

- (RC) COMPLETE ROOF (INCLUDING REAR) CONNECTED TO FRONT DOWNSPOUT AND CONNECTED TO RDC SERVICE CONNECTION.
- (RF) HALF ROOF CONNECTED TO FRONT DOWNSPOUT AND CONNECTED TO RDC SERVICE CONNECTION.
- (RR) HALF ROOF CONNECTED TO REAR DOWNSPOUT AND CONNECTED TO INFILTRATION TRENCH.

- 1.1 - ROOF DRAINS TO BE CONNECTED AT THE FRONT TO RDC SERVICE CONNECTION FOR ROOF CONFIGURATIONS RC, RF, & RR (REFER TO SCS DWG. 906 DETAIL B)
- 1.2 - IF ROOF CONFIGURATION IS RF OR RC, FRONT ROOF DRAINS TO BE CONNECTED TO FRONT DOWNSPOUT & CONNECTED TO RDC SERVICE CONNECTION. (REFER TO SCS DWG. 906 DETAIL B)
- 1.3 - IF ROOF CONFIGURATION IS RR, REAR ROOF DRAINS TO BE CONNECTED TO REAR ROOF DOWNSPOUT AND CONNECTED TO INFILTRATION TRENCH (REFER TO SCS DWG. 906 DETAIL A)
- 1.4 - THE CONTRACTOR SHALL CHECK AND VERIFY ALL GIVEN GRADE ELEVATIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION. FOOTINGS TO BEAR ON NATURAL UNDISTURBED SOIL OR ROCK AND TO BE A MINIMUM OF 1.22m BELOW FINISHED GRADE.
- 1.5 - ALL FRONT AND REAR YARDS SHALL BE GRADED AT A 2%-5% GRADE WITHIN 6.0m OF THE DWELLING UNIT.
- 1.6 - MAXIMUM DRIVEWAY SLOPE SHALL BE 8%.
- 1.7 - THE MAXIMUM ALLOWABLE SLOPE IS 3:1 (HORIZONTAL AND VERTICAL) WITH A MAXIMUM ELEVATION DIFFERENCE OF 600mm.
- 1.8 - DRIVEWAYS TO BE SET BACK A MINIMUM OF 1.0m, FROM ABOVE GROUND SERVICES OR OTHER OBSTRUCTION.
- 1.9 - LOT HIGH POINT (HP) TO BE 2.0m UPSTREAM OF DOWNSPOUTS
- 1.10 - ROOF LEADER EMERGENCY OVERFLOW TO DISCHARGE VIA SPLASH PAD. (REFER TO SCS DWG. 906 DETAIL A FOR ROOF CONFIGURATION RR AND DETAIL B FOR ROOF CONFIGURATION RC & RF)
- 1.11 - INFILTRATION TRENCHES NOT TO CROSS BETWEEN LOT LINES. (REFER TO SCS DWG. 906 DETAIL A)
- 1.12 - IF ROOF CONFIGURATION IS RR, REAR ROOF DOWNSPOUTS CONNECTED TO 100mmØ CAP. REMOVE CAP AND CONNECT TO REAR LOT INFILTRATION TRENCH. BUILDER IS RESPONSIBLE TO BUILD THE REAR YARD ROOF LEADER CONNECTION TO THE CAP AT THE TRENCHES (TYP.) REFER TO SCS DWG. 906 DETAIL A.
- 1.13 - BUILDER TO REFER TO SCS DWG. 906 DETAILS A & B FOR DETAILS ON THE INFILTRATION TRENCH.

LOT **98**

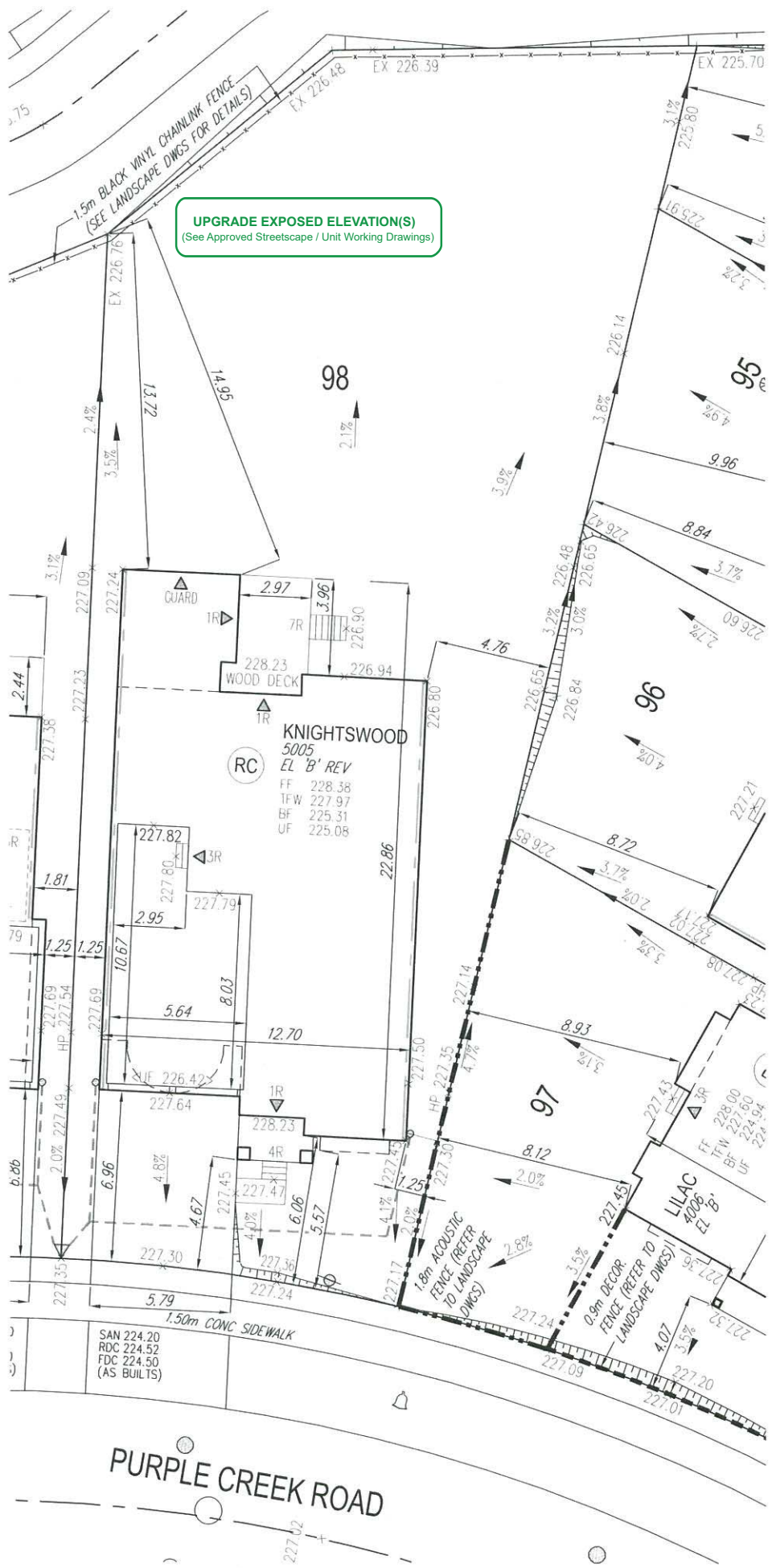
WE HAVE REVIEWED THE SITE AND GRADING PLAN FOR THE PROPOSED BUILDING TO BE CONSTRUCTED, AND HEREBY CERTIFY THAT:

- The proposed grading and appurtenant drainage works comply with sound engineering principles.
- The proposed grading is in conformity with the grading plan approval for this subdivision and will not adversely affect adjacent lands.
- The proposed building is compatible with the proposed grading.
- The proposed water service curb stop is to be located in the grassed portion of the front yard.
- The driveway conforms with the City of Vaughan By-Law 1-88 as amended and is a minimum 1.0 metre clear of all street landscape catch basins.
- The proposed building is a minimum of 0.6 m side yard setback from a drainage swale.

SCS CONSULTING GROUP LTD.



Date: Feb 6/20 Reviewed By: MRC



AIR CONDITIONER ROUGH IN REQUIRED

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL

APPROVED BY: [Signature]
DATE: FEB 10, 2020

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

- GENERAL NOTES:
- BUILDER TO VERIFY LOCATION OF UTILITIES AND OTHER SERVICES. IF MIN. DIMENSIONS ARE NOT MAINTAINED, BUILDER IS TO RELOCATE AT BUILDER'S EXPENSE.
 - BUILDER TO VERIFY ELEV. OF STM. AND SAN. LATERALS IN RELATION TO BASEMENT U/S OF FOOTING ELEVATIONS FOR COMPLIANCE WITH MUNICIPAL STANDARDS PRIOR TO EXCAVATION.
 - APPROVED PERMIT DRAWINGS & CONSTRUCTION NOTES MUST BE REVIEWED AND FOLLOWED IN CONJUNCTION WITH THE SITING AND GRADING PLAN. BUILDER TO VERIFY BUILDING ENVELOPE ON SITE PLAN MATCHES APPROVED PERMIT DRAWINGS & CONSTRUCTION NOTES PRIOR TO POURING CONCRETE. IF THERE ARE ANY DISCREPANCIES, THEY ARE TO BE BROUGHT TO THE ATTENTION OF HUNT DESIGN ASSOCIATES INC.
 - UNLESS NOTED ON BUILDING ENVELOPE OR APPROVED PERMIT DRAWINGS & CONSTRUCTION NOTES, ALL TOP OF FOUNDATION WALLS INCLUDING GARAGE WALLS TO BE CONSISTENT WITH THE ELEVATION PROVIDED FOR TFW ON SITING AND GRADING PLAN. THE EXTERIOR OF THE FOUNDATION WALL TO BE PROVIDED WITH A REDUCTION OF THICKNESS FOR MASONRY VENEER AS REQUIRED.

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-	-	-
-	-	-
ISSUED FOR FINAL APPROVAL	AW	2020.01.29
ISSUED FOR PRELIMINARY APPROVAL	OF	2019/12/19



- ENGINEERED FILL LOTS
- STREET TREE
- RETAINING WALL
- CATCH BASIN
- INFILTRATION TRENCH
- DOUBLE STM / SAN / FDC / RDC CONNECTION REFER TO SCS DWG. 902 DETAIL H1 MODIFIED
- SINGLE STM / SAN / FDC / RDC CONNECTION REFER TO SCS DWG. 902 DETAIL H1 MODIFIED
- CONNECTION TO RDC LATERAL SERVICE AT THE FRONT OF THE HOUSE (SEE NOTE 1.1) AND CONNECTION TO REAR LOT INFILTRATION TRENCH WHEN ROOF CONFIGURATION IS RR (SEE NOTE 1.3)
- AIR CONDITIONER
- SANITARY MANHOLE
- STORM MANHOLE
- VALVE & CHAMBER
- VALVE & BOX
- HYDRANT
- WATER SERVICE
- HYDRO SERVICE
- SHEET DRAINAGE
- STREET LIGHT PEDESTAL
- STREET LIGHT
- TRAFFIC SIGNAL POWER PEDESTAL
- BELL PEDESTAL
- CABLE PEDESTAL
- HYDRO POLE
- HYDRO POLE GUY
- STREET SIGN
- COMMUNITY MAILBOX
- HYDRO TRANSFORMER
- PAD MOUNTED MOTOR
- EXISTING GRADES
- 190.10 PROPOSED GRADES
- 2.0% SWALE DIRECTION
- EMBANKMENT / BERM MAX 3:1 SLOPE
- SAN - SANITARY LINE
- STM - STORM WATER LINE
- W - WATERLINE
- H - HYDRO LINE
- G - GAS LINE
- C - CABLE LINE
- B - BELL
- HYDRO GAS, BELL, CABLE LINE
- DOWNSPOUTS
- WINDOWS PERMITTED
- 45 MINUTE FIRE RATED WALL SIDEYARD DISTANCE IS LESS THAN 1.2m TO LOT LINE (NO WINDOWS PERMITTED)
- EXTERIOR DOOR LOCATION
- EXTERIOR DOOR LOCATION IF GRADE PERMITS
- SUMP PUMP AND SURFACE DISCHARGE LOCATION
- UPGRADE ELEVATION
- CHAIN LINK FENCE
- FENCE AND GATE
- PRIVACY FENCE
- ACOUSTIC FENCE
- FF - FINISHED FLOOR
- TFW - TOP OF FOUNDATION WALL
- BF - BASEMENT FLOOR
- UF - UNDERSIDE OF FOOTING
- WOB - WALKOUT DECK
- MOD - MODIFIED
- REV - REVERSED
- ND - NO DOOR
- XXX - HIGHLIGHTED GRADE

SITING AND GRADING PLAN

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION

Allan Whiting 23177

NAME SIGNATURE BCIN

REGISTRATION INFORMATION

HUNT DESIGN ASSOCIATES INC. 19695

HUNT
DESIGN ASSOCIATES INC.

www.hunt-design.ca

GOLDPARK HOMES - 217020
PINE VALLEY, VAUGHAN ONT.

Drawn By DM Checked By OF Scale 1:250 File Number 217020WSP01

8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

Lot / Page Number

98

- RC

COMPLETE ROOF (INCLUDING REAR) CONNECTED TO FRONT DOWNSPOUT AND CONNECTED TO RDC SERVICE CONNECTION.
- RF

HALF ROOF CONNECTED TO FRONT DOWNSPOUT AND CONNECTED TO RDC SERVICE CONNECTION.
- RR

HALF ROOF CONNECTED TO REAR DOWNSPOUT AND CONNECTED TO INFILTRATION TRENCH.
- 1.1

- ROOF DRAINS TO BE CONNECTED AT THE FRONT TO RDC SERVICE CONNECTION FOR ROOF CONFIGURATIONS RC, RF, & RR (REFER TO SCS DWG. 906 DETAIL B)
- 1.2

- IF ROOF CONFIGURATION IS RF OR RC, FRONT ROOF DRAINS TO BE CONNECTED TO FRONT DOWNSPOUT & CONNECTED TO RDC SERVICE CONNECTION. (REFER TO SCS DWG. 906 DETAIL B)
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- THE CONTRACTOR SHALL CHECK AND VERIFY ALL GIVEN GRADE ELEVATIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION. FOOTINGS TO BEAR ON NATURAL UNDISTURBED SOIL OR ROCK AND TO BE A MINIMUM OF 1.22m BELOW FINISHED GRADE.
- 1.5

- ALL FRONT AND REAR YARDS SHALL BE GRADED AT A 2%-5% GRADE WITHIN 6.0m OF THE DWELLING UNIT.
- 1.6

- MAXIMUM DRIVEWAY SLOPE SHALL BE 8%.
- 1.7

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LOT

99

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4.

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5.

The driveway conforms with the City of Vaughan By-Law 1-88 as amended and is a minimum 1.0 metre clear of all street landscape catch basins.

6.

The proposed building is a minimum of 0.6 m side yard setback from a drainage swale.

SCS CONSULTING GROUP LTD.

LICENSED PROFESSIONAL ENGINEER

M. R. CATTO

PROVINCE OF ONTARIO

Date: Feb. 6/20

Reviewed By: MRC

AIR CONDITIONER ROUGH IN REQUIRED

COVERAGE CALCULATION	
LOT NO. :	99
LOT AREA :	607.10 m2
BLDG. AREA : (INCL. PORCH)	207.36 m2
LOT COVERAGE :	34.16 %
LANDSCAPE AREA:	340.84 m2
LANDSCAPE COV. :	56.14 %
BUILDING HEIGHT	
MAX BUILDING HEIGHT:	11.00 m
FROM AVERAGE FIN. GRADE@ FRONT OF BUILDING TO MEAN	
ESTABLISHED GRADE:	227.70
F.F. TO TOP OF ROOF:	11.39 m
F.F. TO MEAN OF ROOF:	8.77 m
PROPOSED BLDG. HGT:	9.51 m
FRONT YARD LANDSCAPE AREA	
FRONT YARD AREA :	74.90 m2
LANDSCAPE AREA :	46.93 m2
COVERAGE (50% MIN.):	62.66 %
SOFT LANDSCAPE AREA:	44.55 m2
SOFT COVERAGE (60% MIN.):	94.93 %
REAR YARD LANDSCAPE AREA	
REAR YARD AREA :	222.76 m2
SOFT LANDSCAPE AREA :	221.26 m2
COVERAGE (60% MIN.):	99.33 %

SITING AND GRADING PLAN

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QUALIFICATION INFORMATION

Allan Whiting

23177

NAME

SIGNATURE

BCIN

REGISTRATION INFORMATION

HUNT DESIGN ASSOCIATES INC.

19695

Plan No.

99

Lot

PURPLE CREEK ROAD

Street Name

GOLDPARK HOMES - 217020

PINE VALLEY, VAUGHAN ONT.

Drawn By

DM

Checked By

OF

Scale

1:250

File Number

217020WSP01

Lot / Page Number

99

www.huntdesign.ca

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- RC

COMPLETE ROOF (INCLUDING REAR) CONNECTED TO FRONT DOWNSPOUT AND CONNECTED TO RDC SERVICE CONNECTION.
- RF

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LOT

100

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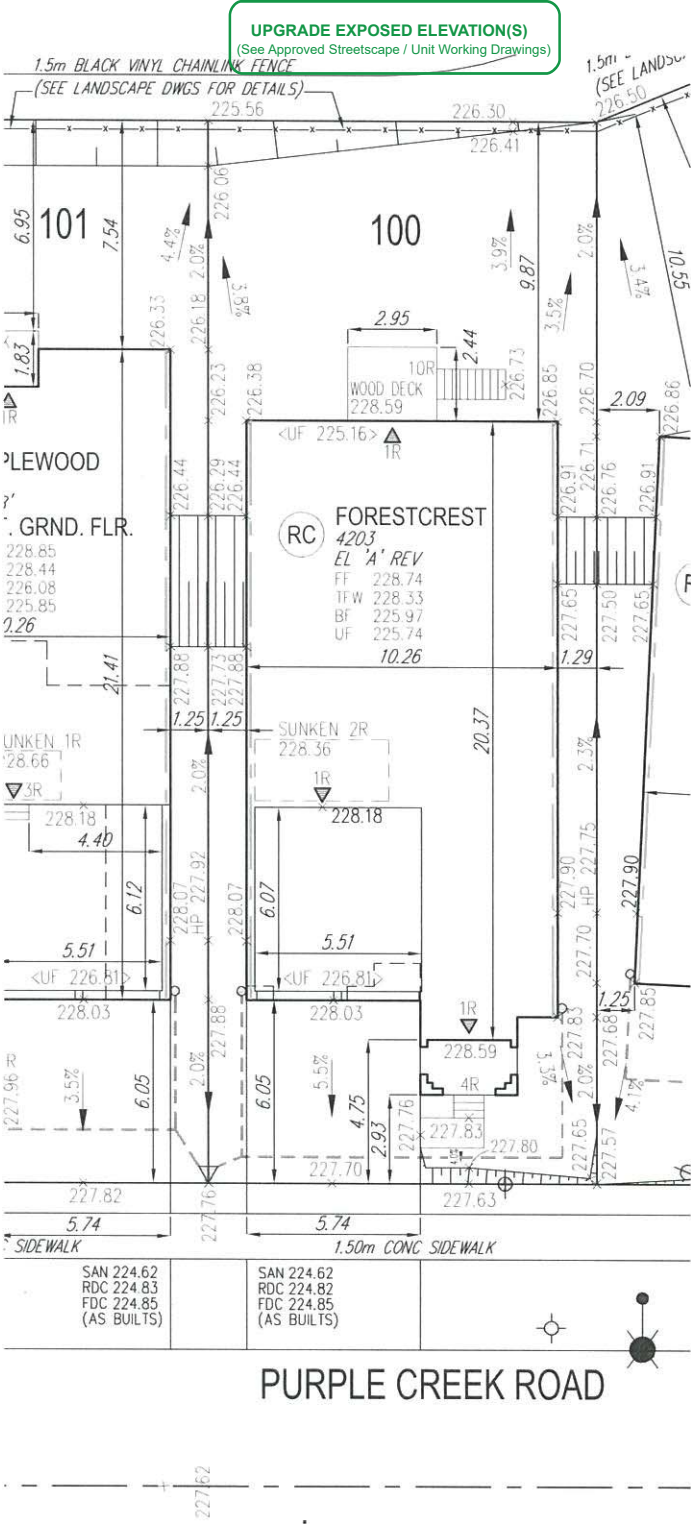
LICENSED PROFESSIONAL ENGINEER

M. R. CATTO

Feb 6/20

PROVINCE OF ONTARIO

Date: Feb 6/20 Reviewed By: MRC



AIR CONDITIONER ROUGH IN REQUIRED

COVERAGE CALCULATION	
LOT NO. :	100
LOT AREA :	448.00 m2
BLDG. AREA : (INCL. PORCH)	206.43 m2
LOT COVERAGE :	46.08 %
LANDSCAPE AREA:	199.64 m2
LANDSCAPE COV. :	44.56 %
BUILDING HEIGHT	
MAX BUILDING HEIGHT:	11.00 m
FROM AVERAGE FIN. GRADE@ FRONT OF BUILDING TO MEAN	
ESTABLISHED GRADE:	227.93
F.F. TO TOP OF ROOF:	10.73 m
F.F. TO MEAN OF ROOF:	8.44 m
PROPOSED BLDG. HGT:	9.25 m
FRONT YARD LANDSCAPE AREA	
FRONT YARD AREA :	37.45 m2
LANDSCAPE AREA :	20.66 m2
COVERAGE (50% MIN.) :	55.17 %
SOFT LANDSCAPE AREA:	17.81 m2
SOFT COVERAGE (60% MIN.) :	86.21 %
REAR YARD LANDSCAPE AREA	
REAR YARD AREA :	95.18 m2
SOFT LANDSCAPE AREA :	95.18 m2
COVERAGE (60% MIN.):	100.00 %

ENGINEERED FILL LOTS

STREET TREE

RETAINING WALL

CATCH BASIN

INFILTRATION TRENCH

DOUBLE STM / SAN / FDC / RDC CONNECTION REFER TO SCS DWG. 902 DETAIL H1 MODIFIED

SINGLE STM / SAN / FDC / RDC CONNECTION REFER TO SCS DWG. 902 DETAIL H1 MODIFIED

AIR CONDITIONER

CONNECTION TO RDC LATERAL SERVICE AT THE FRONT OF THE HOUSE (SEE NOTE 1.1) AND CONNECTION TO REAR LOT INFILTRATION TRENCH (SEE NOTE 1.3)

SANITARY MANHOLE

STORM MANHOLE

VALVE & CHAMBER

VALVE & BOX

HYDRANT

WATER SERVICE

HYDRO SERVICE

SHEET DRAINAGE

STREET LIGHT PEDESTAL

STREET LIGHT

TRAFFIC SIGNAL POWER PEDESTAL

BELL PEDESTAL

CABLE PEDESTAL

HYDRO POLE

HYDRO POLE GUY

STREET SIGN

COMMUNITY MAILBOX

HYDRO TRANSFORMER

PADMOUNTED MOTOR

EXISTING GRADES

190.10 PROPOSED GRADES

2.0% SWALE DIRECTION

EMBANKMENT / BERM MAX 3:1 SLOPE

SANITARY LINE

STORM WATER LINE

WATERLINE

HYDRO LINE

GAS LINE

CABLE LINE

BELL

HYDRO, GAS, BELL, CABLE LINE

DOWNSPOUTS

WINDOWS PERMITTED

45 MINUTE FIRE RATED WALL SIDEYARD DISTANCE IS LESS THAN 1.2m TO LOT LINE (NO WINDOWS PERMITTED)

EXTERIOR DOOR LOCATION

EXTERIOR DOOR LOCATION IF GRADE PERMITS

SUMP PUMP AND SURFACE DISCHARGE LOCATION

UPGRADE ELEVATION

CHAIN LINK FENCE

FENCE AND GATE

PRIVACY FENCE

ACOUSTIC FENCE

FF FINISHED FLOOR

TFW TOP OF FOUNDATION WALL

BF BASEMENT FLOOR

UF UNDERSIDE OF FOOTING

WOB WALKOUT DECK

MOD MODIFIED

REV REVERSED

ND NO DOOR

XXX.XX HIGHLIGHTED GRADE

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JOHN G. WILLIAMS LTD., ARCHITECT

ARCHITECTURAL CONTROL REVIEW AND APPROVAL

APPROVED BY: [Signature]

DATE: FEB 10, 2020

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GENERAL NOTES:

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ISSUED FOR FINAL APPROVAL	AW	2020.01.29
ISSUED FOR PRELIMINARY APPROVAL	OF	2019/12/19

SITING AND GRADING PLAN

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION

AW

NAME

ALLAN WHITING

23177

REGISTRATION INFORMATION

BOIN

HUNT DESIGN ASSOCIATES INC.

19695

HUNT DESIGN ASSOCIATES INC.

DESIGN ASSOCIATES INC.

www.huntdesign.ca

Plan No.

-

Lot

100

Street Name

PURPLE CREEK ROAD

GOLDPARK HOMES - 217020

PINE VALLEY, VAUGHAN ONT.

Drawn By

DM

Checked By

OF

Scale

1:250

File Number

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8966 Woodbine Ave, Markham, ON L3R 0J7

T 905.737.5133 F 905.737.7326

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A circular professional engineer seal for the Province of Ontario. The outer ring contains the text "LICENSED PROFESSIONAL ENGINEER" at the top and "PROVINCE OF ONTARIO" at the bottom. In the center, the name "M. R. CATTO" is printed. Above the name is a stylized signature in blue ink. Below the name is a date stamp "Feb 6/20" in blue ink. The seal also includes a license number "12345" and an expiration date "2020-02-06".

1.5m BLACK VINYL CHAINLINK FENCE
(SEE LANDSCAPE DWGS FOR DETAILS)

UPGRADE EXPOSED ELEVATION(S)
(See Approved Streetscape / Unit Working Drawings)

102

MAPLEWOOD
4201
EL 'A' REV
FF 229.13
TFW 228.72
BF 226.36
UF 226.13

WOOD DECK ABOVE

1.50m CONC SIDEWALK

1.50m

AIR CONDITIONER ROUGH
IN REQUIRED

COVERAGE CALCULATION	
LOT NO. :	102
LOT AREA :	448.00 m2
BLDG. AREA : (INCL PORCH)	210.70 m2
LOT COVERAGE :	47.03 %
LANDSCAPE AREA:	185.48 m2
LANDSCAPE COV. :	41.40 %
BUILDING HEIGHT	
MAX BUILDING HEIGHT:	11.00 m
FROM AVERAGE FIN. GRADE @ FRONT OF BUILDING TO MEAN	
ESTABLISHED GRADE:	228.29
F.F. TO TOP OF ROOF:	10.23 m
F.F. TO MEAN OF ROOF:	7.81 m
PROPOSED BLDG. HGT:	8.65 m
FRONT YARD LANDSCAPE AREA	
FRONT YARD AREA :	55.98 m2
LANDSCAPE AREA :	30.88 m2
COVERAGE (50% MIN.) :	55.16 %
SOFT LANDSCAPE AREA:	28.03 m2
SOFT COVERAGE (60% MIN.) :	90.77 %
REAR YARD LANDSCAPE AREA	
REAR YARD AREA :	89.01 m2
SOFT LANDSCAPE AREA :	89.01 m2
COVERAGE (60% MIN.):	100.00 %

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: 

DATE: FEB 10, 2020

This stamp certifies compliance with the applicable
Design Guidelines only and bears no further
professional responsibility.

-	-	-
-	-	-
-	-	-
-	-	-
-	-	-
ISSUED FOR FINAL APPROVAL	AW	2020.01.29
ISSUED FOR PRELIMINARY APPROVAL	OF	2019/12/19



	ENGINEERED FILL LOTS		DOUBLE STM / SAN / FDC / RDC CONNECTION REFER TO SCS DWG 902 DETAIL H1 MODIFIED.		CONNECTION TO RDC LATERAL SERVICE AT THE FRONT OF THE HOUSE (SEE NOTE 1.1) AND CONNECTION TO REAR LOT INFILTRATION TRENCH WHEN ROOF CONFIGURATION IS RR (SEE NOTE 1.3)		SANITARY MANHOLE		WATER SERVICE		BELL PEDESTAL		— SAN — HYDRO TRANSFORMER		DOWNSPOUTS		FF FINISHED FLOOR TFW TOP OF FOUNDATION WALL UBF BASEMENT FLOOR		
	STREET TREE				STORM MANHOLE		SHEET DRAINAGE		CABLE PEDESTAL		HYDRO POLE		— SAN — EXISTING GRADES		WINDOWS PERMITTED		UPGRADE ELEVATION		UF UNDERFOOTING
	RETAINING WALL		SINGLE STM / SAN / FDC / RDC CONNECTION REFER TO SCS DWG 902 DETAIL H1 MODIFIED.		VALVE & CHAMBER		STREET LIGHT PEDESTAL		HYDRO POLE GUY		STREET SIGN		— W — GAS LINE		(NO WINDOWS PERMITTED)		CHAIN LINK FENCE		WOD WALKOUT DECK
	CATCH BASIN				VALVE & BOX		STREET LIGHT		TRAFFIC SIGNAL POWER PEDESTAL		COMMUNITY MAILBOX		— H — CABLE LINE		EXTERIOR DOOR LOCATION		FENCE AND GATE		MOD MODIFIED BASEMENT
			INFILTRATION TRENCH		AIR CONDITIONER		HYDRANT				EMBANKMENT / BERM MAX 3:1 SLOPE		— C — BELL		REVERSED		PRIVACY FENCE		NO NOOR
													— RDC — HYDRO, GAS BELL CABLE LINE		ACOUSTIC FENCE		HIGHLIGHTED GRADE		

REGISTRATION INFORMATION	1969
HUNT DESIGN ASSOCIATES INC.	19695

Drawn By	Checked By	Scale	File Number
DM	OF	1:250	217020WSP01
8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326			

- RC

COMPLETE ROOF (INCLUDING REAR) CONNECTED TO FRONT DOWNSPOUT AND CONNECTED TO RDC SERVICE CONNECTION.
- RF

HALF ROOF CONNECTED TO FRONT DOWNSPOUT AND CONNECTED TO RDC SERVICE CONNECTION.
- RR

HALF ROOF CONNECTED TO REAR DOWNSPOUT AND CONNECTED TO INFILTRATION TRENCH.
- 1.1 -

ROOF DRAINS TO BE CONNECTED AT THE FRONT TO RDC SERVICE CONNECTION FOR ROOF CONFIGURATIONS RC, RF, & RR (REFER TO SCS DWG. 906 DETAIL B)
- 1.2 -

IF ROOF CONFIGURATION IS RF OR RC, FRONT ROOF DRAINS TO BE CONNECTED TO FRONT DOWNSPOUT & CONNECTED TO RDC SERVICE CONNECTION. (REFER TO SCS DWG. 906 DETAIL B)
- 1.3 -

IF ROOF CONFIGURATION IS RR, REAR ROOF DRAINS TO BE CONNECTED TO REAR ROOF DOWNSPOUT AND CONNECTED TO INFILTRATION TRENCH (REFER TO SCS DWG. 906 DETAIL A)
- 1.4 -

THE CONTRACTOR SHALL CHECK AND VERIFY ALL GIVEN GRADE ELEVATIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION. FOOTINGS TO BEAR ON NATURAL UNDISTURBED SOIL OR ROCK AND TO BE A MINIMUM OF 1.2m BELOW FINISHED GRADE.
- 1.5 -

ALL FRONT AND REAR YARDS SHALL BE GRADED AT A 2%-5% GRADE WITHIN 6.0m OF THE DWELLING UNIT.
- 1.6 -

MAXIMUM DRIVEWAY SLOPE SHALL BE 8%.
- 1.7 -

THE MAXIMUM, ALLOWABLE SLOPE IS 3:1 (HORIZONTAL AND VERTICAL) WITH A MAXIMUM ELEVATION DIFFERENCE OF 600mm.
- 1.8 -

DRIVEWAYS TO BE SET BACK A MINIMUM OF 1.0m, FROM ABOVE GROUND SERVICES OR OTHER OBSTRUCTION.
- 1.9 -

LOT HIGH POINT (HP) TO BE 2.0m UPSTREAM OF DOWNSPOUTS
- 1.10 -

ROOF LEADER EMERGENCY OVERFLOW TO DISCHARGE VIA SPLASH PAD. (REFER TO SCS DWG. 906 DETAIL A FOR ROOF CONFIGURATION RR AND DETAIL B FOR ROOF CONFIGURATION RC & RF)
- 1.11 -

INFILTRATION TRENCHES NOT TO CROSS BETWEEN LOT LINES. (REFER TO SCS DWG. 906 DETAIL A)
- 1.12 -

IF ROOF CONFIGURATION IS RR, REAR ROOF DOWNSPOUTS CONNECTED TO 100mmØ CAP. REMOVE CAP AND CONNECT TO REAR LOT INFILTRATION TRENCH. BUILDER IS RESPONSIBLE TO BUILD THE REAR YARD ROOF LEADER CONNECTION TO THE CAP AT THE TRENCHES (TYP.) REFER TO SCS DWG. 906 DETAIL A.
- 1.13 -

BUILDER TO REFER TO SCS DWG. 906 DETAILS A & B FOR DETAILS ON THE INFILTRATION TRENCH.

LOT

110

WE HAVE REVIEWED THE SITE AND GRADING PLAN FOR THE PROPOSED BUILDING TO BE CONSTRUCTED, AND HEREBY CERTIFY THAT:

1. The proposed grading and appurtenant drainage works comply with sound engineering principles.

2. The proposed grading is in conformity with the grading plan approval for this subdivision and will not adversely affect adjacent lands.

3. The proposed building is compatible with the proposed grading.

4. The proposed water service curb stop is to be located in the grassed portion of the front yard.

5. The driveway conforms with the City of Vaughan By-Law 1-88 as amended and is a minimum 1.0 metre clear of all street landscape catch basins.

6. The proposed building is a minimum of 0.6 m side yard setback from a drainage swale.

SCS CONSULTING GROUP LTD.

LICENSED PROFESSIONAL ENGINEER

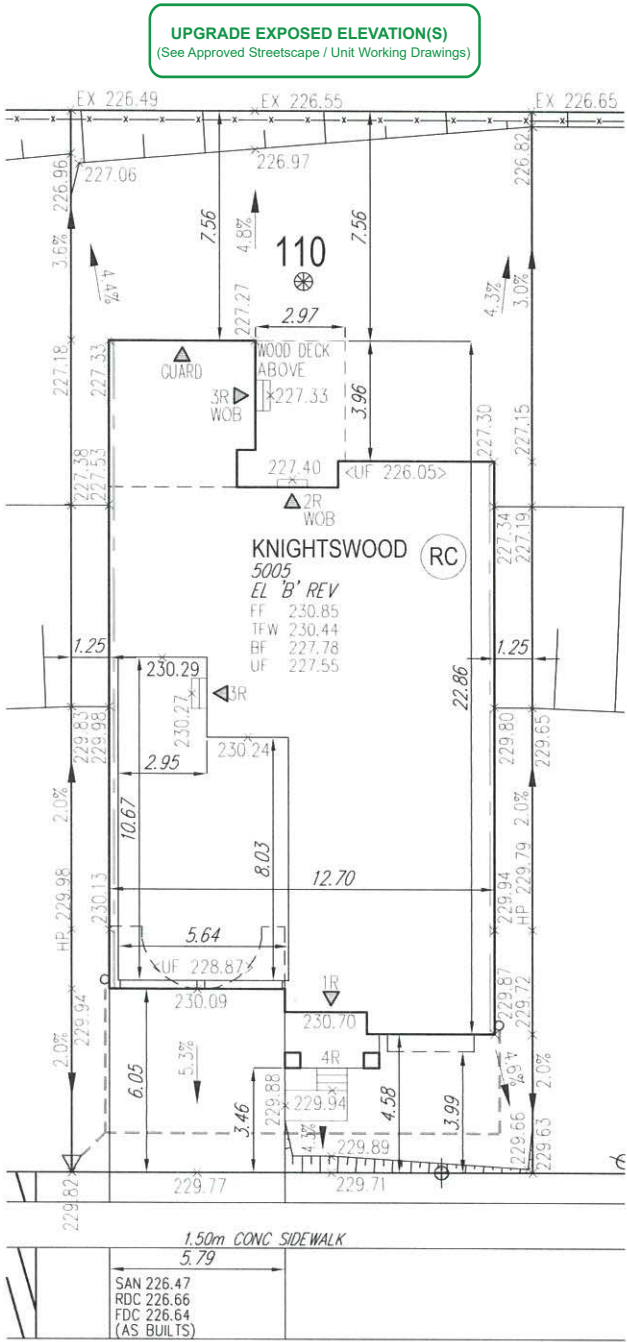
M. R. CATTO

Feb 6/20

PROVINCE OF ONTARIO

Date: Feb 6/20

Reviewed By: MRC



PURPLE CREEK ROAD

AIR CONDITIONER ROUGH IN REQUIRED

COVERAGE CALCULATION	
LOT NO. :	110
LOT AREA :	532.00 m2
BLDG. AREA : (INCL PORCH)	250.93 m2
LOT COVERAGE :	47.17 %
LANDSCAPE AREA:	231.13 m2
LANDSCAPE COV. :	43.45 %
BUILDING HEIGHT	
MAX BUILDING HEIGHT:	11.00 m
FROM AVERAGE FIN. GRADE@ FRONT OF BUILDING TO MEAN	
ESTABLISHED GRADE:	229.97
F.F. TO TOP OF ROOF:	11.29 m
F.F. TO MEAN OF ROOF:	8.98 m
PROPOSED BLDG. HGT:	9.86 m
FRONT YARD LANDSCAPE AREA	
FRONT YARD AREA :	52.58 m2
LANDSCAPE AREA :	32.55 m2
COVERAGE (50% MIN.) :	61.91 %
SOFT LANDSCAPE AREA:	29.75 m2
SOFT COVERAGE (60% MIN.) :	91.40 %
REAR YARD LANDSCAPE AREA	
REAR YARD AREA :	114.96 m2
SOFT LANDSCAPE AREA :	114.96 m2
COVERAGE (60% MIN.):	100.00 %

<div>ENGINEERED FILL LOTS</div> <div>STREET TREE</div> <div>RETAINING WALL</div> <div>CATCH BASIN</div> <div>INFILTRATION TRENCH</div>	<div>DOUBLE STM / SAN / FDC / RDC CONNECTION REFER TO SCS DWG. 902 DETAIL I-1 MODIFIED</div> <div>SINGLE STM / SAN / FDC / RDC CONNECTION REFER TO SCS DWG. 902 DETAIL I-1 MODIFIED</div> <div>AIR CONDITIONER</div>	<div>CONNECTION TO RDC LATERAL SERVICE AT THE FRONT OF THE HOUSE (SEE NOTE 1.1) AND CONNECTION TO REAR LOT INFILTRATION TRENCH WHEN ROOF CONFIGURATION IS RR (SEE NOTE 1.3)</div> <div>SANITARY MANHOLE</div> <div>STORM MANHOLE</div> <div>VALVE & CHAMBER</div> <div>VALVE & BOX</div> <div>HYDRANT</div>	<div>WATER SERVICE</div> <div>HYDRO SERVICE</div> <div>SHEET DRAINAGE</div> <div>STREET LIGHT PEDESTAL</div> <div>STREET LIGHT</div> <div>TRAFFIC SIGNAL POWER PEDESTAL</div> <div>BELL PEDESTAL</div> <div>CABLE PEDESTAL</div> <div>HYDRO POLE</div> <div>HYDRO POLE GUY</div> <div>STREET SIGN</div> <div>COMMUNITY MAILBOX</div> <div>HYDRO TRANSFORMER</div> <div>PADMOUNTED MOTOR</div> <div>EXISTING GRADES</div> <div>190.10 PROPOSED GRADES</div> <div>2.0% SWALE DIRECTION</div> <div>EMBANKMENT / BERM MAX 3:1 SLOPE</div>	<div>SAN - SANITARY LINE</div> <div>STM - STORM WATER LINE</div> <div>W - WATERLINE</div> <div>H - HYDRO LINE</div> <div>C - CABLE LINE</div> <div>B - BELL</div> <div>HYDRO GAS, BELL, CABLE LINE</div> <div>DOWNSPOUTS</div> <div>WINDOWS PERMITTED</div> <div>45 MINUTE FIRE RATED WALL SIDEYARD DISTANCE IS LESS THAN 1.2m TO LOT LINE (NO WINDOWS PERMITTED)</div> <div>EXTERIOR DOOR LOCATION</div> <div>EXTERIOR DOOR LOCATION IF GRADE PERMITS</div> <div>SUMP PUMP AND SURFACE DISCHARGE LOCATION</div> <div>UPGRADE ELEVATION</div> <div>CHAIN LINK FENCE</div> <div>FENCE AND GATE</div> <div>PRIVACY FENCE</div> <div>ACOUSTIC FENCE</div> <div>FF - FINISHED FLOOR</div> <div>TFW - TOP OF FOUNDATION WALL</div> <div>BF - BASEMENT FLOOR</div> <div>UF - UNDERSIDE OF FOOTING</div> <div>WOB - WALKOUT DECK</div> <div>MOD - MODIFIED</div> <div>REV - REVERSED</div> <div>ND - NO DOOR</div> <div>XXX.XX - HIGHLIGHTED GRADE</div>
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SITING AND GRADING PLAN

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION

AW

ALLAN WHITING

23177

NAME

SIGNATURE

BCIN

REGISTRATION INFORMATION

HUNT DESIGN ASSOCIATES INC.

19695

Plan No.

110

Lot

110

Street Name

PURPLE CREEK ROAD

HUNT DESIGN ASSOCIATES INC.

DESIGN ASSOCIATES INC.

www.huntdesign.ca

GOLDPARK HOMES - 217020

PINE VALLEY, VAUGHAN ONT.

Drawn By

DM

Checked By

OF

Scale

1:250

File Number

217020WSP01

Lot / Page Number

110

8966 Woodbine Ave, Markham, ON L3R 0J7

T 905.737.5133

F 905.737.7326

- RC

COMPLETE ROOF (INCLUDING REAR) CONNECTED TO FRONT DOWNSPOUT AND CONNECTED TO RDC SERVICE CONNECTION.
- RF

HALF ROOF CONNECTED TO FRONT DOWNSPOUT AND CONNECTED TO RDC SERVICE CONNECTION.
- RR

HALF ROOF CONNECTED TO REAR DOWNSPOUT AND CONNECTED TO INFILTRATION TRENCH.

- 1.1 - ROOF DRAINS TO BE CONNECTED AT THE FRONT TO RDC SERVICE CONNECTION FOR ROOF CONFIGURATIONS RC, RF, & RR (REFER TO SCS DWG. 906 DETAIL B)
- 1.2 - IF ROOF CONFIGURATION IS RF OR RC, FRONT ROOF DRAINS TO BE CONNECTED TO FRONT DOWNSPOUT & CONNECTED TO RDC SERVICE CONNECTION. (REFER TO SCS DWG. 906 DETAIL B)
- 1.3 - IF ROOF CONFIGURATION IS RR, REAR ROOF DRAINS TO BE CONNECTED TO REAR ROOF DOWNSPOUT AND CONNECTED TO INFILTRATION TRENCH (REFER TO SCS DWG. 906 DETAIL A)
- 1.4 - THE CONTRACTOR SHALL CHECK AND VERIFY ALL GIVEN GRADE ELEVATIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION. FOOTINGS TO BEAR ON NATURAL UNDISTURBED SOIL OR ROCK AND TO BE A MINIMUM OF 1.2m BELOW FINISHED GRADE.
- 1.5 - ALL FRONT AND REAR YARDS SHALL BE GRADED AT A 2%-5% GRADE WITHIN 6.0m OF THE DWELLING UNIT.
- 1.6 - MAXIMUM DRIVEWAY SLOPE SHALL BE 8%.
- 1.7 - THE MAXIMUM ALLOWABLE SLOPE IS 3:1 (HORIZONTAL AND VERTICAL) WITH A MAXIMUM ELEVATION DIFFERENCE OF 600mm.
- 1.8 - DRIVEWAYS TO BE SET BACK A MINIMUM OF 1.0m, FROM ABOVE GROUND SERVICES OR OTHER OBSTRUCTION.
- 1.9 - LOT HIGH POINT (HP) TO BE 2.0m UPSTREAM OF DOWNSPOUTS
- 1.10 - ROOF LEADER EMERGENCY OVERFLOW TO DISCHARGE VIA SPLASH PAD. (REFER TO SCS DWG. 906 DETAIL A FOR ROOF CONFIGURATION RR AND DETAIL B FOR ROOF CONFIGURATION RC & RF)
- 1.11 - INFILTRATION TRENCHES NOT TO CROSS BETWEEN LOT LINES. (REFER TO SCS DWG. 906 DETAIL A)
- 1.12 - IF ROOF CONFIGURATION IS RR, REAR ROOF DOWNSPOUTS CONNECTED TO 100mmØ CAP, REMOVE CAP AND CONNECT TO REAR LOT INFILTRATION TRENCH. BUILDER IS RESPONSIBLE TO BUILD THE REAR YARD ROOF LEADER CONNECTION TO THE CAP AT THE TRENCHES (TYP.) REFER TO SCS DWG. 906 DETAIL A.
- 1.13 - BUILDER TO REFER TO SCS DWG. 906 DETAILS A & B FOR DETAILS ON THE INFILTRATION TRENCH.

LOT **115**

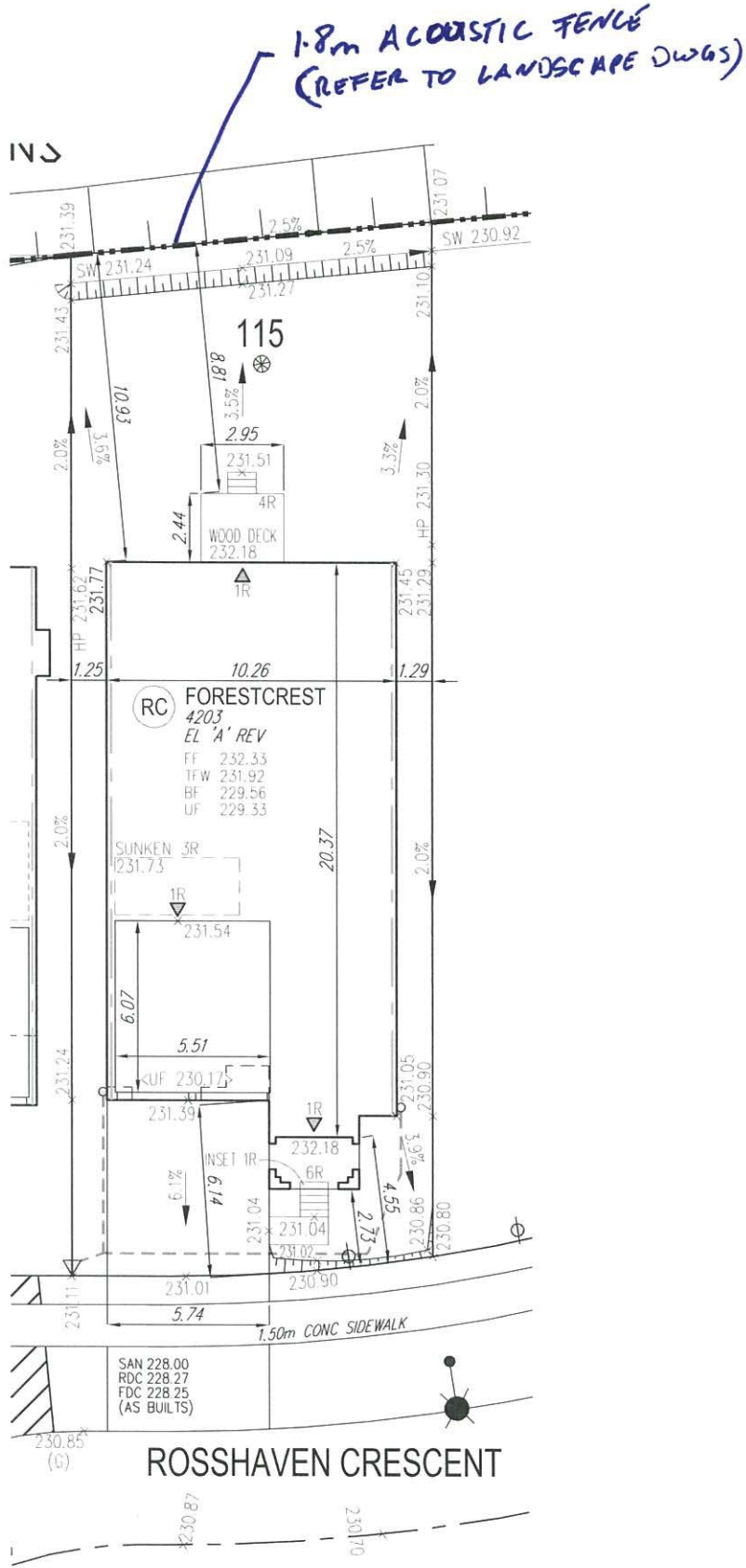
WE HAVE REVIEWED THE SITE AND GRADING PLAN FOR THE PROPOSED BUILDING TO BE CONSTRUCTED, AND HEREBY CERTIFY THAT:

- The proposed grading and appurtenant drainage works comply with sound engineering principles.
- The proposed grading is in conformity with the grading plan approval for this subdivision and will not adversely affect adjacent lands.
- The proposed building is compatible with the proposed grading.
- The proposed water service curb stop is to be located in the grassed portion of the front yard.
- The driveway conforms with the City of Vaughan By-Law 1-88 as amended and is a minimum 1.0 metre clear of all street landscape catch basins.
- The proposed building is a minimum of 0.6 m side yard setback from a drainage swale.

SCS CONSULTING GROUP LTD.



Date: **FEB 6/20** Reviewed By: **MRC**



AIR CONDITIONER ROUGH
IN REQUIRED

COVERAGE CALCULATION

LOT NO. :	115
LOT AREA :	468.62 m ²
BLDG. AREA : (INCL. PORCH)	206.43 m ²
LOT COVERAGE :	44.05 %
LANDSCAPE AREA:	218.95 m ²
LANDSCAPE COV. :	46.72 %

BUILDING HEIGHT

MAX BUILDING HEIGHT:	11.00 m
FROM AVERAGE FIN. GRADE @ FRONT OF BUILDING TO MEAN	
ESTABLISHED GRADE:	231.16
F.F. TO TOP OF ROOF:	10.73 m
F.F. TO MEAN OF ROOF:	8.44 m
PROPOSED BLDG. HGT:	9.61 m

FRONT YARD LANDSCAPE AREA

FRONT YARD AREA :	37.77 m ²
LANDSCAPE AREA :	19.95 m ²
COVERAGE (50% MIN.):	52.82 %
SOFT LANDSCAPE AREA:	16.85 m ²
SOFT COVERAGE (60% MIN.):	84.46 %

REAR YARD LANDSCAPE AREA

REAR YARD AREA :	115.48 m ²
SOFT LANDSCAPE AREA :	111.84 m ²
COVERAGE (60% MIN.):	96.85 %

	ENGINEERED FILL LOTS		DOUBLE STM / SAN / FDC / RDC CONNECTION REFER TO SCS DWG. 902 DETAIL H1 MODIFIED		CONNECTION TO RDC LATERAL SERVICE AT THE FRONT OF THE HOUSE (SEE NOTE 1.1) AND CONNECTION TO REAR LOT INFILTRATION TRENCH WHEN ROOF CONFIGURATION IS RR (SEE NOTE 1.3)		SANITARY MANHOLE		WATER SERVICE		BELL PEDESTAL		HYDRO TRANSFORMER		SANITARY LINE		STORM WATER LINE		DOWNSPOUTS		45 MINUTE FIRE RATED WALL		SUMP PUMP AND SURFACE DISCHARGE LOCATION		UPGRADE ELEVATION		CHAIN LINK FENCE		PRIVACY FENCE		ACOUSTIC FENCE		FF FINISHED FLOOR		TFW TOP OF FOUNDATION WALL		BF BASEMENT FLOOR		UF UNDERSIDE OF FOOTING		WOD WALKOUT DECK		MOD MODIFIED		REV REVERSED		ND NO DOOR		XXXXXX HIGHLIGHTED GRADE
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Title

SITING AND GRADING PLAN

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION

Allan Whiting
NAME
SIGNATURE
23177
BCIN

REGISTRATION INFORMATION

HUNT DESIGN ASSOCIATES INC. 19695

HUNT
DESIGN ASSOCIATES INC.
www.hunt-design.ca

Plan No.

-

Lot

115

Street Name

ROSSHAVEN CRESCENT

GOLDPARK HOMES - 217020
PINE VALLEY, VAUGHAN ONT.

Drawn By

DM

Checked By

OF

Scale

1:250

File Number

217020WSP01

Lot / Page Number

115

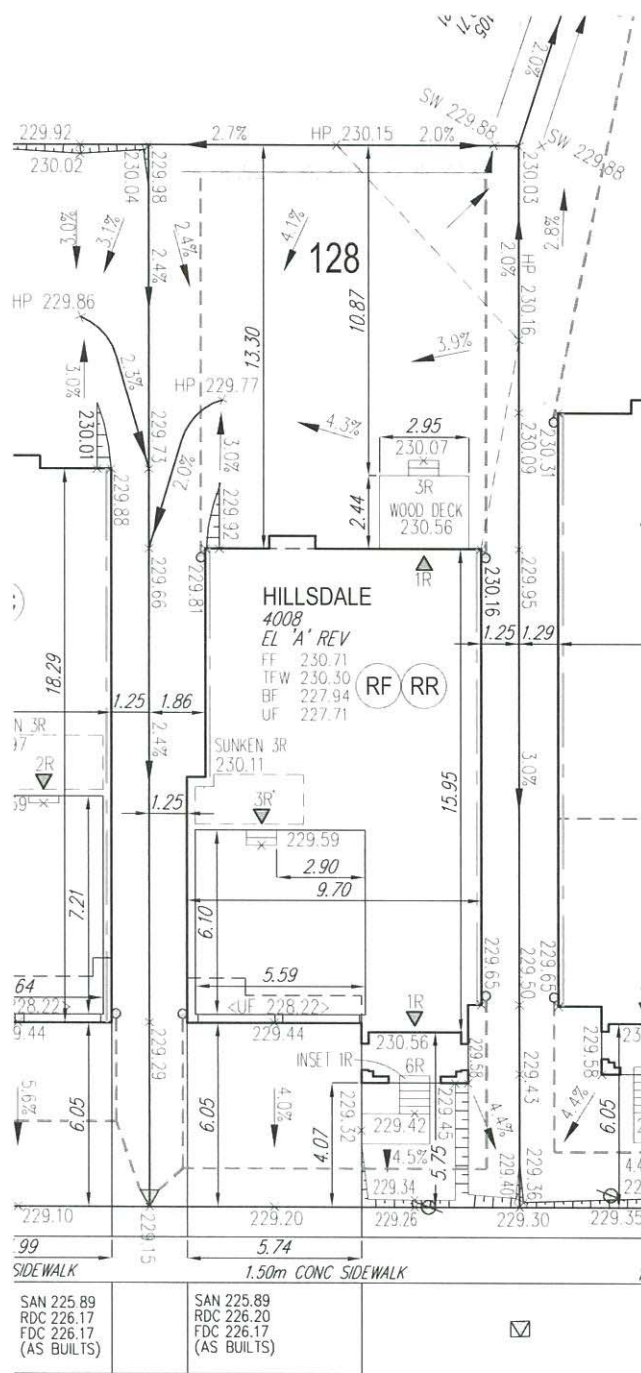
8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

LOT 128

1. The proposed grading and appurtenant drainage works comply with sound engineering principles.
2. The proposed grading is in conformity with the grading plan approval for this subdivision and will not adversely affect adjacent lands.
3. The proposed building is compatible with the proposed grading.
4. The proposed water service curb stop is to be located in the grassed portion of the front yard.
5. The driveway conforms with the City of Vaughan By-Law 1-88 as amended and is a minimum 1.0 metre clear of all street landscape catch basins.
6. The proposed building is a minimum of 0.6 m side yard setback from a drainage swale.

A circular professional engineer seal for the Province of Ontario. The outer ring contains the text "LICENSED PROFESSIONAL ENGINEER" at the top and "PROVINCE OF ONTARIO" at the bottom. The center of the seal features the name "M. R. CATTO" and the license number "12345". A handwritten signature is written across the top, and the date "Feb 6/20" is written across the bottom.

Date: Feb. 6/20 Reviewed By: MRC



PURPLE CREEK ROAD

AIR CONDITIONER ROUGH
IN REQUIRED

COVERAGE CALCULATION	
LOT NO. :	128
LOT AREA :	427.00 m2
BLDG. AREA : (INCL. PORCH)	154.50 m2
LOT COVERAGE :	36.18 %
LANDSCAPE AREA:	230.53 m2
LANDSCAPE COV. :	53.99 %
BUILDING HEIGHT	
MAX BUILDING HEIGHT:	11.00 m
FROM AVERAGE FIN. GRADE@ FRONT OF BUILDING TO MEAN	
ESTABLISHED GRADE:	229.51
F.F. TO TOP OF ROOF:	9.79 m
F.F. TO MEAN OF ROOF:	7.97 m
PROPOSED BLDG. HGT:	9.17 m
FRONT YARD LANDSCAPE AREA	
FRONT YARD AREA :	49.64 m2
LANDSCAPE AREA :	26.28 m2
COVERAGE (50% MIN.) :	52.94 %
SOFT LANDSCAPE AREA:	23.03 m2
SOFT COVERAGE (60% MIN.) :	87.63 %
REAR YARD LANDSCAPE AREA	
REAR YARD AREA :	132.56 m2
SOFT LANDSCAPE AREA :	132.06 m2
COVERAGE (60% MIN.):	99.62 %

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: _____
DATE: FEB 10, 2020

This stamp certifies compliance with the applicable
Design Guidelines only and bears no further
professional responsibility.

1. BUILDER TO VERIFY LOCATION OF UTILITIES AND OTHER SERVICES, IF MIN. DIMENSIONS ARE NOT MAINTAINED, BUILDER IS TO RELOCATE AT BUILDER'S EXPENSE.
2. BUILDER TO VERIFY ELEV. OF STM. AND SAN. LATERALS IN RELATION TO BASEMENT US OF FOOTING ELEVATIONS FOR COMPLIANCE WITH MUNICIPAL STANDARDS PRIOR TO EXCAVATION.
3. APPROVED PERMIT DRAWINGS & CONSTRUCTION NOTES MUST BE REVIEWED AND FOLLOWED IN CONJUNCTION WITH THE SITING AND GRADING PLAN. BUILDER TO VERIFY BUILDING ENVELOPE ON SITE PLAN MATCHES APPROVED PERMIT DRAWINGS & CONSTRUCTION NOTES PRIOR TO POURING CONCRETE. IF THERE ARE ANY DISCREPANCIES, THEY ARE TO BE BROUGHT TO THE ATTENTION OF HUNT DESIGN ASSOCIATES INC.
4. UNLESS NOTED ON BUILDING ENVELOPE OR APPROVED PERMIT DRAWINGS & CONSTRUCTION NOTES, ALL TOP OF FOUNDATION WALLS INCLUDING GARAGE WALLS TO BE CONSISTENT WITH THE ELEVATION PROVIDED FOR TFW ON SITING AND GRADING PLAN. THE EXTERIOR OF THE FOUNDATION WALL TO BE PROVIDED WITH A REDUCTION OF THICKNESS FOR MASONRY VENEER AS REQUIRED.

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-	-	-
-	-	-
-	-	-
ISSUED FOR FINAL APPROVAL	AW	2020.01.29
ISSUED FOR PRELIMINARY APPROVAL	OF	2019/12/19



QUALIFICATION INFORMATION

NAME	SIGNATURE	BCIN
Allan Whiting		23177

REGISTRATION INFORMATION	
HUNT DESIGN ASSOCIATES INC.	19695

GOLDPARK HOMES - 217020
PINE VALLEY, VAUGHAN ONT.

Drawn By	Checked By	Scale	File Number
DM	OF	1:250	217020WSP01
8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326			

Lot / Page Number
100

- RC

COMPLETE ROOF (INCLUDING REAR) CONNECTED TO FRONT DOWNSPOUT AND CONNECTED TO RDC SERVICE CONNECTION.
- RF

HALF ROOF CONNECTED TO FRONT DOWNSPOUT AND CONNECTED TO RDC SERVICE CONNECTION.
- RR

HALF ROOF CONNECTED TO REAR DOWNSPOUT AND CONNECTED TO INFILTRATION TRENCH.
- 1.1 - ROOF DRAINS TO BE CONNECTED AT THE FRONT TO RDC SERVICE CONNECTION FOR ROOF CONFIGURATIONS RC, RF, & RR (REFER TO SCS DWG. 906 DETAIL B)

1.2 - IF ROOF CONFIGURATION IS RF OR RC, FRONT ROOF DRAINS TO BE CONNECTED TO FRONT DOWNSPOUT & CONNECTED TO RDC SERVICE CONNECTION. (REFER TO SCS DWG. 906 DETAIL B)

1.3 - IF ROOF CONFIGURATION IS RR, REAR ROOF DRAINS TO BE CONNECTED TO REAR ROOF DOWNSPOUT AND CONNECTED TO INFILTRATION TRENCH (REFER TO SCS DWG. 906 DETAIL A)

1.4 - THE CONTRACTOR SHALL CHECK AND VERIFY ALL GIVEN GRADE ELEVATIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION. FOOTINGS TO BEAR ON NATURAL UNDISTURBED SOIL OR ROCK AND TO BE A MINIMUM OF 1.22m BELOW FINISHED GRADE.

1.5 - ALL FRONT AND REAR YARDS SHALL BE GRADED AT A 2%-5% GRADE WITHIN 6.0m OF THE DWELLING UNIT.

1.6 - MAXIMUM DRIVEWAY SLOPE SHALL BE 8%.

1.7 - THE MAXIMUM ALLOWABLE SLOPE IS 3:1 (HORIZONTAL AND VERTICAL) WITH A MAXIMUM ELEVATION DIFFERENCE OF 600mm.

1.8 - DRIVEWAYS TO BE SET BACK A MINIMUM OF 1.0m, FROM ABOVE GROUND SERVICES OR OTHER OBSTRUCTION.

1.9 - LOT HIGH POINT (HP) TO BE 2.0m UPSTREAM OF DOWNSPOUTS

1.10 - ROOF LEADER EMERGENCY OVERFLOW TO DISCHARGE VIA SPLASH PAD. (REFER TO SCS DWG. 906 DETAIL A FOR ROOF CONFIGURATION RR AND DETAIL B FOR ROOF CONFIGURATION RC & RF)

1.11 - INFILTRATION TRENCHES NOT TO CROSS BETWEEN LOT LINES. (REFER TO SCS DWG. 906 DETAIL A)

1.12 - IF ROOF CONFIGURATION IS RR, REAR ROOF DOWNSPOUTS CONNECTED TO 100mmØ CAP. REMOVE CAP AND CONNECT TO REAR LOT INFILTRATION TRENCH. BUILDER IS RESPONSIBLE TO BUILD THE REAR YARD ROOF LEADER CONNECTION TO THE CAP AT THE TRENCHES (TYP.) REFER TO SCS DWG. 906 DETAIL A.

1.13 - BUILDER TO REFER TO SCS DWG. 906 DETAILS A & B FOR DETAILS ON THE INFILTRATION TRENCH.

LOT **129**

WE HAVE REVIEWED THE SITE AND GRADING PLAN FOR THE PROPOSED BUILDING TO BE CONSTRUCTED, AND HEREBY CERTIFY THAT:

1. The proposed grading and appurtenant drainage works comply with sound engineering principles.

2. The proposed grading is in conformity with the grading plan approval for this subdivision and will not adversely affect adjacent lands.

3. The proposed building is compatible with the proposed grading.

4. The proposed water service curb stop is to be located in the grassed portion of the front yard.

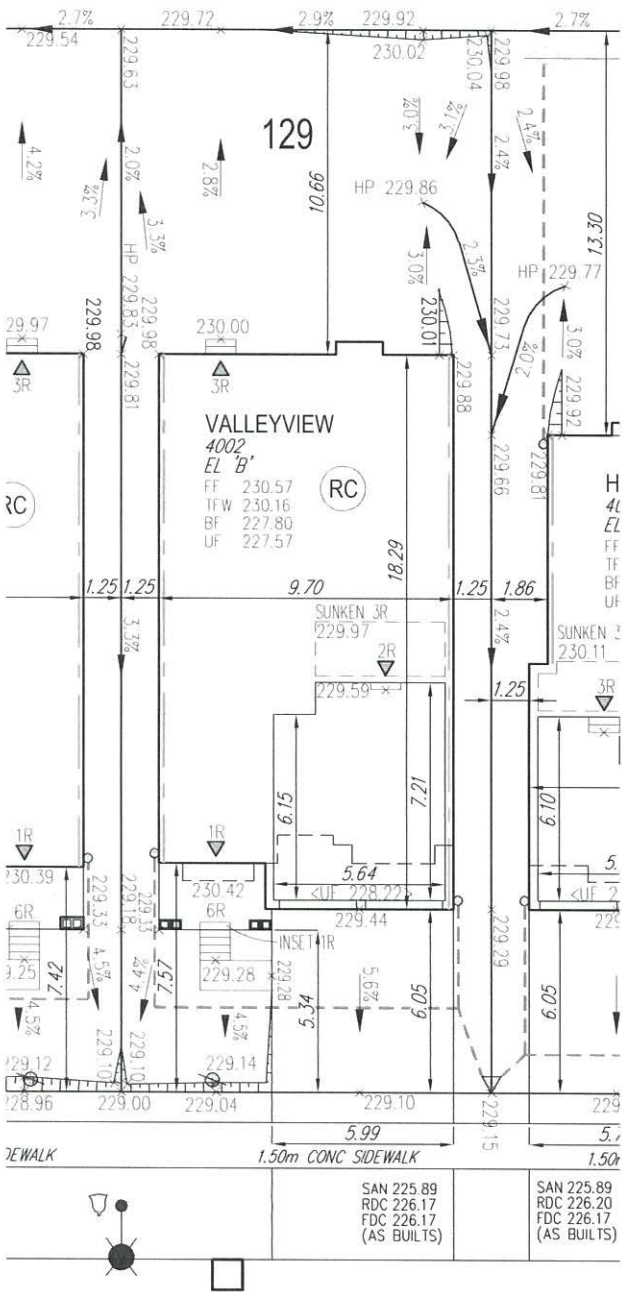
5. The driveway conforms with the City of Vaughan By-Law 1-88 as amended and is a minimum 1.0 metre clear of all street landscape catch basins.

6. The proposed building is a minimum of 0.6 m side yard setback from a drainage swale.

SCS CONSULTING GROUP LTD.



Date: Feb. 6/20 Reviewed By: MRC



- RC

COMPLETE ROOF (INCLUDING REAR) CONNECTED TO FRONT DOWNSPOUT AND CONNECTED TO RDC SERVICE CONNECTION.
- RF

HALF ROOF CONNECTED TO FRONT DOWNSPOUT AND CONNECTED TO RDC SERVICE CONNECTION.
- RR

HALF ROOF CONNECTED TO REAR DOWNSPOUT AND CONNECTED TO INFILTRATION TRENCH.
- 1.1 -

ROOF DRAINS TO BE CONNECTED AT THE FRONT TO RDC SERVICE CONNECTION FOR ROOF CONFIGURATIONS RC, RF, & RR (REFER TO SCS DWG. 906 DETAIL B)
- 1.2 -

IF ROOF CONFIGURATION IS RF OR RC, FRONT ROOF DRAINS TO BE CONNECTED TO FRONT DOWNSPOUT & CONNECTED TO RDC SERVICE CONNECTION. (REFER TO SCS DWG. 906 DETAIL B)
- 1.3 -

IF ROOF CONFIGURATION IS RR, REAR ROOF DRAINS TO BE CONNECTED TO REAR ROOF DOWNSPOUT AND CONNECTED TO INFILTRATION TRENCH (REFER TO SCS DWG. 906 DETAIL A)
- 1.4 -

THE CONTRACTOR SHALL CHECK AND VERIFY ALL GIVEN GRADE ELEVATIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION. FOOTINGS TO BEAR ON NATURAL UNDISTURBED SOIL OR ROCK AND TO BE A MINIMUM OF 1.2m BELOW FINISHED GRADE.
- 1.5 -

ALL FRONT AND REAR YARDS SHALL BE GRADED AT A 2%-5% GRADE WITHIN 6.0m OF THE DWELLING UNIT.
- 1.6 -

MAXIMUM DRIVEWAY SLOPE SHALL BE 8%.
- 1.7 -

THE MAXIMUM, ALLOWABLE SLOPE IS 3:1 (HORIZONTAL AND VERTICAL) WITH A MAXIMUM ELEVATION DIFFERENCE OF 600mm.
- 1.8 -

DRIVEWAYS TO BE SET BACK A MINIMUM OF 1.0m, FROM ABOVE GROUND SERVICES OR OTHER OBSTRUCTION.
- 1.9 -

LOT HIGH POINT (HP) TO BE 2.0m UPSTREAM OF DOWNSPOUTS
- 1.10 -

ROOF LEADER EMERGENCY OVERFLOW TO DISCHARGE VIA SPLASH PAD. (REFER TO SCS DWG. 906 DETAIL A FOR ROOF CONFIGURATION RR AND DETAIL B FOR ROOF CONFIGURATION RC & RF)
- 1.11 -

INFILTRATION TRENCHES NOT TO CROSS BETWEEN LOT LINES. (REFER TO SCS DWG. 906 DETAIL A)
- 1.12 -

IF ROOF CONFIGURATION IS RR, REAR ROOF DOWNSPOUTS CONNECTED TO 100mmØ CAP, REMOVE CAP AND CONNECT TO REAR LOT INFILTRATION TRENCH. BUILDER IS RESPONSIBLE TO BUILD THE REAR YARD ROOF LEADER CONNECTION TO THE CAP AT THE TRENCHES (TYP.) REFER TO SCS DWG. 906 DETAIL A.
- 1.13 -

BUILDER TO REFER TO SCS DWG. 906 DETAILS A & B FOR DETAILS ON THE INFILTRATION TRENCH.

LOT

130

WE HAVE REVIEWED THE SITE AND GRADING PLAN FOR THE PROPOSED BUILDING TO BE CONSTRUCTED, AND HEREBY CERTIFY THAT:

1. The proposed grading and appurtenant drainage works comply with sound engineering principles.

2. The proposed grading is in conformity with the grading plan approval for this subdivision and will not adversely affect adjacent lands.

3. The proposed building is compatible with the proposed grading.

4. The proposed water service curb stop is to be located in the grassed portion of the front yard.

5. The driveway conforms with the City of Vaughan By-Law 1-88 as amended and is a minimum 1.0 metre clear of all street landscape catch basins.

6. The proposed building is a minimum of 0.6 m side yard setback from a drainage swale.

SCS CONSULTING GROUP LTD.

LICENSED PROFESSIONAL ENGINEER

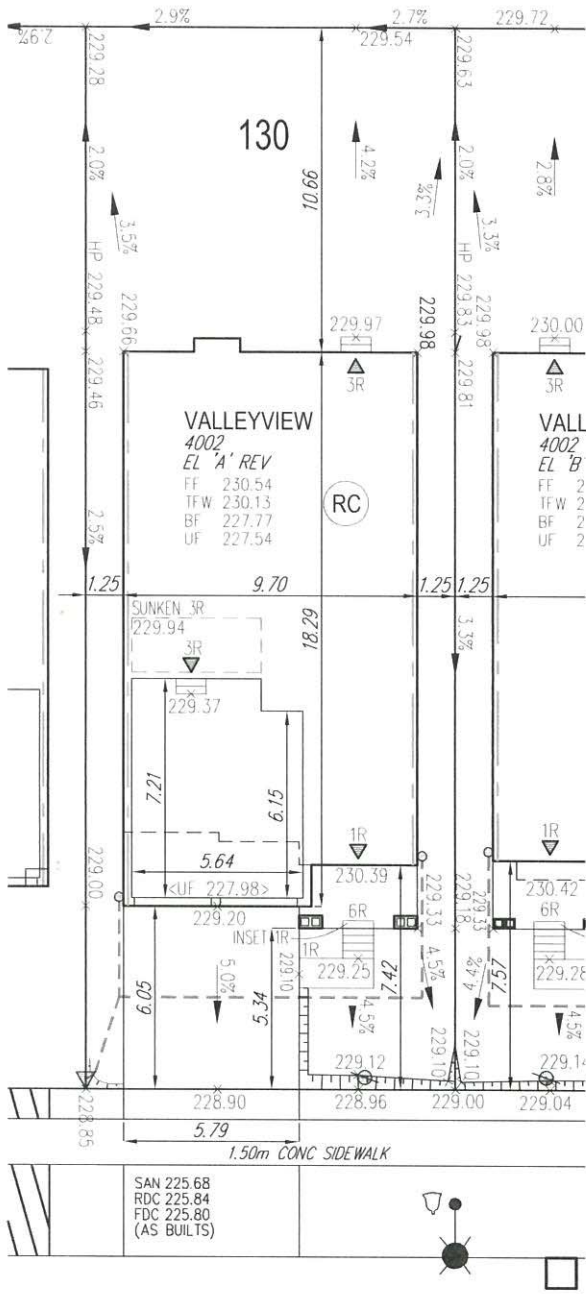
M. R. CATTO

Feb 6/20

PROVINCE OF ONTARIO

Date: Feb. 6/20

Reviewed By: MRC



PURPLE CREEK ROAD

AIR CONDITIONER ROUGH
IN REQUIRED

COVERAGE CALCULATION	
LOT NO. :	130
LOT AREA :	427.00 m2
BLDG. AREA : (INCL PORCH)	169.55 m2
LOT COVERAGE :	39.71 %
LANDSCAPE AREA:	211.08 m2
LANDSCAPE COV. :	49.43 %
BUILDING HEIGHT	
MAX BUILDING HEIGHT:	11.00 m
FROM AVERAGE FIN. GRADE@ FRONT OF BUILDING TO MEAN	
ESTABLISHED GRADE:	229.26
F.F. TO TOP OF ROOF:	11.43 m
F.F. TO MEAN OF ROOF:	8.79 m
PROPOSED BLDG. HGT:	10.07 m
FRONT YARD LANDSCAPE AREA	
FRONT YARD AREA :	65.13 m2
LANDSCAPE AREA :	34.22 m2
COVERAGE (60% MIN.) :	52.54 %
SOFT LANDSCAPE AREA:	30.76 m2
SOFT COVERAGE (60% MIN.) :	89.89 %
REAR YARD LANDSCAPE AREA	
REAR YARD AREA :	130.07 m2
SOFT LANDSCAPE AREA :	128.91 m2
COVERAGE (60% MIN.):	99.11 %

ENGINEERED FILL LOTS

STREET TREE

RETAINING WALL

CATCH BASIN

INFILTRATION TRENCH

DOUBLE STM / SAN / FDC / RDC CONNECTION REFER TO SCS DWG. 902 DETAIL I-1 MODIFIED.

SINGLE STM / SAN / FDC / RDC CONNECTION REFER TO SCS DWG. 902 DETAIL I-1 MODIFIED.

AIR CONDITIONER

CONNECTION TO RDC LATERAL SERVICE AT THE FRONT OF THE HOUSE (SEE NOTE 1.1) AND CONNECTION TO REAR LOT INFILTRATION TRENCH WHEN ROOF CONFIGURATION IS RR (SEE NOTE 1.3)

SANITARY MANHOLE

STORM MANHOLE

VALVE & CHAMBER

VALVE & BOX

HYDRANT

WATER SERVICE

HYDRO SERVICE

SHEET DRAINAGE

STREET LIGHT PEDESTAL

STREET LIGHT

TRAFFIC SIGNAL POWER PEDESTAL

BELL PEDESTAL

CABLE PEDESTAL

HYDRO POLE

HYDRO POLE GUY

STREET SIGN

COMMUNITY MAILBOX

HYDRO TRANSFORMER

PADMOUNTED MOTOR

EXISTING GRADES

SWALE DIRECTION

EMBANKMENT / BERM MAX 3:1 SLOPE

SANITARY LINE

STORM WATER LINE

WATERLINE

HYDRO LINE

GAS LINE

CABLE LINE

BELL

HYDRO, GAS, BELL, CABLE LINE

DOWNSPOUTS

WINDOWS PERMITTED

45 MINUTE FIRE RATED WALL SIDEYARD DISTANCE IS LESS THAN 1.2m TO LOT LINE (NO WINDOWS PERMITTED)

EXTERIOR DOOR LOCATION

EXTERIOR DOOR LOCATION IF GRADE PERMITS

SUMP PUMP AND SURFACE DISCHARGE LOCATION

UPGRADE ELEVATION

CHAIN LINK FENCE

FENCE AND GATE

PRIVACY FENCE

ACOUSTIC FENCE

FF FINISHED FLOOR

TFW TOP OF FOUNDATION WALL

BF BASEMENT FLOOR

UF UNDERSIDE OF FOOTING

WOD WALKOUT DECK

MOD MODIFIED BASEMENT

REV REVERSED

ND NO DOOR

XXXXXX HIGHLIGHTED GRADE

SITING AND GRADING PLAN

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION

AWHITING

SIGNATURE

23177

BCIN

REGISTRATION INFORMATION

HUNT DESIGN ASSOCIATES INC.

19695

Plan No.

130

Lot

PURPLE CREEK ROAD

Drawn By

Checked By

Scale

File Number

Lot / Page Number

DM

OF

1:250

217020WSP01

130

HUNT DESIGN ASSOCIATES INC.

8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

AWHITING

23177

19695

- RC

COMPLETE ROOF (INCLUDING REAR) CONNECTED TO FRONT DOWNSPOUT AND CONNECTED TO RDC SERVICE CONNECTION.
- RF

HALF ROOF CONNECTED TO FRONT DOWNSPOUT AND CONNECTED TO RDC SERVICE CONNECTION.
- RR

HALF ROOF CONNECTED TO REAR DOWNSPOUT AND CONNECTED TO INFILTRATION TRENCH.
- 1.1

- ROOF DRAINS TO BE CONNECTED AT THE FRONT TO RDC SERVICE CONNECTION FOR ROOF CONFIGURATIONS RC, RF, & RR (REFER TO SCS DWG. 906 DETAIL B)
- 1.2

- IF ROOF CONFIGURATION IS RF OR RC, FRONT ROOF DRAINS TO BE CONNECTED TO FRONT DOWNSPOUT & CONNECTED TO RDC SERVICE CONNECTION. (REFER TO SCS DWG. 906 DETAIL B)
- 1.3

- IF ROOF CONFIGURATION IS RR, REAR ROOF DRAINS TO BE CONNECTED TO REAR ROOF DOWNSPOUT AND CONNECTED TO INFILTRATION TRENCH (REFER TO SCS DWG. 906 DETAIL A)
- 1.4

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- 1.5

- ALL FRONT AND REAR YARDS SHALL BE GRADED AT A 2%-5% GRADE WITHIN 6.0m OF THE DWELLING UNIT.
- 1.6

- MAXIMUM DRIVEWAY SLOPE SHALL BE 8%.
- 1.7

- THE MAXIMUM ALLOWABLE SLOPE IS 3:1 (HORIZONTAL AND VERTICAL) WITH A MAXIMUM ELEVATION DIFFERENCE OF 600mm.
- 1.8

- DRIVEWAYS TO BE SET BACK A MINIMUM OF 1.0m, FROM ABOVE GROUND SERVICES OR OTHER OBSTRUCTION.
- 1.9

- LOT HIGH POINT (HP) TO BE 2.0m UPSTREAM OF DOWNSPOUTS
- 1.10

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- 1.13

- BUILDER TO REFER TO SCS DWG. 906 DETAILS A & B FOR DETAILS ON THE INFILTRATION TRENCH.

LOT **135**

WE HAVE REVIEWED THE SITE AND GRADING PLAN FOR THE PROPOSED BUILDING TO BE CONSTRUCTED, AND HEREBY CERTIFY THAT:

1

The proposed grading and appurtenant drainage works comply with sound engineering principles.

2

The proposed grading is in conformity with the grading plan approval for this subdivision and will not adversely affect adjacent lands.

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The proposed building is compatible with the proposed grading.

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The proposed water service curb stop is to be located in the grassed portion of the front yard.

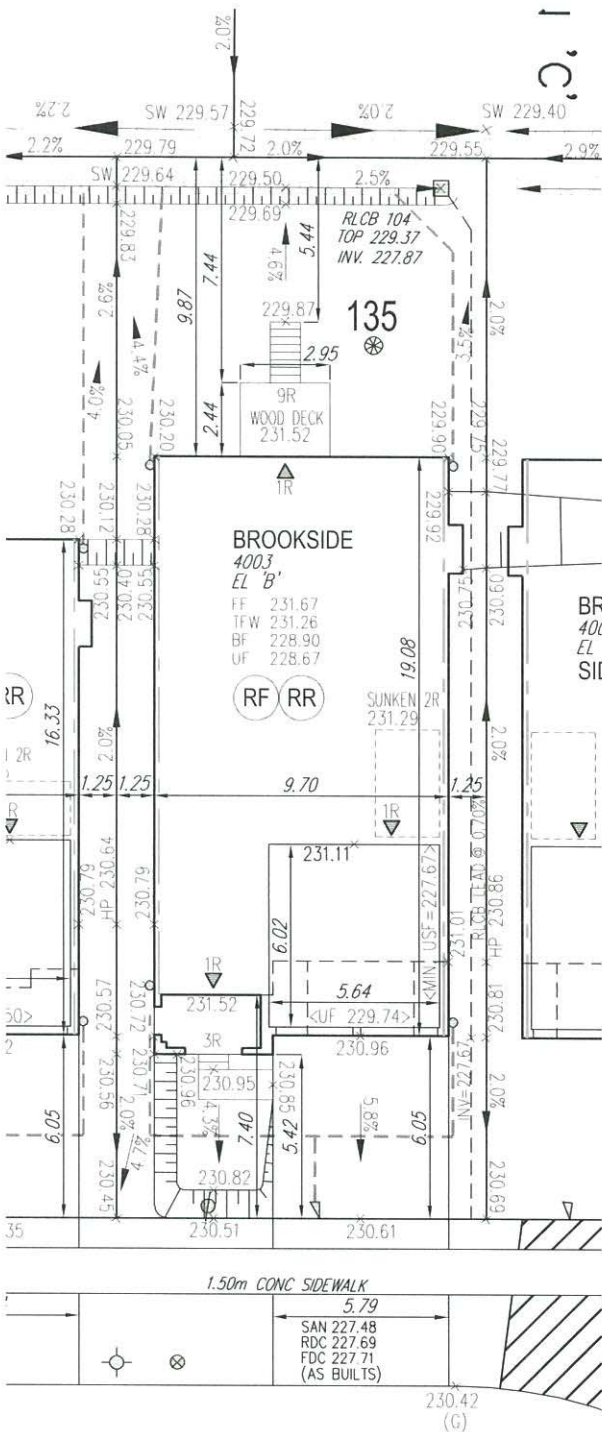
5

The driveway conforms with the City of Vaughan By-Law 1-88 as amended and is a minimum 1.0 metre clear of all street landscape catch basins.

6

The proposed building is a minimum of 0.6 m side yard setback from a drainage swale.

SCS CONSULTING GROUP LTD.



ROSSHAVEN CRESCENT

AIR CONDITIONER ROUGH
IN REQUIRED

EXTERIOR WALLS TO
HAVE STC RATING OF 54

COVERAGE CALCULATION	
LOT NO. :	135
LOT AREA :	427.00 m2
BLDG. AREA : (INCL. PORCH)	187.48 m2
LOT COVERAGE :	43.91 %
LANDSCAPE AREA:	196.43 m2
LANDSCAPE COV. :	46.00 %
BUILDING HEIGHT	
MAX BUILDING HEIGHT:	11.00 m
FROM AVERAGE FIN. GRADE@ FRONT OF BUILDING TO MEAN	
ESTABLISHED GRADE:	230.90
F.F. TO TOP OF ROOF:	9.65 m
F.F. TO MEAN OF ROOF:	7.75 m
PROPOSED BLDG. HGT:	8.52 m
FRONT YARD LANDSCAPE AREA	
FRONT YARD AREA :	66.06 m2
LANDSCAPE AREA :	34.70 m2
COVERAGE (50% MIN.) :	52.53 %
SOFT LANDSCAPE AREA:	31.75 m2
SOFT COVERAGE (60% MIN.) :	91.50 %
REAR YARD LANDSCAPE AREA	
REAR YARD AREA :	90.72 m2
SOFT LANDSCAPE AREA :	88.72 m2
COVERAGE (60% MIN.):	97.80 %

	ENGINEERED FILL LOTS
	STREET TREE
	RETAINING WALL
	CATCH BASIN
	DOUBLE STM / SAN / FDC / RDC CONNECTION. REFER TO SCS DWG. 902 DETAIL I-I MODIFIED
	SINGLE STM / SAN / FDC / RDC CONNECTION. REFER TO SCS DWG. 902 DETAIL I-I MODIFIED
	INFILTRATION TRENCH
	CONNECTION TO RDC LATERAL SERVICE AT THE FRONT OF THE HOUSE (SEE NOTE 1.1) AND CONNECTION TO REAR LOT INFILTRATION TRENCH WHEN ROOF CONFIGURATION IS RR (SEE NOTE 1.3)
	AIR CONDITIONER

	SANITARY MANHOLE
	STORM MANHOLE
	VALVE & CHAMBER
	VALVE & BOX
	HYDRANT
	WATER SERVICE
	HYDRO SERVICE
	SHEET DRAINAGE
	STREET LIGHT PEDESTAL
	STREET SIGN
	TRAFFIC SIGNAL POWER PEDESTAL
	BELL PEDESTAL
	CABLE PEDESTAL
	HYDRO POLE
	HYDRO POLE GUY
	STREET SIGN
	COMMUNITY MAILBOX

	HYDRO TRANSFORMER
	PADMOUNTED MOTOR
	EXISTING GRADES
	PROPOSED GRADES
	SWALE DIRECTION
	EMBANKMENT / BERM
	SANITARY LINE
	STORM WATER LINE
	WATERLINE
	HYDRO LINE
	GAS LINE
	CABLE LINE
	BELL
	HYDRO. GAS. BELL. CABLE. LINE

	DOWNSPOUTS
	WINDOWS PERMITTED
	45 MINUTE FIRE RATED WALL
	EXTERIOR DOOR LOCATION
	EXTERIOR DOOR LOCATION
	SUMP PUMP AND SURFACE DISCHARGE LOCATION
	UPGRADE ELEVATION
	CHAIN LINK FENCE
	FENCE AND GATE
	PRIVACY FENCE
	ACOUSTIC FENCE

	FINISHED FLOOR
	TOP OF FOUNDATION WALL
	BASEMENT FLOOR
	UNDERSIDE OF FOOTING
	WALKOUT DECK
	MODIFIED
	REVERSED
	NO DOOR
	HIGHLIGHTED GRADE

Title:

SITING AND GRADING PLAN

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

Qualification Information

ALLAN WHITING
NAME
SIGNATURE

23177
BCIN

REGISTRATION INFORMATION

HUNT DESIGN ASSOCIATES INC.

19695

Plan No.

Lot

Street Name

135

ROSSHAVEN CRESCENT

HUNT
DESIGN ASSOCIATES INC.
www.huntdesign.ca

GOLDPARK HOMES - 217020
PINE VALLEY, VAUGHAN ONT.

Drawn By

Checked By

Scale

File Number

DM

OF

1:250

217020WSP01

Lot / Page Number

135

8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

- RC

COMPLETE ROOF (INCLUDING REAR) CONNECTED TO FRONT DOWNSPOUT AND CONNECTED TO RDC SERVICE CONNECTION.
- RF

HALF ROOF CONNECTED TO FRONT DOWNSPOUT AND CONNECTED TO RDC SERVICE CONNECTION.
- RR

HALF ROOF CONNECTED TO REAR DOWNSPOUT AND CONNECTED TO INFILTRATION TRENCH.
- 1.1

- ROOF DRAINS TO BE CONNECTED AT THE FRONT TO RDC SERVICE CONNECTION FOR ROOF CONFIGURATIONS RC, RF, & RR (REFER TO SCS DWG. 906 DETAIL B)
- 1.2

- IF ROOF CONFIGURATION IS RF OR RC, FRONT ROOF DRAINS TO BE CONNECTED TO FRONT DOWNSPOUT & CONNECTED TO RDC SERVICE CONNECTION. (REFER TO SCS DWG. 906 DETAIL B)
- 1.3

- IF ROOF CONFIGURATION IS RR, REAR ROOF DRAINS TO BE CONNECTED TO REAR ROOF DOWNSPOUT AND CONNECTED TO INFILTRATION TRENCH (REFER TO SCS DWG. 906 DETAIL A)
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- 1.5

- ALL FRONT AND REAR YARDS SHALL BE GRADED AT A 2%-5% GRADE WITHIN 6.0m OF THE DWELLING UNIT.
- 1.6

- MAXIMUM DRIVEWAY SLOPE SHALL BE 8%.
- 1.7

- THE MAXIMUM, ALLOWABLE SLOPE IS 3:1 (HORIZONTAL AND VERTICAL) WITH A MAXIMUM ELEVATION DIFFERENCE OF 600mm.
- 1.8

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- 1.9

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- 1.10

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- 1.11

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- 1.13

- BUILDER TO REFER TO SCS DWG. 906 DETAILS A & B FOR DETAILS ON THE INFILTRATION TRENCH.

LOT

136

WE HAVE REVIEWED THE SITE AND GRADING PLAN FOR THE PROPOSED BUILDING TO BE CONSTRUCTED, AND HEREBY CERTIFY THAT:

1.

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2.

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SCS CONSULTING GROUP LTD.

LICENSED PROFESSIONAL ENGINEER

M. R. CATTO

FEB 6/20

PROVINCE OF ONTARIO

Date: FEB 6/20

Reviewed By: MPC

ROSSHAVEN CRESCENT

AIR CONDITIONER ROUGH
IN REQUIRED

EXTERIOR WALLS TO
HAVE STC RATING OF 54

COVERAGE CALCULATION	
LOT NO. :	136
LOT AREA :	427.00 m2
BLDG. AREA : (INCL. PORCH)	163.51 m2
LOT COVERAGE :	38.29 %
LANDSCAPE AREA:	218.61 m2
LANDSCAPE COV. :	51.20 %
BUILDING HEIGHT	
MAX BUILDING HEIGHT:	11.00 m
FROM AVERAGE FIN. GRADE@ FRONT OF BUILDING TO MEAN	
ESTABLISHED GRADE:	230.55
F.F. TO TOP OF ROOF:	10.45 m
F.F. TO MEAN OF ROOF:	8.30 m
PROPOSED BLDG. HGT:	9.18 m
FRONT YARD LANDSCAPE AREA	
FRONT YARD AREA :	58.01 m2
LANDSCAPE AREA :	30.23 m2
COVERAGE (50% MIN.) :	52.11 %
SOFT LANDSCAPE AREA:	27.05 m2
SOFT COVERAGE (60% MIN.) :	89.48 %
REAR YARD LANDSCAPE AREA	
REAR YARD AREA :	124.19 m2
SOFT LANDSCAPE AREA :	122.69 m2
COVERAGE (60% MIN.):	98.79 %

ENGINEERED FILL LOTS

STREET TREE

RETAINING WALL

CATCH BASIN

DOUBLE STM / SAN / FDC / RDC CONNECTION. REFER TO SCS DWG. 902 DETAIL I-1 MODIFIED.

SINGLE STM / SAN / FDC / RDC CONNECTION. REFER TO SCS DWG. 902 DETAIL I-1 MODIFIED.

INFILTRATION TRENCH

CONNECTION TO RDC LATERAL SERVICE AT THE FRONT OF THE HOUSE (SEE NOTE 1.1) AND CONNECTION TO REAR LOT INFILTRATION TRENCH WHEN ROOF CONFIGURATION IS RR (SEE NOTE 1.3)

AIR CONDITIONER

SANITARY MANHOLE

STORM MANHOLE

VALVE & CHAMBER

VALVE & BOX

HYDRANT

WATER SERVICE

HYDRO SERVICE

SHEET DRAINAGE

STREET LIGHT PEDESTAL

STREET LIGHT

TRAFFIC SIGNAL POWER PEDESTAL

BELL PEDESTAL

CABLE PEDESTAL

HYDRO POLE

HYDRO POLE GUY

BELL

COMMUNITY MAILBOX

HYDRO TRANSFORMER

PADMOUNTED MOTOR

EXISTING GRADES

SWALE DIRECTION

EMBANKMENT / BERM

MAX 3:1 SLOPE

SANITARY LINE

STORM WATER LINE

WATERLINE

HYDRO LINE

GAS LINE

CABLE LINE

BELL

HYDRO, GAS, BELL, CABLE LINE

DOWNSPOUTS

WINDOWS PERMITTED

45 MINUTE FIRE RATED WALL

SIDEYARD DISTANCE IS LESS THAN 1.2m TO LOT LINE (NO WINDOWS PERMITTED)

EXTERIOR DOOR LOCATION

EXTERIOR DOOR LOCATION IF GRADE PERMITS

SUMP PUMP AND SURFACE DISCHARGE LOCATION

UPGRADE ELEVATION

CHAIN LINK FENCE

FENCE AND GATE

PRIVACY FENCE

ACOUSTIC FENCE

FF FINISHED FLOOR

TFW TOP OF FOUNDATION WALL

BF BASEMENT FLOOR

UF UNDERSIDE OF FOOTING

WOD WALKOUT DECK

WOB WALKOUT BASEMENT

MOD MODIFIED

REV REVERSED

ND NO DOOR

XXXXXX HIGHLIGHTED GRADE

SITING AND GRADING PLAN

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

Qualification Information

Allan Whiting

SIGNATURE

23177

BCIN

Registration Information

HUNT DESIGN ASSOCIATES INC.

19695

HUNT

DESIGN ASSOCIATES INC.

www.huntdesign.ca

GOLDPARK HOMES - 217020
PINE VALLEY, VAUGHAN ONT.

Drawn By

DM

Checked By

OF

Scale

1:250

File Number

217020WSP01

Lot / Page Number

136

8966 Woodbine Ave, Markham, ON L3R 0J7

T 905.737.5133 F 905.737.7326

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- RC

COMPLETE ROOF (INCLUDING REAR) CONNECTED TO FRONT DOWNSPOUT AND CONNECTED TO RDC SERVICE CONNECTION.
- RF

HALF ROOF CONNECTED TO FRONT DOWNSPOUT AND CONNECTED TO RDC SERVICE CONNECTION.
- RR

HALF ROOF CONNECTED TO REAR DOWNSPOUT AND CONNECTED TO INFILTRATION TRENCH.

- 1.1 - ROOF DRAINS TO BE CONNECTED AT THE FRONT TO RDC SERVICE CONNECTION FOR ROOF CONFIGURATIONS RC, RF, & RR (REFER TO SCS DWG. 906 DETAIL B)
- 1.2 - IF ROOF CONFIGURATION IS RF OR RC, FRONT ROOF DRAINS TO BE CONNECTED TO FRONT DOWNSPOUT & CONNECTED TO RDC SERVICE CONNECTION. (REFER TO SCS DWG. 906 DETAIL B)
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- 1.5 - ALL FRONT AND REAR YARDS SHALL BE GRADED AT A 2%-5% GRADE WITHIN 6.0m OF THE DWELLING UNIT.
- 1.6 - MAXIMUM DRIVEWAY SLOPE SHALL BE 8%.
- 1.7 - THE MAXIMUM, ALLOWABLE SLOPE IS 3:1 (HORIZONTAL AND VERTICAL) WITH A MAXIMUM ELEVATION DIFFERENCE OF 600mm.
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- 1.10 - ROOF LEADER EMERGENCY OVERFLOW TO DISCHARGE VIA SPLASH PAD. (REFER TO SCS DWG. 906 DETAIL A FOR ROOF CONFIGURATION RR AND DETAIL B FOR ROOF CONFIGURATION RC & RF)
- 1.11 - INFILTRATION TRENCHES NOT TO CROSS BETWEEN LOT LINES. (REFER TO SCS DWG. 906 DETAIL A)
- 1.12 - IF ROOF CONFIGURATION IS RR, REAR ROOF DOWNSPOUTS CONNECTED TO 100mmØ CAP, REMOVE CAP AND CONNECT TO REAR LOT INFILTRATION TRENCH. BUILDER IS RESPONSIBLE TO BUILD THE REAR YARD ROOF LEADER CONNECTION TO THE CAP AT THE TRENCHES (TYP.) REFER TO SCS DWG. 906 DETAIL A.
- 1.13 - BUILDER TO REFER TO SCS DWG. 906 DETAILS A & B FOR DETAILS ON THE INFILTRATION TRENCH.

LOT **137**

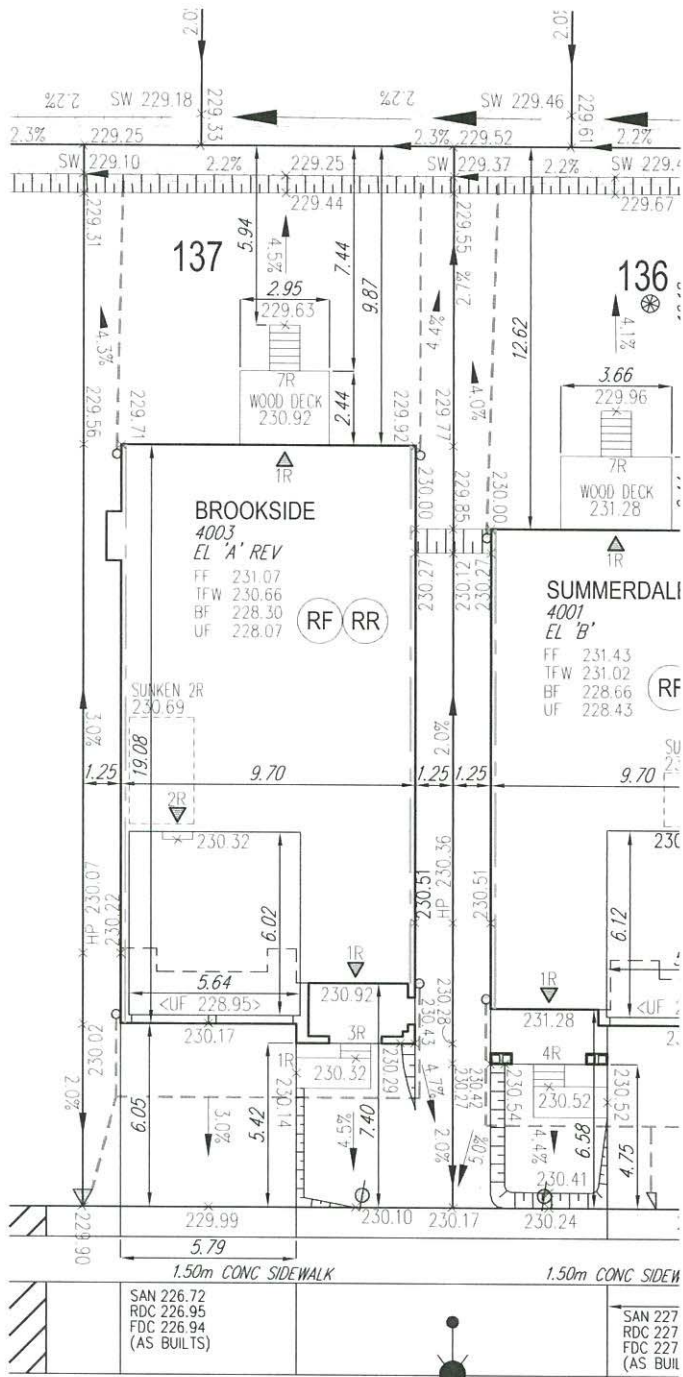
WE HAVE REVIEWED THE SITE AND GRADING PLAN FOR THE PROPOSED BUILDING TO BE CONSTRUCTED, AND HEREBY CERTIFY THAT:

- The proposed grading and appurtenant drainage works comply with sound engineering principles.
- The proposed grading is in conformity with the grading plan approval for this subdivision and will not adversely affect adjacent lands.
- The proposed building is compatible with the proposed grading.
- The proposed water service curb stop is to be located in the grassed portion of the front yard.
- The driveway conforms with the City of Vaughan By-Law 1-88 as amended and is a minimum 1.0 metre clear of all street landscape catch basins.
- The proposed building is a minimum of 0.6 m side yard setback from a drainage swale.

SCS CONSULTING GROUP LTD.



Date: **Feb. 6/20** Reviewed By: **MRC**



ROSSHAVEN CRESCENT

AIR CONDITIONER ROUGH
IN REQUIRED

EXTERIOR WALLS TO
HAVE STC RATING OF 54

COVERAGE CALCULATION

LOT NO. :	137
LOT AREA :	427.00 m ²
BLDG. AREA : (INCL. PORCH)	187.48 m ²
LOT COVERAGE :	43.91 %
LANDSCAPE AREA:	196.43 m ²
LANDSCAPE COV. :	46.00 %

BUILDING HEIGHT

MAX BUILDING HEIGHT:	11.00 m
FROM AVERAGE FIN. GRADE @ FRONT OF BUILDING TO MEAN	
ESTABLISHED GRADE:	230.29
F.F. TO TOP OF ROOF:	9.57 m
F.F. TO MEAN OF ROOF:	7.72 m
PROPOSED BLDG. HGT:	8.42 m

FRONT YARD LANDSCAPE AREA

FRONT YARD AREA :	66.06 m ²
LANDSCAPE AREA :	34.70 m ²
COVERAGE (50% MIN.):	52.53 %
SOFT LANDSCAPE AREA:	31.75 m ²
SOFT COVERAGE (60% MIN.):	91.50 %

REAR YARD LANDSCAPE AREA

REAR YARD AREA :	90.72 m ²
SOFT LANDSCAPE AREA :	89.22 m ²
COVERAGE (60% MIN.):	98.35 %

	ENGINEERED FILL LOTS
	STREET TREE
	RETAINING WALL
	CATCH BASIN
	INFILTRATION TRENCH

	DOUBLE STM / SAN / RDC CONNECTION REFER TO SCS DWG. 902 DETAIL I-1 MODIFIED
	SINGLE STM / SAN / FDC / RDC CONNECTION REFER TO SCS DWG. 902 DETAIL I-1 MODIFIED
	CONNECTION TO RDC LATERAL SERVICE AT THE FRONT OF THE HOUSE (SEE NOTE 1.1) AND CONNECTION TO REAR LOT INFILTRATION TRENCH WHEN ROOF CONFIGURATION IS RR (SEE NOTE 1.3)
	AIR CONDITIONER

	SANITARY MANHOLE
	STORM MANHOLE
	VALVE & CHAMBER
	VALVE & BOX
	HYDRANT
	WATER SERVICE
	HYDRO SERVICE
	SHEET DRAINAGE
	STREET LIGHT PEDESTAL
	STREET LIGHT
	TRAFFIC SIGNAL POWER PEDESTAL
	BELL PEDESTAL
	CABLE PEDESTAL
	HYDRO POLE
	HYDRO POLE GUY
	STREET SIGN
	COMMUNITY MAILBOX

	HYDRO TRANSFORMER
	PADMOUNTED MOTOR
	EXISTING GRADES
	PROPOSED GRADES
	SWALE DIRECTION
	EMBANKMENT / BERM
	SANITARY LINE
	STORM WATER LINE
	WATERLINE
	HYDRO LINE
	CABLE LINE
	BELL
	HYDRO GAS BELL, CABLE LINE

	DOWNSPOUTS
	WINDOWS PERMITTED
	45 MINUTE FIRE RATED WALL
	EXTERIOR DOOR LOCATION
	SUMP PUMP AND SURFACE DISCHARGE LOCATION
	UPGRADE ELEVATION
	CHAIN LINK FENCE
	PRIVACY FENCE
	ACOUSTIC FENCE
	FINISHED FLOOR
	TOP OF FOUNDATION WALL
	BASEMENT FLOOR
	UNDERSIDE OF FOOTING
	WOOD WALKOUT DECK
	MODIFIED BASEMENT
	REVERSED
	NO DOOR
	HIGHLIGHTED GRADE

Title

SITING AND GRADING PLAN

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION

Allan Whiting
NAME
SIGNATURE
23177
BOIN

REGISTRATION INFORMATION

HUNT DESIGN ASSOCIATES INC.
19695



Plan No.

-

Lot

137

Street Name

ROSSHAVEN CRESCENT

GOLDPARK HOMES - 217020
PINE VALLEY, VAUGHAN ONT.

Drawn By: **DM** Checked By: **OF** Scale: **1:250** File Number: **217020WSP01**

Lot / Page Number
137

- RC

COMPLETE ROOF (INCLUDING REAR) CONNECTED TO FRONT DOWNSPOUT AND CONNECTED TO RDC SERVICE CONNECTION.
- RF

HALF ROOF CONNECTED TO FRONT DOWNSPOUT AND CONNECTED TO RDC SERVICE CONNECTION.
- RR

HALF ROOF CONNECTED TO REAR DOWNSPOUT AND CONNECTED TO INFILTRATION TRENCH.
- 1.1 - ROOF DRAINS TO BE CONNECTED AT THE FRONT TO RDC SERVICE CONNECTION FOR ROOF CONFIGURATIONS RC, RF, & RR (REFER TO SCS DWG. 906 DETAIL B)
- 1.2 - IF ROOF CONFIGURATION IS RF OR RC, FRONT ROOF DRAINS TO BE CONNECTED TO FRONT DOWNSPOUT & CONNECTED TO RDC SERVICE CONNECTION. (REFER TO SCS DWG. 906 DETAIL B)
- 1.3 - IF ROOF CONFIGURATION IS RR, REAR ROOF DRAINS TO BE CONNECTED TO REAR ROOF DOWNSPOUT AND CONNECTED TO INFILTRATION TRENCH (REFER TO SCS DWG. 906 DETAIL A)
- 1.4 - THE CONTRACTOR SHALL CHECK AND VERIFY ALL GIVEN GRADE ELEVATIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION. FOOTINGS TO BEAR ON NATURAL UNDISTURBED SOIL OR ROCK AND TO BE A MINIMUM OF 1.22m BELOW FINISHED GRADE.
- 1.5 - ALL FRONT AND REAR YARDS SHALL BE GRADED AT A 2%-5% GRADE WITHIN 6.0m OF THE DWELLING UNIT.
- 1.6 - MAXIMUM DRIVEWAY SLOPE SHALL BE 8%.
- 1.7 - THE MAXIMUM ALLOWABLE SLOPE IS 3:1 (HORIZONTAL AND VERTICAL) WITH A MAXIMUM ELEVATION DIFFERENCE OF 600mm.
- 1.8 - DRIVEWAYS TO BE SET BACK A MINIMUM OF 1.0m, FROM ABOVE GROUND SERVICES OR OTHER OBSTRUCTION.
- 1.9 - LOT HIGH POINT (HP) TO BE 2.0m UPSTREAM OF DOWNSPOUTS
- 1.10 - ROOF LEADER EMERGENCY OVERFLOW TO DISCHARGE VIA SPLASH PAD. (REFER TO SCS DWG. 906 DETAIL A FOR ROOF CONFIGURATION RR AND DETAIL B FOR ROOF CONFIGURATION RC & RF)
- 1.11 - INFILTRATION TRENCHES NOT TO CROSS BETWEEN LOT LINES. (REFER TO SCS DWG. 906 DETAIL A)
- 1.12 - IF ROOF CONFIGURATION IS RR, REAR ROOF DOWNSPOUTS CONNECTED TO 100mmØ CAP, REMOVE CAP AND CONNECT TO REAR LOT INFILTRATION TRENCH. BUILDER IS RESPONSIBLE TO BUILD THE REAR YARD ROOF LEADER CONNECTION TO THE CAP AT THE TRENCHES (TYP.) REFER TO SCS DWG. 906 DETAIL A.
- 1.13 - BUILDER TO REFER TO SCS DWG. 906 DETAILS A & B FOR DETAILS ON THE INFILTRATION TRENCH.

LOT

139

WE HAVE REVIEWED THE SITE AND GRADING PLAN FOR THE PROPOSED BUILDING TO BE CONSTRUCTED, AND HEREBY CERTIFY THAT:

1. The proposed grading and appurtenant drainage works comply with sound engineering principles.

2. The proposed grading is in conformity with the grading plan approval for this subdivision and will not adversely affect adjacent lands.

3. The proposed building is compatible with the proposed grading.

4. The proposed water service curb stop is to be located in the grassed portion of the front yard.

5. The driveway conforms with the City of Vaughan By-Law 1-88 as amended and is a minimum 1.0 metre clear of all street landscape catch basins.

6. The proposed building is a minimum of 0.6 m side yard setback from a drainage swale.

SCS CONSULTING GROUP LTD.

LICENSED PROFESSIONAL ENGINEER

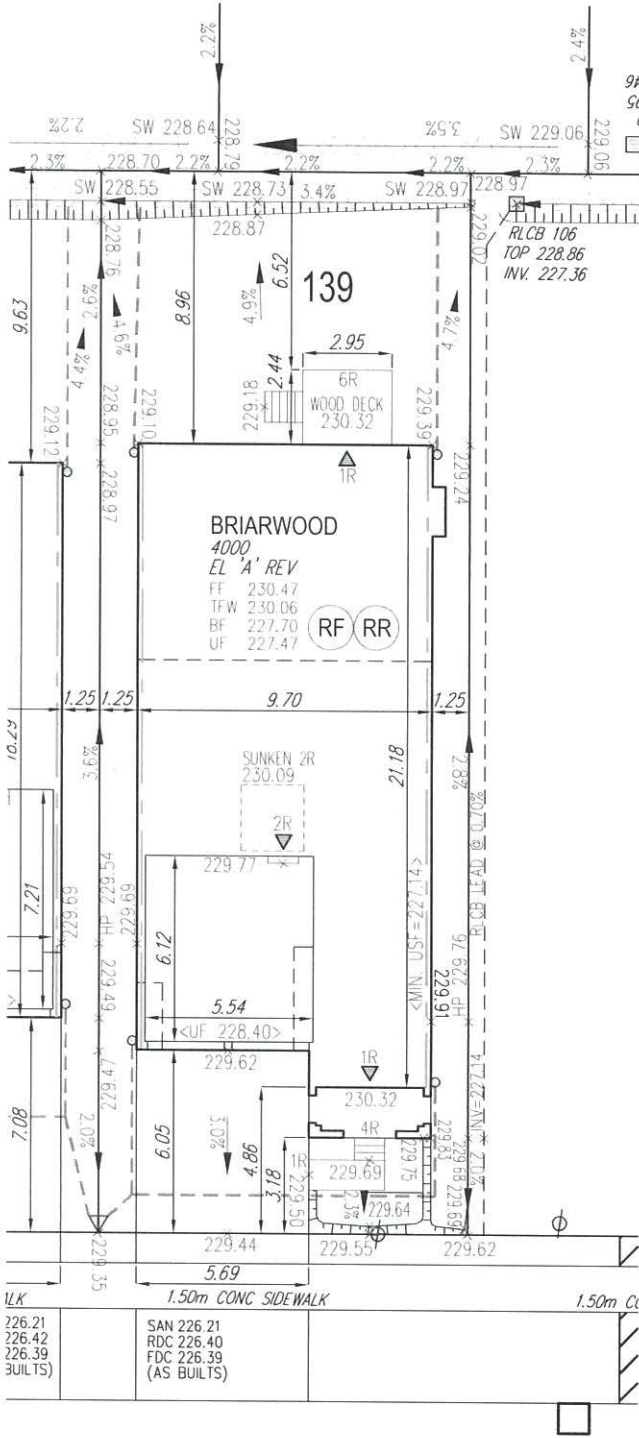
M. R. CATTO

666/20

PROVINCE OF ONTARIO

Date: Feb. 6/20

Reviewed By: MRC



ROSSHAVEN CRESCENT

AIR CONDITIONER ROUGH
IN REQUIRED

EXTERIOR WALLS TO
HAVE STC RATING OF 54

COVERAGE CALCULATION	
LOT NO. :	139
LOT AREA :	427.00 m2
BLDG. AREA : (INCL PORCH)	205.50 m2
LOT COVERAGE :	48.13 %
LANDSCAPE AREA:	179.22 m2
LANDSCAPE COV. :	41.97 %
BUILDING HEIGHT	
MAX BUILDING HEIGHT:	11.00 m
FROM AVERAGE FIN. GRADE@ FRONT OF BUILDING TO MEAN	
ESTABLISHED GRADE:	229.73
F.F. TO TOP OF ROOF:	10.58 m
F.F. TO MEAN OF ROOF:	7.99 m
PROPOSED BLDG. HGT:	8.71 m
FRONT YARD LANDSCAPE AREA	
FRONT YARD AREA :	38.79 m2
LANDSCAPE AREA :	20.70 m2
COVERAGE (60% MIN.):	53.36 %
SOFT LANDSCAPE AREA:	17.70 m2
SOFT COVERAGE (60% MIN.):	85.51 %
REAR YARD LANDSCAPE AREA	
REAR YARD AREA :	79.57 m2
SOFT LANDSCAPE AREA :	79.57 m2
COVERAGE (60% MIN.):	100.00 %

ENGINEERED FILL LOTS

STREET TREE

RETAINING WALL

CATCH BASIN

DOUBLE STM / SAN / FDC / RDC CONNECTION REFER TO SCS DWG. 902 DETAIL I-1 MODIFIED

SINGLE STM / SAN / FDC / RDC CONNECTION REFER TO SCS DWG. 902 DETAIL I-1 MODIFIED

INFILTRATION TRENCH

CONNECTION TO RDC LATERAL SERVICE AT THE FRONT OF THE HOUSE (SEE NOTE 1.1) AND CONNECTION TO REAR LOT INFILTRATION TRENCH WHEN ROOF CONFIGURATION IS RR (SEE NOTE 1.3)

AIR CONDITIONER

SANITARY MANHOLE

STORM MANHOLE

VALVE & CHAMBER

VALVE & BOX

HYDRANT

WATER SERVICE

HYDRO SERVICE

SHEET DRAINAGE

STREET LIGHT PEDESTAL

STREET SIGN

COMMUNITY MAILBOX

BELL PEDESTAL

CABLE PEDESTAL

HYDRO POLE

HYDRO POLE GUY

STREET SIGN

COMMUNITY MAILBOX

HYDRO TRANSFORMER

PAD MOUNTED MOTOR

EXISTING GRADES

PROPOSED GRADES

SWALE DIRECTION

EMBAKMENT / BERM

MAX 3:1 SLOPE

SANITARY LINE

STORM WATER LINE

WATERLINE

HYDRO LINE

GAS LINE

CABLE LINE

BELL

HYDRO GAS

BELL, CABLE LINE

DOWNSPOUTS

WINDOWS PERMITTED

45 MINUTE FIRE RATED WALL

SIDEYARD DISTANCE IS LESS THAN 1.2m TO LOT LINE (NO WINDOWS PERMITTED)

EXTERIOR DOOR LOCATION

EXTERIOR DOOR LOCATION IF GRADE PERMITS

SUMP PUMP AND SURFACE DISCHARGE LOCATION

UPGRADE ELEVATION

CHAIN LINK FENCE

FENCE AND GATE

PRIVACY FENCE

ACOUSTIC FENCE

FF FINISHED FLOOR

TFW TOP OF FOUNDATION WALL

BF BASEMENT FLOOR

UF UNDERSIDE OF FOOTING

WOD WALKOUT DECK

WOB WALKOUT BASEMENT

MOD MODIFIED

REV REVERSED

ND NO DOOR

XXXXXX HIGHLIGHTED GRADE

SITING AND GRADING PLAN

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

Qualification Information		
Allan Whiting		23177
NAME	SIGNATURE	BCIN
REGISTRATION INFORMATION		
HUNT DESIGN ASSOCIATES INC.		19695

HUNT

DESIGN ASSOCIATES INC.

www.huntdesign.ca

Plan No. 139
Street Name ROSSHAVEN CRESCENT

GOLDPARK HOMES - 217020
PINE VALLEY, VAUGHAN ONT.

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