

- RC

COMPLETE ROOF (INCLUDING REAR) CONNECTED TO FRONT DOWNSPOUT AND CONNECTED TO RDC SERVICE CONNECTION.
- RF

HALF ROOF CONNECTED TO FRONT DOWNSPOUT AND CONNECTED TO RDC SERVICE CONNECTION.
- RR

HALF ROOF CONNECTED TO REAR DOWNSPOUT AND CONNECTED TO INFILTRATION TRENCH.
- 1.1 - ROOF DRAINS TO BE CONNECTED AT THE FRONT TO RDC SERVICE CONNECTION FOR ROOF CONFIGURATIONS RC, RF, & RR (REFER TO SCS DWG. 906 DETAIL B)
- 1.2 - IF ROOF CONFIGURATION IS RF OR RC, FRONT ROOF DRAINS TO BE CONNECTED TO FRONT DOWNSPOUT & CONNECTED TO RDC SERVICE CONNECTION. (REFER TO SCS DWG. 906 DETAIL B)
- 1.3 - IF ROOF CONFIGURATION IS RR, REAR ROOF DRAINS TO BE CONNECTED TO REAR ROOF DOWNSPOUT AND CONNECTED TO INFILTRATION TRENCH (REFER TO SCS DWG. 906 DETAIL A)
- 1.4 - THE CONTRACTOR SHALL CHECK AND VERIFY ALL GIVEN GRADE ELEVATIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION. FOOTINGS TO BEAR ON NATURAL UNDISTURBED SOIL OR ROCK AND TO BE A MINIMUM OF 1.22m BELOW FINISHED GRADE.
- 1.5 - ALL FRONT AND REAR YARDS SHALL BE GRADED AT A 2%-5% GRADE WITHIN 6.0m OF THE DWELLING UNIT.
- 1.6 - MAXIMUM DRIVEWAY SLOPE SHALL BE 8%.
- 1.7 - THE MAXIMUM, ALLOWABLE SLOPE IS 3:1 (HORIZONTAL AND VERTICAL) WITH A MAXIMUM ELEVATION DIFFERENCE OF 600mm.
- 1.8 - DRIVEWAYS TO BE SET BACK A MINIMUM OF 1.0m, FROM ABOVE GROUND SERVICES OR OTHER OBSTRUCTION.
- 1.9 - LOT HIGH POINT (HP) TO BE 2.0m UPSTREAM OF DOWNSPOUTS
- 1.10 - ROOF LEADER EMERGENCY OVERFLOW TO DISCHARGE VIA SPLASH PAD. (REFER TO SCS DWG. 906 DETAIL A FOR ROOF CONFIGURATION RR AND DETAIL B FOR ROOF CONFIGURATION RC & RF)
- 1.11 - INFILTRATION TRENCHES NOT TO CROSS BETWEEN LOT LINES. (REFER TO SCS DWG. 906 DETAIL A)
- 1.12 - IF ROOF CONFIGURATION IS RR, REAR ROOF DOWNSPOUTS CONNECTED TO 100mmØ CAP. REMOVE CAP AND CONNECT TO REAR LOT INFILTRATION TRENCH. BUILDER IS RESPONSIBLE TO BUILD THE REAR YARD ROOF LEADER CONNECTION TO THE CAP AT THE TRENCHES (TYP.) REFER TO SCS DWG. 906 DETAIL A.
- 1.13 - BUILDER TO REFER TO SCS DWG. 906 DETAILS A & B FOR DETAILS ON THE INFILTRATION TRENCH.

LOT

100

WE HAVE REVIEWED THE SITE AND GRADING PLAN FOR THE PROPOSED BUILDING TO BE CONSTRUCTED, AND HEREBY CERTIFY THAT:

1. The proposed grading and appurtenant drainage works comply with sound engineering principles.

2. The proposed grading is in conformity with the grading plan approval for this subdivision and will not adversely affect adjacent lands.

3. The proposed building is compatible with the proposed grading.

4. The proposed water service curb stop is to be located in the grassed portion of the front yard.

5. The driveway conforms with the City of Vaughan By-Law 1-88 as amended and is a minimum 1.0 metre clear of all street landscape catch basins.

6. The proposed building is a minimum of 0.6 m side yard setback from a drainage swale.

SCS CONSULTING GROUP LTD.

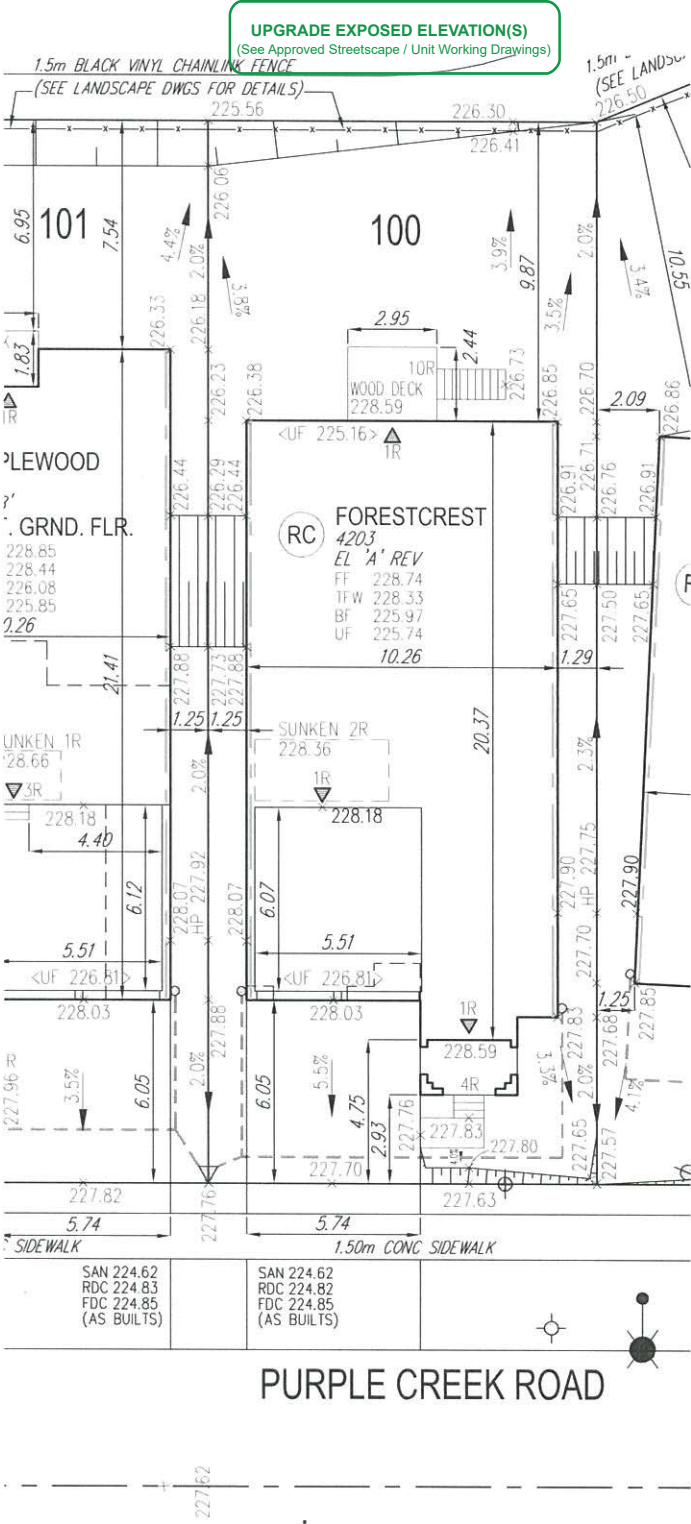
LICENSED PROFESSIONAL ENGINEER

M. R. CATTO

Feb 6/20

PROVINCE OF ONTARIO

Date: Feb 6/20 Reviewed By: MRC



AIR CONDITIONER ROUGH IN REQUIRED

COVERAGE CALCULATION	
LOT NO. :	100
LOT AREA :	448.00 m2
BLDG. AREA : (INCL. PORCH)	206.43 m2
LOT COVERAGE :	46.08 %
LANDSCAPE AREA:	199.64 m2
LANDSCAPE COV. :	44.56 %
BUILDING HEIGHT	
MAX BUILDING HEIGHT:	11.00 m
FROM AVERAGE FIN. GRADE@ FRONT OF BUILDING TO MEAN	
ESTABLISHED GRADE:	227.93
F.F. TO TOP OF ROOF:	10.73 m
F.F. TO MEAN OF ROOF:	8.44 m
PROPOSED BLDG. HGT:	9.25 m
FRONT YARD LANDSCAPE AREA	
FRONT YARD AREA :	37.45 m2
LANDSCAPE AREA :	20.66 m2
COVERAGE (50% MIN.) :	55.17 %
SOFT LANDSCAPE AREA:	17.81 m2
SOFT COVERAGE (60% MIN.) :	86.21 %
REAR YARD LANDSCAPE AREA	
REAR YARD AREA :	95.18 m2
SOFT LANDSCAPE AREA :	95.18 m2
COVERAGE (60% MIN.):	100.00 %

ENGINEERED FILL LOTS

STREET TREE

RETAINING WALL

CATCH BASIN

INFILTRATION TRENCH

DOUBLE STM / SAN / FDC / RDC CONNECTION REFER TO SCS DWG. 902 DETAIL H1 MODIFIED

SINGLE STM / SAN / FDC / RDC CONNECTION REFER TO SCS DWG. 902 DETAIL H1 MODIFIED

AIR CONDITIONER

CONNECTION TO RDC LATERAL SERVICE AT THE FRONT OF THE HOUSE (SEE NOTE 1.1) AND CONNECTION TO REAR LOT INFILTRATION TRENCH (SEE NOTE 1.3)

SANITARY MANHOLE

STORM MANHOLE

VALVE & CHAMBER

VALVE & BOX

HYDRANT

WATER SERVICE

HYDRO SERVICE

SHEET DRAINAGE

STREET LIGHT PEDESTAL

STREET LIGHT

TRAFFIC SIGNAL POWER PEDESTAL

BELL PEDESTAL

CABLE PEDESTAL

HYDRO POLE

HYDRO POLE GUY

STREET SIGN

COMMUNITY MAILBOX

HYDRO TRANSFORMER

PADMOUNTED MOTOR

EXISTING GRADES

2.0% SWALE DIRECTION

EMBANKMENT / BERM MAX 3:1 SLOPE

SANITARY LINE

STORM WATER LINE

WATERLINE

HYDRO LINE

CABLE LINE

BELL

HYDRO, GAS, BELL, CABLE LINE

DOWNSPOUTS

WINDOWS PERMITTED

45 MINUTE FIRE RATED WALL SIDEYARD DISTANCE IS LESS THAN 1.2m TO LOT LINE (NO WINDOWS PERMITTED)

EXTERIOR DOOR LOCATION

EXTERIOR DOOR LOCATION IF GRADE PERMITS

SUMP PUMP AND SURFACE DISCHARGE LOCATION

UPGRADE ELEVATION

CHAIN LINK FENCE

FENCE AND GATE

PRIVACY FENCE

ACOUSTIC FENCE

FF FINISHED FLOOR

TFW TOP OF FOUNDATION WALL

BF BASEMENT FLOOR

UF UNDERSIDE OF FOOTING

WOD WALKOUT DECK

WOB WALKOUT BASEMENT

MOD MODIFIED

REV REVERSED

ND NO DOOR

XXXXXX HIGHLIGHTED GRADE

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT

ARCHITECTURAL CONTROL REVIEW AND APPROVAL

APPROVED BY: [Signature]

DATE: FEB 10, 2020

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

GENERAL NOTES:

1. BUILDER TO VERIFY LOCATION OF UTILITIES AND OTHER SERVICES. IF MIN. DIMENSIONS ARE NOT MAINTAINED, BUILDER IS TO RELOCATE AT BUILDER'S EXPENSE.

2. BUILDER TO VERIFY ELEV. OF STM. AND SAN. LATERALS IN RELATION TO BASEMENT U/S OF FOOTING ELEVATIONS FOR COMPLIANCE WITH MUNICIPAL STANDARDS PRIOR TO EXCAVATION.

3. APPROVED PERMIT DRAWINGS & CONSTRUCTION NOTES MUST BE REVIEWED AND FOLLOWED IN CONJUNCTION WITH THE SITING AND GRADING PLAN. BUILDER TO VERIFY BUILDING ENVELOPE ON SITE PLAN MATCHES APPROVED PERMIT DRAWINGS & CONSTRUCTION NOTES PRIOR TO POURING CONCRETE. IF THERE ARE ANY DISCREPANCIES, THEY ARE TO BE BROUGHT TO THE ATTENTION OF HUNT DESIGN ASSOCIATES INC.

4. UNLESS NOTED ON BUILDING ENVELOPE OR APPROVED PERMIT DRAWINGS & CONSTRUCTION NOTES, ALL TOP OF FOUNDATION WALLS INCLUDING GARAGE WALLS TO BE CONSISTENT WITH THE ELEVATION PROVIDED FOR TFV ON SITING AND GRADING PLAN. THE EXTERIOR OF THE FOUNDATION WALL TO BE PROVIDED WITH A REDUCTION OF THICKNESS FOR MASONRY VENEER AS REQUIRED.

ISSUED FOR FINAL APPROVAL

ISSUED FOR PRELIMINARY APPROVAL

AW 2020.01.29

OF 2019/12/19

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SITING AND GRADING PLAN

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION

AW

NAME

23177

REGISTRATION INFORMATION

BOIN

HUNT DESIGN ASSOCIATES INC.

19695

Plan No.

100

Lot

PURPLE CREEK ROAD

GOLDPARK HOMES - 217020

PINE VALLEY, VAUGHAN ONT.

Drawn By

DM

Checked By

OF

Scale

1:250

File Number

217020WSP01

Lot / Page Number

100

HUNT DESIGN ASSOCIATES INC.

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