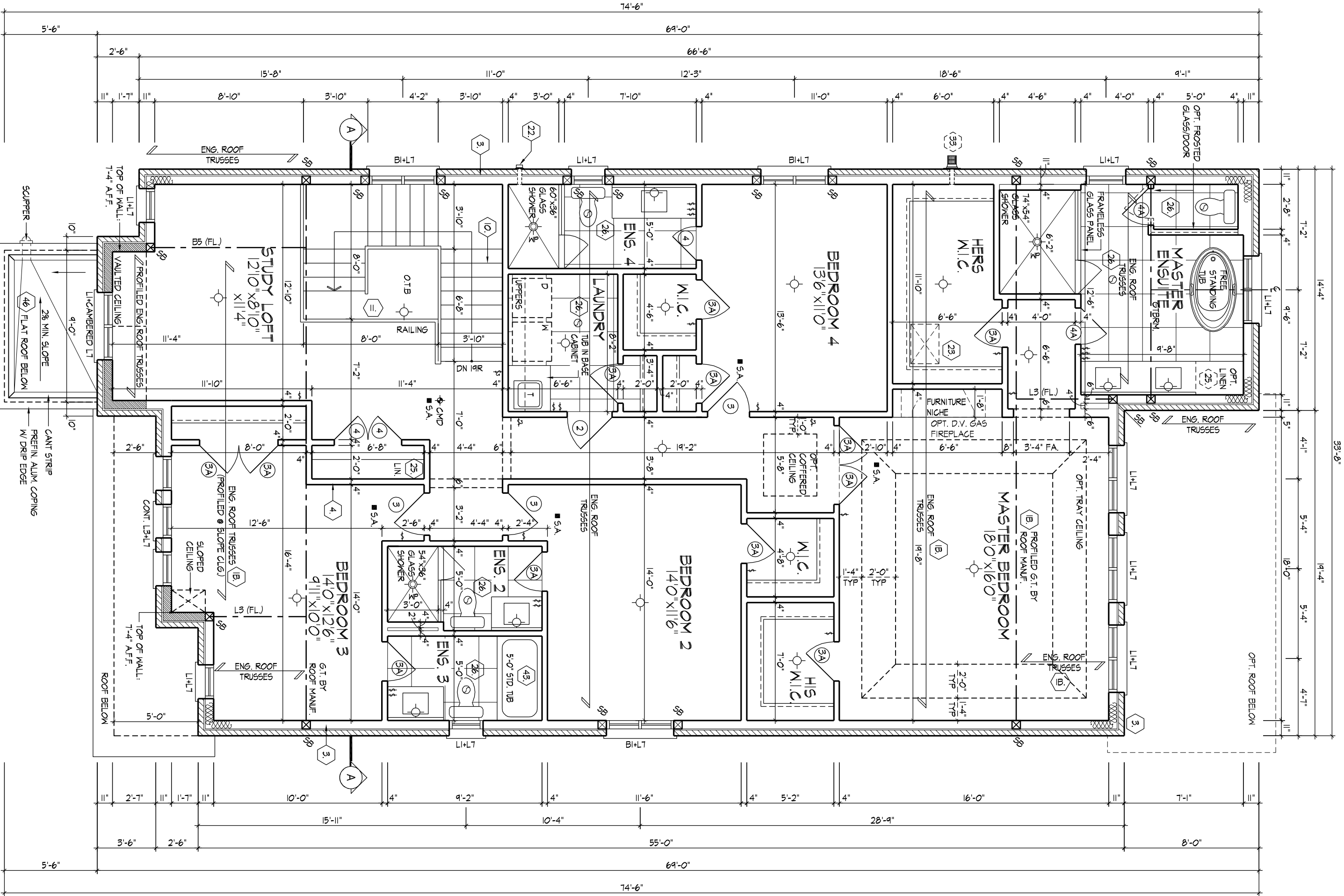


FRONT ELEVATION 'C'

PACKAGE A1

A-A
NOTES
ONS
ONS

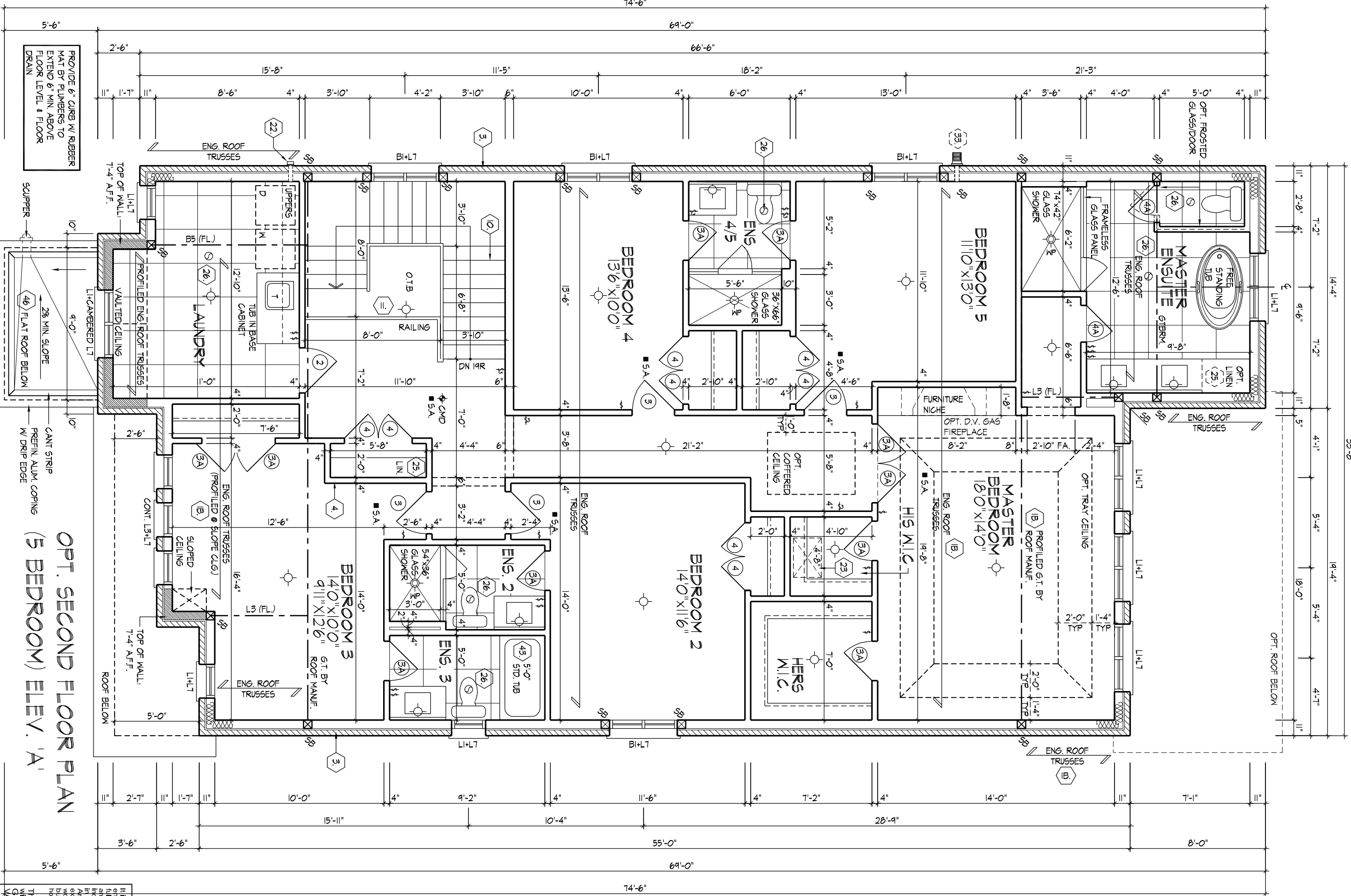
GOLDPARK HOMES - 217020
PINE VALLEY, VAUGHAN ONT.



PROVIDE 6" CARB N/ RUBBER MAT BY PLUMBERS TO EXTEND 6" MIN ABOVE FLOOR LEVEL & FLOOR DRAIN

SECOND FLOOR PLAN ELEV. 'A'

REFERS TO ROOF TRUSSES MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, INSTALLATION DETAILS AND HANGER SIZES.



OPT. SECOND FLOOR PLAN (5 BEDROOM) ELEV. 'A'

PROVIDE 6" CARB N/ RUBBER MAT BY PLUMBERS TO EXTEND 6" MIN ABOVE FLOOR LEVEL & FLOOR DRAIN

It is the builder's complete responsibility to ensure that all plans submitted for approval and all applicable regulations and instruments in the subdivision agreement. The Control is not responsible for any errors or omissions in the drawings with respect to any zoning or other regulations. The builder is responsible for ensuring that the drawings are properly built or installed on the lot. This is to certify that these plans comply with the guidelines approved by the City of Vaughan.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THE DESIGN AND HAS THE CALCULATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE SUBDIVISION AGREEMENT. I AM A REGISTERED PROFESSIONAL ENGINEER IN THE PROVINCE OF ONTARIO.

ALAN WILKING
STRUCTURAL ENGINEER
HUNT DESIGN ASSOCIATES INC.
19905

23177
RBN
217020WS4202.DWG

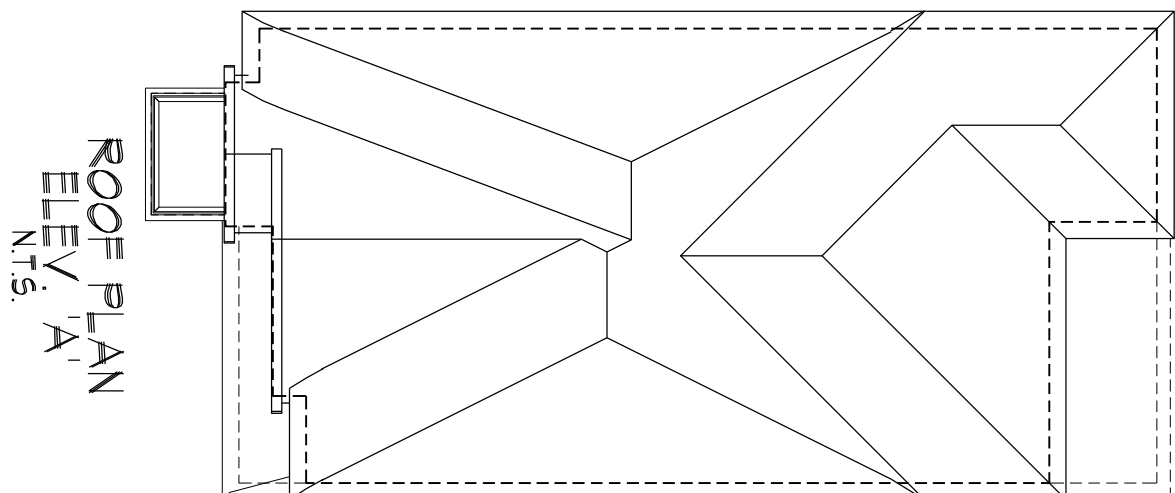
Drawn By: RAAM
Checked By: SB
Scale: 3/16"=1'-0"

217020WS4202.DWG
REV. 2019.12.02
4 of 19

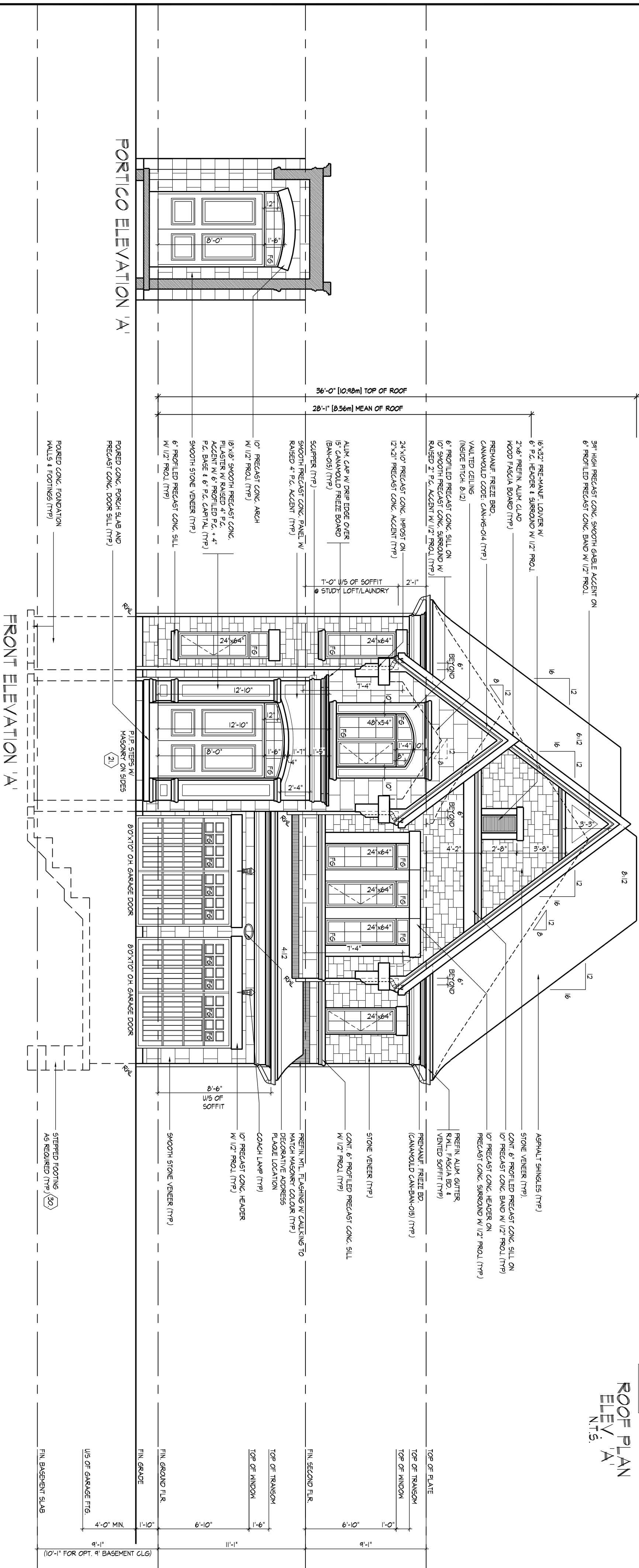
HUNT
DESIGN ASSOCIATES INC.
8866 Woodbine Ave. Markham, ON L3R 0J7
T 905.737.5133 F 905.737.7282

GOLDPARK HOMES - 217020
PINE VALLEY, VAUGHAN ONT.
UNIT 4202 - THE ROSDALE
REV. 2019.12.02

ROOF OVERHANGS ARE TO
BE 15" UNLESS NOTED
OTHERWISE



NEREDI/DEANDRADE | FRI FEB 14/20 01:46 PM | K:\PROJECTS\2017\217020.GOLD\WORKING\SINGLES\42\217020WS4202-ROSEDALE.DWG



This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE OUTRIGGER BUILDING CODE TO BE A DESIGNER.	23177
NAME	SIGNATURE
ALLAN WHITTING	
REGISTRATION INFORMATION	BORN
HUNT DESIGN ASSOCIATES INC.	1989B

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GOLDPARK HOMES - 217020 **UNIT 4202 - THE ROSEDALE**
PINE VALLEY, VAUGHAN ONT. **REV. 2019, 12/2022**

Drawn By	Scale	PA Number	Page Number
SB	3/16"=1'-0"	217020M/SK4202.DWG	8 of 19

8806 Woodbine Ave, Markham, ON L3R 0T7 T 905.737.5133 F 905.737.4206

This permit/plan is D.A. assumption/responsibility of submitter. For the Property, submitter is deemed the responsible BCN number and official signature.

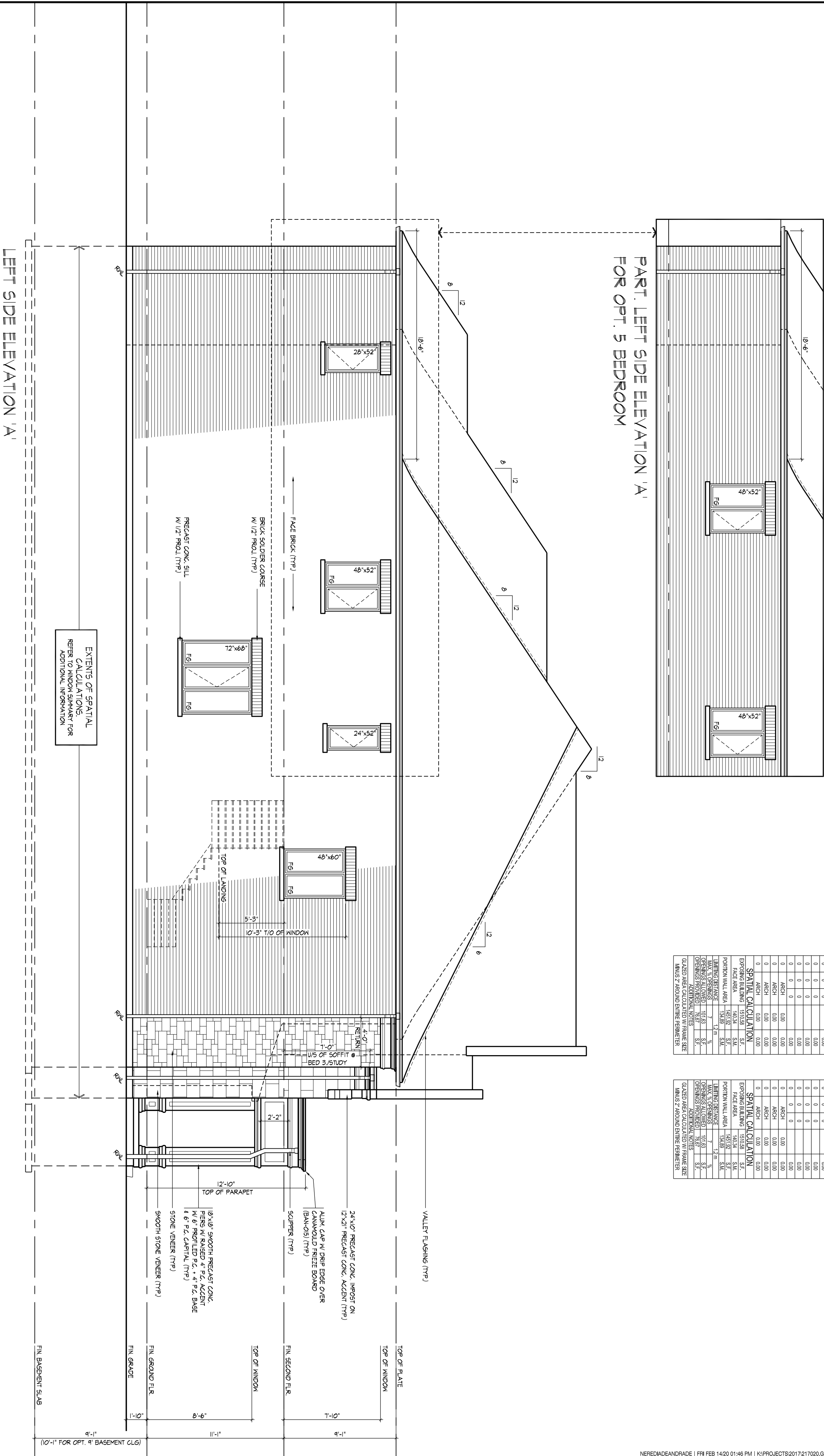
8 OCT 1988

ROOF OVERHANGS ARE TO BE 15" UNLESS NOTED OTHERWISE

REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFO.

[illegible][illegible]

PART. LEFT SIDE ELEVATION 'A'
FOR OPT. 5 BEDROOM



This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

PROCESSES

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE OUTRIGGER BUILDING CODE TO BE A DESIGNER.

Qualification Information

Alan Whitting 2317

NAME	SIGNATURE	BC
REGISTRATION INFORMATION		
HUNT DESIGN ASSOCIATES INC.		1968

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GOLDPARK HOMES - 217020 **UNIT 4202 - THE ROSEDALE**
PINE VALLEY, VAUGHAN ONT. **REV. 2019.12.0202**

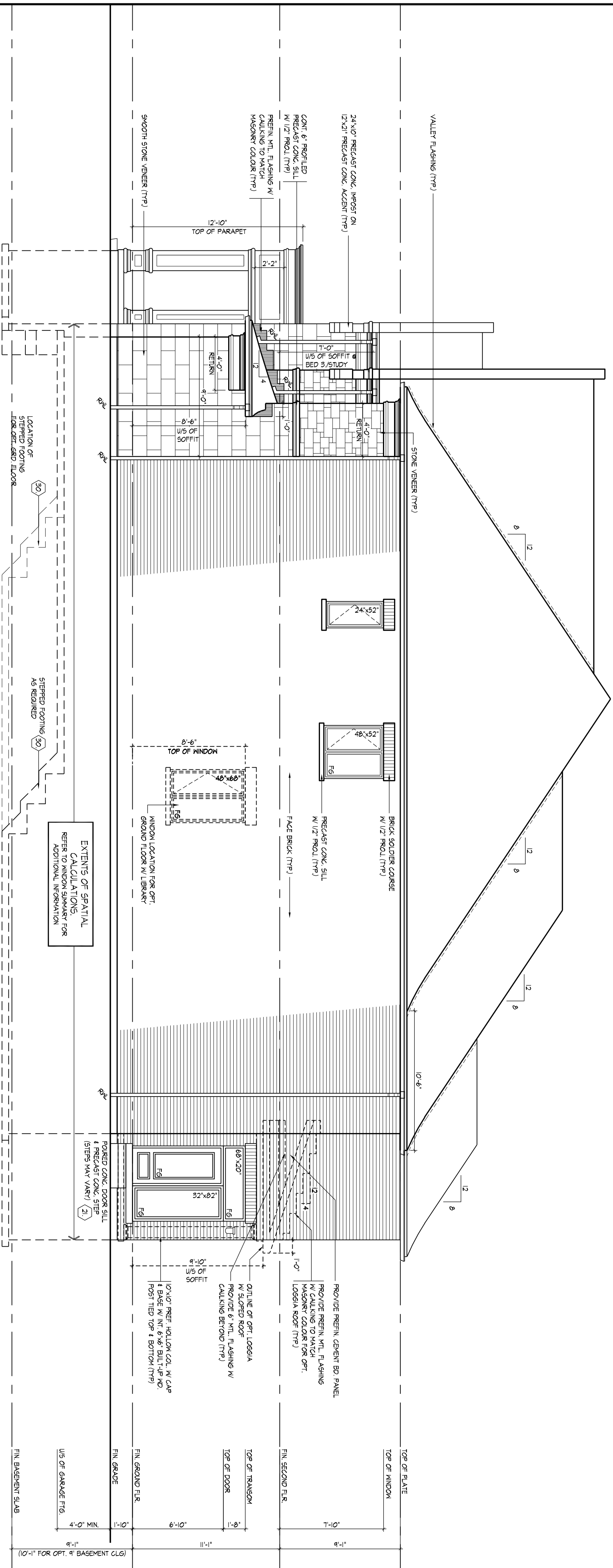
Drawn by	Scale	File Number
Created by	SB	217020M/S4202.DWG
8886 Woodbine Ave. Markham, ON L3R 0V7	3/16" = 1'-0"	9 of 19
T 905.737.5133 F 905.737.4326		

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ROOF OVERHANGS ARE TO BE 15" UNLESS NOTED OTHERWISE

REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFO.

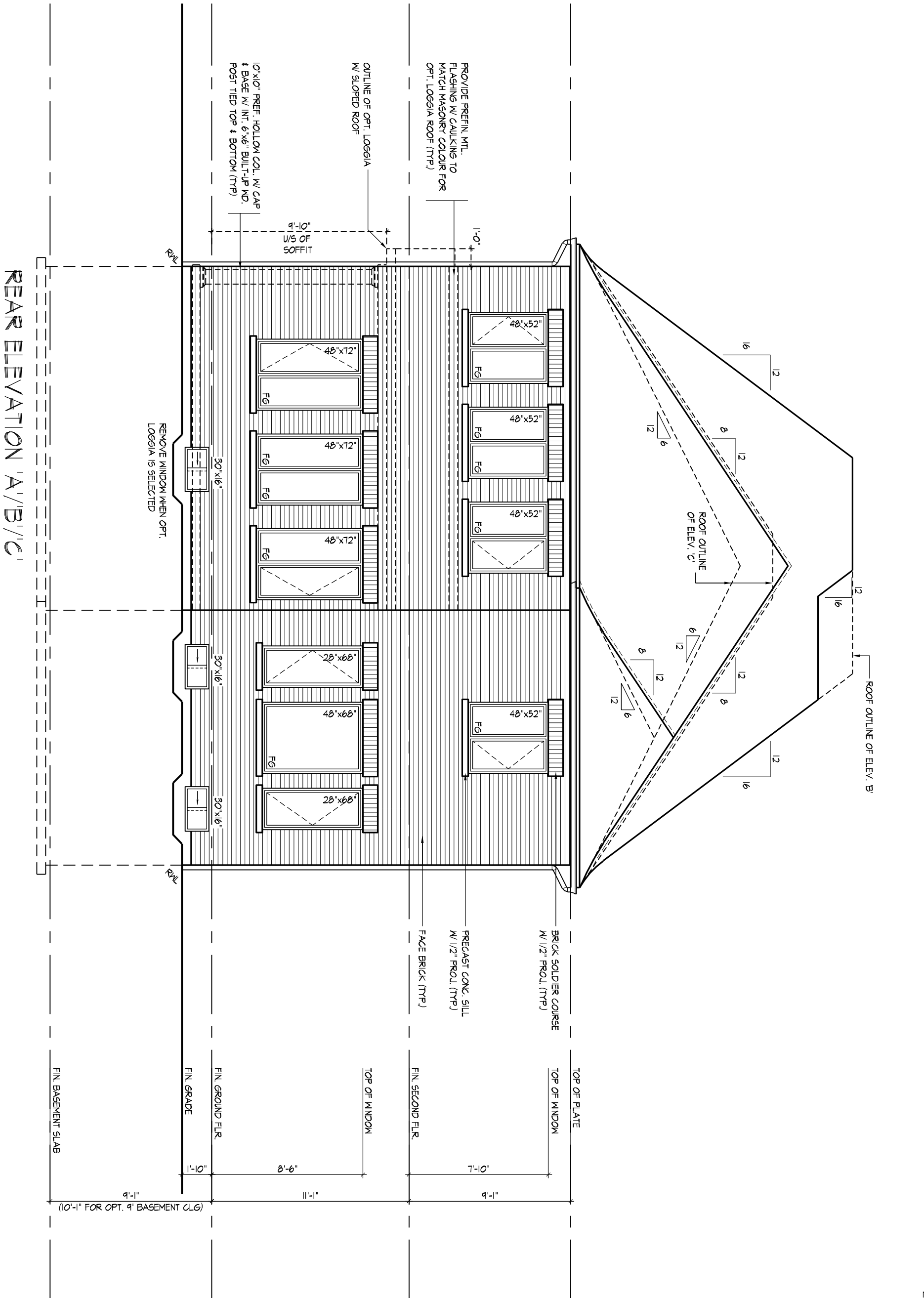
WINDOW SUMMARY									
PROJECT: HALL 800-854									
RIGHT SIDE ELEVATION A									
8 (PT. 2ND FLOOR)									
	QUAN.	WIDTH	DEPTH	FINISH	DOOR	SW.	GLASS	TYPE	UNIT PRICE
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2	1	52							14.67
3	1	52							15.17
4	1	52							7.17
5	1	52							15.17
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8	1	52							15.17
9	1	52							15.17
10	1	52							15.17
11	1	52							15.17
12	1	52							15.17
13	1	52							15.17
14	1	52							15.17
15	1	52							15.17
16	1	52							15.17
17	1	52							15.17
18	1	52							15.17
19	1	52							15.17
20	1	52							15.17
21	1	52							15.17
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78	1	52							15.17
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97	1	52							15.17
98	1	52							15.17
99	1	52							15.17
100	1	52							15.17
SPATIAL CALCULATION									
EXISTING BUILDING									
AREA	AREA	PERIMETER	PERIMETER	AREA	AREA	PERIMETER	PERIMETER	AREA	AREA
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96	0	0	0	0	0	0	0	0	0
97	0	0	0	0	0	0	0	0	0
98	0	0	0	0	0				

[illegible]

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VANUGHAN.

ROOF OVERHANGS ARE TO
BE 15" UNLESS NOTED
OTHERWISE

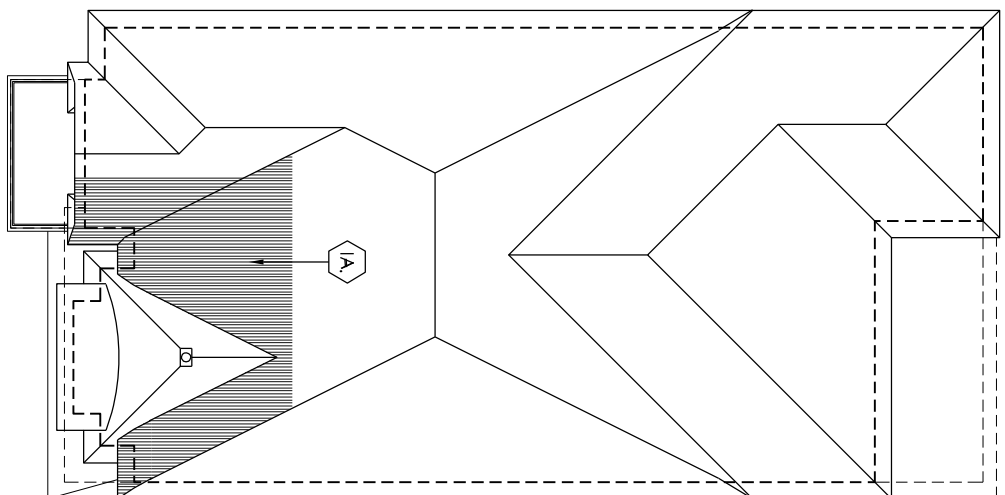
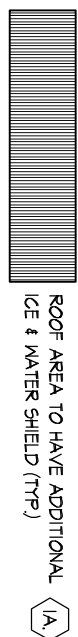
REFER TO FRONT ELEVATION
FOR TYPICAL NOTES & INFO.

[illegible][illegible][illegible]

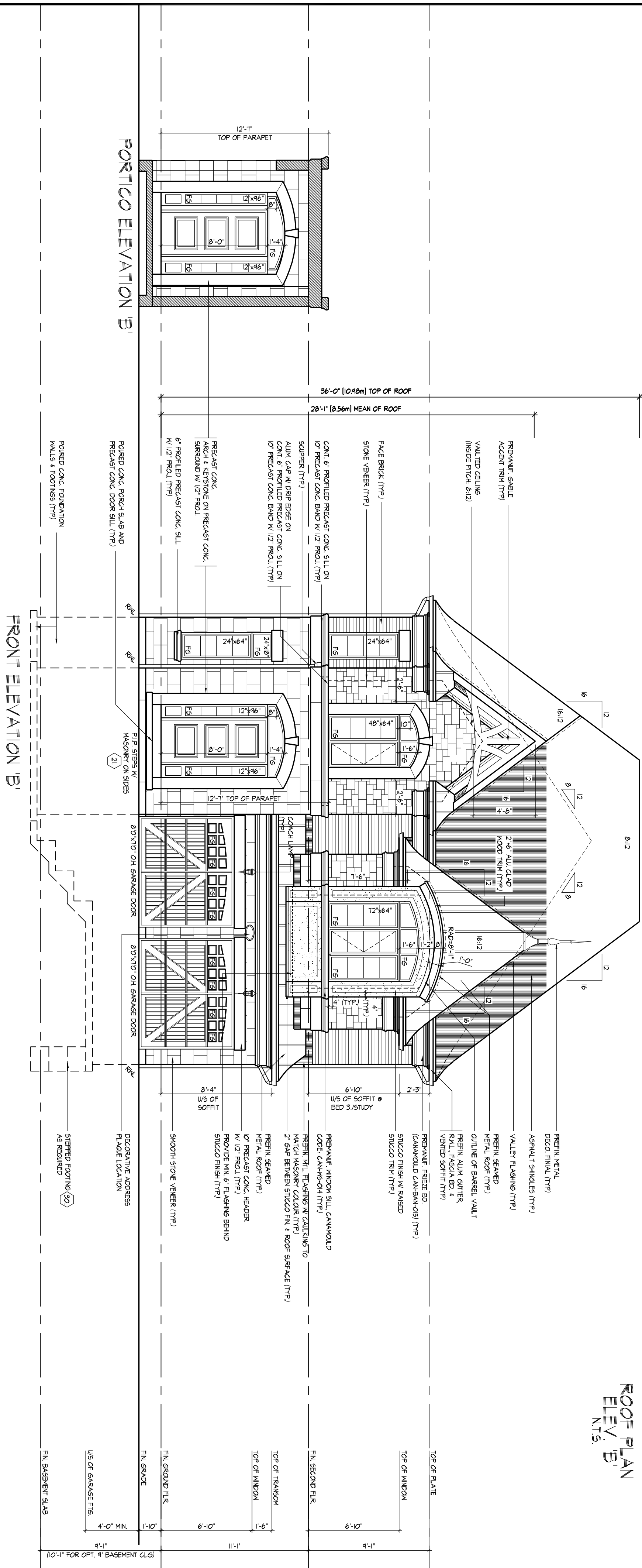
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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

ROOF OVERHANGS ARE TO
BE 15" UNLESS NOTED
OTHERWISE



ROOF PLAN
ELEV. 'B'
N.T.S.



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<p>THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE EXISTING BUILDING CODE TO BE A DESIGNER.</p> <p>QUALIFICATION INFORMATION</p> <p>Allen Whiting</p>	<p>2317</p>
<p>NAME</p> <p>SIGNATURE</p> <p>REGISTRATION INFORMATION</p> <p>BO</p>	<p>1968</p>
<p>HUNT DESIGN ASSOCIATES INC.</p>	

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GOLDPARK HOMES - 217020
PINE VALLEY, VAUGHAN ONT.

Drawn by: **RAAMI** Created by: **SB** Scale: **3/16" = 1'-0"** File number: **217020/217020.DWG**

8956 Woodbine Ave., Markham, ON L3R 0J7 T: 905.371.5153 F: 905.371.7266

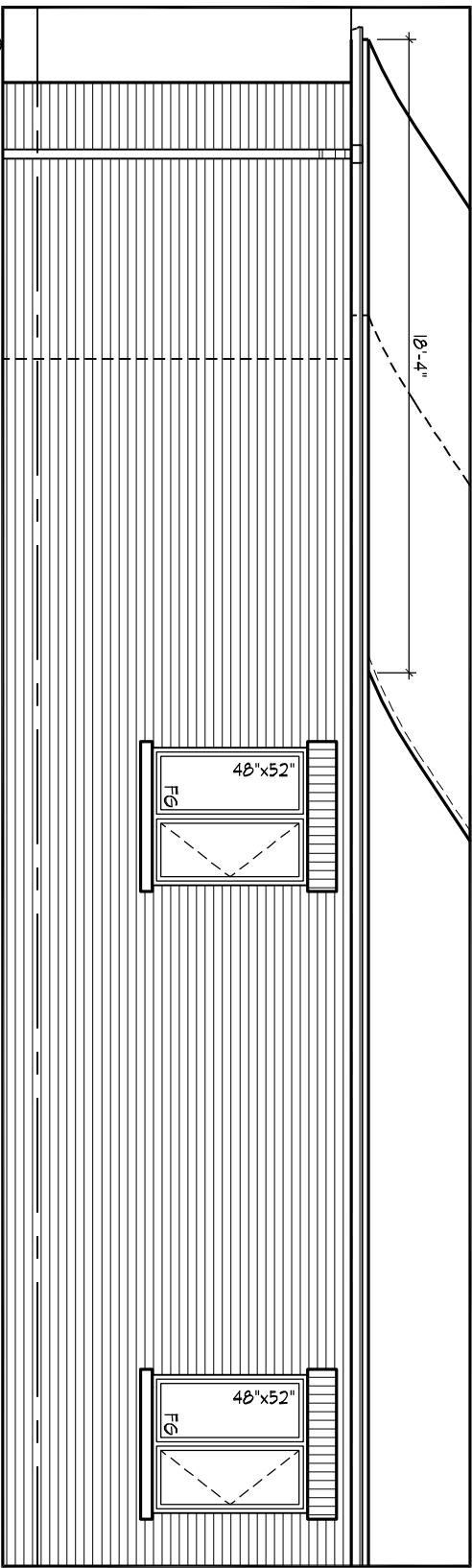
Page Number: **12** of **15**

UNIT 4202 - THE ROSEDALE
REV. 2019.12.02

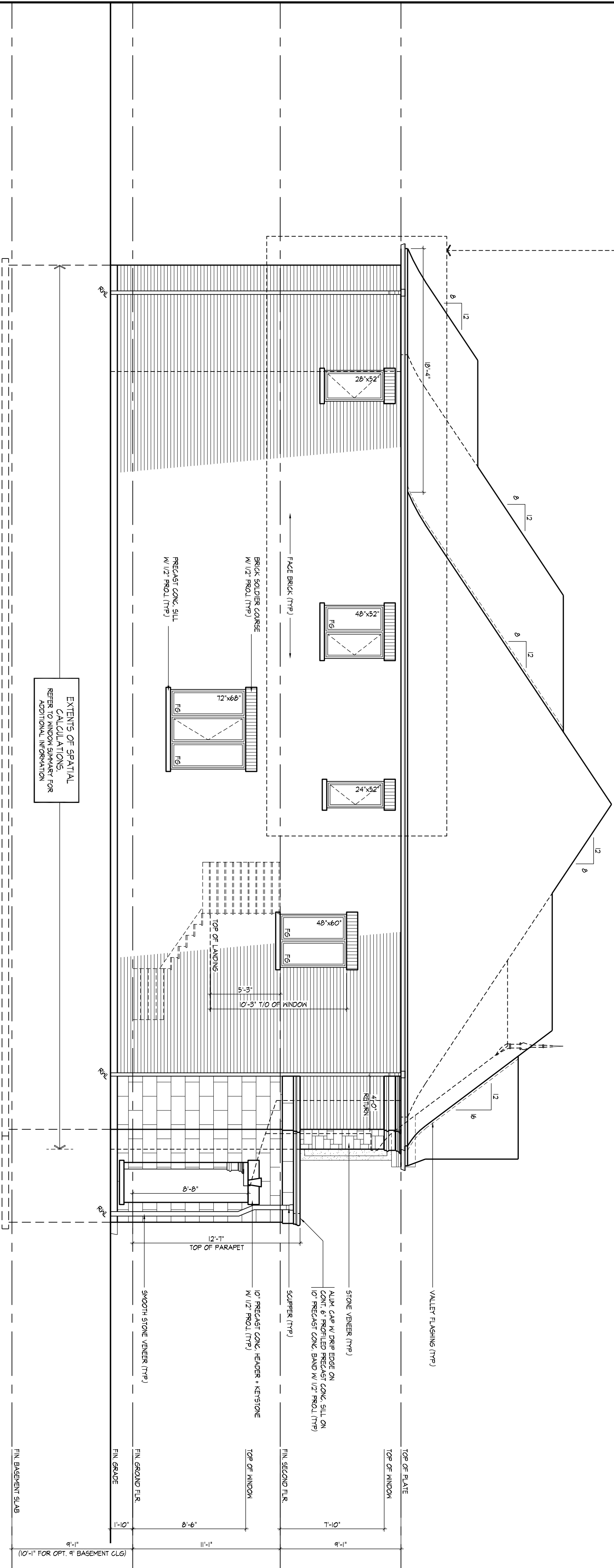
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ROOF OVERHANGS ARE TO BE 15" UNLESS NOTED OTHERWISE

REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFO.



PART. LEFT SIDE ELEVATION 'B'
FOR OPT. 5 BEDROOM



WINDOW SUMMARY									
PRE-GLAZING AREA: 54.154									
LEFT SIDE ELEVATION B									
& OPT. GROUND FLOOR									
QUAN.									
FRAME SIZE: 100.00									
WIDTH									
DEPTH									
AREA									
PERCENT									
1	28	52	1.60	83.2	100	1	28	52	1.60
2	48	52	1.60	83.2	100	2	48	52	1.60
3	24	52	1.60	83.2	100	3	24	52	1.60
4	12	52	1.60	83.2	100	4	12	52	1.60
5	48	52	1.60	83.2	100	5	48	52	1.60
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59	0	0	0	0	0	59	0	0	0
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SPATIAL CALCULATION									
EXPOSING MATERIAL									
FRAME TYPE									
PERIOD: WINTER									
PERIOD: SUMMER									
GLAZING TYPE									
GLAZING COEFFICIENT									
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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.



FOUNDATION REDUCTION IN THICKNESS FOR MASONRY

21 EXTERIOR AND GARAGE STEPS

REFER TO SB-12 ENERGY EFFICIENCY DESIGN MATRIX ON THE TITLE PAGE FOR ALL VALUES AS REQUIRED PER 3.1.1, 3.1.2, 3.1.3. OF THE OBC.

- [illegible]

REFER TO SB-12 ENERGY EFFICIENCY DESIGN MATRIX ON THE TITLE PAGE FOR ALL VALUES AS REQUIRED PER 3.1.1, 3.1.2, 3.1.3. OF THE OBC.

SECTION 1.1. WALL STUDS	3.3. DOOR SCHEDULE
--------------------------------	---------------------------

- IF STUD WALL HEIGHT EXCEEDS MAX. UNSUPPORTED HEIGHT, WALL NEED REINFORCED AND APPROVED BY ENGINEER.

- | SIZE | W/O ALC | PA11C & T FLOODING | PA11C & T FLOODING | PA11C & T FLOODING |
|---------|----------|----------------------------|-----------------------------|--------------------|
| h (mm) | | MAX. STAPLING, h (mm) O.C. | MAX. UNSTAPLED HGT., h (mm) | |
| 27x41 | 24 (610) | 16 (405) | 12 (305) | N/A |
| (38x60) | 34 (863) | 24 (610) | 16 (405) | N/A |
| 27x67 | 34 (863) | 24 (610) | 16 (405) | 12 (305) |
| (38x40) | - | 34 (863) | 11 (280) | 5 (127) |

AFF	ABOVE FINISHED FLOOR	JST	JOIST
-----	----------------------	-----	-------

- | 2.2 CEILING HEIGHTS | |
|--|--|
| THE CEILING HEIGHTS OF ROOMS AND SPACES SHALL CONFORM TO TABLE 2.2.1. | |
| | MINIMUM HEIGHT |
| LOBBY, OFFICE, STAIRS, HALL, ENTRY, ELEVATOR, LIFT, MECHANICAL ROOM, DINING ROOM AND KITCHEN | 7'-0" OVER 75% OF REQUIRED FLOOR AREA
CLEAR HEIGHT OF 6'-1 1/2" ANY PART |
| BEDROOM | 7'-0" OVER 50% OF REQUIRED FLOOR AREA
CLEAR HEIGHT OF 6'-1 1/2" ANY PART |
| BATH/ENIT | 6'-11" OVER AT LEAST 75% OF THE BATH/ENIT
EXCEPT THAT UNDER BATHS AND DUBS
CLEARANCE IS PERMITTED TO BE REDUCED
6'-11" IN ANY AREA WHERE A PERSON WOULD
NORMALLY BE STANDING |
| BATHROOM, LAUNDRY AREA, BATH, GYM, GYMNASIUM, MECHANICAL ROOM, MECHANICAL GARAGE | 6'-11" |
| MEZZANINES | 6'-11" ABOVE & BELOW FLOOR (RESERVATION) |
| STORAGE GARAGE | 6'-0" OVER 50% |

1) MECHANICAL VENTILATION IS REQUIRED IF NOT AIR CONDITIONED 1 PER HOUR

- 24. LUMBER**
TYPICAL LUMBER SHALL BE SPRUCE, NA. GRADE OR BETTER, UNLESS NOTED OTHERWISE.
2 STUDS SHALL BE STUD GRADE SPRUCE, UNLESS NOTED OTHERWISE.
3 LUMBER SPECIES TO BE UTILIZED TO BE SPRUCE, NA. GRADE SPECIFIED OR FURNISHED ON CONTRACT. UNLESS NOTED OTHERWISE.
4 ALL LUMBER (EXCEPT LUMBER JOIST BEAMS, GABLE TRUSSES, AND RAFTERS) SHALL BE DRY KILN DRIED LUMBER. LUMBER TO BE DESIGNED FOR ALL EXPOSED AND ROOF TRUSS MANUFACTURING.
5 LUMBER JOIST BEAMS SHALL BE SPRUCE, NA. GRADE, UNLESS NOTED OTHERWISE.
6 LUMBER JOIST BEAMS INTERSECTING WITH FLUSH-BUILT, 1-P" WOOD BUILT, 1-P" WOOD FRAMING NOT INTERSECTING WITH A WOOD PRESERVATIVE, IN CONTACT WITH THE SOIL SHALL BE TREATED FOR DECAY AND TERMITES.
7 WHERE THE WOOD MEMBERS AT LEAST 1" (38.1) ABOVE THE GROUND.
- 25. STEEL** (24.3.4)
STRUCTURAL STEEL SHALL CONFORM TO CAN/CSA-G40.21 (GRADE 5000)

2.6. FLAT ARCHES

- SECTION 3.0.0. LEGEND**
- 3.1. WOOD UNITS AND BUILD-UP WOOD**
(DIVISION 5 PART 5.0 UNITS AND BUILD-UP ASSEMBLY)
- FORMING BOARD OF: SENTENCE: 324.242, 324.244, 324.223, 324.221, 324.215
- | | | |
|-------------------|--------------------|---------|
| 2x6 STUD JOIST #2 | 2x10 STUD JOIST #2 | 2x12 SH |
|-------------------|--------------------|---------|

B1	$3/2 \times 0^a$ ($3/38 \times 184$)	B3	$3/2 \times 10^a$ ($3/38 \times 235$)	B5	$3/2$
B2	$4/3 \times 9^a$ ($4/38 \times 184$)	B4	$4/3 \times 10^a$ ($4/38 \times 235$)	B6	$4/3$

- | CODE | SIZE | BLOCK |
|------|--|-------|
| L7 | 3.12 x 3.12 x 1.47 (80.80 x 80.80 x 6.4) | 7 |
| L8 | 3.12 x 3.12 x 1.47 (80.80 x 80.80 x 6.4) | 8 |
| L9 | 4.76 x 3.12 x 1.47 (120.2 x 80.80 x 6.4) | 9 |
| L10 | 4.76 x 3.12 x 1.47 (120.2 x 80.80 x 6.4) | 10 |
| L11 | 4.76 x 3.12 x 1.47 (120.2 x 80.80 x 6.4) | 11 |
| L12 | 7.62 x 4.76 x 1.47 (192.7 x 120.2 x 6.4) | 12 |








1	EXTERIOR	2-8" x 6-8" x 1-3/4" (815 x 2030 x 45) INSULATED MIN. R4 (RSI 0.7)
1A	EXTERIOR	2-10" x 6-8" x 1-3/4" (865 x 2030 x 45) INSULATED MIN. R4 (RSI 0.7)
1B	EXTERIOR	3-0" x 6-8" x 1-3/4" (915 x 2030 x 45) INSULATED MIN. R4 (RSI 0.7)
2	EXTERIOR	2-6" x 6-8" x 1-3/4" (760 x 2030 x 45) INSULATED MIN. R4 (RSI 0.7)

- | | | | |
|----|----------|------------------------------------|--|
| 2A | EXTERIOR | 23° 56'N-84°05'W (2030.46/2030.35) | FLR DOORWAY WITH PP. SEE COLUMN 6 |
| 2 | INTERIOR | 24° 59'N-134° 08'W (815/2030.35) | |
| 3 | INTERIOR | 24° 6'N-134° 08'W (2030.35) | |
| 3A | INTERIOR | 24° 6'N-134° 08'W (710/2030.35) | PROVIDE 8'-0" HIGH INTERIOR DOORS FOR ALL IV CELLS |
| 4 | INTERIOR | 22° 6'N-134° 08'W (660/2030.35) | CONDITIONS |
| 4A | INTERIOR | 22° 6'N-134° 08'W (660/2030.35) | |








3.4. ACRONYMS

- | | | | |
|----------------------------------|------------------------------------|-----|-------------------------|
| CEILING | EXTENSION/INSULATION FINISH SYSTEM | PAV | PAV WITH LEADER |
| ENG. ENGINEERED | | SPB | SOLID BEARING WOOD POST |
| EST. ESTIMATED | | SPB | SPB FLOW ABOVE |
| FL. FLAT ARCH | | ST | SINGLE JOIST |
| FO. FLOOR ARCH | | SPB | SPR. SPRUCE |
| FG. FRED GLASS | | STL | STEEL |
| FL. FLOOR | | TO | TOP OF |
| FLR. FLOOR | | TP | TYPICAL |
| GT. GROUND TRUSS | | US | UNDERSIDE |
| H8. HOSE BR. | | WD | WOOD |
| HAN. HEAT FLOOR VENTILATION UNIT | | WC | WALK IN CLOSET |

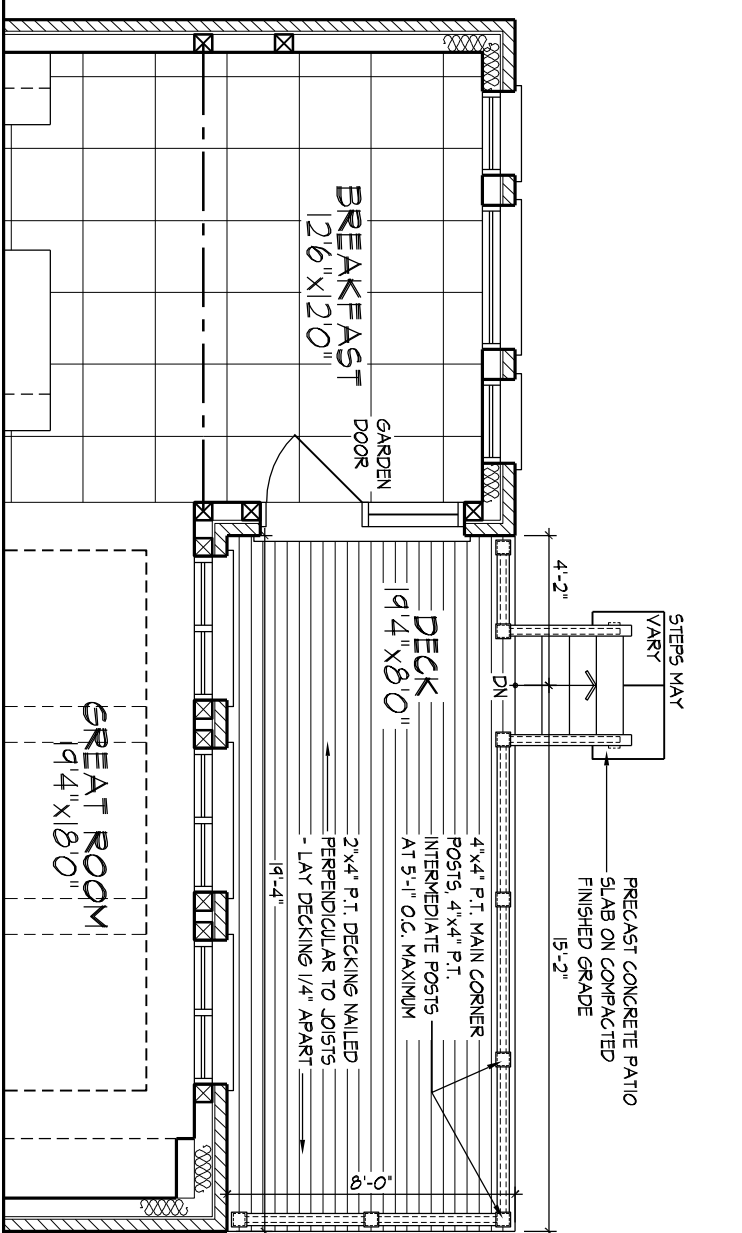
3.3. SYMBOLS

- | | | | |
|--|----------------------------|---|----------------------------|
|  | POT LIGHT |  | LIGHT FIXTURE WALL MOUNT |
|  | LIGHT FIXTURE (PULL CHAIN) |  | TELEPHONE JACK |
|  | CABLE TV JACK |  | CHANDELIER (CEILING MOUNT) |
|  | VAC | | |
| <p>SMOKE ALARM (9.10.19)</p> <p>REMOVE ONE FLOOR NEAR THE STAIRS CONNECTING THE FLOOR LEVEL. ALARM SHALL BE INSTALLED IN EACH STEERING ROOM AND IN ALL ROOMS BETWEEN STEERING ROOMS. ALARMS SHALL BE INSTALLED IN ALL ROOMS EXCEPT TO ACTIVELY ALL ALARMS. ONE SOUNDS. ALARMS ARE TO BE CONNECTED TO AN ELECTRICAL SOUND AND WITH A BATTERY BACKUP. ALARM SIGNAL SHALL MEET COMMUNICATIONS STANDARDS. ALARMS SHALL HAVE A VISUAL SIGNALING.</p> | | | |

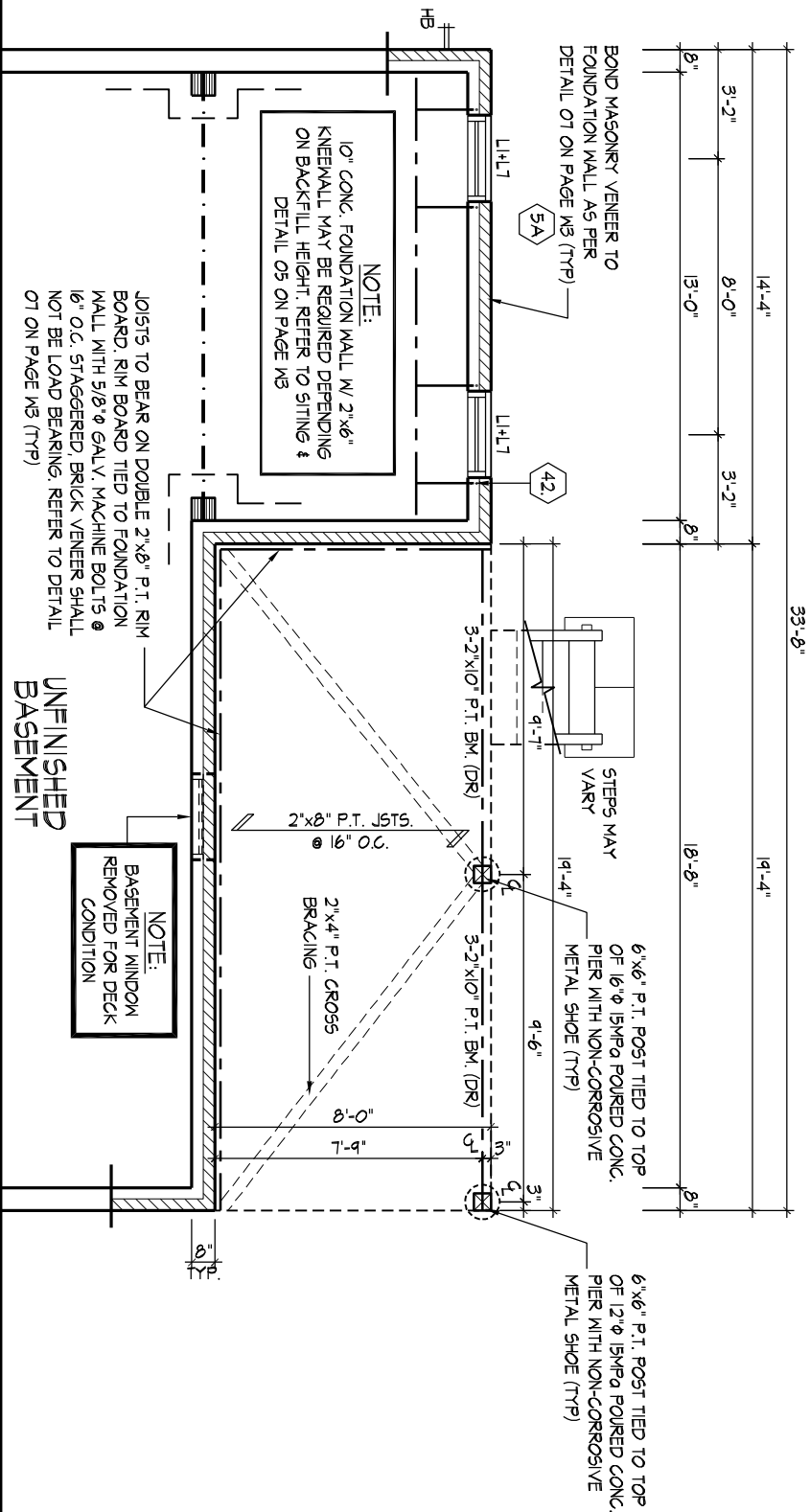
CARBON MONOXIDE ALARM (9.33.4.)

- | | |
|---|---|
|  | TWO STOREY VOLUME SPACE: SEE CONSTRUCTION NOTE 89. |
|  | WARNING PLATES, BUILD-UP JOINTS, BEARING WALLS, ICE & WATER SHEET |
|  | EXPOSED BUILDING FACE: 2.0, 3.0, 4.0, 5.0, 6.0, 8.0, 9.0, 10, 15. |
|  | REFER TO HEN/NO. 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100. |
|  | 1-HR. PARTY WALL |
|  | 2-HR. PARTY WALL |
|  | REFER TO HEN/NO. 40A |
| SECTION 4.0. CLIMATIC DATA | |
| DESIGN SNOW LOAD (9.4.2.2.2.): | 1.0t¹ kPa |
| WIND LOAD (6.501) (SB-1.2.): | 0.44t¹ kPa |

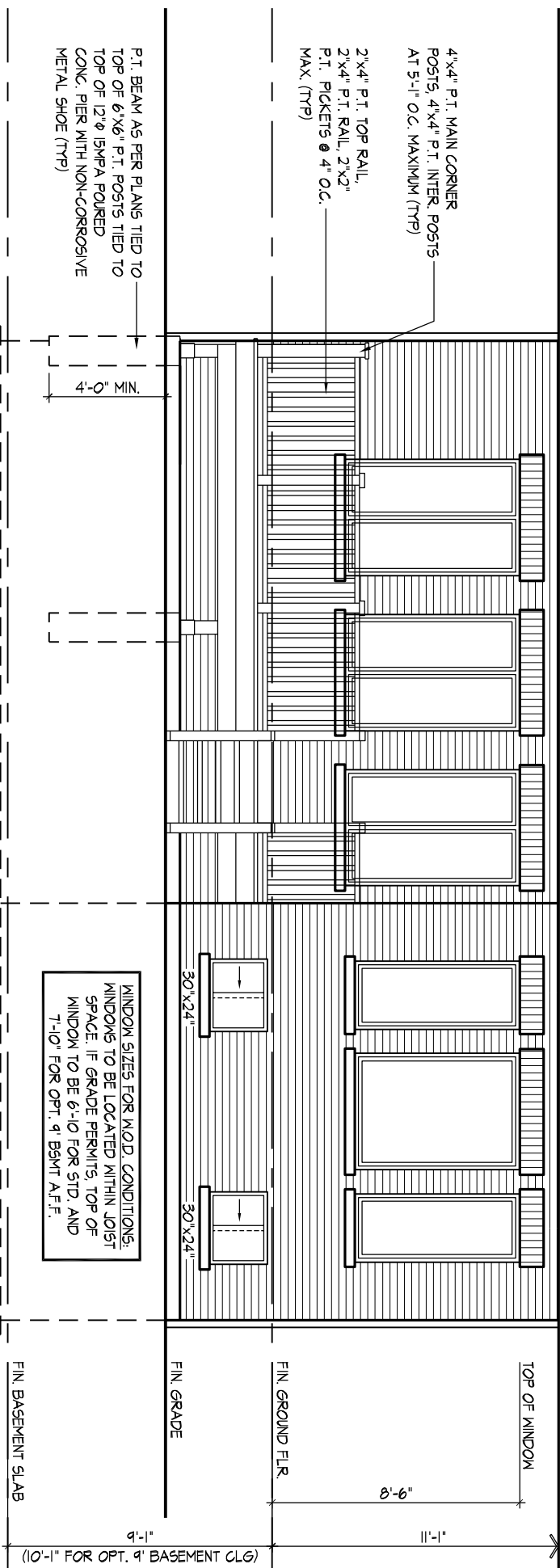
- CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB. REPORT ANY DISCREPANCIES TO HUNT SPECIALTIES IMMEDIATELY. HUNT SPECIALTIES SHALL NOT BE RESPONSIBLE FOR ANY DIMENSIONS & SPECIFICATIONS ARE THE INSTRUMENTS OF SERVICE AND ARE THE PROPERTY OF H.O.A.L. ALL CONSTRUCTION TO ADHERE TO THESE PLANS & SPECIFICATIONS AND TO CONFORM TO THE REQUIREMENTS OF THE CITY OF HUNTSVILLE. THESE REQUIREMENTS ARE TO BE KEPT AS MINIMUM SPECIFICATIONS ONLY. BSA-28912
- CONSTRUCTION NOTE: PENDING DATE: **MARCH 21, 2018**



NOTE:
REFER TO STANDARD FLOOR
PLANS FOR COMPLETE DIMENSIONS
& STRUCTURAL INFORMATION

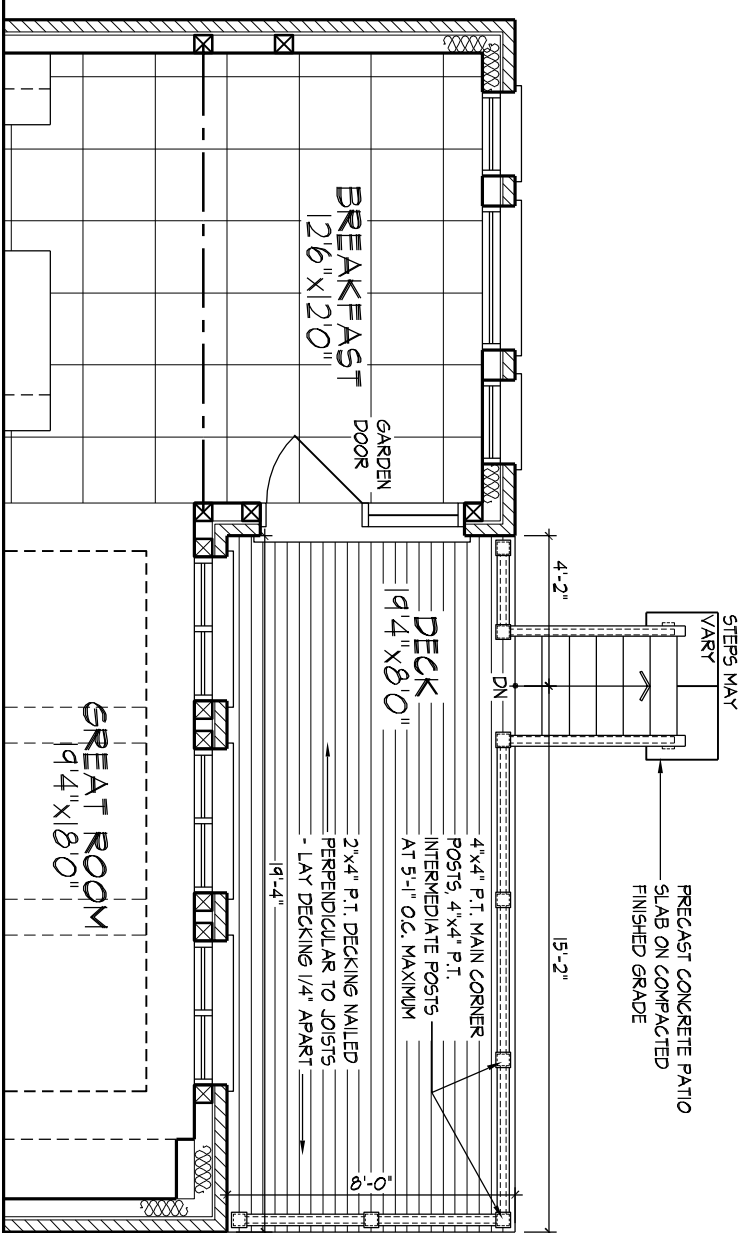


NOTE:
REFER TO STANDARD FLOOR
PLANS FOR COMPLETE DIMENSIONS
& STRUCTURAL INFORMATION

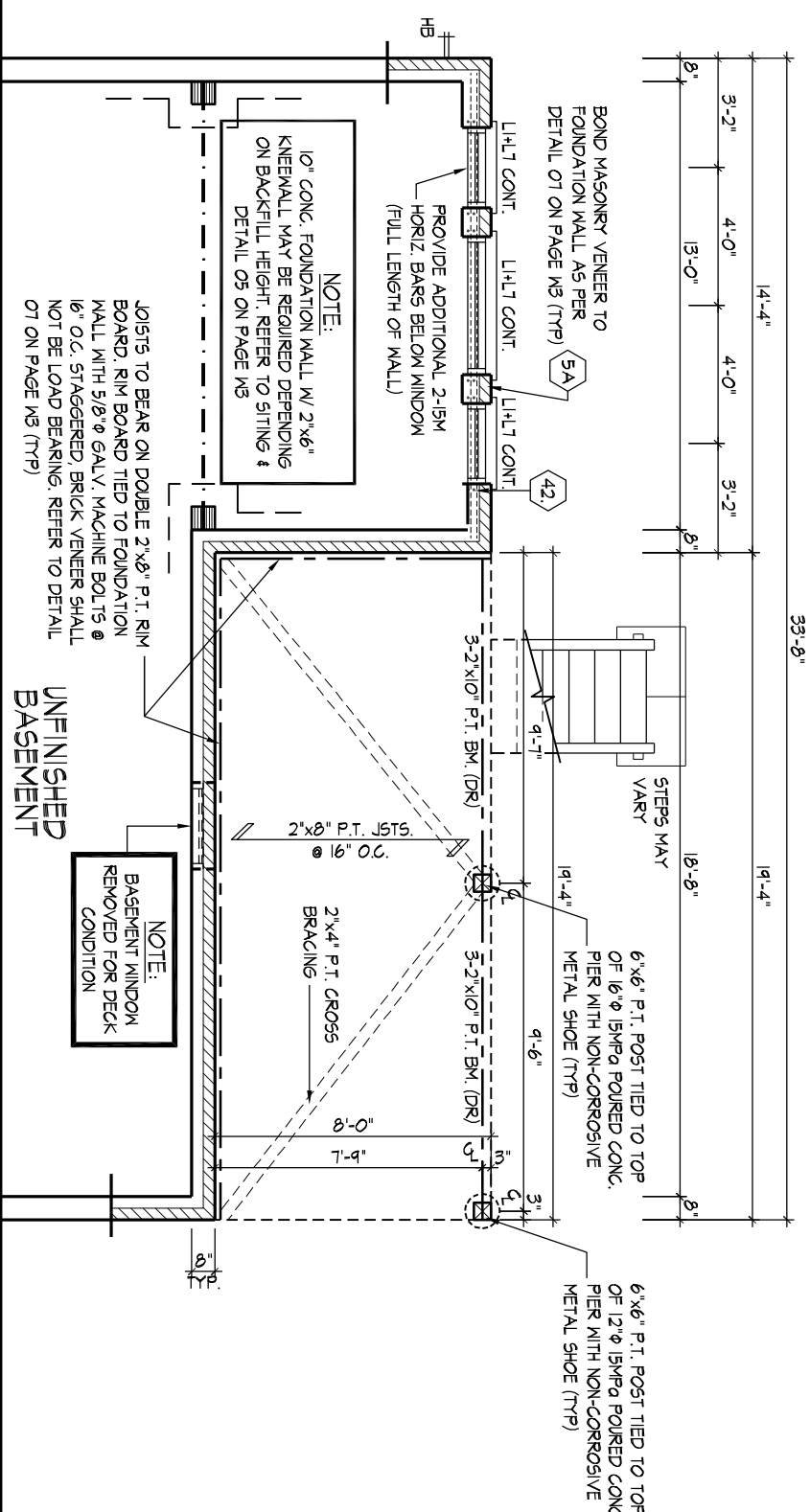


It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lot)ing plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

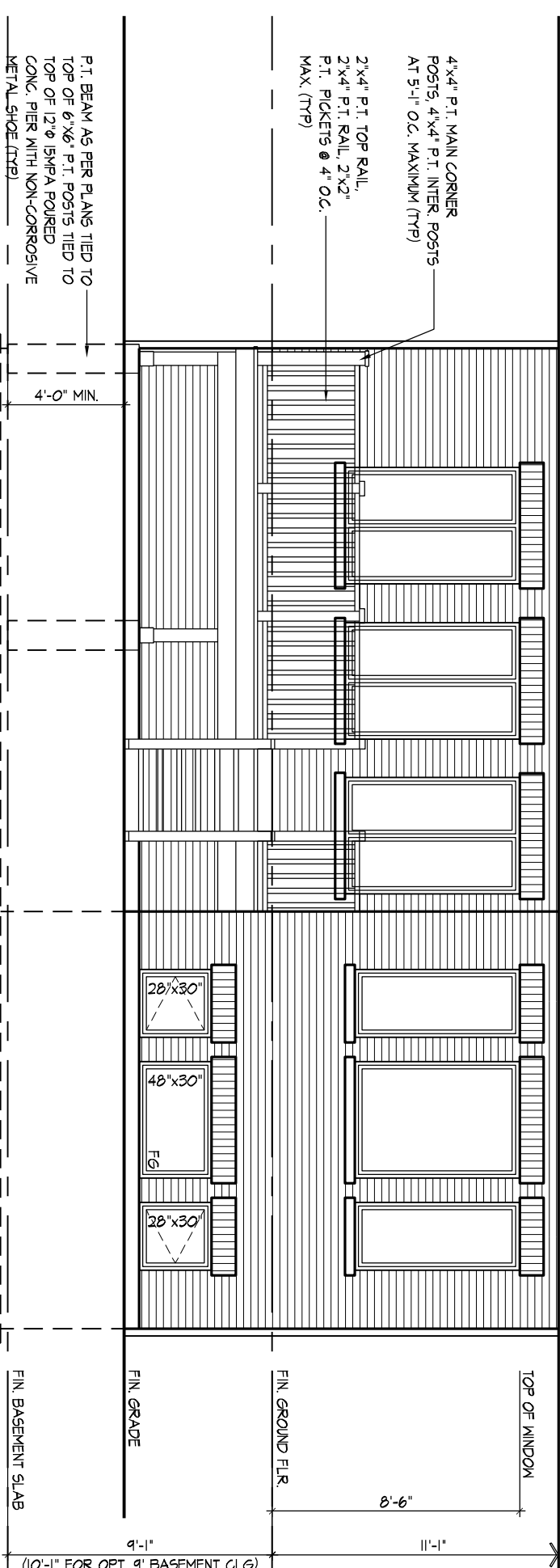
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.



NOTE:
REFER TO STANDARD FLOOR
PLANS FOR COMPLETE DIMENSIONS
& STRUCTURAL INFORMATION



NOTE:
REFER TO STANDARD FLOOR
PLANS FOR COMPLETE DIMENSIONS
& STRUCTURAL INFORMATION



THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THE DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET FORTH IN THE CONTRACT BUILDING CODE TO BE A DESIGNER, QUALIFICATION INFORMATION

Allen Whitting

NAME SIGNATURE

REGISTRATION INFORMATION

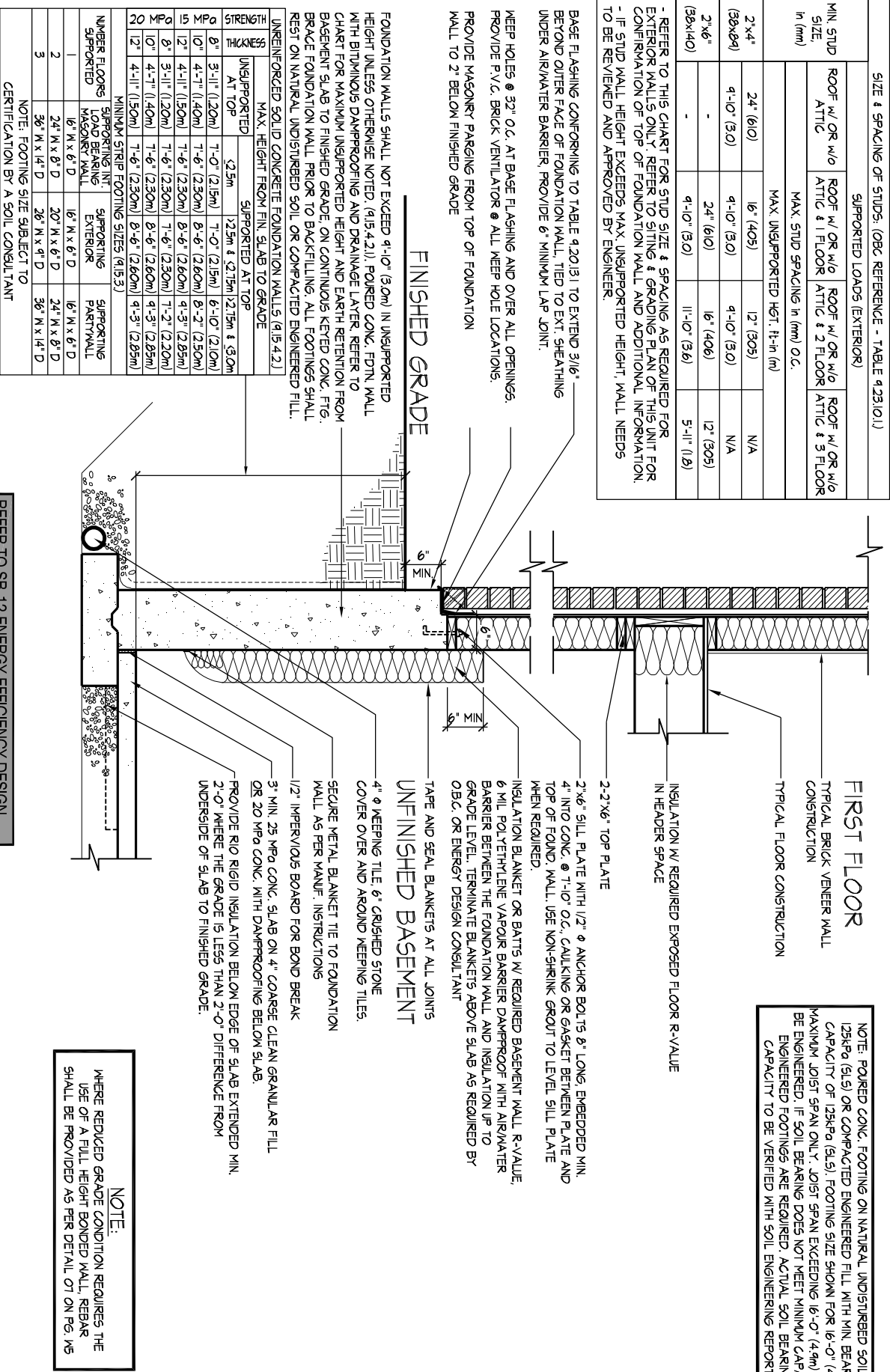
HUNT DESIGN ASSOCIATES INC.

All drawings specifications related documents and details shall be submitted to the undersigned for review and approval.

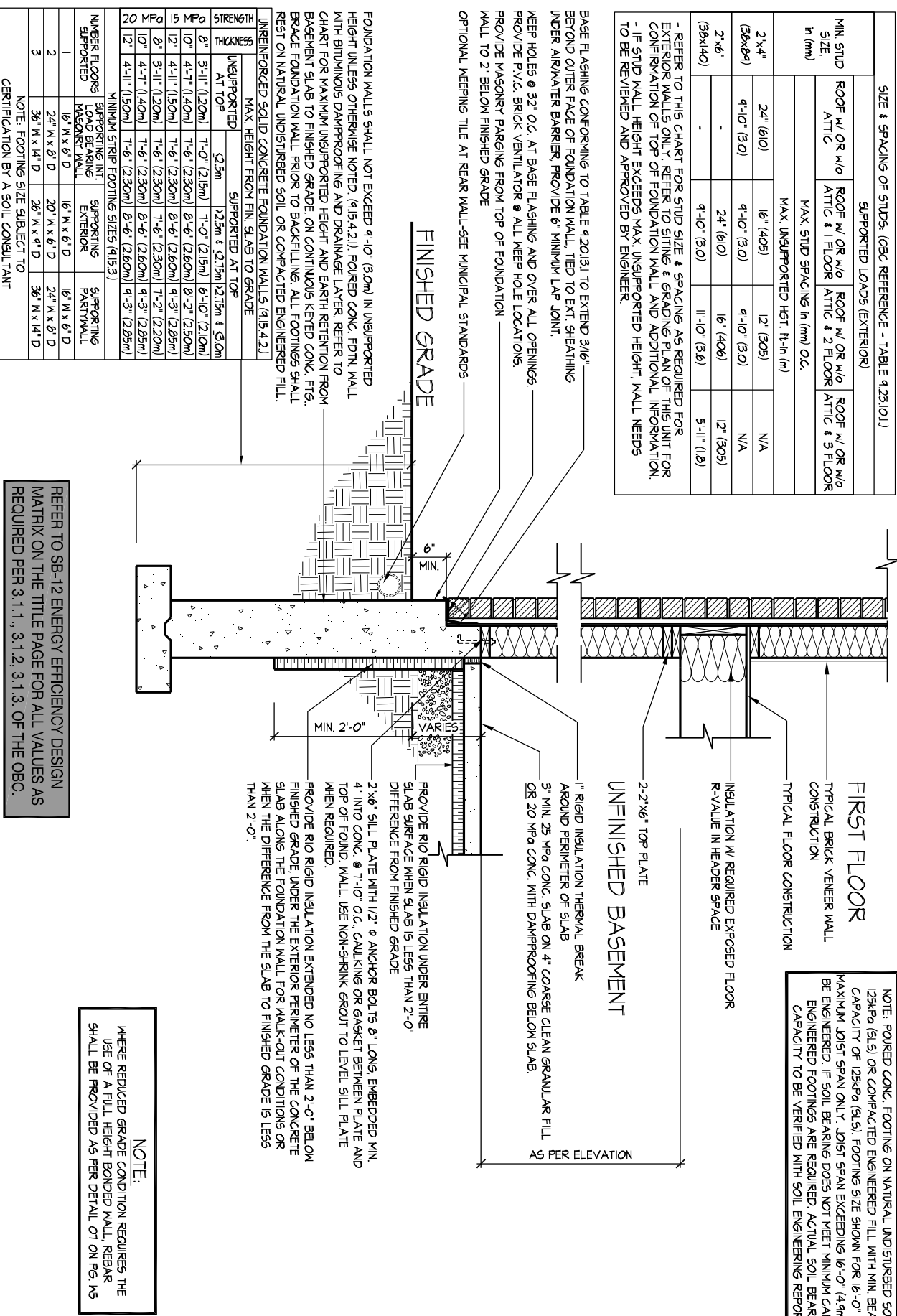
SITE & SPACING OF STUDS, (OBS. RELEVANCE - TABLE 2.3.10.1)					
SPRINTED (LAPLOS EXTENSION)					
MAX. STUD SPACING (mm)	ROOF / FLOOR N/A	ROOF / FLOOR N/A	ROOF / FLOOR N/A	ROOF / FLOOR N/A	ROOF / FLOOR N/A
MAX. STUD SPACING IN (mm) 0.2.					
2 x 4"	24" (60)	6" (165)	12" (305)	N/A	N/A
3 x 4"	40" (101)	4" (102)	4" (102)	12" (305)	12" (305)
3 x 6"	-	24" (60)	6" (165)	N/A	N/A
3 x 6 x 4"	-	40" (101)	11-0" (280)	5-11" (129)	5-11" (129)

NOTE: REFER TO THIS CHART FOR STUD SIZE & SPACING AS REQUIRED FOR CONSTRUCTION OF ROOF FOUNDATION WALL & ADDITIONAL INFORMATION FOR CONFINEMENT OF ROOF FOUNDATION WALL.

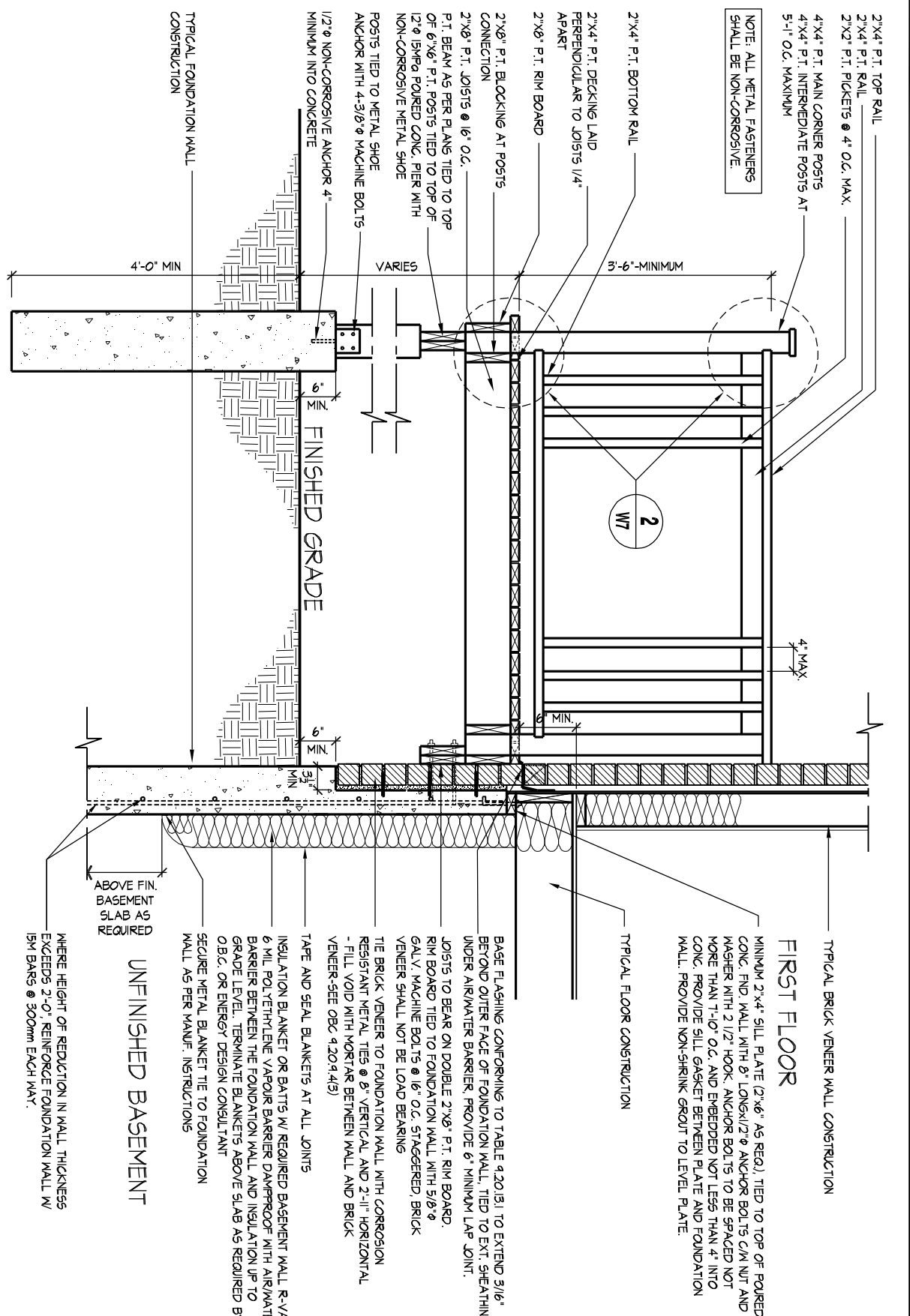
1 - 1/2" MAX. HEIGHT EXCEEDS MAX. UNSUPPORTED HEIGHT, WALL NEEDS TO BE REINFORCED AND APPROVED BY ENGINEER.



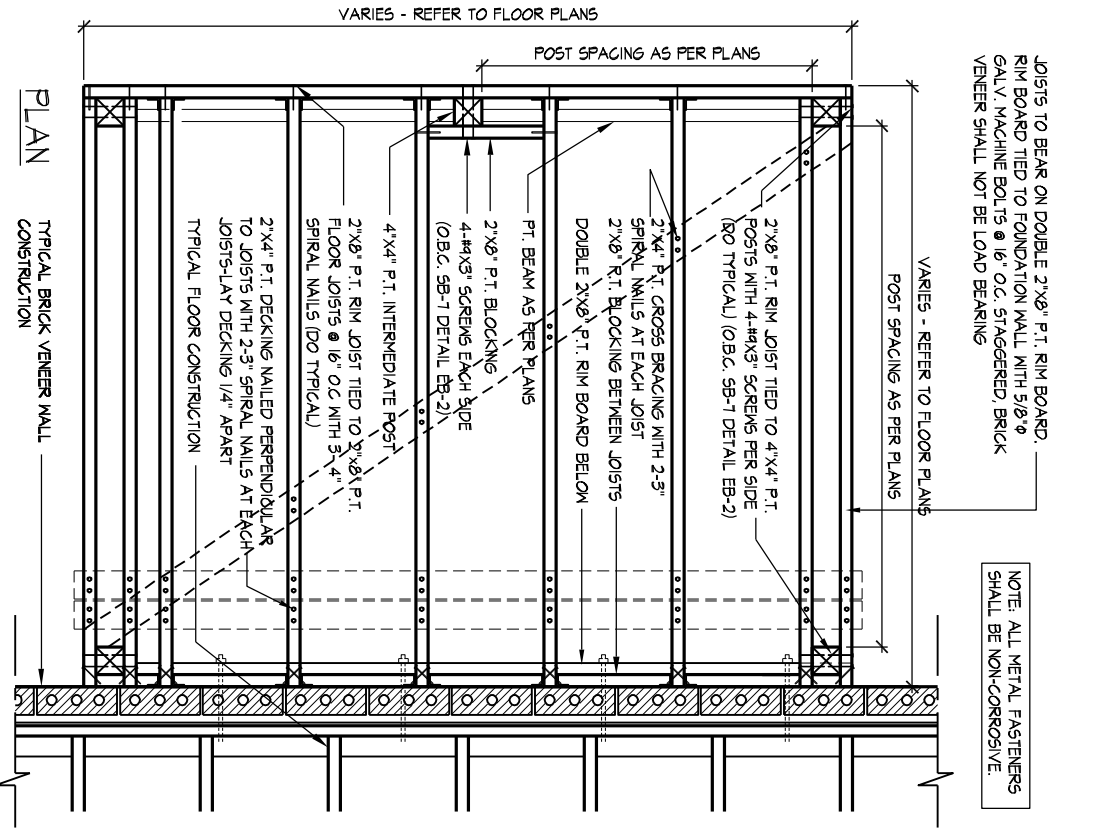
05 MASONRY VENEER, 2"x6" STUDS, 10" FOUNDATION WALL Laterally UNSUPPORTED

[illegible]

06 MASONRY VENEER, 2"x6" STUDS, SLAB ON GRADE / WALK OUT BASEMENT CONDITION



07 MASONRY VENEER, TYPICAL WALK/LOOK OUT WOOD DECK, SOLID MASONRY



TYP. DECK FRAMING ON WOOD LEDGER, BRICK VENEER

