

ELEVATION 'B'



UNIT 4201 - 'THE MAPLEWOOD'

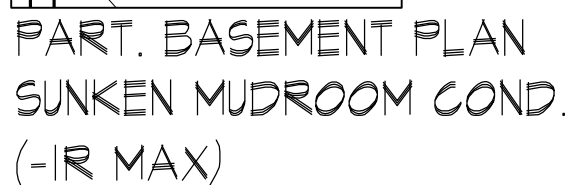
SB-12 ENERGY EFFICIENCY DESIGN MATRIX		
PRESCRIPTIVE COMPLIANCE		
SP-12 (SECTION 3.1.1) TABLE 3.1.1.2A		
PACKAGE A1	SPACE HEATING FUEL	
	<input checked="" type="checkbox"/> GAS	<input type="checkbox"/> OIL
	<input type="checkbox"/> ELECTRIC	<input type="checkbox"/> PROPANE
	<input type="checkbox"/> FATH	<input type="checkbox"/> SOLID FUEL
BUILDING COMPONENT	REQUIRED	PROPOSED
INSULATION (R9) (R) VALUE		
CEILING W/ ATTIC SPACE	10.56 (R60)	10.56 (R60)
CEILING W/O ATTIC SPACE	5.46 (R31)	5.46 (R31)
EXPOSED FLOOR	5.46 (R31)	5.46 (R31)
WALLS ABOVE GRADE	3.87 (R22)	3.87 (R22)
BASEMENT WALLS	3.52 ci * (R20 ci)	3.52 ci * (R20 ci)
* PROPOSED VALUES MAY BE SUBSTITUTED W/ 2.11+1.76x (R12+R10x) BELOW GRADE SLAB ENTIRE SURFACE > 600mm BELOW GRADE		
EDGE OF BELOW GRADE SLAB ≤ 600mm BELOW GRADE	1.76 (R10)	1.76 (R10)
HEATED SLAB OR SLAB ≤ 600mm BELOW GRADE	1.76 (R10)	1.76 (R10)
WINDOWS & DOORS		
WINDOWS/SLIDING GLASS DOORS (MAX U-VALUE)	1.6	1.6
SKYLIGHTS (MAX U-VALUE)	2.8	2.8
APPLIANCE EFFICIENCY		
SPACE HEATING EQUIP. (AFUE%)	96%	96%
HVAC EFFICIENCY (%)	75%	75%
DHW HEATER (EF)	0.8	0.8

- 1 - TITLE PAGE
- 2 - BASEMENT PLAN EL. 'A'
- 3 - OPT. 9' BASEMENT PLAN EL. 'A'
- 4 - GROUND FLOOR PLAN EL. 'A'
- 5 - LOFT FLOOR PLAN EL. 'A'
- 6 - PARTIAL BASEMENT AND OPT. 9' BASEMENT PLANS EL. 'B'
- 7 - PARTIAL GROUND AND LOFT PLANS EL. 'B'
- 8 - FRONT ELEVATION EL. 'A'
- 9 - LEFT SIDE ELEVATION EL. 'A'
- 10 - RIGHT SIDE ELEVATION EL. 'A'
- 11 - REAR ELEVATION 'A' & 'B'
- 12 - REAR UPGRADE ELEVATION 'A' & 'B'
- 13 - FRONT ELEVATION EL. 'B'
- 14 - LEFT SIDE ELEVATION EL. 'B'
- 15 - RIGHT SIDE ELEVATION EL. 'B'
- 16 - CROSS SECTION 'A-A' & DETAILS
- 17 - CONSTRUCTION NOTES
- W1 - DECK CONDITIONS
- W2 - DECK CONDITIONS
- W3 - DECK DETAILS
- W4 - DECK DETAILS

AREA CALCULATIONS		EL. 'A'	EL. 'B'
	STD. PLAN		
GROUND FLOOR AREA	1886 sq. ft.	1886 sq. ft.	
	(1752.22 sq. m.)	(175.22 sq. m.)	
SECOND FLOOR AREA			
	1670 sq. ft.	1637 sq. ft.	
	(155.89 sq. m.)	(152.08 sq. m.)	
SUBTOTAL	3564 sq. ft.	3523 sq. ft.	
	(331.11 sq. m.)	(327.30 sq. m.)	
DEDUCT ALL OPEN AREAS	841 sq. ft.	841 sq. ft.	
	(78.13 sq. m.)	(78.13 sq. m.)	
TOTAL NET AREA	2723 sq. ft.	2682 sq. ft.	
	(252.97 sq. m.)	(249.17 sq. m.)	
FINISHED BASEMENT AREA	131 sq. ft.	131 sq. ft.	
	(12.17 sq. m.)	(12.17 sq. m.)	
COVERARGE WITHOUT PORCH	2206 sq. ft.	2206 sq. ft.	
	(212.26 sq. m.)	(212.26 sq. m.)	
COVERARGE WITH PORCH	2343 sq. ft.	2341 sq. ft.	
	(217.67 sq. m.)	(217.49 sq. m.)	
COVERARGE OFFT. LOGBA	2633 sq. sq. ft.	2631 sq. ft.	
	(235.32 sq. m.)	(235.14 sq. m.)	

WINDOW / WALL AREA CALCULATIONS	EL. 'A'	EL. 'A'	EL. 'A'	EL. 'A'
STID PLAIN	4271 sq. ft.	4245 sq. ft.	4341 sq. ft.	4659 sq. ft.
GROSS WALL AREA	(391.21 sq. m.)	(394.37 sq. m.)	(402.29 sq. m.)	(432.84 sq. m.)
GROSS WINDOW AREA (INC. GLASS DOORS & STUDENTS)	386 sq. ft.	385 sq. ft.	400 sq. ft.	438 sq. ft.
	(35.86 sq. m.)	(35.77 sq. m.)	(37.20 sq. m.)	(40.57 sq. m.)
	9.17 %	9.07 %	9.40 %	9.36 %
	EL. 'P'	EL. 'P'	EL. 'P'	EL. 'P'
	STID PLAIN	W/OB	W/OB	W/OB
	4271 sq. ft.	4245 sq. ft.	4341 sq. ft.	4659 sq. ft.
	(391.21 sq. m.)	(394.37 sq. m.)	(402.29 sq. m.)	(432.84 sq. m.)
	341 sq. ft.	318 sq. ft.	342 sq. ft.	369 sq. ft.
	(31.88 sq. m.)	(29.34 sq. m.)	(31.77 sq. m.)	(34.28 sq. m.)
	8.10 %	7.49 %	7.88 %	7.92 %

 GOLD PARK WORTH MORE	 PINE VALLEY FOREVERGREEN	11. REVISED AS PER CLIENT COMMENTS	2019/10/04	BB
		10. REVISED AS PER STRUCT. ENG. & REISSUED FOR FINAL	2018/10/24	OF
		9. REVISED DESIGN AS PER CLIENT COMMENTS	2018/06/14	MC
		8. REVISED AS PER ENG. COMMENTS	2018/05/31	MC
		7. REVISED AS PER CLIENT COMMENTS	2018/05/14	OF
		6. REVISED AS PER ENG. COMMENTS	2018/04/17	MC
		5. REVISED AS PER CLIENT/ROOF MANUF. COMMENTS	2017/12/05	MC
		4. REVISED AS PER FLOOR MANUF. LAYOUTS	2017/11/28	OF
		3. REVISED AS PER ROOF MANUF. LAYOUTS	2017/11/16	MC
		2. REVISED AS PER CLIENT COMMENTS	2017/11/03	OF
		1. ISSUED FOR CLIENT REVIEW	2017/09/21	OF
REVISIONS		DATE (YYYYMMDD)	BY	



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PART. GROUND FLOOR PLAN EL. 'A'
OPT. LOGGIA CONDITION (ELEV. 'B' SIMILAR)

'A' DBL. SIDED FIRE PLACE

PART. GROUND FLOOR PLAN
(9' BASEMENT COND.)

GROUND FLOOR PLAN EL. 'A'

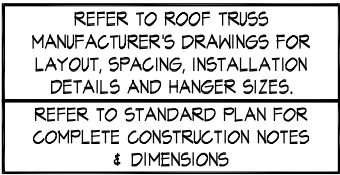
NON-LOAD BEARING	SOLID MASONRY WALL W/ 6'-10M VERT. REBARS (LAP 16" GROUTED INTO BRICK JOINT)	PROVIDE SOLID WOOD BLOCKING @ 24" O.C. FOR FIRST JOIST SPAN WHEN PARALLEL W/ EXTERIOR WALL
	MASONRY WALL TO BE TIED TO THE BOTTOM OF PORTICO ROOF W/ CORROSION RESISTANT METAL TIES @ 24" O.C. USING 3-3 1/2" NAILS EACH	REFER TO FLOOR JOIST MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, BLOCKING & STRAPPING REQUIREMENTS, INSTALLATION DETAILS AND HANGER SIZES, & SUBFLOOR THICKNESS
	MASONRY VENEER TIED TO MASONRY VENEER W/ GALV. METAL TIES @ 16" O.C. AND 24" VERTICAL. FILL VOID BETWEEN MASONRY VENEER MYTHES SOLID W/ MORTAR	REFER TO ROOF TRUSS MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, INSTALLATION DETAILS AND HANGER SIZES,

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MASONRY WALL NON-LOAD BEARING

SOLID MASONRY WALL W/ 4 #10M VERT. REBARS (LAP 1'-6" GROUTED INTO BRICK JOINT)
MASONRY WALL TO BE TIED TO THE BOTTOM OF PORTICO ROOF W/ CORROSION RESISTANT METAL TIES @ 24" O.C., USING 3-3 1/2" NAILS EACH
MASONRY VENEER TIED TO MASONRY VENEER WITH GALV. METAL TIES @ 16" O.C. AND 24" VERTICAL. FILL VOID BETWEEN MASONRY VENEER MYTHES SOLID W/ MORTAR

PROVIDE SOLID WOOD BLOCK 24" O.C. FOR FIRST JOIST WHEN PARALLEL W/ EXTERIOR

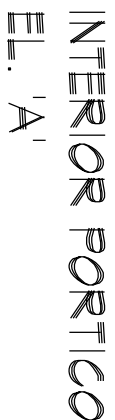
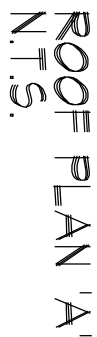
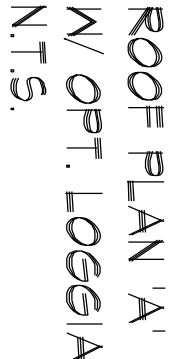
REFER TO FLOOR JOIST MANUFACTURER'S DRAWING LAYOUT, SPACING, BLOCK STRAPPING REQUIREMENT INSTALLATION DETAILS AND SIZES, & SUBFLOOR THICK

REFER TO ROOF TRUSS

Floor Plan Details:

- Foyer:** Includes stairs, landing by stair manifold, and various wall sections.
- Garage:** 18' x 20' area with roof trusses, joists, and doors.
- Portico:** Features a cambered beam, king studs, and masonry walls.
- Landing:** Located by the stair manifold, featuring king studs and open space.
- Dimensions:** Various wall heights (e.g., 7'-4", 10'-3", 6'-4") and widths are specified throughout the plan.
- Structural Notes:** Includes notes on reinforcement (e.g., 3-2"x6" FH KING STUDS), connections (e.g., BOLTED CONNECTION), and materials (e.g., SOLID MASONRY WALL).

<p>PROVIDE SOLID WOOD BLOCKING @ 24" O.C. FOR FIRST JOIST SPAN WHEN PARALLEL W/ EXTERIOR WALL</p>	<p>REFER TO FLOOR JOIST MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, BLOCKING & STRAPPING REQUIREMENTS, INSTALLATION DETAILS AND HANGER SIZES, & SUBFLOOR THICKNESS</p>
	<p>REFER TO ROOF TRUSS MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, INSTALLATION DETAILS AND HANGER SIZES.</p>
	<p>REFER TO STANDARD PLAN FOR COMPLETE CONSTRUCTION NOTES & DIMENSIONS</p>



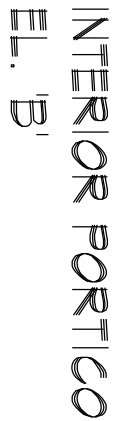
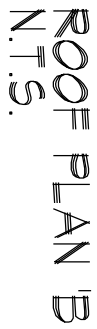
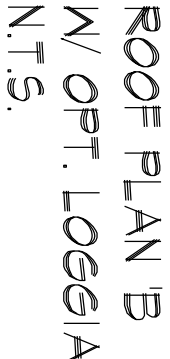
FRONT ELEVATION 'A'

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WINDOW SUMMARY			
PROJECT: 08-03-0154			
REAR ELEVATION A & B			
QUANTITY	U-FAC	DOOR	FRAME (SF)
1	30.00	1.00	14.44
2	30.00	56.00	14.44
3	30.00	56.00	14.44
4	40.00	56.00	15.89
5	40.00	56.00	15.89
6	40.00	64.00	16.00
7	40.00	64.00	16.00
8	36.00	20.00	1.56
9	36.00	20.00	1.56
10	0.00	0.00	0.00
11	0.00	0.00	0.00
12	0.00	0.00	0.00
13	0.00	0.00	0.00
14	0.00	0.00	0.00
15	0.00	0.00	0.00
16	0.00	0.00	0.00
17	0.00	0.00	0.00
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37	0.00	0.00	0.00
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83	0.00	0.00	0.00
84	0.00	0.00	0.00
85	0.00	0.00	0.00
86	0.00	0.00	0.00
87	0.00	0.00	0.00
88	0.00	0.00	0.0

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for working drawings with regard to any building code or permit matter or for any house can be properly built or located on its lot.



FRONT ELEVATION 'B'

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CHART

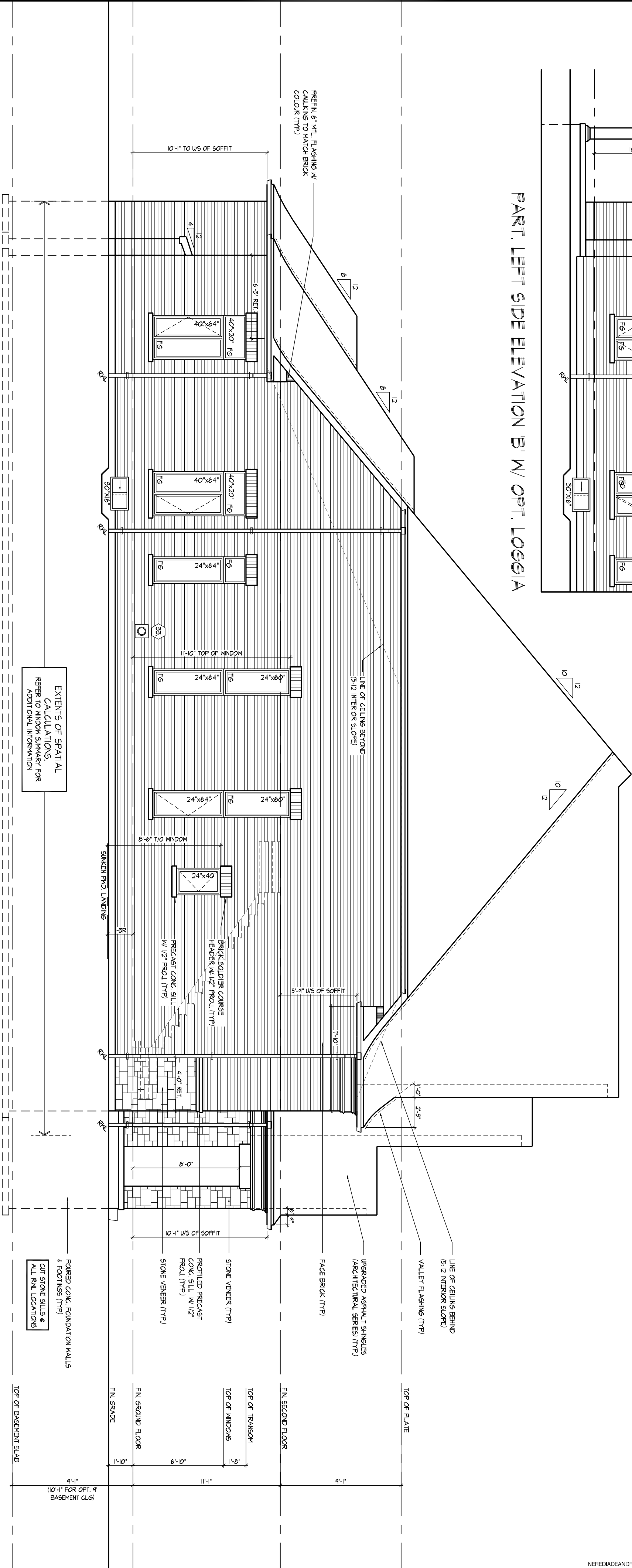
FRONT ELEVATION EL 'B'
NIT 4201 - THE MAPLEWOOD
REV.2019.10.04

FOR

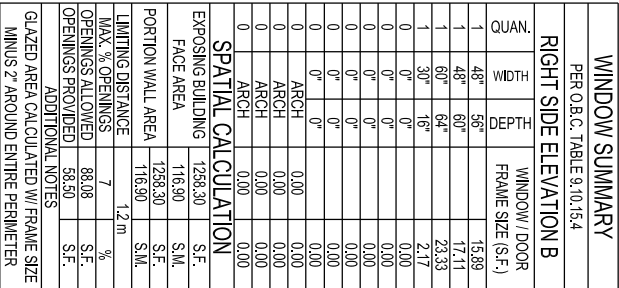
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<p>HUNT DESIGN ASSOCIATES INC.</p>	<p>1985</p>	<p>www.huntdesign.ca</p>	<p>8866 Woodbine Ave., Markham, ON L3R 0J7</p>	<p>T 905.731.5133 F 905.731.7268</p>				



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[illegible]

PART. RIGHT SIDE ELEVATION B' W/ OPT. LOGGIA

VALLEY FLASHING (TYP)

UPGRADED ASPHALT SHINGLES (ARCHITECTURAL SERIES) (TYP)

FACE BRICK (TYP)

PREFIN. 6" MIN. FLASHING W/ CALLING TO MATCH BRICK COLOR (TYP)

STONE VENEER (TYP)

10'-1" W/5 OF SOFFIT

8'-0"

2'-0" OVERHANG

4'-0" RET

8'-4" W/5 OF SOFFIT

4'-0" MIN. W/5 OF FOOTING

POURED CONC. PORCH SLAB & DOOR SILL (TYP)

POURED CONC. FOUNDATION WALLS & FOOTINGS (TYP)

CUT STONE SILLS & ALL RAIL LOCATIONS

STEPPED (30) FOOTINGS (TYP)

EXTENTS OF SPATIAL CALCULATIONS REFER TO THE DRAWING FOR ADDITIONAL INFORMATION

42'x60' FS

42'x56' FS

60'x64' FS

BRICK SOLDIER COURSE HEADER W/ 1/2" PROL (TYP)

PRECAST CONC. SILL W/ 1/2" PROL (TYP)

30'x6"

13'-1"

10'-1" W/5 OF SOFFIT

TOP OF FLAT

FIN. SECOND FLOOR

TOP OF WINDOWS

FIN. GROUND FLOOR

FIN. GRADE

9'-1"

11'-1"

8'-6"

9'-1"

10'-1" FOR OPT. 4' BASEMENT (L.G.)

TOP OF BASEMENT SLAB

30'x6"

30'

NEREDJADEAN

RIGHT SIDE ELEVATION "B"

EXTENTS OF SPATIAL
CALCULATIONS.
REFER TO WINDOW SUMMARY FOR
ADDITIONAL INFORMATION

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PORTICO WALL W/ HEATED SPACE ABOVE

FOUNDATION REDUCTION IN THICKNESS FOR MASONRY

21

EXTERIOR AND GARAGE STEPS

- [illegible]

REFER TO SB-12 ENERGY EFFICIENCY DESIGN MATRIX ON THE TITLE PAGE FOR ALL VALUES AS REQUIRED PER 3.1.1., 3.1.2., 3.1.3. OF THE OBC.

SECTION 1.1. WALL STUDS	3.3. DOOR SCHEDULE

- IF STUD WALL HEIGHT EXCEEDS MAX. UNSUPPORTED HEIGHT, WALL NEEDS TO BE REINFORCED AND APPROVED BY ENGINEER.

- www.huntedesign.ca 8966 Wood

1	EXTIOR	2'-8" x 6'-8" x 1'-3/4" (815 x 2030 x 45) INSULATED MIN. R4 (RS
1A	EXTIOR	2'-10" x 6'-8" x 1'-3/4" (865 x 2030 x 45) INSULATED MIN. R4 (R
1B	EXTIOR	3'-0" x 6'-8" x 1'-3/4" (915 x 2030 x 45) INSULATED MIN. R4 (RS
1C	EXTIOR	2'-8" x 6'-8" x 1'-3/4" (815 x 2030 x 45) INSULATED MIN. R4 (RS

- Markham, ON L3R 0U7 T 905.737.5133 F 905.737.7326

