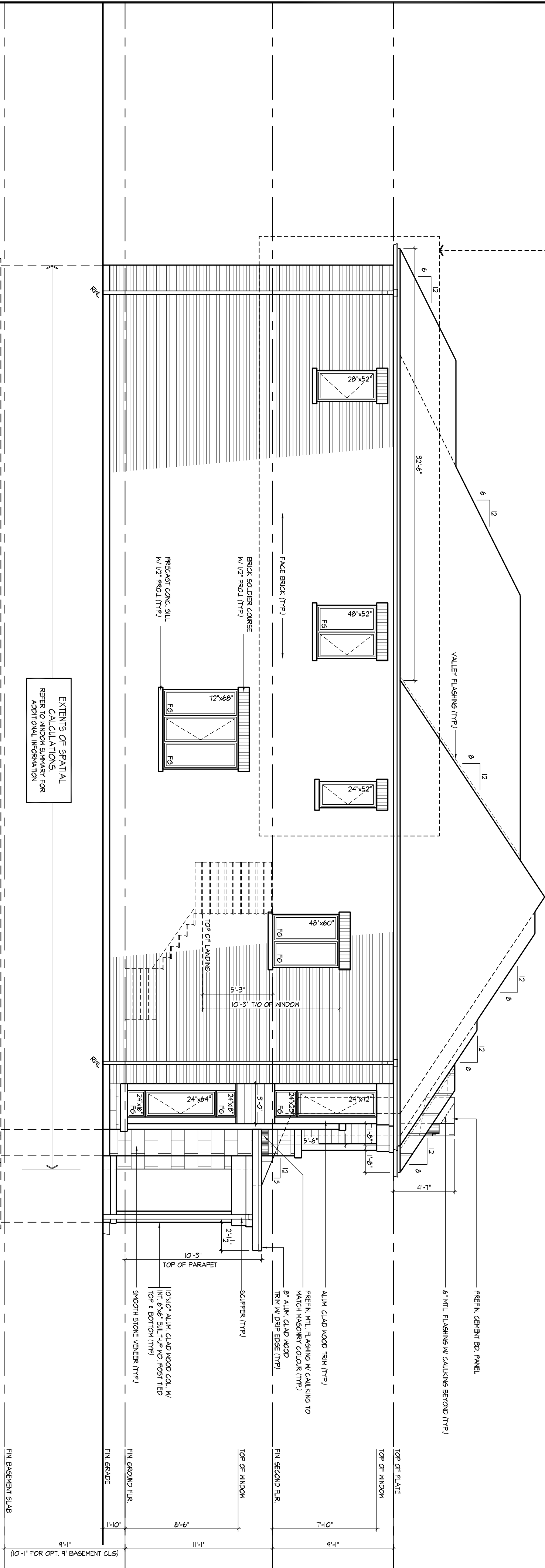
ROOF OVERHANGS ARE TO  
BE 15" UNLESS NOTED  
OTHERWISE

REFER TO FRONT ELEVATION  
FOR TYPICAL NOTES & INFO.



PART. LEFT SIDE ELEVATION 'C'  
FOR OPT. 5 BEDROOM

WINDOW SUMMARY									
PROJECT: HUB 01.04									
LEFT SIDE ELEVATION C									
4 (OPT. - GROUND FLOOR)									
QUAN.	WETH.	DEPTH	UNIT	PAVEMENT	DOOR	WALL	GLASS	W.C.	S.F.
1	28	52							8.00
1	46	52						14.67	
1	24	52						6.67	
1	24	52						30.22	
1	46	60						17.33	
1	46	72						30.66	
1	24	60						14.67	
1	24	60						19.44	
1	24	16						1.67	
0	ACI	0.00							
0	ACI	0.00							
0	ACI	0.00							
0	ACI	0.00							
0	ACI	0.00							
0	ACI	0.00							
SPATIAL CALCULATION									
EXPOSURE									
FACE AREA									
W	H	W	H	W	H	W	H	W	S.F.
1	28	1	46	1	24	1	24	1	8.00
1	46	1	46	1	24	1	24	1	14.67
1	24	1	24	1	24	1	24	1	6.67
1	24	1	24	1	24	1	24	1	30.22
1	46	1	46	1	24	1	24	1	17.33
1	46	1	46	1	24	1	24	1	30.66
1	24	1	24	1	24	1	24	1	14.67
1	24	1	24	1	24	1	24	1	19.44
1	24	1	24	1	24	1	24	1	1.67
0	ACI	0	ACI	0	ACI	0	ACI	0	
0	ACI	0	ACI	0	ACI	0	ACI	0	
0	ACI	0	ACI	0	ACI	0	ACI	0	
0	ACI	0	ACI	0	ACI	0	ACI	0	
0	ACI	0	ACI	0	ACI	0	ACI	0	
0	ACI	0	ACI	0	ACI	0	ACI	0	
GLAZED AREA CALCULATION IN FRAME SIZE									
GLAZED AREA CALCULATION IN FRAME SIZE									
GLAZED AREA CALCULATION IN FRAME SIZE									

[illegible]


LEFT SIDE ELEVATION 'C'

EXTENTS OF SPATIAL  
CALCULATIONS.  
REFER TO WINDOW SUMMARY FOR  
ADDITIONAL INFORMATION

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or building drawings with respect to any zoning or building code or permit matter to any lot house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

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ALL DRAWING SPECIFICATIONS RELATED DOCUMENTS AND DESIGN ARE THE PROPERTY OF THUNDT DESIGN ASSOCIATES INC.	QUALIFICATION INFORMATION		23177
	NAME Alan Whitting	SIGNATURE 	BORN
REGISTRATION INFORMATION		1969	



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<b>GOLDPARK HOMES - 217020</b>		<b>UNIT 4202 - THE ROSEDALE</b>
<b>PINE VALLEY, VAUGHAN ONT.</b>		<b>REV. 2020.03.30</b>
Drawn By	Checked By	File Number
RAAM	SB	217020W/S4202.DWG
Scale	3/16"=1'-0"	Page Number
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FOUNDATION REDUCTION IN THICKNESS FOR MASONRY

21 EXTERIOR AND GARAGE STEPS

- [illegible]

REFER TO SB-B.2 ENERGY EFFICIENCY DESIGN MATRIX ON THE TITLE PAGE FOR ALL VALUES AS REQUIRED PER 3.1.1, 3.1.2., 3.1.3. OF THE C

<b>SECTION 1.1. WALL STUDS</b>	<b>3.3. DOOR SCHEDULE</b>
--------------------------------	---------------------------

- IF STUD WALL HEIGHT EXCEEDS MAX. UNSUPPORTED HEIGHT, WALL NEEDS TO BE REINFORCED AND APPROVED BY ENGINEER.

- |             |  |
|-------------|--|
| EXTENSOR    | 2-8° x 6-8° x 1-3/4" (815 x 2030 x 45) INSULATED MIN. R4 (PSI 0.)      |
| 1A EXTENSOR | 2-10° x 6-8° x 1-3/4" (865 x 2030 x 45) INSULATED MIN. R4 (PSI 0.)     |
| 1B EXTENSOR | 3-0° x 6-8° x 1-3/4" (915 x 2030 x 45) INSULATED MIN. R4 (PSI 0.)      |
| 1C EXTENSOR | 2-6° x 6-8° x 1-3/4" (760 x 2030 x 45) INSULATED MIN. R4 (PSI 0.)      |
| EXTENSOR    | 1-0° x 6-8° x 1-3/4" (815 x 2030 x 45) NS. MIN. R4 (PSI 0.) (SEE HEAD) |
| 1E EXTENSOR | 3-0° x 8-0° x 1-3/4" (915 x 2400 x 45) INSULATED MIN. R4 (PSI 0.)      |













	JST	JOKST
--	-----	-------

- |      |                            |      |                         |
|------|----------------------------|------|-------------------------|
| 4AF  | BEAM FINISHED FLOOR        | 1ST  | JOIST                   |
| 3AF  | BEAM BT FLOOR MANUFACTURER | 1ST  | JOIST                   |
| BS   | FRMO GLASS W BLACK FRAMING | 1X1  | LAMINATED VENEER LUMBER |
| BM   | BEAM                       | OTRA | POINT BT BELOW ABOVE    |
| BMV  | BEAM BT ROOF MANUFACTURER  | PL   | POINT D/AD              |
| CON  | CONVENTIONAL ROOF FRAMING  | PL   | PLATE                   |
| CM   | COMPLETE WITH              | PT   | PRESSURE TREATED        |
| D/UL | DOUBLE JOIST TRIPLE JOIST  | PTD  | PAINTED                 |
| DO   | DOOR                       | PO   | POWER ROOM              |
| DR   | DRUM                       | PT   | POW BRUS                |

SPR	SPRUC
-----	-------

- |     |                               |      |                |
|-----|-------------------------------|------|----------------|
| FG  | FIXED GLASS                   | STL  | STEEL          |
| FL  | FLUSH                         | TOP  | TOP OF         |
| FLR | FLOOR                         | TY   | TYPICAL        |
| GT  | GIRDER TRUSS                  | US   | UNDERBONE      |
| H8  | HOSE BIB                      | WD   | WOOD           |
| HV  | HEAT RECLAIM VENTILATION UNIT | WALK | WALK IN CLOSET |
| HWT | HOT WATER TANK                | WP   | WEATHER PROOF  |

	$\Phi^2$	DUF
(1)		

- |   |                            |   |                         |
|---|----------------------------|---|-------------------------|
|  | HEAVY DUTY OUTLET          |  | SWITCH (234 MAX)        |
|  | BOLT IN EGG ELECTRIC FENCE |  | LIGHT FIXTURE (CEILING) |
|  | CHARGING STATION (B3.5A)   |  | LIGHT FIXTURE (WALL MO) |
|  | POT LIGHT                  |  | TELEPHONE JACK          |
|  | LIGHT FIXTURE (PULL CHAIN) |  | CHANDELIER (CEILING)    |
|  | CABLE TV JACK              |   |                         |
|  | CENTRAL VACUUM OUTLET      |   |                         |

BATTERY BACKUP. ALARMS ARE

- ◆ **CHARCOAL CARBON MONOXIDE ALARM** \* (3.3.3.4)  
CONFORMING TO CAN/CSA-19 SHALL BE INSTALLED ON OR NEAR THE CEILING  
DUELING LUNG ADJACENT TO EACH SLEEPING AREA. CARBON MONOXIDE ALARMS  
SHALL BE PERMANENTLY WIRED WITH A NON-INTERCUT SWITCH, WITH AN ALARM  
ALBITE, WITHIN SLEEPING ROOMS WHEN THE INTERVENING DOORS ARE CLOSED

ME SPACE SEE CONSTRI

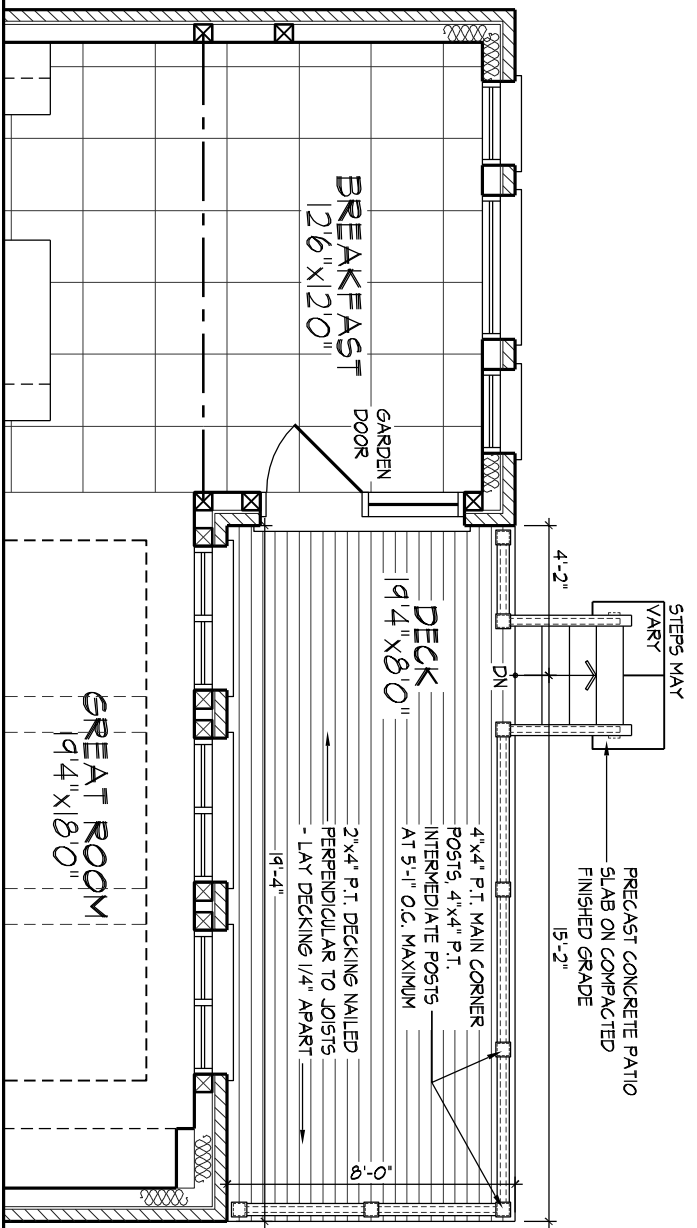
- WARNING PLATES, BUILT-OUT FLOORS, BEARING WALLS, ICE & WATER  
EXPOSED BUILDING FACE - O.B.C. 9.10.14, OR 9.10.15  
REFER TO HEX NOTE 35, & DETAILS FOR TYPE AND SPECIFICATION

MD (9.4.2.2.):

- |                            |          |
|----------------------------|----------|
| WIND LOAD (q50) (SB-1.2.): | 0.44 kPa |
| STAMP                      |          |

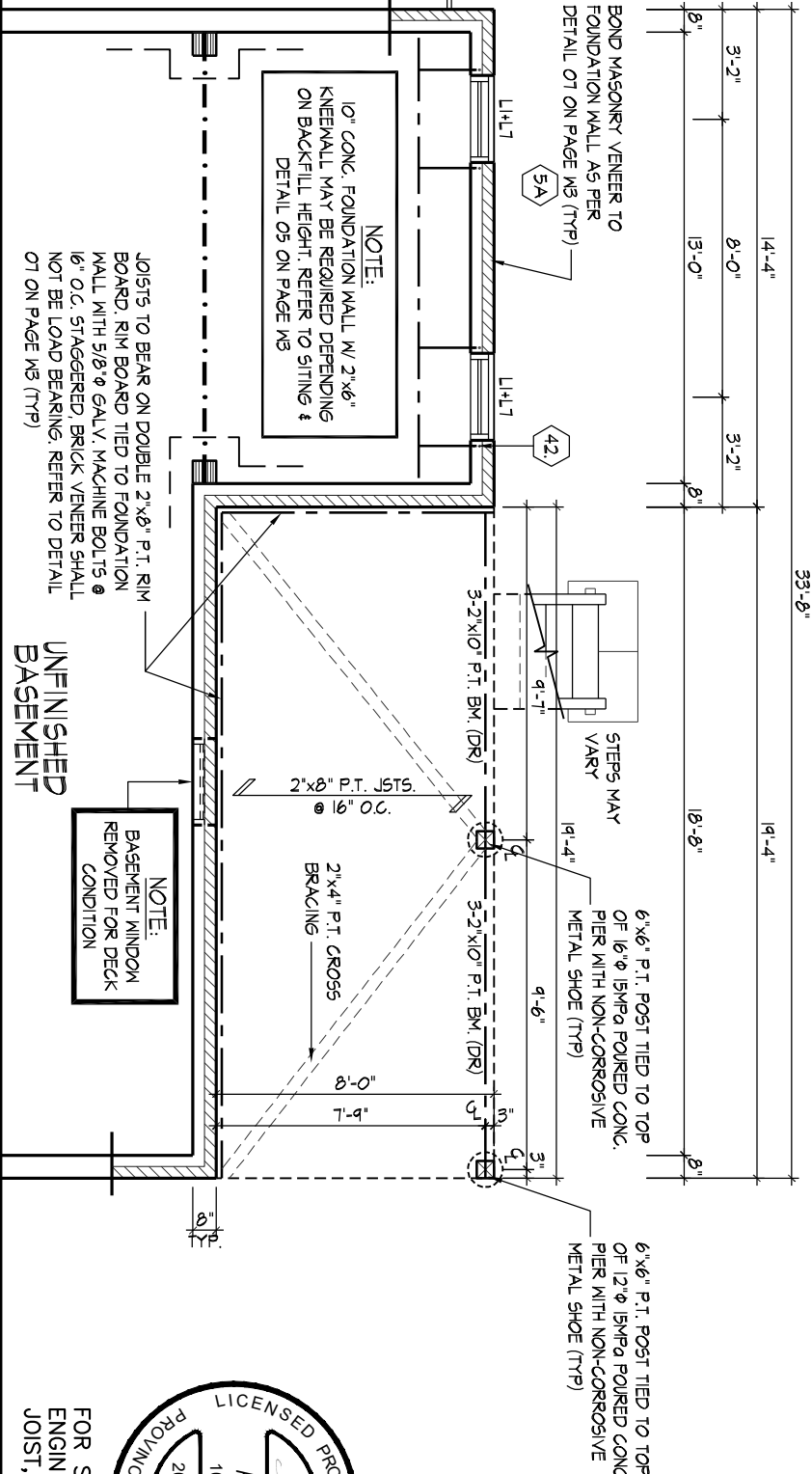
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- CONSTRUCTION MEET REVISION DATE: **MARCH 21, 2018**





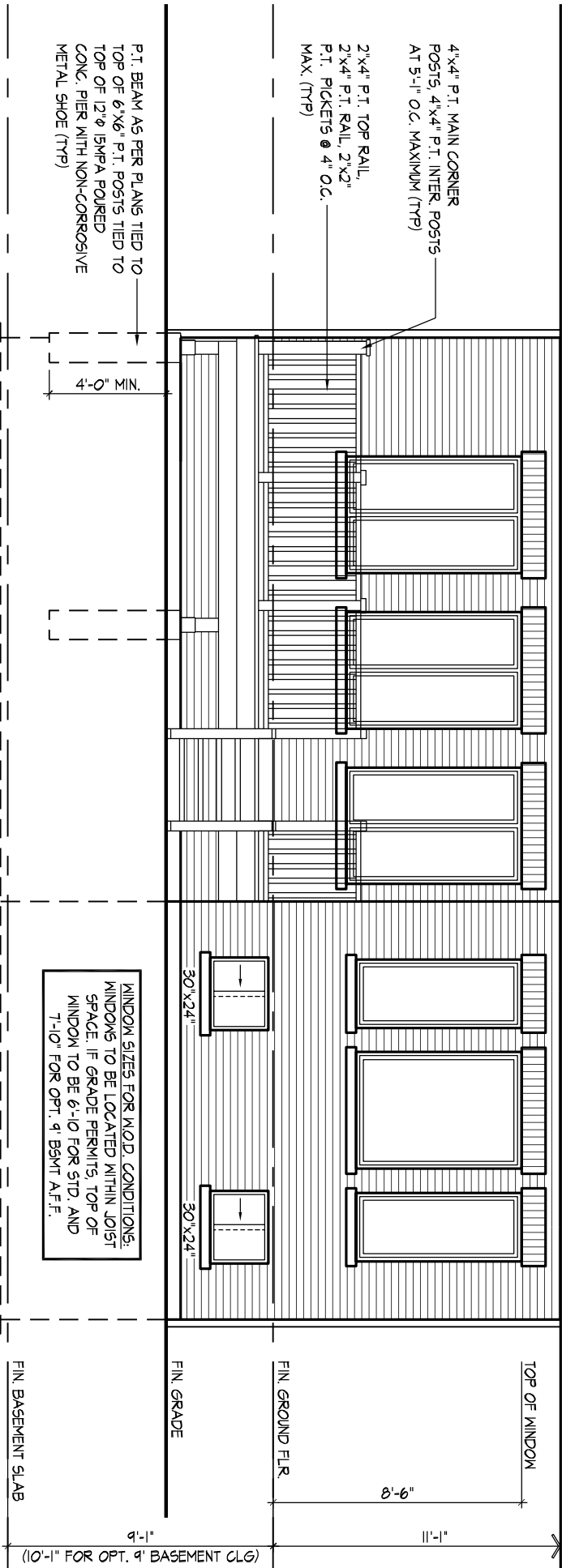
PART. GROUND FLOOR PLAN ELEV. 'A', 'B' & 'C' - M.O.D. COND.

NOTE:  
REFER TO STANDARD FLOOR  
PLANS FOR COMPLETE DIMENSIONS  
& STRUCTURAL INFORMATION



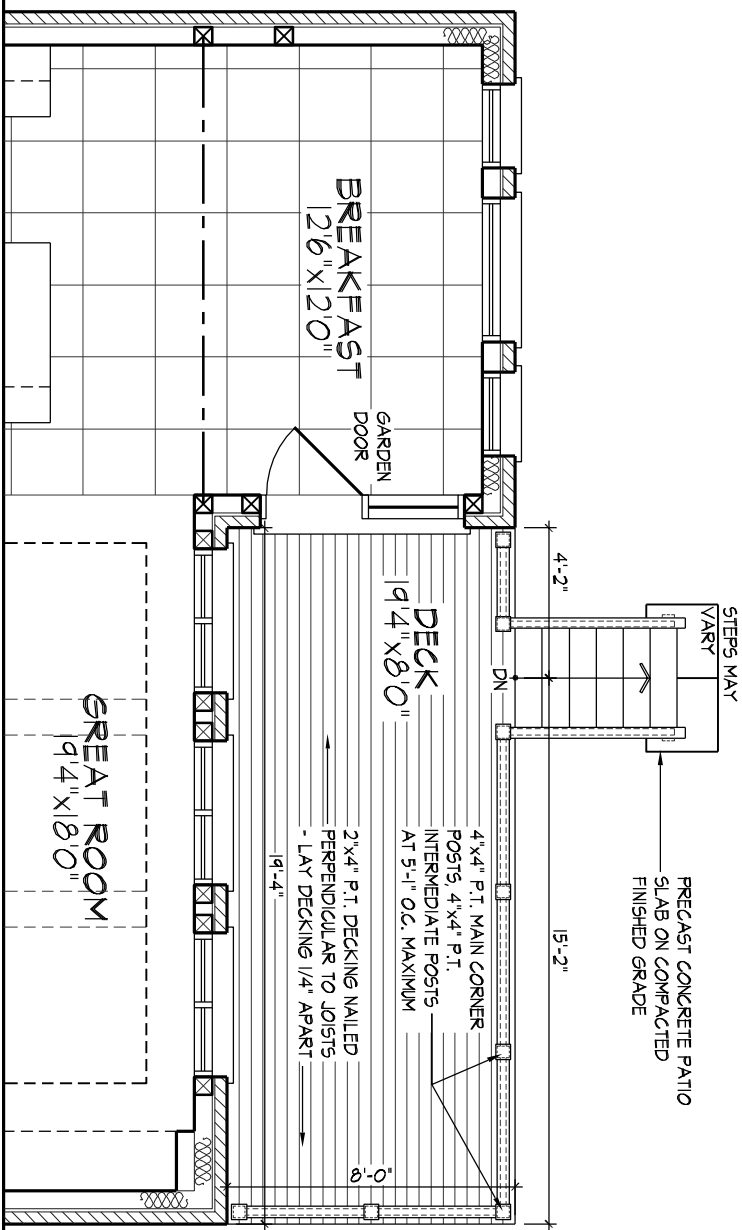
PART. BASEMENT PLAN ELEV. 'A', 'B' & 'C' - M.O.D. COND.

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PLANS FOR COMPLETE DIMENSIONS  
& STRUCTURAL INFORMATION



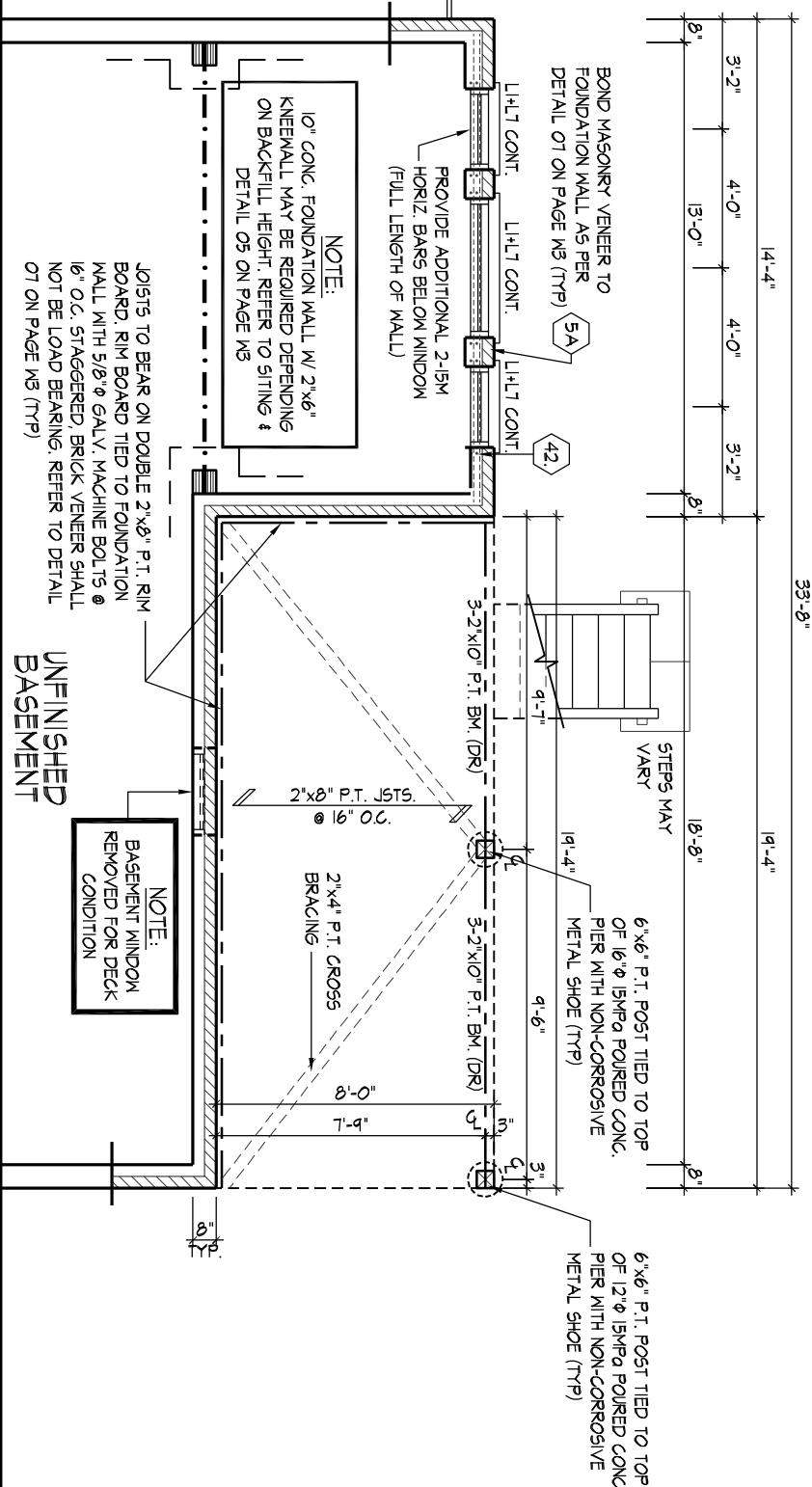
PART. REAR ELEVATION 'A', 'B' & 'C' - M.O.D. COND.

REFER TO FRONT ELEVATION & STANDARD  
REAR FOR TYPICAL NOTES & INFO.



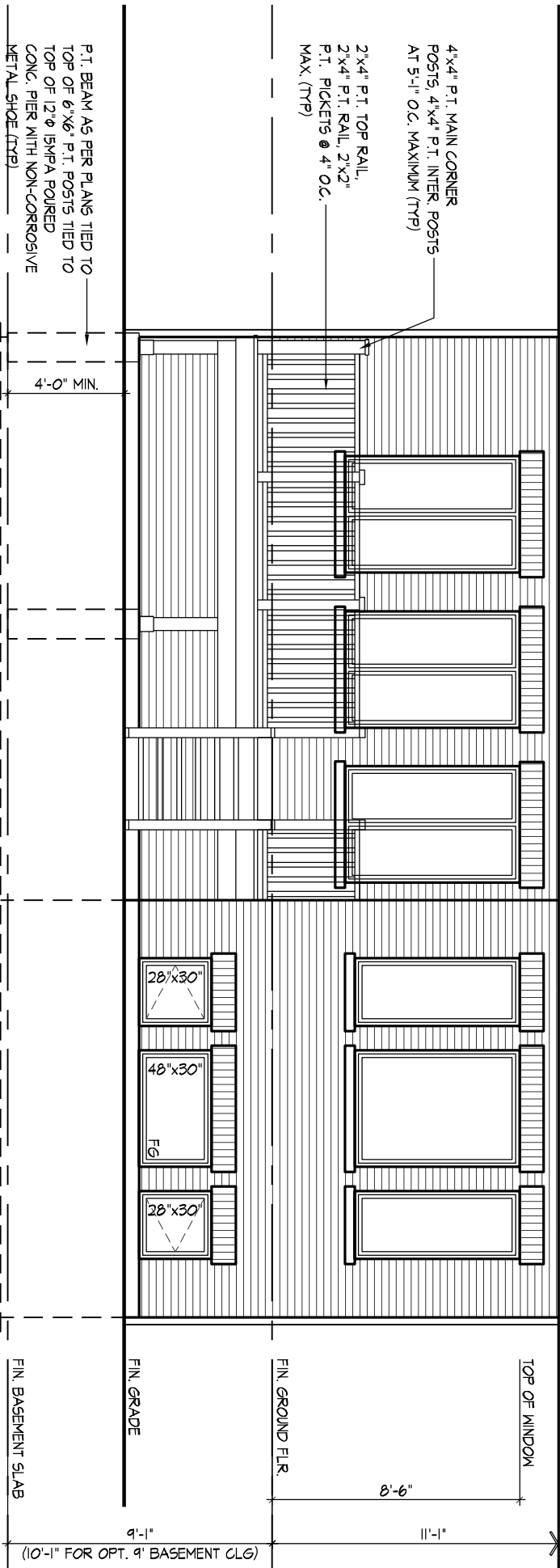
PART. GROUND FLOOR PLAN ELEV. 'A', 'B' & 'C' - L.O.D. COND.

NOTE:  
REFER TO STANDARD FLOOR  
PLANS FOR COMPLETE DIMENSIONS  
& STRUCTURAL INFORMATION



PART. BASEMENT PLAN ELEV. 'A', 'B' & 'C' - L.O.D. COND.

NOTE:  
REFER TO STANDARD FLOOR  
PLANS FOR COMPLETE DIMENSIONS  
& STRUCTURAL INFORMATION



PART. REAR ELEVATION 'A', 'B' & 'C' - L.O.D. COND.

REFER TO FRONT ELEVATION & STANDARD  
REAR FOR TYPICAL NOTES & INFO.

It is the builder's complete responsibility to ensure that all plans submitted for approval and construction comply with all applicable codes and regulations. The architect is not responsible for any errors or omissions in the plans, and the builder is responsible for obtaining all necessary permits and approvals. The architect is not responsible for any errors or omissions in the plans, and the builder is responsible for obtaining all necessary permits and approvals.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT. I HAVE REVIEWED THE PLANS AND FOUND THEM TO BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE BUILDING CODE. I HAVE REVIEWED THE PLANS AND FOUND THEM TO BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE BUILDING CODE.

DECK CONDITIONS  
GOLDPARK HOMES - 217020  
PINE VALLEY, VAUGHAN ONT.  
UNIT 4202 - THE ROSDALE  
REV. 2020.03.30











