-THERMAL RESISTANCE VALUES BASED ON ZONE 1

FOOTINGS / SLABS:

TYPICAL STRIP FOOTING: O.B.C. 9.15.3. -BASED ON 16'-1"(4.9m) MAX. SUPPORTED JOIST LENGTH -MIN. 2200psi (15MPa) CONCRETE AFTER 28 DAYS -SHALL REST ON UNDISTURBED SOIL, ROCK OR COMPACTED GRANULAR FILL W/ MIN. 10.9psi (75kPa) BEARING CAPACITY FTG. TO HAVE CONTINUOUS KEY

-FIG. SIZES MAY BE REDUCED FOR SOILS W/ GREATER BEARING CAPACITY (AS PER SOILS ENGINEERING REPORT)
-REFER TO WORKING DRAWINGS FOR SPECIFIC SIZES THAT MAY SUPERSEDE NOTES #1 & #2 FOR FOOTING SIZES

TYPICAL STRIP FOOTING: (EXTERIOR WALLS) O EXTEND MIN. 4'-0" (1200mm) BELOW GRADE

BRICK VENEER -1 STOREY - 13" X 4" (330mm X 100mm)
-2 STOREY - 19" X 6" (485mm X 155mm)
-3 STOREY - 26" X 9" (660mm X 230mm) -1 STOREY - 10" X 4" (255mm X 100mm) -2 STOREY - 14" X 4" (360mm X 100mm) -3 STOREY - 18" X 5" (460mm X 130mm)

2 TYPICAL STRIP FOOTING: (INTERIOR BEARING WALLS) O.B.C. 9.15.3.6.

-1 STOREY MASONRY - 16" X 4" (410mm X 100mm -1 STOREY STUD - 12" X 4" (305mm X 100mm -2 STOREY MASONRY - 26" X 9" (450mm X 230mm) -2 STOREY STUD - 18" X 5" (450mm X 130mm 2 STOREY STUD 3 STOREY MASONRY - 36" X 14" (900mm X 360mm) - 3 STOREY STUD - 24" X 8" (600mm X 200mm) 3 STEP FOOTING:

O.B.C. 9.15.3.9. -23 5/8" (600mm) MAX. VERTICAL RISE & 23 5/8" (600mm) MIN. HORIZONTAL

4 DRAINAGE TILE OR PIPE:

-4" (100mm) MIN. DIA. LAID ON UNDISTURBED OR WELL COMPACTED SOIL W/ TOP OF TILE OR PIPE TO BE BELOW BOTTOM OF FLR. SLAB. -COVER TOP & SIDES OF TILE OR PIPE W/ 5 7/8" (150mm) OF CRUSHED STONE OR OTHER COURSE CLEAN GRANULAR MATERIAL TILE SHALL DRAIN TO A SEWER, DRAINAGE DITCH, OR DRY WELL.

O.B.C. 9.13. & 9.16.

-3" (75mm) CONCRETE SLAB -2200nsi (15MPa) AFTER 28 DAYS - O B C 9 16 4 5 -2200psi (15MPa) AFIER 28 DAYS - O.B.C. 9.16.4.5.
-DAMPREOGOF BELOW SLAB W/ MIN, 0.006" (0.15mm) POLYETHYLENE OR
TYPE 'S' ROLL ROOFING W/ 4" (100mm) LAPPED JOINTS.
-DAMPREOGING MAY BE OMITTED IF CONCRETE HAS MIN. 3600psi(25MPa)
-COMPRESSIVE STRENGTH AFIER 28 DAYS
-4" (100mm) OF COURSE GRANULAR MATERIAL

-PROVIDE BOND BREAKING MATERIAL BETWEEN SLAB & FTG.
-WHERE SLAB IS REQUIRED TO BE WATERPROOFED IT SHALL CONFORM TO

FLOOR DRAIN PER O.B.C.9.31.4.4. -FLOOR DRAIN PER O.B.C.Y.3.1.4.4. -R10 (RSI 1.76) INSULATION AT PERIMETER OF SLAB WHERE GRADE IS WITHIN 23-1/2" (600mm) OF BASEMENT SLAB EDGE. INSULATION TO EXTEND TO NOT LESS THAN 23-1/2" (600mm) BELOW EXTERIOR GRADE LEVEL (OBC SB-12 -: UNI ESS IT CAN BE DEMONSTRATED THAT SOIL GAS DOES NOT CONSTITUTE A PROBLEM, SOIL GAS CONTROL SHALL CONFORM TO SUPPLEMENTARY

SLAB ON GROUND:

-3" (75mm) CONCRETE SLAB - O.B.C. 9.16.4.3. -3 (73mm) CONCRETS LAB - O.B.C. . 7.16.4.3.

-2200psi (15MPa) AFTER 28 DAYS - O.B.C. 9.16.4.5.

-DAMPPROOF BELOW SLAB W/ MIN. 0.006" (0.15mm) POLYETHYLENE OR TYPE "S' ROLL ROOFING W/ 4" (100mm) LAPPED JOINTS.

-DAMPPROOFING MAY BE OMITTED IF CONCRETE HAS MIN. 3600psi(25MPa) COMPRESSIVE STRENGTH AFTER 28 DAYS -R10 (RSL 1 76) INSUITATION LINDER ENTIRE SLAB WHERE THE ENTIRE SLAB IS WITHIN 23-1/2" (600mm) OF GRADE. (OBC SB-123.1.1.7.(6))
-4" (100mm) OF COURSE GRANULAR MATERIAL
-PROVIDE BOND BREAKING MATERIAL BETWEEN SLAB & FIG.
-WHERE SLAB IS REQUIRED TO BE WATERPROOFED IT SHALL CONFORM TO

-FLOOR DRAIN PER O.B.C.9.31.4.4. - UNLESS IT CAN BE DEMONSTRATED THAT SOIL GAS DOES NOT CONSTITUTE

A PROBLEM, SOIL GAS CONTROL SHALL CONFORM TO SUPPLEMENTARY

6 GARAGE SLAB / EXTERIOR SLAB: -4"(100mm) CONCRETE SLAB

-4650psi (32MPa) COMPRESSIVE STRENGTH AFTER 28 DAYS FOR UNREINFORCED CONC. & W/ 5-8% AIR ENTRAINMENT - O.B.C. 9.3.1.6. -6"X 6" (W.2-9 X W 2.9) WIRE MESH LOCATED NEAR MID-DEPTH OF SLAB -4" (100mm) OF COURSE GRANULAR MATERIAL -ANY FILL PLACED UNDER SLAB , OTHER THAN COURSE CLEAN GRANULAR MATERIAL, SHALL BE COMPACTED. 7 PILASTERS:

O.B.C. 9.15.5.3.

PILASTER CONCRETE NIB - 4" X 12" (100mm X 300mm) -BLOCK NIB - 4" X 12" (100mm X 300mm) BONDED & TIED TO WALL AS PER O.B.C., 9.20.11.2. TOP 7 7/8" (200mm) SOLID.

BEAM POCKET -4" (100mm) INTO FDN. WALL W/ WIDTH TO MATCH BEAM SIZE. 1/2" (13mm) SPACE AROUND WOOD BEAMS (O.B.C. 9.23.2.2.) -SIZES BASED ON COLUMN SUPPORTING BEAMS CARRYING LOADS FROM

NOT MORE THAN 2 WOOD FRAME FLOORS, WHERE THE LENGTHS OF JOISTS CARRIED BY SUCH BEAMS DO NOT EXCEED 16'-1" (4.9m) AND THE LIVE LOAD ON ANY FLOOR DOES NOT EXCEED 50psf (2.4kPa).

8 STEEL PIPE COLUMN: O.B.C. 9.15.3.4. & 9.17.3.

-MIN. 3 1/2" (90mm) DIA. W/ 3/16" (4.76mm) WALL THICKNESS -FOR STEEL BEAMS, CLIPS @ TOP & MIN, 6" X 4" X 1/4" (152mmX 100mmx 6.35mm) STEEL BTM. PLATE 6.35mm) STEEL BIM. PLAIE
FOR WOOD BEAMS, MIN. 4"X4"X1/4" (100mmX 100mm X 6.35mm) STEEL TOP
8. BTM. PLATES, OR TOP PLATE TO EXTEND MIN. WIDTH OF BEAM
ADJUSTABLE COLUMNS TO CONFORM TO CANI/CGSB-7.2-M WHERE
IMPOSED LOAD DOES NOT EXCEED 36 KN (O.B.C. 9.17.3.4.) COL. SPACING:

-MAX. 9'-10" (2997mm) - 34" X 34" X 16" mX 860mmX 400mm) - 44" X 44" X 21" - (1120mmX 1120mmX 530mm) -MAX. 16'-0" (4880mm)

-MAX. 9'-10" (2997mm) - 40" X 40" X 19" mX 1010mmX 480mm) -MAX, 16'-0" (4880mm) - 51" X 51" X 24" mX 1295mmX 610mm) -WHERE COL. SITS ON FDN. WALL, USE 4" X 8" X 5/8" (100mmX 200mmX 16mm) STEEL PLATE WITH 2-5/8" (16mm) ANCHOR BOLTS

9 WOOD COLUMN:

OBC 9.17.4.1 . 9.17.4.2. & 9.17.4.3. -5 1/2" x 5 1/2" (140mm x 140mm) SOLID WOOD COLUMN - OR -3 /2 × 3 /2 (140Hill) X 140Hill) SOLD WOOD COLUMN - 0 K -3-2"xK" (38mm x 140mm) BUILT UP COLUMN NAILED TOGETHER W/3" (76mm) NAILS SPACED NOT MORE THAN 12" (300mm) APART OR TOGETHER W/3/8"(9.52mm) DIA BOLTS SPACED AT 18" (450mm) O.C. WRAP COLUMN BASE W/ 6 MIL POLY -COLUMN TO SIT DIRECTLY ON CONC PAD (NOT ON CONC SLAB)

-25"x25"x12" (640mm x 640mm x 300mm) CONC PAD (1 FLOOR SUPPORTED W/9'-10" COL SPACING) -34"x34"x14" (860mm x 860mm x 360mm) CONC PAD (2 FLOORS SUPPORTED

D BLOCK PARTY WALL BEAM END BEARING: (WOOD BEAM / GIRDER TRUSSES) -2"X8"X12" LEDGER BOARD FASTENED W/ 2/ 1/2" ANCHOR BOLTS @ 4" O.C. -WHERE WOOD BEAMS BEAR ON FIREWALLS USE GENERAL NOTE 11 WHERE REQUIRED TO OBTAIN 5" SEPARATION DISTANCE

BETWEEN ADJACENT BEAMS BLOCK PARTY WALL BEAM END BEARING: (STEEL BEAM)

12"X11"X 5/8" STL. PLATE ON TOP OF SOLID CONCRETE BLOCK WITH 2- 1/2"Ø x8" ANCHOR BOLTS. WALL ASSEMBLIES:

14 FOUNDATION WALL:

O.B.C. 9.15.4.2. -FOR WALLS NOT EXCEEDING 8'-2" (2500mm) IN LATERALLY SUPPORTED HEIGHT. -8" (200mm) SOLID 2200psi (15MPa) CONCRETE -0 (2001111) SOUID 2200931 (1997G) CONCRETE -MAX. UNSUPPORTED HEIGHT OF 3"-11" (1200mm) & MAX. SUPPORTED HEIGHT OF 7"-0" (2150mm) MEASURED FROM GRADE TO FINISHED BASEMENT FLOOR. -FOR WALLS NOT EXCEEDING 9"-0" (2750mm) IN LATERALLY SUPPORTED HEIGHT. -10" (250mm) SOLID 2200psi (15MPa) CONCRETE -10 (2301111) 200151 (200151 (13011°C) CONCRETE
-10 (2301111) 2011 220051 (13011°C) (140011) & MAX. SUPPORTED HEIGHT
OF 8'-6" (2600111) MEASURED FROM GRADE TO FINISHED BASEMENT FLOOR.
-LATERAL SUPPORT PROVIDED BY ANCHORED SILL PLATE TO JOISTS.

-FOR CONDITIONS EXCEEDING THESE MAXIMUMS AN ALTERNATIVE IN CONFORMANCE TO O.B.C.- T.9.15.4.2.A SHALL BE USED OR IT SHALL BE DESIGNED UNDER O.B.C.- PART 4 -WALL SHALL EXTEND A MIN. 5 7/8" (150mm) ABOVE GRADE

-INSULATE W/ R20 (RSI 3.52) CONTINUOUS INSULATION FROM UNDERSIDE OF SUBFLOOR TO NOT MORE THAN 8" (200mm) ABOVE FINISHED FLOOR OF ASSEMENT (ZONE 1 OBC SB-12 T.3.1.1.2.A.)

- ALTERNATE INSULATION METHOD: 2" (51mm) R10 (RSI 1.76)RIGID INSULATION W/ 2"x4"(38mm X 89mm) WOOD STUD W/ R12 (RSI 2.11) BATT INSULATION

-BACK FILL W/ NON-FROST SUSCEPTIBLE SOIL
THESE DRAWINGS ARE NOT TO BE SCALED. ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR PRIOR TO COMMENCEMENT OF ANY WORK ANY DISCREPANCIES MUST BE REPORTED DIRECTLY TO RN DESIGN LTD REDUCTION OF THICKNESS:

WHERE THE TOP OF THE FOUNDATION WALL IS REDUCED IN THICKNESS TO ALLOW MASONRY FACING, THE MIN. REDUCED THICKNESS SHALL NOT BE LESS THAN 3-1/2" (90mm) THICK.

THE TO FACING MATERIAL WITH METAL TIES SPACED MAX. @ 7 7/8" (200mm)
VERTICALLY O.C. & 2-11" (900mm) HORIZONTALLY.
-FILL SPACE BETWEEN WALL AND FACING SOLID W/ MORTAR
-WHERE WALL IS REDUCED FOR JOISTS, THE REDUCED THICKNESS SHALL BE MAX. 13-3/4" (350mm) HIGH & MIN. 3-1/2" (90mm) THICK DAMPPROOFING & WATERPROOFING:

DAMPPROOF THE EXTERIOR FACE OF WALL BELOW GRADE AS PER O.B.C. FINISHED BASEMENTS SHALL HAVE INTERIOR DAMPPROOFING EXTENDING

FROM SLAB TO GRADE LEVEL & SHALL CONFORM TO O.B.C. 9.13.3.3.(3) WHERE HYDROSTATIC PRESSURE OCCURS, FDN. WALLS SHALL BE WATERPROOFED AS PER O.B.C. 9.13.3.
WALLS THAT ARE WATERPROOFED DO NOT REQUIRE DAMPPROOFING.

2-20M BARS IN TOP PORTION OF WALL (LIP TO 8'-0" OPENING) -2-20M BARS IN TOP PORTION OF WALL (B*-0" TO 10"-0" OPENING) -3-20M BARS IN TOP PORTION OF WALL (8"-0" TO 10"-0" OPENING) -4-20M BARS IN TOP PORTION OF WALL (10"-0" TO 15"-0" OPENING) -BARS STACKED VERTICALLY AT INTERIOR FACE APPROX 4" TO 6" APART. -BARS TO HAVE MIN. 2" (50mm) CONCRETE COVER -BARS TO EXTEND 2'-0" (600mm) BEYOND BOTH SIDES OF OPENING.

15 FRAME WALL CONSTRUCTION: O.B.C. 9.23. -SIDING OR STUCCO AS PER ELEVATIONS, MIN. 7 7/8" (200mm) FROM FINISHED GRADE (O.B.C. 9.28.1.4. & 9.27.)
-WALL SHEATHING MEMBRANE AS PER O.B.C. 9.27.3.2. - TVALL STEATHING MEMORANCE AS FER 10.2.1. 7.27.3.2.

1/4" (6mm) PLYWOOD (EXTERIOR TYPE) OR EQUIVALENT AS PER O.B.C. 9.23.16.

-2" X 6" (38mm X 140mm) WOOD STUDS @ 1.6" (400mm) O.C.

-MIN, R22 (RS1 3.87) INSULATION (2008 1. OBC S8-12 T.3.1.1.2.A.)

-CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C. 9.25.3. & 9.25.4..

1/2" (12.7mm) GYPSUM BOARD NOTE - SUPPORT FOR 3 FLOORS ABOVE - O.B.C. T.9.23.10.1. = -FOR 3 FLOORS SUPPORTED ABOVE, 2" X 6" (38mmX 140mm) STUDS ARE REQUIRED TO BE SPACED @ 12" (300mm) O.C.

REQ. FOR FIRE RATING (LESS THAN 4'-0" LIMITING DISTANCE):

O.B.C. SB-3 WALL = EW1b (STC = N/A, FIRE = 45 MIN) -REPLACE R22 (RSI 3.87) INSULATION WITH R22 (RSI 3.87) ABSORPTIVE

INSULATING MATERIAL WITH A MASS OF AT LEAST 4.8 kg/ sq.m.
-REPLACE 1/2" (12.7mm) INTERIOR GYPSUM BOARD WITH 1/2" (12.7mm) TYPE
'X' GYPSUM BOARD. REQ. FOR FIRE RATING (LESS THAN 2'-0" LIMITING DISTANCE): REFER TO REQUIREMENTS FOR LESS THAN 4'-0" LIMITING DISTANCE AND ADD/REPLACE THE FOLLOWING: -NON-COMBUSTABLE SIDING OR STUCCO AS PER ELEVATIONS (REFER TO

(ANUFACTURER'S SPECIFICATIONS) (INIYL SIDING IS PERMITTED PER O.B.C. 9.10.15.5.(3). OVER 1/2" (12.7mm) SYPSUM EXTERIOR SHEATHING WHICH REPLACES EXTERIOR PLYWOOD OR EQUIV.

150 ALTERNATE FRAME WALL CONSTRUCTION: -SIDING OR STUCCO AS PER ELEVATIONS, MIN. 7 7/8" (200mm) FROM FINISHED

GRADE (O.B.C. 9.28.1.4. & 9.27.) 1 1/2" (38mm) R8 (RSI 1.41) RIGID INSULATION W/ TAPED JOINTS (O.B.C. RACE W/ CONT., 16 GAUGE STEEL 'T' BRACES FROM TOP PLATE TO BTM. PLATE -DRACE MY CONT. 16 GAUGE STEEL 1 BRACES FROM 10P PLATE TO BIM, PLATE FOR THE FULL LENGTH OF WALL, OR CONT. 2" X "(38mmX 89mm) SOLID WOOD BLOCKING @ APPROXIMATELY 45 DEG. FROM TOP PLATE TO BTM. PLATE FOR -2" X 4" (38mmX 89mm) WOOD STUDS @ 16" (400mm) O.C. @ 12" (300mm) O.C.

N BOTTOM FLR. WHEN 3 STOREYS. NUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C.- 9.25.3. &

7.23.4. -1/2" (12.7mm) GYPSUM BOARD. NOTE - SUPPORT FOR 2 + 3 FLOORS ABOVE - O.B.C. T.9.23.10.1. = -FOR 2 FLOORS SUPPORTED ABOVE, 2" X 4" (38mmX 89mm) STUDS ARE REQUIRED TO BE SPACED @ 12" (300mm) O.C. -FOR 3 FLOORS SUPPORTED ABOVE, 2" X 6" (38mmX 140mm) STUDS ARE REQUIRED TO BE SPACED @ 12" (300mm) O.C.

REQ. FOR FIRE RATING (LESS THAN 4'-0" LIMITING DISTANCE):

O.B.C. SB-3 WALL = EW1b (STC = N/A, FIRE = 45 MIN)

FOR 45 MINUTE FIRE RATED WALL REQUIREMENTS SUBSTITUTE AND/OR ADD THE FOLLOWING MATERIALS: ADD 1/4" (6mm) PLYWOOD (EXTERIOR TYPE) OR EQUIVALENT AS PER O.B.C. 9.23.16. BETWEEN RIGID INSULATION AND WOOD STUD -REPLACE R14 (RSI 2.46) INSULATION WITH R14 (RSI 2.46) ABSORPTIVE INSULATING MATERIAL WITH A MASS OF AT LEAST 2.8 kg/ sq.m.
-REPLACE 1/2"(12.7mm) GYPSUM BD. W/ 1/2" (12.7mm) TYPE 'X' GYPSUM BD.

REQ. FOR FIRE RATING (LESS THAN 2'-0" LIMITING DISTANCE): -REFER TO REQUIREMENTS FOR LESS THAN 4'-0" LIMITING DISTANCE AND ADD/REPLACE THE FOLLOWING:
-NON-COMBUSTABLE SIDING OR STUCCO AS PER ELEVATIONS (REFER TO

MANUFACTURER'S SPECIFICATIONS). -VINYL SIDING IS PERMITTED PER O.B.C. 9.10.15,5.(3). OVER SHEATHING PAPER OVER 1/2" (12.7mm) GYPSUM EXTERIOR SHEATHING ON EXTERIOR SIDE OF RIGID

15b FRAME WALL CONSTRUCTION @ GARAGE:

O.B.C. 9.23.
-SIDING OR STUCCO AS PER ELEVATIONS, MIN. 7 7/8" (200mm) FROM FINISHED GRADE (O.B.C. 9.28.1.4. & 9.27.)
-WALL SHEATHING MEMBRANE AS PER O.B.C. 9.27.3.2. /4" (6mm) PLYWOOD (EXTERIOR TYPE) OR EQUIVALENT AS PER O.B.C.

-2" X 4" (38mmX 89mm) WOOD STUDS @ 16" (400mm) O.C. 1/2" (12.7mm) GYPSUM BOARD NOTE - SUPPORT FOR 2 + 3 FLOORS ABOVE - O.B.C. T.9.23.10.1. = -FOR 2 FLOORS SUPPORTED ABOVE, 2" X 4" (38mmX 89mm) STUDS ARE REQUIRED TO BE SPACED @ 12" (300mm) O.C. -FOR 3 FLOORS SUPPORTED ABOVE, 2" X 6" (38mmX 140mm) STUDS ARE REQUIRED TO BE SPACED @ 12" (300mm) O.C.

REQ. FOR FIRE RATING (LESS THAN 4'-0" LIMITING DISTANCE):

O.B.C. SB-3 WALL = EW1b (STC = N/A, FIRE = 45 MIN) FOR 45 MINUTE FIRE RATED WALL REQUIREMENTS SUBSTITUTE AND/OR ADD ADD ABSORPTIVE MATERIAL WITH A MASS OF AT LEAST 2.8 kg/ sa.m

REPLACE 1/2"(12.7mm) GYPSUM BD. W/ 1/2" (12.7mm) TYPE X" GYPSUM BD. REQ. FOR FIRE RATING (LESS THAN 2'-0" LIMITING DISTANCE): -REFER TO REQUIREMENTS FOR LESS THAN 4'-0" LIMITING DISTANCE AND -REFER TO REQUIREMENTS FOR EACH TO A CONTROL OF THE FOLLOWING:
-NON-COMBUSTABLE SIDING OR STUCCO AS PER ELEVATIONS (REFER TO

VINYL SIDING IS PERMITTED PER O.B.C. 9.10.15. PAPER OVER 1/2" (12.7mm) GYPSUM EXTERIOR SHEATHING WHICH REPLACES

16 BRICK VENEER CONSTRUCTION:

-3-1/2" (90mm) FACE BRICK OR 4" (100mm) STONE @ 36'-1" (11m) MAX. MIN. 0.03" (0.76mm) THICK, 7/8" (22mm) WIDE CORROSION RESISTANT STRAPS @ MAX. 15 3/4" (400mm) O.C. HORIZONTAL & 23 5/8" (600mm) O.C. -PROVIDE WEEP HOLES @ 2'-7" (800mm)O.C. @ BTM. COURSE & OVER

-BASE FLASHING UP TO 5 7/8" (150mm) BEHIND WALL SHEATHING MEMBRANE (O.B.C. 9.20.13.6 (2).) -BRICK OR STONE SILLS UNDER OPENINGS, FLASHING UNDER 1" (25mm) AIR SPACE -WALL SHEATHING MEMBRANE AS PER O B C 9 27 3 2

1/4" (6mm) PLYWOOD (EXTERIOR TYPE) OR EQUIVALENT AS PER O.B.C. -2" X 6" (38mmX 140mm) WOOD STUDS @ 16" (400mm) O.C. MIN. R22 (RSI 3.87) INSULATION (ZONE 1. OBC SB-12 T.3.1.1.2.A.) -CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C.- 9.25.3.

-1/2" (12.7mm) GYPSUM BOARD NOTE - SUPPORT FOR 3 FLOORS ABOVE - O.B.C. T.9.23.10.1. = FOR 3 FLOORS SUPPORTED ABOVE, 2" X 6" (38mmX 140mm) STUDS ARE REQUIRED TO BE SPACED @ 12" (300mm) O.C

REQ. FOR FIRE RATING (LESS THAN 4'-0" LIMITING DISTANCE): O.B.C. SB-3 WALL = EW1b (STC = N/A, FIRE = 45 MIN) FOR 45 MINUTE FIRE RATED WALL REQUIREMENTS SUBSTITUTE AND/OR ADD THE FOLLOWING MATERIALS: -REPLACE R22 (RSL 3.87) INSULATION WITH R22 (RSL 3.87) ARSORPTIVE NSULATING MATERIAL WITH A MASS OF AT LEAST 4.8 kg/ sq.m.

-REPLACE 1/2"(12.7mm) GYPSUM BD. W/ 1/2" (12.7mm) TYPE 'X' GYPSUM BD.

160 ALTERNATE BRICK VENEER CONSTRUCTION:

3-1/2" (90mm) FACE BRICK OR 4" (100mm) STONE @ 36'-1" (11m) MAX. -PROVIDE WEEP HOLES @ 2'-7" (800mm)O.C. @ BTM. COURSE & OVER

BASE FLASHING UP TO 5 7/8" (150mm) BEHIND WALL SHEATHING MEMBRANE BRICK OR STONE SILLS UNDER OPENINGS, FLASHING UNDER 1 1/2" (38mm) R8 (RSI 1.41) RIGID INSULATION W/ TAPED JOINTS (O.B.C.

-2" X 4" (38mmX 89mm) WOOD STUDS @ 16" (400mm) O.C. @ 12" (300mm) D.C. ON BOTTOM FLR. WHEN 3 STOREYS BRACE W/ CONT. 16 GAUGE STEEL 'T' BRACES FROM TOP PLATE TO RTM PDATE FOR THE FULL LENGTH OF WALL, OR

-CONT. 2" X 4" (38mmX 89mm) SOLID WOOD BLOCKING @ APPROXIMATELY
45 DEG. FROM TOP PLATE TO BTM. PLATE FOR FULL LENGTH OF WALL CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C.- 9.25.3. &

1/2" (12.7mm) GYPSUM BOARD

-1/2" (12.7mm) GYPSUM BOARD

NOTE - SUPPORT FOR 2 + 3 FLOORS ABOVE - O.B.C. T.9.23.10.1. =

-FOR 2 FLOORS SUPPORTED ABOVE, 2" X 4" (38mmX 89mm) STUDS ARE
REQUIRED TO BE SPACED @ 12" (300mm) O.C.

-FOR 3 FLOORS SUPPORTED ABOVE, 2" X 6" (38mmX 140mm) STUDS ARE
REQUIRED TO BE SPACED @ 12" (300mm) O.C.

$\underline{\sf REQ.}$ FOR FIRE RATING (LESS THAN 4'-0" LIMITING DISTANCE):

O.B.C. SB-3 WALL = EW1b (STC = N/A, FIRE = 45 MIN) FOR 45 MINUTE FIRE RATED WALL REQUIREMENTS SUBSTITUTE AND/OR ADD THE FOLLOWING MATERIALS: -ADD 1/4" (6mm) PLYWOOD (EXTERIOR TYPE) OR EQUIVALENT AS PER O.B.C. 9.23.16, BETWEEN RIGID INSULATION AND WOOD STUD REPLACE R14 (RSI 2.46) INSULATION WITH R14 (RSI 2.46) ABSORPTIVE NSULATING MATERIAL WITH A MASS OF AT LEAST 2.8 kg/ sq.m.
REPLACE 1/2"(12.7mm) GYPSUM BD. W/ 1/2" (12.7mm) TYPE 'X' GYPSUM BD.

(16b) BRICK VENEER CONSTRUCTION @ GARAGE: O.B.C. 9.23.

-3-1/2" (90mm) FACE BRICK OR 4" (100mm) STONE @ 36'-1" (11m) MAX. -MINI. 0.03" (0.76mm) THICK, 7/8" (22mm) WIDE CORROSION RESISTANT STRAPS @ MAX. 15 3/4" (400mm) O.C. HORIZONTAL & 23 5/8" (600mm) O.C. VERTICAL SPACING -PROVIDE WEEP HOLES @ 2'-7" (800mm) O.C. @ BTM. COURSE & OVER -BASE FLASHING UP TO 5 7/8" (150mm) BEHIND WALL SHEATHING

MEMBRANE (O.B.C. 9.20.13.6.(2))

-BRICK OR STONE SILLS UNDER OPENINGS, FLASHING UNDER
-1" (25mm) AIR SPACE 1" (25mm) Air Syace Wall Sheathing Membrane as Per O.B.C., 9,27,3,2. 1/4" (6mm) Plywood (exterior Type) or equivalent as Per O.B.C.

-2" X 4" (38mmX 89mm) WOOD STUDS @ 16" (400mm) O.C. -2 A+ (Solithia Arthur) MCD Study & 1 (Account) O.C.
-1/2" (12.7mm) GYPSUM BOARD
NOTE - SUPPORT FOR 2 + 3 FLOORS ABOVE - O.B.C. T.9.23.10.1. =
-FOR 2 FLOORS SUPPORTED ABOVE, 2" X 4" (38mmX 89mm) STUDS ARE
REQUIRED TO BE SPACED @ 12" (300mm) O.C.
-FOR 3 FLOORS SUPPORTED ABOVE, 2" X 6" (38mmX 140mm) STUDS ARE REQUIRED TO BE SPACED @ 12" (300mm) O.C. REQ. FOR FIRE RATING (LESS THAN 4'-0" LIMITING DISTANCE):

O.B.C. SB-3 WALL = EWI b (STC = N/A, FIRE = 45 MIN) FOR 45 MINUTE FIRE RATED WALL REQUIREMENTS SUBSTITUTE AND/OR ADD the following materials: -ADD R15 (RSI 2.64) ABSORPTIVE MATERIAL WITH A MASS OF AT LEAST 2.8 kg/ REPLACE 1/2"(12.7mm) GYPSUM BD. W/ 1/2" (12.7mm) TYPE 'X' GYPSUM BD.

INTERIOR STUD WALLS: O.B.C. T.9.23.10.1. -2" X 4" (38mmX 89mm) WOOD STUDS @ 16" (400mm) O.C. OR -2" X 6" (38mmX 140mm) WOOD STUDS @ 16" (400mm) O.C. W. DOUBLE 2" X 4" OR 2" X 6" TOP PLATES AND SINGLE BOTTOM PLATE

1/2" (12.7mm) GYPSUM BOARD BOTH SIDES. BEARING STUD WALL (BASEMENT): 2" X 4" (38mmX 89mm) WOOD STUDS @ 16" (400mm) O.C. OR 22 X 4" (3611111A 9711111) WOOD STUDS @ 16" (4001111) O.C. UK 2"X 6" (38mmX 140mm) WOOD STUDS @ 16" (400mm) O.C. W/ - DBL, 2" X 4" OR 2" X 6" TOP PLATE. - 2" X 4" OR 2" X 6" BOTTOM PLATE ON DAMPPROOFING MATERIAL

-1/2" (12.7mm) GYPSUM BOARD BOTH SIDES. -1/2" (12.7mm) DIA. ANCHOR BOLTS @ 7'-10" (2400mm) O.C. -FOOTING AS PER GENERAL NOTE #2 W/ 4" CONC. CURB PARTY WALL - BLOCK: O.B.C. SB-3 WALL = B6e (STC = 57, FIRE = 2 HR)
MIN. 1HR FIRE-RESISTANCE PATING CONTRIBUTIONS OBJOINED WALE - BORGER STATE OF THE TEXT O

1/2" (12.7mm) GYPSUM BOARD W/ TAPED JOINTS BOTH SIDES -2" X 2" (38mmX 38mm) WOOD STRAPPING @ 24" (600mm) O.C. BOTH ABSORPTIVE MATERIAL ON BOTH SIDES FILLING A MINIMUM OF 90% OF THE

-7 1/2" (190mm) HOLLOW BLOCK (NORMAL WEIGHT AGGREGATE) STAGGER JOISTS & BEAMS MIN. 3 1/2" (90mm) @ PARTY WALLS AS PER O.B.C. 9.10.9.9.(1) & TABLE 2.1.1. SB-2
-ACOUSTICAL SEALANT AS PER O.B.C. SB-3 (NOTE (2) TO TABLE 1) PARTY WALL - BLOCK (AGAINST GARAGE):

O.B.C. SB-3 WALL = B5c (STC = 51, FIRE = 2 HR)
-MIN. 1HR FIRE-RESISTANCE RATING CONTINUOUS -1/2" (12.7mm) GYPSUM BOARD -CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C.- 9.25.3. & 9.25.4. 2" X 6" (38mmX 140mm) WOOD STRAPPING @ 16" (400mm) O.C. REZE (RSI 3.52) RIGID INSULATION
7 1/2" (190mm) HOLLOW BLOCK (NORMAL WEIGHT AGGREGATE)
1/2" (12.7mm) GYPSUM BOARD @ WALL & U/S OF CEILING BETWEEN

HOUSE AND GARAGE TAPE AND SEAL ALL JOINTS GAS TIGHT O.B.C. 9.10.11. & 3.1.10. & SB-3 WALL = B6e (STC = 57, FIRE = 2 HR)

ONE FIREWALL IS REQUIRED FOR EVERY 6460 S.F. (600 SQ.M) OF BUILDING AREA, O.B.C. T.3.2.2.47.
-1/2" (12.7mm) GYPSUM BOARD W/ TAPED JOINTS 2" X 2" (38mmX 38mm) WOOD STRAPPING @ 24" (600mm) O.C. ON BOTH SIDES SOUND ABSORPTIVE MATERIAL EACH SIDE FILLING 90% OF THE CAVITY -7 1/2" (190mm) CONC. BLOCK, MIN. 2 HR. FIRE-RESISTANT RATING -EVERY FIREWALL SHALL BE CONTINUOUS THROUGH ALL BUILDING STOREYS -STAGGER JOISTS & BEAMS MIN. 5" (130mm) @ FIRE WALLS AS PER O.B.C. 9.10.9.9.(1) & TABLE 2.1.1 SB-2 ACOUSTICAL SEALANT AS PER O.B.C. SB-3 (NOTE (2) TO TABLE 1) -PROTRUDE PAST FASCIA @ EAVES W/ BRICK CORBELLING
-EXTEND 5 7/8" (150mm) ABOVE ROOF SURFACES & HAVE ALUMINUM CAP W/
THROUGH WALL FLASHING PER O.B.C. 3.1.10.4.(1) WHERE THE DIFFERENCE IN HEIGHT BETWEEN ADJACENT ROOFS IS GREATER THAN 9'10" (3m), WALL NEED NOT EXTEND PAST UPPER ROOF SURFACE PER

O.B.C. 3.1.10.4.(2)

(20) PARTY WALL - FOUNDATION:
O.B. C. 9.15.4.2.
-77/8" (200mm) SOLID CONC. FOUNDATION WALL @ 2200psi (15MPa)
COMPRESSIVE STRENGTH AFTER 28 DAYS
-FOUNDATION WALL TO REST ON FOOTING PER GENERAL NOTE #2

\spadesuit 21 PARTY WALL - WOOD STUD (TYPICAL): O.B.C. SB-3 WALL = W15c (STC = 61, FIRE = 1 HR)

-MIN. 1HR FIRE-RESISTANCE RATING CONTINUOUS FROM TOP OF FOOTINGS TO THE U/S OF ROOF DECK 2" X 4" (38mmX 89mm) BOTTOM PLATE & SEPARATE DOUBLE 2" X 4" (38mmX 89mm) TOP PLATES -SOUND ABSORPTIVE MATERIAL ON BOTH SIDES FILLING A MINIMUM O -2 LAYERS OF GYSUM ON BOTH SIDES (as follows)

-1st LAYER - 5/8" (16mm) TYPE 'X' GYPSUM BOARD BOTH SIDES W/ JOINTS TAPED & FILLED. -ACOUSTIC GREEN GLUE b/w GYPSUM 1st & 2nd LAYERS -2nd LAYER - 1/2" (12mm) REGULAR GYSUM BOARD BOTH SIDES W/ JOINTS TAPED & FILLED -ACOUSTICAL SEALANT AS PER O.B.C. SB-3 (NOTE (2) TO TABLE 1)

NOTE - SUPPORT FOR 2 + 3 FLOORS ABOVE - O.B.C. T.9.23.10.1. = -FOR 2 FLOORS SUPPORTED ABOVE, 2" X 4" (38MMX 89MM) STUDS ARE REQUIRED TO BE SPACED @ 12" (300MM) O.C. -FOR 3 FLOORS SUPPORTED ABOVE, 2" X 6" (38MMX 140MM) STUDS AR REQUIRED TO BE SPACED @ 12" (300MM) O.C. - IE 2"X6" STUDS ARE USED AT STAIR OPENING CONTINUE TO US ON REMAINING FLOORS AT THE STAIR OPENING AT 16" O.C.

22 GARAGE WALL & CEILING:

O.B.C. 9.10.9.16.(3) 1/2" (12.7mm) GYPSUM BOARD ON BOTH SIDES OF WALL & U/S OF -172 (12.7)HING IT SUM BOARD ON BOTH CEILING BETWEEN HOUSE AND GARAGE -TAPE AND SEAL ALL JOINTS GAS TIGHT -R22 (RSI 3.87) INSULATION IN WALLS, -R22 (RS) 3.87) INSULATION IN WALLS, -R31 (RS) 5.41) INSULATION IN CEILINGS W/ FLOOR ABOVE -CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C.-9.25.3. & 9.25.4., FOR FLOOR ABOVE. -INSULATION AROUND DUCTS AND PIPING NOT TO ENCROACH MIN. REQUIRED GARAGE AREA (REFER TO MUNICIPAL STANDARDS). 1/2" (12.7mm) GYPSUM BOARD POOF FRAMING MEMBERS ARE FASTENED TO TOP PLATES WITH -ROUF FRANKING MEMBERS ARE LASTENED TO TOTALES THE ASSETTION ALLS -BOTTOM PLATES ARE FASTENED TO FLOOR JOISTS, BLOCKING OR RIM JOIST WITH 3 1/4" (82mm) NAILS AT 7 7/8" (200mm) O.C.

WALLS ADJACENT TO ATTIC SPACE: -1/2" (12 7mm) CYPSUM 6.7 (12.7mm) GYPSUM BOARD NTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C.-

9.25.3. & 9.25.4. 2" X 6" (38mmX 140mm) WOOD STUDS @ 16" (400mm) O.C. R22 (RSI 3.87) INSULATION GYPSUM BOARD OR 1/4" (6mm) PLYWOOD SHEATHING ON ATTIC SIDE.

-ATTIC ACCESS TO BE PROVIDED AS PER O.B.C. 9.19.2.1.

DOUBLE VOLUME WALLS: O.B.C. 9.23.10.1.

-3/8" (9.5mm) PLYWOOD, OSB OR WATERBOARD SHEATHING -REFER TO PLAN FOR STUD SPECIFICATION STUDS FASTENED AT TOP & BOTTOM WITH 3/ 3-1/4" (82mm) TOF NAILS DOUBLE TOP PLATES E -MIN. R22 (RSI 3.87) INSULATION (ZONE 1 OBC SB-12 T.3.1.1.2.A.) CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE WITH O.B.C 9.25.3. & 9.25.9.

(33) CONVENTIONAL FRAMING: 24 EXPOSED FLOOR:

OUR BARRIER IN CONFORMANCE W/ O.B.C.- 9.25.3. & 9.25.4.

O.B.C. TABLE A6 OR A7

RAFTERS & MIN. 1 1/2" (38mm) THICK.

GENERAL. 35 PRIVATE STAIRS:

-MIN. RUN

-MIN. TREAD

-MAX. NOSING

ANGLED TREADS:

-MIN. AVG. RUN

HEIGHT: O.B.C. 9.8.7.4

WIDTH OF THE STAIR

O.B.C. 9.8.4.

PUBLIC STAIRS:

-MAX. RISE

-MIN. RUN

MIN. TREAD

-MIN. WIDTH

HANDRAILS:

DIRECTION

O.B.C. 9.8.7

HEIGHT: O.B.C. 9.8.7.4

PROJECTIONS: O.B.C. 9.8.7.6

TERMINATION: O.B.C. 9.8.7.3

O.B.C. 9.8.9.6

(36) <u>INTERIOR GUARDS:</u> O.B.C. SB-7 & 9.8.8.3.

360 EXTERIOR GUARDS:

FROM DEFECTS PER OBC 9.8.9.6.(4)

O.B.C. SB-7 & 9.8.8.3.

Sob EXTERIOR GUARDS @ JULIET BALCONY:

-PICKETS TO HAVE 4" (100mm) MAX. SPACING -PROVIDE MID-SPAN POSTS AS PER SB-7.

37 -LINEN CLOSET 4 SHELVES MIN. 1'-2" (350mm) DEEP

 $\langle 40 \rangle$ -1"X2" (19mmX38mm) BOTH SIDES OF STEEL.

CONCRETE W/ 6 mil POLYETHYLENE.

HANDRAILS:

2"X4" (38mm X 89mm) COLLAR TIES AT MIDSPANS

(34) ATTIC ACCESS HATCH:

OBC 9.19.2.1. & SB-12 3.1.1.8.(1)

-19 3/4" X 27 1/2" (500mm X 700mm) ATTIC HATCH WITH

WEATHERSTRIPPING & BACKED W/ R20 (RSI 3.52) INSULATION.

-MAX. NOSING = 1" (25mm)
-MIN. HEADROOM = 6'-5" (1950mm)
-MIN. WIDTH = 2'-10" (860mm)
(BETWEEN WALL FACES)
-MIN. WIDTH = 2'-11" (900mm)
(EXIT STAIRS, BETWEEN GUARDS)

- 2'-10" (865mm) MIN. TO 3'-2" (965mm) MAX.

-2" X 6" (38mm X 140mm) RAFTERS @ 16" (400mm) O.C. MAX. SPAN 12'-9"

-2 A4 (BOITINE A OFFINITY COLLEGE ITS AT MIDSTAINS)

-CEILING JOISTS TO BE 2" X 6" (38mmX 140mm) @ 16" (400mm) O.C.

UNLESS OTHERWISE NOTED.

-HIP & VALLEY RAFTERS TO BE MIN. 2" (50mm) LARGER THAN COMMON

= 7-7/8" (200mm

= 8-1/4" (210mm)

= 9-1/4" (235mm)

= 5 7/8" (150mm) = 7 7/8" (200mm)

-FOUND, WALL REQUIRED WHEN NUMBER OF RISERS EXCEEDS 2

-FTG. FOR FOUND. WALL TO BE MIN. 4'-0" (1220mm) BELOW GRADE

- 3'-6" (1070mm) WHERE GUARDS ARE REQUIRED ON LANDINGS

MEASURED VERTICALLY FROM THE TOP OF THE HANDRAIL TO A

STRAIGHT LINE DRAWN FROM THE TANGENT TO THE TREAD NOSING

= 7-3/32" (180mm)

(EXIT STAIRS, BETWEEN GUARDS)
-FINISHED RAILING ON WOOD PICKETS MAX. 4" BETWEEN PICKETS

-FOUND. WALL REQUIRED WHEN NUMBER OF RISERS EXCEEDS 2

- 2'-10" (865mm) MIN. TO 3'-2" (965mm) MAX. - 3'-6" (1070mm) WHERE GUARDS ARE REQUIRED ON LANDINGS) - MEASURED VERTICALLY FROM THE TOP OF THE HANDRAIL TO A

STRAIGHT LINE DRAWN FROM THE TANGENT TO THE TREAD NOSING

- HANDRAILS AND PROJECTIONS BELOW HANDRAILS INCLUDING STEP STRINGERS TO PROJECT A MAXIMUM OF 4" (100mm) INTO THE REQUIRED WIDTH OF THE STAIR

O.D.C. 7.0.7.3 - ONE HAND RAIL SHALL EXTEND HORIZONTALLY NOT LESS THAN 11 3/4"

-TREADS ARE TO BE WEAR AND SLIP RESISTANT, SMOOTH, EVEN AND FREE

FROM DEFECTS PER OBC 9.8.9.6.[4]
- STAIRS AND RAMPS SHALL HAVE A COLOUR CONTRAST OR DISTINCTIVE VISUAL PATTERN TO DEMARCATE THE LEADING EDGE OF THE TREADS, LANDING AND THE BEGINNING AND END OF A RAMP.

-GUARDS TO BE 3"-6" (1070mm) HIGH
-FOR DWELLING UNITS GUARDS TO BE A MIN. OF 2"-11" (900mm) HIGH
-INCLUDES WINDOWS OVER STAIRS, RAMPS AND LANDINGS
-PICKETS TO HAVE 4" (100mm) MAX. SPACING
-GUARDS FOR FLIGHTS OF STEPS (EXCEPT EXIT STAIRS) TO BE 2"-11" (900mm) HIGH

-GUARDS ARE REQUIRED WHEN WALKING SURFACE TO GRADE IS GREATER THAN

GUARDS FOR FLIGHTS OF STEPS (EXCEPT EXIT STAIRS) TO BE 2'-11" (900mm) HIGH

-GUARDS ARE REQUIRED WHEN WALKING SURFACE TO GRADE IS GREATER TH. 23 5/8" (600mm).

-GUARDS TO BE 3'-6" (1070mm)

-FOR DWELLING UNITS GUARDS TO BE A MIN. OF 2'-11" (900mm) HIGH

-FOR DWELLING UNITS GUARDS TO BE 3'-6" (1070mm) HIGH WHERE WALKING

SURFACE IS MORE THAN 5'-11" (1800mm) ABOVE ADJACENT GRADE.

-FOR RAILING SPANNING MAXIMUM OF 6'-0".
-PROVIDE PREFIN. METAL RAILING W/ 76mm VERTICAL OPENING TO

CONFORM WITH O.B.C. APPENDIX A-9.8.8.5.

-GUARDS TO BE 3-6" (1070mm)

-FOR DWELLING UNITS GUARDS TO BE 2-11" (900mm) WHERE FLOOR TO GRADE DIFFERENCE IS LESS THAN 5'-11" (1800mm) AS PER O.B.C.

GRADE DIFFERENCE IS 5-11" (1800mm) OR GREATER AS PER O.B.C. 9.8.8.2. -VERTICAL END RAILING ANCHORED TO CORNER DOUBLE STUDS USING 3

PROVIDE SAME ANCHOR BOLTS @ 36" O.C. FOR BASE PLATE CONNECTION.

ROWS OF 3/8"Ø MIN. ANCHOR BOLTS EQUALLY SPACED WITH 3" MIN

38 -WASHROOMS TO BE MECHANICALLY VENTED TO PROVIDE AT LEAST ONE AIR CHANGE PER HOUR, O.B.C.- 9.32.1.3.(3)

-WOOD FRAMING MEMBERS SUPPORTED ON CONCRETE IN CONTACT

CLIENT SPECIFIC REVISIONS

with ground or fill shall be pressure treated or separated from

9.8.8.2. OR -FOR DWELLING UNITS GUARDS TO BE 3'-6" WHERE FLOOR TO

(300mm) BEYOND THE TOP & BOTTOM OF EACH STAIR

-FTG. FOR FOUND. WALL TO BE MIN. 4'-0" (1220mm) BELOW GRADE

O.B.C. 9.8./
-ONE HANDRAIL REQUIRED WHERE STAIR WIDTH IS LESS THAN 3'-7" (1100mm)
-TWO HANDRAILS REQUIRED WHERE STAIR WIDTH EXCEEDS 3'-7" (1100mm)
-TWO HANDRAILS ARE REQUIRED ON CURVED STAIRS OF ANY WIDTH
-HANDRAILS ARE TO BE CONTINUOUS INCLUDING AT LANDINGS EXCEPT
WHERE INTERRUPTED BY DOOR WAYS OR NEWEL POSTS AT CHANGES IN

(280mm) (280mm) (25mm) (2050mm

PROJECTIONS:

O.B.C. 9.8.7.6

-HANDRAILS AND PROJECTIONS BELOW HANDRAILS INCLUDING STEP
STRINGERS TO PROJECT A MAXIMUM OF 4" (100mm) INTO THE REQUIRED

O.B.C. 9.8.7 -ONE HANDRAIL REQUIRED WHERE STAIR WIDTH IS LESS THAN 3'-7" (1100mm)

TWO HANDRAILS REQUIRED WHERE STAIR WIDTH EXCEEDS 3-'7" (1100mm)

JWELLING UNIN: HANDRAILS ARE TO BE CONTINUOUS EXCEPT WHERE INTERRUPTED BY DOOR WAYS, LANDINGS OR POSTS AT CHANGES IN DIRECTION

-ONE HANDRAIL IS REQUIRED ON CURVED STAIRS OF ANY WIDTH WITHIN

240 SUNKEN FINISHED AREAS: -USE SOLID BUILT-UP WOOD BEARING POST TO SUPPORT SUNKEN AREA AT FOUNDATION WALLS. EXTEND FOOTINGS TO SUPPORT POSTS. - WHERE GRADING CONDITIONS WILL ALLOW, CHECK FOUNDATION WALLS INSTEAD OF USING BEARING POSTS.

FLOOR STRUCTURE AS PER NOTE # 28.

25 DOUBLE MASONRY WYTHE WALL: O.B.C. 9.20.8.2.
-3 1/2" MASONRY VENEER ON 2" MORTAR JOINT ON 3 1/2" MASONRY VENEER
-WYTHES TO BE TIED W/ METAL TIES INSTALLED AS PER O.B.C. 9.20.9.4. SILL PLATE REQUIRED FOR ROOF AND CEILING FRAMING A -6" SILL W / 2" BEARING ON EACH SIDE & ANCHOR BOLTS @ 4'-0" O.C

NOTE: MASONRY TO BE SOLID & MORTAR JOINT FILLED SOLID FOR FLOOR JOISTS BEARING ON WYTHES. FLOOR JOISTS ARE NOT TO PROJECT INTO CAVITY 250 CORBEL MASONRY VENEER:

MASONRY VENEER TO BE CORBELLED AS PER O.B.C. 9.20.12.3.(1) FLOOR ASSEMBLIES: 26 SILL PLATE:

O.B.C. 9.23.7. O.B.C. 9.23.7.

-2" X.4" (38mm X 89mm) PLATE

-1/2" (12.7mm) DIA. ANCHOR BOLTS @ 7"-10" (2400mm) O.C. FASTENED TO

PLATE W/ NUTS AND WASHERS & SHALL BE EMBEDDED NOT LESS THAN 4"

(100mm) INTO FOUNDATION WALL.

-3ILL PLATE TO BE CAULKED, OR PLACED ON A LAYER NOT LESS THAN 1" (25mm) THICK BEFORE COMPRESSING, OR FOAM GASKET, OR PLACED

ON FULL BED OF MORTAR. 27 BRIDGING & STRAPPING:

a) STRAPPING
-1" X 3" (19mmX 64mm) NAILED TO U/S OF JOISTS @ MAX. 6'-11" (2100mm) O.C.
-FASTENED TO SILL OR HEADER @ ENDS b) BRIDGING 1" X 3" (19mmX 64mm) OR 2" X 2" (38mmX 38mm) CROSS BRIDGING @ MAX 6'-11" (2100mm) O.C. c) BRIDGING & STRAPPING a) & b) USED TOGETHER OR

1/2" (38mm) SOLID BLOCKING @ MAX. 6'-11" (2100mm) O.C. USED WITH STRAPPING (a) d) FURRING OR PANEL TYPE CEILING -STRAPPING NOT REQUIRED IF FURRING STRIPS OR PANEL TYPE CEILING FINISH IS ATTACHED DIRECTLY TO JOISTS. FLOOR ASSEMBLY:

-5/8" (15.9mm) WAFERBOARD (R-1 GRADE) OR EQUIVALENT FLOOR JOISTS AS PER FLOOR PLANS O.B.C. 9.23.14.3. 9.23.14.4 29 PORCH SLAB:

O.B.C. 9.39.1.4 -4 7/8" (125mm) 4650 psi (32 MPa) CONC. SLAB WITH 5 TO 8% AIR ENTRAINMENT -4 //8 (1/251111) 4500 PSI (32 MFG) CONC. SLAB WITH 3 TO 8% AIR ENTRAINMEI -REINFORCE WITH 10M BARS @ 7 /87 (200mm) EACH WAY -1 1/4" (30mm) CLEAR COVER FROM THE BOTTOM OF THE SLAB -3" (75mm) END BEARING ON FOUNDATION WALL -23 5/8" (600mm) X 23 5/8" (600mm) 10M DOWELS @ 23 5/8" (600mm) O.C. -IF A COLD CELLAR IS LOCATED BELOW THE SLAB, SUPPORT ON FOUNDATION

WALLS NOT TO EXCEED 8'-2" 30 EXTERIOR BALCONY ASSEMBLY:

-1 1/4" X 3 1/2" PRESSURE TREATED DECKING W/ 1/4" SPACING
-2"X4" WOOD PURLINS (CUT DIAGONALLY) @ 12" O.C. LAYING UNFASTENED
ON SINGLE PLY WATERPROOF ROOF MEMBRANE OR EQUIVALENT ON 5/8" n single ply walertroop roop membrane or equivalent on 5/8 ,9mm) Extrelor Grade Plywood Sheathing on 2"X4" wood Purlin ut diagonally) @ 12" o.c. directly on 2"X8" roof Joists @ 12" o.c. EXTERIOR GUARD AS PÉR #36a

SLOPE ASSEMBLY MINIMUM 2% TO ROOF SCUPPER REQUIRED FOR OVER HEATED SPACES: -ADD 2"x2" (38mm x 38mm) CROSS PURLINS @ 16" (400mm) O.C. FOR /ENTILATION OVER JOISTS (OBC 9.19.1.2. VENTING NOT LESS THAN 1/150 OF ADD R31 (RSI 5.46) INSULATION BETWEEN JOISTS ADD CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C. 9.25.3.

-ADD 5/8" (15.9mm) GYPSUM BOARD W/ PAINTED CEILING OR EXTERIOR FLAT ROOF ASSEMBLY: x 7.23.4. -ADD 1/2" (12.7mm) GYPSUM BOARD W/ PAINTED CEILING OR SINGLE PLY WATERPROOF ROOF MEMBRANE OR EQUIVALENT INSTALLED PER MANUFACTURER'S SPECIFICATIONS.

1/4" EXTERIOR GRADE WOOD PANEL TYPE UNDERLAY TAPERED PURLINS SLOPED MIN. 2% TO ROOF SCUPPER.

3/8" EXTERIOR GRADE PLYWOOD SHEATHING ON -2"X8" ROOF JOISTS @ 12" O.C. (OR AS NOTED ON PLAN) REQUIRED FOR OVER HEATED SPACES: -ADD 2"X2" (38mm x 38mm) CROSS PURLINS @ 16" (400mm) O.C. FOR VENTILATION OVER JOISTS (OBC 9.19.1.2. VENTING NOT LESS THAN 1/150 CEILING AREA)

CHLING AKEA] -ADD R31 (R31 5.46) INSULATION BETWEEN JOISTS -ADD CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C. 9.25.3. & 9.25.4. ADD 1/2" (12.7mm) GYPSUM BOARD W/ PAINTED CEILING OR -ADD 5/8" (15.9mm) GYPSUM BOARD W/ TEXTURED CEILING (O.B.C. T.9.29.5.3.)

ROOF ASSEMBLIES (31) TYPICAL ROOF:

O.B.C. 9.26. -NO. 210 (30, 5KG/m2) ASPHALT SHINGLES -NO. 210 (30. SKG/m2) ASPHALI SHINGLES
FOR ROOFS BETWEEN 412 & 8:12 PIICH PROVIDE EAVES PROTECTION TO
EXTEND UP THE ROOF SLOPE MIN. 2-11" (900mm) FROM EDGE TO A LINE NOT
LESS THAN 12" (300mm) PAST THE INSIDE FACE OF EXTERIOR WALL.
-EAVES PROTECTION LAID BENEATH STARTER STRIP.
-EAVE PROTECTION NOT REQUIRED OVER UNHEATED SPACES. -STARTER STRIP AS PER O.B.C. 9.26.7.2. -STARTER STRIP NOT REQUIRED AS PER O.B.C. 9.26.7.2.(3) -3/8" (10mm) PLYWOOD SHEATHING OR OSB (0-2 GRADE) WITH "H" CLIPS APPROVED WOOD TRUSSES @ 24" (600mm) O.C. (REFER TO MANUFACTURER'S LAYOUT)
-TRUSS BRACING AS PER TRUSS MANUFACTURER
-EAVESTROUGH ON PREFINISHED FASCIA AND VENTED SOFFIT (VINYL OR

-ATTIC VENTILATION 1:300 OF INSULATED CEILING AREA WITH, 50% AT SOFFIT. 32 CEILING: -R60 (RSI 10.56) INSULATION -CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C. 9.25.3.

& 7.25.4. -1/2" (12.7mm) GYPSUM BOARD W/ PAINTED CEILING OR -5/8" (15.9mm) GYPSUM BOARD W/ TEXTURED CEILING (O.B.C. T.9.29.5.3.) 320 VAULTED OR CATHEDRAL CEILING:

SMOKE ALARM (44)

ALARM (CMA)

VENTS AND INTAKES

COLD CELLAR VENT (50)

WATERPROOF DUPLEX OUTLET

(38) EXHAUST FAN

STOVE VENT

DRYER VENT

SOLID BEARING

Ø ♦ POINT LOAD

2/ 2" X 8" SPR

2/ 2" X 10" SPR

FIRE PLACE VENT

FLOOR DRAIN

CARBON MONOXIDE 45

O.B.C. 9.26. & TABLE A4 -NO. 210 (30. SKG/m²) ASPHALT SHINGLES
-FOR ROOFS BETWEEN 4:12 & 8:12 PITCH PROVIDE EAVES PROTECTION TO
EXTEND UP THE ROOF SLOPE MIN. 2-11" (900mm) FROM EDGE TO A LINE NOT
LESS THAN 12" (300mm) PAST THE INSIDE FACE OF EXTERIOR WALL. -EAVES PROTECTION LAID BENEATH STARTER STRIP -FAVE PROTECTION NOT REQUIRED OVER UNHEATED SPACES OR WHERE

ROOF SLOPES ARE 8:12 OR GREATER PER O.B.C. 9.26.5.1. -STARTER STRIP AS PER O.B.C. 9.26.7.2. STARTER STRIP NOT REQUIRED AS PER O B C 9 26 7 2 (3) 3/8" (10mm) PLYWOOD SHEATHING OR OSB (0-2 GRADE) WITH "H" CLIPS -3/8 (10mm) PLTWOOD SHEAHRING OR OSB (UZ GRADE) WITH H. C. -2/X8" (38mm x 184mm) @ 16" O.C. W/ 2"X2" (38mm x 38mm) CROSS PURLINS @ 24" O.C. MAX. SPAN 13"-3" (4050mm) OR -2"x10" (38mm x 235mm) @ 16" O.C. W/ 2"x2" (38mm x 38mm) CROSS PURLINS @ 24" O.C. MAX. SPAN 17'-0" (5180mm) -R31 (RSI 5.46) INSULATION

MIN 3" CLEARANCE FROM IT/S OF ROOF SHEATHING TO INSULATION UOUS AIR/VAPOUR BARRIER IN CONFORMANCE WITH

FLAT ARCH

H) HYDRO METER

G GAS METER

PT

GT

'DO'

U/S

BG

<u>LINTELS</u>

L9 4" X 3-1/2" X 1/4" L

3-1/2" X 3-1/2" X 1/4" L L12 5 7/8" X 3-1/2" X 5/16" L L17 7-1/8" X 4" X 1/2" L

(FL) FLUSH

L10 4-7/8" X 3-1/2" X 5/16" L L15 5-7/8" X 4" X 1/2" L

L11 4-7/8" X 3-1/2" X 3/8" L L16 7-1/8" X 4" X 3/8" L

DJ DOUBLE JOIST

LUMBER

DROPPED

UNDER SIDE

FIXED GLAZING

GLASS BLOCK

BLACK GLASS

GIRDER TRUSS

2 STORY WALL

EXT. LIGHT FIXTURE

(WALL MOUNTED)

PRESSURE TREATED

REPEAT SAME JOIST SIZE

L14 5-7/8" X 3-1/2" X 1/2"

<u>LEGEND</u>

ONTARIO REGULATION 332/12 OBC AMMENDMENT O REG. 139/17 JAN 1, 2018. A 865x2030x45 (2'10"x6'8"x1-3/4 B 815x2030x35 (2'8"x6'8"x1-3/8") 760x2030x35 (2'6"x6'8"x1-3/8" 710x2030x35 (2'4"x6'8"x1-3/8") 460x2030x35 (1'6"x6'8"x1-3/8") 610x2030x35 (2'0"x6'8"x1-3/8") OVER SIZED EXTERIOR DOOF STEEL BEAMS ST1 W 6 X 15 ST2 W 6 X 20 ST4 W 8 X 21 ST5 W 8 X 24 WOOD BEAMS 3/ 2" X 8" SPR AFF ABOVE FINISHED FLOOR BBFM BEAM BY FLOOR MANUF 5/ 2" X 8" SPR

39 -CAPPED DRYER VENT

3/ 2" X 10" SPR VD5 4/2" X 10" SPR WD6 5/ 2" X 10" SPR WD7 3/ 2" X 12" SPR WD8 4/2" X 12" SPR

WD9 5/ 2" X 12" SPR WD10 2/ 1 3/4" X7 1/4" (2.0E) L 3/ 1 3/4" X7 1/4" (2.0E) LV VD12A 1/ 1 3/4" X9 1/2" (2.0F) I V VD12 2/ 1 3/4" X9 1/2" (2.0E) LV VD13 3/ 1 3/4" X9 1/2" (2.0F) I VD14A 1/ 1 3/4" X11 7/8" (2.0E) L WD14 2/ 1 3/4" X11 7/8" (2.0F) I WD15 3/ 1 3/4" X11 7/8" (2.0E) LV WD16A 1/13/4" X14" (2.0E) LVL

Areas: WD16 2/ 1 3/4" X14" (2.0E) LVL WD17 3/13/4" X14" (2 0F) LVI

ELEVATION 'A' | ELEVATION 'B' | ELEVATION 'C' | ELEVATION 'D SM **GROUND FLOOR** 930.7 SECOND FLOOR 1154.0 | 107.2 | 1144.8 | 106.3 | 1149.7 | SECOND FLOOR OTB (105.9) (9.8) (105.9) **TOTAL AREA** 2084.7 | 193.6 | 2075.5 COVERAGE INC PORCH 1214.5 | 112.8 | 1214.5 COVERAGE NOT INC PORCH | 1144.8 | 106.3 | 1144.8 | LOT 63R 950.7 88.3 1164.8 108.2 SECOND FLOOR SECOND FLOOR OTB (50.1) (4.6)**TOTAL AREA** 2065.4 191.9 COVERAGE INC PORCH 1213.5 112.7 COVERAGE NOT INC PORCH 1164.8 108.2

HAT CAN POWER ALARM FOR 7 DAYS, FOLLOWED BY 4 MINUTES OF ALARM 45) CARBON MONOXIDE ALARM (CMA), O.B.C.- 9.33.4.
-WHERE THERE IS A FUEL BURNING A PPLIANCE A CMA SHALL BE PROVIDED ADJACENT TO EACH SLEEPING AREA.
-CMA TO BE WIRED IN CIRCUIT TO SOUND SMOKE ALARMS WHEN -MAIN DOOR TO BE OPERABLE FROM INSIDE W/OUT KEY
-PROVIDE A VIEWER WITH A VIEWING ANGLE OF NOT LESS THAN 160 DEG.
UNLESS GLAZING IS PROVIDED IN DOOR OR A SIDELIGHT IS PRESENT. -R4 (RSI 0.70) WHERE A STORM DOOR IS NOT PROVIDED -GARAGE MAN DOORS TO BE GAS PROOFED WITH SELF CLOSER, PPING, THRESHOLD & DEAD BOLT PER O.B.C. 9.10.13.15. -RA (RSI 0.70)

-RA (RSI 0.70)

-RA (RSI 0.70)

-RA (RSI 0.70)

-RA VEL FROM A FLOOR LEVEL TO AN EXIT OR EGRESS DOOR SHALL BE LIMITED TO ONE FLOOR EXCEPT;

1) WHERE THAT FLOOR LEVEL HAS ACCESS TO A BALCONY

2) WHILE THAT LOOK LEVEL THAS A WINDOW TROVIDING AN UNOBSTRUCTED OPENING OF NOT LESS THAN 3-3" (1000mm) IN HEIGHT AND 21 5/8" (550mm) IN WIDTH; SUCH WINDOW SHALL BE LOCATED SO THAT THE SILL IS NOT MORE THAN 3-3" (1000mm) ABOVE FLOOR AND 23-0" (7.0m) ABOVE ADJACENT GROUND LEVEL. $\overline{\left\langle 49\right\rangle}$ EXTERIOR COLUMN W/ MASONRY PIER:

42 -PRECAST CONC. STEP
-2 RISERS MAXIMUM PERMITTED TO BE LAID ON GROUND

SMOKE ALARM, O.B.C.- 9,10.19.

-PROVIDE 1 ON EACH FLOOR INCLUDING BASEMENTS

-PROVIDE 1 IN EACH BEDROOM

-PROVIDE 1 IN EACH HALLWAY SERVICING BEDROOMS

-INSTALLED AT OR NEAR CEILING

-ALARMS TO BE CONNECTED IN CIRCUIT AND INTERCONNECTED SO ALL

ALARMS WILL BE ACTIVATED IF ANY ONE OF THEM SOUNDS AND HAVE A

ALARMS MUST BE HARDWIRED AND HAVE AN ALTERNATE POWER SOURCE

44 SMOKE ALARM, O.B.C.- 9.10.19.

VISUAL SIGNALLING COMPONENT

-MIN. 6"X6" (140mm X 140mm) WOOD POST ANCHORED TO PORCH SLAB W/ METAL SADDLE.
-TOP PORTION OF POST CLAD W/ DECOR. SURROUND PER ELEVATION -MASONRY VENEER SURROUND W/ PRECAST CONCRETE CAP. REFER TO ELEVATION DRAWINGS FOR PIER SIZE AND CAP HEIGHT SURROUND TO BE TIED W/ METAL TIES @ 16" (400mm) O.C. VERT. INSTALLED PER O.B.C. 9.20.9.4. -3/4" AIR SPACE AROUND POST.

2) WHERE THAT FLOOR LEVEL HAS A WINDOW PROVIDING AN

-MIN. 6"X6" (140mm X 140mm) WOOD POST CLAD W/ DECOR. SURROUND (PER ELEVATION DRAWINGS) ANCHORED TO CONC. CAP W/ METAL SADDLE. -MASONRY PIER TO BE CONSTRUCTED SOLID W/ PRECAST CONCRETE CAP. REFER TO ELEVATION DRAWINGS FOR PIER SIZE AND CAP HEIGHT. NOTE: DECORATIVE STRUCTURAL COLUMNS MAY REPLACE 6" X 6" POST PROVIDED THAT THEY ARE IN CONFORMANCE WITH O.B.C. 9.17.4

EXTERIOR COLUMN:

MIN. 6"X6" (140mm X 140mm) WOOD POST CLAD W/ DECOR. SURROUND (PER ELEVATION DRAWINGS) ANCHORED TO PORCH SLAB W METAL SADDLE
NOTE: DECORATIVE STRUCTURAL COLUMNS MAY REPLACE 6" X 6" ABOVE PROVIDED THAT THEY ARE IN ACCORDANCE WITH O.B.C. 9.17.4.

(50) COLD CELLARS: FOR COLD CELLARS PROVIDE THE FOLLOWING: -VENTING AREA TO BE EQUIVALENT TO 0.2% OF COLD CELLAR AREA. -COVER VENT W/ BUG SCREEN -WALL MOUNTED LIGHT FIXTURE -WALL MOUNTED LIGHT FRIURE
-L1-L1-FOR DOOR OPENING
-2'-8" X 6'-8" EXTERIOR TYPE DOOR (MIN.R-4 RSI 0.7)
-INSULATE FULL HEIGHT OF INTERIOR BASEMENT WALL W/ MIN. R12 (RSI 2.11)

\$\frac{51}{\sum_{O,B.C.} 9.5.2.3.}\$ -WALL STUDS ADJACENT TO WATER CLOSETS & SHOWER BATH TUBS IN MAIN BATHROOM ARE TO BE REINFORCED TO PERMIT THE FUTURE INSTALLATION OF GRAB BARS AS PER O.B.C. 3.8.3.8.(3)(a)&(c) & 3.8.3.13.(4)(b) &

-GRAB BARS TO BE INSTALLED AS PER O.B.C. 9.8.7.7.(2) 52 ELECTRICAL VEHICLE CHARGING REQUIREMENTS:

- REFER TO OBC 9.34.4.1. FOR REQUIRMENTS (FFFECTIVE JANUARY 2018) 53 WINDOW GUARDS: @ STAIRS, LANDINGS & RAMPS - OBC 9.8.8.1.(8)
WINDOW SILL AT 3'-0" (900mm) OR GREATER DOES NOT REQUIRE GUARDS

@ FLOORS - OBC 9.8.8.1.(6) WINDOWS LESS THAN 1'-7" (480mm) ABOVE FLOORS WHERE ADJACENT GRADE IS GREATER THAN 5'-11" (1800mm) REQUIRE A GUARD PER OBC 9.8.8.2. WINDOW TO BE NON-OPERABLE AND DESIGNED TO WITHSTAND LATERAL LOADS

PER OBC 9.8.8.1.(8)(b) FRAME CONSTRUCTION: -ALL FRAMING LUMBER TO BE No.1 AND No. 2 SPF UNLESS NOTED OTHERWISE.

-ROOF LOADING IS BASED ON 1.5kPa SPECIFIED COMPOSITE SNOW AND RAIN LOADS. -JOISTS TO HAVE MIN. 1-1/2" (38mm) END BEARING -BEAMS TO HAVE MIN. 3-1/2" (89mm) END BEARING
-DOUBLE STUDS @ OPENINGS
-DOUBLE HEADER JOISTS AROUND FLOOR OPENINGS WHEN THEY ARE

BETWEEN 3'-11" (1200mm) AND 10'-6" (3200mm)
-DOUBLE TRIMMER JOISTS WHEN HEADER JOIST LENGTH IS BETWEEN 2'-7" (800mm) AND 6'-7" (2000mm) -DOUBLE JOISTS OR SOLID BLOCKING UNDER NON-LOAD BEARING PARALLEL PARTITIONS -BEAMS TO BE PLACED UNDER LOADBEARING WALLS WHEN WALLS ARE PARALLEL TO FLOOR JOISTS -BEAMS MAY BE A MAX. 24" (600mm) FROM LOADBEARING WALLS

WHEN WALLS ARE PERPENDICULAR TO FLOOR JOISTS
-APPROVED METAL HANGERS TO BE USED FOR JOISTS AND BEAMS WHEN THEY FRAME INTO SIDES OF BEAMS, TRIMMERS AND HEADERS
-FLOOR JOISTS SUPPORTING ROOF LOADS SHALL NOT BE CANTILEVERED MORE THAN 15 3/4" (400mm) BEYOND SUPPORTS FOR 2" X 8" (38mm X

184mm)
-FLOOR JOISTS SUPPORTING ROOF LOADS SHALL NOT BE CANTILEVERED MORE THAN 23 5/8" (600mm) BEYOND SUPPORTS FOR 2" X 10" (38mm X $\,$

235mm) OR LARGER.

WATERPROOF WALLS IN BATHROOMS: -REQUIRED AS PER OBC 9.29.2.1. WINDOWS:

-WINDOWS TO BE SEALED TO THE AIR & VAPOR BARRIER HAVE AN OVERALL COEFFICIENT OF HEAT TRANSFER OF 1.6 W/(m2.K) OR
-AN ENERGY RATING OF NOT LESS THAN 25 FOR WINDOWS -BASEMENT WINDOWS WITH LOAD BEARING STRUCTURAL FRAME SHALL BE DOUBLE GLAZED WITH LOW-E COATING

-SKYLIGHTS SHALL HAVE AN OVERALL COEFFICIENT OF HEAT TRANSFER OF

BELOW THE SHOWERS.

DRAIN WATER HEAT RECOVERY: - DWHR UNITS TO BE INSTALLED AS PER OBC SB-12 3.1.1.1.(22) & 3.1.1.12. DWHR ARE REQUIRED IN ALL DWELLING UNITS TO RECEIVE DRAIN WATER FROM ALL SHOWERS OR FROM AT LEAST 2 SHOWERS WHERE THERE ARE 2 OR MORE SHOWERS PROVIDED THERE IS A CRAWL SPACE OR STOREY

(9.8) (105.9) (9.8) (105.9)

849**R** 106.8

R. J. C. GOHLICH

100502549

Aug 29/2019

VCE OF ON

EXCLUDING ENGINEERED

ROOF TRUSS, FLOOR JOIST

AND FLOUR LVL BEAM DESIGN

192.8 2085:2

SM | SF | SM | SF | SM 86.4 930.7 86.4 935.5 86.9 935.5 86.9 106.8 | 1149.7 | 106.8 106.8 scale FOR STRUCTURAL ONLY

I LIORGE MORENO DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD, UNDER DIVISION C, PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

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SIGNATURE

FIRM BCIN:

QUALIFIED DESIGNER BCIN:

Drawing List:

A1 BASEMENT FLOOR ELEV. 'A' BASEMENT FLOOR ELEV. 'B' A2 GROUND FLOOR ELEV. 'A GROUND FLOOR ELEV. 'B' A3 SECOND FLOOR ELEV. 'A'

SECOND FLOOR ELEV. 'B' A4 PART. BASEMENT FL. ELEV. 'C' PART. BASEMENT FL. ELEV. 'D' PART GROUND FLOOR FLEV 'C' PART, GROUND FLOOR ELEV, 'D'

A5 PART. SECOND FLOOR ELEV. 'C' PART. SECOND FLOOR ELEV. 'D' A6 FRONT ELEVATION 'A' FRONT FI EVATION 'B'

RIGHT SIDE ELEVATION 'B' REAR ELEVATION 'B' & 'D' REAR ELEVATION 'A' & 'C' LEFT SIDE ELEVATION 'A' A8 FRONT ELEVATION 'C'

FRONT ELEVATION 'D' RIGHT SIDE ELEVATION 'D' A9 TYPICAL CROSS SECTION - SEMI (BRICK) A10 PART. BASEMENT FL. ELEV. 'D' - LOT 63R

PART. GROUND FLOOR ELEV. 'D' - LOT 63R A11 PART. SECOND FLOOR ELEV. 'D' - LOT 63R A12 FRONT ELEVATION 'D' - LOT 63R

A13 RIGHT SIDE ELEVATION 'D' - LOT 63R A14 REAR UPGRADE ELEVATION 'A' & 'C' REAR ELEVATION 'D' - LOT 63R

REAR ELEVATION 'D' - LOT 63R

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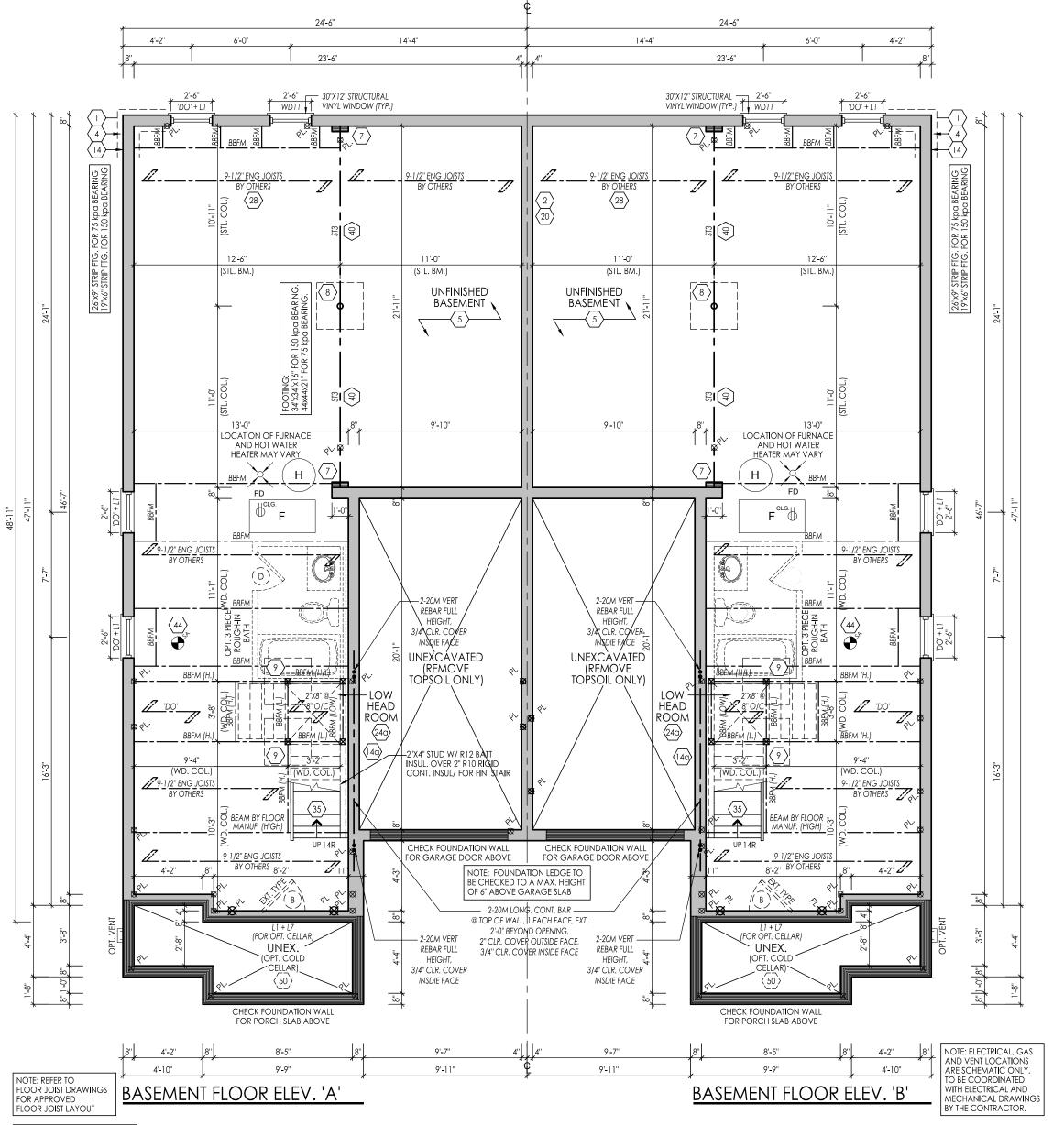
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1	ISSUED FOR CLIENT REVIEW	04/07/2014	kk	cr
2	REVISED AREA CHART TOTAL AREAS	30/07/2014	cr	cr
3	REVISED AREA CHART	31/07/2014	cr	CR
4	REVISED AS PER ARCH. CONTROL COMMENTS.	13/08/2014	rpa	DJH
5	REVISED AS PER FLR./ROOF COORD.	18-Aug-14	rpa	djh
6	REVISED AS PER ENGINEERING COMM.	29-May-15	RPA	DJH
7	ISSUED FOR PERMIT	16/06/2015	RPA	DJH
8	REVISED PER 2017 OBC ENACTMENT	23-Mar-17	PM	XX
9	ISSUED FOR PERMIT	2017-08-29	ММ	JM
10	REVISED PER ENG. COMMENTS	9/26/2017	PV	DJH
11	CHANGE PARTY WALLS TO DBL STUD	4-JUNE-19	JM	JM
12	REVISED AS PER ENG COMMENTS, ISSUE FOR PERMIT PH 2	28-AUG-19	lo	jm

Gold Park Homes

Mclaughlin and Mayfield

SD-7 Brampton





FOR STRUCTURAL ONLY EXCLUDING ENGINEERED ROOF TRUSS, FLOOR JOIST AND FLOOR LVL BEAM DESIGN





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QUALIFIED DESIGNER BCIN: FIRM BCIN:

SIGNATURE:

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client

Gold Park Homes

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model

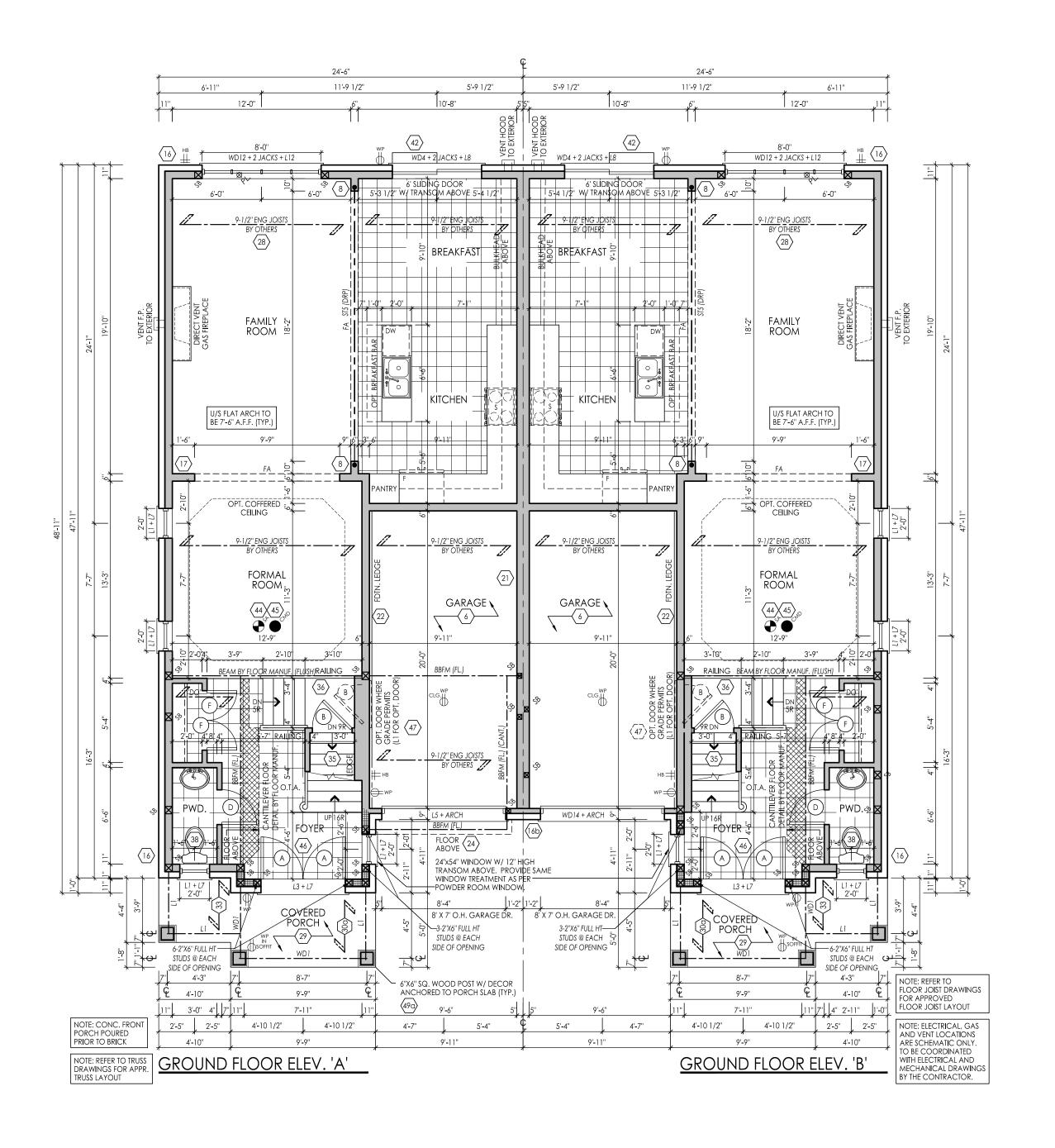
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scale

3/16" = 1'0"

A 1

NOTE: ALL WINDOW LINTELS IN BASEMENT TO





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SIGNATURE:

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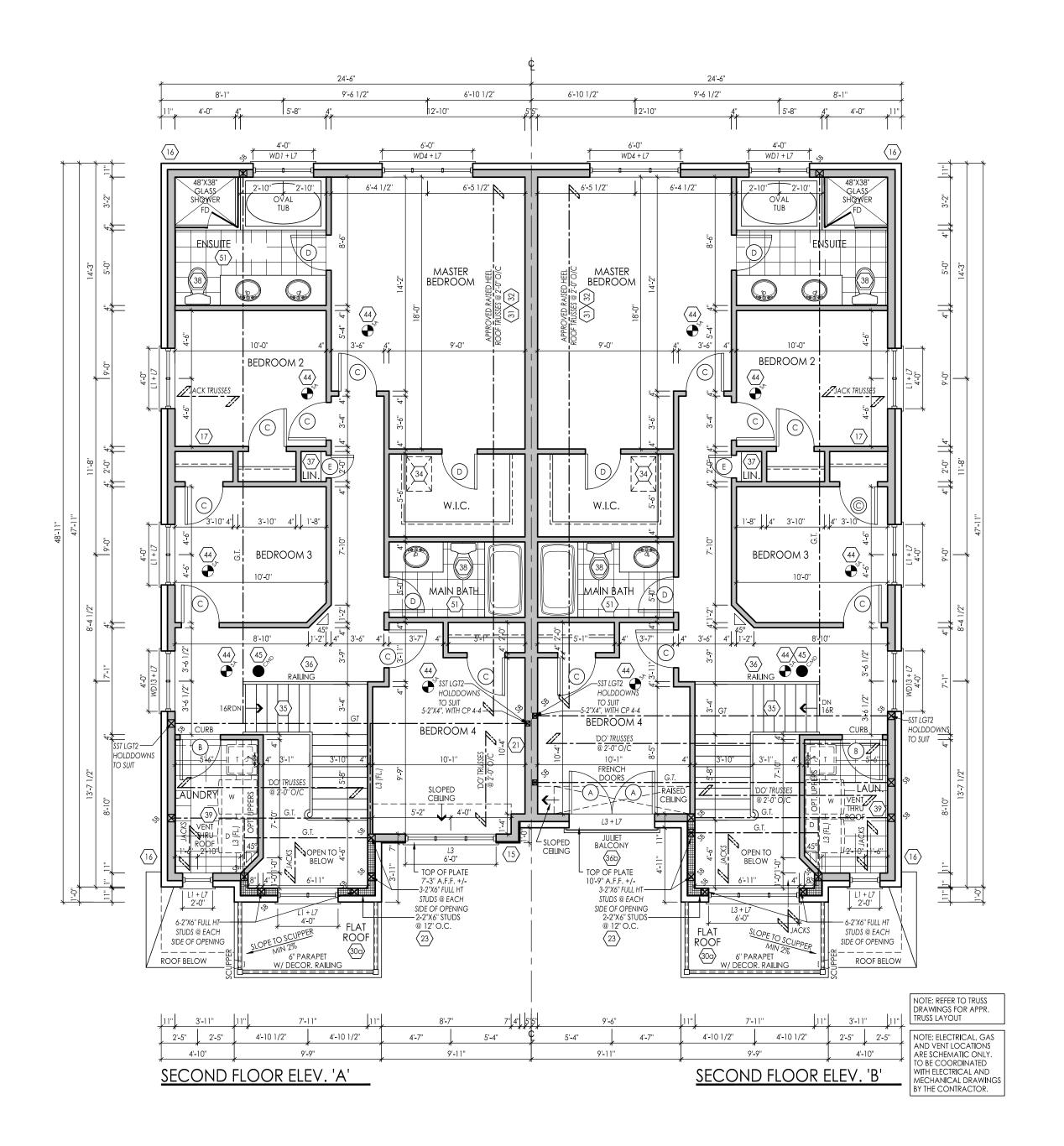
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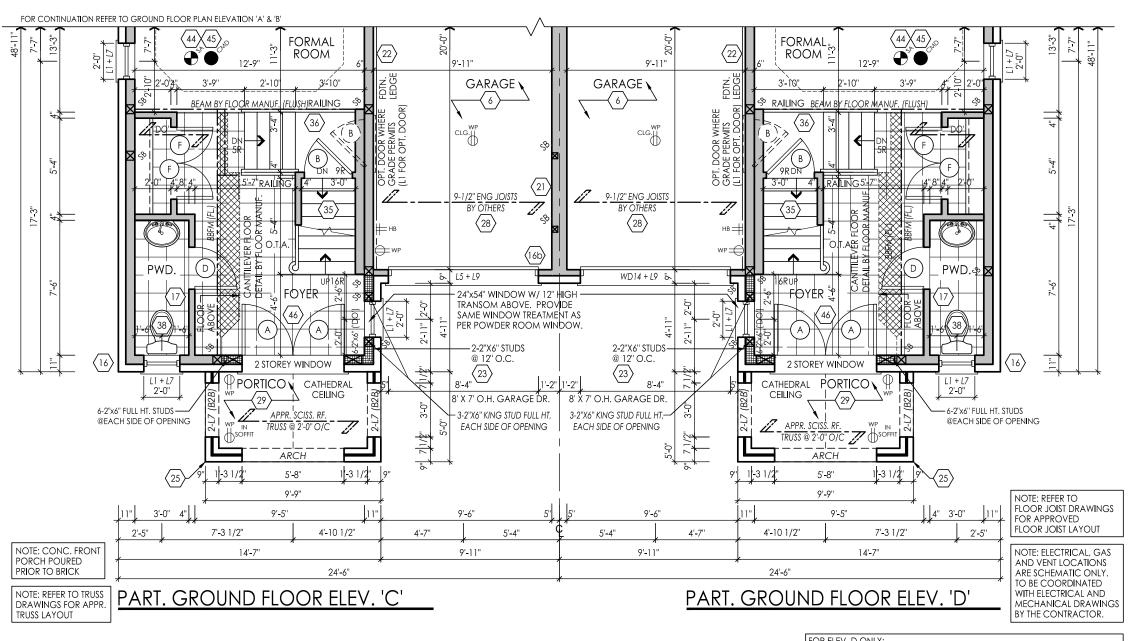
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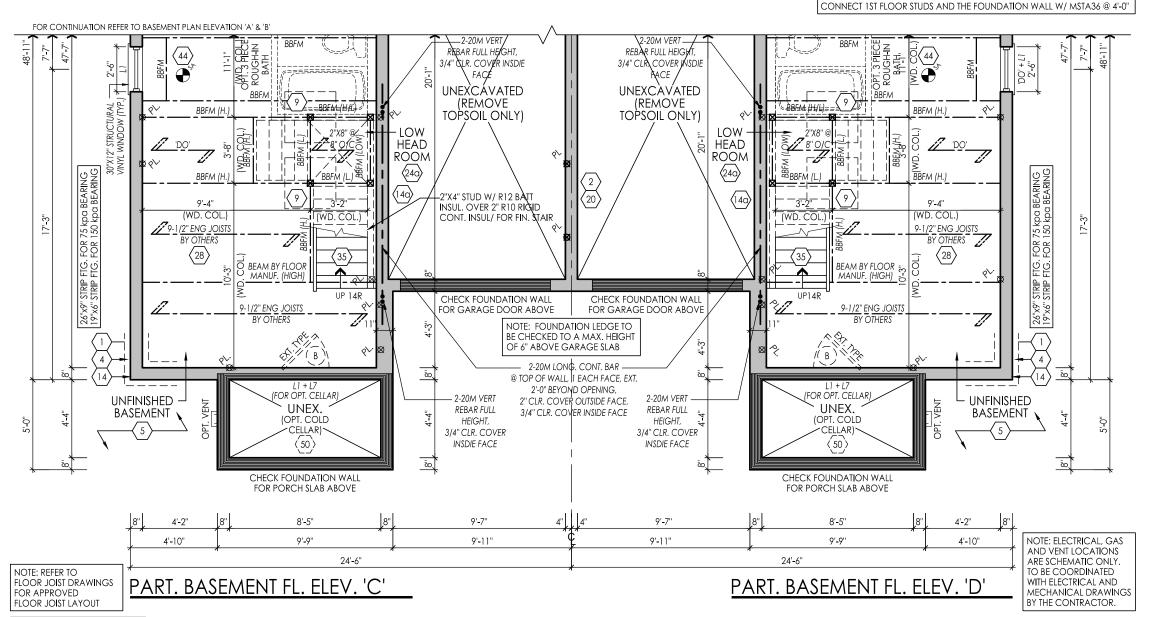
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3/16" = 1'0"

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FOR ELEV. D ONLY:
-FOR TRUSSES EXCEEDING 40'-0" PROVIDE SST H2.5A EACH END ROOF MANUF.
-WHERE LINTELS SUPPORT TRUSSES WITH LENGTH EXCEEDING 40'-0", PROVIDE
SST. 2-LSTA36 EACH END.
-WHERE STUD WALL SUPPORTS TRUSSES WITH LENGTH EXCEEDING 40'-0",
CONNECT 2ND AND 1ST FLOOR STUDS W/ LSTA36 @ 4'-0"
-WEHRE STUD WALL SUPPORTS TRUSSES WITH LENGTH EXCEEDING 40'-0",



NOTE: ALL WINDOW LINTELS IN BASEMENT TO HAVE MIN. 3" BEARING LEGNTH ON FOUNDATION WALL



RN design

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QUALIFIED DESIGNER BCIN: FIRM BCIN:

SIGNATURE:

)- Wy ______

R. J. C. GOHLICH TO 100502549

Aug 29/2019

Aug 29/2019

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Aug 29/2019

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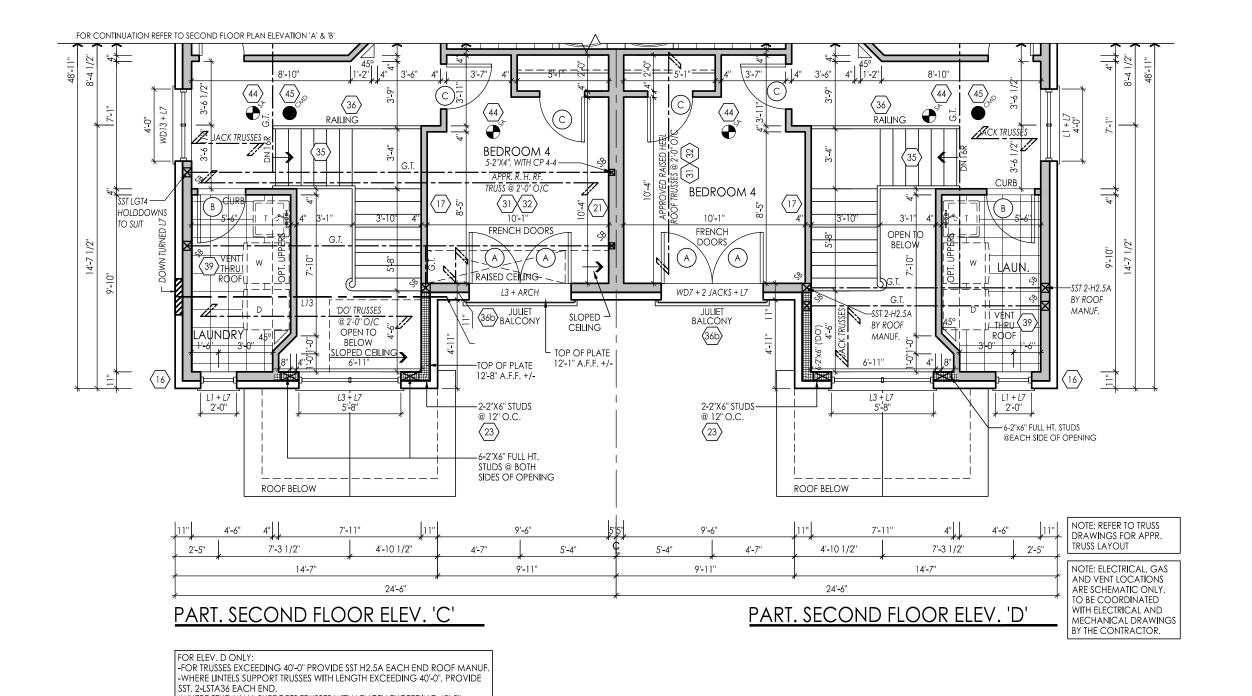
model

SD-7 Brampton

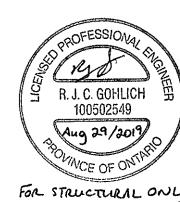
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SST. 2-LSTA36 EACH END.
-WHERE STUD WALL SUPPORTS TRUSSES WITH LENGTH EXCEEDING 40'-0",
CONNECT 2ND AND 1ST FLOOR STUDS W/ LSTA36 @ 4'-0"
-WEHRE STUD WALL SUPPORTS TRUSSES WITH LENGTH EXCEEDING 40'-0",
CONNECT 1ST FLOOR STUDS AND THE FOUNDATION WALL W/ MSTA36 @ 4'-0"



FOR STRUCTURAL ONLY EXCLUDING ENGINEERED ROOF TRUSS, FLOOR JOIST AND FLOOR LVL BEAM DESIGN RN design

| Imagine - Inspire - Create



I, JORGE MORENO DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF **RN DESIGN LTD**, UNDER DIVISION C, PART-3 SUBSECTION-3, 2, 4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: FIRM BCIN:

SIGNATURE:

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#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	04/07/2014	kk	cr
2	REVISED AS PER ARCH. CONTROL COMMENTS.	13/08/2014	rpa	djh
3	REVISED AS PER FLR./ROOF COORD.	18-Aug-14	rpa	djh
4	ADDED SLOPED CEILING OVER 'C' FOYER	SEPT. 03/14	djh	djh
5	REVISED AS PER ENGINEERING COMM.	29-May-15	RPA	DJH
6	ISSUED FOR PERMIT	16/06/2015	RPA	DJH
7	REVISED PER 2017 OBC ENACTMENT	23-Mar-17	mmm	jm
8	REVISED AS PER FLOOR COORDINATION & ISSUED FOR PERMIT	AUG-10-17	PV	ML
9	CHANGE PARTY WALLS TO DBL STUD	4-JUNE-19	JM	JM
10	REVISED AS PER ENG COMMENTS, ISSUE FOR PERMIT PH 2	28-AUG-19	lo	jm
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Gold Park Homes

Mclaughlin and Mayfield

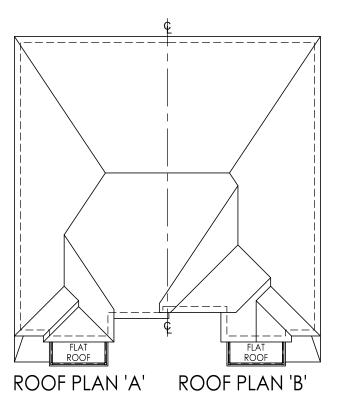
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SD-7
Brampton

project # 13098

scale 3/16" = 1'0"

1/21



NOTE: ALL CONVENTIONAL ROOF FRAMING TO CONFORM TO PART 9 OF THE OBC. ROOF RAFTERS THAT MEET OR CROSS OVER TRUSSES ARE TO BE 2"X4" SPF @ 24" O.C. WITH A 2"X4" SPF VERTICAL POST TO THE TRUSS UNDER, AT EACH CROSS POINT. POSTS LONGER THAN 6' TO BE LATERALLY BRACED SO THAT THE DISTANCE BETWEEN END POINTS & BETWEEN ROWS OF BRACING DOES NOT EXCEED 6'.

TRUSS LAYOUT

NOTE: REFER TO TRUSS DRAWINGS SCAPES FOR POSSIBLE MINOR CHANGES DUE TO GRADING CONDITIONS





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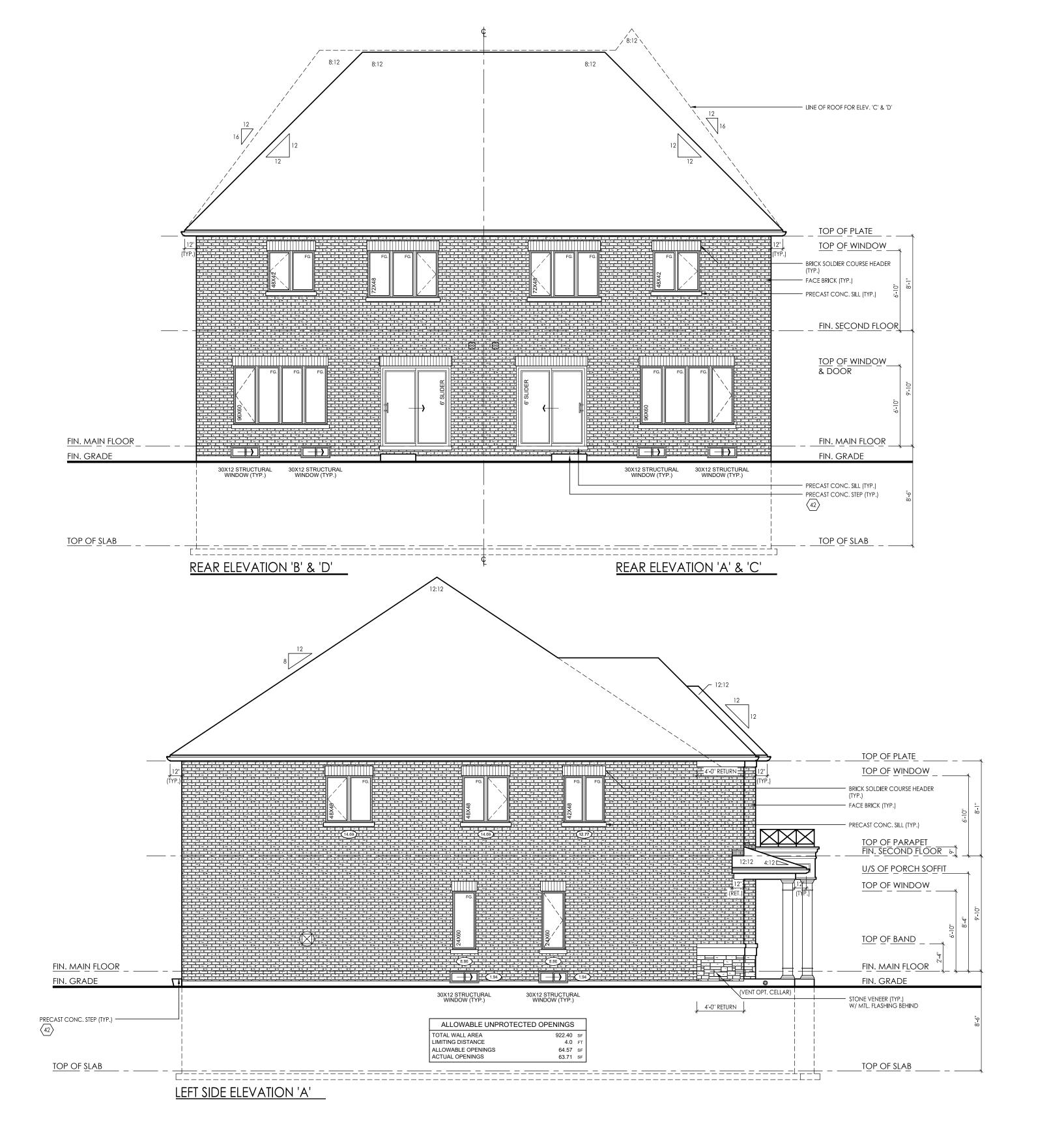
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4	ISSUED FOR PERMIT	2017-08-25	ММ	JM
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Gold Park Homes

Mclaughlin and Mayfield

SD-7 Brampton 13098



RN design
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Gold Park Homes

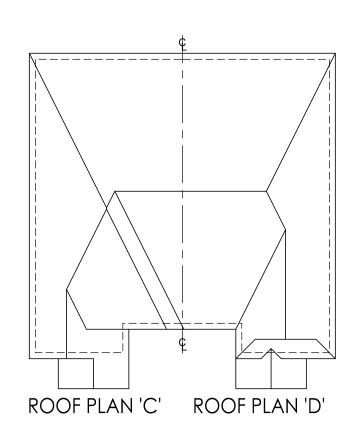
Mclaughlin and Mayfield

model

SD-7 Brampton # 13098

3/16" = 1'0"

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NOTE: REFER TO TRUSS DRAWINGS FOR APPROVED TRUSS LAYOUT

NOTE: REFER TO STREET-SCAPES FOR POSSIBLE MINOR CHANGES DUE TO GRADING CONDITIONS







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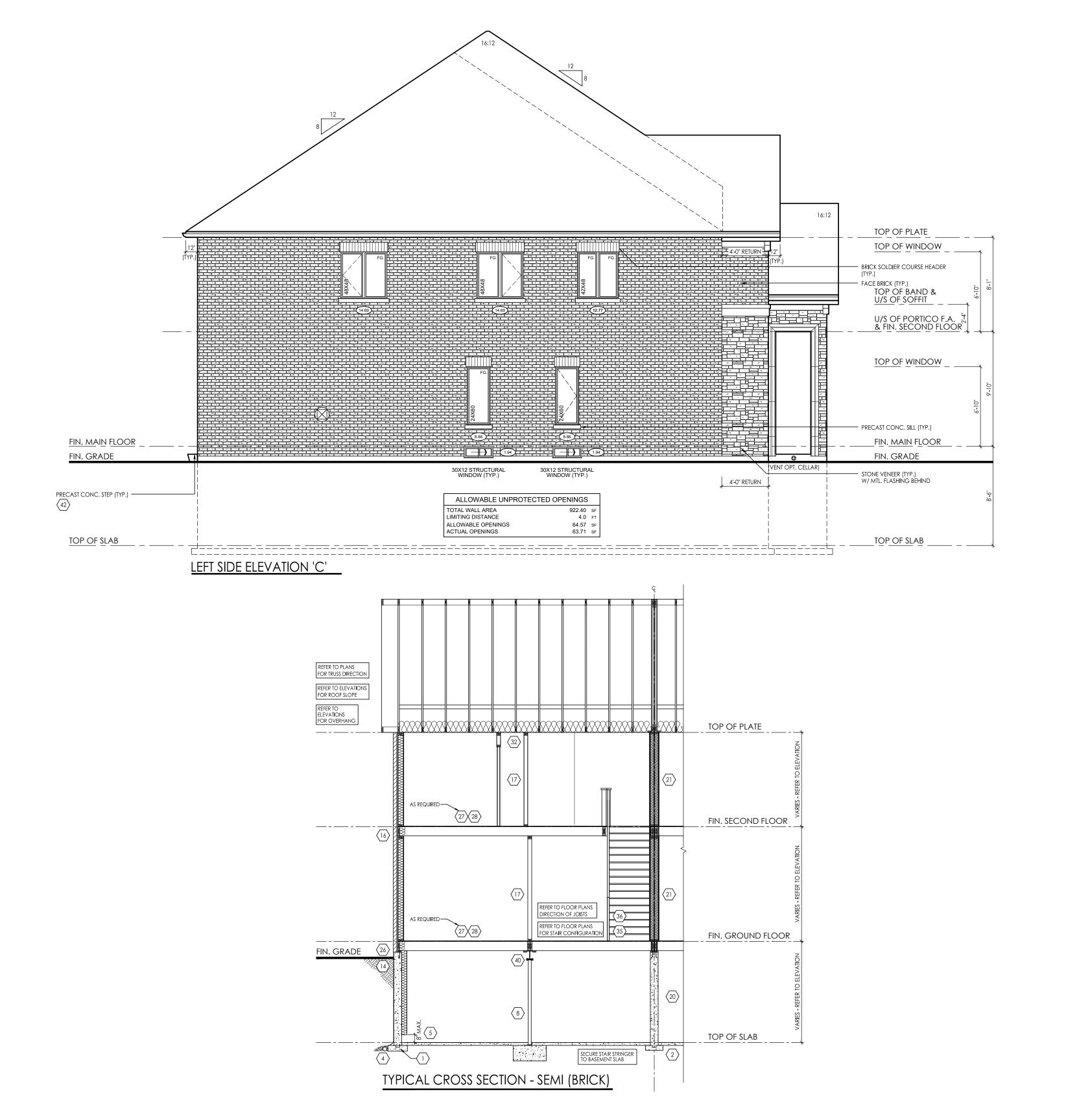
Gold Park Homes

Mclaughlin and Mayfield

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SD-7 Brampton ect#

3/16" = 1'0"



RN design

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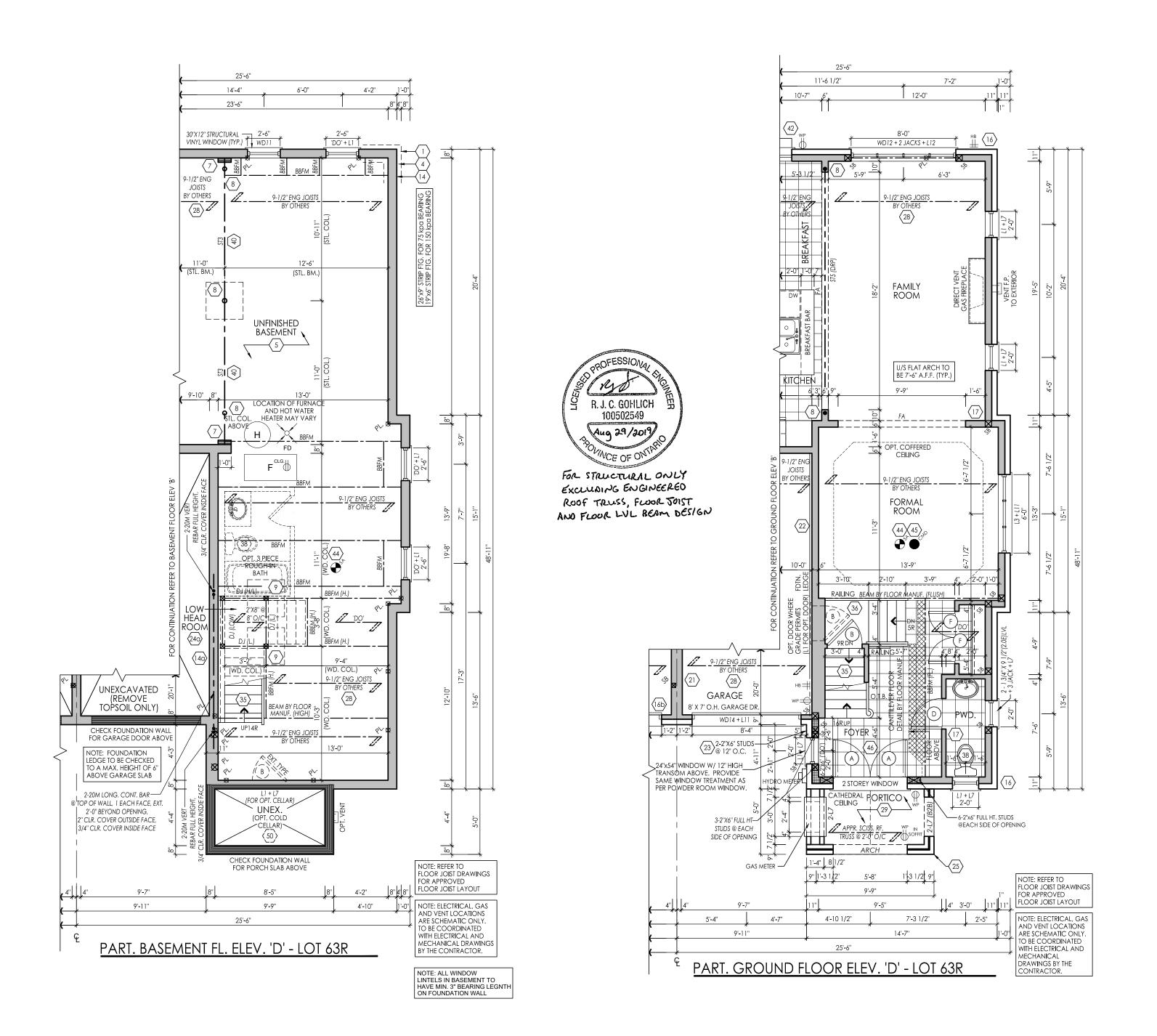
Gold Park Homes

Mclaughlin and Mayfield

model

SD-7 Brampton

3/16" = 1'0"



RN design

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Gold Park Homes

Mclaughlin and Mayfield

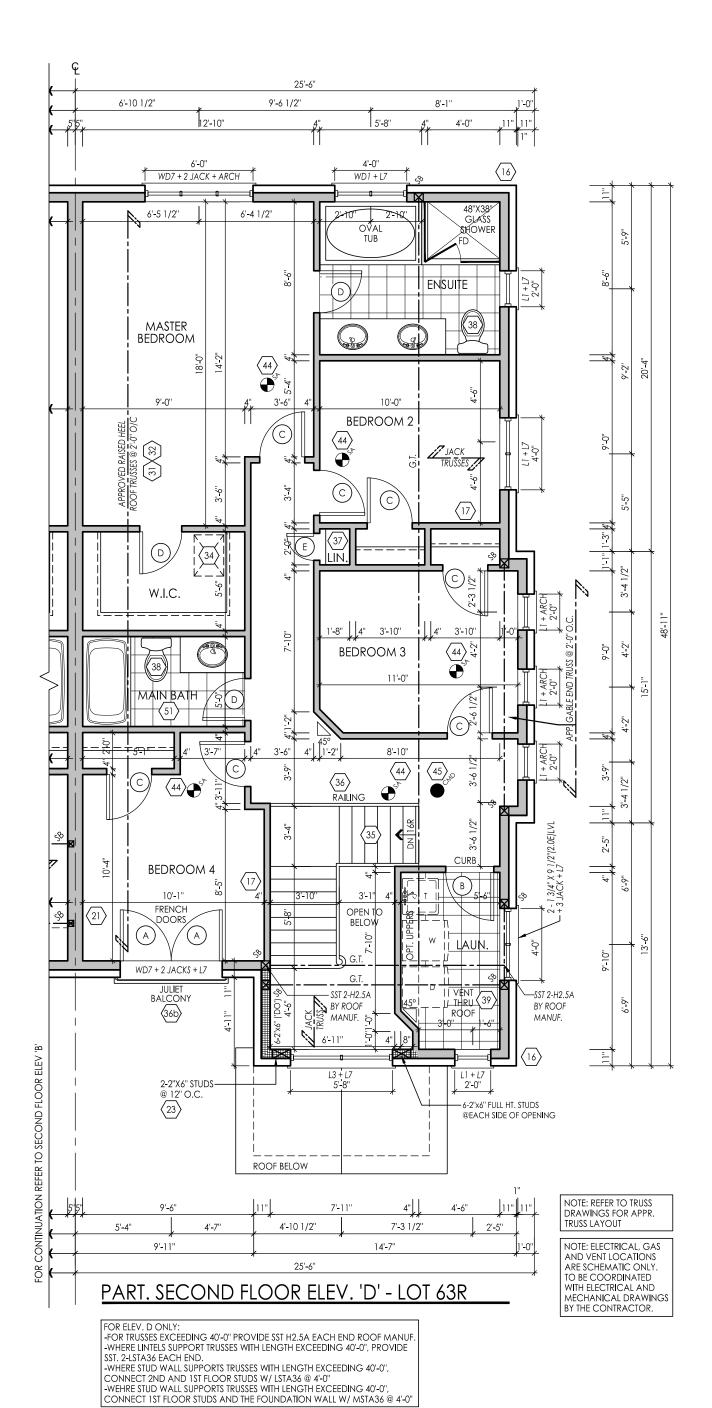
model

SD-7 Brampton

13098

project #

3/16" = 1'0"





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client

Gold Park Homes

Mclaughlin and Mayfield

model

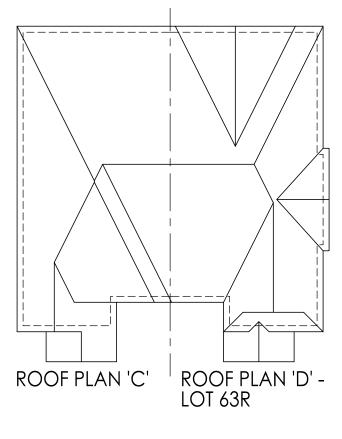
SD-7 Brampton

scale

3/16" = 1'0"

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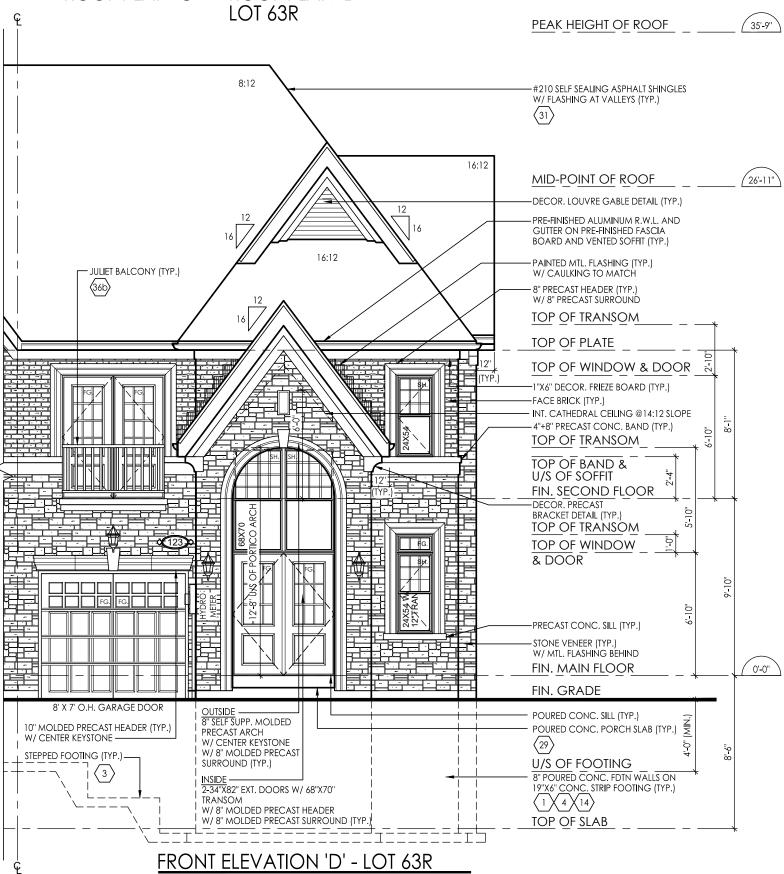
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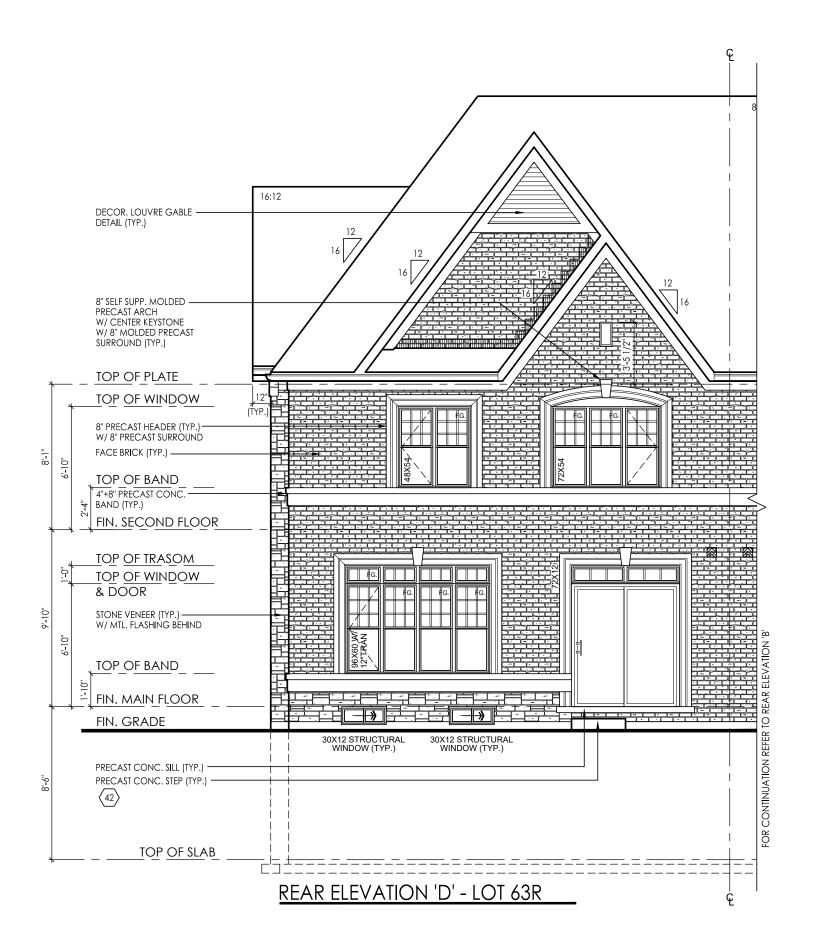
TRUSS DRAWINGS FOR APPROVED

NOTE: REFER TO STREET-SCAPES FOR POSSIBLE MINOR CHANGES DUE TO GRADING CONDITIONS



GROSS GLAZING AREA

TOTAL PERIPHERAL WALL AREA	2899.66 SF	269.38 m²
FRONT GLAZING AREA	86.46 SF	8.03 m ²
LEFT SIDE GLAZING AREA	O SF	0.00 m ²
RIGHT SIDE GLAZING AREA	157.77 SF	14.66 m²
REAR GLAZING AREA	142.89 SF	13.27 m²
TOTAL GLAZING AREA	387.12 SF	35.96 m²
IU JI AT USI A ZINIUS PERU ENITAUSE	1117 %	







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Gold Park Homes

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RIGHT SIDE ELEVATION 'D' - LOT 63R

RN design

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Gold Park Homes

Mclaughlin and Mayfield

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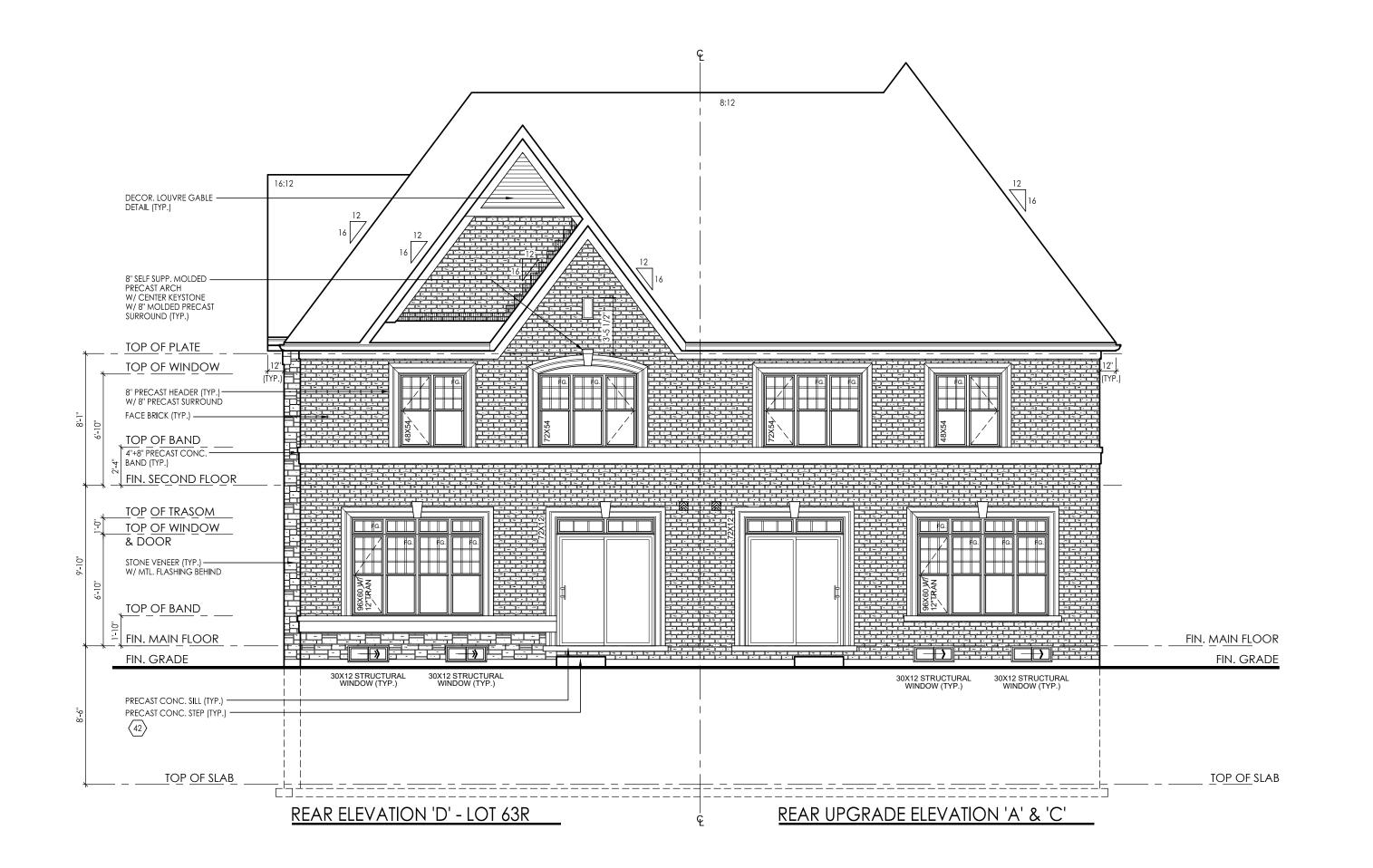
SD-7 Brampton

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