



FRONT ELEVATION 'A'



FRONT ELEVATION 'B'



FRONT ELEVATION 'C'

# UNIT 4005 - 'THE EDGEBROOK'

## SB-12 ENERGY EFFICIENCY DESIGN MATRIX

PRESCRIPTIVE COMPLIANCE	SB-12 (SECTION 3.1.1) TABLE 3.1.1.2.A
PACKAGE A1	SPACE HEATING FUEL
	<input checked="" type="checkbox"/> GAS <input type="checkbox"/> OIL
	<input type="checkbox"/> ELECTRIC <input type="checkbox"/> PROPANE
	<input type="checkbox"/> EARTH <input type="checkbox"/> SOLID FUEL

BUILDING COMPONENT	REQUIRED	PROPOSED
INSULATION RSI (R) VALUE		
CEILING W/ ATTIC SPACE	10.56 (R60)	10.56 (R60)
CEILING W/O ATTIC SPACE	5.46 (R31)	5.46 (R31)
EXPOSED FLOOR	5.46 (R31)	5.46 (R31)
WALLS ABOVE GRADE	3.87 (R22)	3.87 (R22)
BASEMENT WALLS * PROPOSED VALUES MAY BE SUBSTITUTED W/ 2.11+1.76ci (R12+R10ci)	3.52 ci (R20 ci) *	3.52 ci (R20 ci) *
BELOW GRADE SLAB ENTIRE SURFACE > 600mm BELOW GRADE	-	-
EDGE OF BELOW GRADE SLAB ≤ 600mm BELOW GRADE	1.76 (R10)	1.76 (R10)
HEATED SLAB OR SLAB ≤ 600mm BELOW GRADE	1.76 (R10)	1.76 (R10)
WINDOWS & DOORS		
WINDOWS/SLIDING GLASS DOORS (MAX U-VALUE)	1.6	1.6
SKYLIGHTS (MAX. U-VALUE)	2.8	2.8
APPLIANCE EFFICIENCY		
SPACE HEATING EQUIP. (AFUE%)	96%	96%
HRV EFFICIENCY (%)	75%	75%
DHW HEATER (EF)	0.8	0.8

AREA CALCULATIONS	EL. 'A'	EL. 'A'	EL. 'B'	EL. 'B'	EL. 'C'	EL. 'C'
	STD. PLAN	OPT. PLAN	STD. PLAN	OPT. PLAN	STD. PLAN	OPT. PLAN
GROUND FLOOR AREA	1565 sq. ft.	1565 sq. ft.	1580 sq. ft.	1580 sq. ft.	1580 sq. ft.	1580 sq. ft.
SECOND FLOOR AREA	1958 sq. ft.	1958 sq. ft.	1975 sq. ft.	1975 sq. ft.	2026 sq. ft.	2026 sq. ft.
SUBTOTAL	3523 sq. ft.	3523 sq. ft.	3555 sq. ft.	3555 sq. ft.	3606 sq. ft.	3606 sq. ft.
DEDUCT ALL OPEN AREAS	104 sq. ft.	115 sq. ft.	118 sq. ft.	129 sq. ft.	118 sq. ft.	131 sq. ft.
TOTAL NET AREA	3419 sq. ft. (317.64 sq. m.)	3408 sq. ft. (316.61 sq. m.)	3437 sq. ft. (319.31 sq. m.)	3426 sq. ft. (318.29 sq. m.)	3488 sq. ft. (324.05 sq. m.)	3475 sq. ft. (322.84 sq. m.)
FINISHED BASEMENT AREA	139 sq. ft.	139 sq. ft.	152 sq. ft.	152 sq. ft.	152 sq. ft.	152 sq. ft.
COVERAGE W/OUT PORCH	1998 sq. ft. (185.62 sq. m.)	1998 sq. ft. (185.62 sq. m.)	2013 sq. ft. (187.01 sq. m.)	2013 sq. ft. (187.01 sq. m.)	2013 sq. ft. (187.01 sq. m.)	2013 sq. ft. (187.01 sq. m.)
COVERAGE W/ PORCH	2045 sq. ft. (189.99 sq. m.)	2045 sq. ft. (189.99 sq. m.)	2077 sq. ft. (192.96 sq. m.)	2077 sq. ft. (192.96 sq. m.)	2075 sq. ft. (192.77 sq. m.)	2075 sq. ft. (192.77 sq. m.)
WINDOW / WALL	EL. 'A'	EL. 'B'	EL. 'C'	EL. 'A' - WOD	EL. 'B' - WOD	EL. 'C' - WOD
AREA CALCULATIONS	STD. & OPT. PLAN	STD. & OPT. PLAN	STD. & OPT. PLAN	STD. & OPT. PLAN	STD. & OPT. PLAN	STD. & OPT. PLAN
GROSS WALL AREA	4169 sq. ft. (387.31 sq. m.)	4221 sq. ft. (392.14 sq. m.)	4357 sq. ft. (404.78 sq. m.)	4418.92 sq. ft. (410.53 sq. m.)	4307.39 sq. ft. (400.17 sq. m.)	4413.86 sq. ft. (410.06 sq. m.)
GROSS WINDOW AREA (INCL. GLASS DOORS & SKYLIGHTS)	377sq. ft. (35.02 sq. m.)	378 sq. ft. (35.12 sq. m.)	458 sq. ft. (42.55 sq. m.)	380.66 sq. ft. (35.36 sq. m.)	381.42 sq. ft. (35.44 sq. m.)	461.66 sq. ft. (42.89 sq. m.)
TOTAL WINDOW %	9.04 %	8.96 %	10.51 %	8.61 %	8.86 %	10.46 %
	EL. 'A' - WOB	EL. 'B' - WOB	EL. 'C' - WOB	EL. 'A' - LOD	EL. 'B' - LOD	EL. 'C' - LOD
	STD. & OPT. PLAN	STD. & OPT. PLAN	STD. & OPT. PLAN	STD. & OPT. PLAN	STD. & OPT. PLAN	STD. & OPT. PLAN
GROSS WALL AREA	4701.83 sq. ft. (436.81 sq. m.)	4590.31 sq. ft. (426.45 sq. m.)	4696.78 sq. ft. (436.35 sq. m.)	4484.54 sq. ft. (416.63 sq. m.)	4373.02 sq. ft. (406.27 sq. m.)	4479.49 sq. ft. (416.16 sq. m.)
GROSS WINDOW AREA (INCL. GLASS DOORS & SKYLIGHTS)	471.05 sq. ft. (43.76 sq. m.)	471.81 sq. ft. (43.83 sq. m.)	552.05 sq. ft. (51.29 sq. m.)	400.66 sq. ft. (37.22 sq. m.)	401.42 sq. ft. (37.29 sq. m.)	481.66 sq. ft. (44.75 sq. m.)
TOTAL WINDOW %	10.02 %	10.28 %	11.75 %	8.93 %	9.18 %	10.75 %



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- 8 - PART. GROUND & SECOND FLOOR PLAN, EL. 'B'
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- W6 - DECK DETAILS 3
- W7 - DECK DETAILS 4

AREA CALCULATIONS	EL. 'A'	EL. 'B'	EL. 'C'
	OPT.SERVICE STAIRS	OPT.SERVICE STAIRS	OPT.SERVICE STAIRS
GROUND FLOOR AREA	1593 sq. ft.	1608 sq. ft.	1608 sq. ft.
SECOND FLOOR AREA	1958 sq. ft.	1975 sq. ft.	2026 sq. ft.
SUBTOTAL	3551 sq. ft.	3583 sq. ft.	3634 sq. ft.
DEDUCT ALL OPEN AREAS	104 sq. ft.	118 sq. ft.	118 sq. ft.
TOTAL NET AREA	3447 sq. ft. (320.24 sq. m.)	3465 sq. ft. (321.91 sq. m.)	3516 sq. ft. (326.65 sq. m.)

9. -	-	-
8. -	-	-
7. -	-	-
6. -	-	-
5. -	-	-
4. -	-	-
3. ISSUED FOR PERMIT	2020.04.01	AW
2. REVISED PER FLOOR/TRUSS/STRUCTURAL	2020.03.31	AW
1. REVISED DESIGN PER CLIENT COMMENTS	2019/10/03	BB
REVISIONS	DATE (YYYY/MM/DD)	BY

### TITLE PAGE

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION  
Allan Whiting 23177  
NAME SIGNATURE BCIN

HUNT DESIGN ASSOCIATES INC. 19695

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www.huntdesign.ca

GOLDPARK HOMES - 217020  
PINE VALLEY, VAUGHAN ONT.

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UNIT 4005 - THE EDGEBROOK  
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QUALIFICATION INFORMATION

Alvan Whiting

NAME  
REGISTRATION INFORMATION

SIGNATURE

23177

BCIN

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19895

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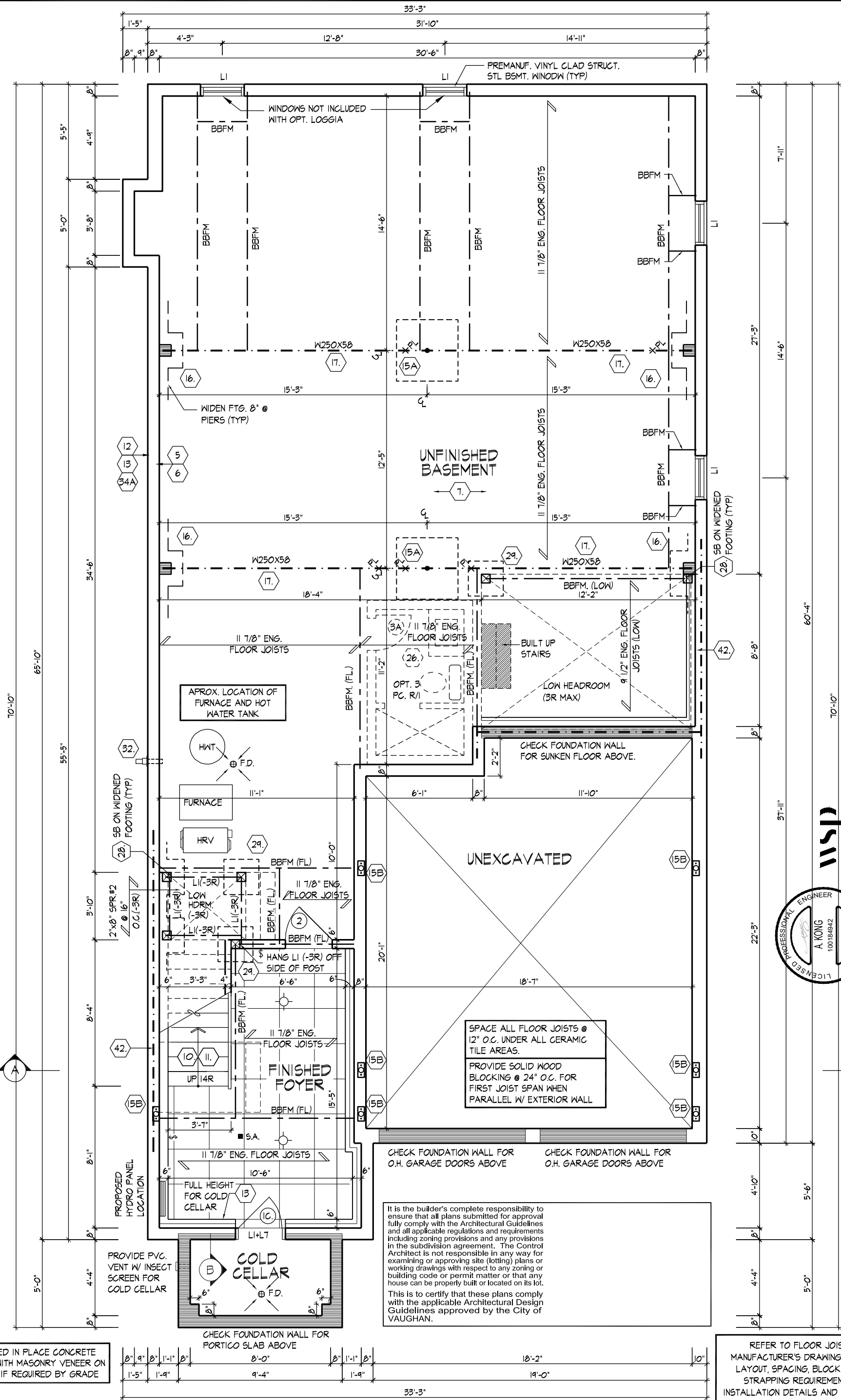
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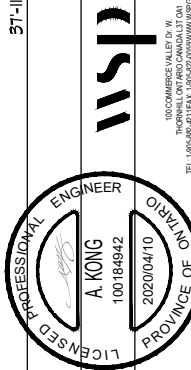
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BASEMENT PLAN, EL. 'A'

BASEMENT PLAN, ELEVATION 'A'



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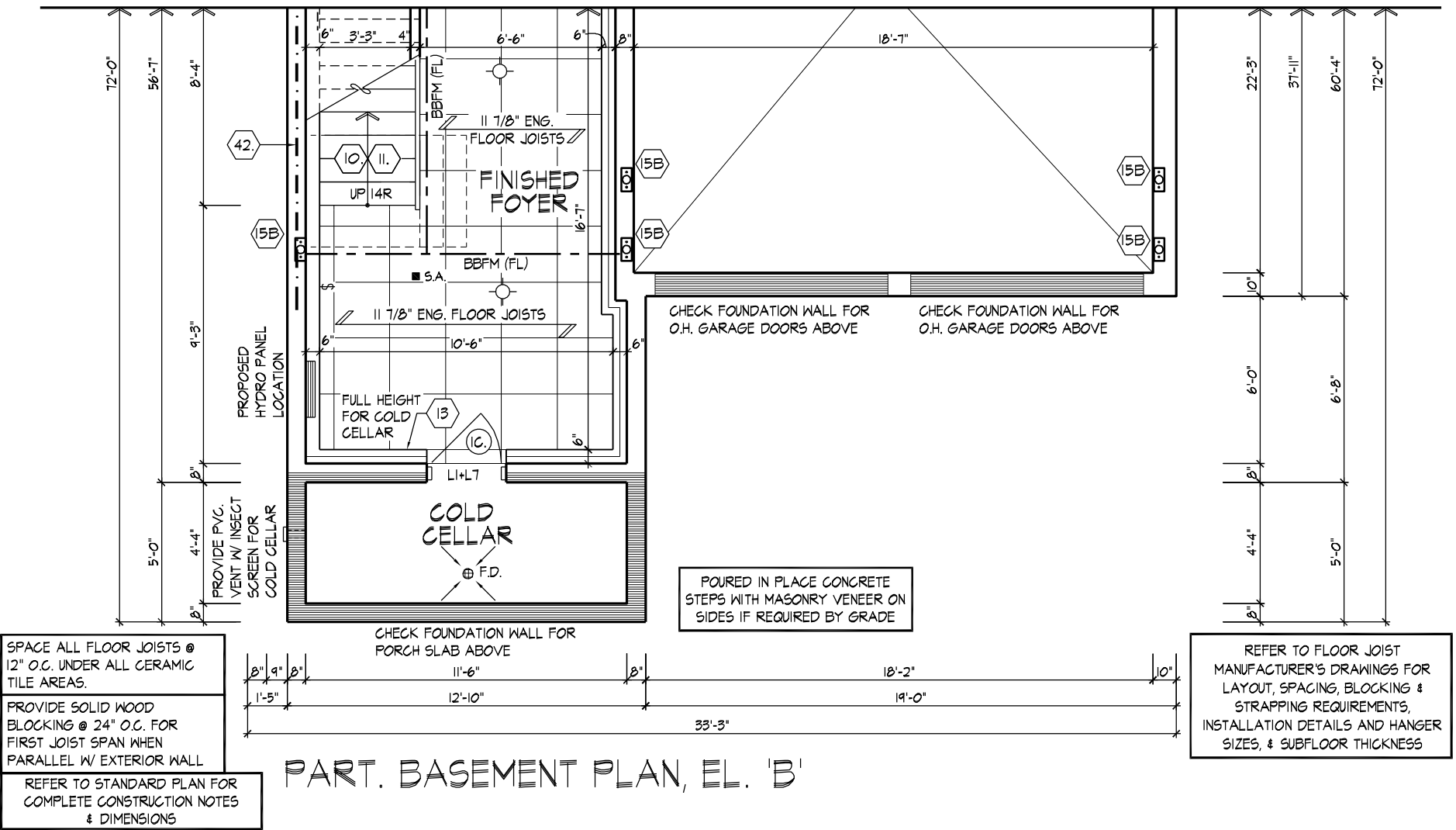
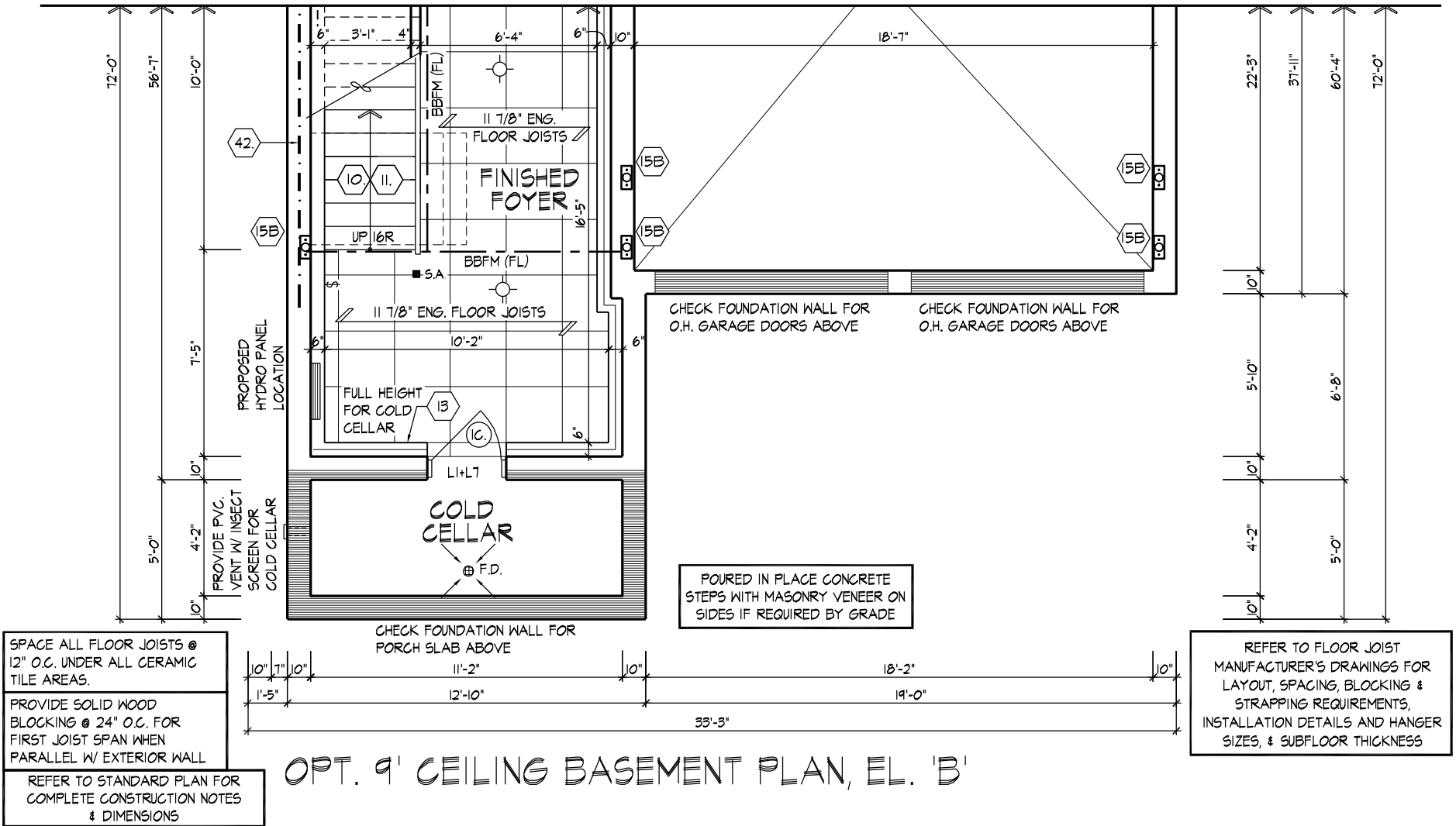




**PART. OPT. 5 BEDROOM GROUND & SECOND FLOOR PLAN, EL. 'A'**

**UNIT 4005 - THE EDGEBROOK**  
REV.2020.04.01

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## PART. BASEMENT FLOOR PLANS, EL. 'B'

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QUALIFICATION INFORMATION  
Allan Whiting 23177  
NAME REGISTRATION INFORMATION SIGNATURE BCIN

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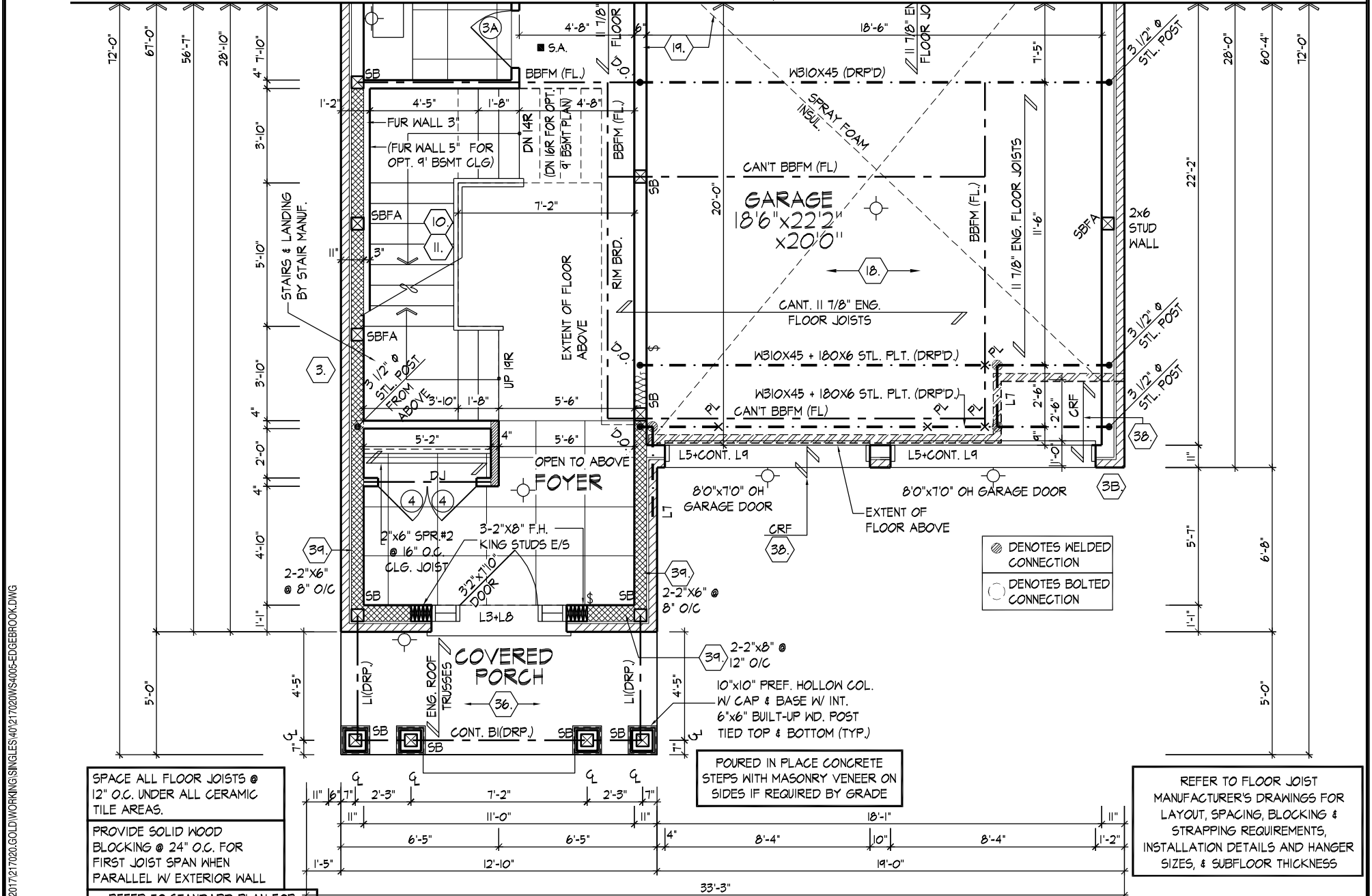
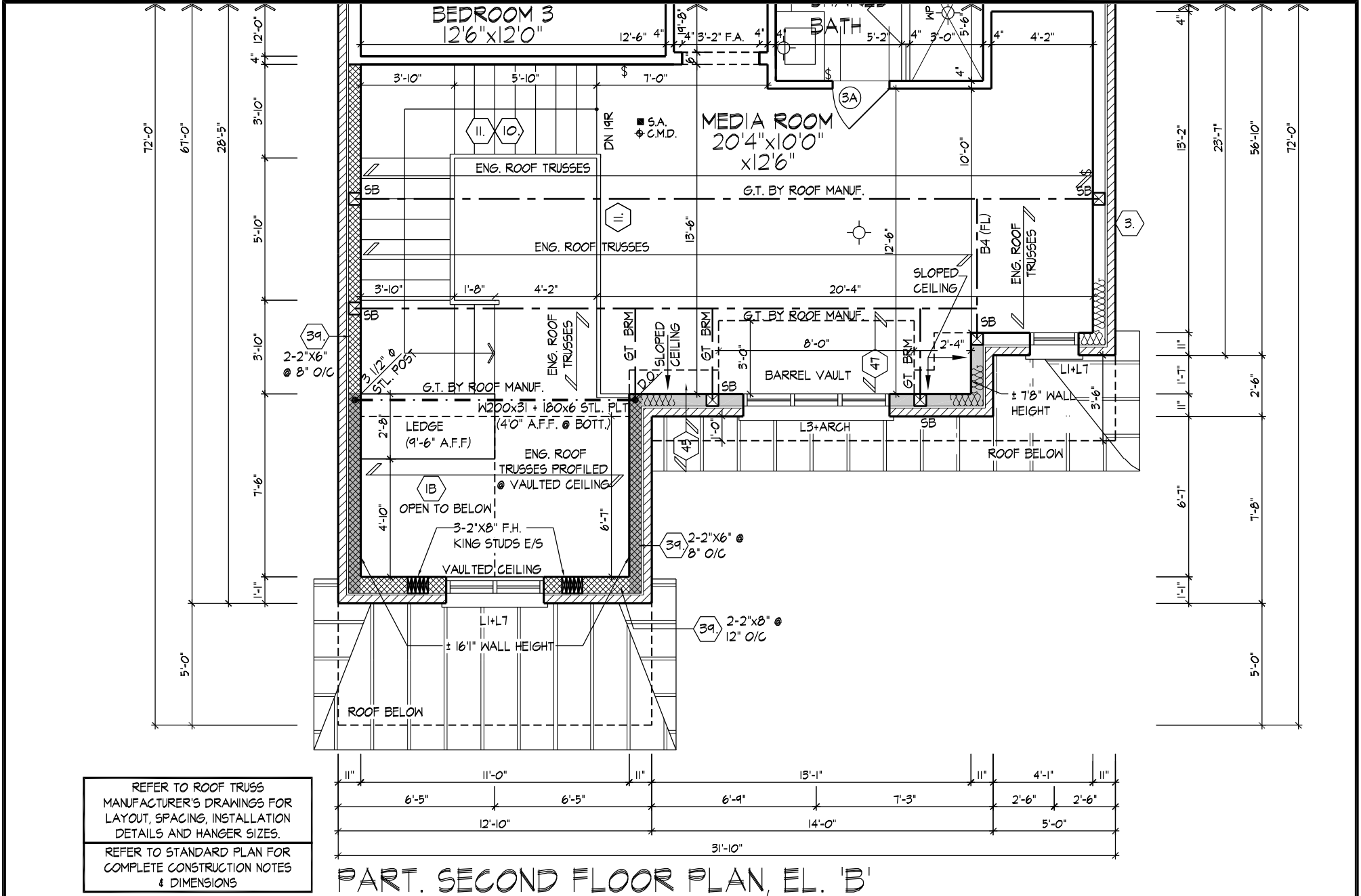
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**UNIT 4005 - THE EDGEBROOK**  
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REFER TO ROOF TRUSS MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, INSTALLATION DETAILS AND HANGER SIZES.

REFER TO STANDARD PLAN FOR COMPLETE CONSTRUCTION NOTES & DIMENSIONS

REFER TO FLOOR JOIST MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, BLOCKING & STRAPPING REQUIREMENTS, INSTALLATION DETAILS AND HANGER SIZES, & SUBFLOOR THICKNESS

SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

PROVIDE SOLID WOOD BLOCKING @ 24" O.C. FOR FIRST JOIST SPAN WHEN PARALLEL W/ EXTERIOR WALL

REFER TO STANDARD PLAN FOR COMPLETE CONSTRUCTION NOTES & DIMENSIONS

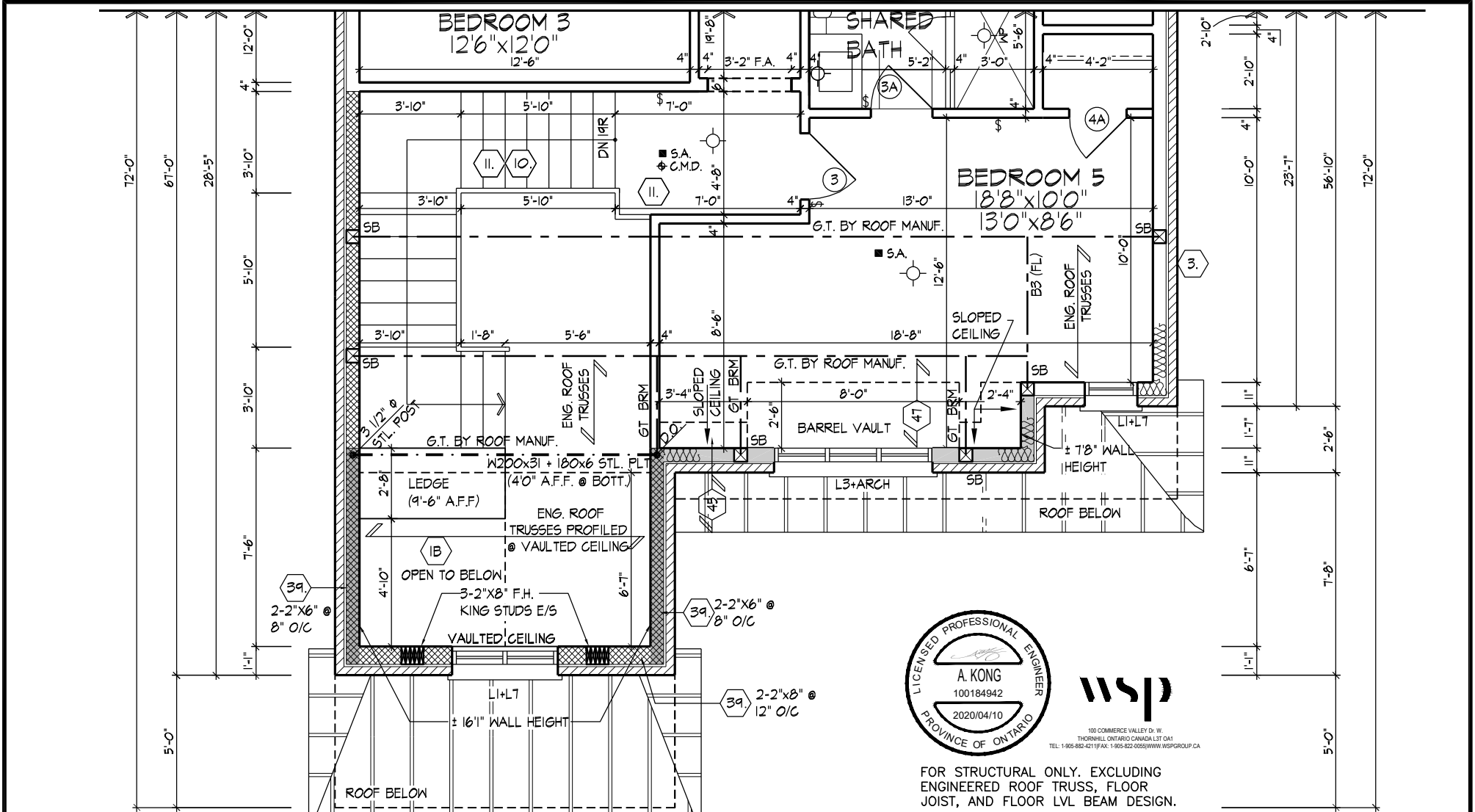
POURED IN PLACE CONCRETE STEPS WITH MASONRY VENEER ON SIDES IF REQUIRED BY GRADE

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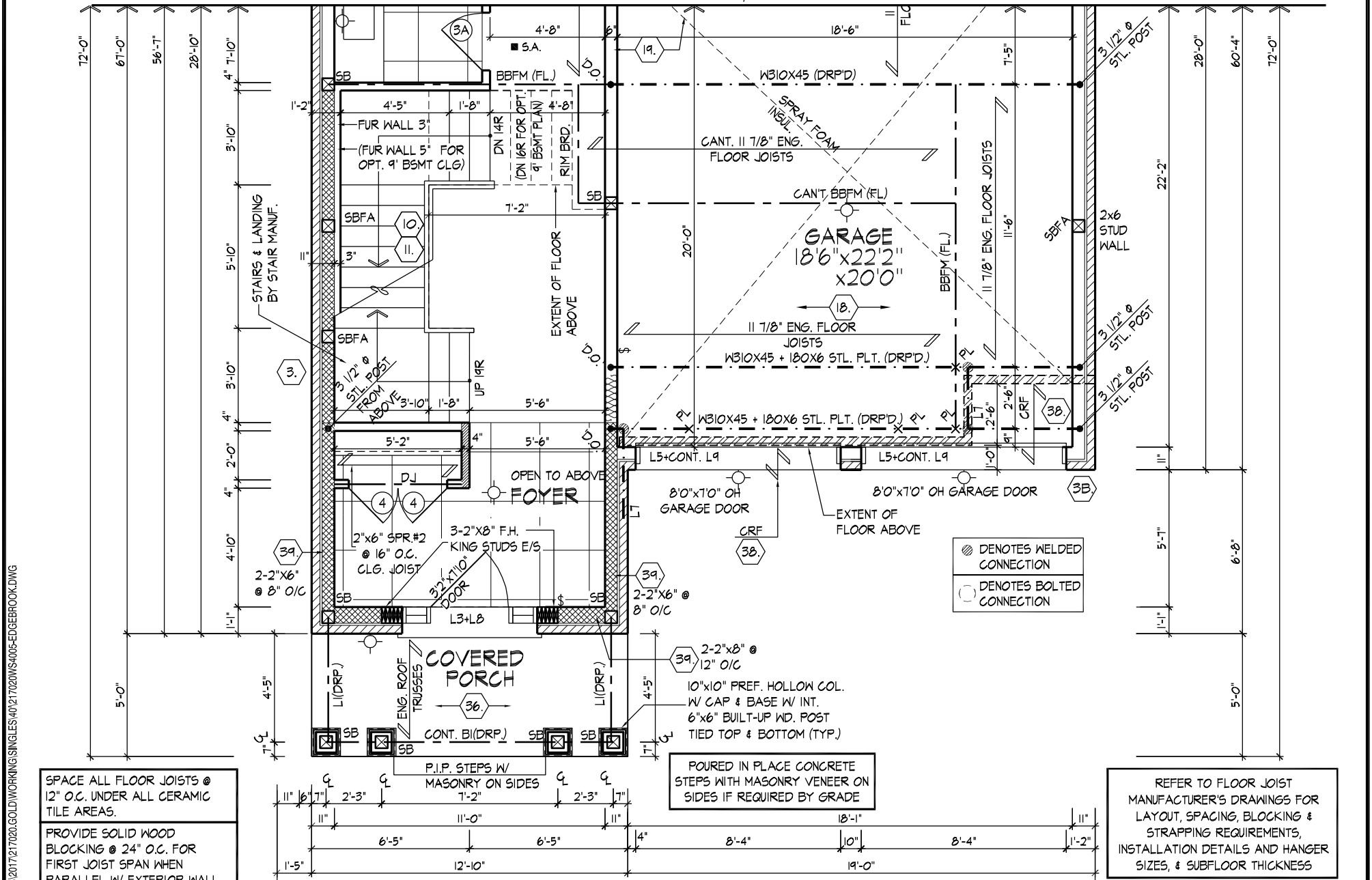
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**PART. GROUND & SECOND FLOOR PLAN, EL. 'B'**



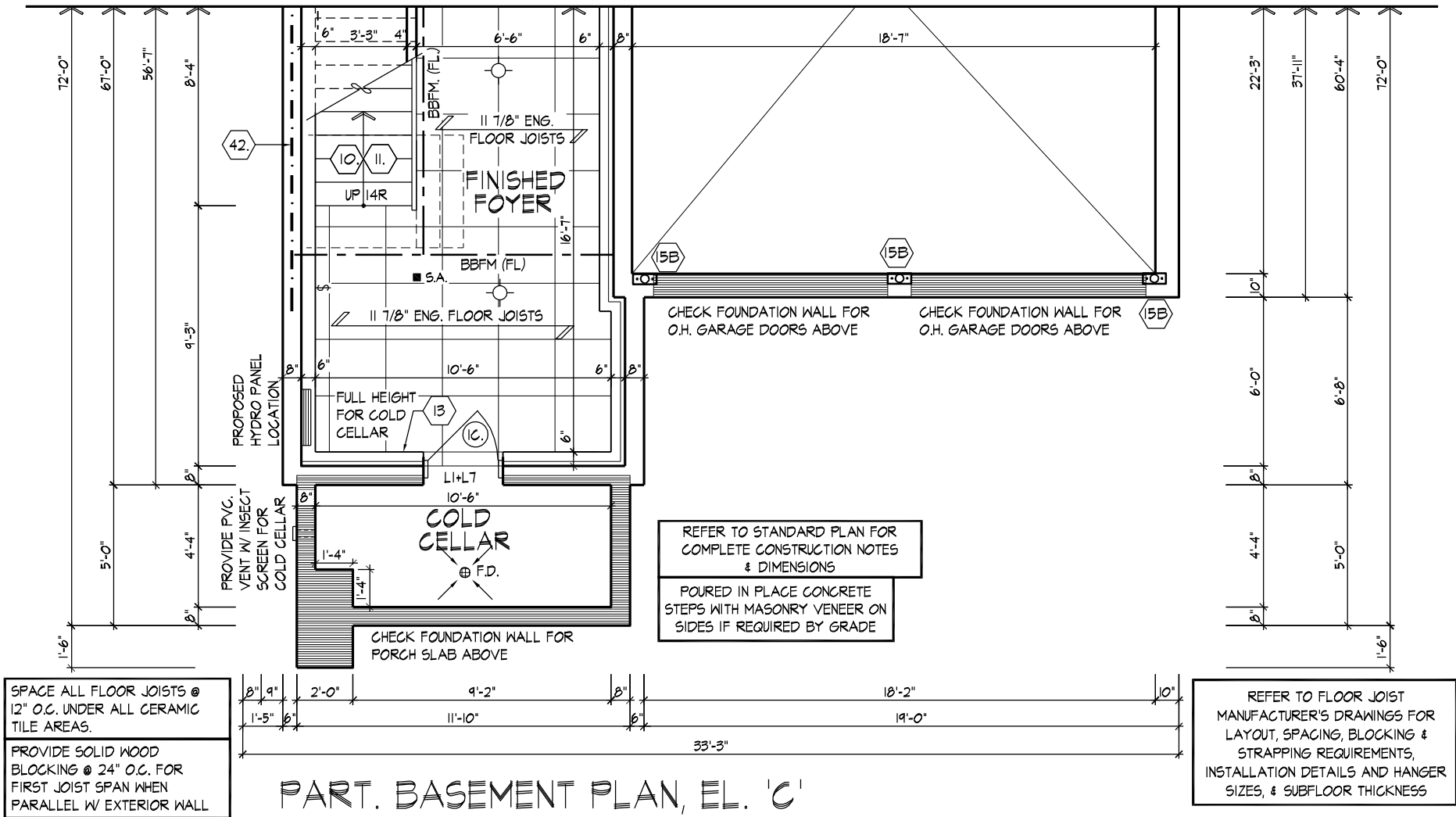
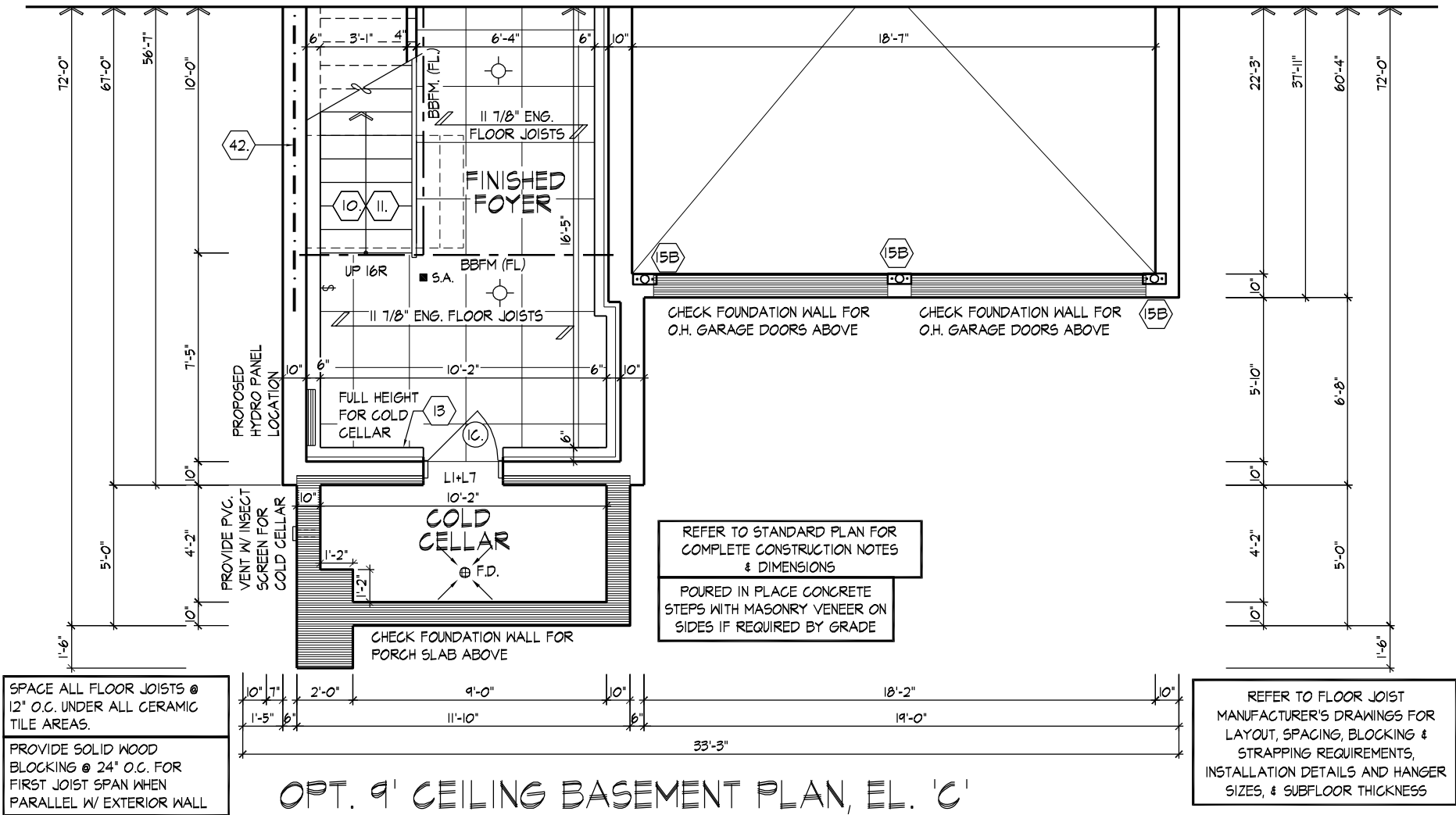
PART. SECOND FLOOR PLAN, EL. 'B' - OPT. 5 BEDROOM PLAN



PART. GROUND FLOOR PLAN, EL. 'B' - OPT. 5 BEDROOM PLAN

PART. OPT. 5 BEDROOM SECOND & GROUND FLOOR PLAN, EL. 'B'





wsp

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## PART. BASEMENT FLOOR PLANS, EL. 'C'

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NAME: Allan Whiting  
REGISTRATION INFORMATION: 23177  
SIGNATURE: [Signature]  
BCIN: [BCIN]

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Scale: 3/16"=1'-0"

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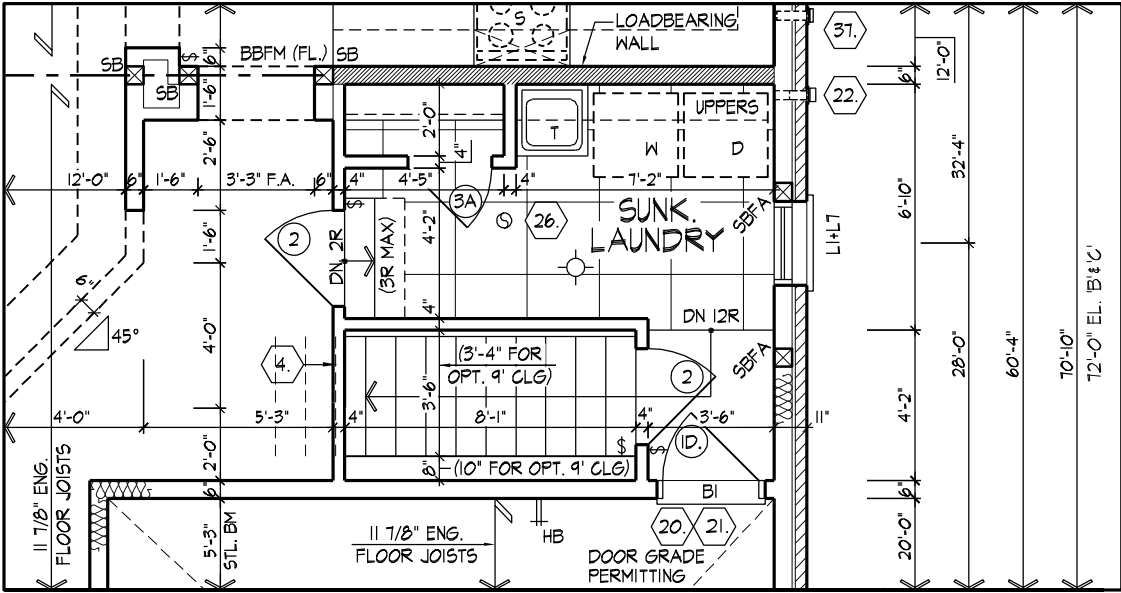
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REFER TO STANDARD PLAN FOR COMPLETE CONSTRUCTION NOTES & DIMENSIONS

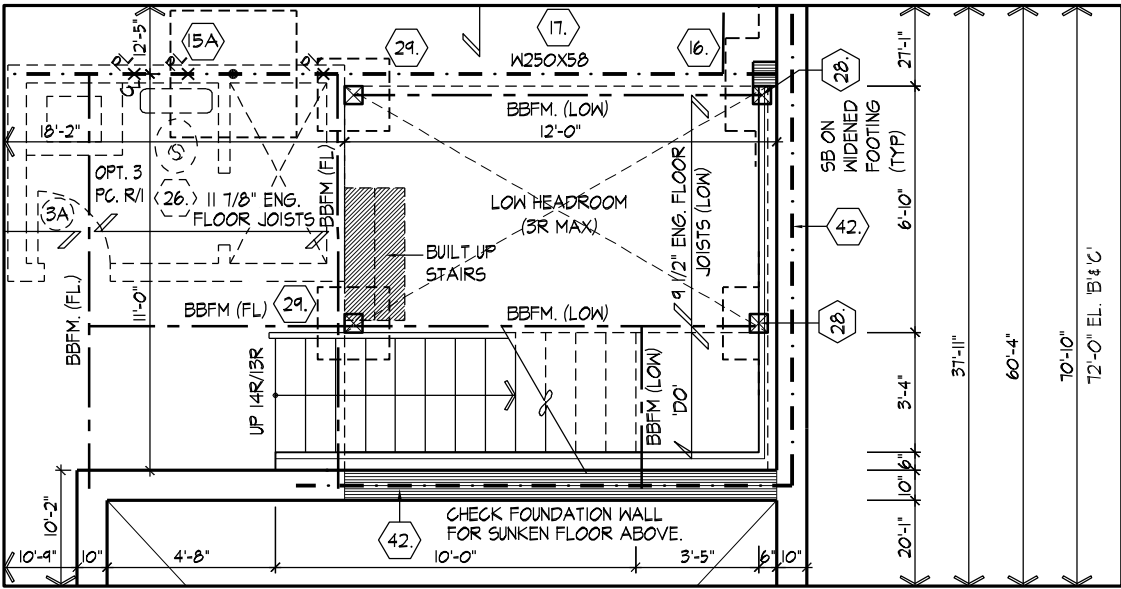
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PART. OPT. GROUND FLOOR PLAN W/ SERVICE STAIRS, EL. 'A', 'B', 'C'

REFER TO STANDARD PLAN FOR COMPLETE CONSTRUCTION NOTES & DIMENSIONS

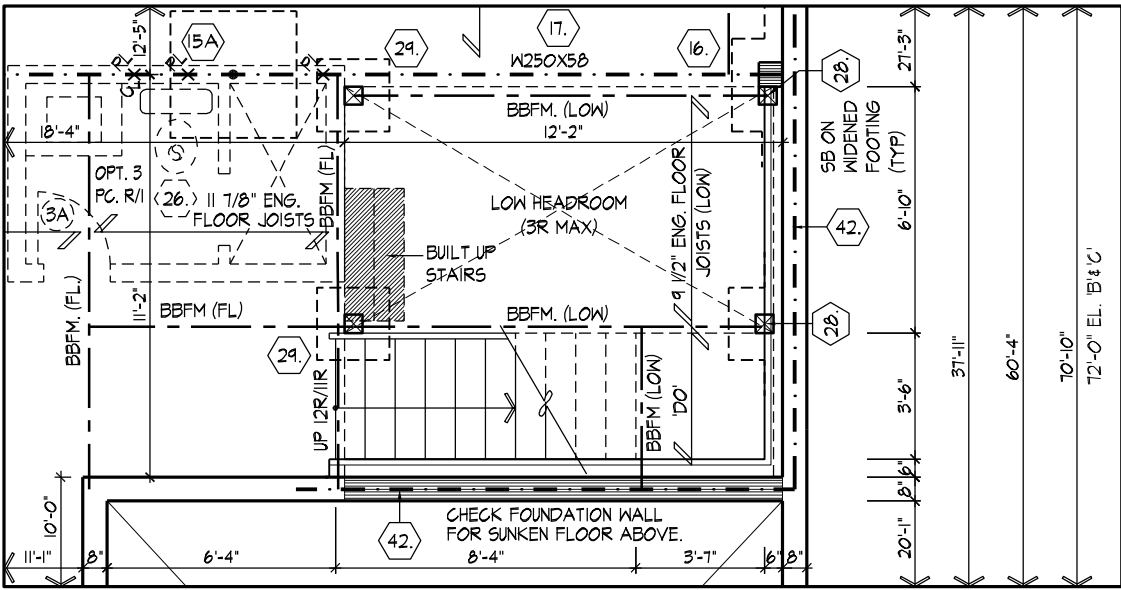
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PART. OPT. 9' CLG. BASEMENT PLAN W/ SERVICE STAIRS, EL. 'A', 'B', 'C'

REFER TO STANDARD PLAN FOR COMPLETE CONSTRUCTION NOTES & DIMENSIONS

REFER TO FLOOR JOIST MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, BLOCKING & STRAPPING REQUIREMENTS, INSTALLATION DETAILS AND HANGER SIZES, & SUBFLOOR THICKNESS



PART. OPT. STD. BASEMENT PLAN W/ SERVICE STAIRS, EL. 'A', 'B', 'C'



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PART. OPT. PLANS W/ SERVICE STAIRS, EL. 'A', 'B', 'C'

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NAME: Allan Whiting  
SIGNATURE: [Signature]  
BCIN: 23177

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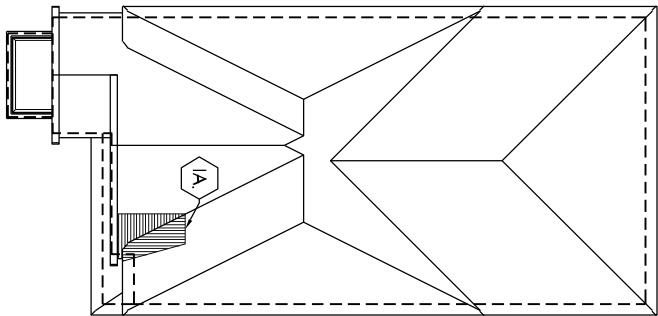
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Checked By: [Signature]  
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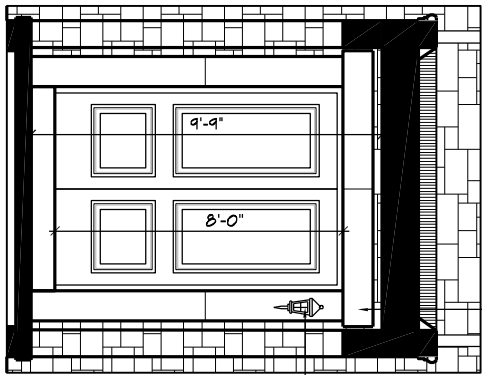
# ROOF PLAN, EL. 'A' N.T.S.

ROOF OVERHANGS TO BE 15"  
FOR BELL CURVE ROOFS UNLESS  
NOTED OTHERWISE

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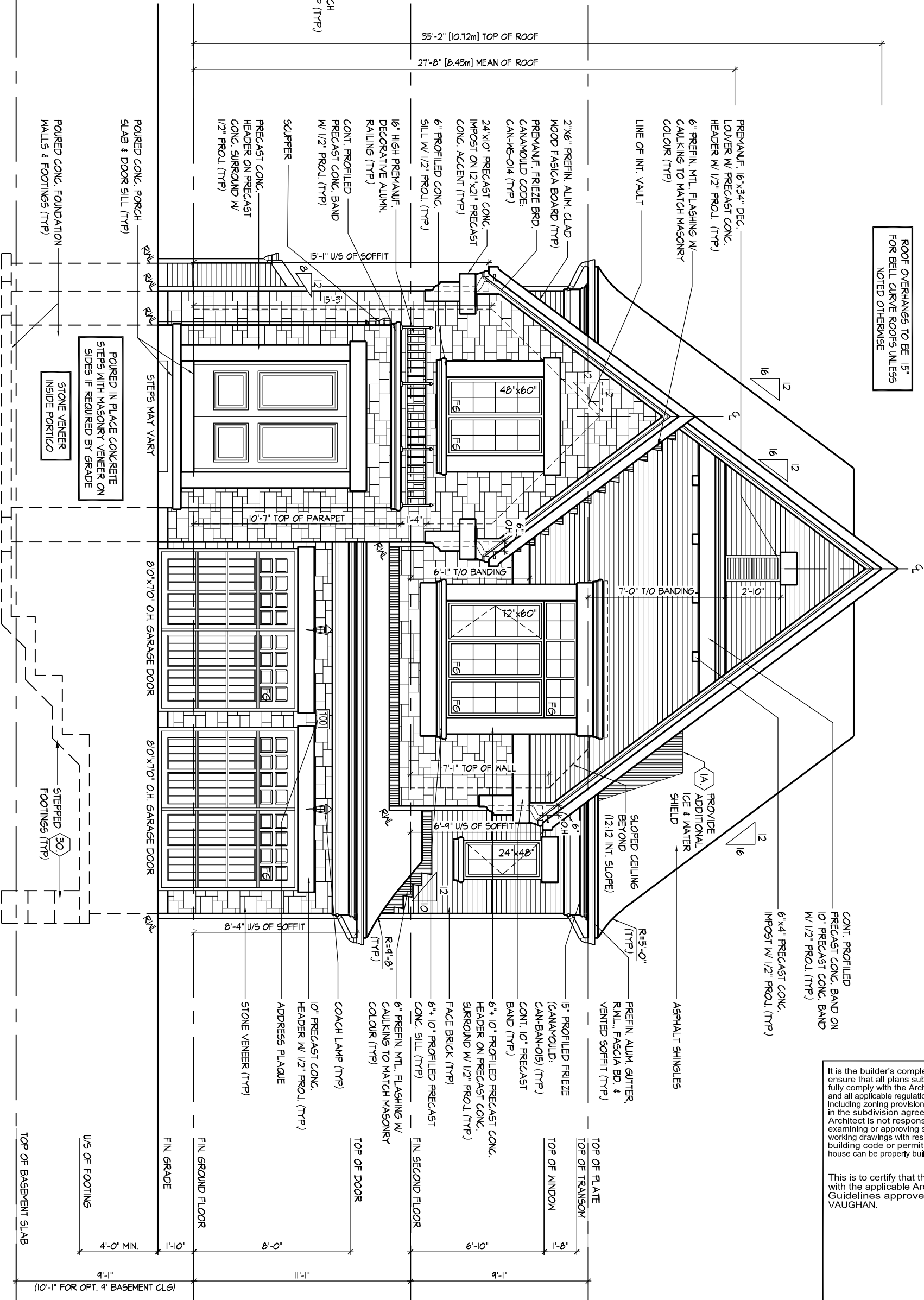
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## FRONT ELEVATION 'A'



# PARTIAL PORTICO INT. ELEV.

## FRONT ELEVATION 'A'



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QUALIFICATION INFORMATION

NAME: Alan Whiting

REGISTRATION INFORMATION

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BCIN

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Drawn By: SN

Checked By: AW

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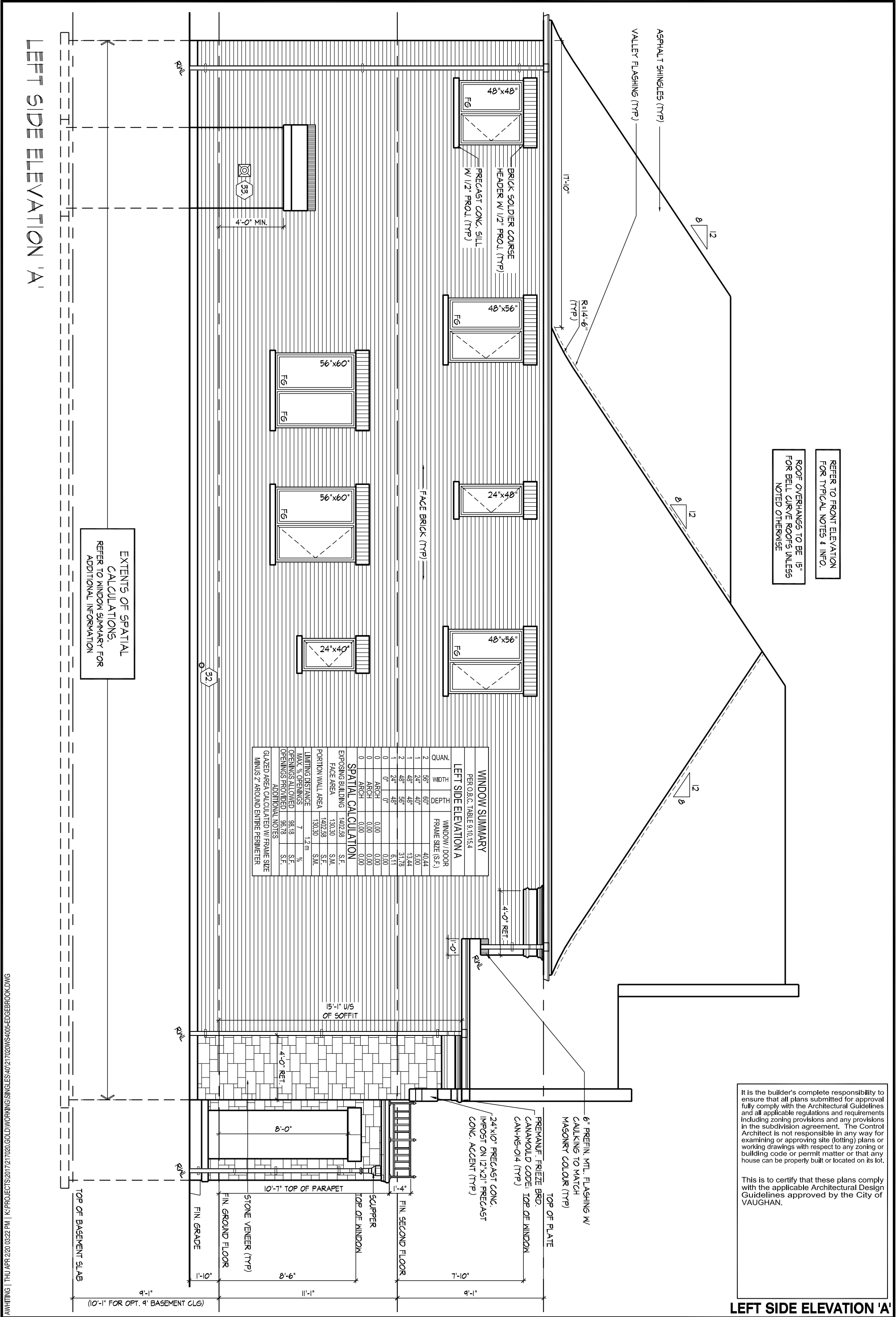
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Page Number: 14 of 28

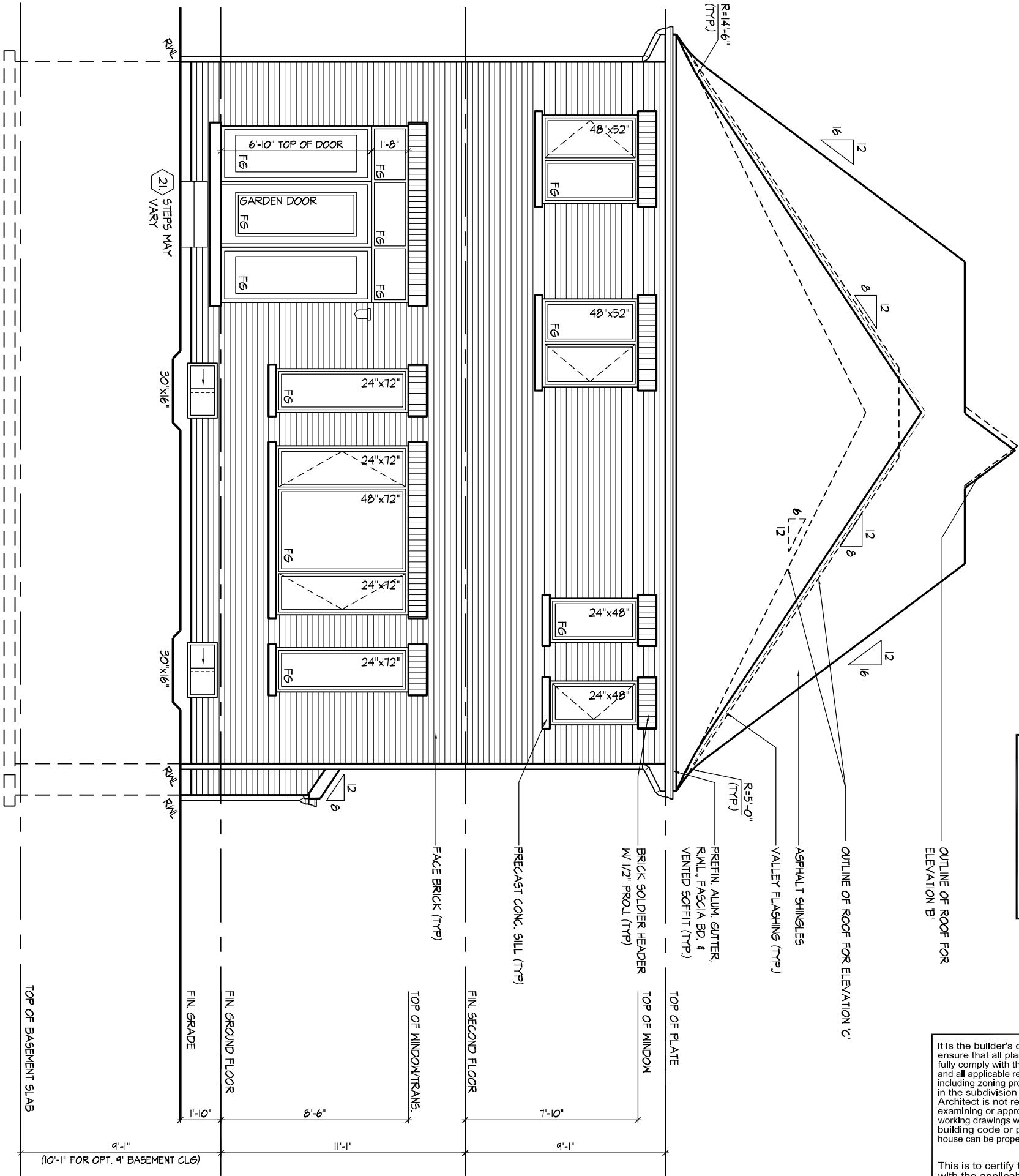
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WINDOW SUMMARY			
PER O.B.C. TABLE 9.10.15.4			
REAR ELEVATION A, B & C			
QUAN.	FIN. DIM.	FIN. DIM.	WINDOW / DOOR FRAME SIZE (S.F.)
2	48"	52"	28.33
2	24"	48"	12.22
4	24"	72"	37.78
1	48"	72"	20.78
2	30"	16"	4.33
0	0"	0"	0.00
0	0"	0"	0.00
1	DOOR	27.52	27.52
1	TRANSOM	10.98	10.98
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00
SPATIAL CALCULATION			
EXPOSING BUILDING		700.33	S.F.
FACE AREA		65.06	S.M.
PORTION WALL AREA		700.33	S.F.
LIMITING DISTANCE		65.06	S.M.
MAX. % OPENINGS		60.50	%
OPENINGS ALLOWED		353.87	S.F.
OPENINGS PROVIDED		142.94	S.F.
ADDITIONAL NOTES			
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER			



REFER TO FRONT ELEVATION  
FOR TYPICAL NOTES & INFO.

ROOF OVERHANGS TO BE 15"  
FOR BELL CURVE ROOFS UNLESS  
NOTED OTHERWISE

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REAR ELEVATION 'A' , 'B' & 'C'

UNIT 4005 - THE EDGEBROOK

REV.2020.04.01

GOLDPARK HOMES - 217020

PINE VALLEY, VAUGHAN ONT.

Drawn By	Checked By	Scale	File Number	Page Number
SN	AW	3/16"=1'-0"	217020WS4005	17 of 28
8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326				

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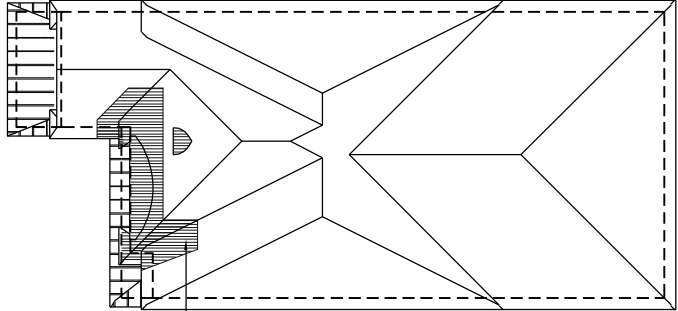
QUALIFICATION INFORMATION

Allan Whiting 23177

NAME SIGNATURE BCIN

REGISTRATION INFORMATION

HUNT DESIGN ASSOCIATES INC. 19695



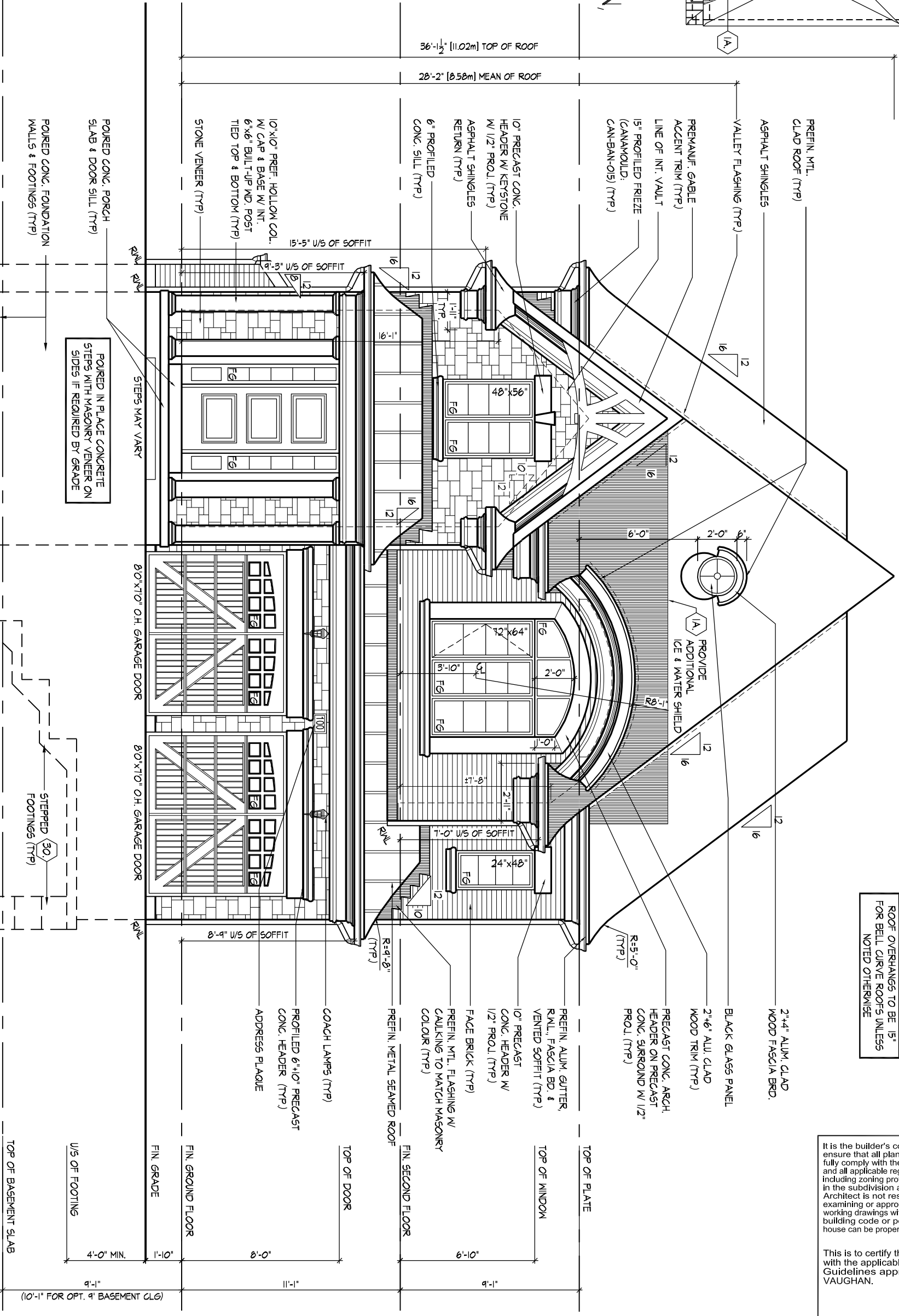
EL. 'B' N.T.S.  
ROOF PLAN,

ROOF OVERHANGS TO BE 15"  
FOR BELL CURVE ROOFS UNLESS  
NOTED OTHERWISE

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FRONT ELEVATION 'B'



FRONT ELEVATION 'B'

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QUALIFICATION INFORMATION  
Allan Whiting  
NAME  
REGISTRATION INFORMATION  
HUNT DESIGN ASSOCIATES INC.

23177  
BCIN  
19695

HUNT  
DESIGN ASSOCIATES INC.  
www.huntdesign.ca

GOLDPARK HOMES - 217020  
PINE VALLEY, VAUGHAN ONT.  
Drawn By  
Checked By  
Scale  
3/16"=1'-0"

UNIT 4005 - THE EDGEBROOK  
REV.2020.04.01  
File Number  
217020WS4005  
Page Number  
18 of 28  
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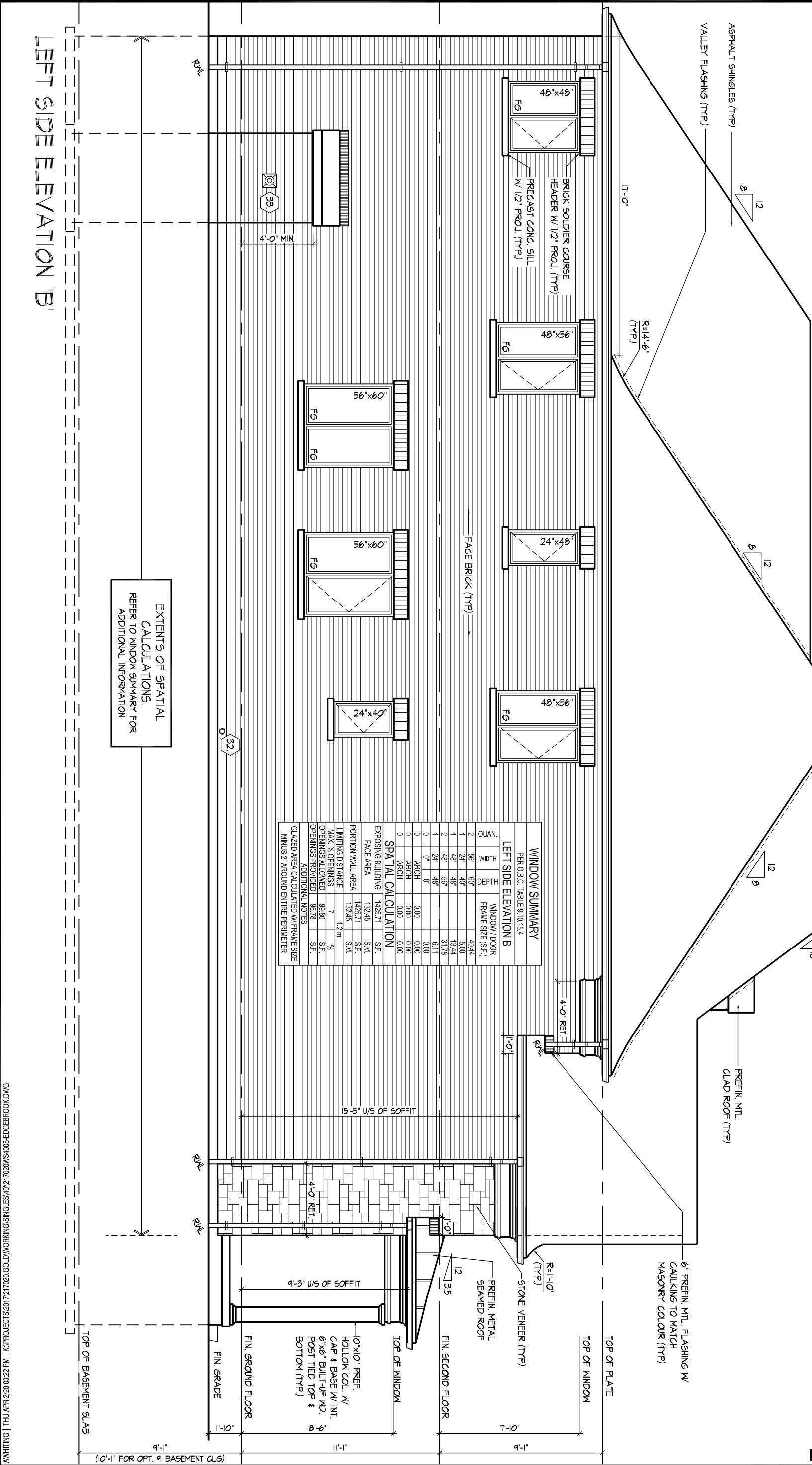
REFER TO FRONT ELEVATION  
FOR TYPICAL NOTES & INFO.

ROOF OVERHANGS TO BE 15"  
FOR BELL CURVE ROOFS UNLESS  
NOTED OTHERWISE

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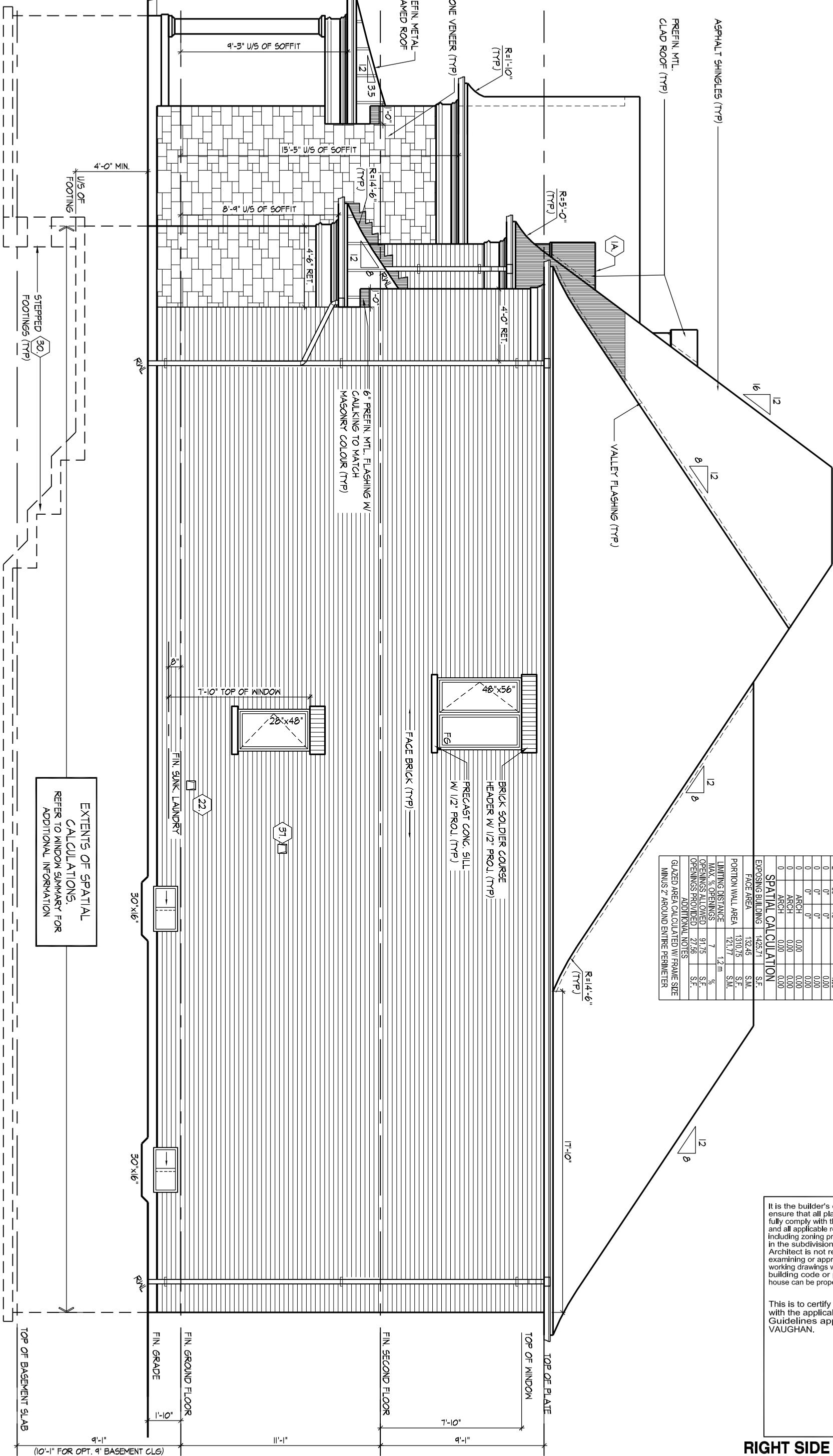
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LEFT SIDE ELEVATION 'B'



WINDOW SUMMARY			
PER O.B.C. TABLE 9.10.15.4			
LEFT SIDE ELEVATION B			
QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)
2	56"	60"	40.44
1	24"	40"	9.00
1	48"	48"	13.44
2	48"	56"	31.78
1	24"	48"	6.17
0	0"	0"	0.00
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00
SPATIAL CALCULATION			
EXPOSING BUILDING			
FACE AREA			
1425.71			
S.F.			
132.45			
S.M.			
PORTION WALL AREA			
132.45			
S.M.			
LIMITING DISTANCE			
1.2 m			
MAX % OPENINGS			
7			
%			
OPENINGS ALLOWED			
99.80			
S.F.			
OPENINGS PROVIDED			
96.78			
S.F.			
ADDITIONAL NOTES			
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER			





WINDOW SUMMARY				
PER O.C. TABLE 9.10.5.4				
RIGHT SIDE ELEVATION B				
QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	
1	48"	56"	15.89	
2	28"	48"	7.33	
2	30"	16"	4.33	
0	0"	0"	0.00	
0	0"	0"	0.00	
0	0"	0"	0.00	
0	ARCH	0.00	0.00	
0	ARCH	0.00	0.00	
0	ARCH	0.00	0.00	
0	ARCH	0.00	0.00	
SPATIAL CALCULATION				
EXPOSING BUILDING	1435.71	S.F.		
FACE AREA	132.45	S.M.		
PORTION WALL AREA	1310.75	S.F.		
	121.77	S.M.		
LIMITING DISTANCE		1.2 m		
MAX. OPENINGS		%		
OPENINGS ALLOWED	91.75	S.F.		
OPENINGS PROVIDED	27.56	S.F.		
ADDITIONAL NOTES				
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER				

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**GOLDPARK HOMES - 217020**  
PINE VALLEY, VAUGHAN ONT.

Drawn By  
SN

Checked By  
AW

Scale  
3/16" = 1'-0"

Drawn By	Checked By	Scale	File Number
SN	AW	3/16"=1'-0"	217020WS4005
8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326			

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20 of 28

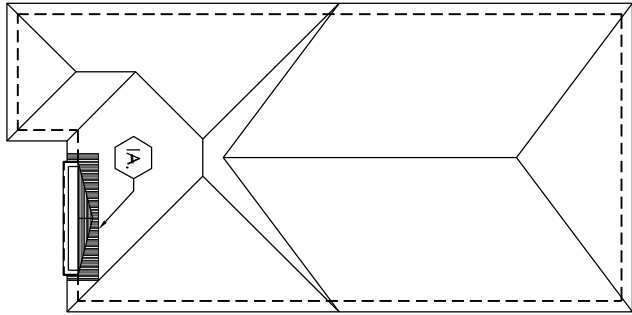
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QUALIFICATION INFORMATION

Allan Whiting		23177
NAME	SIGNATURE	BCIN
REGISTRATION INFORMATION		
HUNT DESIGN ASSOCIATES INC.		19695

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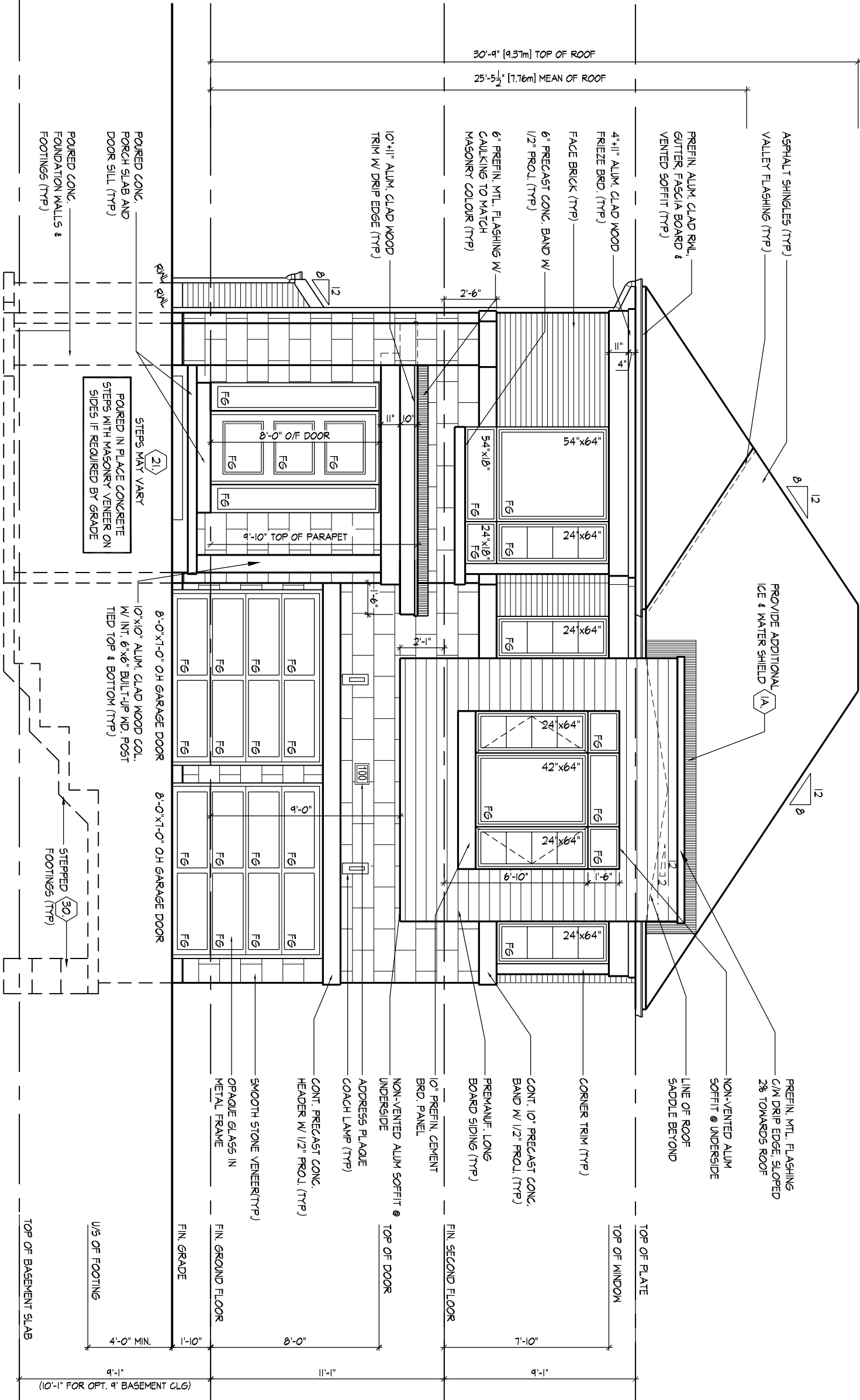
ROOF PLAN,  
EL. 'C' NTS.

ROOF OVERHANGS TO BE 15"  
FOR BELL CURVE ROOFS UNLESS  
NOTED OTHERWISE

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FRONT ELEVATION 'C'



FRONT ELEVATION 'C'

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QUALIFICATION INFORMATION

NAME: Alan Whiting

REGISTRATION INFORMATION

HUNT DESIGN ASSOCIATES INC.

23177

SIGNATURE

BCIN

19695

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GOLDPARK HOMES - 217020  
PINE VALLEY, VAUGHAN ONT.

Drawn By

Checked By

Scale

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UNIT 4005 - THE EDGEBROOK  
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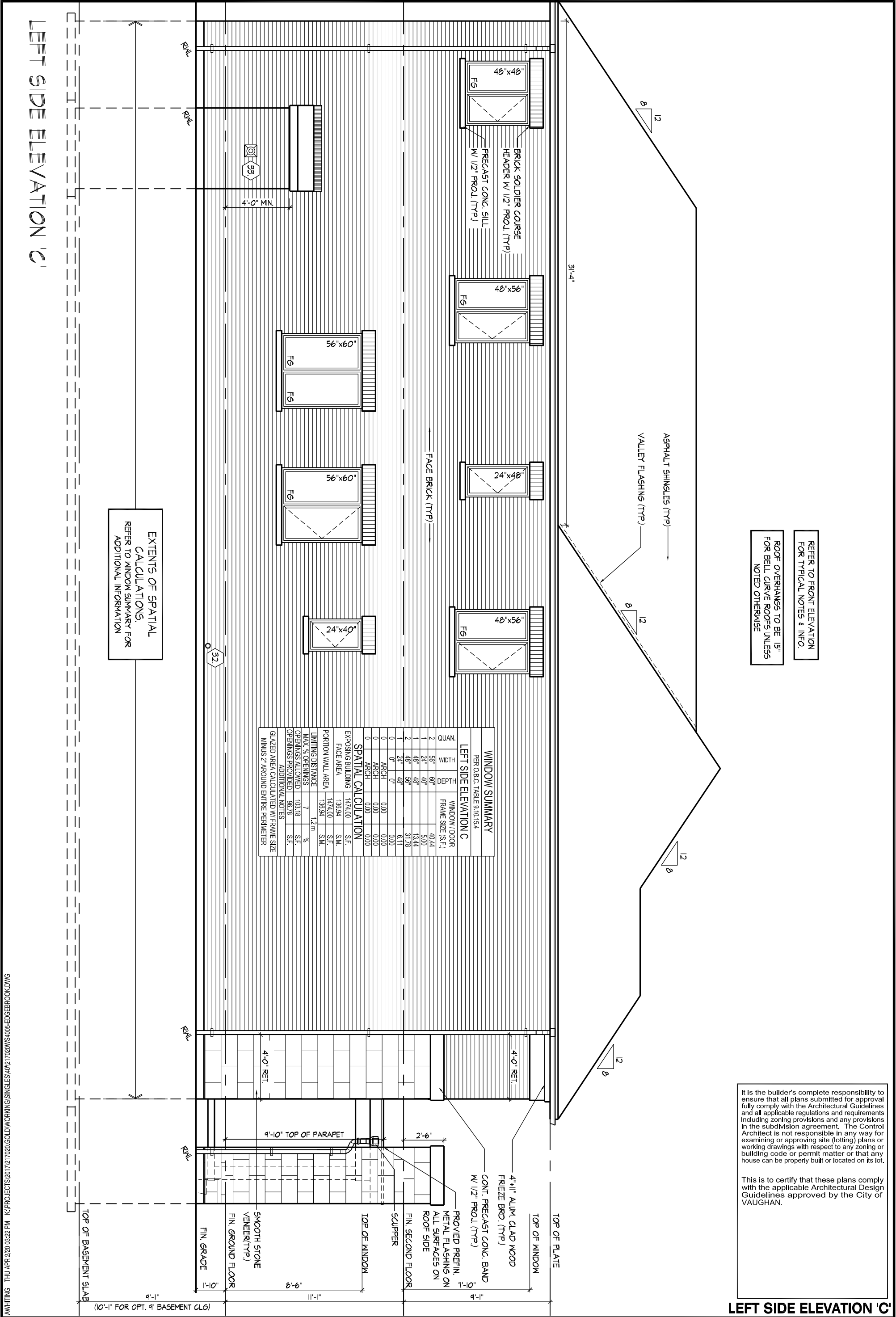
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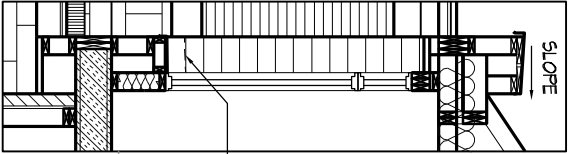
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6" MTL. FLASHING W/  
CAULKING BEYOND (TYP)

6" MTL. FLASHING W/  
CAULKING BEYOND (TYP)

## SECTION C

8 12

SLOPE

8 12

SLOPE

ASPHALT SHINGLES (TYP)  
VALLEY FLASHING (TYP)

31'-4"

8 12

REFER TO FRONT ELEVATION  
FOR TYPICAL NOTES & INFO.

ROOF OVERHANGS TO BE 15"  
FOR BELL CURVE ROOFS UNLESS  
NOTED OTHERWISE

WINDOW SUMMARY				
PER O.B.C. TABLE 9.10.15.4				
RIGHT SIDE ELEVATION C				
QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	
1	48"	56"	15.89	
1	28"	48"	7.33	
2	30"	16"	4.33	
2	36"	64"	26.67	
1	36"	18"	3.11	
0	0"	0"	0.00	
0	ARCH	0.00	0.00	
0	ARCH	0.00	0.00	
SPATIAL CALCULATION				
EXPOSING BUILDING	1474.00	S.F.		
FACE AREA	138.94	S.M.		
PORTION WALL AREA	138.94	S.M.		
LIMITING DISTANCE	1.2 m	%		
MAX. % OPENINGS	7	%		
OPENINGS ALLOWED	103.18	S.F.		
OPENINGS PROVIDED	57.33	S.F.		
ADDITIONAL NOTES				
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER				

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## RIGHT SIDE ELEVATION 'C'

GOLDPARK HOMES - 217020  
PINE VALLEY, VAUGHAN ONT.

UNIT 4005 - THE EDGEBROOK  
REV.2020.04.01

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File Number  
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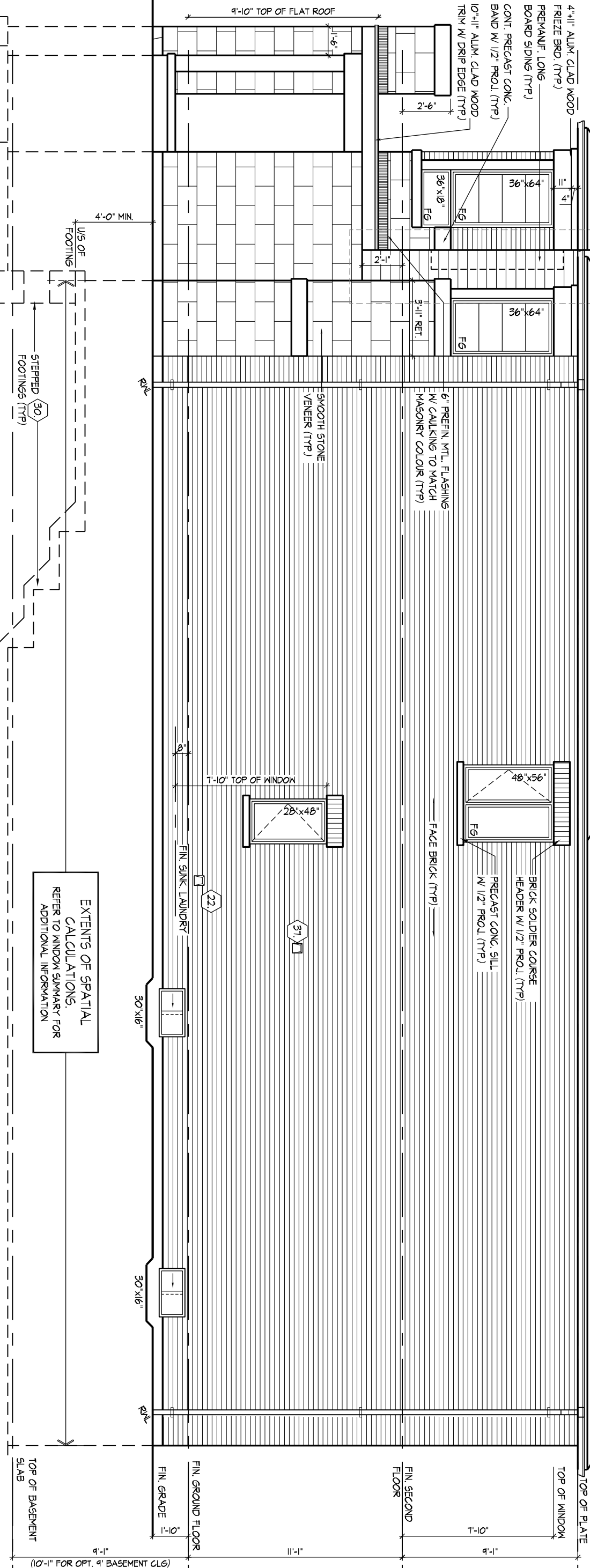
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REGISTRATION INFORMATION  
HUNT DESIGN ASSOCIATES INC.

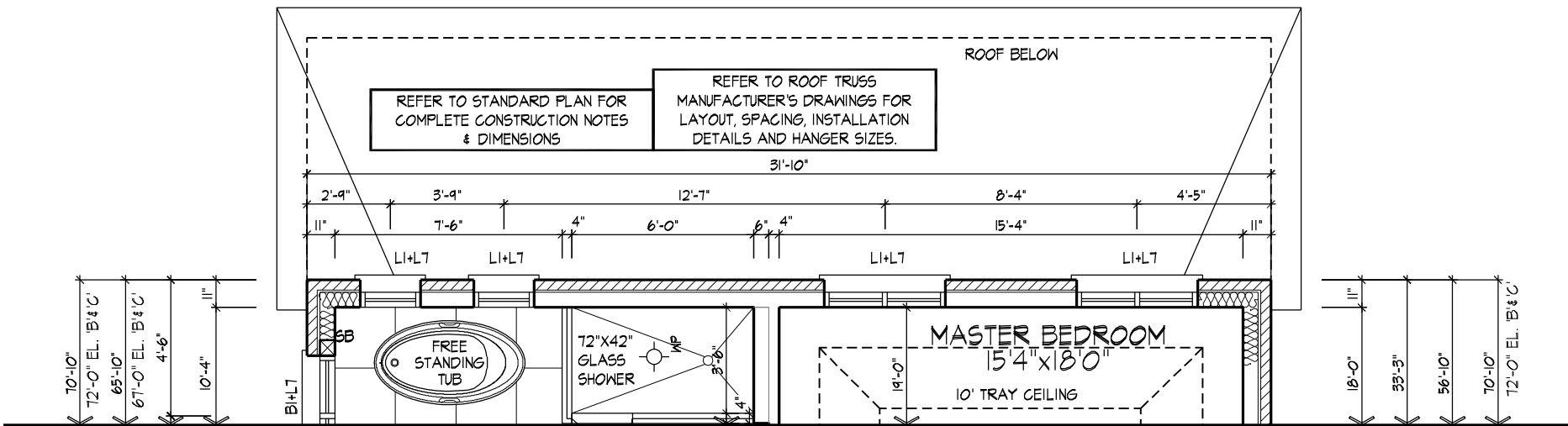
SIGNATURE  
BCIN  
19695

23177

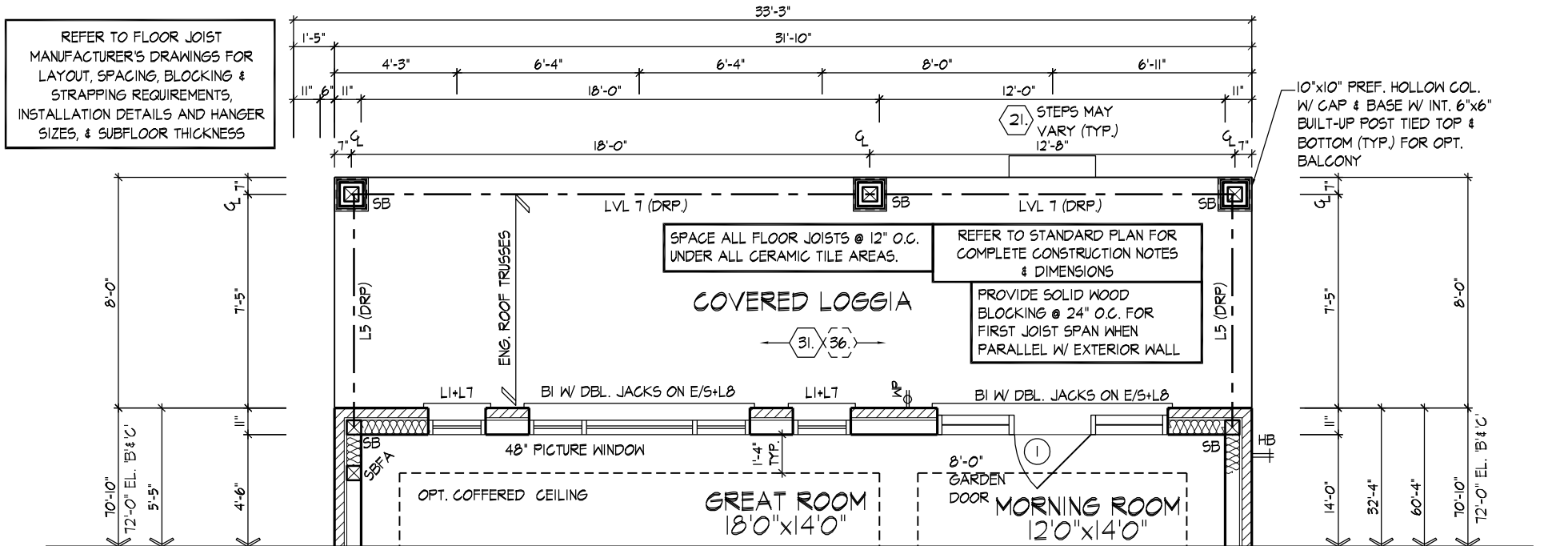
## RIGHT SIDE ELEVATION 'C'



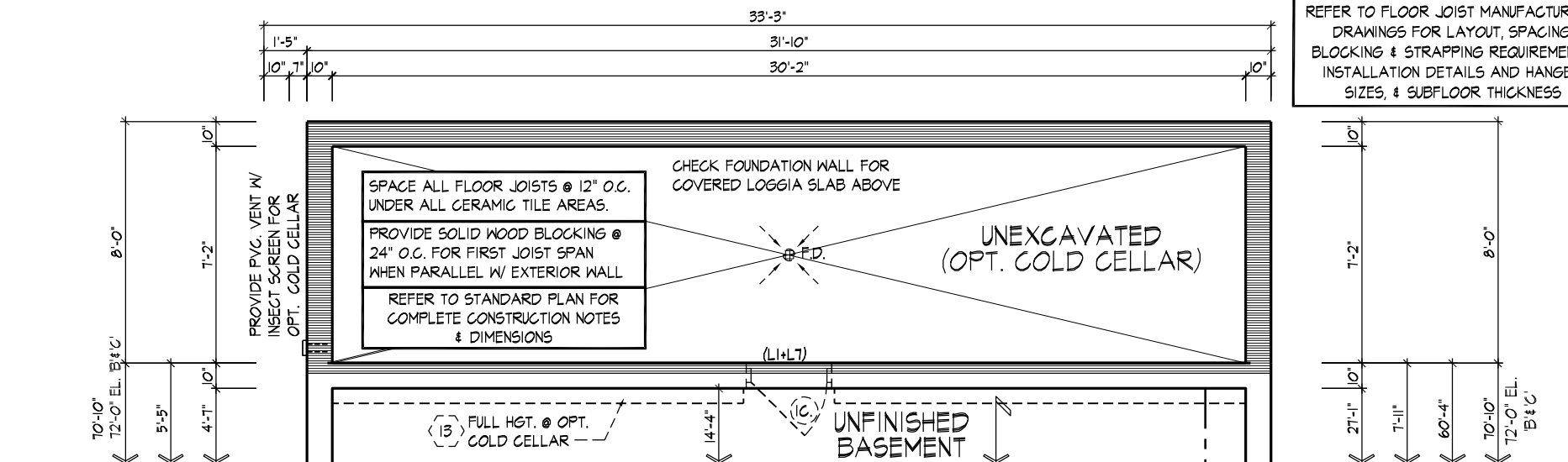
EXTENTS OF SPATIAL  
CALCULATIONS  
REFER TO WINDOW SUMMARY FOR  
ADDITIONAL INFORMATION



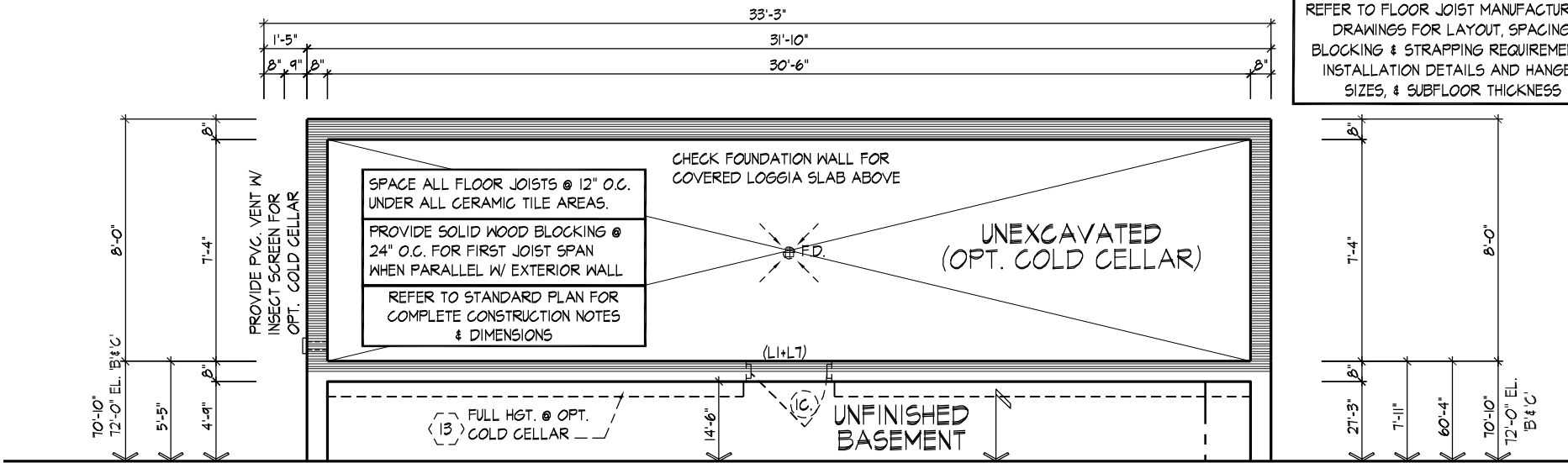
PART. SECOND FLOOR PLAN, EL. 'A', 'B' & 'C' FOR OPT. LOGGIA



PART. GROUND FLOOR PLAN, EL. 'A', 'B' & 'C' FOR OPT. LOGGIA



PART. OPT. 9' CLG., BASEMENT PLAN, EL. 'A', 'B' & 'C' FOR OPT. LOGGIA



PART. BASEMENT PLAN, EL. 'A', 'B' & 'C' FOR OPT. LOGGIA

AREA CALCULATIONS	EL. 'A'	EL. 'B'	EL. 'C'
	STD/OPT. PLAN	STD/OPT. PLAN	STD/OPT. PLAN
COVERAGE W/ OPT. LOGGIA	2293 sq. ft. (213.03 sq. m.)	2325 sq. ft. (216.00 sq. m.)	2323 sq. ft. (215.81 sq. m.)
WINDOW / WALL AREA CALCULATIONS	EL. 'A'	EL. 'B'	EL. 'C'
	STD. & OPT. PLAN	STD. & OPT. PLAN	STD. & OPT. PLAN
GROSS WALL AREA	4168.90 sq. ft. (387.30 sq. m.)	4220.84 sq. ft. (392.13 sq. m.)	4357.06 sq. ft. (404.78 sq. m.)
GROSS WINDOW AREA (INCL. GLASS DOORS & SKYLIGHTS)	370.66 sq. ft. (34.44 sq. m.)	371.42 sq. ft. (34.51 sq. m.)	451.66 sq. ft. (41.96 sq. m.)
TOTAL WINDOW %	8.89 %	8.80 %	10.37 %



wsp

FOR STRUCTURAL ONLY. EXCLUDING  
ENGINEERED ROOF TRUSS, FLOOR  
JOIST, AND FLOOR LVL BEAM DESIGN.

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PART. FLOOR PLANS, EL. 'A', 'B' & 'C' FOR OPT LOGGIA

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QUALIFICATION INFORMATION

NAME: Alan Whiting  
SIGNATURE: [Signature]  
REGISTRATION INFORMATION: BCIN 23177

HUNT DESIGN ASSOCIATES INC. 19695

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**GOLDPARK HOMES - 217020**  
PINE VALLEY, VAUGHAN ONT.

Drawn By: SN/BB  
Checked By: AW  
Scale: 3/16"=1'-0"

**UNIT 4005 - THE EDGEBROOK**  
REV.2020.04.01

File Number: 217020WS4005

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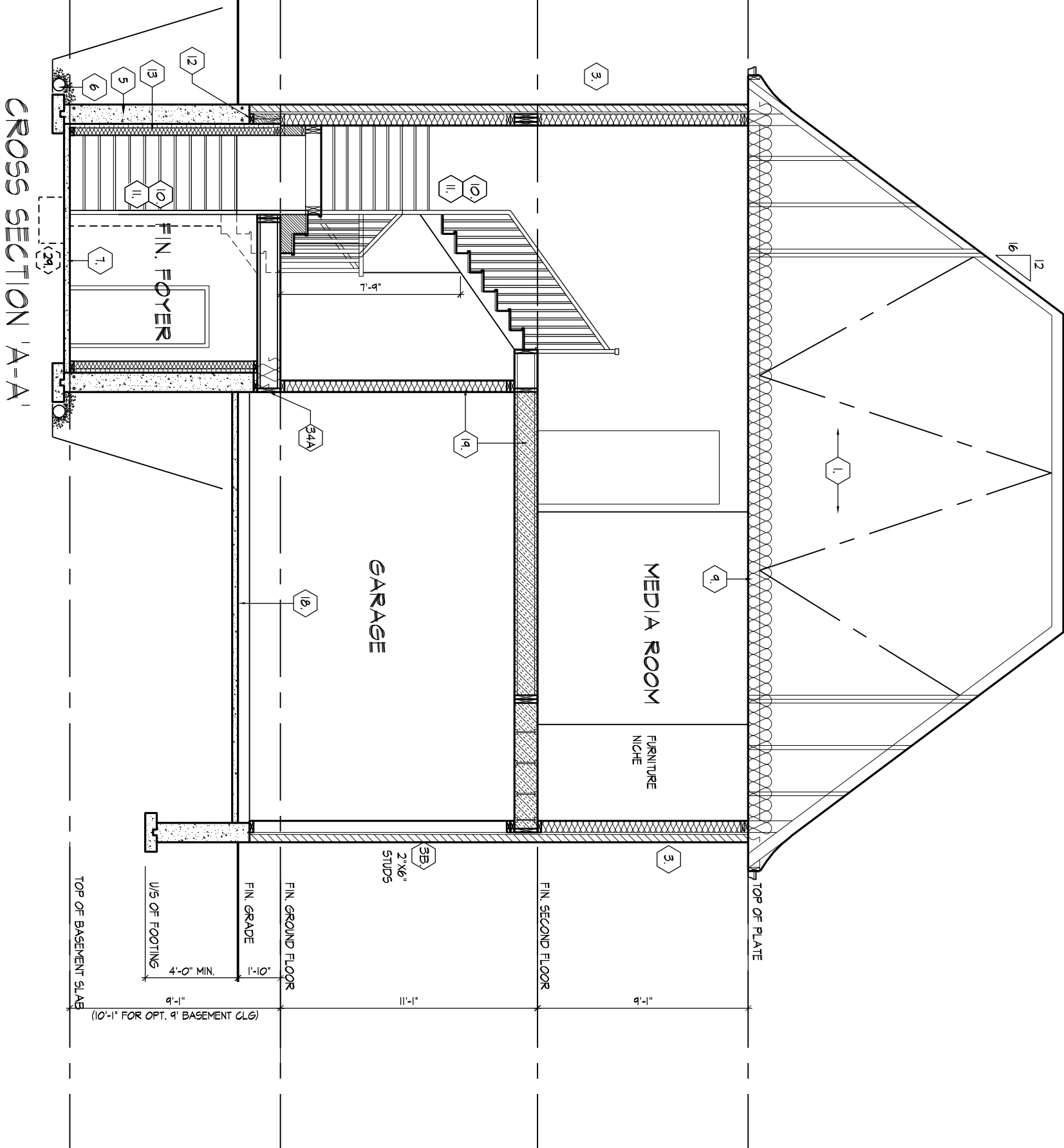






REEK TO FRONT ELEVATION  
FOR TYPICAL NOTES & INFO.

ROOF OVERHANGS TO BE 15  
UNLESS NOTED OTHERWISE



**GOLDPARK HOMES - 217020**  
PINE VALLEY, VAUGHAN ONT.

**UNIT 4005 - THE EDGEBROOK**  
REV.2020.04.01

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<p>ALIAN WHITTING INFORMATION</p>		
<p>Alian Whitting</p>	<p>2317</p>	
NAME	SIGNATURE	BC
<p>REGISTRATION INFORMATION</p>		
<p>HUNT DESIGN ASSOCIATES INC.</p>	<p>1968</p>	

23177  
BCIN

BCIN

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REFER TO SB-12 ENERGY EFFICIENCY DESIGN MATRIX ON THE TITLE PAGE FOR ALL VALUES AS REQUIRED PER 3.1.1., 3.1.2., 3.1.3. OF THE OBC.

## EXTERIOR AND GARAGE STEPS

**wsp**  
100 COMMERCE VALLEY Dr. W.  
THORNHILL, ONTARIO CANADA L3T 0A1  
TEL: 1-905-882-4211/FAX: 1-905-822-0055/[WWW.WSPGROUP.CA](http://WWW.WSPGROUP.CA)

**UNIT 4005 - THE EDGEBROOK**  
REV.2020.04.01

cont. SECTION 1.0. CONSTRUCTION NOTES

**40** **1 HR. PARTY WALL (CONC. BLOCK)** ((SB-3] WALL TYPE 'B6e' & 'B1b')  
1/2" (12.7) GYPSUM SHEATHING ON EACH SIDE ON 2"x2" (38x38) VERTICAL WD. STRAPPING @ 24" (610) O.C. ON 8" (200) CONC. BLOCK FILL STRAPPING CAVITY EACH SIDE WITH AT LEAST 90% OF ABSORPTIVE MATERIAL PROCESSED FROM ROCK, SLAG OR GLASS. TAPE, FILL & SAND ALL GYPSUM JOINTS. EXPOSED BLOCK MUST BE SEALED W/ 2 COATS OF PAINT OR FURRED WITH 2"x2" (38x38) WD. STRAPPING & 1/2" (12.7) GYPSUM SHEATHING.

**40** **1 HR. PARTY WALL (DOUBLE STUD)** ((SB-3] WALL TYPE 'W13c')  
5/8" (15.9) TYPE 'X' GYPSUM SHEATHING ON EXTERIOR SIDE OF 2 ROWS OF 2"x4" (38x89) STUDS @ 16" (406) O.C., MIN. 1" (25) APART ON SEPARATE 2"x4" (38x89) SILL PLATES. (2"x6" (38x140) AS REQUIRED) FILL ONE SIDE OF STUD CAVITY WITH AT LEAST 90% OF ABSORPTIVE MATERIAL PROCESSED FROM ROCK, SLAG OR GLASS. TAPE FILL AND SAND ALL GYPSUM JOINTS.

**40A** **2 HR. FIREWALL** ((SB-3] WALL TYPE 'B6e' & 'B1b')  
1/2" (12.7) GYPSUM SHEATHING ON EACH SIDE ON 2"x2" (38x38) VERTICAL WOOD STRAPPING @ 24" (610) O.C ON 8" (200) CONC. BLOCK 75% SOLID. FILL STRAPPING CAVITY EACH SIDE WITH AT LEAST 90% OF ABSORPTIVE MATERIAL PROCESSED FROM ROCK, SLAG OR GLASS. TAPE, FILL & SAND ALL GYPSUM JOINTS. AT UNFINISHED AREAS, EXTERIOR FACE OF CONC. BLOCK TO BE SEALED WITH 2 COATS OF PAINT. GYPSUM SHEATHING TO BE ATTACHED TO CONC. BLOCK. (REFER TO DETAILS)

**41** **STUCCO WALL CONSTRUCTION**  
STUCCO FINISH CONFORMING TO O.B.C. SECTION 9.28, AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1 1/2" (38) E.I.F.S. (MINIMUM) ON APPROVED DRAINAGE MAT ON 1/2" (12.7) DENSGLASS GOLD GYPSUM BOARD ON STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1., INSULATION, APPROVED 6 MIL. POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (REFER TO 35 NOTE AS REQUIRED)

**41A** **STUCCO WALL CONSTRUCTION W/ CONTIN. INSULATION**  
STUCCO FINISH CONFORMING TO O.B.C. SECTION 9.28, AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1 1/2" (38) E.I.F.S. (MINIMUM) ON APPROVED DRAINAGE MAT ON APPROVED AIR/WATER BARRIER AS PER O.B.C. 9.27.3. ON EXTERIOR TYPE RIGID INSULATION (JOINTS UNTAPED) MECHANICALLY FASTENED AS PER MANUFACTURERS SPECIFICATIONS, ON 7/16" EXTERIOR TYPE SHEATHING ON STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1., INSULATION, APPROVED 6 MIL. POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (REFER TO 35 NOTE AS REQUIRED)

**41B** **STUCCO WALL @ GARAGE CONST.**  
STUCCO FINISH CONFORMING TO O.B.C. SECTION 9.28, AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1 1/2" (38) E.I.F.S (MINIMUM) ON APPROVED DRAINAGE MAT ON 1/2" (12.7) DENSGLASS GOLD GYPSUM BRD. ON STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1., 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (REFER TO 35 NOTE AS REQ.)  
\*\*\* FOR DWELLINGS USING CONTIN. INSULATION CONSTRUCTION, PROVIDE APPROVED DRAINAGE MAT ON 7/16" (11) EXTERIOR TYPE SHEATHING OVER FURRING (AS REQ.) AND STUDS IN LIEU OF 1 1/2" (38) E.F.I.S (MINIMUM) ON APPROVED DRAINAGE MAT ON 1/2"(12.7) DENSGLASS GOLD GYPSUM BRD.

**42** **UNSUPPORTED FOUNDATION WALLS** (9.15.4.2.)  
REINFORCING AT STAIRS AND SUNKEN FLOOR AREAS  
2-20M BARS IN TOP PORTION OF WALL (UP TO 8'-0" OPENING)  
3-20M BARS IN TOP PORTION OF WALL (8'-0" TO 10'-0" OPENING)  
4-20M BARS IN TOP PORTION OF WALL (10'-0" TO 15'-0" OPENING)  
- BARS STACKED VERTICALLY AT INTERIOR FACE OF WALL @ 6" O.C.  
REINFORCING AT BASEMENT WINDOWS  
2-15M HORIZ. REINFORCING ON THE INSIDE AND OUTSIDE FACE OF THE FOUNDATION WALL BELOW THE WIN. SILL. EXTEND BARS 24" (610) BEYOND THE OPENING. 2-15M VERTICAL REINFORCING ON THE INSIDE AND OUTSIDE FACE OF THE FOUNDATION WALL ON EACH SIDE OF THE WINDOW OPENING.  
- BARS TO HAVE MIN. 2" (50) CONC. COVER  
- BARS TO EXTEND 2'-0" (610) BEYOND BOTH SIDES OF OPENING

**43** **STUD WALL REINFORCEMENT**  
PROVIDE STUD WALL REINFORCEMENT IN MAIN BATHROOM CONFORMING TO O.B.C. (9.5.2.3.(1) AND 3.8.3.8.(3)) (REFER TO DETAILS)

**44** **WINDOW WELLS**  
WHERE A WINDOW OPENS INTO A WINDOW WELL, A CLEARANCE OF NOT LESS THAN 21 5/8" (550) SHALL BE PROVIDED IN FRONT OF THE WINDOW. EVERY WINDOW WELL SHALL BE DRAINED TO THE FOOTING LEVEL OR OTHER SUITABLE LOCATION WITH A 4" (100) WEEPING TILE C/W A FILTER CLOTH WRAP AND FILLED WITH CRUSHED STONE. (9.9.10.1.(5), 9.14.6.3.)

**45** **SLOPED CEILING CONSTRUCTION** ((SB-12] 2.1.1.7., 9.23.4.2.)  
2"x12" (38x286) ROOF JOISTS @ 16" (406) O.C. MAX. (UNLESS OTHERWISE NOTED) W/ 2"x2" (38x38) PURLINS @ 16" (406) O.C. PERPENDICULAR TO ROOF JOIST (PURLINS NOT REQ. W/ SPRAY FOAM), W/ INSULATION BETWEEN JOIST, 6 mil POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH OR APPROVED EQ. INSULATION VALUE DIRECTLY ABOVE THE INNER SURFACE OF EXTERIOR WALLS SHALL NOT BE LESS THAN R20 (3.52 RSI).

**46** **FLAT ROOF/BALCONY CONSTRUCTION**  
WATERPROOFING MEMBRANE (9.26.11, 9.26.15, 9.26.16) FULLY ADHERED TO 5/8" (15.9) T&G EXTERIOR GRADE PLYWOOD SHEATHING ON 2"x2" (38x38) PURLINS ANGLED TOWARDS SCUPPER @ 2% MINIMUM LAID PERPENDICULAR TO 2"x8" (38x184) FLOOR JOISTS @ 16" (406) O.C. (UNLESS OTHERWISE NOTED). BUILT UP CURB TO BE 4" (100) MIN. ABOVE FINISHED BALCONY FLOOR. CONTINUOUS 'L' TRIM DRIP EDGE TO BE PROVIDED ON OUTSIDE FACE OF CURB. SCUPPER DRAIN TO BE LOCATED 24" (610) MIN. AWAY FROM HOUSE. PREFINISHED ALUMINUM OR PANEL FOR UNDERSIDE OF SOFFIT (9.23.2.3). REMOVE CURB WHERE REQ.  
**BALCONY CONDITION**  
SEE FLAT ROOF/BALCONY CONSTRUCTION NOTE. INCLUDE 2"x4" (38x89) PT. DECKING W/ 1/4" (6.4) GAPS LAID FLAT PARALLEL TO JOISTS ON 2"x4" (38x89) PT. SLEEPERS @ 12" (305) O.C. LAID FLAT PERPENDICULAR TO JOISTS  
**BALCONY OVER HEATED SPACE CONDITION**  
SEE FLAT ROOF/BALCONY CONSTRUCTION NOTE FOR ASSEMBLY. REFER TO PLANS FOR FLOOR JOIST SIZE & REFER TO HEX NOTE 9 FOR INSULATION AND INTERIOR FINISH

**47** **BARREL VAULT CONSTRUCTION**  
CANTILEVERED 2"x4" (38x89) SPACERS LAID FLAT ON 2"x10" (38x235) SPR. #2 ROOF JOIST NAILED TO BUILT-UP 3-3/4" (19) PLYWOOD HEADER PROFILED FOR BARREL. SPRAY FOAM INSULATION BETWEEN JOISTS W/ GYPSUM BOARD. INTERIOR FIN. (REFER TO DETAILS)

REFER TO SB-12 ENERGY EFFICIENCY DESIGN MATRIX ON THE TITLE PAGE FOR ALL VALUES AS REQUIRED PER 3.1.1., 3.1.2., 3.1.3. OF THE OBC.

SECTION 1.1. WALL STUDS

- REFER TO THIS CHART FOR STUD SIZE & SPACING AS REQUIRED FOR EXTERIOR WALLS ONLY. REFER TO SITING & GRADING PLAN OF THIS UNIT FOR CONFIRMATION OF TOP OF FOUNDATION WALL AND ADDITIONAL INFORMATION.  
- IF STUD WALL HEIGHT EXCEEDS MAX. UNSUPPORTED HEIGHT, WALL NEEDS TO BE REVIEWED AND APPROVED BY ENGINEER.

SIZE & SPACING OF STUDS: (OBC REFERENCE - TABLE 9.23.10.1.)					
MIN. STUD SIZE, in (mm)	SUPPORTED LOADS (EXTERIOR)				
	ROOF w/ OR w/o ATTIC	ROOF w/ OR w/o ATTIC & 1 FLOOR	ROOF w/ OR w/o ATTIC & 2 FLOOR	ROOF w/ OR w/o ATTIC & 3 FLOOR	
	MAX. STUD SPACING, in (mm) O.C.				
	MAX. UNSUPPORTED HGT., ft-in (m)				
2"x4" (38x89)	24" (610)	16" (405)	12" (305)		N/A
	9'-10" (3.0)	9'-10" (3.0)	9'-10" (3.0)		N/A
2"x6" (38x140)	-	24" (610)	16" (406)	12" (305)	
	-	9'-10" (3.0)	11'-10" (3.6)	5'-11" (1.8)	

SECTION 2.0. GENERAL NOTES

**2.1. WINDOWS**  
1) EXCEPT WHERE A DOOR ON THE SAME FLOOR LEVEL AS THE BEDROOM PROVIDES DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL CONTAINING A BEDROOM IS TO HAVE AT LEAST ONE OUTSIDE WINDOW W/ MIN. 0.35m2 UNOBSTRUCTED OPEN PORTION W/ NO DIMENSION LESS THAN 1'-3" (380), CAPABLE OF MAINTAINING THE OPENING WITHOUT THE NEED FOR ADDITIONAL SUPPORT, CONFORMING TO 9.9.10.  
2) WINDOW GUARDS: A GUARD OR A WINDOW WITH A MAXIMUM RESTRICTED OPENING WIDTH OF 4" (100) IS REQUIRED WHERE THE TOP OF THE WINDOW SILL IS LOCATED LESS THAN 1'-7" (480) ABOVE FIN. FLOOR AND THE DISTANCE FROM THE FINISHED FLOOR TO THE ADJACENT GRADE IS GREATER THAN 5'-11" (1800). (9.8.8.1.)  
3) WINDOWS IN EXIT STAIRWAYS THAT EXTEND TO LESS THAN 2'-11" (900) [3'-6" (1070) FOR ALL OTHER BUILDINGS] SHALL BE PROTECTED BY GUARDS IN ACCORDANCE WITH NOTE #2 (ABOVE), OR THE WINDOW SHALL BE NON-OPERABLE AND DESIGNED TO WITHSTAND THE SPECIFIED LOADS FOR BALCONY GUARDS AS PROVIDED IN 4.1.5.15 OR 9.8.8.2  
4) REFER TO TITLE PAGE FOR MAX. U-VALUE REQUIREMENTS

ROOM OR SPACE		MINIMUM HEIGHTS
LIVING ROOM, DINING ROOM AND KITCHEN	7'-7"	OVER 75% OF REQUIRED FLOOR AREA WITH A CLEAR HEIGHT OF 6'-11" AT ANY POINT
BEDROOM	7'-7"	OVER 50% OF REQUIRED FLOOR AREA OR 6'-11" OVER ALL OF THE REQUIRED FLOOR AREA.
BASEMENT	6'-11"	OVER AT LEAST 75% OF THE BASEMENT AREA EXCEPT THAT UNDER BEAMS AND DUCTS THE CLEARANCE IS PERMITTED TO BE REDUCED TO 6'-5".
BATHROOM, LAUNDRY AREA ABOVE GRADE	6'-11"	IN ANY AREA WHERE A PERSON WOULD NORMALLY BE STANDING
FINISHED ROOM NOT MENTIONED ABOVE		6'-11"
MEZZANINES	6'-11"	ABOVE & BELOW FLOOR ASSEMBLY (9.5.3.2.)
STORAGE GARAGE		6'-7" (9.5.3.3.)

**2.3. MECHANICAL / PLUMBING**  
1) MECHANICAL VENTILATION IS REQUIRED TO PROVIDE 0.7 AIR CHANGE PER HOUR IF NOT AIR CONDITIONED 1 PER HOUR IF AIR CONDITIONED AVERAGED OVER 24 HOURS, WHEN A VENTILATION FAN (PRINCIPAL EXHAUST) IS REQUIRED, CONFORM TO OBC 9.32.3.4. WHEN A HRV IS REQUIRED, CONFORM TO 9.32.3.11. REFER TO MECHANICAL DRAWINGS.  
2) REFER TO HOT WATER TANK MANUFACTURER SPECS. CONFORM TO OBC 9.31.6.  
3) REFER TO TITLE PAGE FOR SPACE HEATING EQUIPMENT, HRV AND DOMESTIC HOT WATER HEATER MINIMUM EFFICIENCIES.  
4) DRAIN WATER HEAT RECOVERY UNIT(S) WILL BE INSTALLED CONFORMING TO THE REQUIREMENTS OF 3.1.1.12. OF THE O.B.C.  
**2.4. LUMBER**  
1) ALL LUMBER SHALL BE SPRUCE No.2 GRADE OR BETTER, UNLESS NOTED OTHERWISE.  
2) STUDS SHALL BE STUD GRADE SPRUCE, UNLESS NOTED OTHERWISE.  
3) LUMBER EXPOSED TO THE EXTERIOR TO BE SPRUCE No. 2 GRADE PRESSURE TREATED OR CEDAR, UNLESS NOTED OTHERWISE.  
4) ALL LAMINATED VENEER LUMBER (LVL) BEAMS, GIRDER TRUSSES, AND METAL HANGER CONNECTIONS SUPPORTING ROOF FRAMING TO BE DESIGNED & CERTIFIED BY FLOOR AND ROOF TRUSS MANUFACTURER.  
5) JOIST HANGERS: PROVIDE APPROVED METAL HANGERS FOR ALL JOISTS AND BUILT-UP WOOD MEMBERS INTERSECTING WITH FLUSH BUILT-UP WOOD MEMBERS.  
6) WOOD FRAMING NOT TREATED WITH A WOOD PRESERVATIVE. IN CONTACT WITH CONCRETE, SHALL BE SEPARATED FROM THE CONC. BY AT LEAST 2 mil POLYETHYLENE FILM. No.50 (45lbs) ROLL ROOFING OR OTHER DAMPPROOFING MATERIAL, EXCEPT WHERE THE WOOD MEMBER IS AT LEAST 6" (152) ABOVE THE GROUND.

**2.5. STEEL** (9.23.4.3.)  
1) STRUCTURAL STEEL SHALL CONFORM TO CAN/CSA-G40-21 GRADE 300W. HOLLOW STRUCT. SECTIONS SHALL CONFORM TO CAN/CSA-G40-21 GRADE 350W CLASS "H".  
2) REINFORCING STEEL SHALL CONFORM TO CSA-G30-18M GRADE 400R.

**2.6. FLAT ARCHES**  
1) FOR 8'-0" (2440) CEILINGS, FLAT ARCHES SHALL BE 6'-10" (2080) A.F.F.  
2) FOR 9'-0" (2740) CEILINGS, FLAT ARCHES SHALL BE 7'-10" (2400) A.F.F.  
3) FOR 10'-0" (3040) CEILINGS, FLAT ARCHES SHALL BE 8'-6" (2600) A.F.F.

**2.7. ROOF OVERHANGS**  
1) ALL ROOF OVERHANGS SHALL BE 1'-0" (305). UNLESS NOTED OTHERWISE.

**2.8. FLASHING** (9.20.13., 9.26.4. & 9.27.3.)  
1) FLASHING MATERIALS & INSTALLATION SHALL CONFORM TO O.B.C.

**2.9. GRADING**  
1) THE BUILDING SHALL BE LOCATED OR THE BUILDING SITE GRADED SO THE WATER WILL NOT ACCUMULATE AT OR NEAR THE BUILDING AND WILL NOT ADVERSELY AFFECT ADJACENT PROPERTIES. CONFORM TO 9.14.6.

**2.10. ULC SPECIFIED ASSEMBLIES**  
ALL REQUIRED INDIVIDUAL COMPONENTS THAT FORM PART OF ANY '*ULC LISTED ASSEMBLY*'. SPECIFIED WITHIN THESE DRAWINGS, CANNOT BE ALTERED OR SUBSTITUTED FOR ANY OTHER MATERIAL/PRODUCT OR SPECIFIED MANUFACTURER THAT IS IDENTIFIED IN THAT '*SPECIFIED ULC LISTING*'. THERE SHALL BE NO DEVIATIONS UNDER ANY CIRCUMSTANCES IN ANY '*ULC LISTED ASSEMBLY*' IDENTIFIED IN THESE DRAWINGS.

SECTION 3.0. LEGEND

3.1. WOOD LINTELS AND BUILT-UP WOOD (DIVISION B PART 9. TABLE A8 TO A10 AND A12, A15 & A16) FORMING PART OF SENTENCE 9.23.4.2.(3), 9.23.4.2.(4), 9.23.12.3.(1),(3), 9.23.13.8.(2), 9.37.3.1.(1)					
	2"x8" SPRUCE #2	2"x10" SPRUCE #2	2"x12" SPRUCE #2		
L1	2/2"x8" (2/38x184)	L3	2/2"x10" (2/38x235)	L5	2/2"x12" (2/38x286)
B1	3/2"x8" (3/38x184)	B3	3/2"x10" (3/38x235)	B5	3/2"x12" (3/38x286)
B2	4/2"x8" (4/38x184)	B4	4/2"x10" (4/38x235)	B6	4/2"x12" (4/38x286)
B7	5/2"x8" (5/38x184)	B8	5/2"x10" (5/38x235)	B9	5/2"x12" (5/38x286)
ENGINEERED LUMBER SCHEDULE - GRADE 2.0E (UNLESS NOTED OTHERWISE)					
	1 3/4" x 9 1/2" LVL	1 3/4" x 11 7/8" LVL	1 3/4" x 14" LVL		
LVL2	1-1 3/4"x9 1/2"	LVL3	1-1 3/4"x11 7/8"	LVL10	1-1 3/4"x14"
LVL4	2-1 3/4"x9 1/2"	LVL6	2-1 3/4"x11 7/8"	LVL11	2-1 3/4"x14"
LVL5	3-1 3/4"x9 1/2"	LVL7	3-1 3/4"x11 7/8"	LVL12	3-1 3/4"x14"
LVL8	4-1 3/4"x9 1/2"	LVL9	4-1 3/4"x11 7/8"	LVL13	4-1 3/4"x14"
3.2. STEEL LINTELS SUPPORTING MASONRY VENEER (DIVISION B PART 9. TABLE 9.20.5.2.B.) FORMING PART OF SENTENCE 9.20.5.2.(2) & 9.20.5.2.(3)					
CODE	SIZE	BRICK		STONE	
L7	3 1/2" x 3 1/2" x 1 1/4" (89 x 89 x 6.4)	8'-1" (2.47m)		7'-6" (2.30m)	
L8	4" x 3 1/2" x 1 1/4" (102 x 89 x 6.4)	8'-9" (2.66m)		8'-1" (2.48m)	
L9	4 7/8" x 3 1/2" x 5/16" (127 x 89 x 7.9)	10'-10" (3.31m)		10'-1" (3.03m)	
L10	4 7/8" x 3 1/2" x 3/8" (127 x 89 x 11)	11'-5" (3.48m)		10'-7" (3.24m)	
L11	5 7/8" x 3 1/2" x 3/8" (152 x 89 x 11)	12'-6" (3.82m)		11'-7" (3.54m)	
L12	7 1/8" x 4" x 3/8" (178 x 102 x 11)	14'-1" (4.30m)		13'-1" (3.99m)	

3.3. DOOR SCHEDULE CONFORMING TO SECTIONS 9.5.11, 9.6., 9.7.2.1, 9.7.5.2, & 9.10.13.10				
1	EXTERIOR	2'-8" x 6'-8" x 1-3/4" (815 x 2030 x 45)	INSULATED MIN. R4 (RSI 0.7)	
1A	EXTERIOR	2'-10" x 6'-8" x 1-3/4" (865 x 2030 x 45)	INSULATED MIN. R4 (RSI 0.7)	
1B	EXTERIOR	3'-0" x 6'-8" x 1-3/4" (915 x 2030 x 45)	INSULATED MIN. R4 (RSI 0.7)	
1C	EXTERIOR	2'-6" x 6'-8" x 1-3/4" (760 x 2030 x 45)	INSULATED MIN. R4 (RSI 0.7)	
1D	EXTERIOR	2'-8" x 6'-8" x 1-3/4" (815 x 2030 x 45)	INS. MIN. R4 (RSI 0.7) (SEE HEX NOTE 20)	
1E	EXTERIOR	3'-0" x 8'-0" x 1-3/4" (915 x 2440 x 45)	INSULATED MIN. R4 (RSI 0.7)	
2A	EXTERIOR	2'-8" x 6'-8" x 1-3/4" (815 x 2030 x 45)	20 MIN. F.R.R. DOOR/FRAME WITH APP. SELF CLOSING DEVICE.	
2	INTERIOR	2'-8" x 6'-8" x 1-3/8" (815 x 2030 x 35)	PROVIDE 8'-0" HIGH INTERIOR DOORS FOR ALL 10' CEILING CONDITIONS	
3	INTERIOR	2'-6" x 6'-8" x 1-3/8" (760 x 2030 x 35)		
3A	INTERIOR	2'-4" x 6'-8" x 1-3/8" (710 x 2030 x 35)		
4	INTERIOR	2'-0" x 6'-8" x 1-3/8" (610 x 2030 x 35)		
4A	INTERIOR	2'-2" x 6'-8" x 1-3/8" (660 x 2030 x 35)		
5	INTERIOR	1'-6" x 6'-8" x 1-3/8" (460 x 2030 x 35)		

3.4. ACRONYMS			
AFF	ABOVE FINISHED FLOOR	JST	JOIST
BBFM	BEAM BY FLOOR MANUFACTURER	LIN	LINEN CLOSET
BG	FIXED GLASS W/ BLACK BACKING	LVL	LAMINATED VENEER LUMBER
BM	BEAM	OTB/A	OPEN TO BELOW/ABOVE
BBRM	BEAM BY ROOF MANUFACTURER	PL	POINT LOAD
CRF	CONVENTIONAL ROOF FRAMING	PLT	PLATE
C/W	COMPLETE WITH	PT	PRESSURE TREATED
DJ/TJ	DOUBLE JOIST/ TRIPLE JOIST	PTD	PAINTED
DO	DO OVER	PWD	POWDER ROOM
DRP	DROPPED	RT	ROOF TRUSS
E.I.F.S.	EXTERIOR INSULATION FINISH SYSTEM	RWL	RAIN WATER LEADER
ENG	ENGINEERED	SB	SOLID BEARING WOOD POST
EST	ESTIMATED	SBFA	SB FROM ABOVE
FA	FLAT ARCH	SJ	SINGLE JOIST
FD	FLOOR DRAIN	SPR	SPRUCE
FG	FIXED GLASS	STL	STEEL
FL	FLUSH	T/O	TOP OF
FLR	FLOOR	TYP	TYPICAL
GT	GIRDER TRUSS	U/S	UNDERSIDE
HB	HOSE BIB	WD	WOOD
HRV	HEAT RETURN VENTILATION UNIT	WIC	WALK IN CLOSET
HWT	HOT WATER TANK	WP	WEATHER PROOF

3.5. SYMBOLS ALL ELECTRICAL FACILITIES SHALL BE INSTALLED IN ACCORDANCE WITH SECTION 9.34.		
	CLASS 'B' VENT	EXHAUST VENT
	DUPLEX OUTLET (12" HIGH)	DUPLEX OUTLET (HEIGHT AS NOTED A.F.F.)
	HEAVY DUTY OUTLET	SWITCH (2/3/4 WAY)
	ROUGH IN FOR ELECTRIC VEHICLE CHARGING STATION (9.34.4)	LIGHT FIXTURE (CEILING MOUNTED)
	POT LIGHT	LIGHT FIXTURE (WALL MOUNTED)
	LIGHT FIXTURE (PULL CHAIN)	TELEPHONE JACK
	CABLE T.V. JACK	CHANDELIER (CEILING MOUNTED)
	CENTRAL VACUUM OUTLET	

■ SA **SMOKE ALARM** (9.10.19.)  
PROVIDE ONE PER FLOOR, NEAR THE STAIRS CONNECTING THE FLOOR LEVEL. ALARMS ARE TO BE INSTALLED IN EACH SLEEPING ROOM AND IN A LOCATION BETWEEN SLEEPING ROOMS AND CONNECTING HALLWAYS AND WIRED TO BE INTERCONNECTED TO ACTIVATE ALL ALARMS IF ONE SOUNDS. ALARMS ARE TO BE CONNECTED TO AN ELECTRICAL CIRCUIT AND WITH A BATTERY BACKUP. ALARM SIGNAL SHALL MEET TEMPORAL SOUND PATTERNS MIN. ALARMS SHALL HAVE A VISUAL SIGNALLING COMPONENT AS PER THE "NATIONAL FIRE ALARM AND SIGNALING CODE 72".

⬆ CMD **CARBON MONOXIDE ALARM** (9.33.4.)  
\*\* CHECK LOCAL BY-LAWS FOR REQUIREMENTS \*\* A CARBON MONOXIDE ALARM(S) CONFORMING TO CAN/CGA-6.19 SHALL BE INSTALLED ON OR NEAR THE CEILING IN EACH DWELLING UNIT ADJACENT TO EACH SLEEPING AREA. CARBON MONOXIDE ALARM(S) SHALL BE PERMANENTLY WIRED WITH NO DISCONNECT SWITCH, WITH AN ALARM THAT IS AUDIBLE WITHIN SLEEPING ROOMS WHEN THE INTERVENING DOORS ARE CLOSED.

☒ SB **SOLID BEARING (BUILT-UP WOOD COLUMNS AND STUD POSTS)**  
THE WIDTH OF A WOOD COLUMN SHALL NOT BE LESS THAN THE WIDTH OF SUPPORTED MEMBER. BUILT-UP WOOD COLUMNS SHALL BE NAILED TOGETHER WITH NOT LESS THAN 3" (76) NAILS SPACED NOT MORE THAN 11 3/4" (300) O.C. THE NUMBER OF STUDS IN A WALL DIRECTLY BELOW A GIRDER TRUSS OR ROOF BEAM SHALL CONFORM TO TABLES A-34 TO A-37. (9.17.4., 9.23.10.7.)

	TWO STOREY VOLUME SPACE. SEE CONSTRUCTION NOTE 39.
	VARYING PLATES, BUILT-OUT FLOORS, BEARING WALLS, ICE & WATER SHIELD
	EXPOSED BUILDING FACE -O.B.C. 9.10.14, OR 9.10.15. REFER TO HEX NOTE 35. & DETAILS FOR TYPE AND SPECIFICATIONS.

1 HR. PARTY WALL REFER TO HEX NOTE 40.	2 HR. FIREWALL REFER TO HEX NOTE 40A.
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SECTION 4.0. CLIMATIC DATA

DESIGN SNOW LOAD (9.4.2.2.): 1.01 kPa  
WIND LOAD (q50) (SB-1.2.): 0.44 kPa

STAMP



100 COMMERCE VALLEY DR. W.  
THORNHILL, ONTARIO CANADA L3T 0A1  
TEL: 1-800-485-4211 FAX: 1-800-485-0550 WWW.WSPGROUP.CA

FOR STRUCTURAL ONLY. EXCLUDING  
ENGINEERED ROOF TRUSS, FLOOR  
JOIST, AND FLOOR LVL BEAM DESIGN.

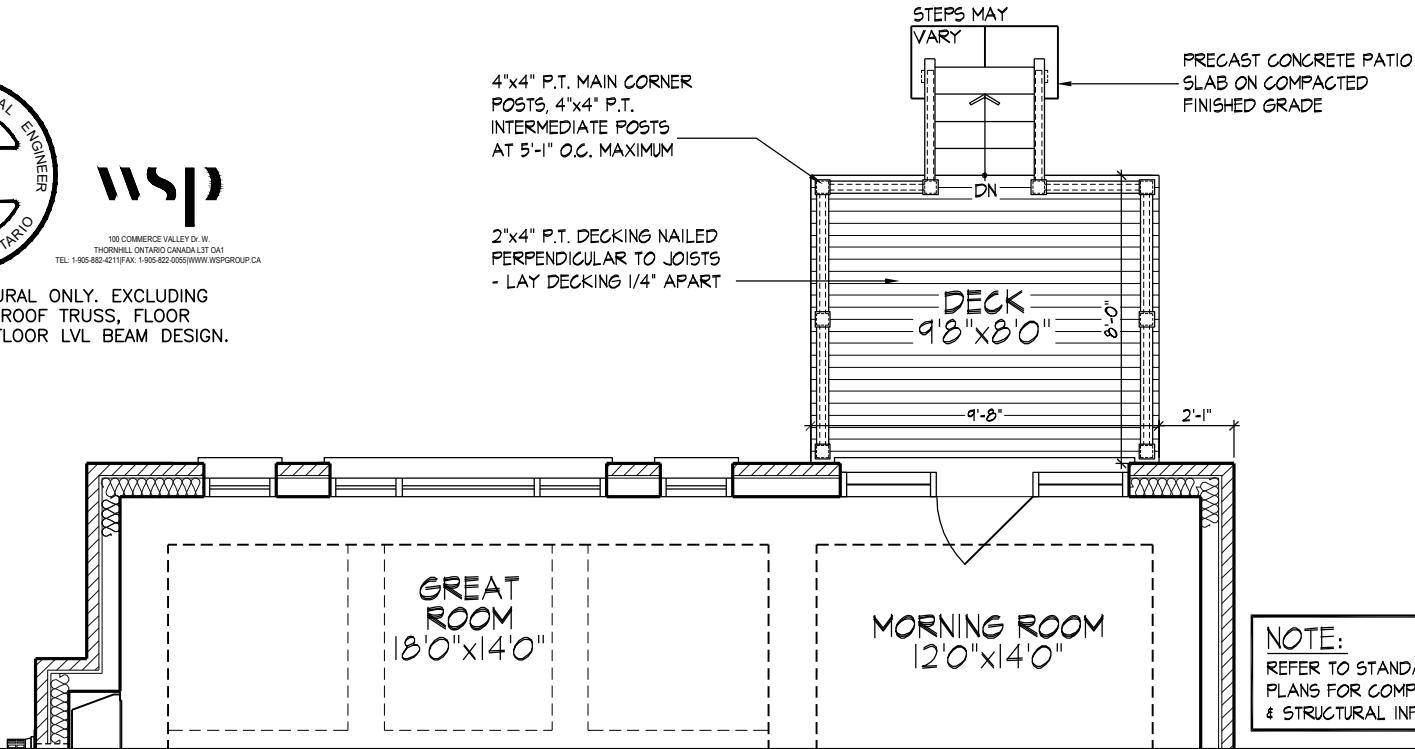
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CONSTRUCTION NOTE REVISION DATE: **MARCH 21, 2018**

CONSTRUCTION NOTES 2



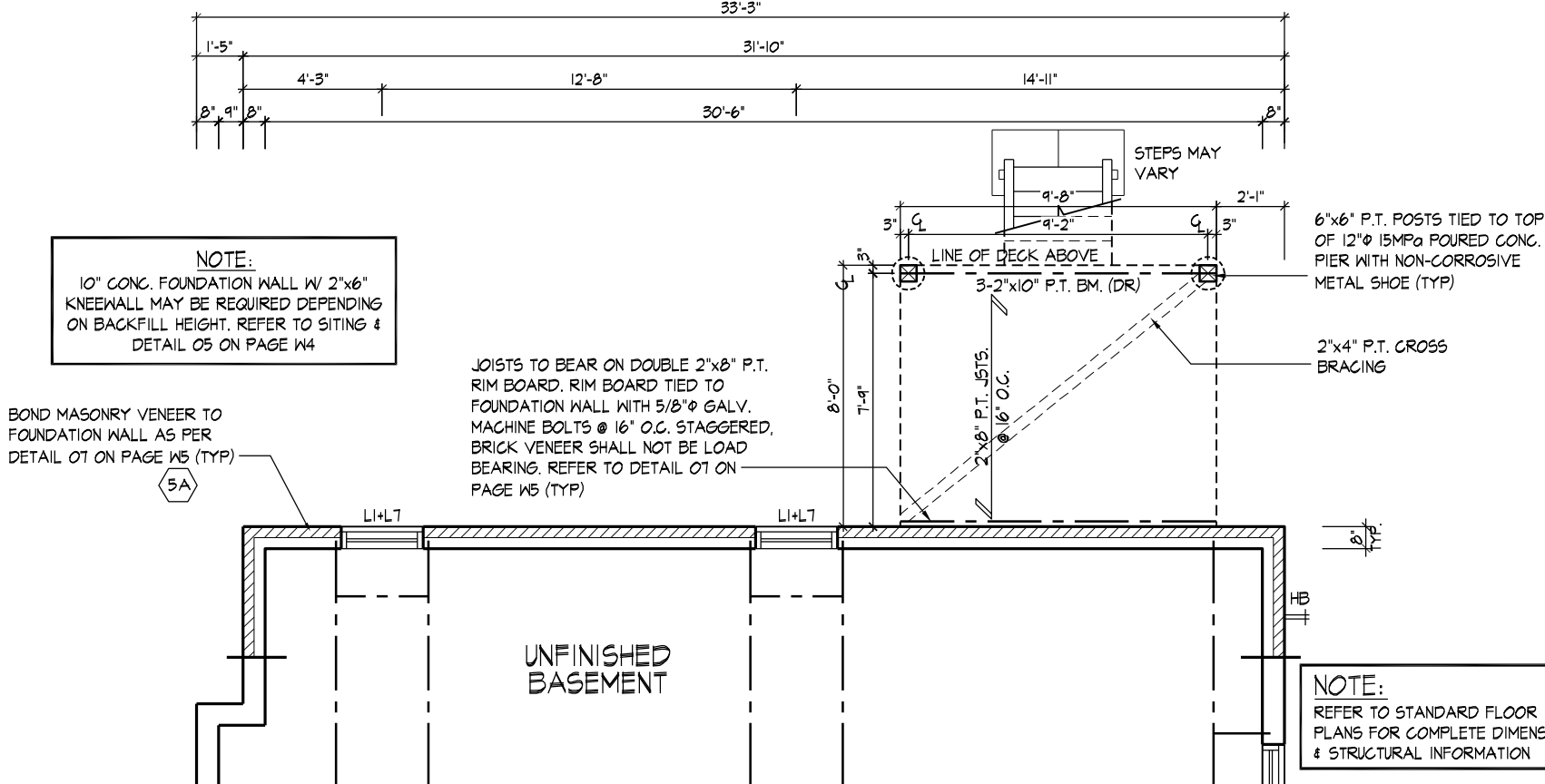
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ENGINEERED ROOF TRUSS, FLOOR  
JOIST, AND FLOOR LVL BEAM DESIGN.



NOTE:  
REFER TO STANDARD FLOOR  
PLANS FOR COMPLETE DIMENSIONS  
& STRUCTURAL INFORMATION

PART. GROUND FLOOR PLAN ELEV. 'A', 'B' & 'C' - W.O.D. COND.



NOTE:  
REFER TO STANDARD FLOOR  
PLANS FOR COMPLETE DIMENSIONS  
& STRUCTURAL INFORMATION

PART. BASEMENT PLAN ELEV. 'A', 'B' & 'C' - W.O.D. COND.



PART. REAR ELEVATION 'A', 'B' & 'C' - W.O.D. CONDITION

REFER TO FRONT ELEVATION & STANDARD  
REAR FOR TYPICAL NOTES & INFO.

WINDOW SUMMARY				
PER O.B.C. TABLE 9.10.15.4				
REAR ELEVATION A, B & C - WOD				
QUAN.	WIDTH	HEIGHT	WINDOW / DOOR FRAME SIZE (S.F.)	
2	48"	52"		29.33
2	24"	48"		12.22
4	24"	72"		37.78
1	48"	72"		20.78
2	30"	24"		7.22
0	0"	0"		0.00
0	0"	0"		0.00
1	DOOR		27.52	27.52
1	TRANSOM		10.98	10.98
0	ARCH		0.00	0.00
0	ARCH		0.00	0.00
SPATIAL CALCULATION				
EXPOSING BUILDING		758.69	S.F.	
FACE AREA		70.48	S.M.	
PORTION WALL AREA		758.69	S.F.	
		70.48	S.M.	
LIMITING DISTANCE		7.50 m		
MAX. % OPENINGS		50.50	%	
OPENINGS ALLOWED		383.14	S.F.	
OPENINGS PROVIDED		145.83	S.F.	
ADDITIONAL NOTES				
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER				

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

WALK OUT DECK CONDITION

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION

NAME: Alan Whiting, REGISTRATION INFORMATION: 23177, BCIN: 217020WS4005

HUNT DESIGN ASSOCIATES INC. 19895



GOLDPARK HOMES - 217020  
PINE VALLEY, VAUGHAN ONT.

Drawn By: AW, Checked By: AW, Scale: 3/16"=1'-0", File Number: 217020WS4005

UNIT 4005 - THE EDGEBROOK  
REV.2020.04.01

Page Number: W1 of W7, F 905.737.5133, F 905.737.7326





**wsp**

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FOR STRUCTURAL ONLY. EXCLUDING  
ENGINEERED ROOF TRUSS, FLOOR  
JOIST, AND FLOOR LVL BEAM DESIGN.

4"x4" P.T. MAIN CORNER  
POSTS, 4"x4" P.T.  
INTERMEDIATE POSTS  
AT 5'-1" O.C. MAXIMUM

2"x4" P.T. DECKING NAILED  
PERPENDICULAR TO JOISTS  
- LAY DECKING 1/4' APART

STEPS MAY  
VARY

PRECAST CONCRETE PATIO  
SLAB ON COMPACTED  
FINISHED GRADE

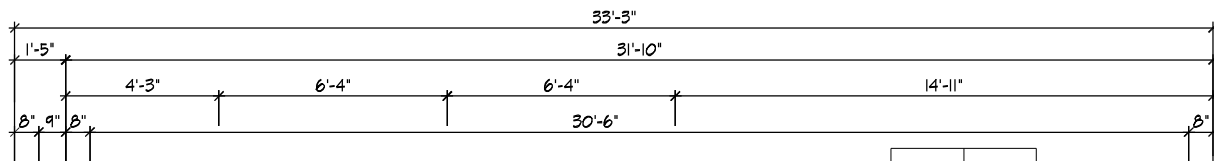
DECK  
9'8"X8'0"

GREAT  
ROOM  
18'0"X14'0"

MORNING ROOM  
12'0"X14'0"

NOTE:  
REFER TO STANDARD FLOOR  
PLANS FOR COMPLETE DIMENSIONS  
& STRUCTURAL INFORMATION

## PART. GROUND FLOOR PLAN ELEV. 'A', 'B' & 'C' - L.O.D. COND.



PROVIDE 2"x6" KNEE BRACE BOLTED TO  
BEAM & POST W/ 1/2"Ø THRU BOLTS  
WHERE DECK HEIGHT EXCEEDS 4'-0" (TYP)

STEPS MAY  
VARY

NOTE:  
10" CONC. FOUNDATION WALL W/ 2"x6"  
KNEEWALL MAY BE REQUIRED DEPENDING  
ON BACKFILL HEIGHT. REFER TO SITING &  
DETAIL 05 ON PAGE W4

BOND MASONRY VENEER TO  
FOUNDATION WALL AS PER  
DETAIL 07 ON PAGE W5 (TYP)

5A

JOISTS TO BEAR ON DOUBLE 2"x8" P.T.  
RIM BOARD. RIM BOARD TIED TO  
FOUNDATION WALL WITH 5/8"Ø GALV.  
MACHINE BOLTS @ 16" O.C. STAGGERED.  
BRICK VENEER SHALL NOT BE LOAD  
BEARING. REFER TO DETAIL 07 ON  
PAGE W5 (TYP)

6"x6" P.T. POSTS TIED TO TOP  
OF 12"Ø 15MPa POURED CONC.  
PIER WITH NON-CORROSIVE  
METAL SHOE (TYP)

2"x4" P.T. CROSS  
BRACING

UNFINISHED  
BASEMENT

NOTE:  
REFER TO STANDARD FLOOR  
PLANS FOR COMPLETE DIMENSIONS  
& STRUCTURAL INFORMATION

## PART. BASEMENT PLAN ELEV. 'A', 'B' & 'C' - L.O.D. CONDITION



## PART. REAR ELEVATION 'A', 'B' & 'C' - L.O.D. CONDITION

REFER TO FRONT ELEVATION & STANDARD  
REAR FOR TYPICAL NOTES & INFO.

WINDOW SIZES FOR L.O.D. CONDITIONS:  
MATCH WIDTH OF WINDOW ABOVE AND  
WINDOWS TO BE 30" DEEP. WINDOWS  
TO BE LOCATED WITHIN JOIST SPACE.  
IF GRADE PERMITS, TOP OF WINDOW TO  
BE 7'-0" FOR STD. PLAN AND 8'-0"  
FOR OPT. 9' BSMT. A.F.F.

WINDOW SUMMARY				
PER O.B.C. TABLE 9.10.15.4				
REAR ELEVATION A, B & C-L0D				
QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	
2	48"	52"	29.33	
2	24"	48"	12.22	
4	24"	72"	37.78	
1	48"	72"	20.78	
4	24"	30"	14.44	
1	48"	30"	7.94	
0	0"	0"	0.00	
1	DOOR		27.52	27.52
1	TRANSOM		10.98	10.98
0	ARCH		0.00	0.00
0	ARCH		0.00	0.00
SPATIAL CALCULATION				
EXPOSING BUILDING			803.79	S.F.
FACE AREA			74.67	S.M.
PORTION WALL AREA			803.79	S.F.
			74.67	S.M.
LIMITING DISTANCE			7.50 m	
MAX. % OPENINGS			50.50	%
OPENINGS ALLOWED			405.91	S.F.
OPENINGS PROVIDED			161.00	S.F.
ADDITIONAL NOTES				
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER				

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

## LOOK OUT DECK CONDITION

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION

NAME: Alan Whiting  
REGISTRATION INFORMATION: 23177  
BCIN

HUNT DESIGN ASSOCIATES INC. 19895

**HUNT**  
DESIGN ASSOCIATES INC.  
www.huntdesign.ca

**GOLDPARK HOMES - 217020**  
PINE VALLEY, VAUGHAN ONT.

Drawn By: OF  
Checked By: AW  
Scale: 3/16"=1'-0"

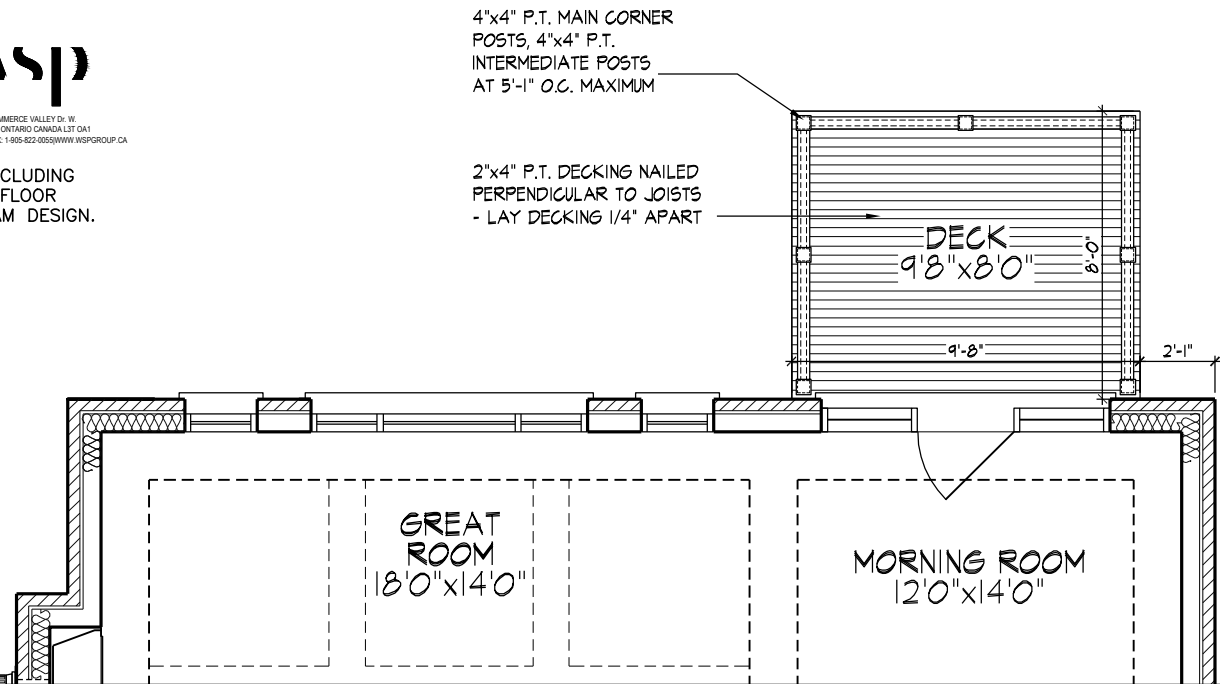
8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

**UNIT 4005 - THE EDGEBROOK**  
REV.2020.04.01

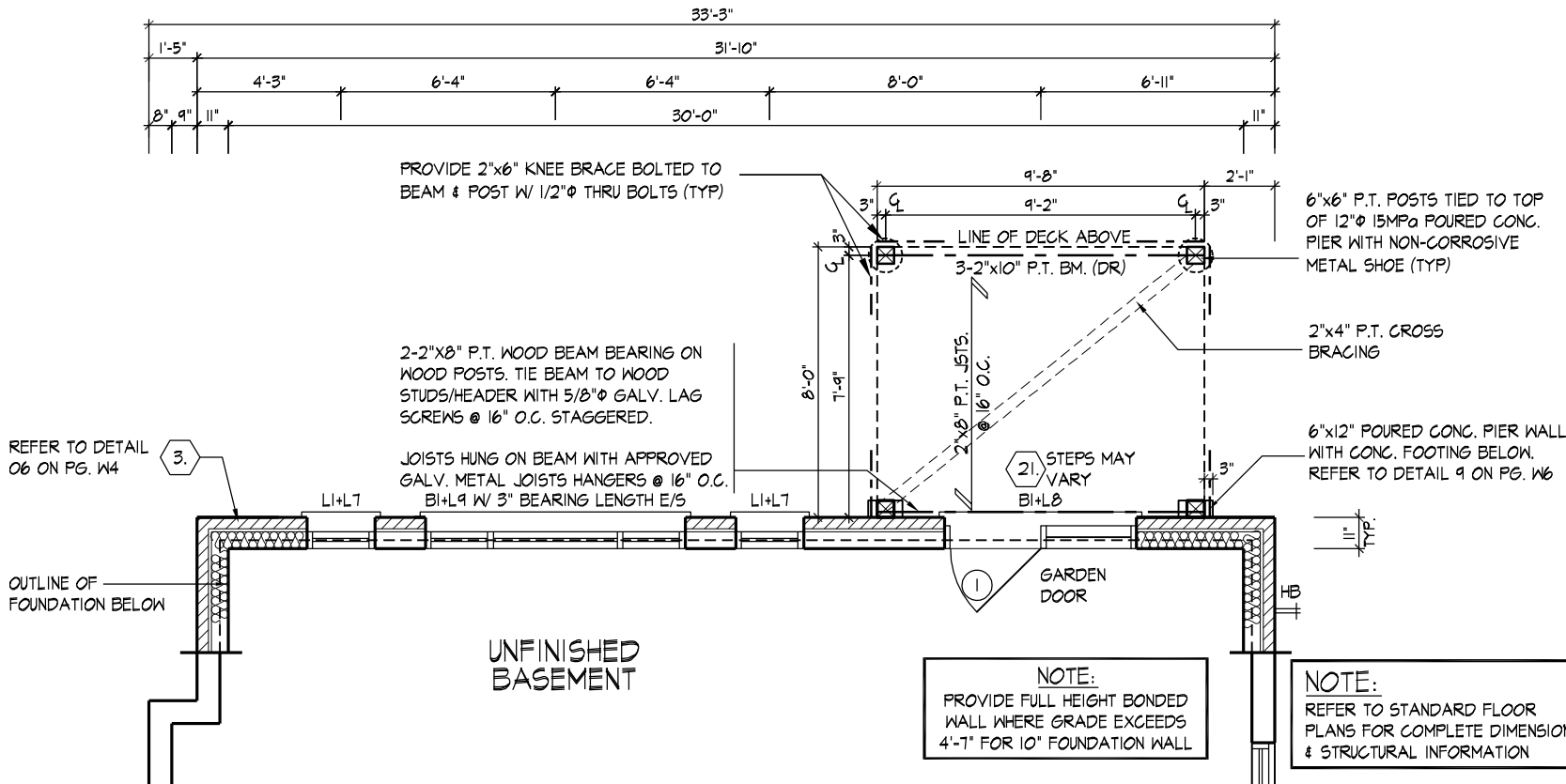
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Page Number: W2 of W7



FOR STRUCTURAL ONLY. EXCLUDING  
ENGINEERED ROOF TRUSS, FLOOR  
JOIST, AND FLOOR LVL BEAM DESIGN.



PART. GROUND FLOOR PLAN ELEV. 'A', 'B' & 'C' - W.O.B. COND.



PART. BASEMENT PLAN ELEV. 'A', 'B' & 'C' - W.O.B. CONDITION



PART. REAR ELEVATION 'A', 'B' & 'C' - W.O.B. CONDITION

WINDOW SUMMARY			
PER O.B.C. TABLE 9.10.15.4			
REAR ELEVATION A, B & C-WOB			
QUAN	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)
2	48"	52"	29.33
2	24"	48"	12.22
4	24"	72"	37.78
1	48"	72"	20.78
4	24"	48"	24.44
1	48"	48"	13.44
0	0"	0"	0.00
1	DOOR	27.52	27.52
1	TRANSOM	10.98	10.98
1	DOOR	22.00	22.00
0	ARCH	0.00	0.00
SPATIAL CALCULATION			
EXPOSING BUILDING	947.04	S.F.	
FACE AREA	87.98	S.M.	
PORTION WALL AREA	947.04	S.F.	
LIMITING DISTANCE	87.98	S.M.	
MAX. % OPENINGS	50.50	%	
OPENINGS ALLOWED	478.26	S.F.	
OPENINGS PROVIDED	198.50	S.F.	
ADDITIONAL NOTES			
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER			

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

WALK OUT BASEMENT CONDITION

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION  
Allan Whiting 23177  
NAME REGISTRATION INFORMATION SIGNATURE BCIN  
HUNT DESIGN ASSOCIATES INC. 19895

HUNT DESIGN ASSOCIATES INC.  
www.huntdesign.ca

GOLDPARK HOMES - 217020  
PINE VALLEY, VAUGHAN ONT.

Drawn By Checked By Scale  
OF AW 3/16"=1'-0"

UNIT 4005 - THE EDGEBROOK  
REV.2020.04.01

File Number Page Number  
217020WS4005 W3 of W7

8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326



SIZE & SPACING OF STUDS: (OBC REFERENCE - TABLE 9.23.10.1.)				
MIN. STUD SIZE, in (mm)	SUPPORTED LOADS (EXTERIOR)			
	ROOF w/ OR w/o ATTIC	ROOF w/ OR w/o ATTIC & 1 FLOOR	ROOF w/ OR w/o ATTIC & 2 FLOOR	ROOF w/ OR w/o ATTIC & 3 FLOOR
	MAX. STUD SPACING in (mm) O.C.			
	MAX. UNSUPPORTED HGT. ft-in (m)			
2"x4" (38x89)	24" (610)	16" (405)	12" (305)	N/A
	9'-10" (3.0)	9'-10" (3.0)	9'-10" (3.0)	N/A
2"x6" (38x140)	-	24" (610)	16" (406)	12" (305)
	-	9'-10" (3.0)	11'-10" (3.6)	5'-11" (1.8)

- REFER TO THIS CHART FOR STUD SIZE & SPACING AS REQUIRED FOR EXTERIOR WALLS ONLY. REFER TO SITING & GRADING PLAN OF THIS UNIT FOR CONFIRMATION OF TOP OF FOUNDATION WALL AND ADDITIONAL INFORMATION.

- IF STUD WALL HEIGHT EXCEEDS MAX. UNSUPPORTED HEIGHT, WALL NEEDS TO BE REVIEWED AND APPROVED BY ENGINEER.

BASE FLASHING CONFORMING TO TABLE 9.20.13.1 TO EXTEND 3/16" BEYOND OUTER FACE OF FOUNDATION WALL, TIED TO EXT. SHEATHING UNDER AIR/WATER BARRIER, PROVIDE 6" MINIMUM LAP JOINT.

WEEP HOLES @ 32" O.C. AT BASE FLASHING AND OVER ALL OPENINGS. PROVIDE P.V.C. BRICK VENTILATOR @ ALL WEEP HOLE LOCATIONS.

PROVIDE MASONRY PARGING FROM TOP OF FOUNDATION WALL TO 2" BELOW FINISHED GRADE

FOUNDATION WALLS SHALL NOT EXCEED 9'-10" (3.0m) IN UNSUPPORTED HEIGHT UNLESS OTHERWISE NOTED. (9.15.4.2.1). POURED CONC. FDTN. WALL WITH BITUMINOUS DAMPPROOFING AND DRAINAGE LAYER. REFER TO CHART FOR MAXIMUM UNSUPPORTED HEIGHT AND EARTH RETENTION FROM BASEMENT SLAB TO FINISHED GRADE, ON CONTINUOUS KEYED CONC. FTG., BRACE FOUNDATION WALL PRIOR TO BACKFILLING. ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OR COMPACTED ENGINEERED FILL.

UNREINFORCED SOLID CONCRETE FOUNDATION WALLS (9.15.4.2.)				
STRENGTH THICKNESS	MAX. HEIGHT FROM FIN. SLAB TO GRADE			
	UNSUPPORTED AT TOP	SUPPORTED AT TOP		
		<2.5m	2.5m & <2.75m	2.75m & <3.0m
8"	3'-11" (1.20m)	7'-0" (2.15m)	7'-0" (2.15m)	6'-10" (2.10m)
10"	4'-7" (1.40m)	7'-6" (2.30m)	8'-6" (2.60m)	8'-2" (2.50m)
12"	4'-11" (1.50m)	7'-6" (2.30m)	8'-6" (2.60m)	9'-3" (2.85m)
8"	3'-11" (1.20m)	7'-6" (2.30m)	7'-6" (2.30m)	7'-2" (2.20m)
10"	4'-7" (1.40m)	7'-6" (2.30m)	8'-6" (2.60m)	9'-3" (2.85m)
12"	4'-11" (1.50m)	7'-6" (2.30m)	8'-6" (2.60m)	9'-3" (2.85m)

MINIMUM STRIP FOOTING SIZES (9.15.3.)			
NUMBER FLOORS SUPPORTED	SUPPORTING INT. LOAD BEARING MASONRY WALL	SUPPORTING EXTERIOR	SUPPORTING PARTYWALL
1	16" W x 6" D	16" W x 6" D	16" W x 6" D
2	24" W x 8" D	20" W x 6" D	24" W x 8" D
3	36" W x 14" D	26" W x 9" D	36" W x 14" D

NOTE: FOOTING SIZE SUBJECT TO CERTIFICATION BY A SOIL CONSULTANT

REFER TO SB-12 ENERGY EFFICIENCY DESIGN MATRIX ON THE TITLE PAGE FOR ALL VALUES AS REQUIRED PER 3.1.1., 3.1.2, 3.1.3. OF THE OBC.

## FIRST FLOOR

TYPICAL BRICK VENEER WALL CONSTRUCTION

TYPICAL FLOOR CONSTRUCTION

INSULATION W/ REQUIRED EXPOSED FLOOR R-VALUE IN HEADER SPACE

2-2"x6" TOP PLATE

2"x6" SILL PLATE WITH 1/2" Ø ANCHOR BOLTS 8" LONG, EMBEDDED MIN. 4" INTO CONC. @ 7'-10" O.C., CAULKING OR GASKET BETWEEN PLATE AND TOP OF FOUND. WALL. USE NON-SHRINK GROUT TO LEVEL SILL PLATE WHEN REQUIRED.

INSULATION BLANKET OR BATTS W/ REQUIRED BASEMENT WALL R-VALUE, 6 MIL POLYETHYLENE VAPOUR BARRIER DAMPPROOF WITH AIR/WATER BARRIER BETWEEN THE FOUNDATION WALL AND INSULATION UP TO GRADE LEVEL. TERMINATE BLANKETS ABOVE SLAB AS REQUIRED BY O.B.C. OR ENERGY DESIGN CONSULTANT

TAPE AND SEAL BLANKETS AT ALL JOINTS

## UNFINISHED BASEMENT

4" Ø WEEPING TILE, 6" CRUSHED STONE COVER OVER AND AROUND WEEPING TILES.

SECURE METAL BLANKET TIE TO FOUNDATION WALL AS PER MANUF. INSTRUCTIONS

1/2" IMPERVIOUS BOARD FOR BOND BREAK

3" MIN. 25 MPa CONC. SLAB ON 4" COARSE CLEAN GRANULAR FILL OR 20 MPa CONC. WITH DAMPPROOFING BELOW SLAB.

PROVIDE RIGID INSULATION BELOW EDGE OF SLAB EXTENDED MIN. 2'-0" WHERE THE GRADE IS LESS THAN 2'-0" DIFFERENCE FROM UNDERSIDE OF SLAB TO FINISHED GRADE.

### NOTE:

WHERE REDUCED GRADE CONDITION REQUIRES THE USE OF A FULL HEIGHT BONDED WALL, REBAR SHALL BE PROVIDED AS PER DETAIL 07 ON PG. W5

05

## MASONRY VENEER, 2"x6" STUDS, 10" FOUNDATION WALL Laterally UNSUPPORTED

1/2" = 1'-0"

SIZE & SPACING OF STUDS: (OBC REFERENCE - TABLE 9.23.10.1.)				
MIN. STUD SIZE, in (mm)	SUPPORTED LOADS (EXTERIOR)			
	ROOF w/ OR w/o ATTIC	ROOF w/ OR w/o ATTIC & 1 FLOOR	ROOF w/ OR w/o ATTIC & 2 FLOOR	ROOF w/ OR w/o ATTIC & 3 FLOOR
	MAX. STUD SPACING in (mm) O.C.			
	MAX. UNSUPPORTED HGT. ft-in (m)			
2"x4" (38x89)	24" (610)	16" (405)	12" (305)	N/A
	9'-10" (3.0)	9'-10" (3.0)	9'-10" (3.0)	N/A
2"x6" (38x140)	-	24" (610)	16" (406)	12" (305)
	-	9'-10" (3.0)	11'-10" (3.6)	5'-11" (1.8)

- REFER TO THIS CHART FOR STUD SIZE & SPACING AS REQUIRED FOR EXTERIOR WALLS ONLY. REFER TO SITING & GRADING PLAN OF THIS UNIT FOR CONFIRMATION OF TOP OF FOUNDATION WALL AND ADDITIONAL INFORMATION.

- IF STUD WALL HEIGHT EXCEEDS MAX. UNSUPPORTED HEIGHT, WALL NEEDS TO BE REVIEWED AND APPROVED BY ENGINEER.

BASE FLASHING CONFORMING TO TABLE 9.20.13.1 TO EXTEND 3/16" BEYOND OUTER FACE OF FOUNDATION WALL, TIED TO EXT. SHEATHING UNDER AIR/WATER BARRIER, PROVIDE 6" MINIMUM LAP JOINT.

WEEP HOLES @ 32" O.C. AT BASE FLASHING AND OVER ALL OPENINGS. PROVIDE P.V.C. BRICK VENTILATOR @ ALL WEEP HOLE LOCATIONS.

PROVIDE MASONRY PARGING FROM TOP OF FOUNDATION WALL TO 2" BELOW FINISHED GRADE

OPTIONAL WEEPING TILE AT REAR WALL-SEE MUNICIPAL STANDARDS

FOUNDATION WALLS SHALL NOT EXCEED 9'-10" (3.0m) IN UNSUPPORTED HEIGHT UNLESS OTHERWISE NOTED. (9.15.4.2.1). POURED CONC. FDTN. WALL WITH BITUMINOUS DAMPPROOFING AND DRAINAGE LAYER. REFER TO CHART FOR MAXIMUM UNSUPPORTED HEIGHT AND EARTH RETENTION FROM BASEMENT SLAB TO FINISHED GRADE, ON CONTINUOUS KEYED CONC. FTG., BRACE FOUNDATION WALL PRIOR TO BACKFILLING. ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OR COMPACTED ENGINEERED FILL.

UNREINFORCED SOLID CONCRETE FOUNDATION WALLS (9.15.4.2.)				
STRENGTH THICKNESS	MAX. HEIGHT FROM FIN. SLAB TO GRADE			
	UNSUPPORTED AT TOP	SUPPORTED AT TOP		
		<2.5m	2.5m & <2.75m	2.75m & <3.0m
8"	3'-11" (1.20m)	7'-0" (2.15m)	7'-0" (2.15m)	6'-10" (2.10m)
10"	4'-7" (1.40m)	7'-6" (2.30m)	8'-6" (2.60m)	8'-2" (2.50m)
12"	4'-11" (1.50m)	7'-6" (2.30m)	8'-6" (2.60m)	9'-3" (2.85m)
8"	3'-11" (1.20m)	7'-6" (2.30m)	7'-6" (2.30m)	7'-2" (2.20m)
10"	4'-7" (1.40m)	7'-6" (2.30m)	8'-6" (2.60m)	9'-3" (2.85m)
12"	4'-11" (1.50m)	7'-6" (2.30m)	8'-6" (2.60m)	9'-3" (2.85m)

MINIMUM STRIP FOOTING SIZES (9.15.3.)			
NUMBER FLOORS SUPPORTED	SUPPORTING INT. LOAD BEARING MASONRY WALL	SUPPORTING EXTERIOR	SUPPORTING PARTYWALL
1	16" W x 6" D	16" W x 6" D	16" W x 6" D
2	24" W x 8" D	20" W x 6" D	24" W x 8" D
3	36" W x 14" D	26" W x 9" D	36" W x 14" D

NOTE: FOOTING SIZE SUBJECT TO CERTIFICATION BY A SOIL CONSULTANT

REFER TO SB-12 ENERGY EFFICIENCY DESIGN MATRIX ON THE TITLE PAGE FOR ALL VALUES AS REQUIRED PER 3.1.1., 3.1.2, 3.1.3. OF THE OBC.

## FIRST FLOOR

TYPICAL BRICK VENEER WALL CONSTRUCTION

TYPICAL FLOOR CONSTRUCTION

INSULATION W/ REQUIRED EXPOSED FLOOR R-VALUE IN HEADER SPACE

2-2"x6" TOP PLATE

## UNFINISHED BASEMENT

1" RIGID INSULATION THERMAL BREAK AROUND PERIMETER OF SLAB

3" MIN. 25 MPa CONC. SLAB ON 4" COARSE CLEAN GRANULAR FILL OR 20 MPa CONC. WITH DAMPPROOFING BELOW SLAB.

PROVIDE RIGID INSULATION UNDER ENTIRE SLAB SURFACE WHEN SLAB IS LESS THAN 2'-0" DIFFERENCE FROM FINISHED GRADE

2"x6" SILL PLATE WITH 1/2" Ø ANCHOR BOLTS 8" LONG, EMBEDDED MIN. 4" INTO CONC. @ 7'-10" O.C., CAULKING OR GASKET BETWEEN PLATE AND TOP OF FOUND. WALL. USE NON-SHRINK GROUT TO LEVEL SILL PLATE WHEN REQUIRED.

PROVIDE RIGID INSULATION EXTENDED NO LESS THAN 2'-0" BELOW FINISHED GRADE, UNDER THE EXTERIOR PERIMETER OF THE CONCRETE SLAB ALONG THE FOUNDATION WALL FOR WALK-OUT CONDITIONS OR WHEN THE DIFFERENCE FROM THE SLAB TO FINISHED GRADE IS LESS THAN 2'-0".

### NOTE:

WHERE REDUCED GRADE CONDITION REQUIRES THE USE OF A FULL HEIGHT BONDED WALL, REBAR SHALL BE PROVIDED AS PER DETAIL 07 ON PG. W5

06

## MASONRY VENEER, 2"x6" STUDS, SLAB ON GRADE / WALK OUT BASEMENT CONDITION

1/2" = 1'-0"



**wsp**

100 COMMERCE VALLEY DR. W.  
THORNHILL, ONTARIO CANADA L3T 0A1  
TEL: 1-905-882-4211 FAX: 1-905-882-9555 WWW.WSPGROUP.CA

FOR STRUCTURAL ONLY, EXCLUDING ENGINEERED ROOF TRUSS, FLOOR JOIST, AND FLOOR LVL BEAM DESIGN.

## DECK DETAILS 1

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION

Alan Whiting 23177  
NAME REGISTRATION INFORMATION SIGNATURE BCIN

HUNT DESIGN ASSOCIATES INC. 19895

**HUNT**  
DESIGN ASSOCIATES INC.

www.huntdesign.ca

**GOLDPARK HOMES - 217020**  
PINE VALLEY, VAUGHAN ONT.

Drawn By HDAL Checked By AW Scale 3/16"=1'-0"

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File Number 217020WS4005

Page Number W4 of W7

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2"x4" P.T. TOP RAIL  
2"x4" P.T. RAIL  
2"x2" P.T. PICKETS @ 4" O.C. MAX.  
4"x4" P.T. MAIN CORNER POSTS  
4"x4" P.T. INTERMEDIATE POSTS AT  
5'-1" O.C. MAXIMUM

NOTE: ALL METAL FASTENERS  
SHALL BE NON-CORROSIVE.

2"x4" P.T. BOTTOM RAIL  
2"x4" P.T. DECKING LAID  
PERPENDICULAR TO JOISTS 1/4"  
APART  
2"x8" P.T. RIM BOARD

2"x8" P.T. BLOCKING AT POSTS  
CONNECTION  
2"x8" P.T. JOISTS @ 16" O.C.  
P.T. BEAM AS PER PLANS TIED TO TOP  
OF 6"x6" P.T. POSTS TIED TO TOP OF  
12"Ø ISMPO POURED CONG. PIER WITH  
NON-CORROSIVE METAL SHOE

POSTS TIED TO METAL SHOE  
ANCHOR WITH 4-3/8"Ø MACHINE BOLTS  
1/2"Ø NON-CORROSIVE ANCHOR 4"  
MINIMUM INTO CONCRETE

TYPICAL FOUNDATION WALL  
CONSTRUCTION

TYPICAL BRICK VENEER WALL CONSTRUCTION

## FIRST FLOOR

MINIMUM 2"x4" SILL PLATE (2"x6" AS REQ.), TIED TO TOP OF POURED  
CONG. FND. WALL WITH 8" LONG 1/2"Ø ANCHOR BOLTS C/W NUT AND  
WASHER WITH 2 1/2" HOOK. ANCHOR BOLTS TO BE SPACED NOT  
MORE THAN 7'-10" O.C. AND EMBEDDED NOT LESS THAN 4" INTO  
CONG. PROVIDE SILL GASKET BETWEEN PLATE AND FOUNDATION  
WALL. PROVIDE NON-SHRINK GROUT TO LEVEL PLATE.

TYPICAL FLOOR CONSTRUCTION

BASE FLASHING CONFORMING TO TABLE 9.20.13.1 TO EXTEND 3/16"  
BEYOND OUTER FACE OF FOUNDATION WALL, TIED TO EXT. SHEATHING  
UNDER AIR/WATER BARRIER, PROVIDE 6" MINIMUM LAP JOINT.

JOISTS TO BEAR ON DOUBLE 2"x8" P.T. RIM BOARD.  
RIM BOARD TIED TO FOUNDATION WALL WITH 5/8"Ø  
GALV. MACHINE BOLTS @ 16" O.C. STAGGERED, BRICK  
VENEER SHALL NOT BE LOAD BEARING

TIE BRICK VENEER TO FOUNDATION WALL WITH CORROSION  
RESISTANT METAL TIES @ 8" VERTICAL AND 2'-11" HORIZONTAL  
- FILL VOID WITH MORTAR BETWEEN WALL AND BRICK  
VENEER-SEE OBC 9.20.9.4(3)

TAPE AND SEAL BLANKETS AT ALL JOINTS

INSULATION BLANKET OR BATTS W/ REQUIRED BASEMENT WALL R-VALUE,  
6 MIL POLYETHYLENE VAPOUR BARRIER DAMPPROOF WITH AIR/WATER  
BARRIER BETWEEN THE FOUNDATION WALL AND INSULATION UP TO  
GRADE LEVEL. TERMINATE BLANKETS ABOVE SLAB AS REQUIRED BY  
O.B.C. OR ENERGY DESIGN CONSULTANT

SECURE METAL BLANKET TIE TO FOUNDATION  
WALL AS PER MANUF. INSTRUCTIONS

## UNFINISHED BASEMENT

WHERE HEIGHT OF REDUCTION IN WALL THICKNESS  
EXCEEDS 2'-0", REINFORCE FOUNDATION WALL W/  
15M BARS @ 300mm EACH WAY.

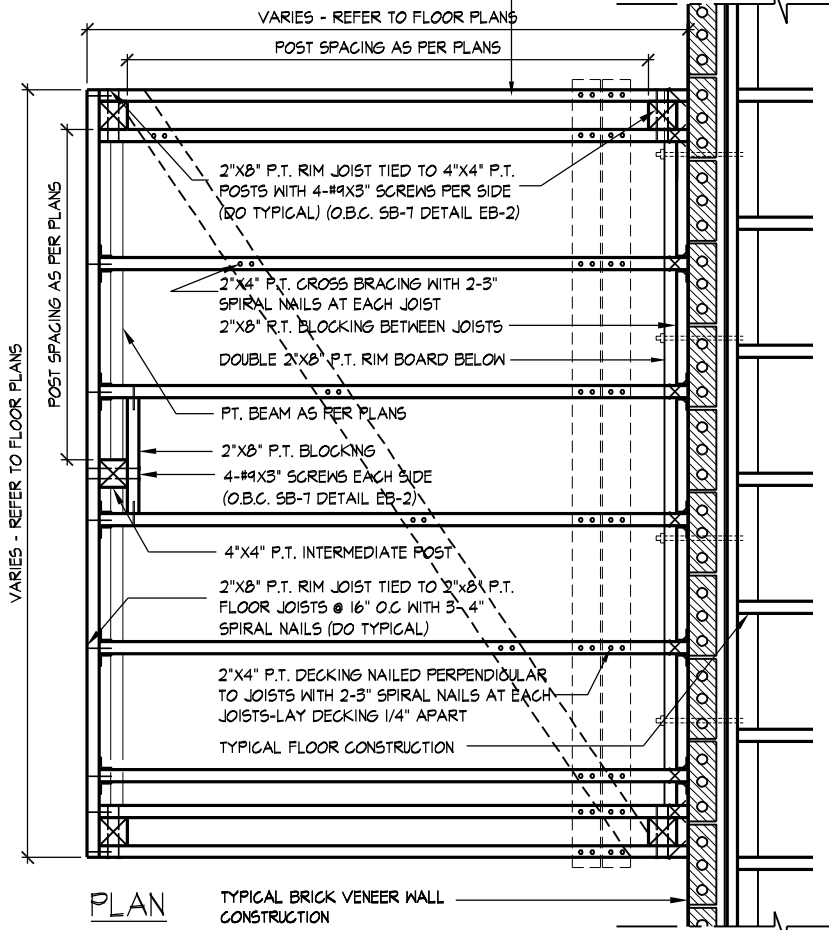
07

## MASONRY VENEER, TYPICAL WALK/LOOK OUT WOOD DECK, SOLID MASONRY

1/2" = 1'-0"

JOISTS TO BEAR ON DOUBLE 2"x8" P.T. RIM BOARD.  
RIM BOARD TIED TO FOUNDATION WALL WITH 5/8"Ø  
GALV. MACHINE BOLTS @ 16" O.C. STAGGERED, BRICK  
VENEER SHALL NOT BE LOAD BEARING

NOTE: ALL METAL FASTENERS  
SHALL BE NON-CORROSIVE.



PLAN

TYPICAL BRICK VENEER WALL  
CONSTRUCTION

### GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE O.B.C. AND SB-7 OF THE SUPPLEMENTARY STANDARD
2. LUMBER GRADES SHALL NOT BE LESS THAN NO. 2 SPF. LUMBER SHALL BE FREE OF LOOSE KNOTS AND ALL CUT ENDS OF PRESERVATIVE TREATED LUMBER SHALL BE TREATED TO PREVENT DECAY SPECIES FOR POSTS, PICKETS AND RAILS SHALL BE DOUGLAS FIR-LARCH, HEM-FIR, SPRUCE-PINE-FIR
3. ALL FASTENERS, SCREWS AND NAILS SHALL BE RESISTANT TO CORROSION - NAILS TO BE COMMON SPIRAL

08

## TYP. DECK FRAMING ON WOOD LEDGER, BRICK VENEER

1/2" = 1'-0"



wsp

100 COMMERCE VALLEY DR. W.  
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FOR STRUCTURAL ONLY. EXCLUDING  
ENGINEERED ROOF TRUSS, FLOOR  
JOIST, AND FLOOR LVL BEAM DESIGN.

## DECK DETAILS 2

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS  
THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING  
CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION

NAME: Allan Whiting  
SIGNATURE: [Signature]  
REGISTRATION INFORMATION: BCIN: 23177

HUNT DESIGN ASSOCIATES INC. 19895

**HUNT**  
DESIGN ASSOCIATES INC.  
www.huntdesign.ca

**GOLDPARK HOMES - 217020**  
PINE VALLEY, VAUGHAN ONT.

Drawn By: HDAL  
Checked By: AW  
Scale: 3/16"=1'-0"

**UNIT 4005 - THE EDGEBROOK**  
REV.2020.04.01

File Number: 217020WS4005

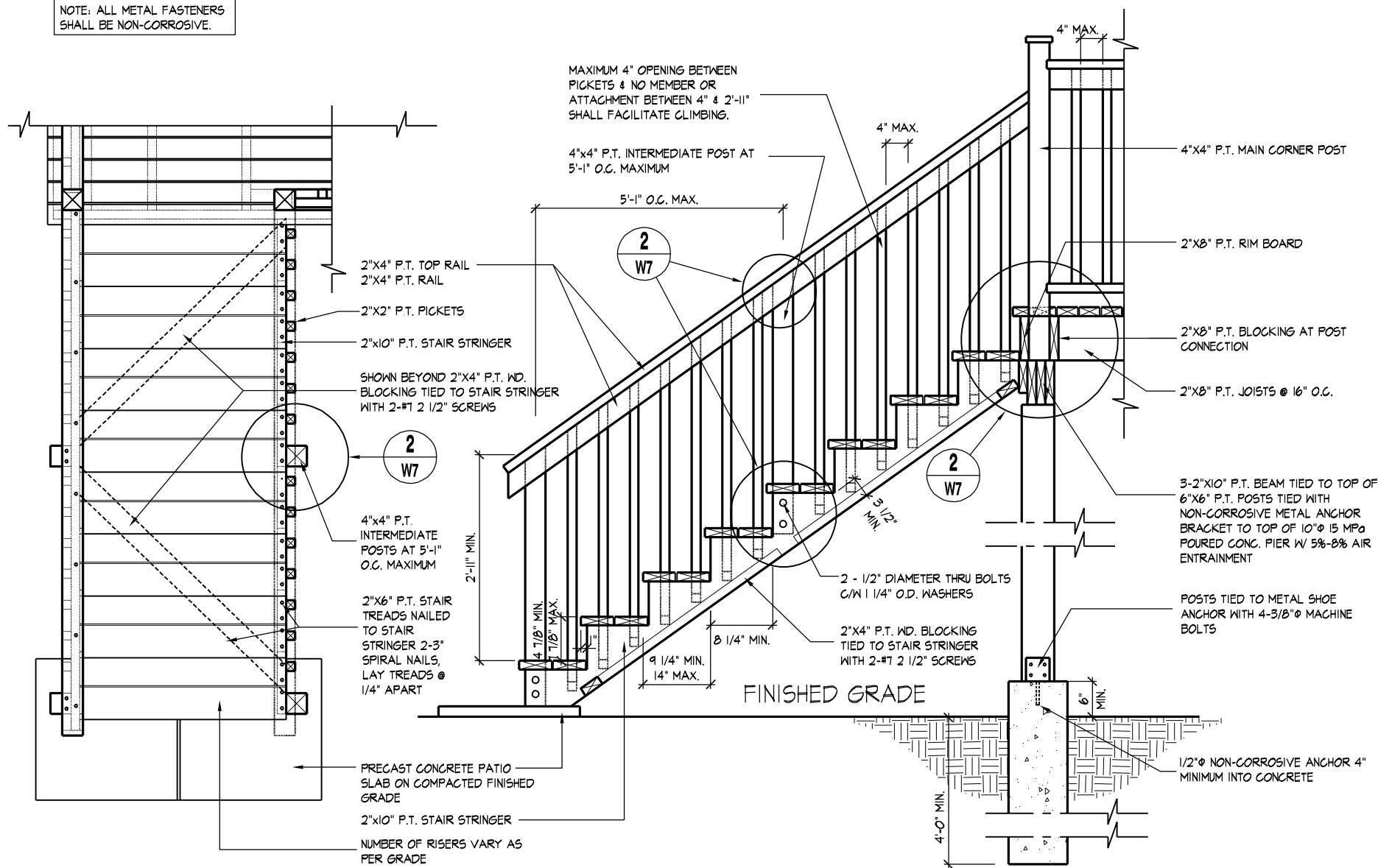
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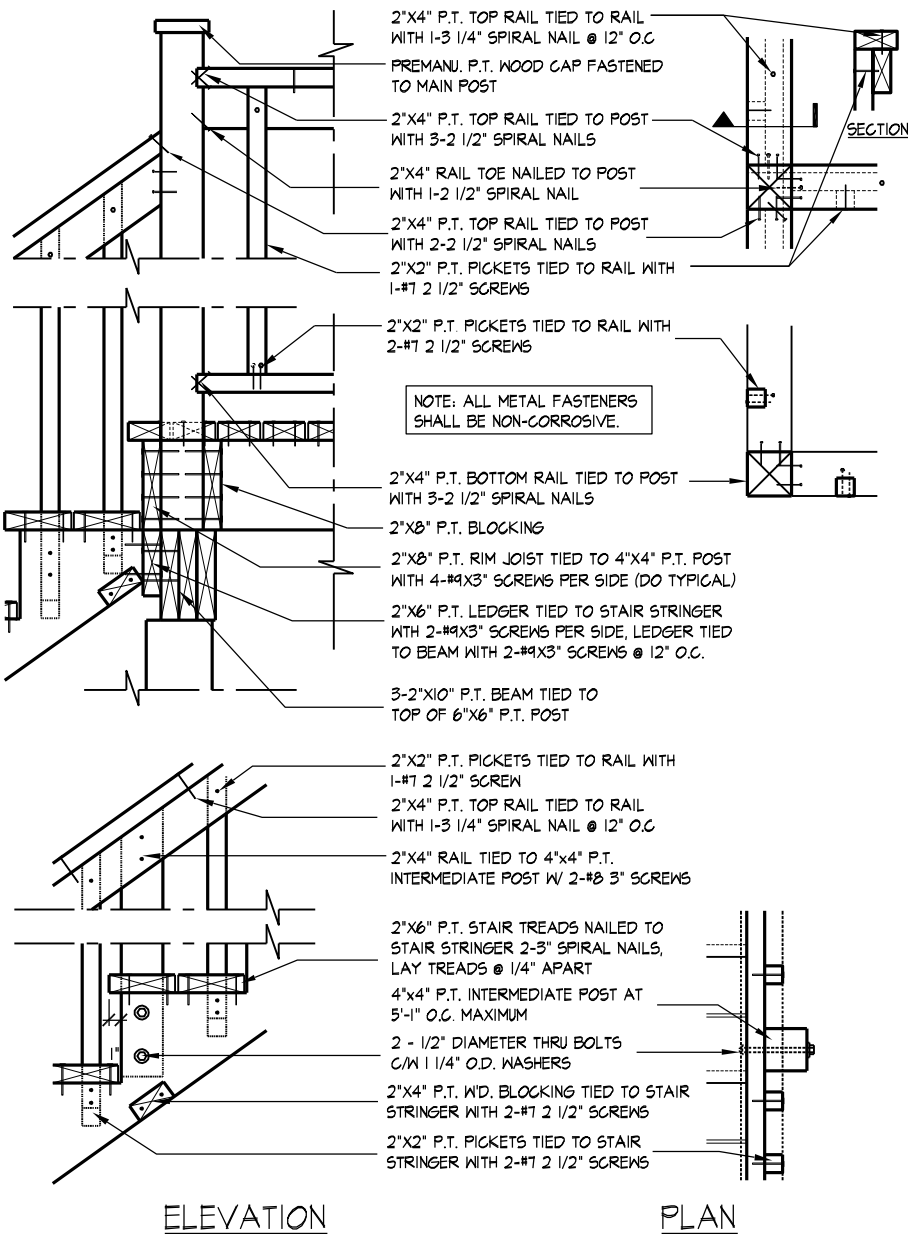
NOTE: ALL METAL FASTENERS SHALL BE NON-CORROSIVE.



01

## TYPICAL WOOD DECK STAIR

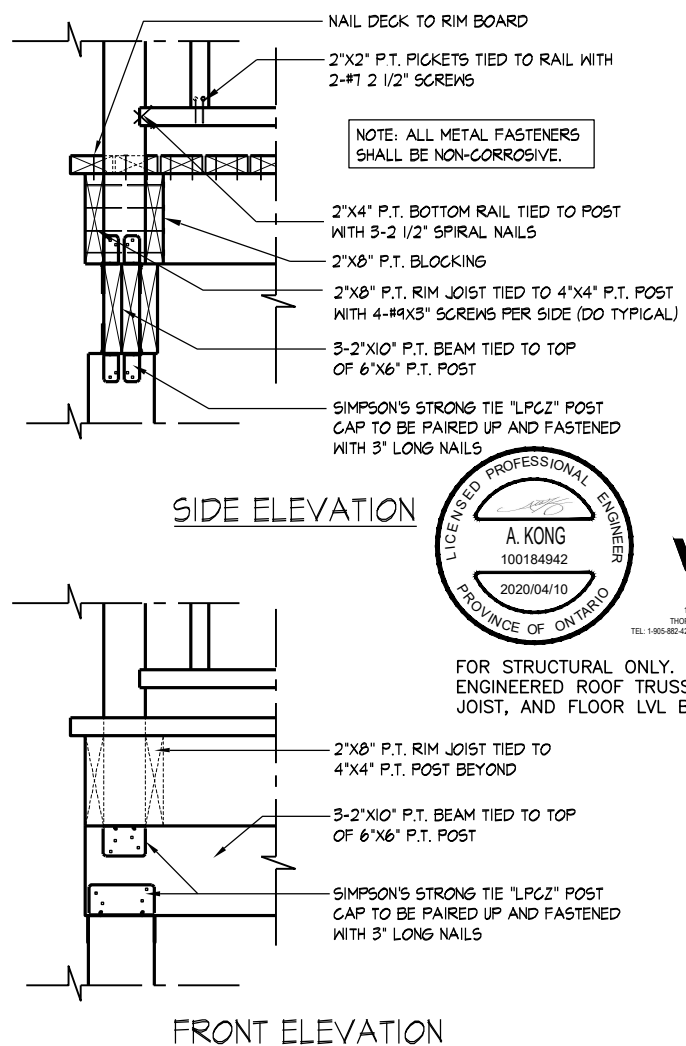
1/2" = 1'-0"



02

## TYP. MAIN AND INTERMEDIATE POST ANCHORAGE

3/4" = 1'-0"



03

## TYP. POST & BEAM CONNECTION

3/4" = 1'-0"



wsp

100 COMMERCIAL VALLEY DR. W.  
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JOIST, AND FLOOR LVL BEAM DESIGN.

## DECK DETAILS 4

GOLDPARK HOMES - 217020  
PINE VALLEY, VAUGHAN ONT.

UNIT 4005 - THE EDGEBROOK  
REV.2020.04.01

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS  
THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING  
CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION

Alan Whiting

23177

NAME

SIGNATURE

BCIN

REGISTRATION INFORMATION

HUNT DESIGN ASSOCIATES INC.

19695

HUNT  
DESIGN ASSOCIATES INC.

www.hunt-design.ca

Drawn By

HDAL

Checked By

AW

Scale

3/16"=1'-0"

File Number

217020WS4005

Page Number

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