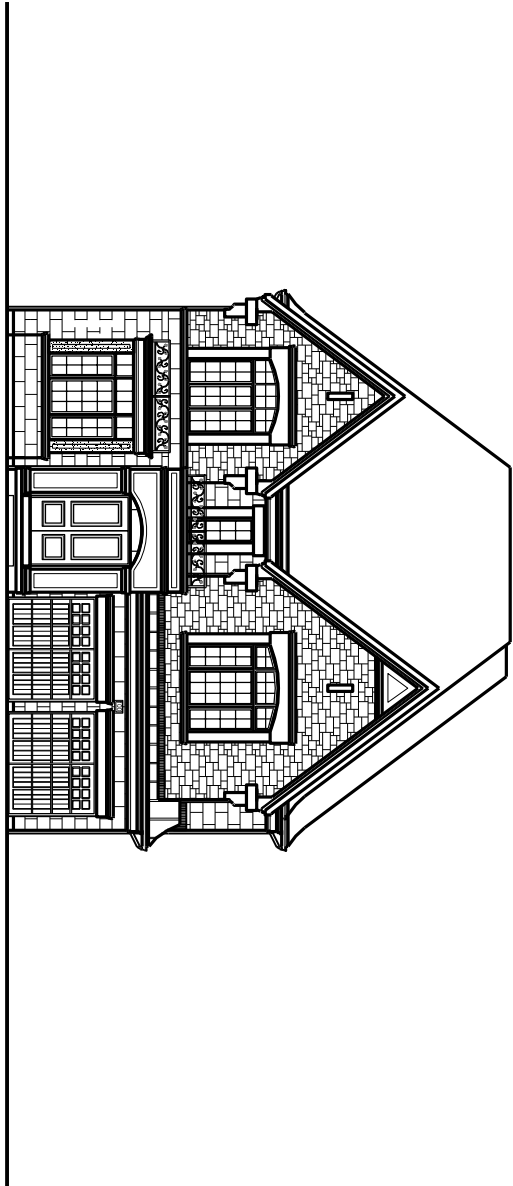
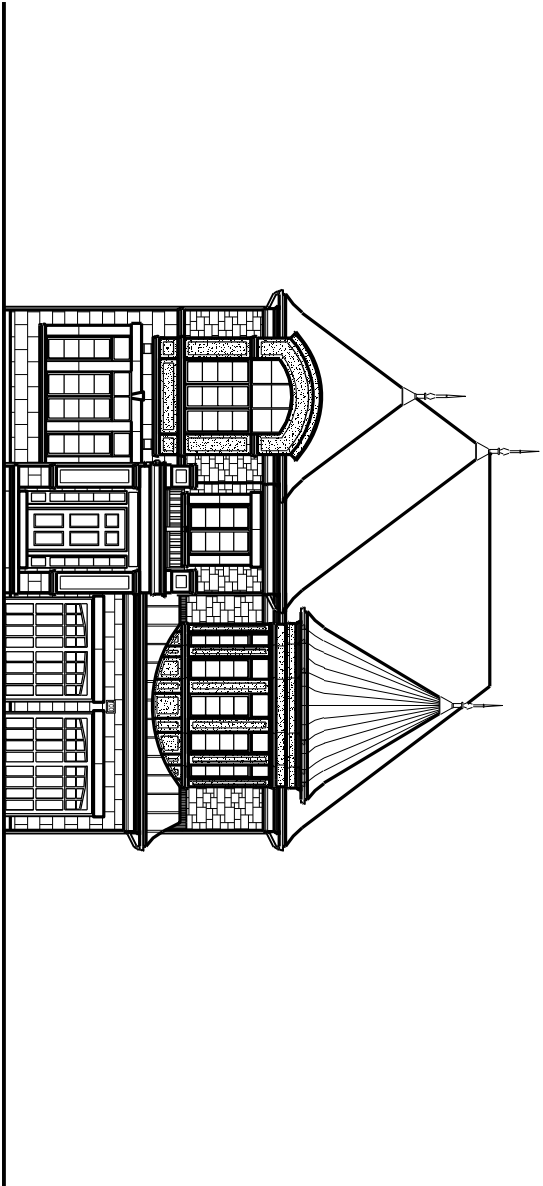
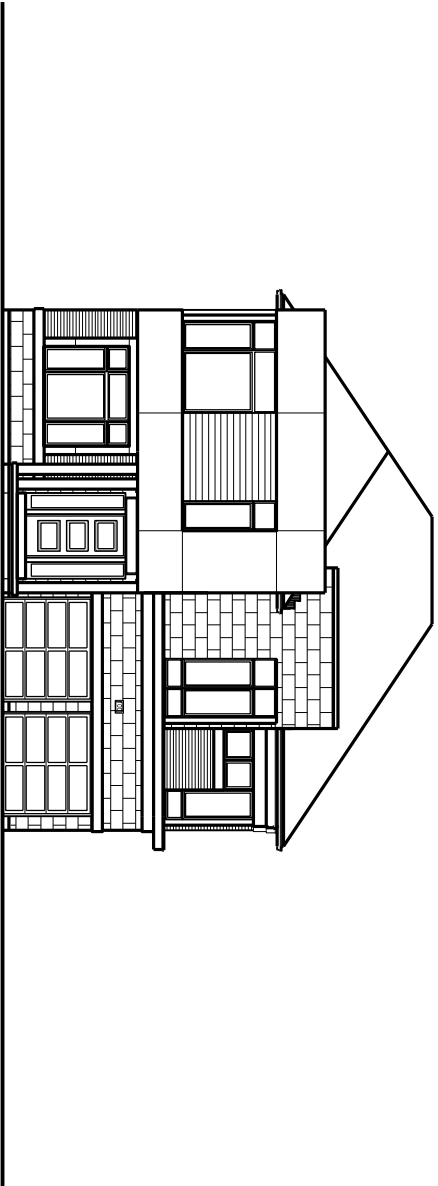




FRONT ELEVATION 'A'



FRONT ELEVATION 'B'



FRONT ELEVATION C

[illegible][illegible]

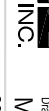
- 1 - TITLE PAGE
- 2 - BASEMENT PLAN, EL.'A'
- 3 - GROUND FLOOR PLAN, EL.'A'
- 4 - SECOND FLOOR PLAN, EL.'A'
- 5 - PART. OPT. 5 BEDROOM SECOND FLOOR PLAN, EL.'A' (EL. 'B' & 'C' SIMILAR)
- 6 - PART STD. PLANS, ELEVATION 'B'
- 7 - BASEMENT PLAN, EL.'B', CORRIDOR

- 8 - GROUND FLOOR PLAN, EL. 'B' - CORNER
- 9 - SECOND FLOOR PLAN, EL. 'B' - CORNER
- 10 - PART. BSM'T., GRND. & SECOND FLOOR PLAN 'A' W/ OPT. ELEVATOR (EL. 'B' & 'C' SIMILAR)
- 11 - PART. OPT. SERVICE STAIR & ELEVATOR, EL. 'A'
- 12 - PART. OPT. 5 BEDROOM SECOND FLOOR PLAN, EL. 'A' - W/ ELEVATOR (EL. 'B' & 'C' SIMILAR)
- 13 - PART. STD. PLANS, ELEVATION 'C'
- 14 - FRONT ELEVATION 'A' & REAR ELEVATION 'A' & 'B'
- 16 - LEFT SIDE ELEVATION 'A'
- 17 - RIGHT SIDE ELEVATION 'A'
- 18 - FRONT ELEVATION 'B'
- 19 - LEFT SIDE ELEVATION 'B'
- 20 - RIGHT SIDE ELEVATION 'B'
- 21 - UPGRADED REAR ELEVATION 'B'
- 22 - FRONT ELEVATION 'B' - CORNER
- 23 - UPGRADE LEFT SIDE ELEVATION 'B' - CORNER
- 24 - RIGHT SIDE ELEVATION 'B' - CORNER
- 25 - UPGRADED REAR ELEVATION 'B' - CORNER
- 26 - FRONT & REAR ELEVATION 'C'
- 27 - LEFT SIDE ELEVATION 'C'
- 28 - RIGHT SIDE ELEVATION 'C'

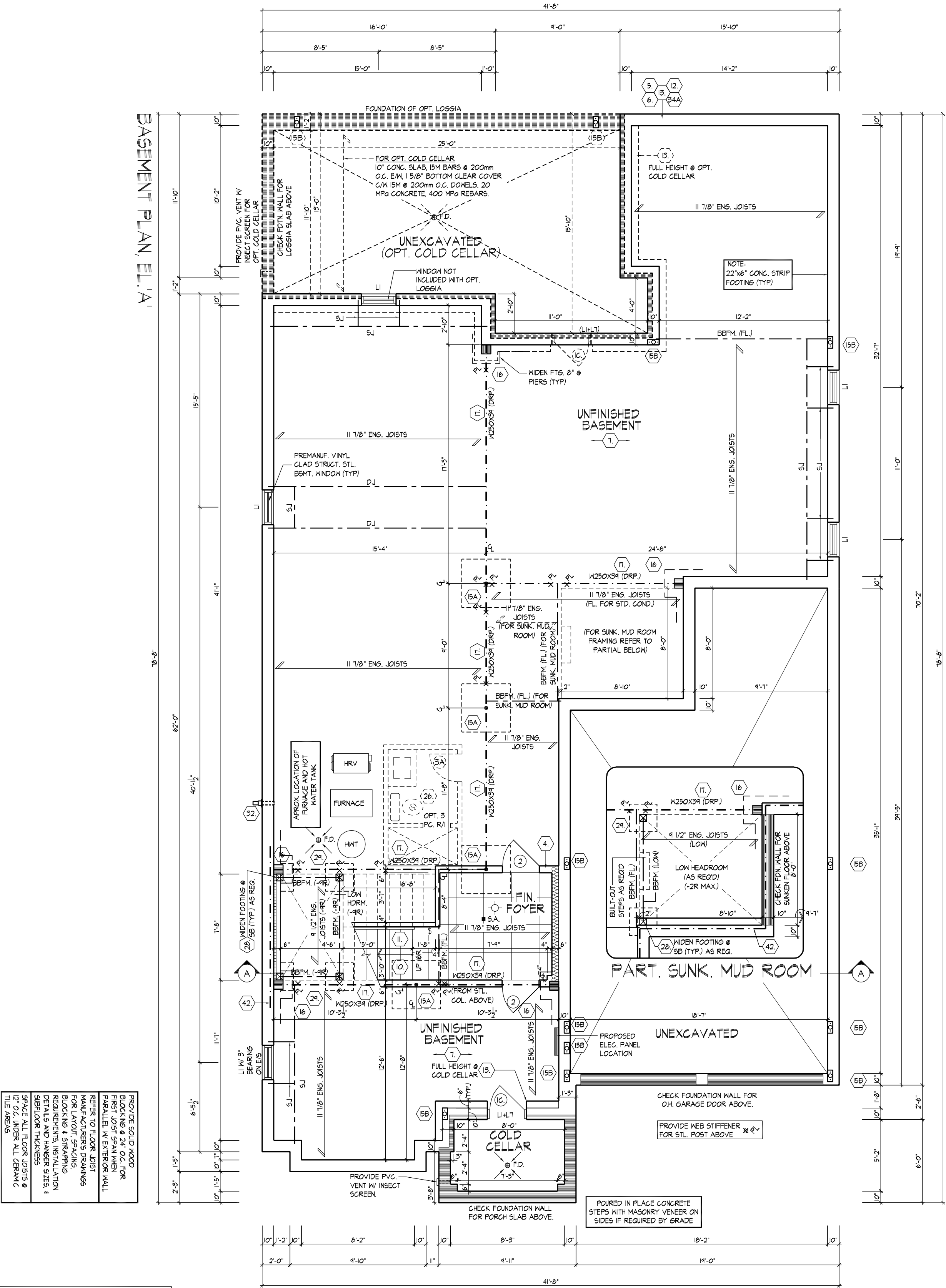
W1 - WALK OUT DECK CONDITION

- W2 - LOOK OUT DECK CONDITION
- W3 - WALK OUT BASEMENT CONDITION
- W4 - WALK OUT DECK CONDITION
- W5 - LOOK OUT DECK CONDITION
- W6 - WALK OUT BASEMENT CONDITION
- W7 - DECK DETAILS 1
- W8 - DECK DETAILS 2

8	REVISED DESIGN AS PER CLIENT COMMENTS	2019/11/26	BB
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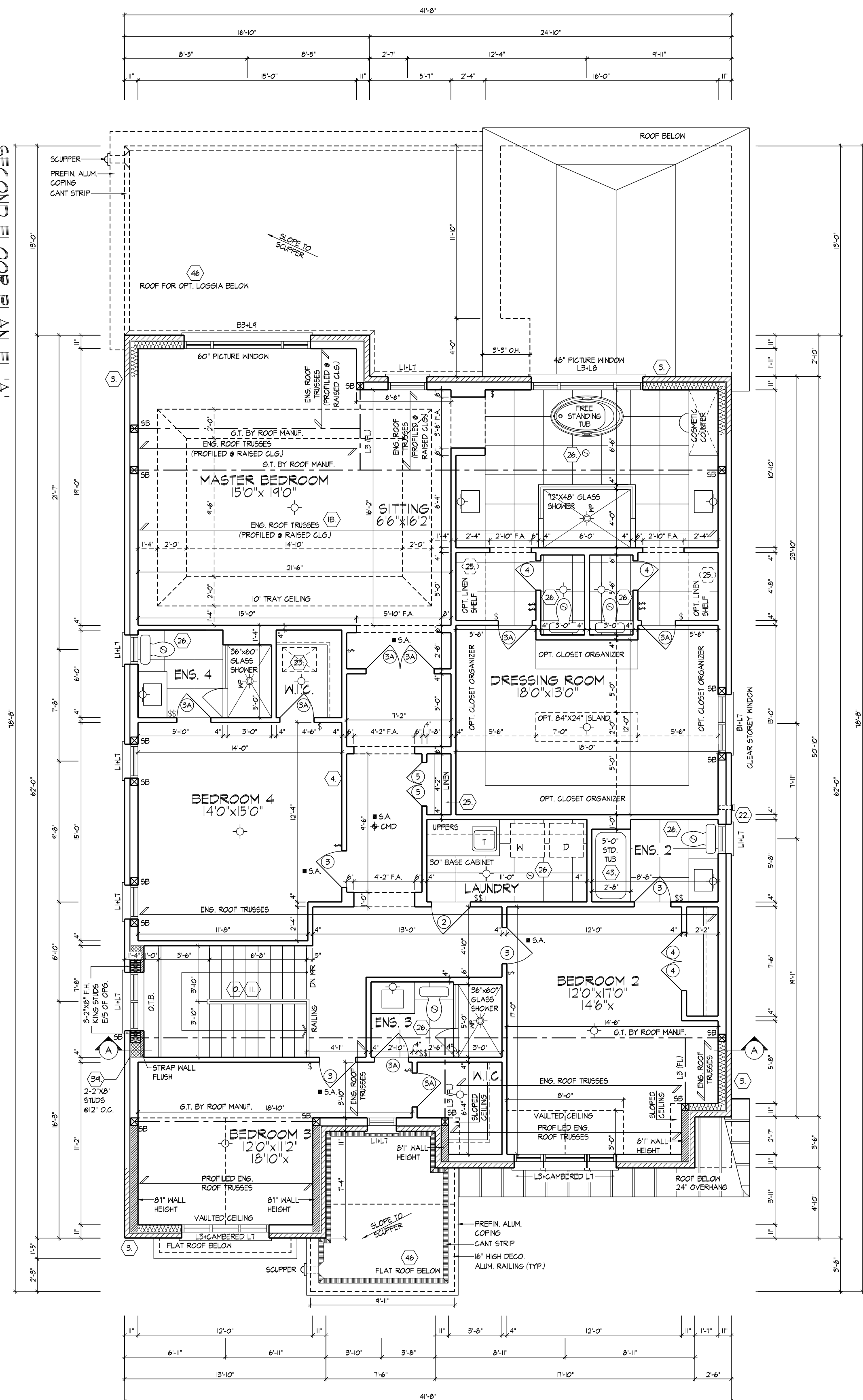
 THE KNIGHTSWOOD ASSOCIATES INC. 10000 14th Avenue, Suite 100 Richmond, BC V6V 1K1 Tel: 604.273.7326 Fax: 604.273.7325 www.knightswood.ca		GOLDPARK HOMES - 217020 PINE VALLEY, VAUGHAN, ONT.		UNIT 5005 - THE KNIGHTSWOOD REV.2019/1/26		TITLE PAGE	
1.	ISSUED FOR CLIENT REVIEW	REVISIONS	DATE (YYYYMMDD)	BY			
2.	REVISED AS PER CLIENT COMMENTS						
3.	REVISED AS PER ROOF MANUF. LAYOUTS						
4.	REVISED AS PER FLOOR MANUF. LAYOUTS						
5.	REVISED AS PER ENG. COMMENTS						
6.	REVISED FOR CLIENT COMMENTS						

BASEMENT PLAN, E.L. A



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.



REFER TO ROOF TRUSS
MANUFACTURER'S DRAWINGS
FOR LAYOUT, SPACING,
INSTALLATION DETAILS AND
HANGER SIZES.

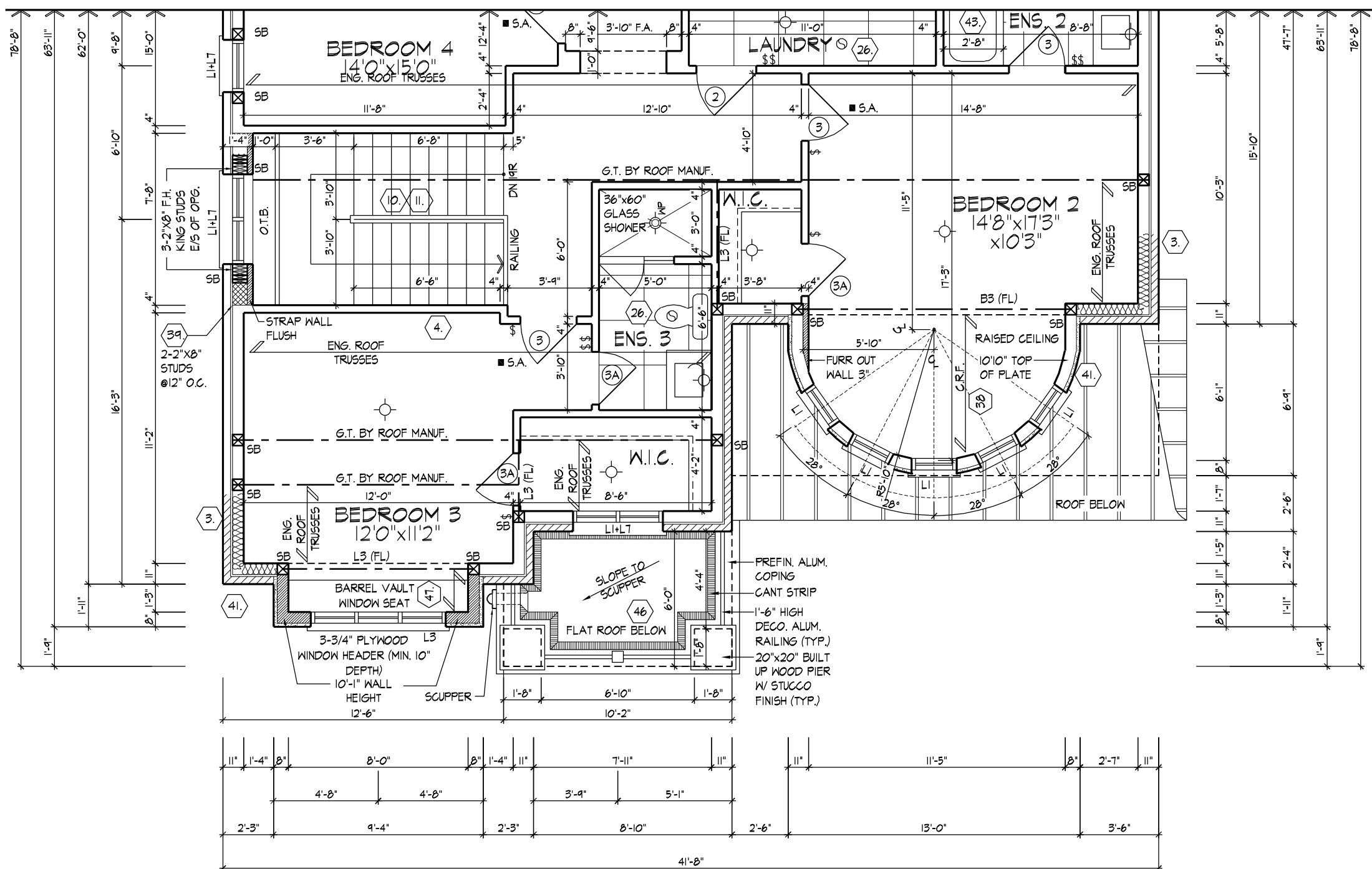
PROVIDE 6" CURB &
RUBBER MAT.
MAT TO EXTEND 6" MIN.
ABOVE FLOOR LEVEL.

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

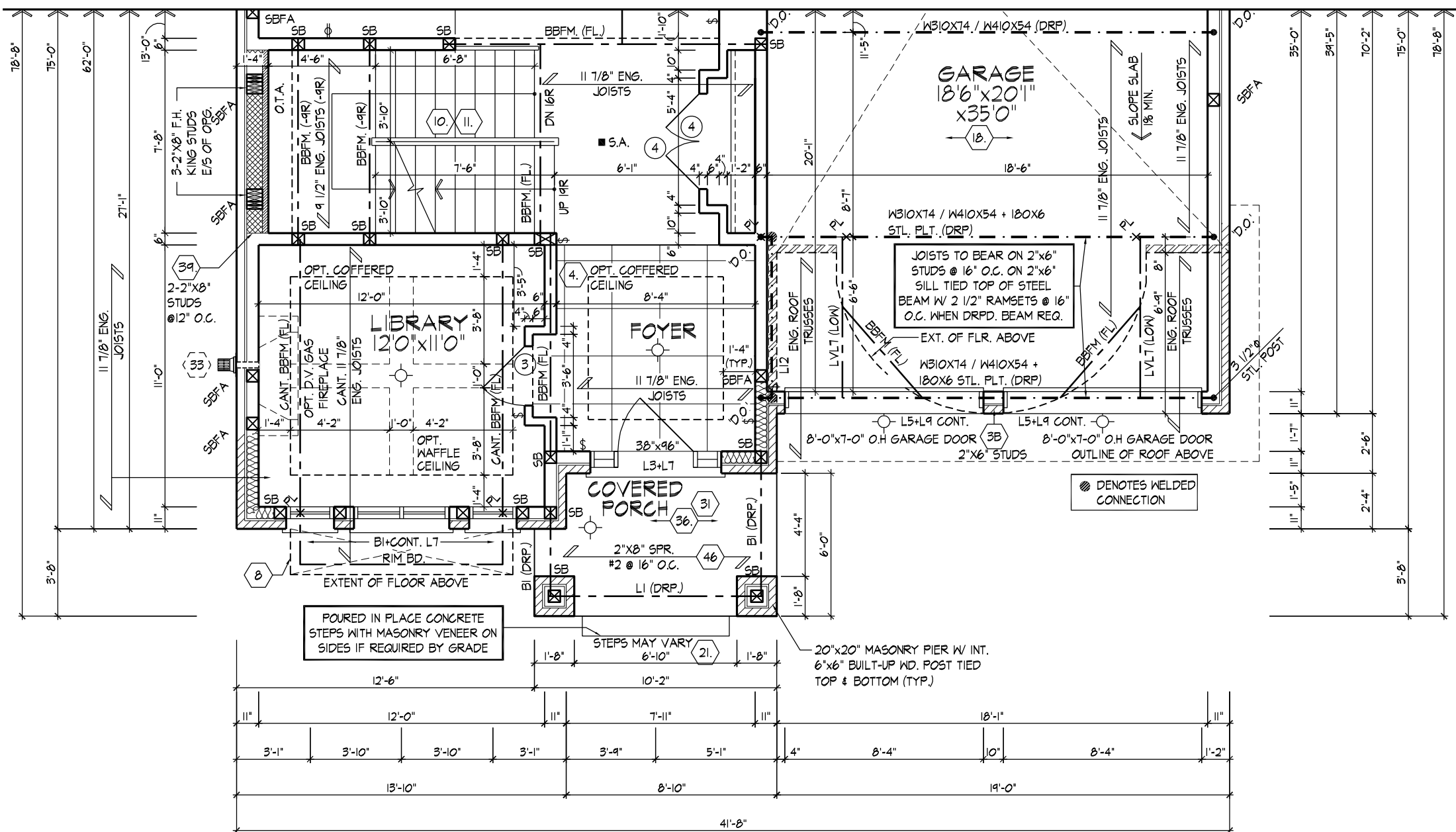
REFER TO STANDARD PLAN FOR COMPLETE CONSTRUCTION NOTES & DIMENSIONS

REFER TO ROOF TRUSS MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, INSTALLATION DETAILS AND HANGER SIZES.



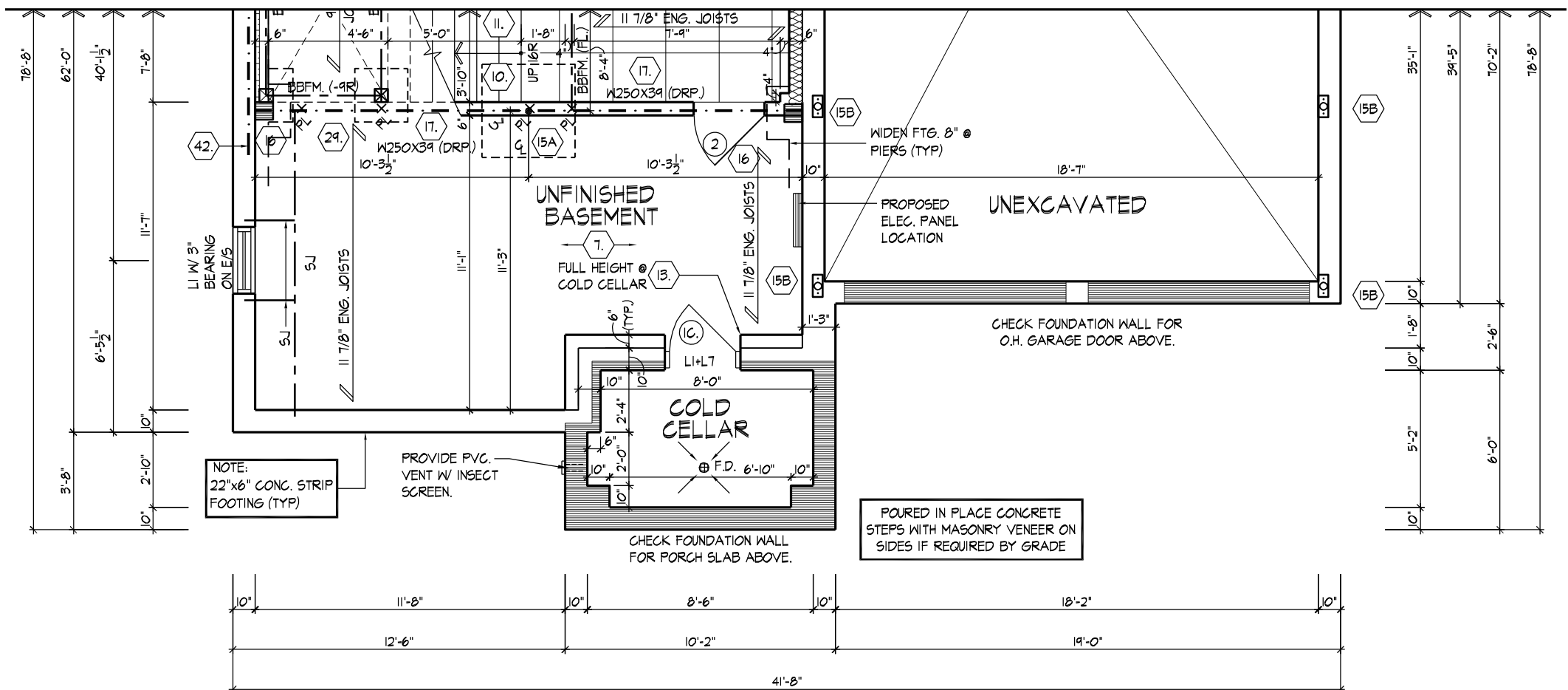
PARTIAL SECOND FLOOR PLAN, EL. 'B'

REFER TO STANDARD PLAN FOR COMPLETION CONSTRUCTION NOTES 1 DIMENSIONING	PROVIDE SOLID WOOD BLOCKING @ 24" O.C. FOR FIRST JOIST SPAN WHEN PARALLEL TO EXTERIOR WALL
SPACE ALL FLOOR JOISTS @ 24" O.C. UNDER ALL CERAMIC TILE AREAS	REFER TO FLOOR JOIST MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, REINFORCEMENT, INSTALLATION DETAILS AND HANGER SIZES, & SUBFLOOR THICKNESS
REFER TO ROOF TRUSS MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, INSTALLATION DETAILS AND HANGER SIZES	



PARTIAL GROUND FLOOR PLAN, EL. 'B'

1. REFER TO STANDARD PLAN FOR COMPLETE CONSTRUCTION NOTES 2. DIMENSIONS	1. REFER TO FLOOR JOIST MANUFACTURER'S BRANNINGS FOR LAYOUT SPACING 2. BLOCKING & STRAPPING REQUIREMENTS, INSTALLATION DETAILS, AND HANGER SIZES, & SLAB FLOOR THICKNESS
3. SPACE AT FLOOR JOISTS @ 24" O.C. UNDER ALL CERAMIC TILE AREAS	
4. PROVIDE 50:50 WOOD BLOCKING @ 24" O.C. FOR FIRST JOIST SPAN WHEN PARALLEL W/ EXTERIOR WALL	



PARTIAL BASEMENT PLAN, EL. 'B'

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

[illegible]

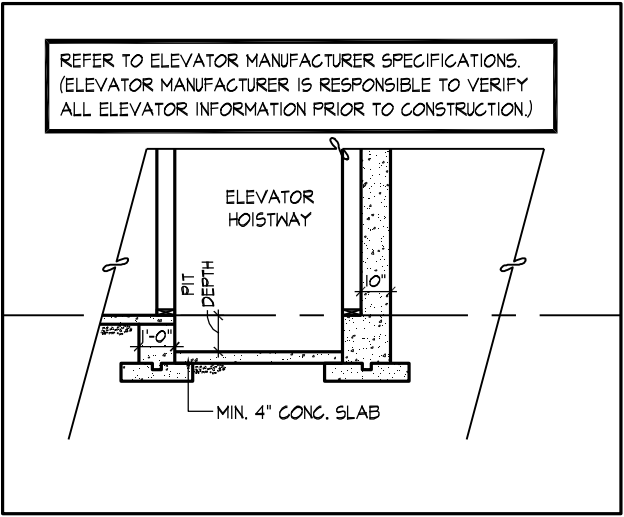
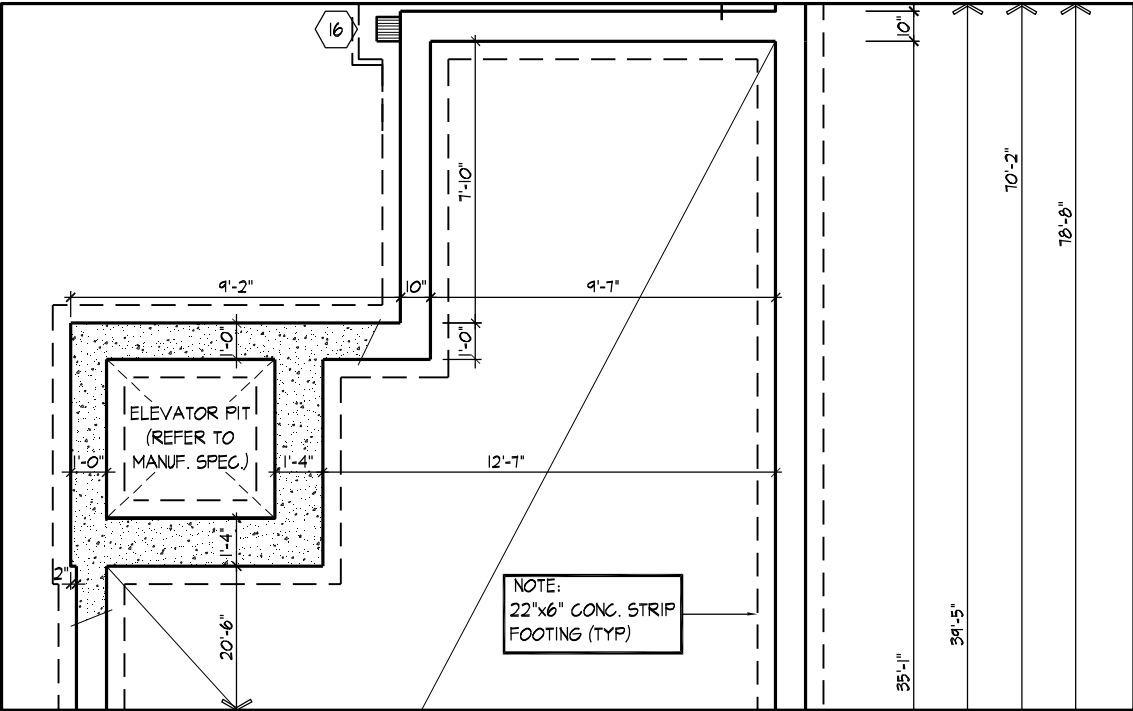
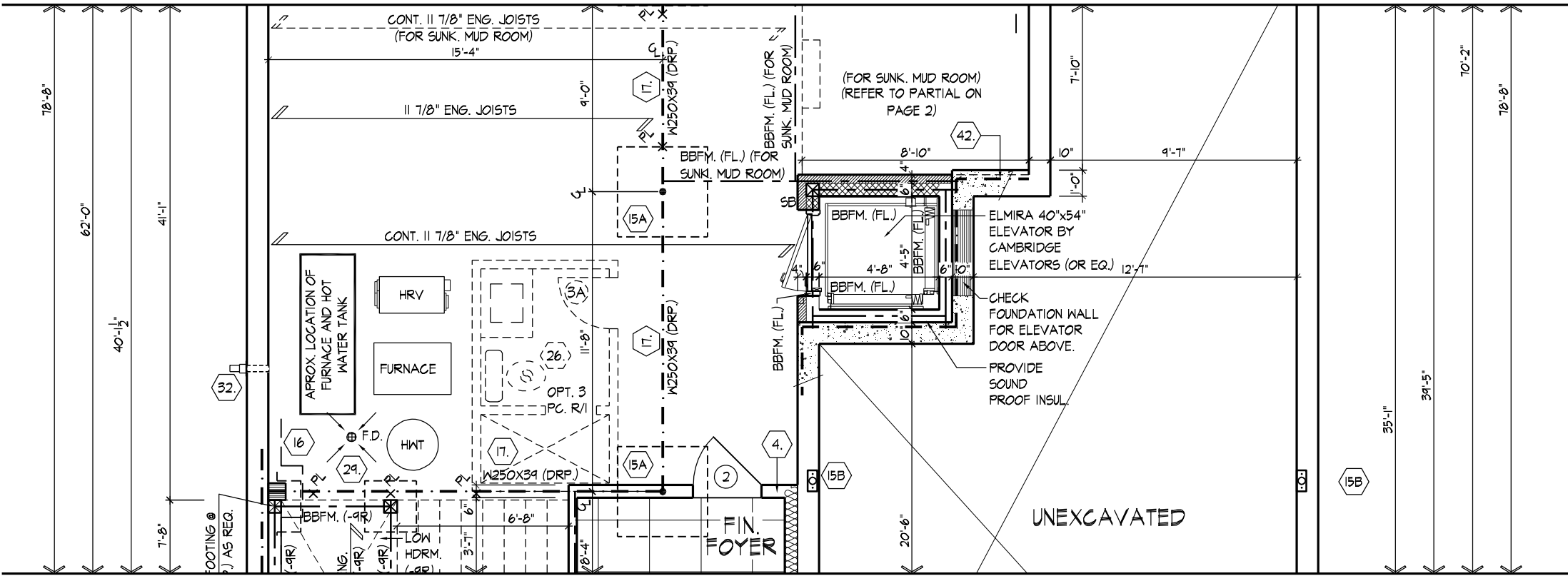
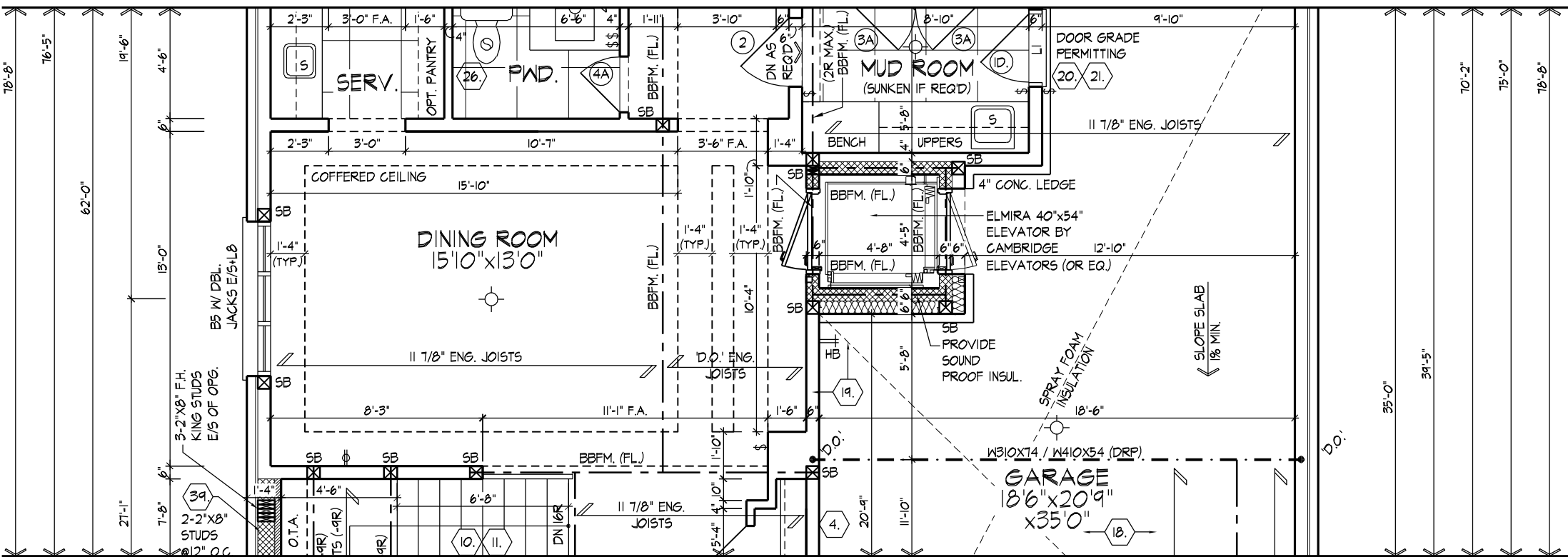
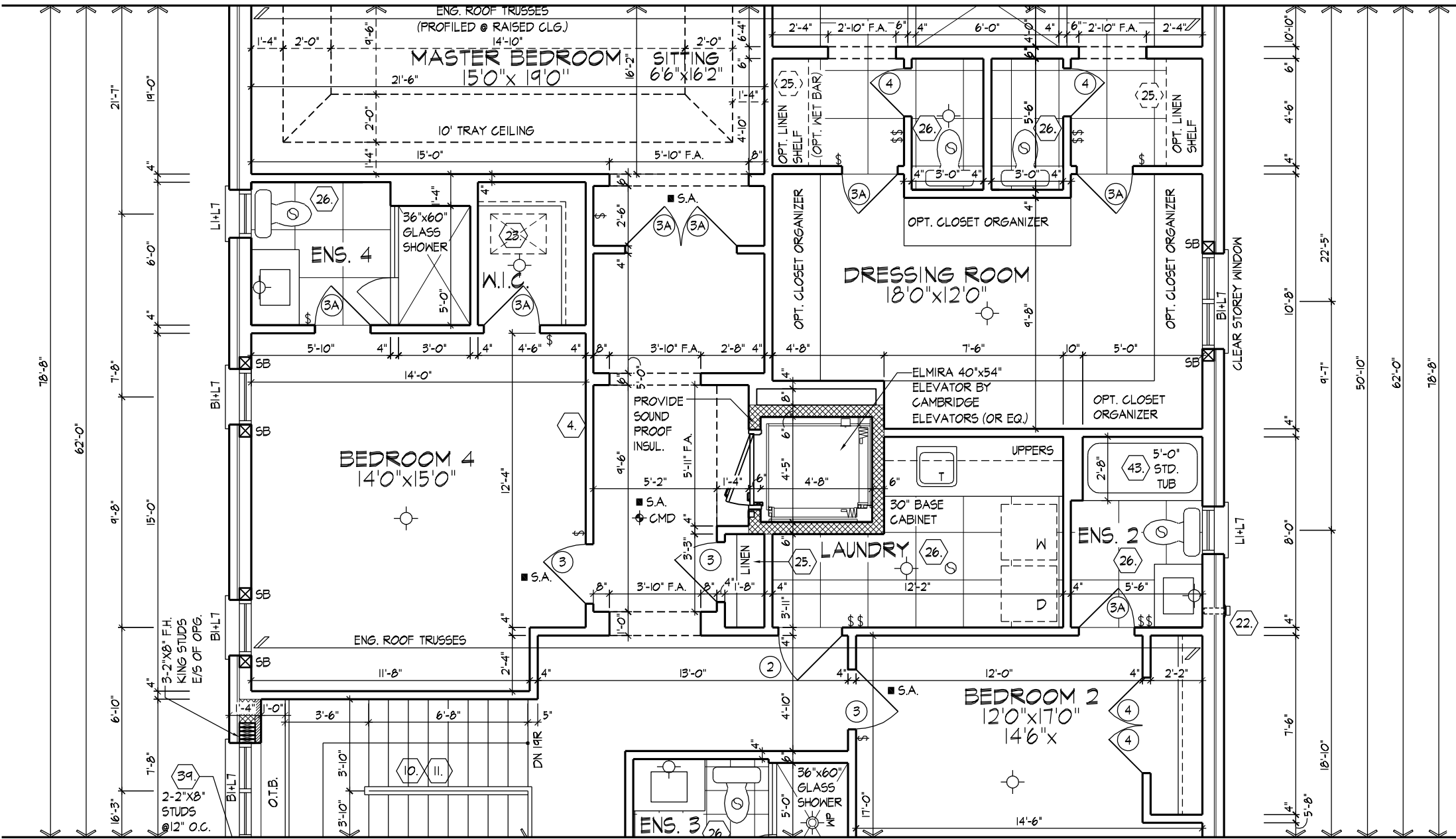
SOLID MASONRY WALL W/ 2-10M
VERT. REBARS (LAP 1'-6"
GROUTED INTO BRICK JOINT)
2"x6" SILL PLATE @ TOP ANCHORED
TO SOLID MASONRY WALL W/ 1/2" Φ x
12" BOLTS @ 24" O.C. STAGGERED
MASONRY VENEER TIED TO MASONRY
VENEER WITH GALV. METAL TIES @
16" O.C. AND 24" VERTICAL. FILL
VOID BETWEEN MASONRY VENEER
MYTHS SOLID W/ MORTAR

PROVIDE 5/8" ID. R.C. BLOCKING @ 24" O.C. FOR FIRST JOIST SPAN WHEN PARALLEL TO EXTERIOR WALL.	REFER TO FLOOR JOIST MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, BLOCKING & STRAPPING REQUIREMENTS, INSTALLATION DETAILS AND HANGER SIZES, & SUBFLOOR THICKNESS.
SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.	REFER TO ROOF TRUSS MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, INSTALLATION DETAILS AND HANGER SIZES.

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PART. SECOND FLOOR PLAN,
EL. 'A' - W/ OPT. ELEVATOR
(ELEVATION 'B', 'B CORNER', & 'C' SIMILAR)

PART. GROUND FLOOR PLAN,
EL. 'A' - W/ OPT. ELEVATOR
(PART. GROUND FOR OPT. 5 BED
(ELEVATION 'B', 'B CORNER', & 'C' SIMILAR)

PART. BASEMENT PLAN, EL. 'A'
W/ OPT. ELEVATOR
(ELEVATION 'B', 'B CORNER', & 'C' SIMILAR)

PART. FOUNDATION PLAN, EL. 'A'
W/ OPT. ELEVATOR
(ELEVATION 'B' & 'C' SIMILAR)

ELEVATOR PIT SECTION
(ELEVATION 'B', 'B CORNER', & 'C' SIMILAR)

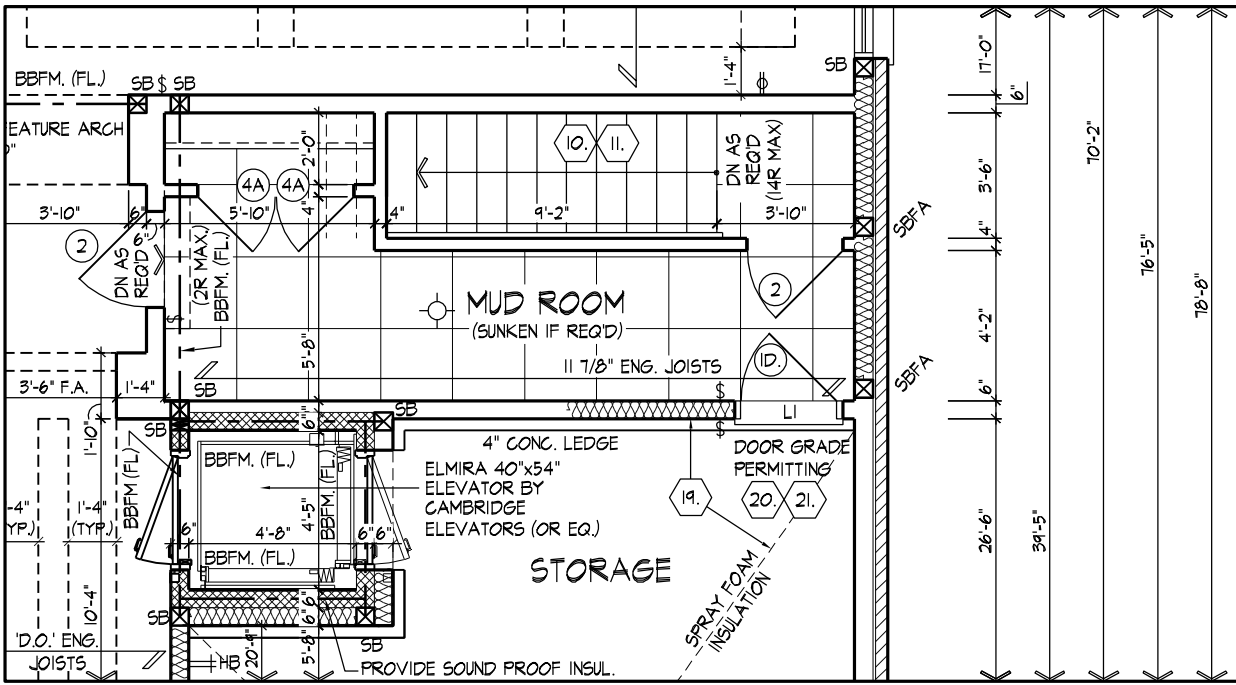
REFER TO STANDARD PLAN FOR COMPLETE CONSTRUCTION NOTES & DIMENSIONS
REFER TO ROOF TRUSS MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, BLOCKING & STRAPPING REQUIREMENTS, INSTALLATION DETAILS AND HANGER SIZES, & HANGER SIZES
PROVIDE 4" CARB & RUBBER MAT. MAT. TO EXTEND 6" MIN. ABOVE FLOOR LEVEL

REFER TO STANDARD PLAN FOR COMPLETE CONSTRUCTION NOTES & DIMENSIONS
REFER TO ROOF TRUSS MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, BLOCKING & STRAPPING REQUIREMENTS, INSTALLATION DETAILS AND HANGER SIZES, & HANGER SIZES
PROVIDE 4" CARB & RUBBER MAT. MAT. TO EXTEND 6" MIN. ABOVE FLOOR LEVEL

REFER TO STANDARD PLAN FOR COMPLETE CONSTRUCTION NOTES & DIMENSIONS
REFER TO ROOF TRUSS MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, BLOCKING & STRAPPING REQUIREMENTS, INSTALLATION DETAILS AND HANGER SIZES, & HANGER SIZES
PROVIDE 4" CARB & RUBBER MAT. MAT. TO EXTEND 6" MIN. ABOVE FLOOR LEVEL

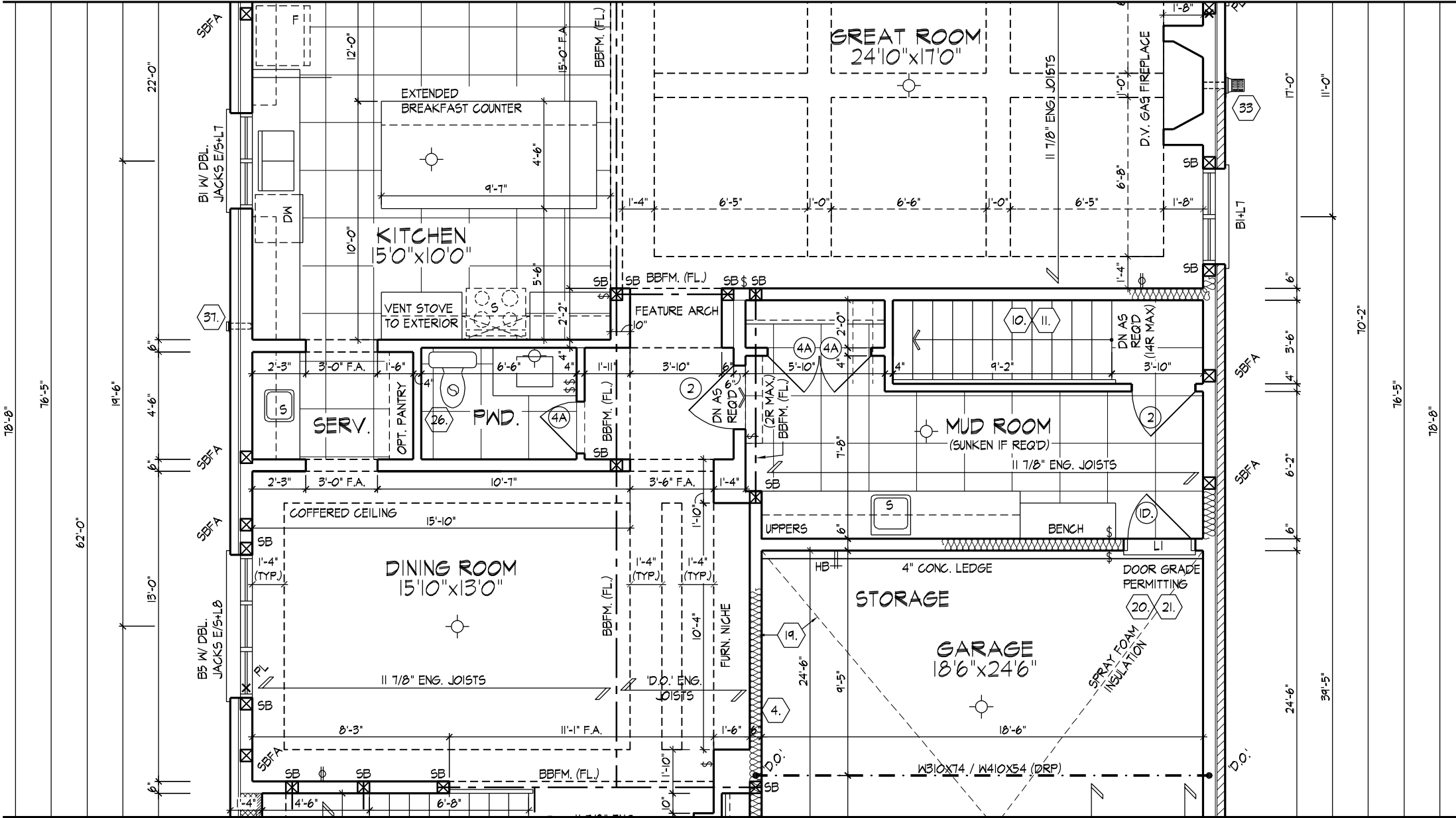
PART. BSMT., GRND. & SECOND FLOOR PLAN 'A' W/ OPT. ELEVATOR (EL. 'B' & 'C' SIMILAR)
GOLDPARK HOMES - 217020 UNIT 5005 - THE KNIGHTSWOOD
PINE VALLEY, VAUGHAN, ONT.
REV. 2019/11/26

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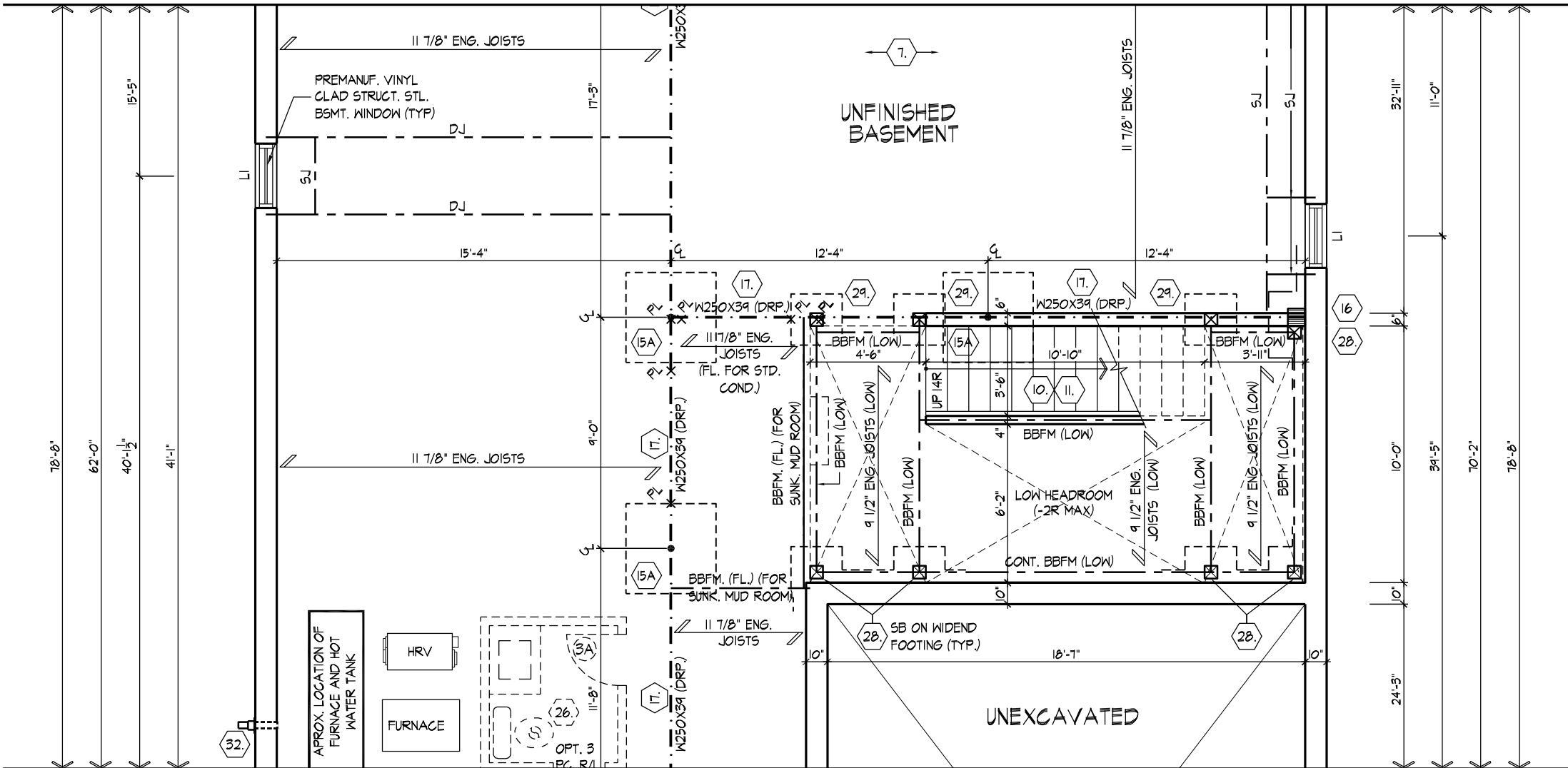
PART. OPT. GROUND FLOOR PLAN W/
SERVICE STAIR & ELEVATOR, EL. 'A'
(EL. 'B' & 'C' SIMILAR)

REFER TO STANDARD PLAN FOR
COMPLETE CONSTRUCTION NOTES
& DIMENSIONS
REFER TO ROOF TRUSS
MANUFACTURER'S DRAWINGS
FOR LAYOUT, SPACING,
BLOCKING & STRAPPING
INSTALLATION DETAILS AND
HANGER SIZES
PROVIDE 6\"/>



PART. OPTIONAL GROUND FLOOR PLAN
W/ SERVICE STAIR EL. 'A' (EL. 'B' & 'C' SIMILAR)

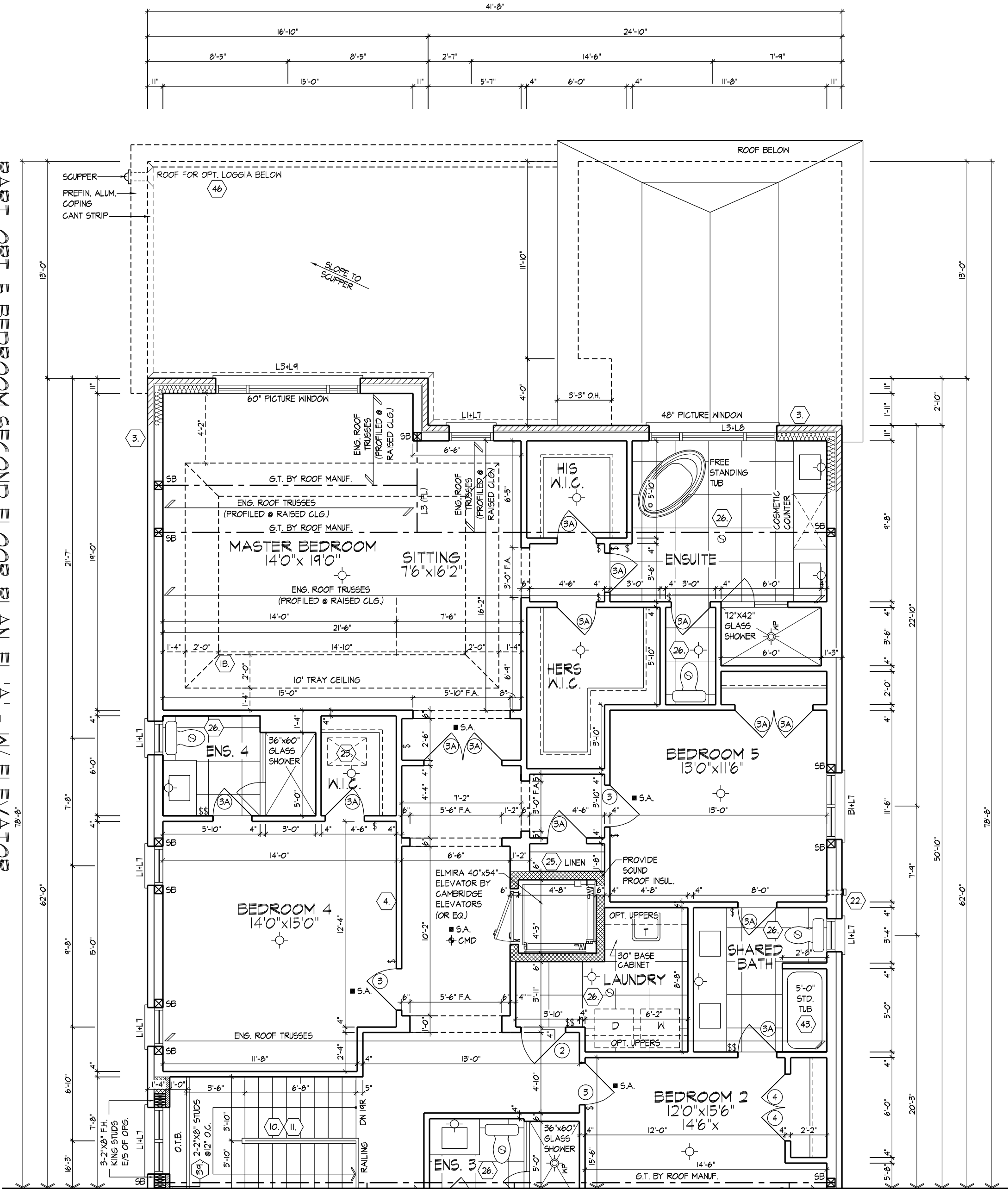
REFER TO STANDARD PLAN FOR
COMPLETE CONSTRUCTION NOTES
& DIMENSIONS
PROVIDE SOLID WOOD
BLOCKING @ 24\"/>



PART. OPTIONAL BASEMENT PLAN W/
SERVICE STAIR EL. 'A' (EL. 'B' & 'C' SIMILAR)

SPACE ALL FLOOR JOISTS @
12\"/>

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PART. OPT. 5 BEDROOM SECOND FLOOR PLAN, EL. 'A' - W/ ELEVATOR
(ELEVATION 'B' & 'C' SIMILAR) (ELEVATION 'B' CORNER N/A)

REFER TO STANDARD PLAN FOR COMPLETE CONSTRUCTION NOTES & DIMENSIONS
REFER TO ROOF TRUSS MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, INSTALLATION DETAILS AND MEMBER SIZES.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE CALCULATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE CITY OF PINE VALLEY, ONTARIO, CANADA. I AM A REGISTERED PROFESSIONAL ENGINEER IN THE PROVINCE OF ONTARIO, CANADA.

DATE: 2020-11-16

DESIGN ASSOCIATES INC.

19905

PROJECT: PART. OPT. 5 BEDROOM SECOND FLOOR PLAN, EL. 'A' - W/ ELEVATOR (EL. 'B' & 'C' SIMILAR)

CLIENT: GOLDPARK HOMES - 217020

UNIT: 5005 - THE KNIGHTSWOOD

REVISION: REV. 2019/11/26

DESIGN ASSOCIATES INC.

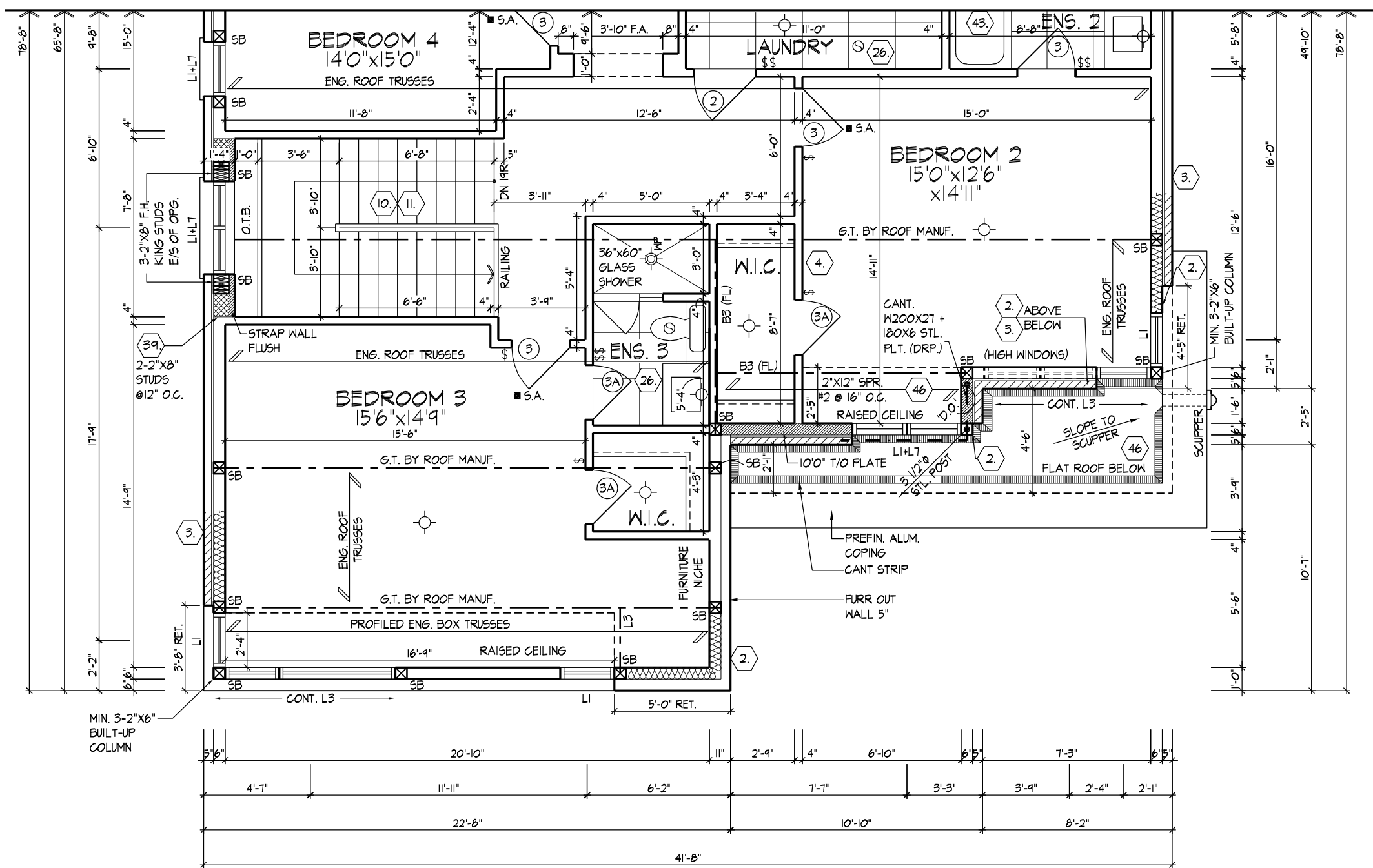
8866 Woodbine Ave., Markham, ON L3R 0J7

T: 905.737.5133 F: 905.737.7328

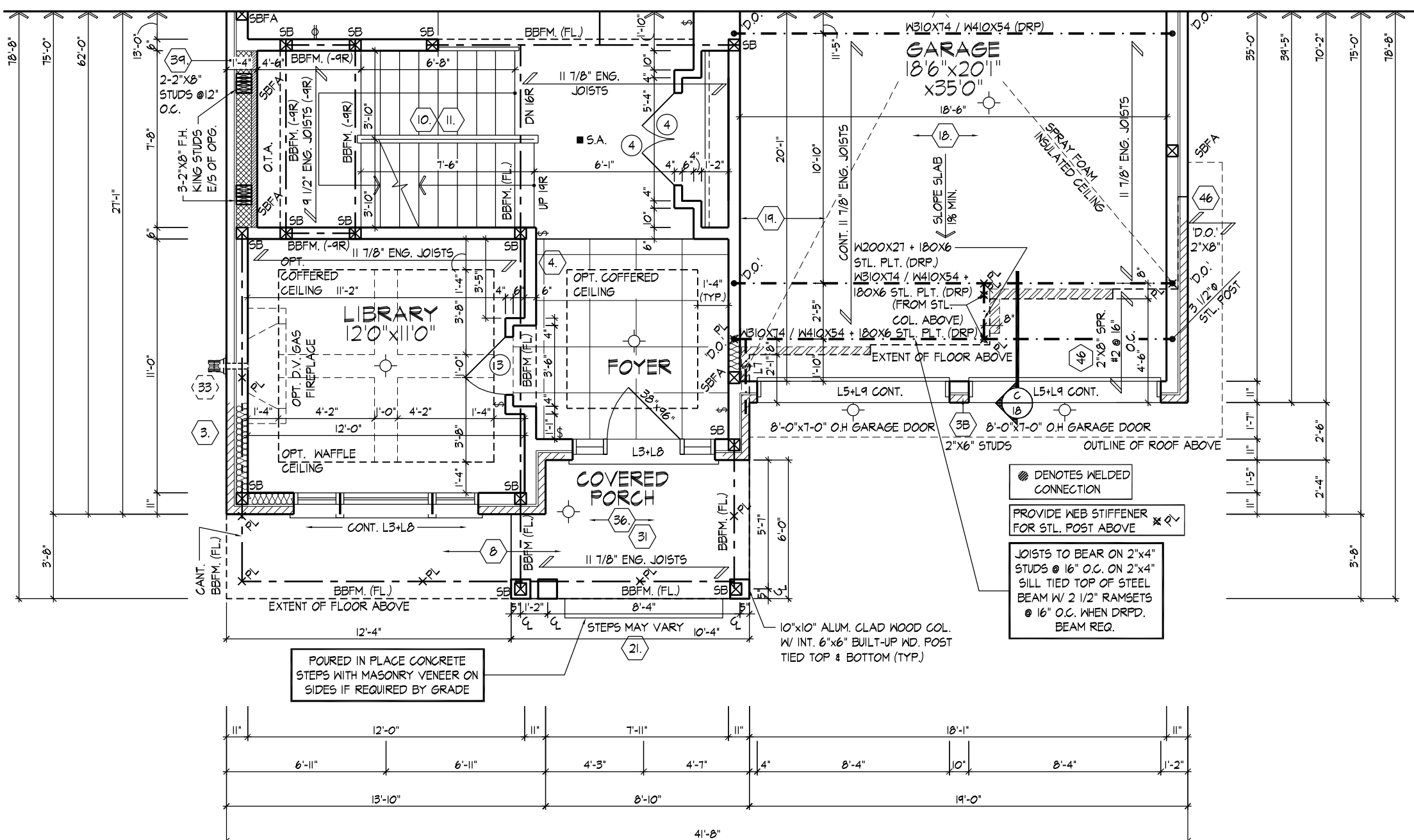
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REFER TO STANDARD PLAN FOR COMPLETE CONSTRUCTION NOTES & DIMENSIONS

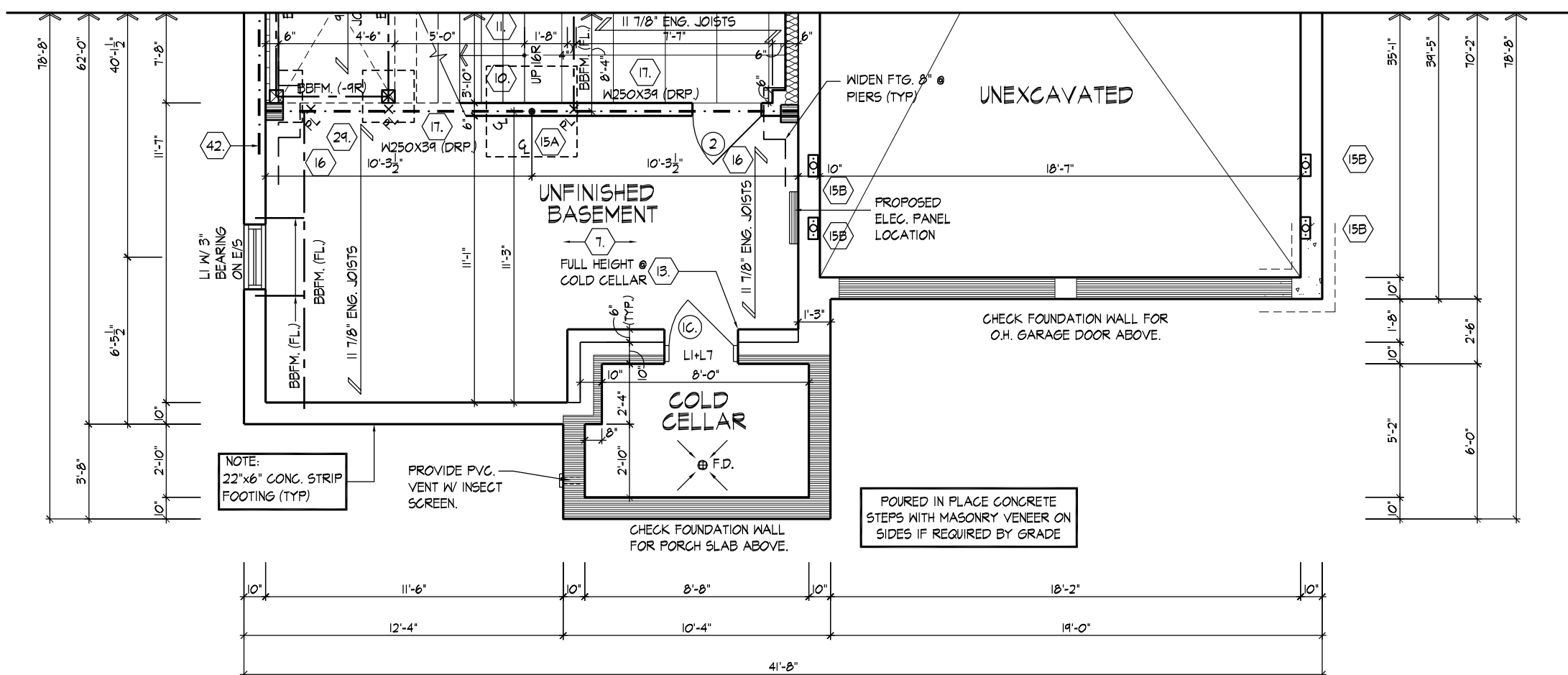
REFER TO ROOF TRUSS MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, INSTALLATION DETAILS AND HANGER SIZES.



REFER TO STANDARD PLAN FOR COMPLETE CONSTRUCTION NOTES & DIMENSIONS	SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.
PROVIDE SOLID WOOD BLOCKING @ 24" O.C. FOR FIRST JOIST SPAN WHEN PARALLEL IN EXTERIOR WALL	REFER TO FLOOR JOIST MANUFACTURER'S DRAWINGS FOR LAYOUT SPACING, REQUIREMENTS, INSTALLATION DETAILS AND MEMBER SIZES, & SLEEPER THICKNESS

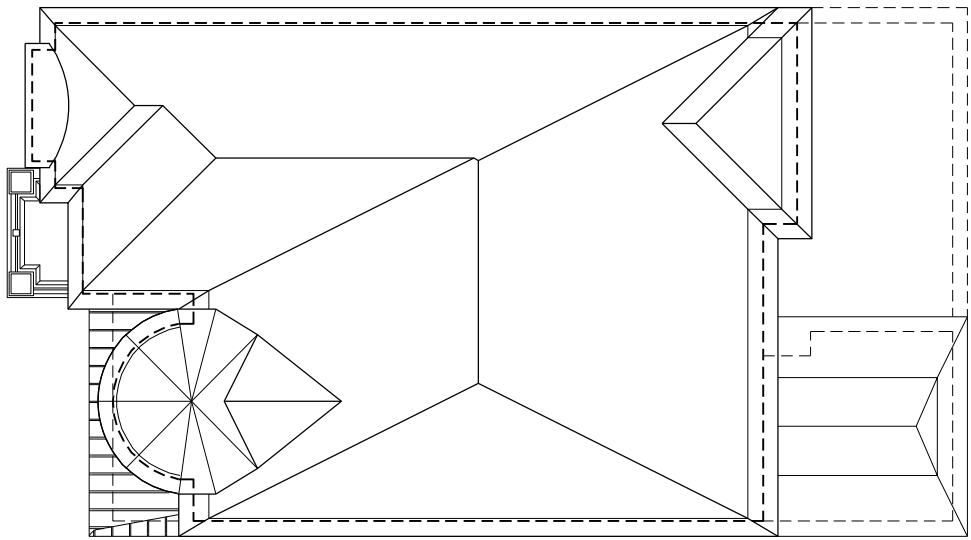


REFER TO STANDARD PLAN FOR COMPLETE CONSTRUCTION NOTES & DIMENSIONS SPACED ALL FLOOR JOISTS @ 24" O.C. UNDER ALL CERAMIC TILE AREAS PROVIDE SOLID WOOD BLOCKING @ 24" O.C. FOR FIRST JOIST SPRAIN WHEN PARALLEL TO EXTERIOR WALL	REFER TO FLOOR JOIST MANUFACTURER'S BRACKINGS FOR LAYOUT, SPACING, BLOCKING & STRAPPING REQUIREMENTS, INSTALLATION DETAILS AND HANGER SIZES, & SUBFLOOR THICKNESS
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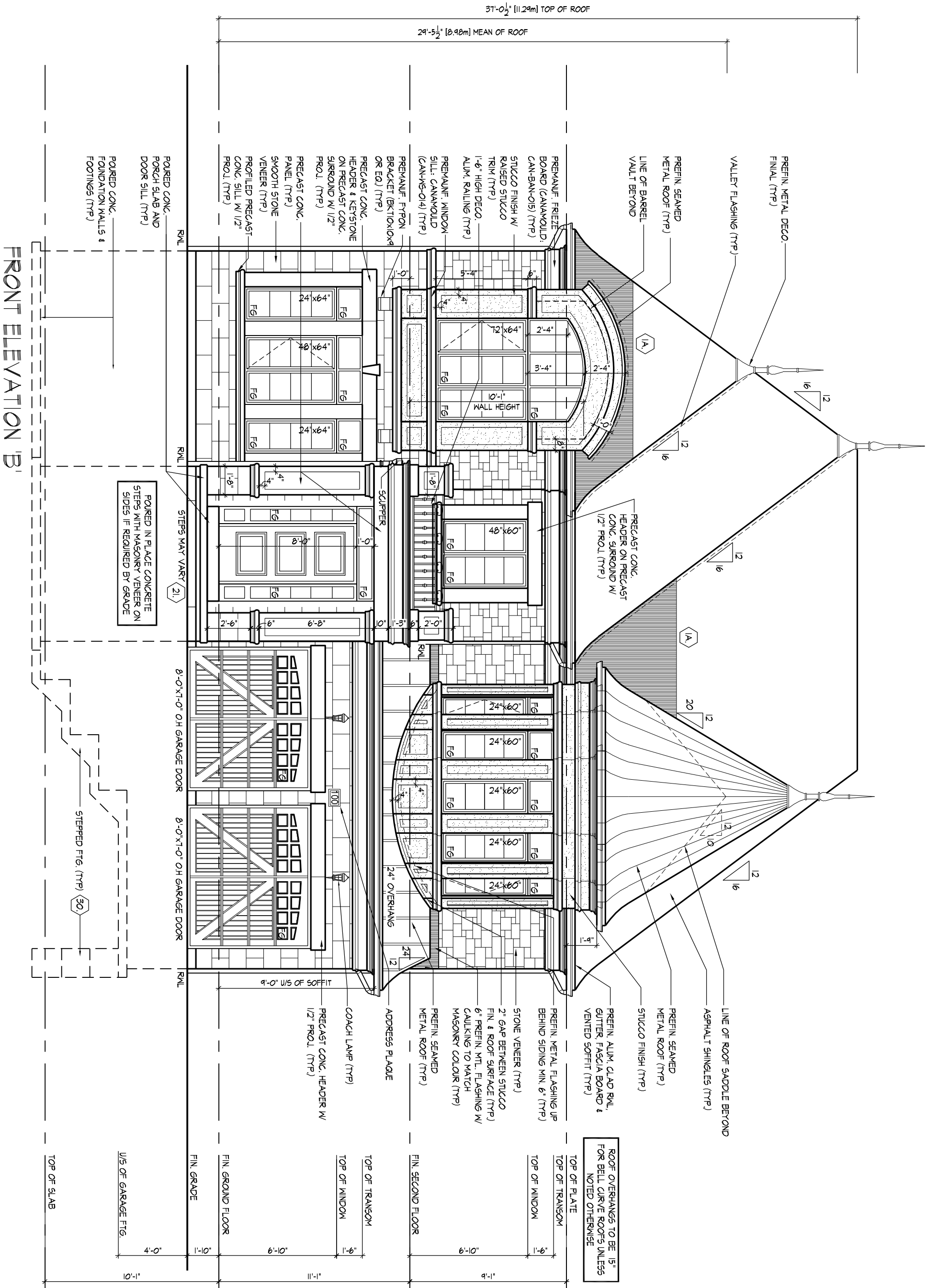


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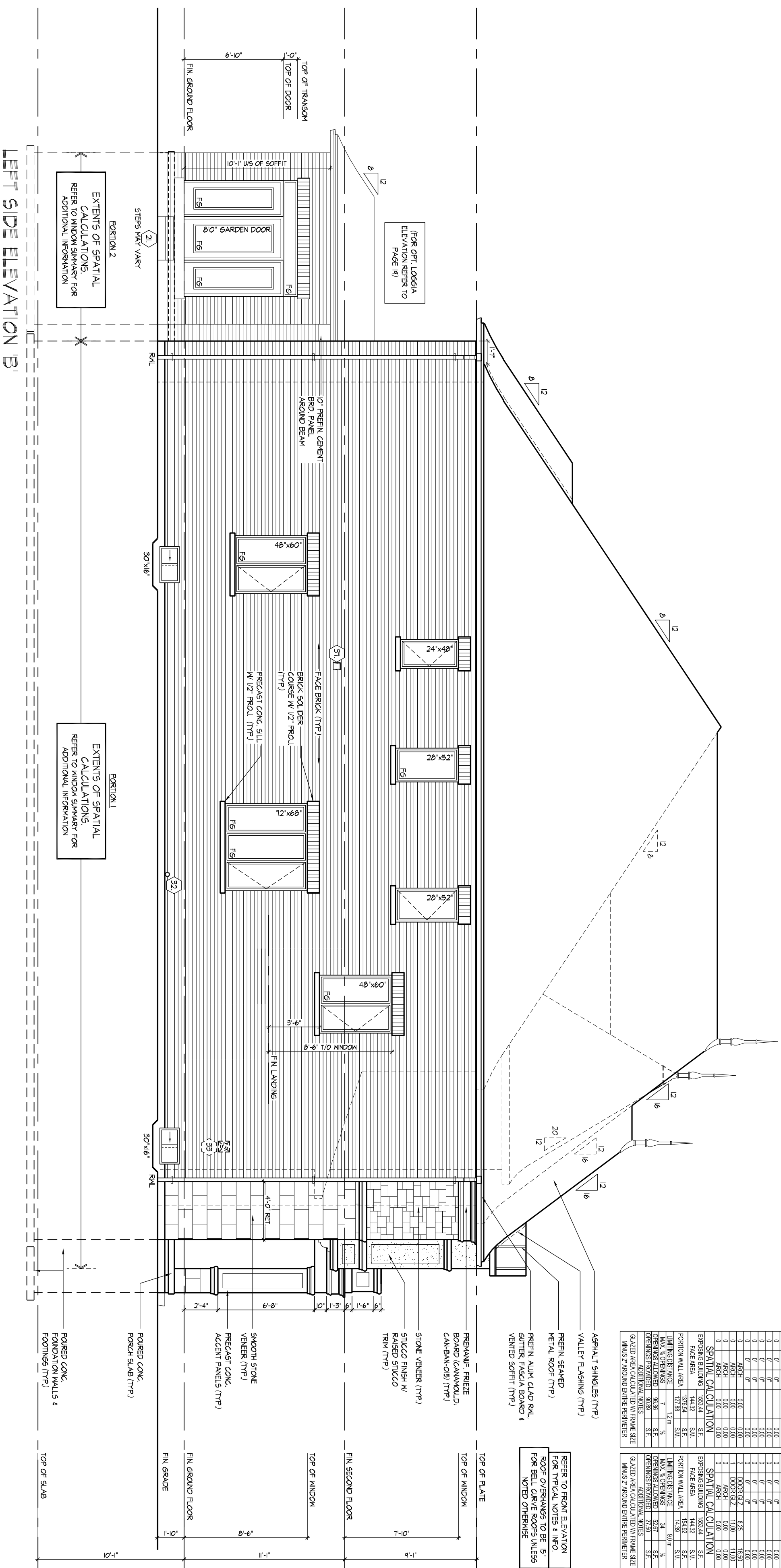
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.



ROOF PLAN
ELEV. B'
N.T.S.



It is the building's complete responsibility to fully comply with the Architectural Guidelines including zoning provisions and any provisions in the subdivision agreement. The control of the building's appearance, including the building's color or material, shall be the responsibility of the building owner or permit holder of that any house can be properly built or located on its lot. The building's appearance shall be in accordance with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

[illegible]

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with applicable codes, ordinances and all other applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (building) plans or working drawings with respect to any zoning or building code or permit matter or that a house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

Architectural section drawing of a building facade. The drawing shows a brick soldier course (1/2" PROJ.) and a face brick (TYP.) section. A window is shown with a 24"x8" opening and a 48"x52" opening. The window is labeled 'F.S.' (Finish Sill). The drawing also shows a 'PRECAST CONG. SILL W/ 1/2" PROJ. (TYP.)' and a 'FIN. SECOND FLOOR' level. The drawing is oriented vertically with 'TOP OF PLATE' at the top and 'TOP OF WINDOW' at the bottom. Dimensions include 9'-1" and 10'-0" for the overall height, and 12" and 8" for the window opening dimensions.

REFER TO FRONT ELEVATION
FOR TYPICAL NOTES & INFO.

REFER TO FRONT ELEVATION
FOR TYPICAL NOTES & INFO.



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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THE DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS OUTLINED IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

NAME	SIGNATURE	BC
Orin Fairbairn		2020



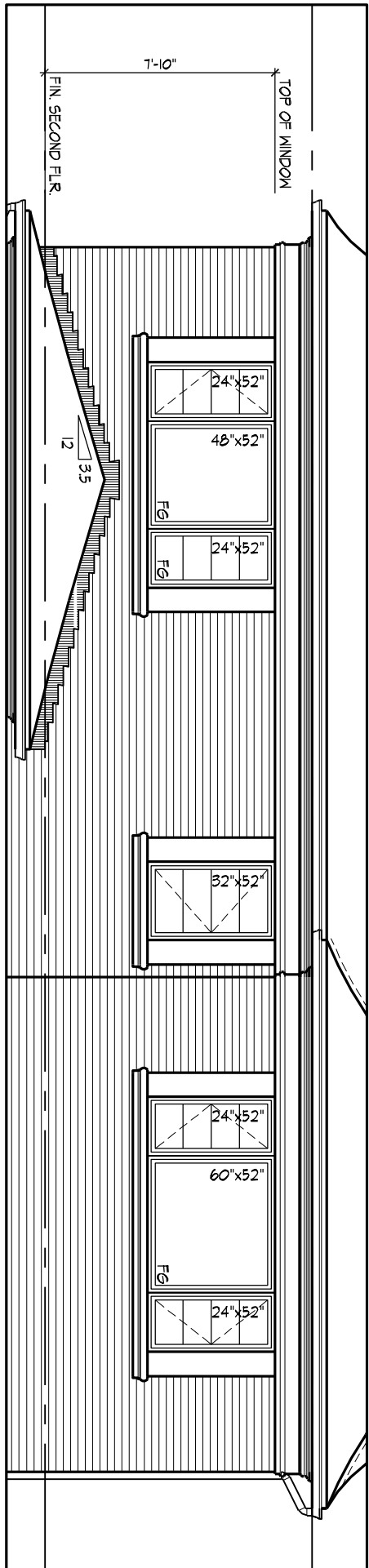
HUNT
DESIGN ASSOCIATES INC.

GOLDPARK HOMES - 217020
PINE VALLEY, VAUGHAN, ONT.

Drawn By	Checked By	Scale
MNI	SB	3/16"=1'-0"

UNIT 5005 - THE KNIGHTSWOOD
REV.2019/1/26

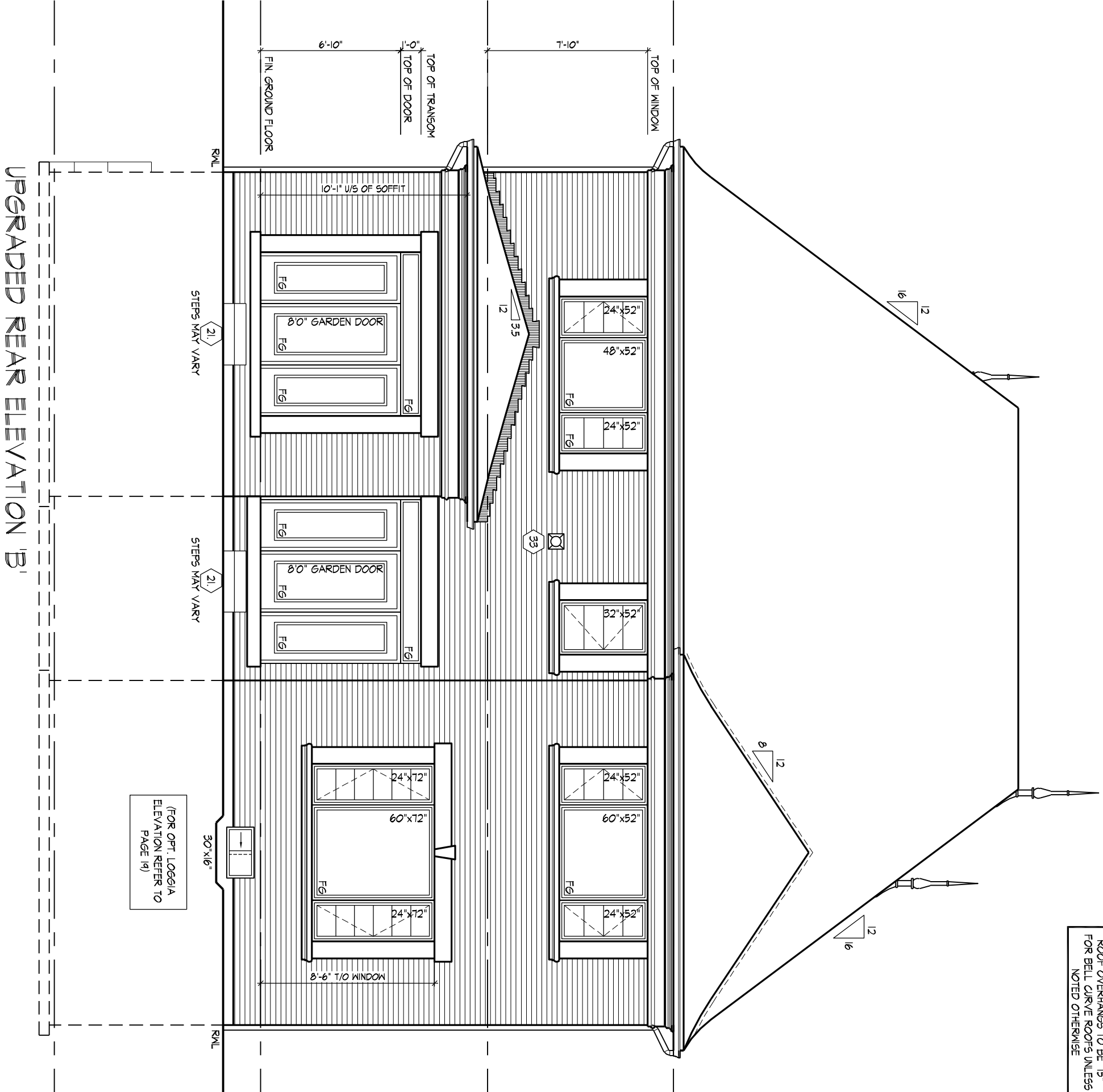
REFER TO FRONT ELEVATION
FOR TYPICAL NOTES & INFO.



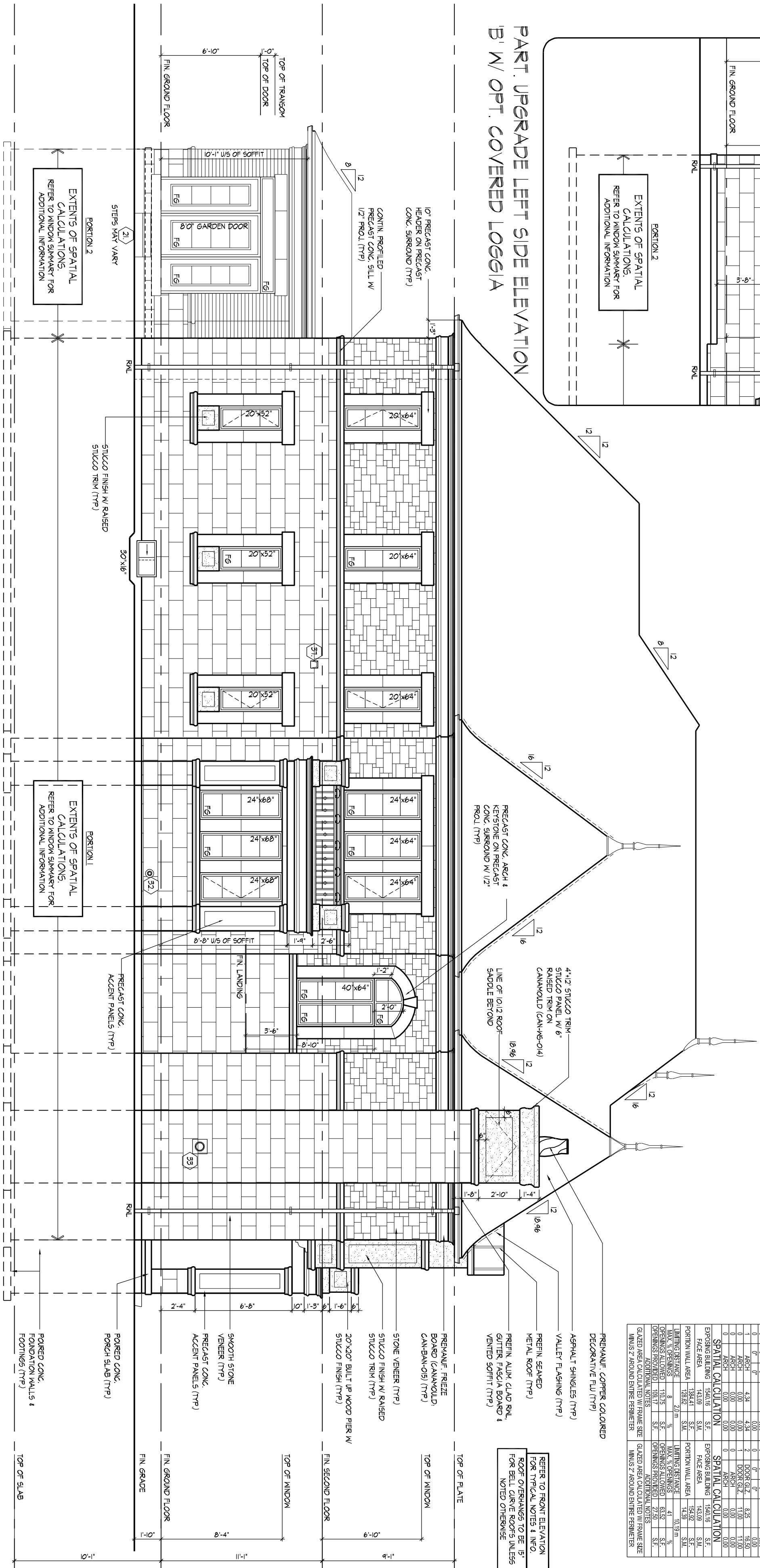
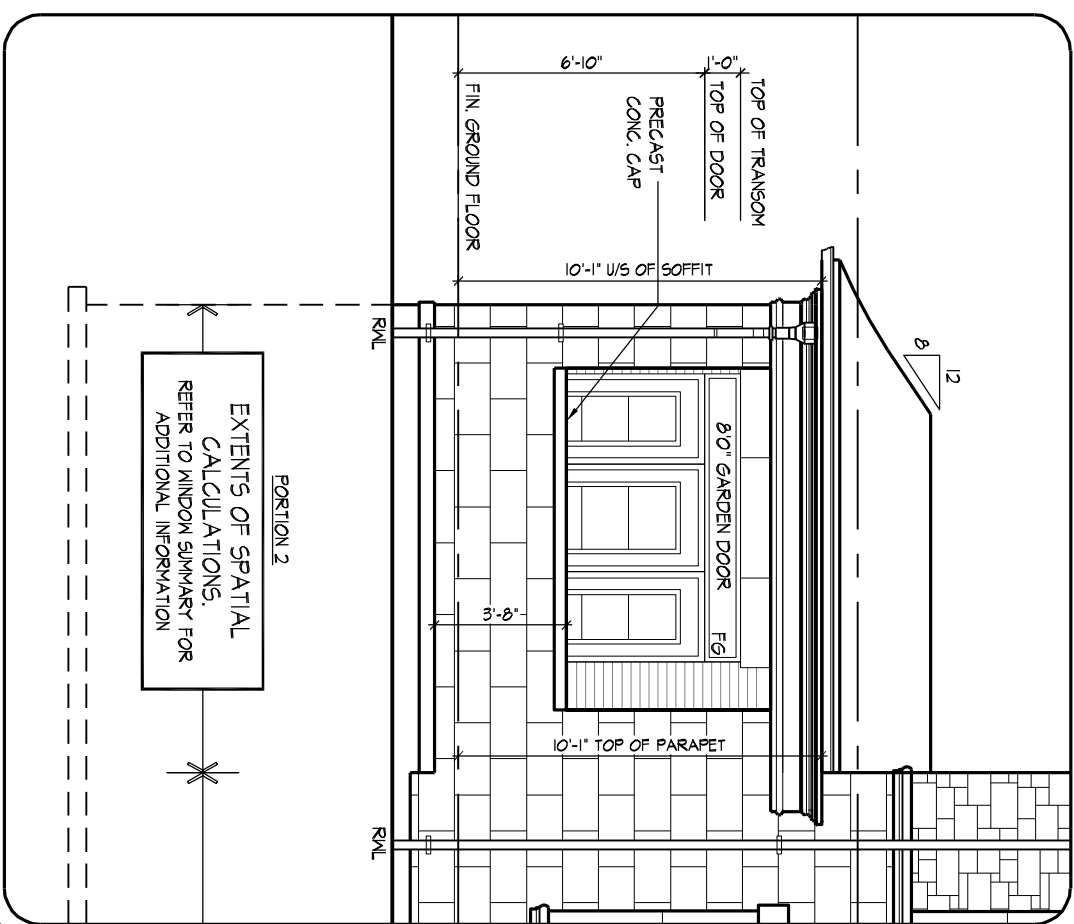
PART. REAR ELEVATION B' - OPT. 5 BEDROOM &
OPT. 5 BEDROOM W/ ELEVATOR PLANS

REFER TO FRONT ELEVATION
FOR TYPICAL NOTES & INFO.
ROOF OVERHANGS TO BE 15"
FOR BELL CURVE ROOFS UNLESS
NOTED OTHERWISE

NEREDIAEANDRADE | FRI JAN 31/20 02:22 PM | K:\PROJECTS\2017\217020.GOLD\WORKING\SINGLES\50\217020\WS5005-KNIGHTSWOOD.DWG



It is the builder's complete responsibility to ensure that the building is constructed in full compliance with the Architectural Guidelines. The Architectural Guidelines are provided for informational purposes only and do not constitute a contract. The builder is responsible for obtaining all necessary permits and for ensuring that the building is constructed in full compliance with all applicable laws and regulations. The builder is also responsible for ensuring that the building is constructed in full compliance with the applicable Architectural Design Guidelines approved by the City of Vaughan.



WINDOW SUMMARY										WINDOW SUMMARY									
PER 0.02, TABLE 8.10.1.5.4										PER 0.02, TABLE 8.10.1.5.4									
LEFT SIDE ELEVATION - PORTION 1					RIGHT SIDE ELEVATION - PORTION 1					LEFT SIDE ELEVATION - PORTION 2					RIGHT SIDE ELEVATION - PORTION 2				
Q	U	A	H	D	Q	U	A	H	D	Q	U	A	H	D	Q	U	A	H	D
QUANTITY	U-VALUE	AREA	HEIGHT	DEPTH	QUANTITY	U-VALUE	AREA	HEIGHT	DEPTH	QUANTITY	U-VALUE	AREA	HEIGHT	DEPTH	QUANTITY	U-VALUE	AREA	HEIGHT	DEPTH
1	0.25	1.00	1.00	0.00	1	0.25	1.00	1.00	0.00	1	0.25	1.00	1.00	0.00	1	0.25	1.00	1.00	0.00
2	0.25	1.00	1.00	0.00	2	0.25	1.00	1.00	0.00	2	0.25	1.00	1.00	0.00	2	0.25	1.00	1.00	0.00
3	0.25	1.00	1.00	0.00	3	0.25	1.00	1.00	0.00	3	0.25	1.00	1.00	0.00	3	0.25	1.00	1.00	0.00
4	0.25	1.00	1.00	0.00	4	0.25	1.00	1.00	0.00	4	0.25	1.00	1.00	0.00	4	0.25	1.00	1.00	0.00
5	0.25	1.00	1.00	0.00	5	0.25	1.00	1.00	0.00	5	0.25	1.00	1.00	0.00	5	0.25	1.00	1.00	0.00
6	0.25	1.00	1.00	0.00	6	0.25	1.00	1.00	0.00	6	0.25	1.00	1.00	0.00	6	0.25	1.00	1.00	0.00
7	0.25	1.00	1.00	0.00	7	0.25	1.00	1.00	0.00	7	0.25	1.00	1.00	0.00	7	0.25	1.00	1.00	0.00
8	0.25	1.00	1.00	0.00	8	0.25	1.00	1.00	0.00	8	0.25	1.00	1.00	0.00	8	0.25	1.00	1.00	0.00
9	0.25	1.00	1.00	0.00	9	0.25	1.00	1.00	0.00	9	0.25	1.00	1.00	0.00	9	0.25	1.00	1.00	0.00
10	0.25	1.00	1.00	0.00	10	0.25	1.00	1.00	0.00	10	0.25	1.00	1.00	0.00	10	0.25	1.00	1.00	0.00
11	0.25	1.00	1.00	0.00	11	0.25	1.00	1.00	0.00	11	0.25	1.00	1.00	0.00	11	0.25	1.00	1.00	0.00
12	0.25	1.00	1.00	0.00	12	0.25	1.00	1.00	0.00	12	0.25	1.00	1.00	0.00	12	0.25	1.00	1.00	0.00
13	0.25	1.00	1.00	0.00	13	0.25	1.00	1.00	0.00	13	0.25	1.00	1.00	0.00	13	0.25	1.00	1.00	0.00
14	0.25	1.00	1.00	0.00	14	0.25	1.00	1.00	0.00	14	0.25	1.00	1.00	0.00	14	0.25	1.00	1.00	0.00
15	0.25	1.00	1.00	0.00	15	0.25	1.00	1.00	0.00	15	0.25	1.00	1.00	0.00	15	0.25	1.00	1.00	0.00
16	0.25	1.00	1.00	0.00	16	0.25	1.00	1.00	0.00	16	0.25	1.00	1.00	0.00	16	0.25	1.00	1.00	0.00
17	0.25	1.00	1.00	0.00	17	0.25	1.00	1.00	0.00	17	0.25	1.00	1.00	0.00	17	0.25	1.00	1.00	0.00
18	0.25	1.00	1.00	0.00	18	0.25	1.00	1.00	0.00	18	0.25	1.00	1.00	0.00	18	0.25	1.00	1.00	0.00
19	0.25	1.00	1.00	0.00	19	0.25	1.00	1.00	0.00	19	0.25	1.00	1.00	0.00	19	0.25	1.00	1.00	0.00
20	0.25	1.00	1.00	0.00	20	0.25	1.00	1.00	0.00	20	0.25								

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

FINANCIAL SUMMARY									
PROJ. NO. 14-03-013-54									
RIGHT SIDE ELEVATION B - STD.									
QUANTITY	UNIT	UNIT PRICE	AMOUNT	WINDOOR/FLOOR					
1	468'	16.7	7,809.60	36.0					
2	468'	16.7	7,809.60	36.1					
3	24'	52.7	1,264.80	6.67					
4	24'	52.7	1,264.80	6.67					
5	0	0	0.00	0.00					
6	0	0	0.00	0.00					
7	0	0	0.00	0.00					
8	0	0	0.00	0.00					
9	0	0	0.00	0.00					
10	0	0	0.00	0.00					
11	0	0	0.00	0.00					
12	0	0	0.00	0.00					
13	0	0	0.00	0.00					
14	0	0	0.00	0.00					
15	0	0	0.00	0.00					
16	0	0	0.00	0.00					
17	0	0	0.00	0.00					
18	0	0	0.00	0.00					
19	0	0	0.00	0.00					
20	0	0	0.00	0.00					
21	0	0	0.00	0.00					
22	0	0	0.00	0.00					
23	0	0	0.00	0.00					
24	0	0	0.00	0.00					
25	0	0	0.00	0.00					
26	0	0	0.00	0.00					
27	0	0	0.00	0.00					
28	0	0	0.00	0.00					
29	0	0	0.00	0.00					
30	0	0	0.00	0.00					
31	0	0	0.00	0.00					
32	0	0	0.00	0.00					
33	0	0	0.00	0.00					
34	0	0	0.00	0.00					
35	0	0	0.00	0.00					
36	0	0	0.00	0.00					
37	0	0	0.00	0.00					
38	0	0	0.00	0.00					
39	0	0	0.00	0.00					
40	0	0	0.00	0.00					
41	0	0	0.00	0.00					
42	0	0	0.00	0.00					
43	0	0	0.00	0.00					
44	0	0	0.00	0.00					
45	0	0	0.00	0.00					
46	0	0	0.00	0.00					
47	0	0	0.00	0.00					
48	0	0	0.00	0.00					
49	0	0	0.00	0.00					
50	0	0	0.00	0.00					
51	0	0	0.00	0.00					
52	0	0	0.00	0.00					
53	0	0	0.00	0.00					
54	0	0	0.00	0.00					
55	0	0	0.00	0.00					
56	0	0	0.00	0.00					
57	0	0	0.00	0.00					
58	0	0	0.00	0.00					
59	0	0	0.00	0.00					
60	0	0	0.00	0.00					
61	0	0	0.00	0.00					
62	0	0	0.00	0.00					
63	0	0	0.00	0.00					
64	0	0	0.00	0.00					
65	0	0	0.00	0.00					
66	0	0	0.00	0.00					
67	0	0	0.00	0.00					
68	0	0	0.00	0.00					
69	0	0	0.00	0.00					
70	0	0	0.00	0.00					
71	0	0	0.00	0.00					
72	0	0	0.00	0.00					
73	0	0	0.00	0.00					
74	0	0	0.00	0.00					
75	0	0	0.00	0.00					
76	0	0	0.00	0.00					
77	0	0	0.00	0.00					
78	0	0	0.00	0.00					
79	0	0	0.00	0.00					
80	0	0	0.00	0.00					
81	0	0	0.00	0.00					
82	0	0	0.00	0.00					
83	0	0	0.00	0.00					
84	0	0	0.00	0.00					
85	0	0	0.00	0.00					
86	0	0	0.00	0.00					
87	0	0	0.00	0.00					
88	0	0	0.00	0.00					
89	0	0	0.00	0.00					
90	0	0	0.00	0.00					
91	0	0	0.00	0.00					
92	0	0	0.00	0.00					
93	0	0	0.00	0.00					
94	0	0	0.00	0.00					
95	0	0	0.00	0.00					
96	0	0	0.00	0.00					
97	0	0	0.00	0.00					
98	0	0	0.00	0.00					
99	0	0	0.00	0.00					
100	0	0	0.00	0.00					
SPATIAL CALCULATION									
EXPRESS BUILDING	1564.16	S.F.							
FACE AREA	1430.9	S.F.							
PORTION WALL AREA	1430.9	S.F.							
OPENING SPACE	1364.16	S.F.							
MAX. SPACING	7	ft.							
OPENINGS ALLOWED	107.81	S.F.							
OPENINGS PROHIBITED	1356.35	S.F.							
OPENINGS PROHIBITED	1356.35	S.F.							
GLAZED AREA CALCULATED WITH FRAME SIZE									
MINUS 2' WINDOOR ELEVATION B - STD.									

RIGHT SIDE ELEVATION 'B' - CORNER

Annotations:

- ASPHALT SHINGLES (TYP)
- VALLEY FLASHING (TYP)
- PERIN ALUM CLAD R/L GUTTER FASCIA BOARD & VENTED SOFFIT (TYP)
- PERIN SEALED METAL ROOF (TYP)
- PERMANENT FRIEZE BOARD (CANADIAN CANADIAN) (TYP)
- TOP OF TRUSS
- TOP OF WINDOW
- STONE VENEER (TYP)
- STUCCO FINISH W/ RAISED STUCCO TRIM (TYP)
- SMOOTH STONE VENEER (TYP)
- PRECAST CONC. ACCENT PANELS (TYP)
- POURED CONC. PORCH SLAB (TYP)
- POURED CONC. FOUNDATION WALLS & FOOTINGS (TYP)
- STEPPED F6 (TYP)
- FACE BRICK (TYP)
- BRICK SOLIDER CORNER W/ 1/2 FROGL
- PRECAST CONC. SILL W/ 1/2 FROGL (TYP)
- FIN. SECOND FLOOR
- FIN. GROUND FLOOR
- FIN. GRADE
- TOP OF PLATE
- TOP OF WINDOW
- TOP OF SLAB

Spatial Calculations:

ITEM	QTY	UNIT	AREA	PERCENT	REMARKS
1	40	SQ. FT.	38.11	100.00	
2	30	SQ. FT.	4.33	11.36	
3	0	SQ. FT.	0.00	0.00	
4	0	SQ. FT.	0.00	0.00	
5	0	SQ. FT.	0.00	0.00	
6	0	SQ. FT.	0.00	0.00	
7	0	SQ. FT.	0.00	0.00	
8	0	SQ. FT.	0.00	0.00	
9	0	SQ. FT.	0.00	0.00	
10	0	SQ. FT.	0.00	0.00	
11	0	SQ. FT.	0.00	0.00	
12	0	SQ. FT.	0.00	0.00	
13	0	SQ. FT.	0.00	0.00	
14	0	SQ. FT.	0.00	0.00	
15	0	SQ. FT.	0.00	0.00	
16	0	SQ. FT.	0.00	0.00	
17	0	SQ. FT.	0.00	0.00	
18	0	SQ. FT.	0.00	0.00	
19	0	SQ. FT.	0.00	0.00	
20	0	SQ. FT.	0.00	0.00	
21	0	SQ. FT.	0.00	0.00	
22	0	SQ. FT.	0.00	0.00	
23	0	SQ. FT.	0.00	0.00	
24	0	SQ. FT.	0.00	0.00	
25	0	SQ. FT.	0.00	0.00	
26	0	SQ. FT.	0.00	0.00	
27	0	SQ. FT.	0.00	0.00	
28	0	SQ. FT.	0.00	0.00	
29	0	SQ. FT.	0.00	0.00	
30	0	SQ. FT.	0.00	0.00	
31	0	SQ. FT.	0.00	0.00	
32	0	SQ. FT.	0.00	0.00	
33	0	SQ. FT.	0.00	0.00	
34	0	SQ. FT.	0.00	0.00	
35	0	SQ. FT.	0.00	0.00	
36	0	SQ. FT.	0.00	0.00	
37	0	SQ. FT.	0.00	0.00	
38	0	SQ. FT.	0.00	0.00	
39	0	SQ. FT.	0.00	0.00	
40	0	SQ. FT.	0.00	0.00	
41	0	SQ. FT.	0.00	0.00	
42	0	SQ. FT.	0.00	0.00	
43	0	SQ. FT.	0.00	0.00	
44	0	SQ. FT.	0.00	0.00	
45	0	SQ. FT.	0.00	0.00	
46	0	SQ. FT.	0.00	0.00	
47	0	SQ. FT.	0.00	0.00	
48	0	SQ. FT.	0.00	0.00	
49	0	SQ. FT.	0.00	0.00	
50	0	SQ. FT.	0.00	0.00	
51	0	SQ. FT.	0.00	0.00	
52	0	SQ. FT.	0.00	0.00	
53	0	SQ. FT.	0.00	0.00	
54	0	SQ. FT.	0.00	0.00	
55	0	SQ. FT.	0.00	0.00	
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57	0	SQ. FT.	0.00	0.00	
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59	0	SQ. FT.	0.00	0.00	
60	0	SQ. FT.	0.00	0.00	
61	0	SQ. FT.	0.00	0.00	
62	0	SQ. FT.	0.00	0.00	
63	0	SQ. FT.	0.00	0.00	
64	0	SQ. FT.	0.00	0.00	
65	0	SQ. FT.	0.00	0.00	
66	0	SQ. FT.	0.00	0.00	
67	0	SQ. FT.	0.00	0.00	
68	0	SQ. FT.	0.00	0.00	
69	0	SQ. FT.	0.00	0.00	
70	0	SQ. FT.	0.00	0.00	
71	0	SQ. FT.	0.00	0.00	
72	0	SQ. FT.	0.00	0.00	
73	0	SQ. FT.	0.00	0.00	
74	0	SQ. FT.	0.00	0.00	
75	0	SQ. FT.	0.00	0.00	
76	0	SQ. FT.	0.00	0.00	
7					

THE UNDERSIGNED HAS RECEIVED AND TAKES RESPONSIBILITY FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET FORTH IN THE HUNT CLUB CHARTER AND AGREES TO BE A MEMBER, IN GOOD STANDING, OF THE HUNT CLUB.

On: **February 20, 2001**

NAME: **DESIGN ASSOCIATES INC.** SIGNATURE: **[Signature]** E-MAIL: **1995**

REGISTRATION INFORMATION: **www.huntdesign.ca**

HUNT CLUB

DESIGN ASSOCIATES INC.

GOLDPARK HOMES - 217020 UNIT 5005 - THE KNIGHTSWOOD

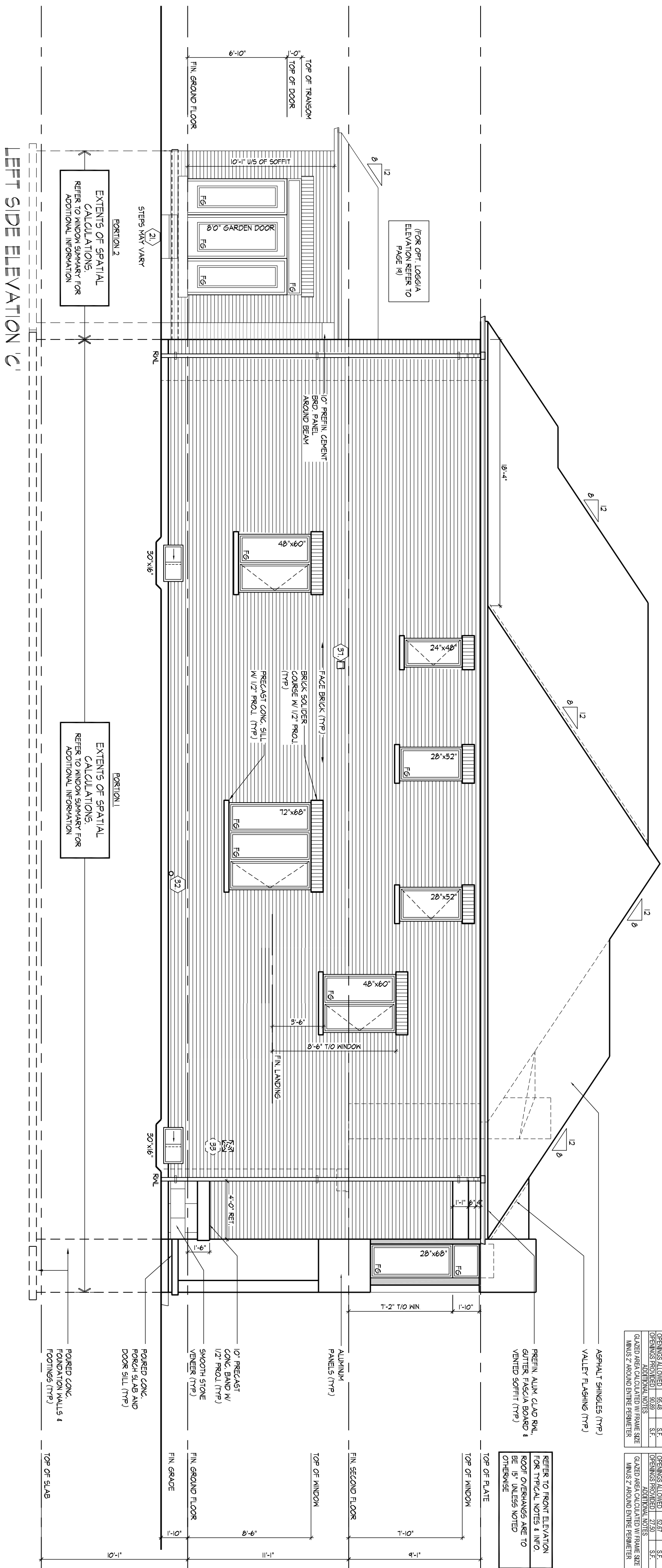
PINE VALLEY VAUGHAN, ONT.

Drawn By: **SB** Scale: **3/16"=1'-0"** File Number: **217020/MS5005.DWG**

MAN: **8666 Woodbine Ave. Markham, ON L3R 0V7 T 905.737.5133 F 905.737.1266**

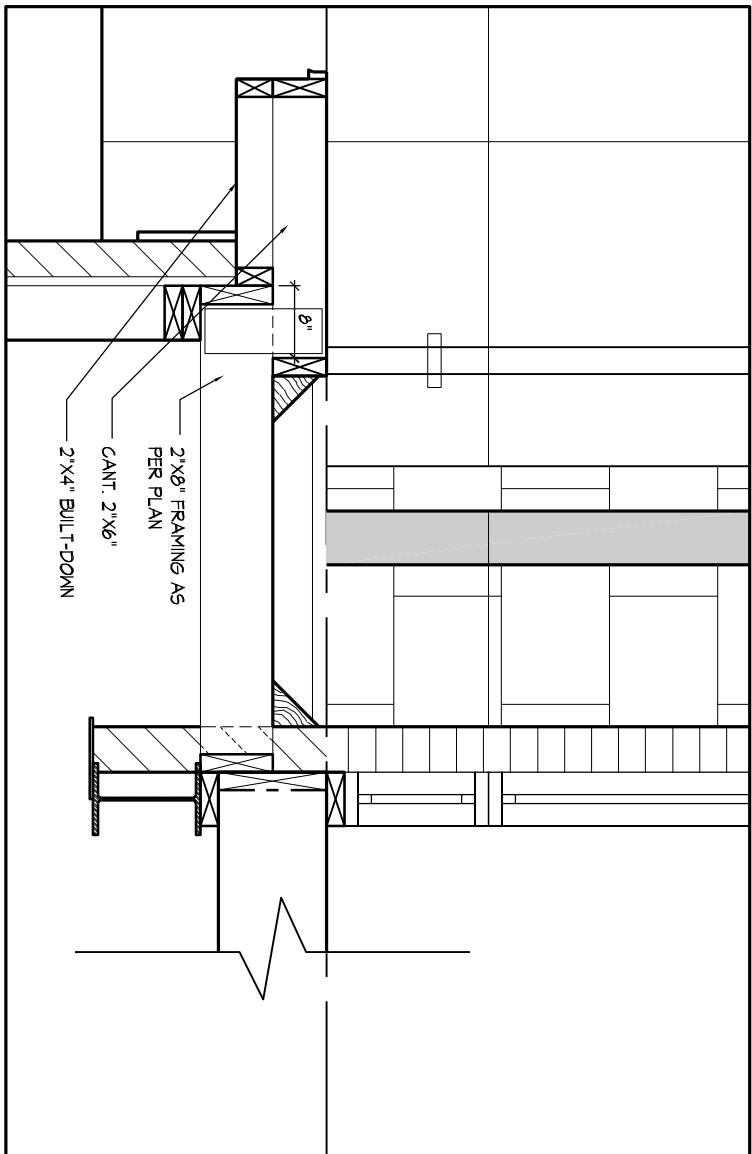
24 OF 230

WINDOW SUMMARY									
PER. CALC. TABLE C.10.15.4									
LEFT SIDE ELEVATION - C - WINDOW - DOOR 1									
QUAN.	UNIT	DEPTH	WINDOW / DOOR FRAME SIZE (S x I)	PER. CALC. TABLE C.10.15.4	PER. CALC. TABLE C.10.15.4	PER. CALC. TABLE C.10.15.4	PER. CALC. TABLE C.10.15.4	PER. CALC. TABLE C.10.15.4	PER. CALC. TABLE C.10.15.4
1	20"	4"	61.1"	0	0	0	0	0	0
2	20"	4"	38.0"	0	0	0	0	0	0
3	20"	4"	38.0"	0	0	0	0	0	0
4	20"	4"	30.2"	0	0	0	0	0	0
5	20"	4"	43.3"	0	0	0	0	0	0
6	20"	4"	43.3"	0	0	0	0	0	0
7	20"	4"	43.3"	0	0	0	0	0	0
8	20"	4"	43.3"	0	0	0	0	0	0
9	20"	4"	43.3"	0	0	0	0	0	0
10	20"	4"	43.3"	0	0	0	0	0	0
11	20"	4"	43.3"	0	0	0	0	0	0
12	20"	4"	43.3"	0	0	0	0	0	0
13	20"	4"	43.3"	0	0	0	0	0	0
14	20"	4"	43.3"	0	0	0	0	0	0
15	20"	4"	43.3"	0	0	0	0	0	0
16	20"	4"	43.3"	0	0	0	0	0	0
17	20"	4"	43.3"	0	0	0	0	0	0
18	20"	4"	43.3"	0	0	0	0	0	0
19	20"	4"	43.3"	0	0	0	0	0	0
20	20"	4"	43.3"	0	0	0	0	0	0
21	20"	4"	43.3"	0	0	0	0	0	0
22	20"	4"	43.3"	0	0	0	0	0	0
23	20"	4"	43.3"	0	0	0	0	0	0
24	20"	4"	43.3"	0	0	0	0	0	0
25	20"	4"	43.3"	0	0	0	0	0	0
26	20"	4"	43.3"	0	0	0	0	0	0
27	20"	4"	43.3"	0	0	0	0	0	0
28	20"	4"	43.3"	0	0	0	0	0	0
29	20"	4"	43.3"	0	0	0	0	0	0
30	20"	4"	43.3"	0	0	0	0	0	0
31	20"	4"	43.3"	0	0	0	0	0	0
32	20"	4"	43.3"	0	0	0	0	0	0
33	20"	4"	43.3"	0	0	0	0	0	0
34	20"	4"	43.3"	0	0	0	0	0	0
35	20"	4"	43.3"	0	0	0	0	0	0
36	20"	4"	43.3"	0	0	0	0	0	0
37	20"	4"	43.3"	0	0	0	0	0	0
38	20"	4"	43.3"	0	0	0	0	0	0
39	20"	4"	43.3"	0	0	0	0	0	0
40	20"	4"	43.3"	0	0	0	0	0	0
41	20"	4"	43.3"	0	0	0	0	0	0
42	20"	4"	43.3"	0	0	0	0	0	0
43	20"	4"	43.3"	0	0	0	0	0	0
44	20"	4"	43.3"	0	0	0	0	0	0
45	20"	4"	43.3"	0	0	0	0	0	0
46	20"	4"	43.3"	0	0	0	0	0	0
47	20"	4"	43.3"	0	0	0	0	0	

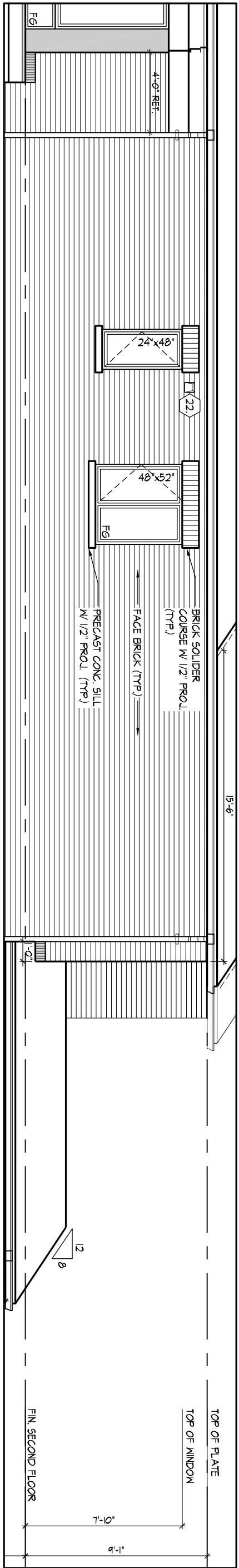


It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

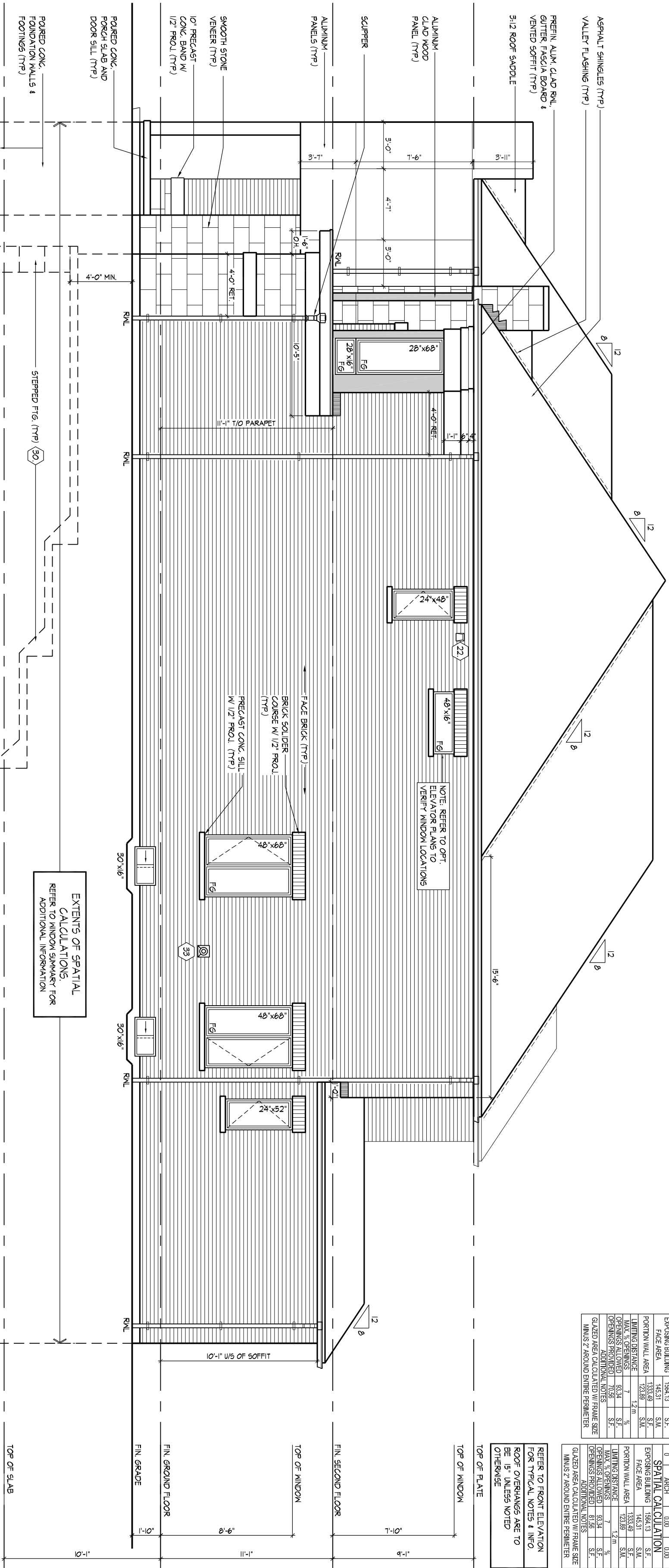
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.



SECTION C N.T.S



PART. RIGHT SIDE ELEVATION 'C' - OPT. 5 BEDROOM PLAN & OPT. 5 BEDROOM W/ ELEVATOR PLAN



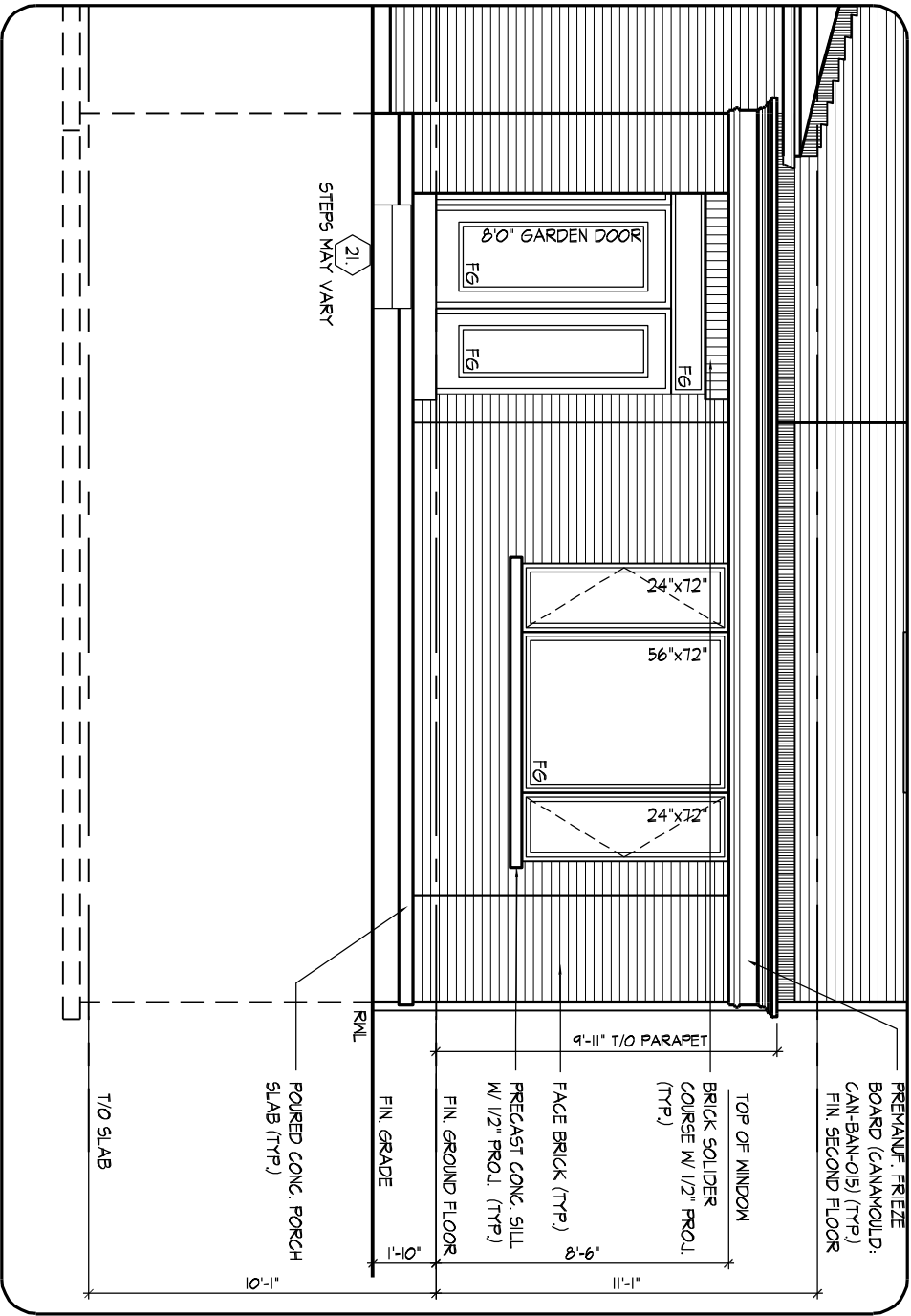
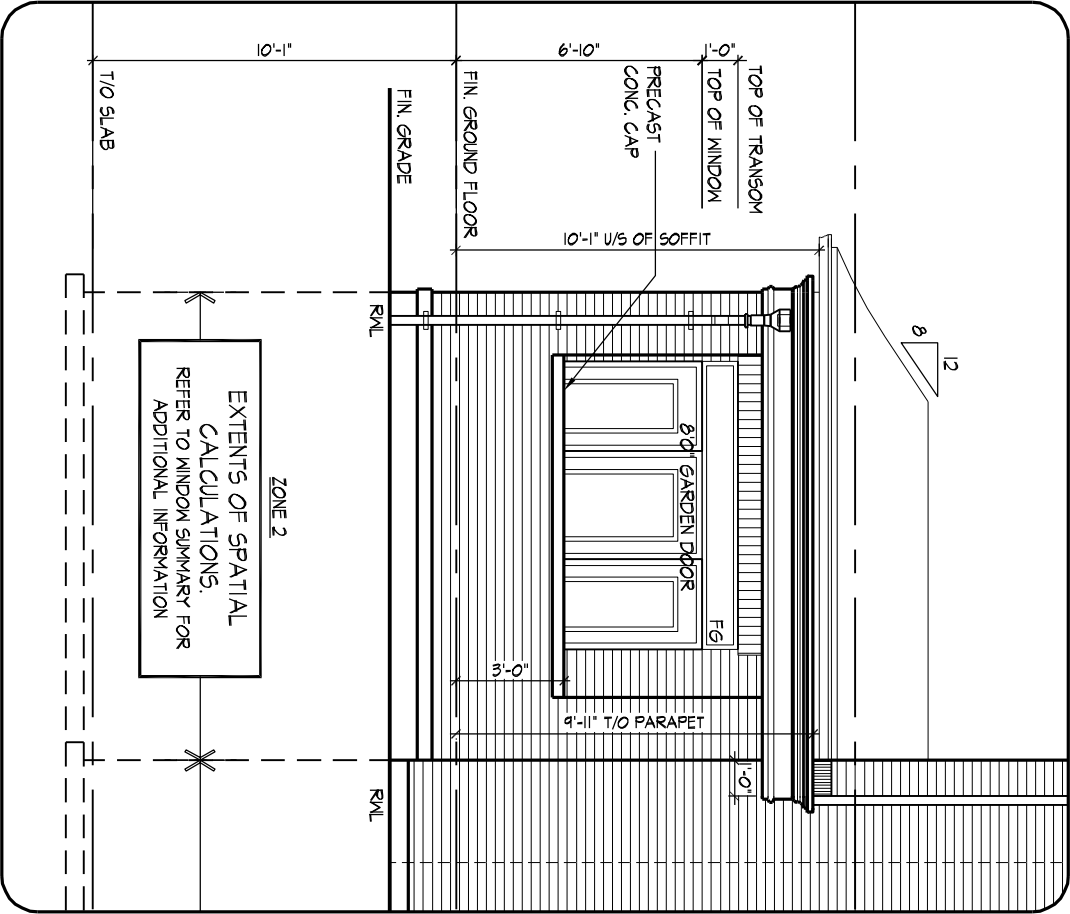
RIGHT SIDE ELEVATION 'C'

[illegible]

REFER TO FRONT ELEVATION
FOR TYPICAL NOTES & INFO.

ROOF OVERHANGS ARE TO
BE 15" UNLESS NOTED
OTHERWISE

[illegible]

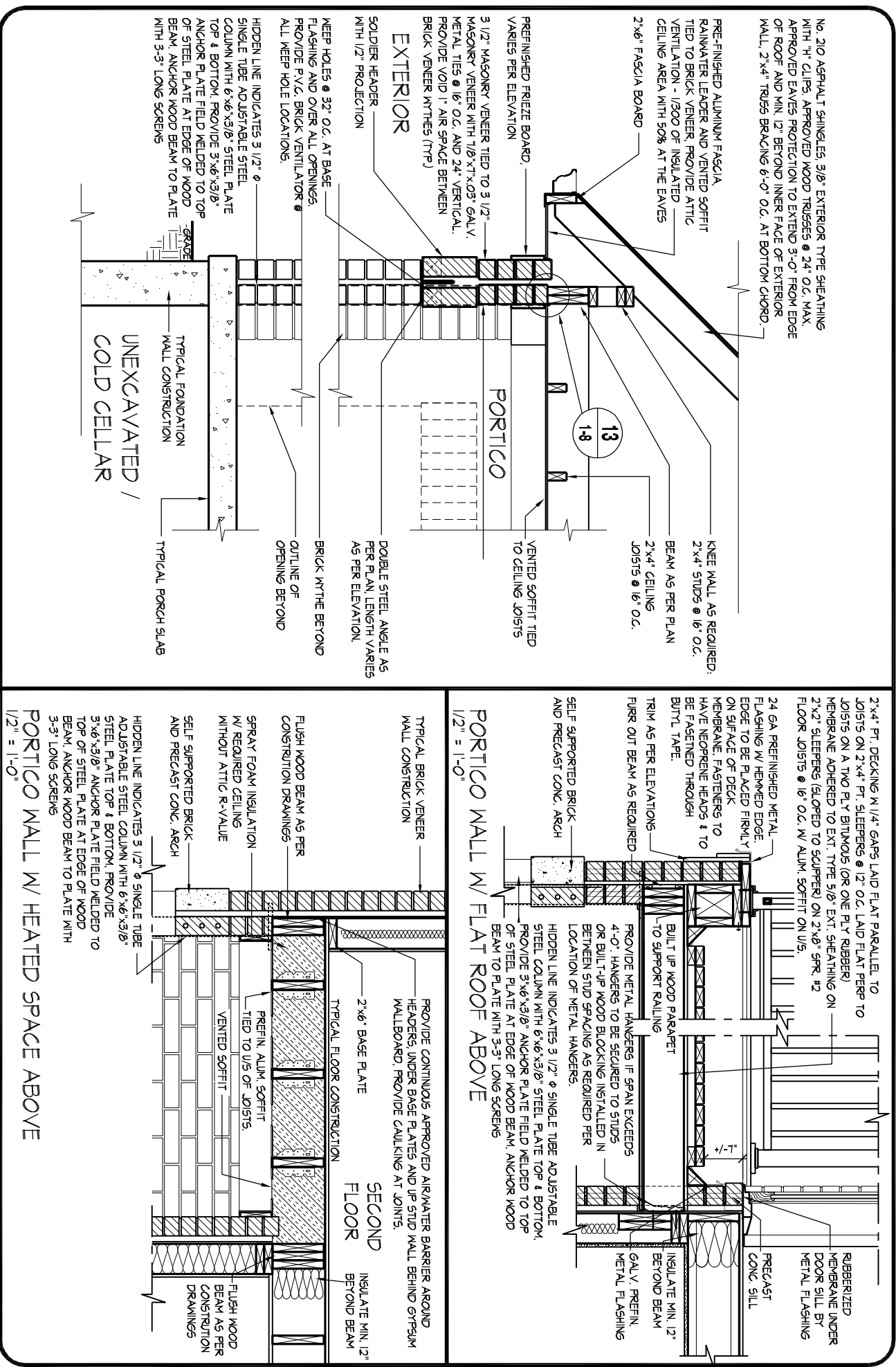


PART. LEFT SIDE ELEVATION 'A'
OPT. LOGGIA (ELEV. 'B' & 'C' SIMILAR)

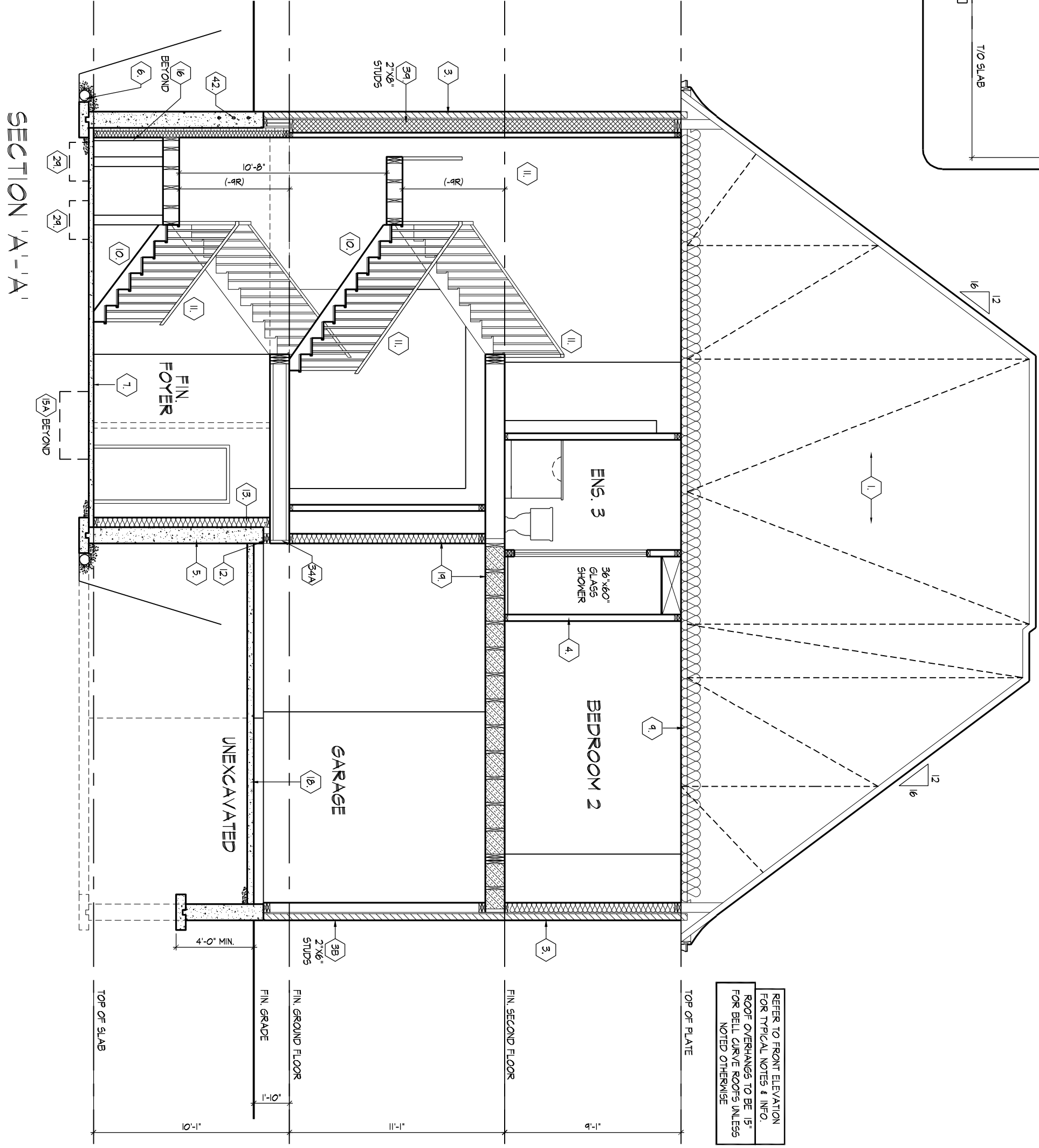
REFER TO FRONT ELEVATION
FOR TYPICAL NOTES & INFO.
ROOF OVERHANGS TO BE 15"
FOR BELL CURVE ROOF UNLESS
NOTED OTHERWISE.

PART. REAR ELEVATION 'A'
OPT. LOGGIA (ELEV. 'B' & 'C' SIMILAR)

REFER TO FRONT ELEVATION
FOR TYPICAL NOTES & INFO.
ROOF OVERHANGS TO BE 15"
FOR BELL CURVE ROOF UNLESS
NOTED OTHERWISE.



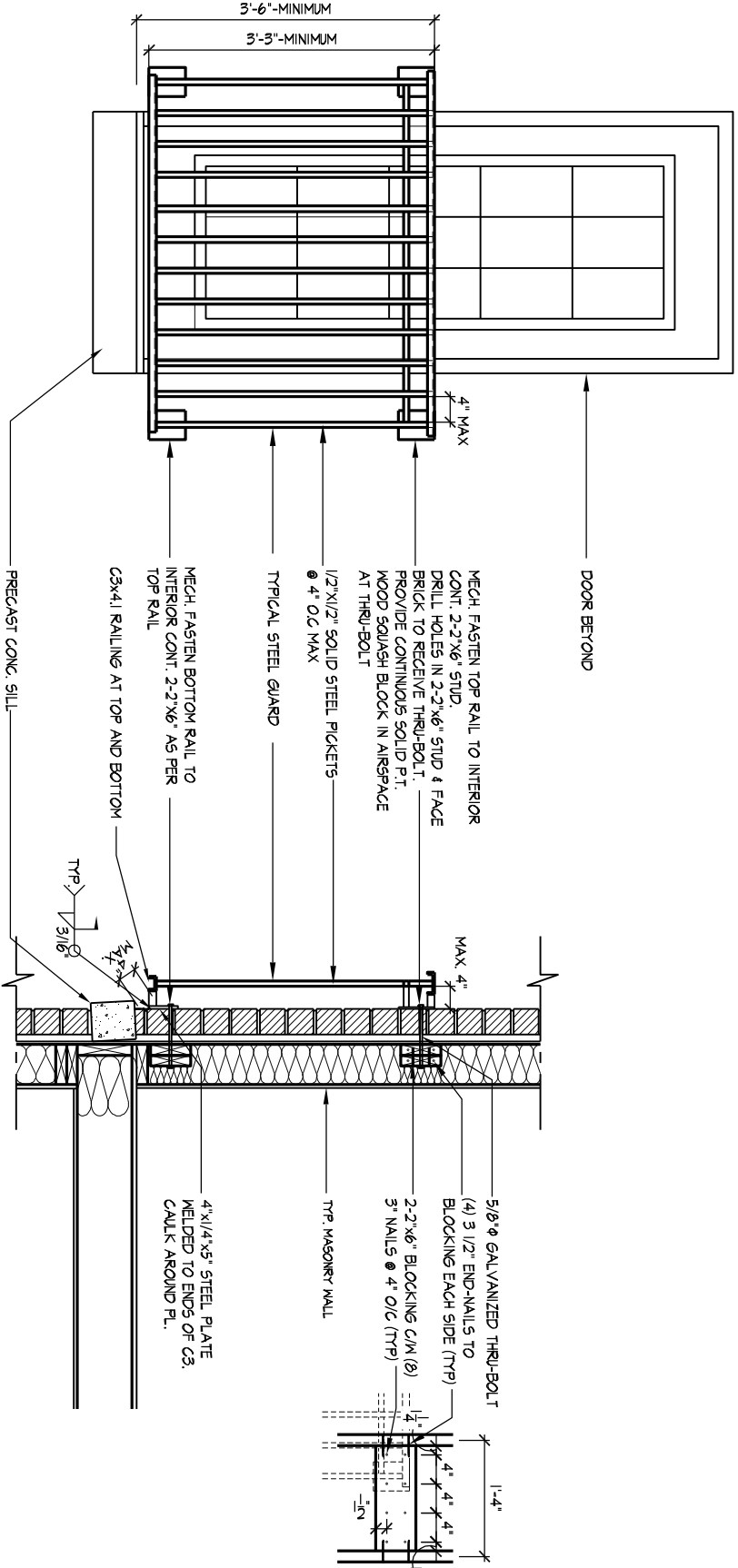
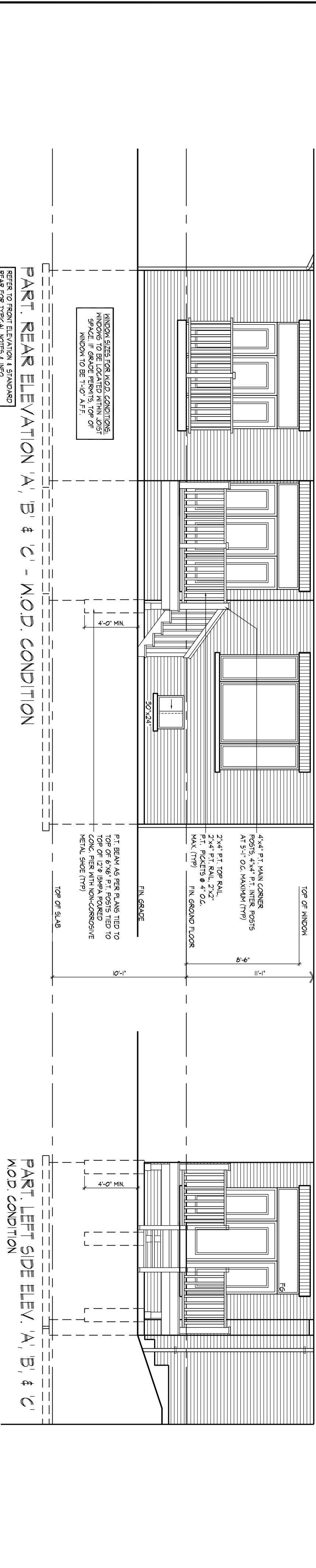
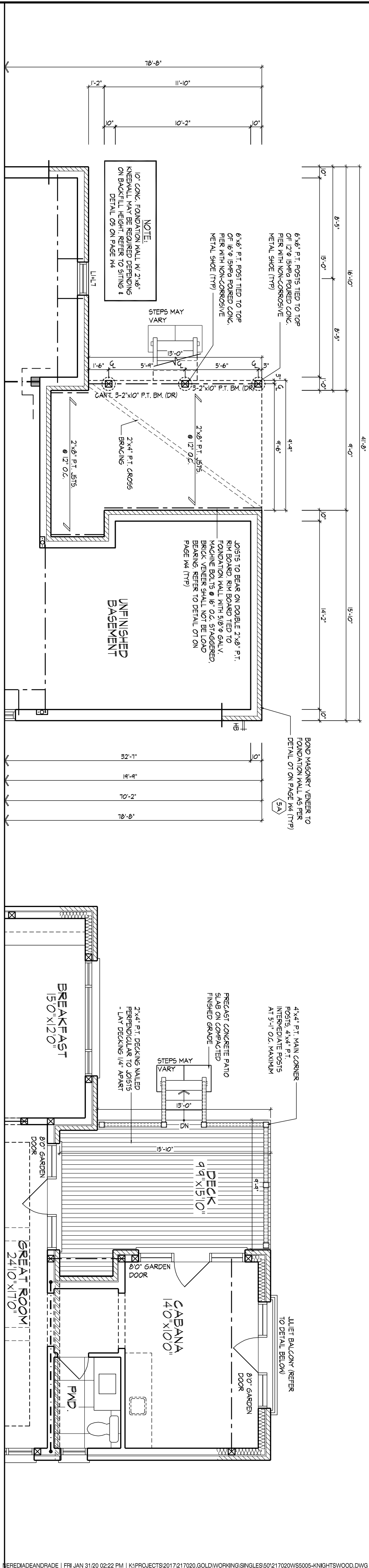
14
1/2" = 1'-0"



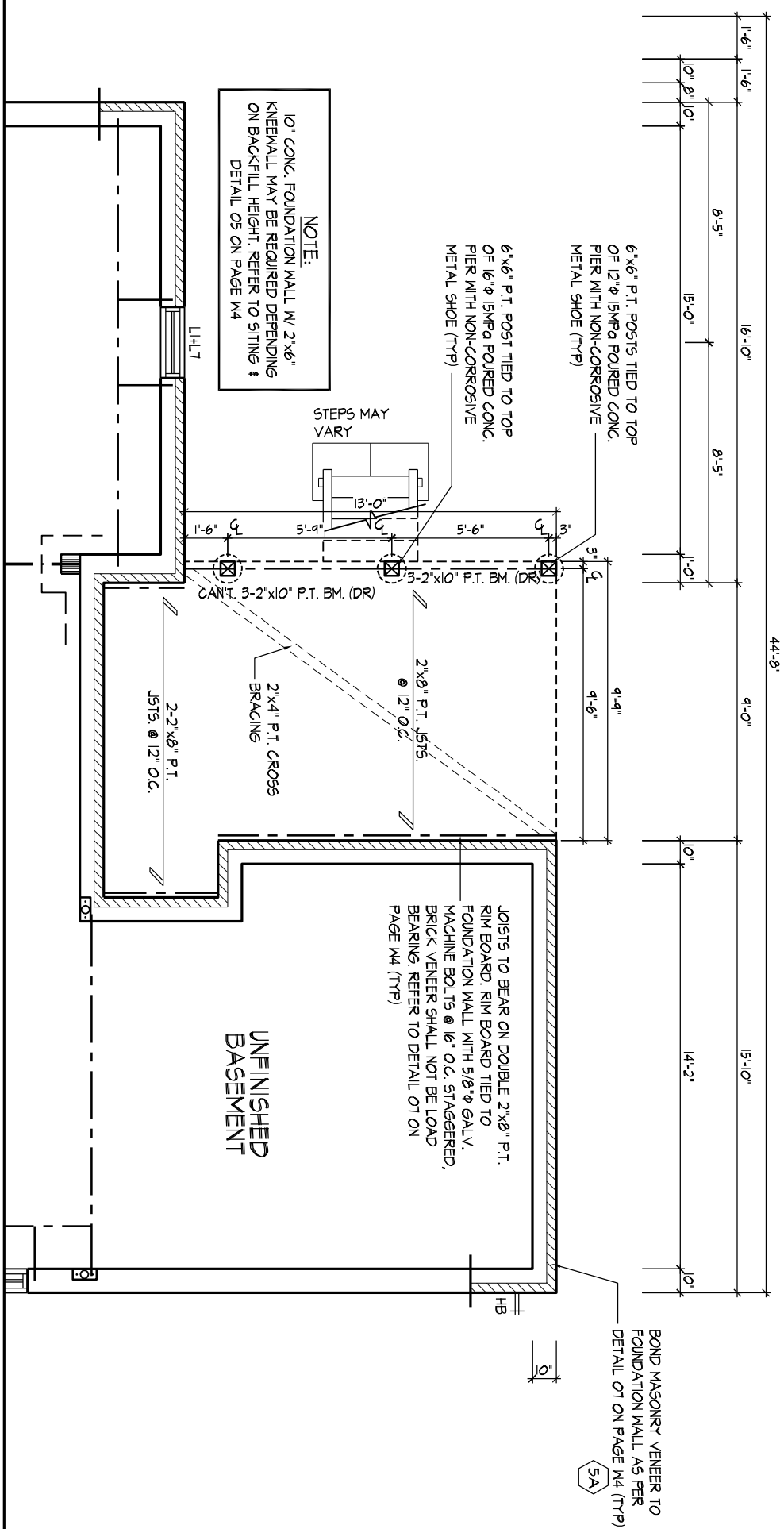
SECTION 'A-A'

REFER TO FRONT ELEVATION
FOR TYPICAL NOTES & INFO.
ROOF OVERHANGS TO BE 15"
FOR BELL CURVE ROOF UNLESS
NOTED OTHERWISE.

It is the builder's complete responsibility to fully comply with the Architectural Guidelines including zoning provisions and any provisions in the subdivision agreement. The control of the building is the responsibility of the owner. The builder shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities. The builder shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities. The builder shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.

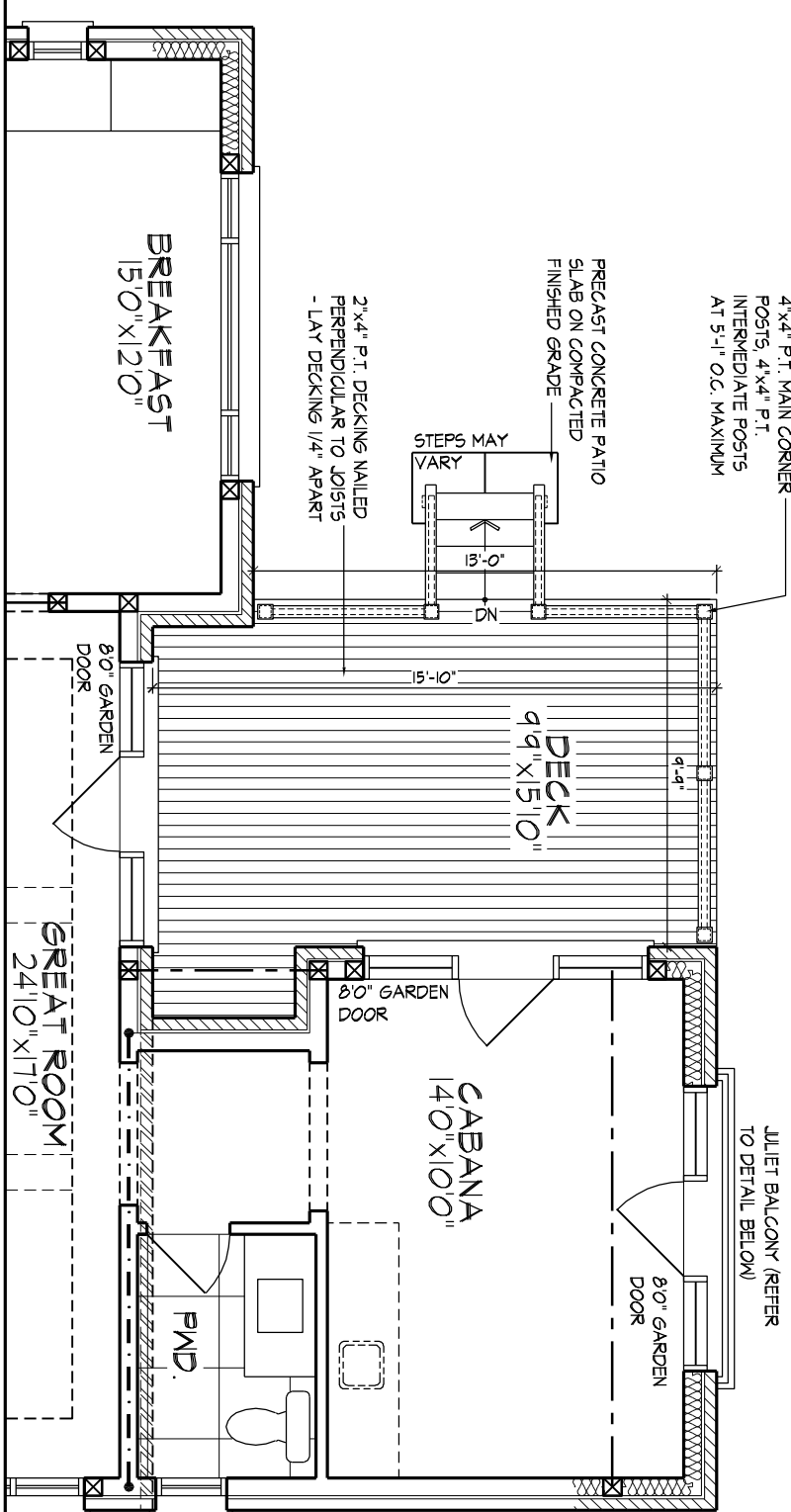


1/C1 1/2" = 1'-0"



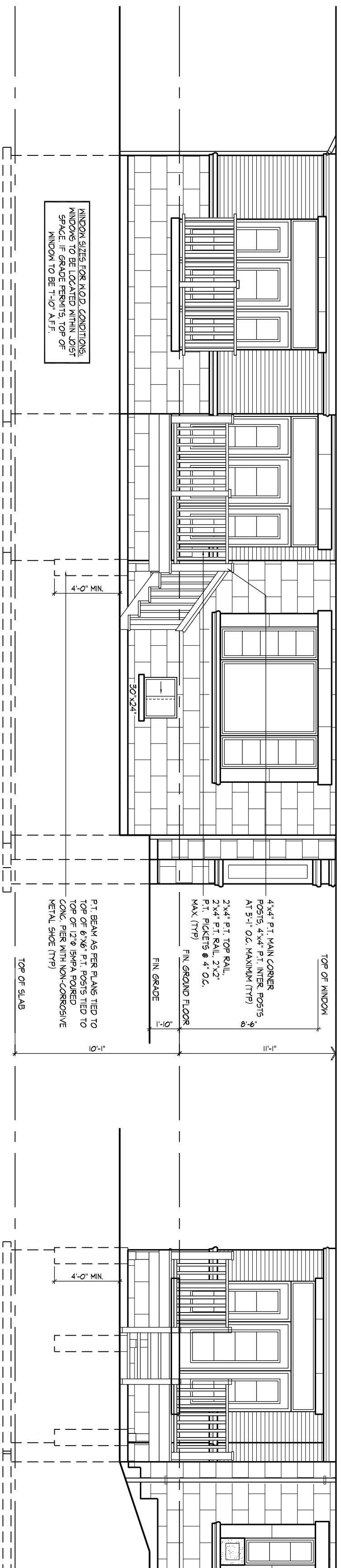
PART. BASEMENT PLAN ELEV. 'B' CORNER - W.O.D. COND.

NOTE:
REFER TO STANDARD FLOOR
PLANS FOR COMPLETE DIMENSIONS
& STRUCTURAL INFORMATION



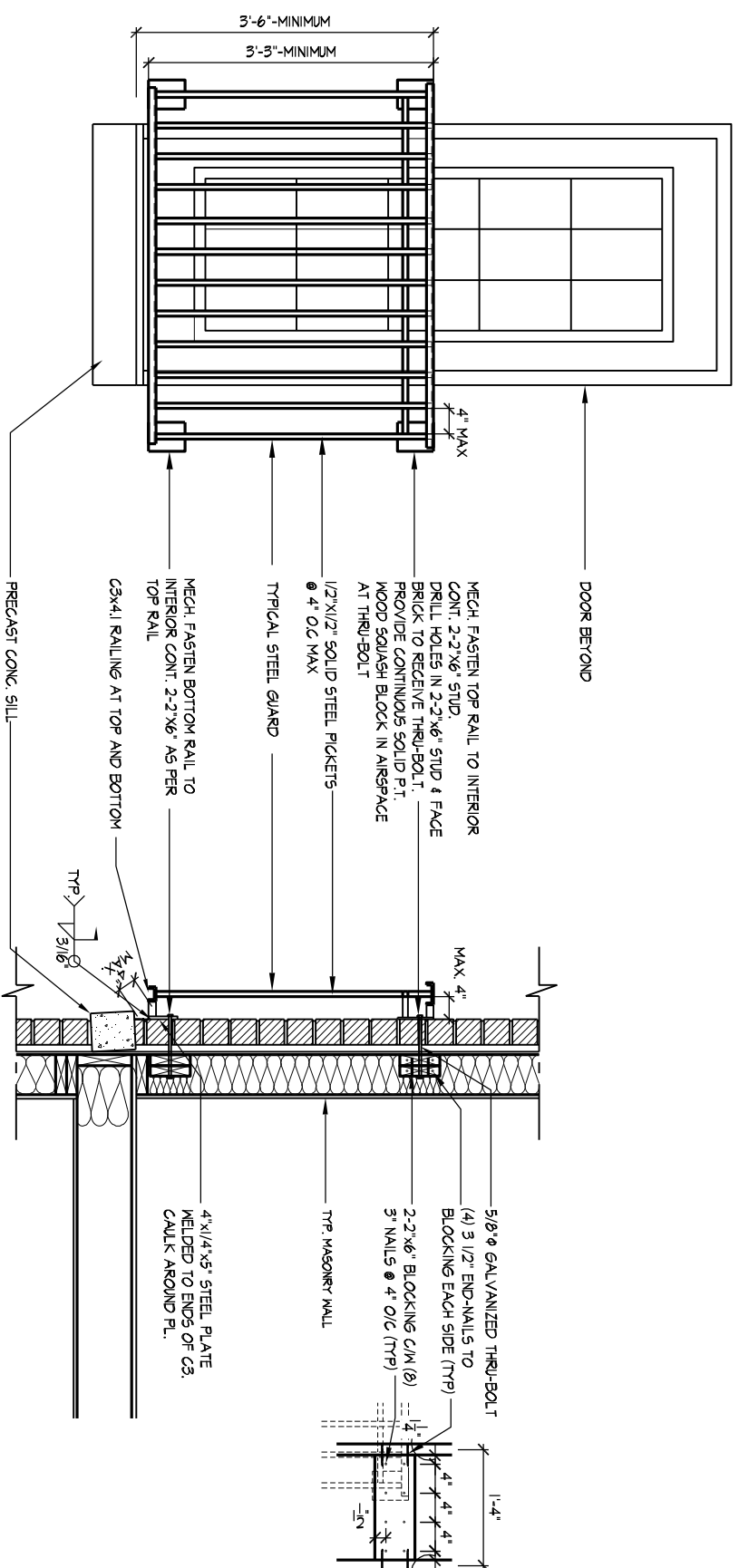
PART. GROUND FLOOR PLAN ELEV. 'B' CORNER - N.O.D. COND.

NOTE:
REFER TO STANDARD FLOOR
PLANS FOR COMPLETE DIMENSIONS
& STRUCTURAL INFORMATION



PART. REAR ELEVATION 'B' CORNER - W.O.D. CONDITION

REFER TO FRONT ELEVATION & STANDARD
REAR FOR TYPICAL NOTES & INFO.

PART. LEFT SIDE ELEV. 'B' CORNER
N.O.D. CONDITION

GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE TO THE O.B.C.
2. ALL EXPOSED METAL SHALL BE PRIMED AND PAINTED TO PREVENT CORROSION
3. ALL HOLES IN/TO MASONRY AND WOOD SHALL BE MECH. DRILLED-PLUG
4. ALL EXPOSED HOLES WITH CALLING AFTER ALL WELDING IS COMPLETE

TYPIC

$$1/2^i = 1 - 0^i$$

It is the builder's complete responsibility to ensure that all plans are fully compliant with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION

Orin Fairbairn 2020-

NAME	SIGNATURE	BCR#
REGISTRATION INFORMATION		

HUNT DESIGN ASSOCIATES INC. 1969

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HUNT  **GOLDPARK HOMES - 217020**
PINE VALLEY, VAUGHAN, ONT.

Drawn By  Scale  Checked By 

OF SB 3/16"=1'-0"

8966 Woodbine Ave. Markham, ON L3R 0J7

with the notation $\mathbb{A} \cap \mathbb{A}'$ denote the intersection of $\mathbb{A}$ and $\mathbb{A}'$.

with the potential to increase the proportion of the population in healthy

WALK OUT DECK CONDITION
UNIT 5005 - THE KNIGHTSWOOD

REV.2019/11/26

File Number	Page Number
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217020WS5005.DWG W4 of W8

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see it have the approximate BDN number and original structure)

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