



I, JORGE MORENO DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF **RN DESIGN LTD.** UNDER DIVISION C, PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 47245
FIRM BCIN: 26995
DATE: _____

SIGNATURE: _____



For STRUCTURAL ONLY
EXCLUDING ENGINEERED
ROOF TRUSS, FLOOR JOIST
AND FLOOR LVL BEAM DESIGN

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#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	04/07/2014	kk	cr
2	REVISED AS PER ARCH. CONTROL COMMENTS.	13/08/2014	ppa	djh
3	REVISED AS PER FLOOR COORDINATION.	18-Aug-14	ppa	djh
4	REVISED AS PER ENGINEERING COMM.	29-May-15	RPA	DJH
5	ISSUED FOR PERMIT	16/06/2015	RPA	DJH
6	REVISED PER 2017 OBC ENACTMENT	23-Mar-17	mmm	jm
7	REVISED AS PER FLOOR COORDINATION & ISSUED FOR PERMIT	AUG-10-17	PV	JM
8	CHANGE PARTY WALLS TO DBL STUD	4-JUNE-19	JM	JM
9	REVISED AS PER ENG. COMMENTS, ISSUE FOR PERMIT PH 2	28-AUG-19	lo	jm
10				
11				
12				

client

Gold Park
Homes

project

Mclaughlin and
Mayfield

model

SD-7

Brampton

project #

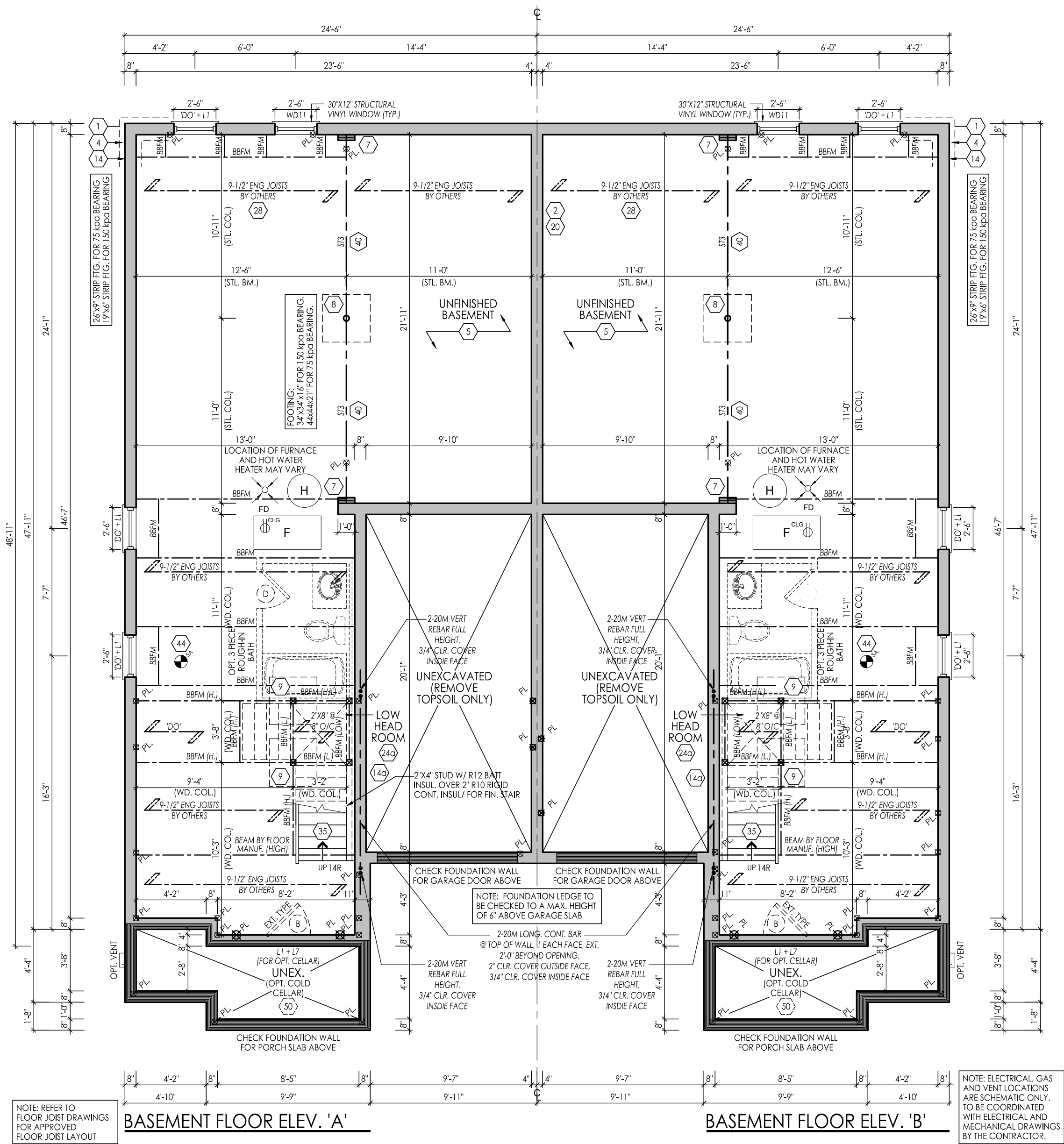
13098

scale

3/16" = 1'0"

lot(s)

A1





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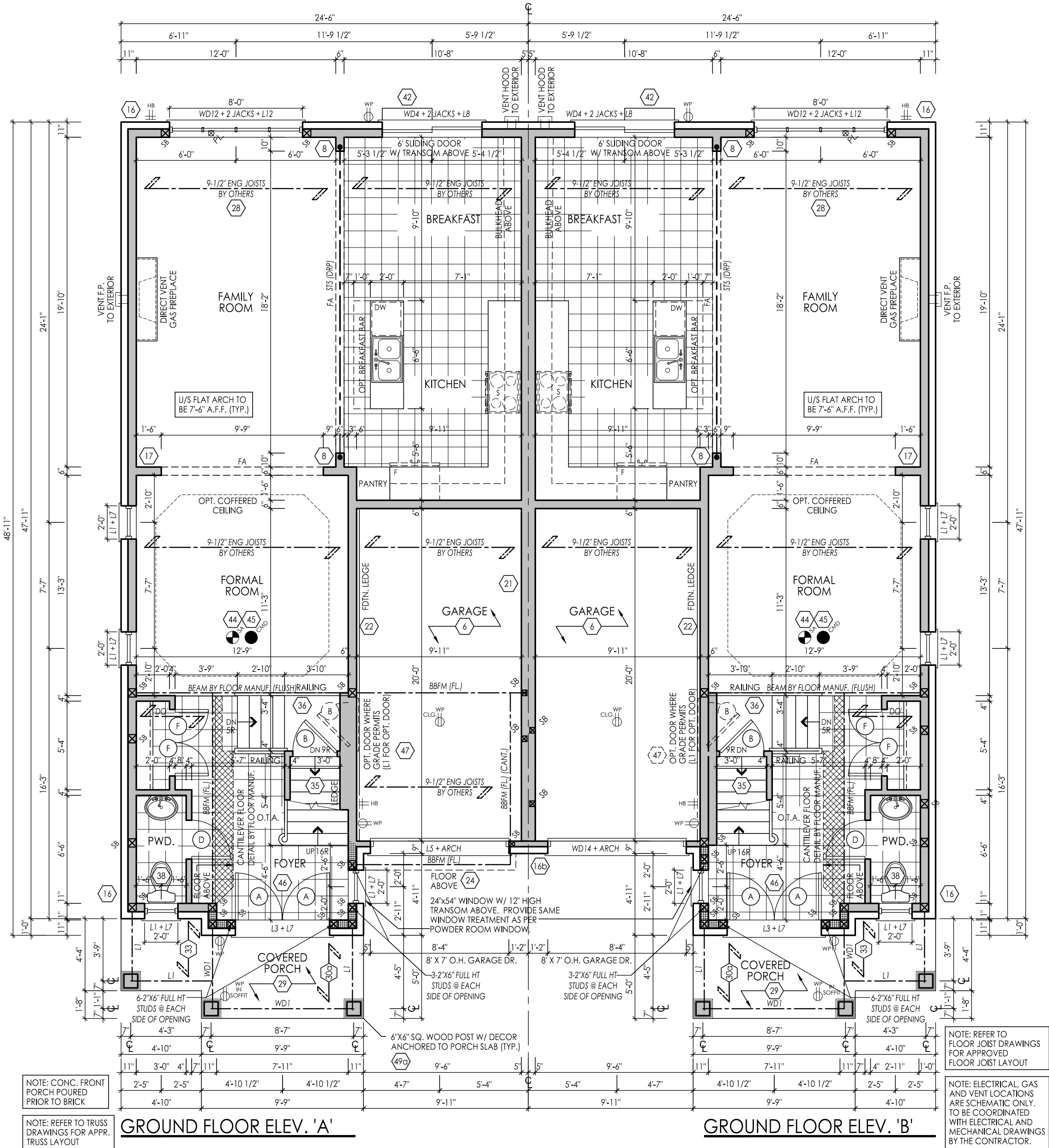
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client	Gold Park Homes
project	Mclaughlin and Mayfield
model	SD-7 Brampton
project #	13098
scale	3/16" = 1'0"
lot(s)	





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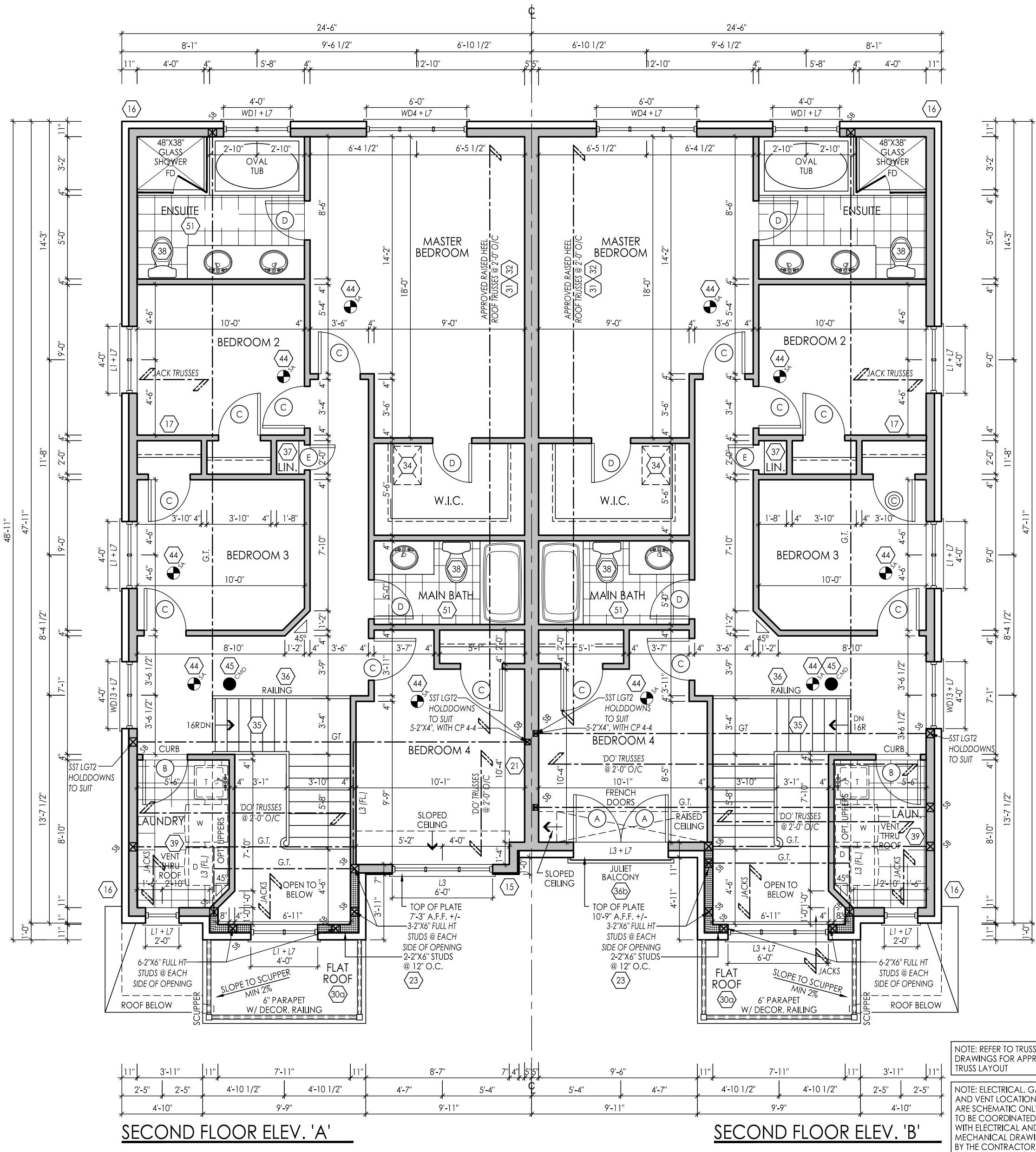
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model	SD-7 Brampton
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lot(s)	

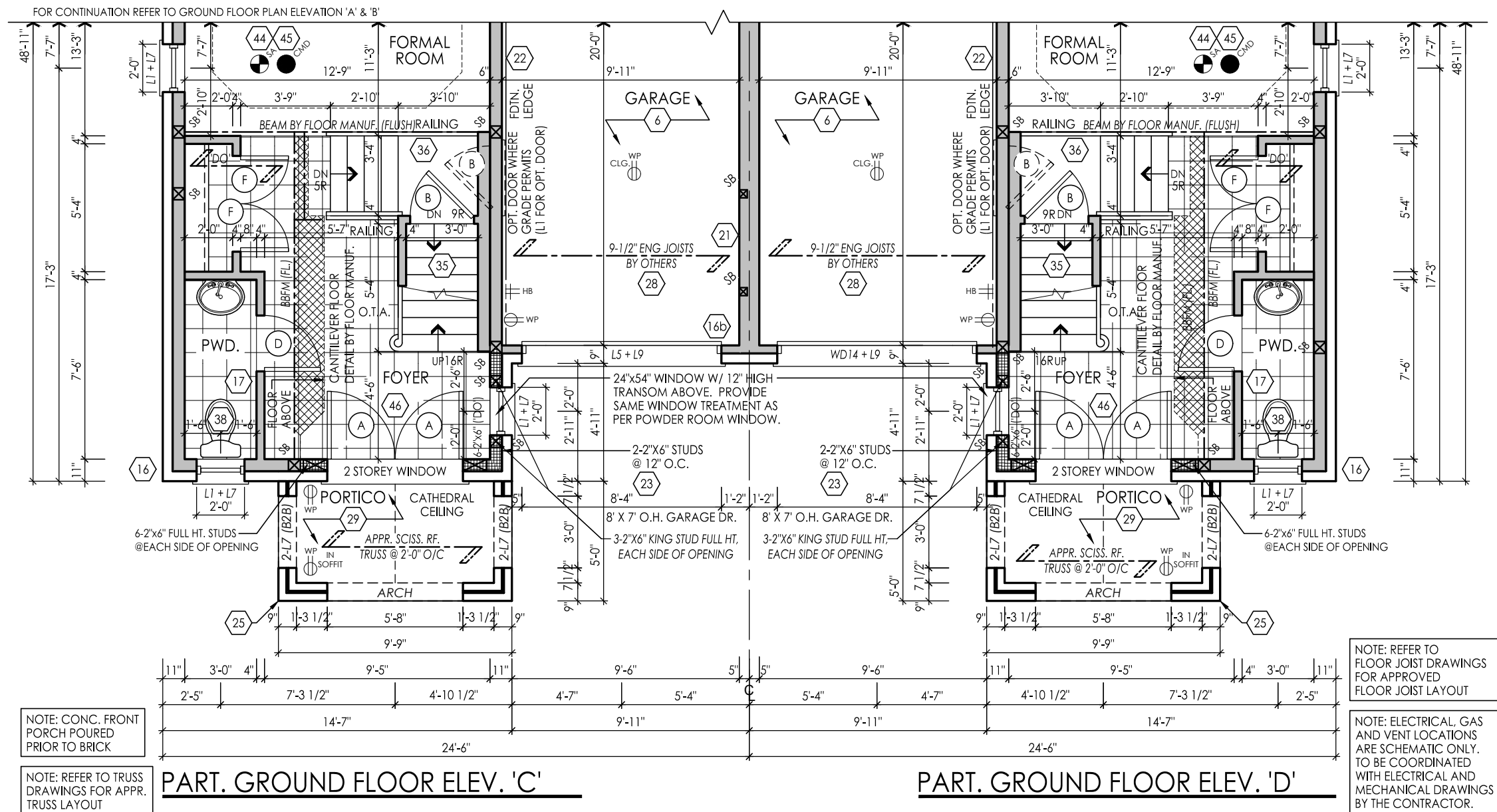




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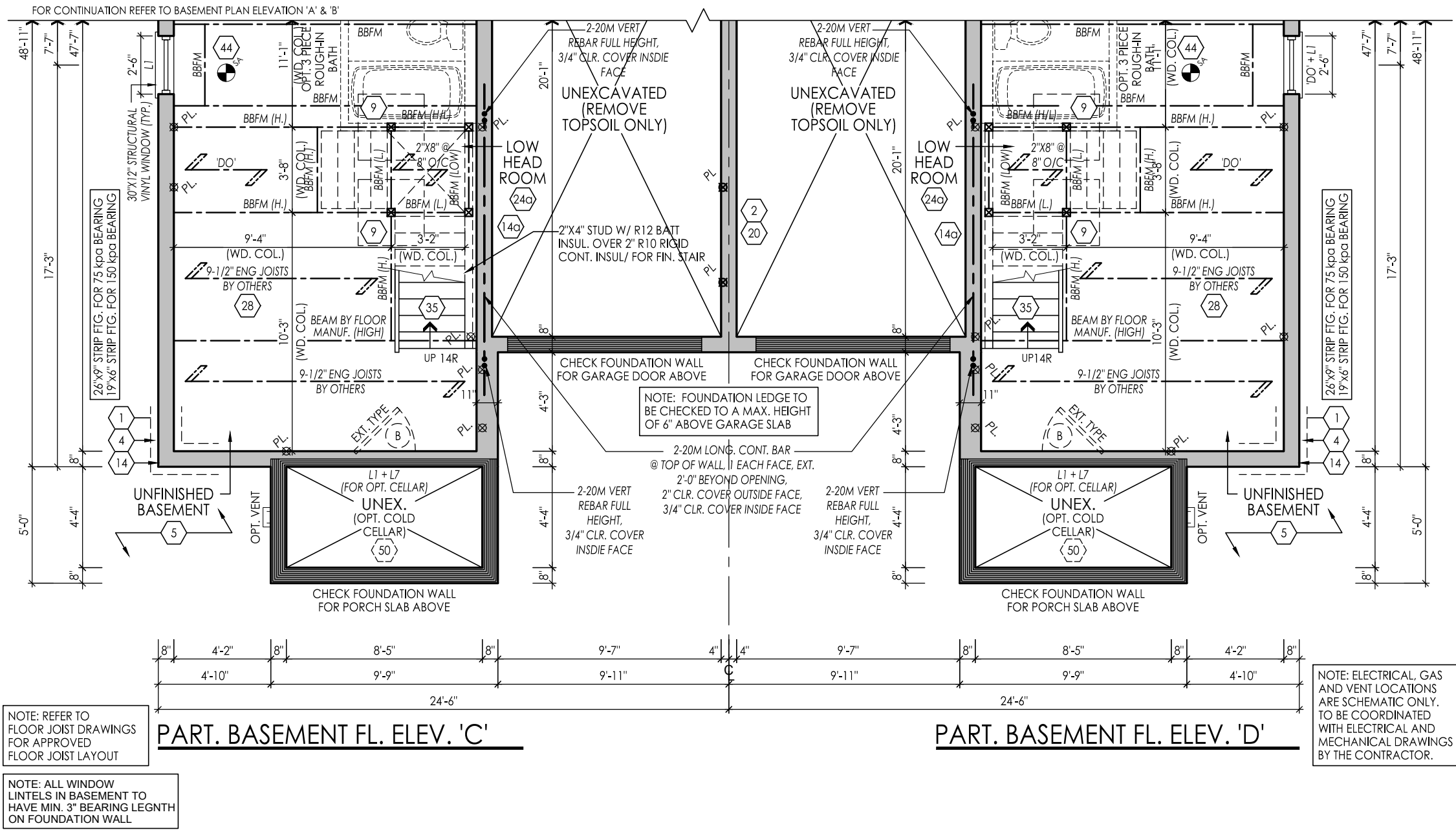
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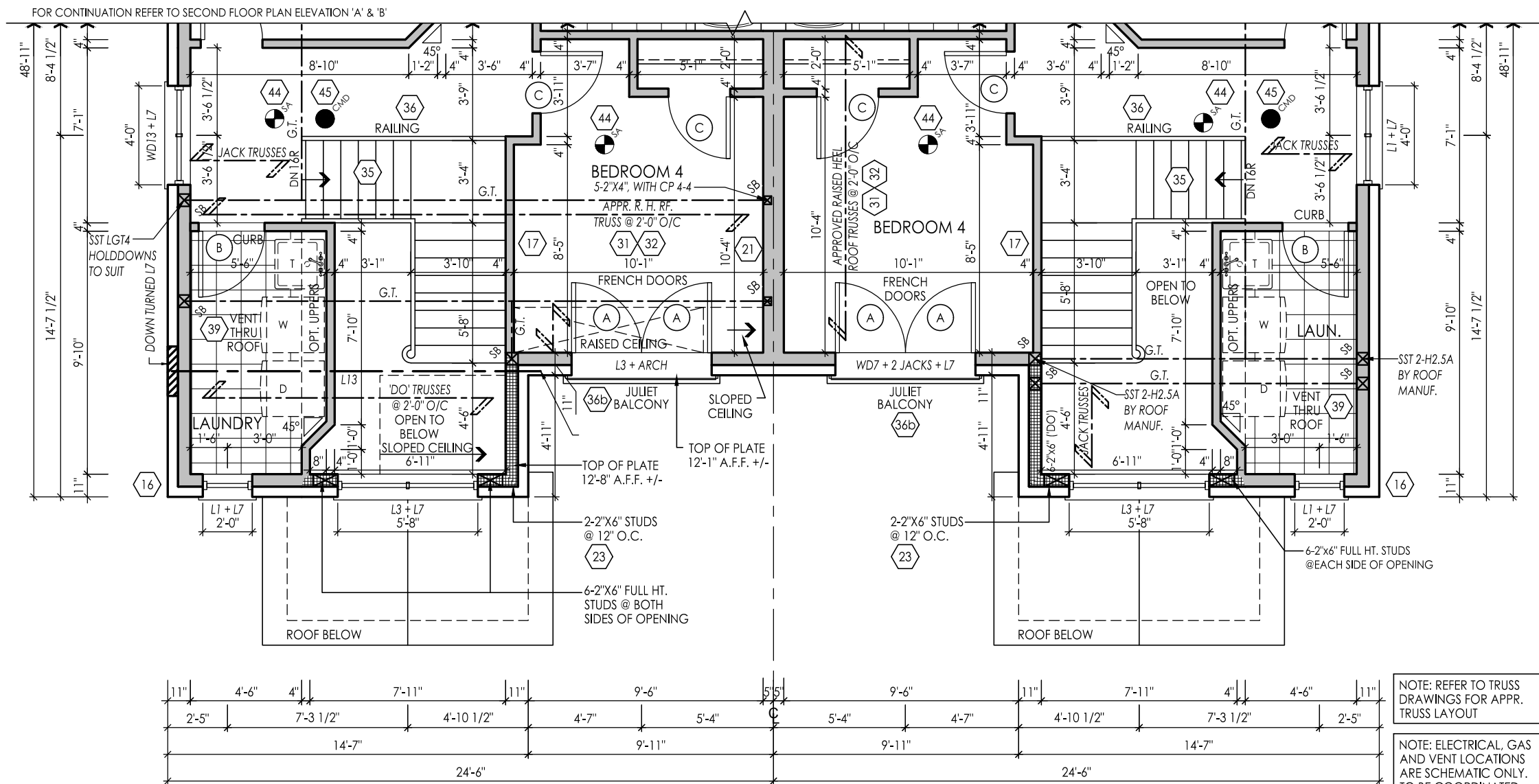
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3	REVISED AS PER FLR./ROOF COORD.	18-Aug-14	rpa	djh
4	ADDED SLOPED CEILING OVER 'C' FOYER	SEPT. 03/14	djh	djh
5	REVISED AS PER ENGINEERING COMM.	29-May-15	RPA	D.J.H
6	ISSUED FOR PERMIT	16/06/2015	RPA	D.J.H
7	REVISED PER 2017 OMC ENACTMENT.	23-Mar-17	mmn	jm
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Gold Park
Homes

project

McLaughlin and
Mayfield

model

SD-7
Brampton

project #

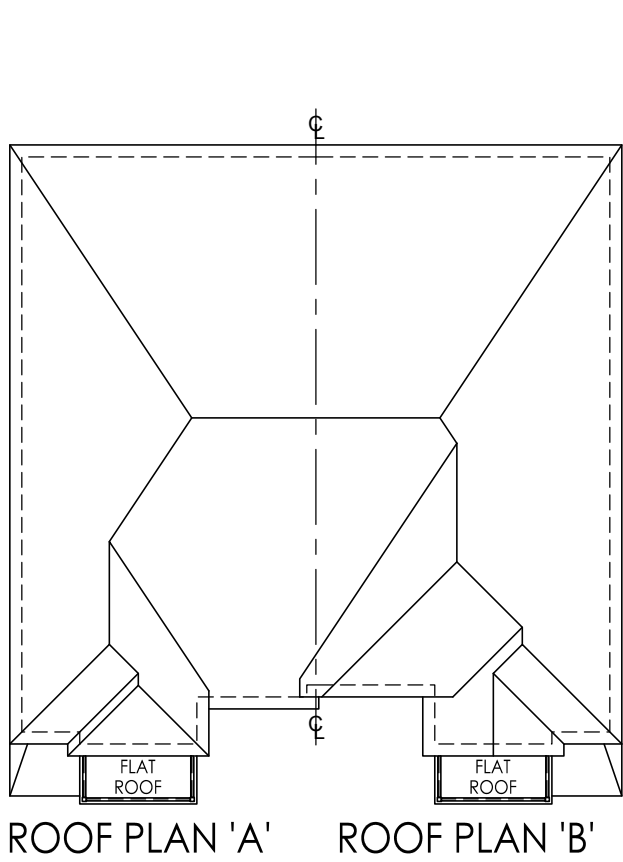
13098

scale

3/16" = 1'0"

lot(s)

A5



NOTE: ALL CONVENTIONAL ROOF FRAMING TO CONFORM TO PART 9 OF THE OBC. ROOF RAFTERS THAT MEET OR CROSS OVER TRUSSES ARE TO BE 2"x4" SPF @ 24" O.C. WITH A 2"x4" SPF VERTICAL POST TO THE TRUSS UNDER. AT EACH CROSS POINT, POSTS LONGER THAN 6' TO BE Laterally BRACED SO THAT THE DISTANCE BETWEEN END POINTS & BETWEEN ROWS OF BRACING DOES NOT EXCEED 6'.

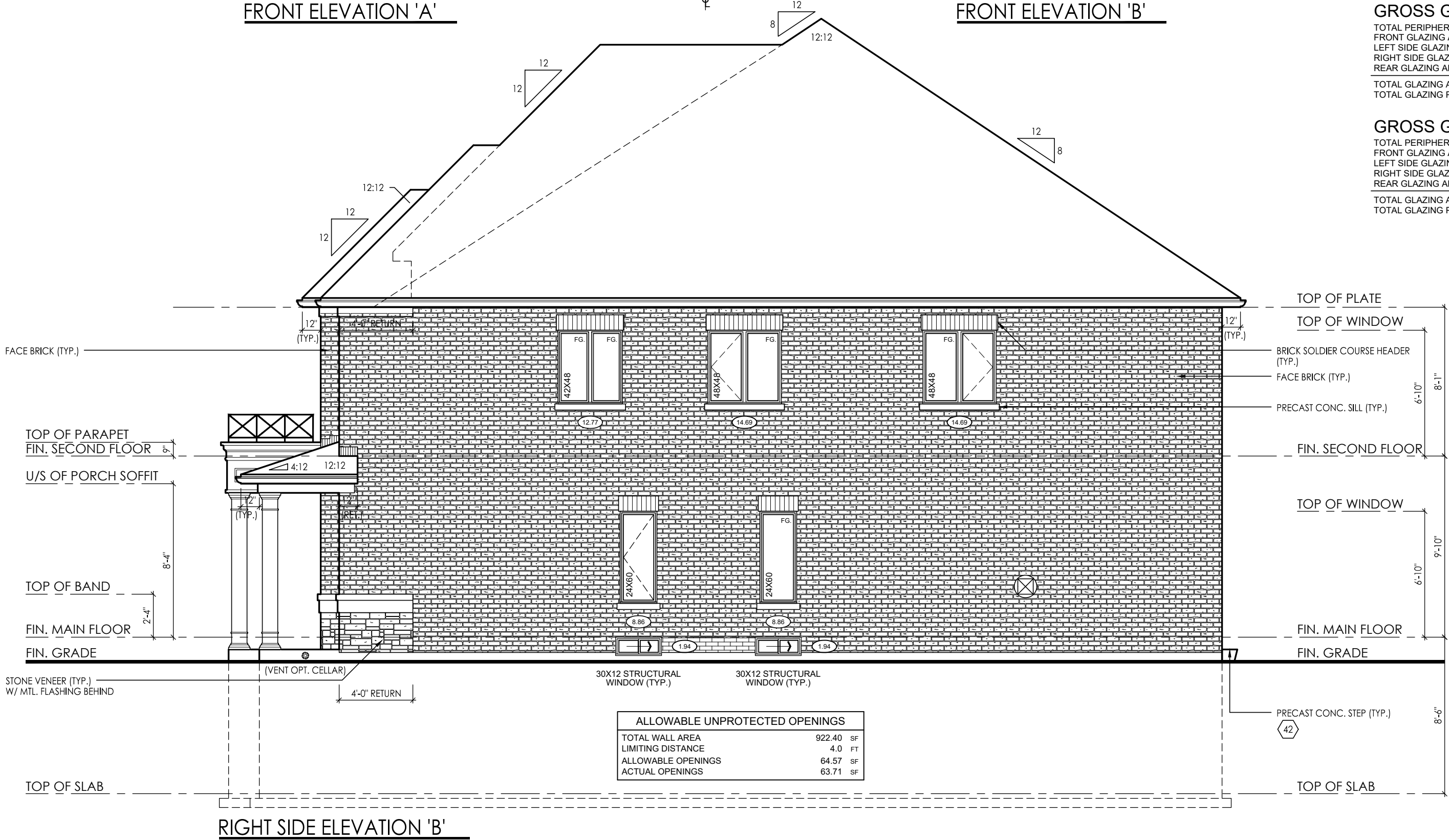
NOTE: REFER TO TRUSS DRAWINGS FOR APPROVED TRUSS LAYOUT

NOTE: REFER TO STREET-SCAPES FOR POSSIBLE MINOR CHANGES DUE TO GRADING CONDITIONS



GROSS GLAZING AREA 'A'			
TOTAL PERIPHERAL WALL AREA	2637.98 sf	245.07 m²	
FRONT GLAZING AREA	61.72 sf	5.73 m²	
LEFT SIDE GLAZING AREA	63.78 sf	5.93 m²	
RIGHT SIDE GLAZING AREA	0 sf	0.00 m²	
REAR GLAZING AREA	117.89 sf	10.95 m²	
TOTAL GLAZING AREA	243.39 sf	22.61 m²	
TOTAL GLAZING PERCENTAGE	9.23 %		

GROSS GLAZING AREA 'B'			
TOTAL PERIPHERAL WALL AREA	2637.98 sf	245.07 m²	
FRONT GLAZING AREA	90.49 sf	8.41 m²	
LEFT SIDE GLAZING AREA	0 sf	0.00 m²	
RIGHT SIDE GLAZING AREA	63.78 sf	5.93 m²	
REAR GLAZING AREA	117.89 sf	10.95 m²	
TOTAL GLAZING AREA	272.16 sf	25.28 m²	
TOTAL GLAZING PERCENTAGE	10.32 %		



ALLOWABLE UNPROTECTED OPENINGS	
TOTAL WALL AREA	922.40 SF
LIMITING DISTANCE	4.0 FT
ALLOWABLE OPENINGS	64.57 SF
ACTUAL OPENINGS	63.71 SF



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4	ISSUED FOR PERMIT	2017-08-25	MM	JM
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client	Gold Park Homes
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model	SD-7 Brampton
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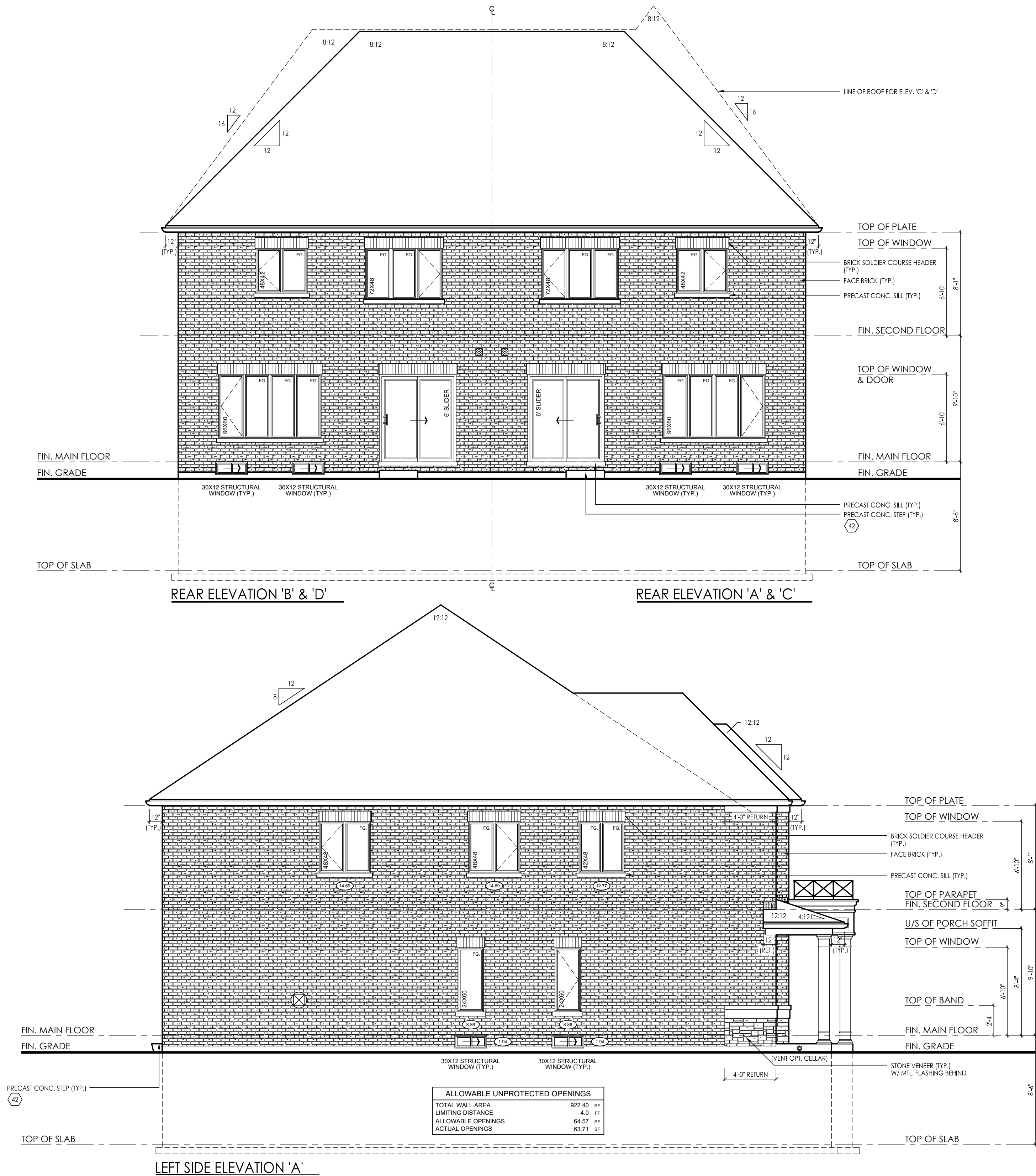
13098

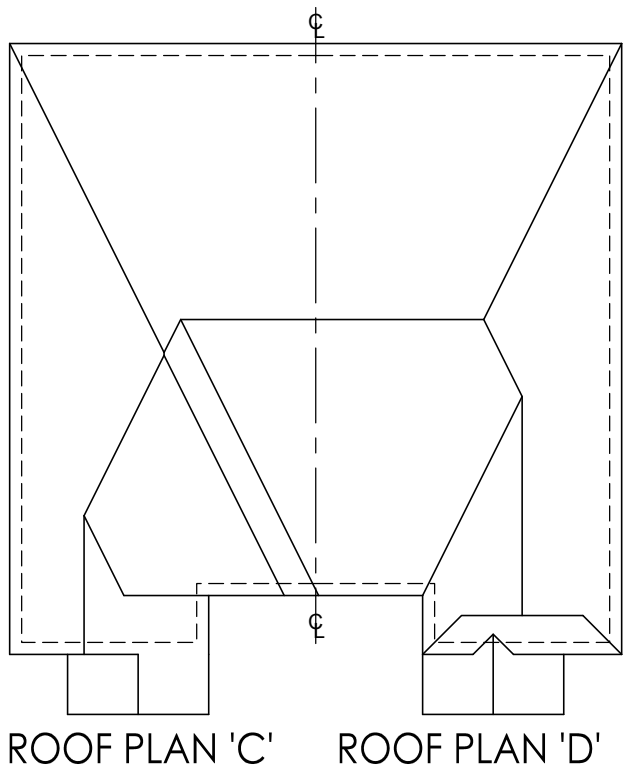
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lot(s)

A7





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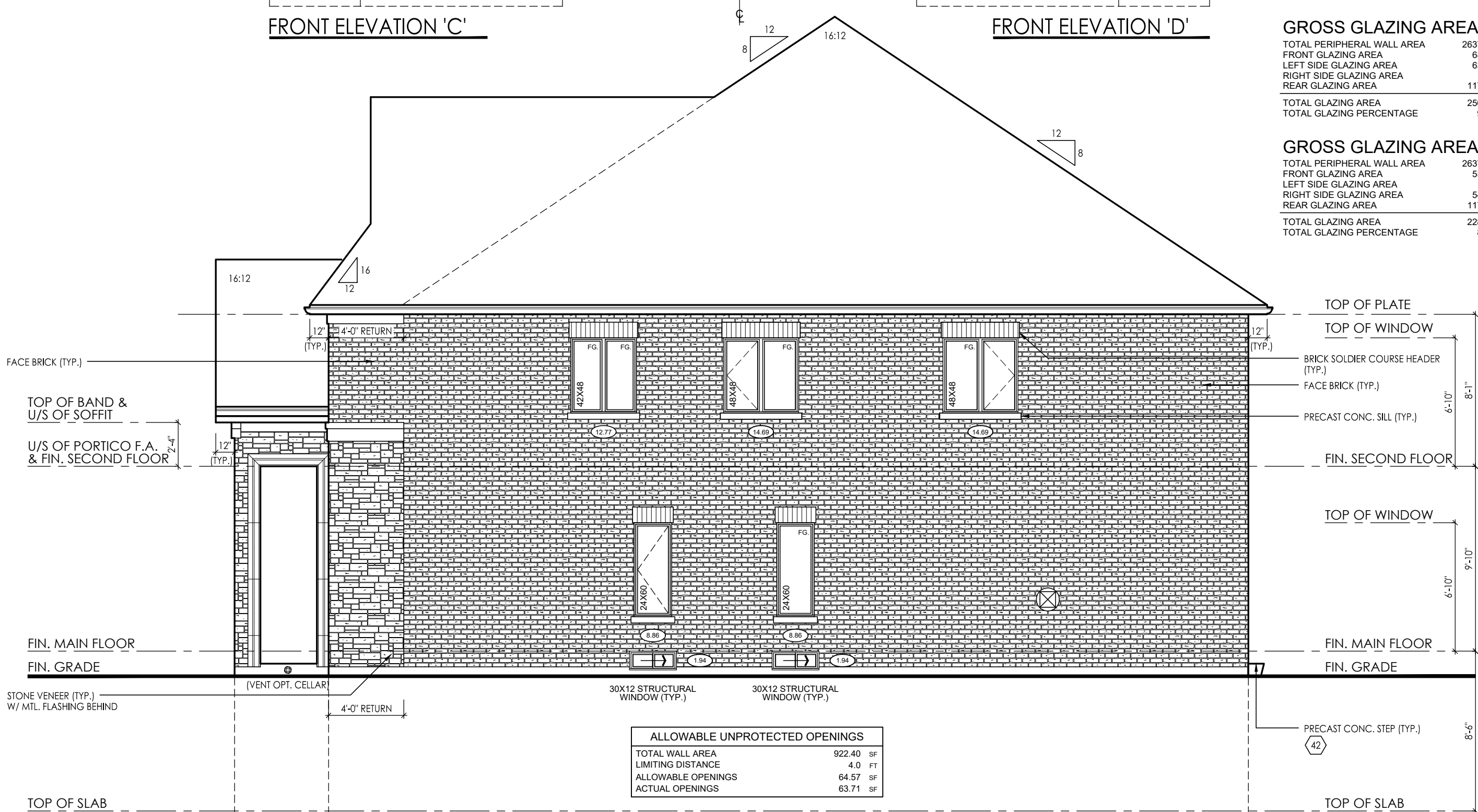


FRONT ELEVATION 'C'

FRONT ELEVATION 'D'

GROSS GLAZING AREA 'C'			
TOTAL PERIPHERAL WALL AREA	2637.98 SF	245.07 m²	
FRONT GLAZING AREA	68.33 SF	6.35 m²	
LEFT SIDE GLAZING AREA	83.78 SF	7.74 m²	
RIGHT SIDE GLAZING AREA	0 SF	0.00 m²	
REAR GLAZING AREA	117.89 SF	10.95 m²	
TOTAL GLAZING AREA	250.00 SF	23.23 m²	
TOTAL GLAZING PERCENTAGE	9.48 %		

GROSS GLAZING AREA 'D'			
TOTAL PERIPHERAL WALL AREA	2637.98 SF	245.07 m²	
FRONT GLAZING AREA	55.72 SF	5.18 m²	
LEFT SIDE GLAZING AREA	0 SF	0.00 m²	
RIGHT SIDE GLAZING AREA	54.92 SF	5.10 m²	
REAR GLAZING AREA	117.89 SF	10.95 m²	
TOTAL GLAZING AREA	228.53 SF	21.23 m²	
TOTAL GLAZING PERCENTAGE	8.66 %		



RIGHT SIDE ELEVATION 'D'

ALLOWABLE UNPROTECTED OPENINGS	
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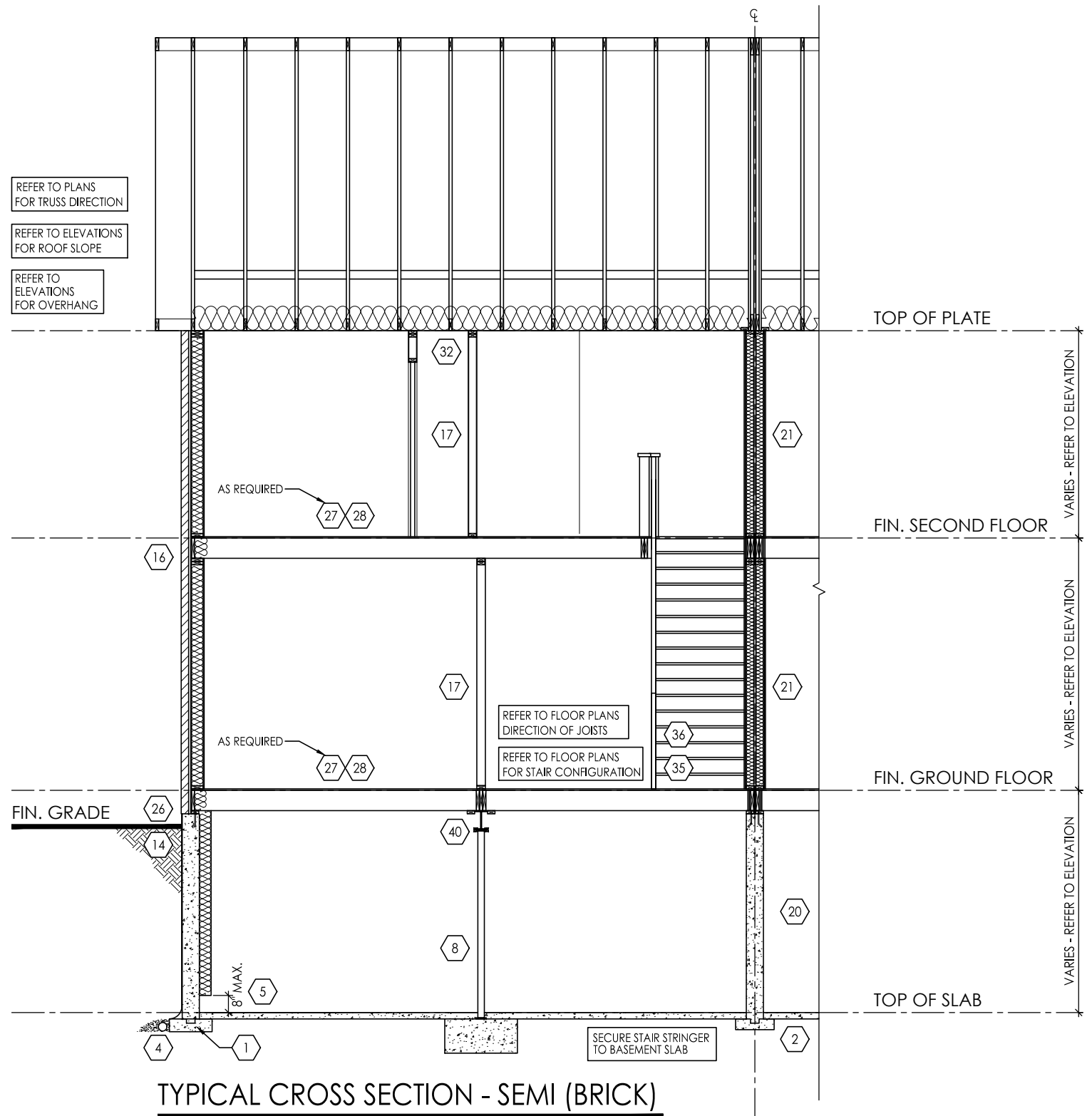
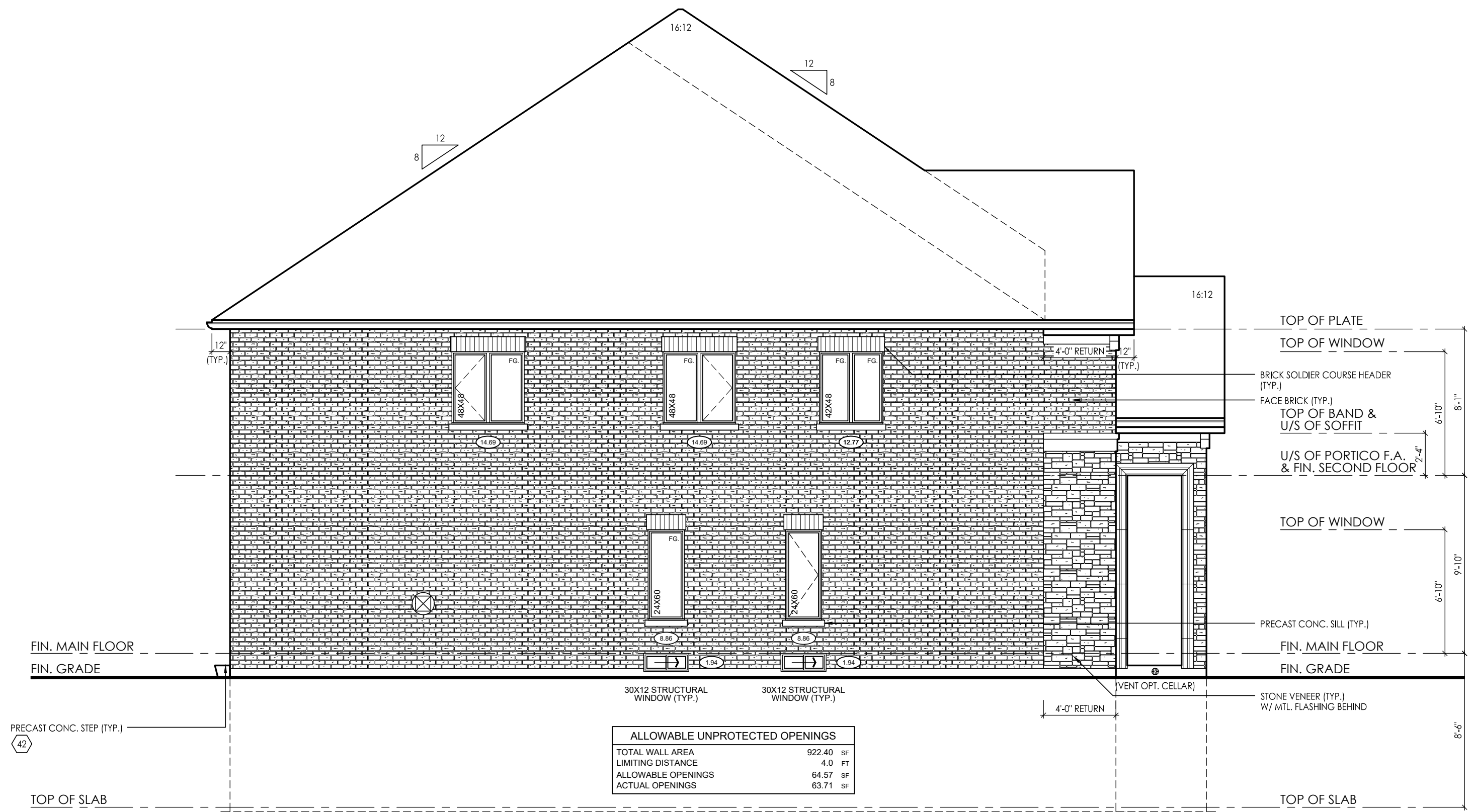
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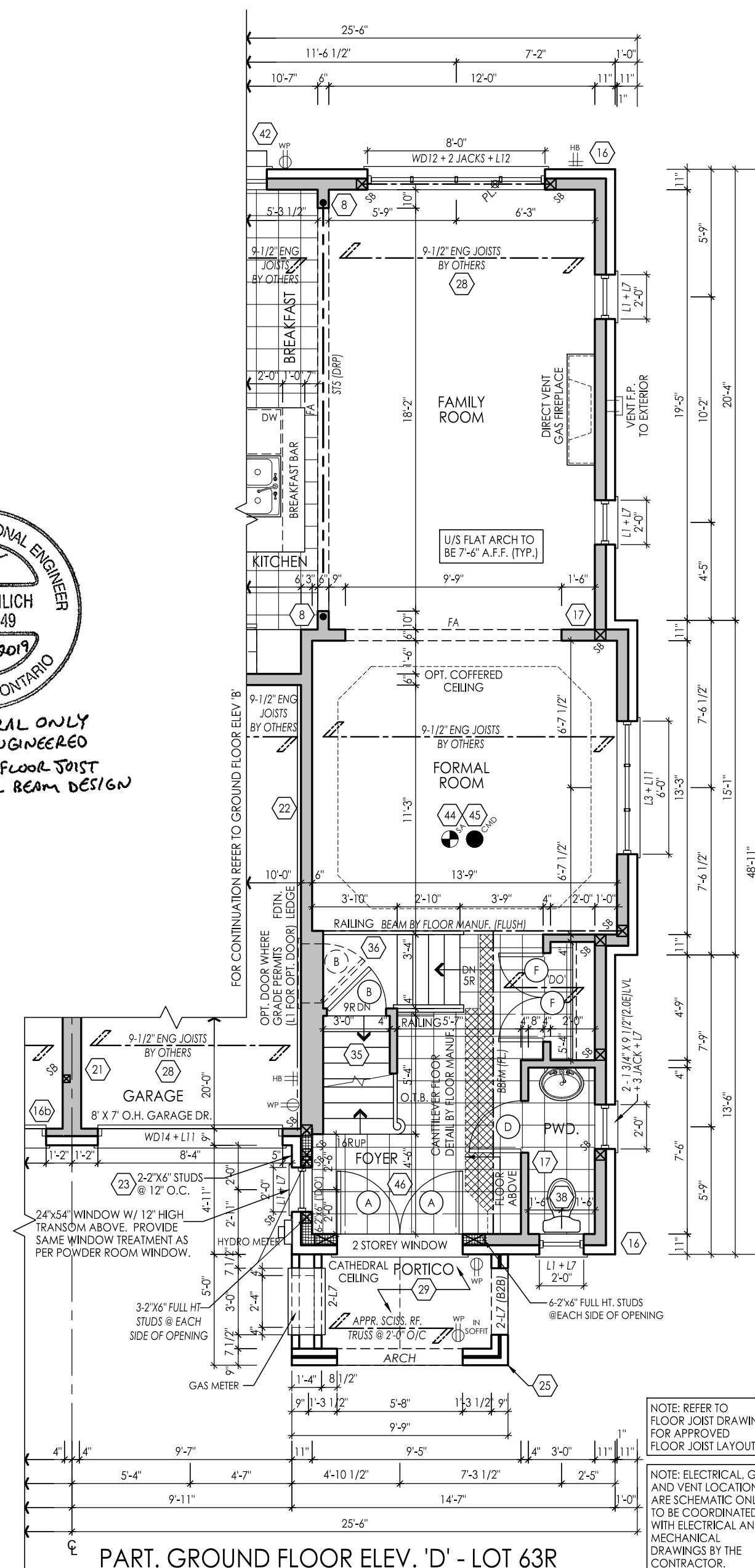
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Brampton

project #

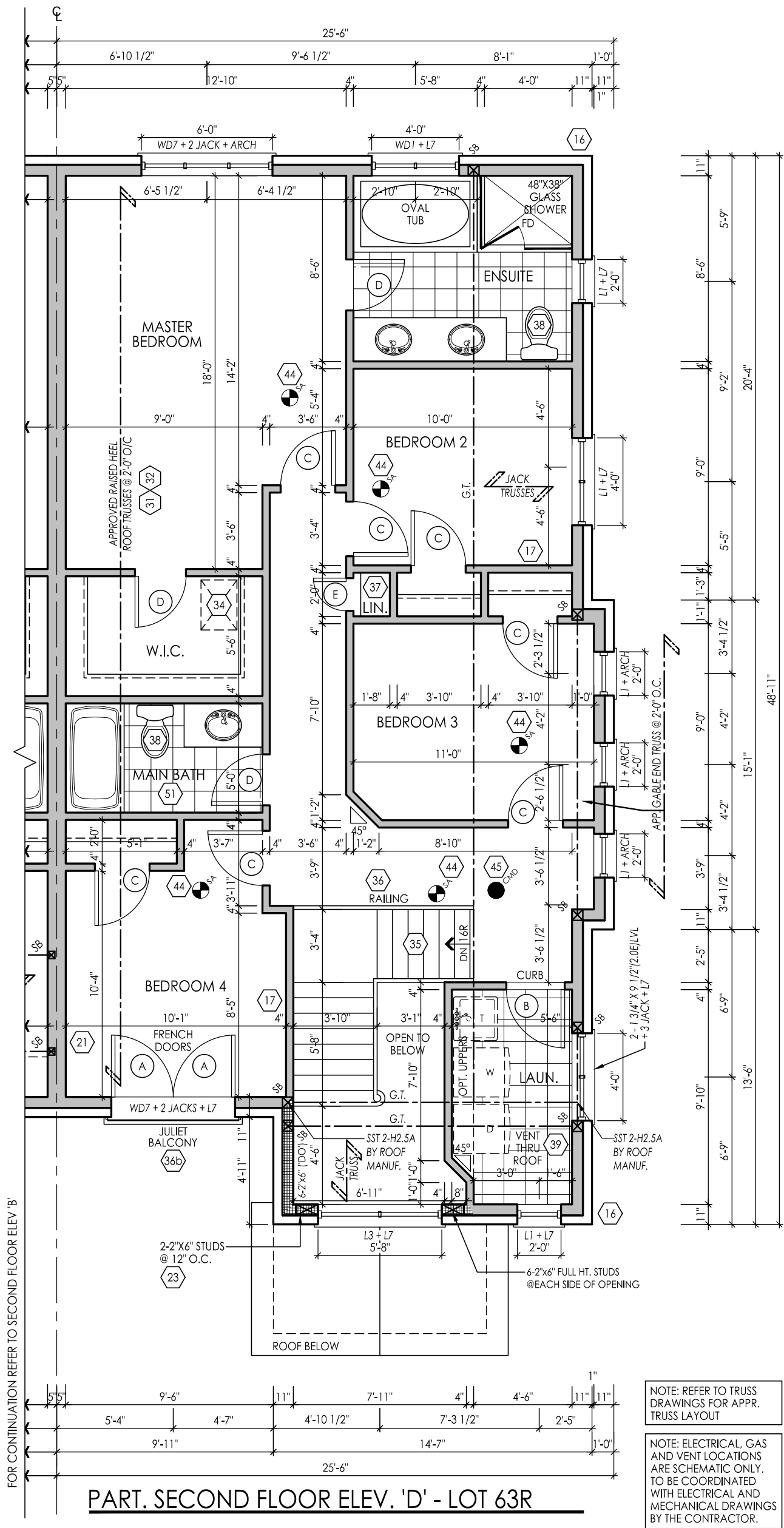
13098

scale

3/16" = 1'0"

lot(s)

A11



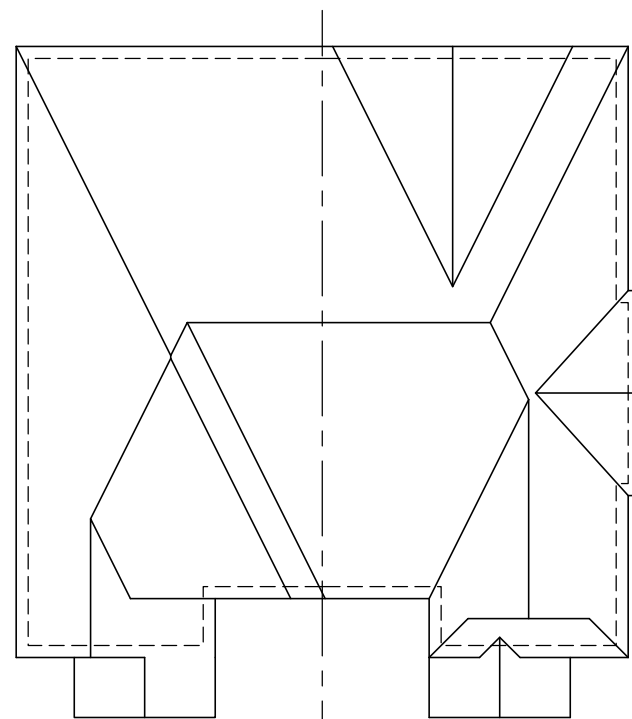
FOR STRUCTURAL ONLY
EXCLUDING ENGINEERED
ROOF TRUSS, FLOOR JOIST
AND FLOOR LVL BEAM DESIGN



I, JORGE MORENO DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF **RN DESIGN LTD** UNDER DIVISION C, PART 3 SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 47245
FIRM BCIN: 26995
DATE: _____

SIGNATURE: *J. Moreno*



ROOF PLAN 'C'

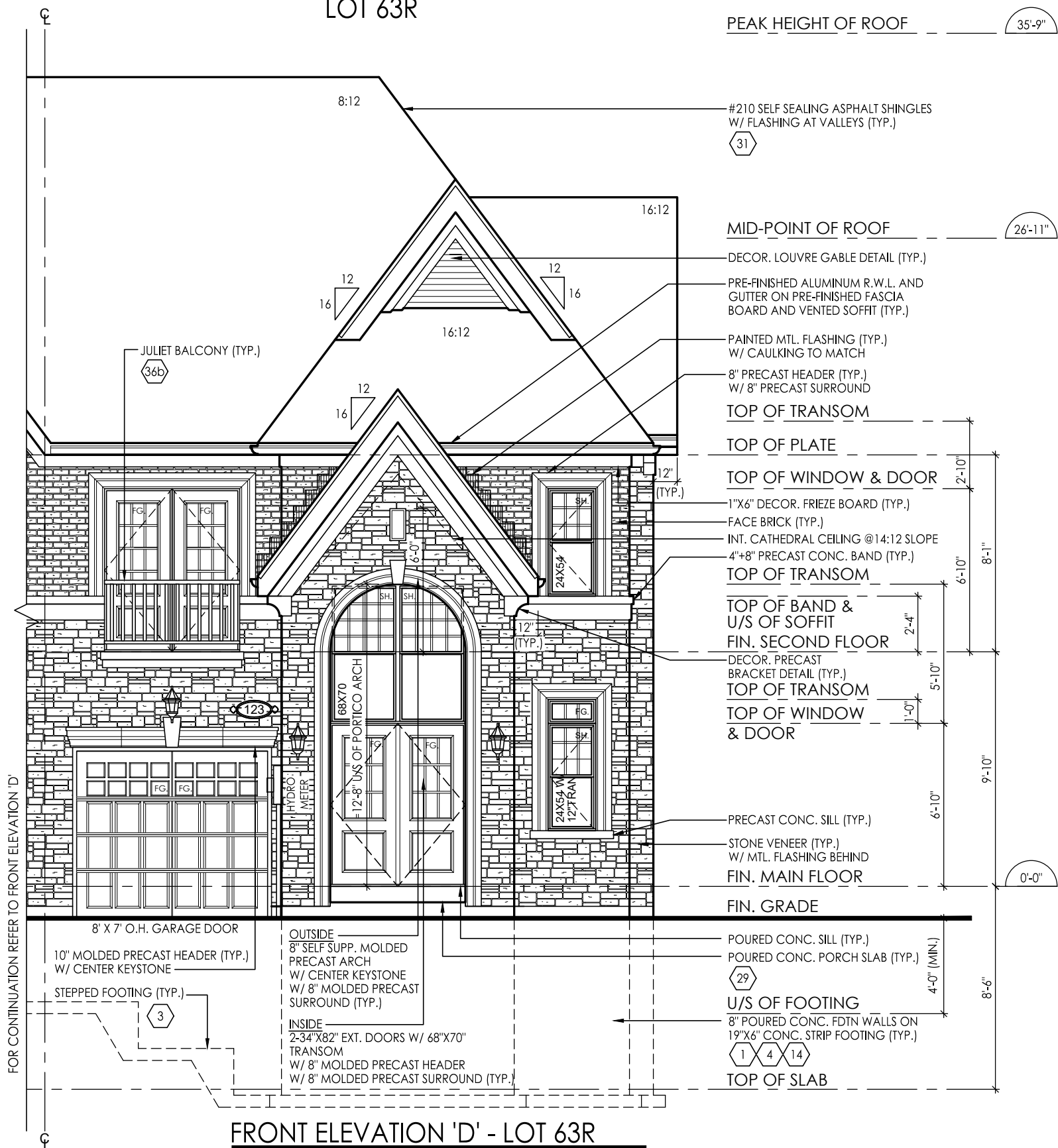
ROOF PLAN 'D' - LOT 63R

NOTE: ALL CONVENTIONAL ROOF FRAMING TO CONFORM TO PART 9 OF THE OBC. ROOF RAFTERS THAT MEET OR CROSS OVER TRUSSES ARE TO BE 2"x4" SPF @ 24" O.C. WITH A 2"x4" SPF VERTICAL POST TO THE TRUSS UNDER. AT EACH CROSS POINT, POSTS LONGER THAN 6' TO BE Laterally Braced so that the distance between end points & between rows of bracing does not exceed 6'.

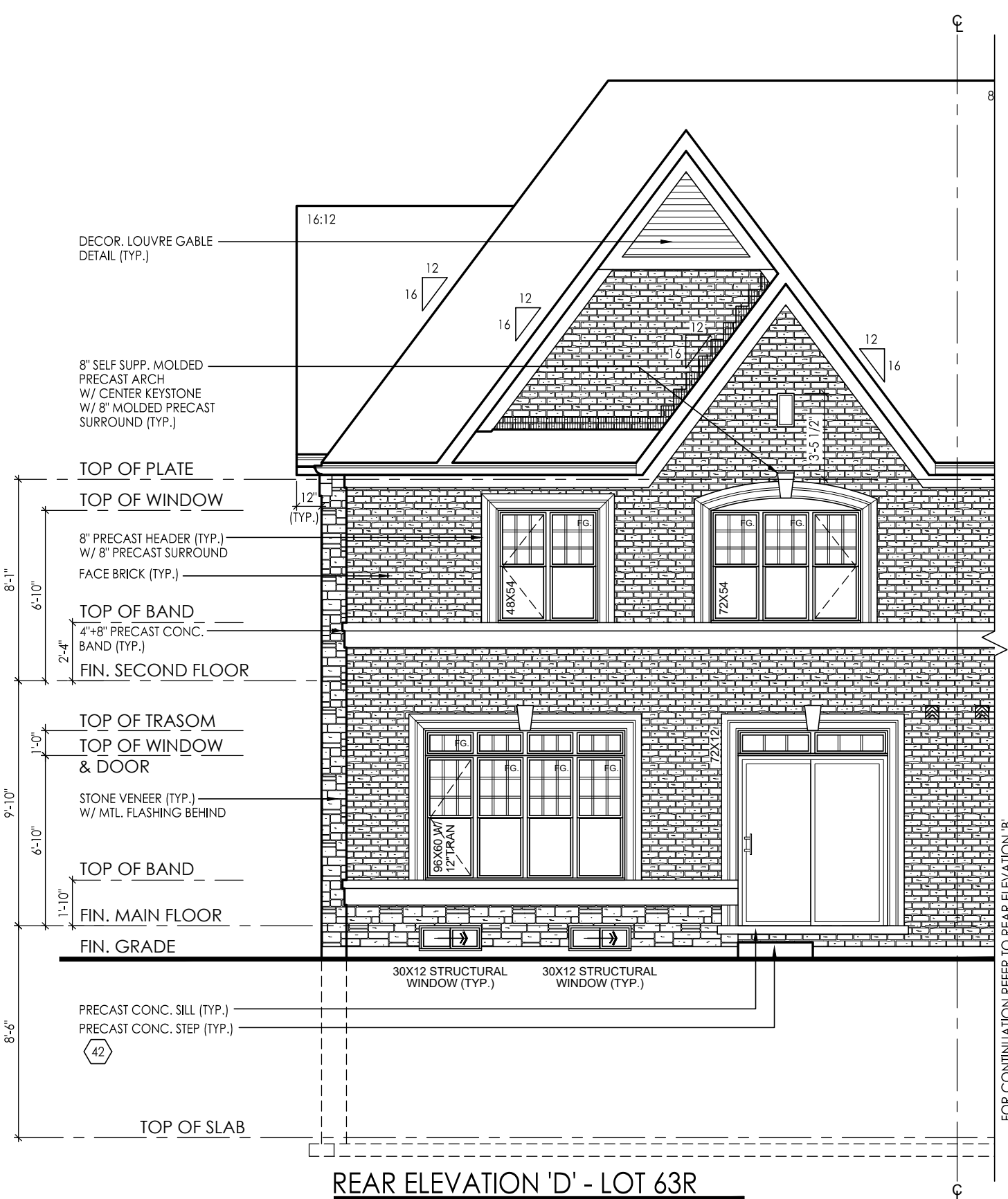
NOTE: REFER TO TRUSS DRAWINGS FOR POSSIBLE MINOR CHANGES DUE TO TRUSS LAYOUT

NOTE: REFER TO STREET-SCAPES FOR POSSIBLE MINOR CHANGES DUE TO GRADING CONDITIONS

PEAK HEIGHT OF ROOF 35'-9"



FRONT ELEVATION 'D' - LOT 63R



REAR ELEVATION 'D' - LOT 63R

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

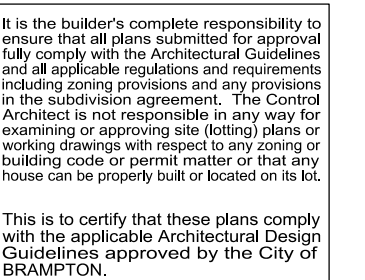
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	2017-08-10	MM	JM
2	REVISED PER FLOOR/TRUSS COORD	31-AUG-17	MM	JM
4	ISSUED FOR PERMIT	4-OCT-17	PV	JM
4	REVISED AS PER ENG COMMENTS, ISSUE FOR PERMIT PH 2	28-AUG-19	to	jm
5				
6				
7				
8				
9				
10				
11				
12				

client	Gold Park Homes
project	Mclaughlin and Mayfield
model	SD-7 Brampton
project #	13098
scale	3/16" = 1'0"
lot(s)	

SIGNATURE:

ky



#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	2017-09-10	MM	JM
2	REVISED PER FLOOR/TRUSS COORD	31-AUG-17	MM	JM
4	ISSUED FOR PERMIT	4-OCT-17	PV	JM
4	REVISED AS PER ENG COMMENTS, ISSUE FOR PERMIT PH 2	28-AUG-19	lo	j/m
5				
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10				
11				
12				



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#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	2017-08-10	MM	JM
2	REVISED PER FLOOR/TRUSS COORD	31-AUG-17	MM	JM
4	ISSUED FOR PERMIT	4-OCT-17	PV	JM
5	ADDED REAR UPGRADE ELEV 'C' FOR LOT 63	3-NOV-17	JM	JM
5	REVISED AS PER ENG COMMENTS, ISSUE FOR PERMIT PH 2	28-AUG-19	lo	jm
6				
7				
8				
9				
10				
11				
12				

client

Gold Park
Homes

project

Mclaughlin and
Mayfield

model

SD-7
Brampton

project #

13098

scale

3/16" = 1'0"

lot(s)

A14