### -THERMAL RESISTANCE VALUES BASED ON ZONE 1 FOOTINGS / SLABS: TYPICAL STRIP FOOTING:

O.B.C. 9.15.3.

-BASED ON 16'-1"(4.9m) MAX. SUPPORTED JOIST LENGTH
-MIN. 2200psi (15MPa) CONCRETE AFTER 28 DAYS -SHALL REST ON UNDISTURBED SOIL, ROCK OR COMPACTED GRANULAR FILL W/ MIN. 10.9psi (75kPa) BEARING CAPACITY

-FIG. 10 HAVE COMMINDOUS RET -FTG. SIZES MAY BE REDUCED FOR SOILS W/ GREATER BEARING CAPACITY - 163, SIZES MAT DE REDOCED TO A SOLS WY GREATER BEAKING CAT ACTIF (AS PER SOILS ENGINEERING REPORT) - REFER TO WORKING DRAWINGS FOR SPECIFIC SIZES THAT MAY SUPERSEDE NOTES #1 & #2 FOR FOOTING SIZES

-1 STOREY - 10" X 4" (255mm X 100mm) 2 TYPICAL STRIP FOOTING: (INTERIOR BEARING WALLS)

-1 STOREY MASONRY - 16" X 4" (410mm X 100mm

-2 STOREY MASONRY - 26" X 9" (650mmX 230mm

### -2 STOREY STUD - 18" X 5" (450mm X 130mm) -3 STOREY MASONRY - 36" X 14" (900mm X 360mm - 24" X 8" (600mm X 200mm) 3 STEP FOOTING:

-1 STOREY STUD

O.B.C. 9.15.3.9. -23 5/8" (600mm) MAX. VERTICAL RISE & 23 5/8" (600mm) MIN. HORIZONTAL

- 12" X 4" (305mm X 100mm

### 4 DRAINAGE TILE OR PIPE: O.B.C. 9.14.3.

-4" (100mm) MIN. DIA. LAID ON UNDISTURBED OR WELL COMPACTED SOIL W/ TOP OF TILE OR PIPE TO BE BELOW BOTTOM OF FLR. SLAB. -COVER TOP & SIDES OF TILE OR PIPE W/ 5 7/8" (150mm) OF CRUSHED STONE OR OTHER COURSE CLEAN GRANULAR MATERIAL TILE SHALL DRAIN TO A SEWER, DRAINAGE DITCH, OR DRY WELL. 5 BASEMENT SLAB:

-3" (75mm) CONCRETE SLAB -2200psi (15MPa) AFTER 28 DAYS - O.B.C. 9.16.4.5. -2200psi (15MPa) AFTER 28 DAYS - O.B.C. 9, 16.4.5.

DAMPPROOF BELOW SLAB W/ MIN. 0.006" (0.15mm) POLYETHYLENE OR
TYPE'S' ROLL ROOFING W/ 4" (100mm) LAPPED JOINTS.

-DAMPPROOFING MAY BE OMITTED IF CONCRETE HAS MIN. 3600psi(25MPa)
COMPRESSIVE STRENGTH AFTER 28 DAYS

-4" (100mm) OF COURSE GRANULAR MATERIAL
-PROVIDE BOND BREAKING MATERIAL BETWEEN SLAB & FTG.

-WHERE SLAB IS REQUIRED TO BE WATERPROOFED IT SHALL CONFORM TO LOOR DRAIN PER O.B.C.9.31.4.4. RIO (RSI 1,76) INSULATION AT PERIMETER OF SLAB WHERE GRADE IS WITHIN 23-1/2" (600mm) OF BASEMENT SLAB EDGE. INSULATION TO EXTEND TO NO LESS THAN 23-1/2" (600mm) BELOW EXTERIOR GRADE LEVEL (OBC SB-12 -

UNLESS IT CAN BE DEMONSTRATED THAT SOIL GAS DOES NOT CONSTITUTE A PROBLEM, SOIL GAS CONTROL SHALL CONFORM TO SUPPLEMENTARY

-3" (75mm) CONCRETE SLAB - O.B.C. 9.16.4.3.

### STANDARD (O.B.C. SB-9) SLAB ON GROUND:

-2200psi (15MPa) AFIER 28 DAYS - O.B.C. 9.16.4.5.
-DAMPPROOF BELOW SLAB W/ MIN. 0.006" (0.15mm) POLYETHYLENE OR TYPE 'S' ROLL ROOFING W/ 4" (100mm) LAPPED JOINTS.
-DAMPPROOFING MAY BE OMITTED IF CONCRETE HAS MIN. 3600psi(25MPa) COMPRESSIVE STRENGTH AFTER 28 DAYS
-R10 (RSI 1.76) INSULATION UNDER ENTIRE SLAB WHERE THE ENTIRE SLAB IS WITHIN 23-1/2" (600mm) OF GRADE. (OBC SB-12 3.1.1.7.(6)) -4" (100mm) OF COURSE GRANULAR MATERIAL -4 (TUMINITY) OF COURSE CANADAM WATERIAL BETWEEN SLAB & FTG.
-WHERE SLAB IS REQUIRED TO BE WATERPROOFED IT SHALL CONFORM TO
O.B.C. 9.13.3.
-FLOOR DRAIN PER O.B.C.9.31.4.4.

- UNLESS IT CAN BE DEMONSTRATED THAT SOIL GAS DOES NOT CONSTITUTE A PROBLEM, SOIL GAS CONTROL SHALL CONFORM TO SUPPLEMENTARY STANDARD (O.B.C. SB-9

# 6 GARAGE SLAB / EXTERIOR SLAB:

-4650psi (32MPa) COMPRESSIVE STRENGTH AFTER 28 DAYS FOR UNREINFORCED CONC. & W/ 5-8% AIR ENTRAINMENT - O.B.C. 9.3.1.6. -6"X 6" (W2.9 X W 2.9) WIRE MESH LOCATED NEAR MID-DEPTH OF SLAB -4" (100mm) OF COURSE GRANULAR MATERIAL -ANY FILL PLACED UNDER SLAB , OTHER THAN COURSE CLEAN GRANULAR MATERIAL, SHALL BE COMPACTED. 7 PILASTERS:

### O.B.C. 9.15.5.3.

<u>PILASTER</u> -CONCRETE NIB - 4" X 12" (100mm X 300mm) -BLOCK NIB - 4" X 12" (100mm X 300mm) BONDED & TIED TO WALL AS PER O.B.C. 9.20.11.2. TOP 7 7/8" (200mm) SOLID.

-1/2" (13mm) SPACE AROUND WOOD BEAMS (O.B.C. 9.23.2.2.) STRUCTURAL COLUMNS -SIZES BASED ON COLUMN SUPPORTING BEAMS CARRYING LOADS FROM

NOT MORE THAN 2 WOOD FRAME FLOORS, WHERE THE LENGTHS OF JOISTS CARRIED BY SUCH BEAMS DO NOT EXCEED 16'-1" (4.9m) AND THE LIVE ANY FLOOR DOES NOT EXCEED 50psf (2.4kPg) 8 STEEL PIPE COLUMN:

-FIXED COLUMN
-MIN. 3 1/2" (90mm) DIA. W/ 3/16" (4.76mm) WALL THICKNESS -FOR STEEL BEAMS, CLIPS @ TOP & MIN. 6" X 4" X 1/4" (152mmX 100mm) 6.35mm) STEEL BTM. PLATE -FOR WOOD BEAMS, MIN. 4"X4"X1/4" (100mmX 100mm X 6.35mm). STEEL TOP A BTM. PLATES, OR TOP PLATE TO EXTEND MIN. WIDTH OF BEAM.

-ADJUSTABLE COLUMNS TO CONFORM TO CAN//CGSB-7.2-M WHERE IMPOSED LOAD DOES NOT EXCEED 36 KN (O.B.C. 9.17.3.4.)

COL. SPACING: -MAX. 9'-10" (2997mm) - 34" X 34" X 16" (860mmX 860mmX 400mm) -MAX. 16'-0" (4880mm) - 44" X 44" X 21" - (1120mmX 1120mmX 530mm)

- 40" X 40" X 19' 1010mmX 1010mmX 480mm) -MAX. 16'-0" (4880mm) - 51" X 51" X 24" nX 1295mmX 610mm)

### -WHERE COL. SITS ON FDN. WALL, USE 4"X 8"X 5/8" (100mmX 200mmX 16mm) STEEL PLATE WITH 2-5/8" (16mm) ANCHOR BOLTS ( 9 ) WOOD COLUMN:

OBC 9.17.4.1 , 9.17.4.2, & 9.17.4.3.

-5 1/2" x 5 1/2" (140mm x 140mm) SOLID WOOD COLUMN - OR -3-2"x6" (38mm x 140mm) BUILT UP COLUMN NAILED TOGETHER -COLUMN TO SIT DIRECTLY ON CONC PAD (NOT ON CONC SLAB) -25"x25"x12" (640mm x 640mm x 300mm) CONC PAD (1 FLOOR SUPPORTED W/9'-10" COL SPACING) -34"x34"x14" (860mm x 860mm x 360mm) CONC PAD (2 FLOORS SUPPORTED

10 BLOCK PARTY WALL BEAM END BEARING: (WOOD BEAM / GIRDER TRUSSES) -2"X8"X12" LEDGER BOARD FASTENED W/ 2/ 1/2" ANCHOR BOLTS @ 4" O.C. - WHERE WOOD BEAMS BEAR ON FIREWALLS USE GENERAL NOTE 11 WHERE REQUIRED TO OBTAIN 5" SEPARATION DISTANCE BETWEEN ADJACENT BEAMS

| BLOCK PARTY WALL BEAM END BEARING: (STEEL BEAM) -12"X11"X 5/8" STL. PLATE ON TOP OF SOLID CONCRETE BLOCK WITH 2-  $1/2"\varnothing$  x8" ANCHOR BOLTS.

## WALL ASSEMBLIES:

-8" (200mm) SOLID 2200psi (15MPa) CONCRETE

# $\overline{14}$ FOUNDATION WALL:

-FOR WALLS NOT EXCEEDING 8'-2" (2500mm) IN LATERALLY SUPPORTED HEIGHT. MAX\_UNSUPPORTED HEIGHT OF 3'-11" (1200mm) & MAX\_SUPPORTED HEIGHT -10" (250mm) SOLID 2200psi (15MPa) CONCRETE -MAX. UNSUPPORTED HEIGHT OF 4'-7" (1400mm) & MAX. SUPPORTED HEIGHT OF 8'-6" (2600mm) MEASURED FROM GRADE TO FINISHED BASEMENT FLOOR.

-LATERAL SUPPORT PROVIDED BY ANCHORED SILL PLATE TO JOISTS. -FOR CONDITIONS EXCEEDING THESE MAXIMUMS AN ALTERNATIVE I -FOR CONDITIONS EXCEEDING THESE MAXIMUMS AN ALLERNATIVE IN CONFORMANCE TO O.B.C.-T.9.15.4.2.A SHALL BE USED OR IT SHALL BE DESIGNED UNDER O.B.C.- PART 4

-WALL SHALL EXTEND A MIN. 5 7/8" (150mm) ABOVE GRADE

-INSULATE W/ R20 (RSI 3.52) CONTINUOUS INSULATION FROM UNDERSIDE OF SUBFLOOR TO NOT MORE THAN 8" (200mm) ABOVE FINISHED FLOOR OF BASEMENT (ZONE 1 OBC SB-12 T.3.1.1.2.A.)

- ALTERNATE INSULATION METHOD: 2" (51mm) R10 (RSI 1.76)RIGID INSULATION W/
2\*x4"(38mm X 89mm) WOOD STUD W/ R12 (RSI 2.11) BATT INSULATION

THESE DRAWINGS ARE NOT TO BE SCALED. ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR PRIOR TO COMMENCEMENT OF ANY WORK. ANY DISCREPANCIES MUST BE REPORTED DIRECTLY TO RN DESIGN LTD

REDUCTION OF THICKNESS:

O.B.C. 9.15.4.7. WHERE THE TOP OF THE FOUNDATION WALL IS REDUCED IN THICKNESS TO ALLOW MASONRY FACING, THE MIN. REDUCED THICKNESS SHALL NOT BE LESS HAN 3-1/2" (90mm) THICK. TIF TO FACING MATERIAL WITH METAL TIES SPACED MAX, @ 7 7/8" (200mm) VERTICALLY O.C. & 2'-11" (900mm) HORIZONTALLY .

FILL SPACE BETWEEN WALL AND FACING SOLID W, MORTAR .

WHERE WALL IS REDUCED FOR JOISTS, THE REDUCED THICKNESS SHALL BE MAX. 13-3/4" (350mm) HIGH & MIN. 3-1/2" (90mm) THICK

DAMPPROOFING & WATERPROOFING: DAMPPROOF THE EXTERIOR FACE OF WALL BELOW GRADE AS PER O.B.C. 7.13.2. - WHERE INSULATION EXTENDS TO MORE THAN 2-11" (900mm) BELOW GRADE, A FDN. WALL DRAINAGE LAYER SHALL BE PROVIDED IN CONFORMANCE TO

O.B.C. 9.14.2.1.(2) (3) (4) -FINISHED BASEMENTS SHALL HAVE INTERIOR DAMPPROOFING EXTENDING FROM SLAB TO GRADE LEVEL & SHALL CONFORM TO O.B.C. 9.13.3.3.(3) WHERE HYDROSTATIC PRESSURE OCCURS, FDN, WALLS SHALL BE WATERPROOFED AS PER O.B.C. 9.13.3. WALLS THAT ARE WATERPROOFED DO NOT REQUIRE DAMPPROOFING

# FOUNDATION WALLS @ UNSUPPORTED OPENINGS:

2-20M BARS IN TOP PORTION OF WALL (LIP TO 8'-0" OPENING) 2-200M BARS IN TOP PORTION OF WALL (8-0" TO 10"-0" OPENING)
-4-20M BARS IN TOP PORTION OF WALL (10"-0" TO 15"-0" OPENING)
-BARS STACKED VERTICALLY AT INTERIOR FACE APPROX 4" TO 6" APART. -BARS TO HAVE MIN. 2" (50mm) CONCRETE COVER -BARS TO EXTEND 2'-0" (600mm) BEYOND BOTH SIDES OF OPENING.

### 15 FRAME WALL CONSTRUCTION:

O.B.C. 9.23. -SIDING OR STUCCO AS PER ELEVATIONS, MIN. 7 7/8" (200mm) FROM FINISHED GRADE (O.B.C. 9.28.1.4. & 9.27.) -WALL SHEATHING MEMBRANE AS PER O.B.C. 9.27.3.2. -1/4" (6mm) PLYWOOD (EXTERIOR TYPE) OR EQUIVALENT AS PER O.B.C. 9.23.16.
-2" X 6" (38mm X 1 40mm) WOOD STUDS @ 16" (400mm) O.C.
-MIN. R22 (RS1 3.87) INSULATION (200F 1. OBC SB-12 T.3.1.12.A.)
-CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C. 9.25.3. & 9.25.4.. 1/2" (12.7mm) GYPSUM BOARD NOTE - SUPPORT FOR 3 FLOORS ABOVE - O.B.C. T.9.23.10.1. = -FOR 3 FLOORS SUPPORTED ABOVE, 2" X 6" (38mmX 140mm) STUDS ARE REQUIRED TO BE SPACED @ 12" (300mm) O.C.

REQ. FOR FIRE RATING (LESS THAN 4'-0" LIMITING DISTANCE): O.B.C. SB-3 WALL = EW1b (STC = N/A, FIRE = 45 MIN) FOR 45 MINUTE FIRE RATED WALL REQUIREMENTS SUBSTITUTE THE FOLLOWING -REPLACE R22 (RSI 3.87) INSULATION WITH R22 (RSI 3.87) ABSORPTIVE

NSULATING MÀTERIAL WITH A MASS OF AT LEAST 4.8 kg/ sa.m REPLACE 1/2" (12.7mm) INTERIOR GYPSUM BOARD WITH 1/2" (12.7mm) TYPE REQ. FOR FIRE RATING (LESS THAN 2'-0" LIMITING DISTANCE): -REFER TO REQUIREMENTS FOR LESS THAN 4"-0" LIMITING DISTANCE AND ADD/REPLACE THE FOLLOWING:
-NON-COMBUSTABLE SIDING OR STUCCO AS PER ELEVATIONS (REFER TO

MANUFACTURER'S SPECIFICATIONS). -VINYL SIDING IS PERMITTED PER O.B.C. 9.10.15.5.(3). OVER 1/2" (12.7mm) GYPSUM EXTERIOR SHEATHING WHICH REPLACES EXTERIOR PLYWOOD OR EQUIV.

# 150 ALTERNATE FRAME WALL CONSTRUCTION:

SIDING OR STUCCO AS PER ELEVATIONS, MIN. 7 7/8" (200mm) FROM FINISHED GRADE (O.B.C. 9.28.1.4. & 9.27.)
-1 1/2" (38mm) R8 (RSI 1.41) RIGID INSULATION W/ TAPED JOINTS (O.B.C. RPACE W/ CONT. 14 GALIGE STEEL 'T' RPACES EROM, TOP PLATE TO RTM. PLATE.

FOR THE FULL LENGTH OF WALL, OR CONT. 2" X 4" (38mmX 89mm) SOLID WO BLOCKING @ APPROXIMATELY 45 DEG. FROM TOP PLATE TO BTM. PLATE FOR -2" X 4" (38mmX 89mm) WOOD STUDS @ 16" (400mm) O.C. @ 12" (300mm) O.C. ON BOTTOM FLR. WHEN 3 STOREYS. R14 (RSI 2.46) INSULATION ONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C.- 9.25.3. &

7.23.4.
NOTE - SUPPORT FOR 2 + 3 FLOORS ABOVE - O.B.C. T.9.23.10.1. =
-FOR 2 FLOORS SUPPORTED ABOVE 2" X 4" (38mmX 89mm) STUDS ARE REQUIRED TO BE SPACED @ 12" (300mm) O.C -FOR 3 FLOORS SUPPORTED ABOVE, 2" X 6" (38mmX 140mm) STUDS ARE

EQUIRED TO BE SPACED @ 12" (300mm) O.C.

REQ. FOR FIRE RATING (LESS THAN 4-0" LIMITING DISTANCE): O.B.C. SB-3 WALL = EW1b (STC = N/A, FIRE = 45 MIN) FOR 45 MINUTE FIRE RATED WALL REQUIREMENTS SUBSTITUTE AND/OR ADD THE OLLOWING MATERIALS: ADD 1/4" (6mm) PLYWOOD (EXTERIOR TYPE) OR EQUIVALENT AS PER O.B.C. 9,23,16, BETWEEN RIGID INSULATION AND WOOD STUD REPLACE R14 (RSI 2.46) INSULATION WITH R14 (RSI 2.46) ABSORPTIVE INSULATING MATERIAL WITH A MASS OF AT LEAST 2.8 kg/ sq.m. -REPLACE 1/2"(12.7mm) GYPSUM BD. W/ 1/2" (12.7mm) TYPE 'X' GYPSUM BD.

REQ. FOR FIRE RATING (LESS THAN 2'-0" LIMITING DISTANCE): REFER TO REQUIREMENTS FOR LESS THAN 4'-0" LIMITING DISTANCE AND ADD/REPLACE THE FOLLOWING:
-NON-COMBUSTABLE SIDING OR STUCCO AS PER ELEVATIONS (REFER TO MANUFACTURER'S SPECIFICATIONS).

VINYL SIDING IS PERMITTED PER O.B.C. 9.10.15.5.(3). OVER SHEATHING PAPER

# 15b FRAME WALL CONSTRUCTION @ GARAGE:

O.B.C., 9.23. -SIDING OR STUCCO AS PER ELEVATIONS, MIN. 7 7/8" (200mm) FROM FIIVISHEU GKADE (O.B.C. Y.28.1.4. & Y.27.)
-WALL SHEATHING MEMBRANE AS PER O.B.C. 9.27.3.2.
-1/4" (6mm) PLYWOOD (EXTERIOR TYPE) OR EQUIVALENT AS PER O.B.C. FINISHED GRADE (O.B.C. 9.28.1.4. & 9.27. 2" X 4" (38mmX 89mm) WOOD STUDS @ 16" (400mm) O.C.

-FOR 2 FLOORS SUPPORTED ABOVE, 2" X 4" (38mmX 89mm) STUDS ARE REQUIRED TO BE SPACED @ 12" (300mm) O.C -FOR 3 FLOORS SUPPORTED ABOVE 2" X 6" (38mmX 140mm) STUDS ARE EQUIRED TO BE SPACED @ 12" (300mm) O.C.

REQ. FOR FIRE RATING (LESS THAN 4'-0" LIMITING DISTANCE): O.B.C. SB-3 WALL = EW1b (STC = N/A, FIRE = 45 MIN) FOR 45 MINUTE FIRE RATED WALL REQUIREMENTS SUBSTITUTE AND/OR ADD HE FOLLOWING MATERIALS: ADD ABSORPTIVE MATERIAL WITH A MASS OF AT LEAST 2.8 kg/sq.m REPLACE 1/2"(12 7mm) GYPSIIM BD. W/ 1/2" (12 7mm) TYPE 'X' GYPSIIM BD. REQ. FOR FIRE RATING (LESS THAN 2'-0" LIMITING DISTANCE):

REFER TO REQUIREMENTS FOR LESS THAN 4'-0" LIMITING DISTANCE AND NON-COMBUSTABLE SIDING OR STUCCO AS PER ELEVATIONS (REFER TO MANUFACTURER'S SPECIFICATIONS).

/INYL SIDING IS PERMITTED PER O.B.C. 9.10.15.5.(3). OVER SHEATHING PAPER OVER 1/2" (12.7mm) GYPSUM EXTERIOR SHEATHING WHICH REPLACES

# EXTERIOR PLYWOOD OR EQUIV. BRICK VENEER CONSTRUCTION:

-3-1/2" (90mm) FACE BRICK OR 4" (100mm) STONE @ 36'-1" (11m) MAX. AIN. 0.03" (0.76mm) THICK, 7/8" (22mm) WIDE CORROSION RESISTANT STRAPS @ MAX. 15 3/4" (400mm) O.C. HORIZONTAL & 23 5/8" (600mm) O.C. VERTICAL SPACING -PROVIDE WEEP HOLES @ 2'-7" (800mm)O.C. @ BTM. COURSE & OVER BASE FLASHING UP TO 5 7/8" (150mm) BEHIND WALL SHEATHING MEMBRANE (O.B.C. 9.20.13.6.(2) )

-BRICK OR STONE SILLS UNDER OPENINGS, FLASHING UNDER -WALL SHEATHING MEMBRANE AS PER O.B.C. 9.27.3.2. /4" (6mm) PLYWOOD (EXTERIOR TYPE) OR EQUIVALENT AS PER O.B.C. -2" X 6" (38mmX 140mm) WOOD STUDS @ 16" (400mm) O.C

MIN. R22 (RSI 3.87) INSULATION (ZONE 1. OBC SB-12 T.3.1.1.2.A.) -CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C.- 9.25.3. 1/2" (12.7mm) GYPSUM BOARD NOTE - SUPPORT FOR 3 FLOORS ABOVE - O B C T 9 23 10 1 = -FOR 3 FLOORS SUPPORTED ABOVE, 2" X 6" (38mmX 140mm) STUDS ARE

REQ. FOR FIRE RATING (LESS THAN 4'-0" LIMITING DISTANCE): O.B.C. SB-3 WALL = FW1b (STC = N/A. FIRE = 45 MIN) FOR 45 MINUTE FIRE RATED WALL REQUIREMENTS SUBSTITUTE AND/OR ADD THE FOLLOWING MATERIALS:

-REPLACE R22 (RSI 3.87) INSULATION WITH R22 (RSI 3.87) ABSORPTIVE INSULATING MATERIAL WITH A MASS OF AT LEAST 4.8 kg/ sq.m -REPLACE 1/2"(12.7mm) GYPSUM BD. W/ 1/2" (12.7mm) TYPE 'X' GYPSUM BD.

# ALTERNATE BRICK VENEER CONSTRUCTION:

REQUIRED TO BE SPACED @ 12" (300mm) O.C.

-3-1/2" (90mm) FACE BRICK OR 4" (100mm) STONE @ 36'-1" (11m) MAX THICKEN - MINION - MI -PROVIDE WEEP HOLES @ 2'-7" (800mm)O.C. @ BTM. COURSE & OVER

-BASE FLASHING UP TO 5 7/8" (150mm) BEHIND WALL SHEATHING MEMBRANE (O.B.C. 9.20.13.6.(2) BRICK OR STONE SILLS UNDER OPENINGS, FLASHING UNDER /2" (38mm) R8 (RSI 1.41) RIGID INSULATION W/ TAPED JOINTS (O.B.C.

-2" X 4" (38mmX 89mm) WOOD STUDS @ 16" (400mm) O.C. @ 12" (300mm) C. ON BOTTOM FLR. WHEN 3 STOREYS BRACE W/ CONT 14 GALIGE STEEL 'T' BRACES FROM TOP PLATE TO BTM. PLATE FOR THE FULL LENGTH OF WALL, OR -CONT. 2" X 4" (38mmX 89mm) SOLID WOOD BLOCKING @ APPROXIMATELY -CONI, 2" X 4" (38mmx 89mm) SOLID WOOD BLOCKING @ APPROXIMATELY 45 DEG. FROM TOP PLATE TO BTM. PLATE FOR FULL LENGTH OF WALL -R14 (RS1 2.46) INSULATION -CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C.- 9.25.3. & -1/2" (12.7mm) GYPSUM BOARD

NOTE - SUPPORT FOR 2 + 3 FLOORS ABOVE - O.B.C. T.9.23.10.1. NOTE - SUPPORTED HOVE 2+ 3 FLOOKS ABOVE - 0.B.C., 17.23.10.1. =
-FOR 2 FLOORS SUPPORTED ABOVE, 2"X 4" (38mmX 89mm) STUDS ARE
REQUIRED TO BE SPACED @ 12" (300mm) O.C.
-FOR 3 FLOORS SUPPORTED ABOVE, 2"X 6" (38mmX 140mm) STUDS ARE
REQUIRED TO BE SPACED @ 12" (300mm) O.C.

REQ. FOR FIRE RATING (LESS THAN 4'-0" LIMITING DISTANCE):

O.B.C. SB-3 WALL = EW1b (STC = N/A, FIRE = 45 MIN) FOR 45 MINUTE FIRE RATED WALL REQUIREMENTS SUBSTITUTE AND/OR ADD the following materials: -ADD 1/4" (6mm) Plywood (exterior type) or equivalent as per o.b.c. 9.23.16. BETWEEN RIGID INSULATION AND WOOD STUD -REPLACE R14 (RSI 2.46) INSULATION WITH R14 (RSI 2.46) ABSORPTIVE INSULATING MATERIAL WITH A MASS OF AT LEAST 2.8 kg/ sq.m. -REPLACE 1/2"(12.7mm) GYPSUM BD. W/ 1/2" (12.7mm) TYPE 'X' GYPSUM BD.

### 16b BRICK VENEER CONSTRUCTION @ GARAGE: O.B.C. 9.23.

-3-1/2" (90mm) FACE BRICK OR 4" (100mm) STONE @ 36'-1" (11m) MAX HEIGHI
-MIN. 0.03" (0.76mm) THICK, 7/8" (22mm) WIDE CORROSION RESISTANT
STRAPS @ MAX. 15 3/4" (400mm) O.C. HORIZONTAL & 23 5/8" (600mm) O.C.
VERTICAL SPACING
-PROVIDE WEEP HOLES @ 2"-7" (800mm) O.C. @ BTM. COURSE & OVER BASE FLASHING UP TO 5 7/8" (150mm) BEHIND WALL SHEATHING MEMBRANE (O.B.C. 9.20.13.6.(2).)

BRICK OR STONE SILLS UNDER OPENINGS, FLASHING UNDER I" (25mm) AIR SPACE WALL SHEATHING MEMBRANE AS PER O.B.C. 9.27.3.2. 1/4" (6mm) PLYWOOD (EXTERIOR TYPE) OR EQUIVALENT AS PER O.B.C. -2" X 4" (38mmX 89mm) WOOD STUDS @ 16" (400mm) O.C. 1/2" (12.7mm) GYPSUM BOARD NOTE - SUPPORT FOR 2 + 3 FLOORS ABOVE - O.B.C. T.9.23.10.1. =

-FOR 2 FLOORS SUPPORTED ABOVE, 2" X 4" (38mmX 89mm) STUDS ARE REQUIRED TO BE SPACED @ 12" (300mm) O.C. -FOR 3 FLOORS SUPPORTED ABOVE, 2" X 6" (38mmX 140mm) STUDS ARE REQUIRED TO BE SPACED @ 12" (300mm) O.C. REQ. FOR FIRE RATING (LESS THAN 4'-0" LIMITING DISTANCE):

# O.B.C. SB-3 WALL = EW1b (STC = N/A, FIRE = 45 MIN) FOR 45 MINUTE FIRE RATEO WALL REQUIREMENTS SUBSTITUTE AND/OR ADD THE FOLLOWING MATERIALS: -ADD R15 (RSI 2.64) ABSORPTIVE MATERIAL WITH A MASS OF AT LEAST 2.8 kg/ sq.m. REPLACE 1/2"(12.7mm) GYPSUM BD. W/ 1/2" (12.7mm) TYPE 'X' GYPSUM BD. 17 INTERIOR STUD WALLS:

-2" X 4" (38mmX 89mm) WOOD STUDS @ 16" (400mm) O.C. OR -2" X 6" (38mmX 140mm) WOOD STUDS @ 16" (400mm) O.C. W/ - DOUBLE 2" X 4" OR 2" X 6" TOP PLATES AND SINGLE BOTTOM PLATE -1/2" (12.7mm) GYPSUM BOARD BOTH SIDES.

### 18 BEARING STUD WALL (BASEMENT): -2" X 4" (38mmX 89mm) WOOD STUDS @ 16" (400mm) O.C. OR ·2" X 6" (38mmX 140mm) WOOD STUDS @ 16" (400mm) O.C. W/ · DBL. 2" X 4" OR 2" X 6" TOP PLATE. - DBL, 2" X 4" OR 2" X 6" IOP PLAIE. - 2" X 4" OR 2" X 6" BOTTOM PLATE ON DAMPPROOFING MATERIAL. 1-1/2" (12,7mm) GYPSUM BOARD BOTH SIDES, -1/2" (12,7mm) DIA, ANCHOR BOLTS @ 7"-10" (2400mm) O.C.

FOOTING AS PER GENERAL NOTE #2 W/ 4" CONC. CURE 19 PARTY WALL - BLOCK: O.B.C. SB-3 WALL = B6e (STC = 57, FIRE = 2 HR) MIN THE FIRE-RESISTANCE RATING CONTINUOUS FROM TOP OF FOOTINGS TO THE US OF ROOF DECK
-SPACE BETWEEN TOP OF WALL & ROOF DECK SHALL BE TIGHTLY FILLED W/
MINERAL WOOL OR NONCOMBUSTIBLE MATERIAL & CAULKED TO PREVENT

-7/2" (12.7mm) GYPSUM BOARD W/ TAPED JOINTS BOTH SIDES -2" X 2" (38mmX 38mm) WOOD STRAPPING @ 24" (600mm) O.C. BOTH -ABSORPTIVE MATERIAL ON BOTH SIDES FILLING A MINIMUM OF 90% OF THE .AVIII. 7 1/2" (190mm) HOLLOW BLOCK (NORMAL WEIGHT AGGREGATE) STAGGER JOISTS & BEAMS MIN. 3 1/2" (90mm) @ PARTY WALLS AS PER O.B.C. 9.10.9.9.(1) & TABLE 2.1.1. SB-2 -ACOUSTICAL SEALANT AS PER O.B.C. SB-3 (NOTE (2) TO TABLE 1)

PARTY WALL - BLOCK (AGAINST GARAGE): O.B.C. SB-3 WALL = B5c (STC = 51, FIRE = 2 HR)

-MIN. 1HR FIRE-RESISTANCE RATING CONTINUOUS

-1/2" (12.7mm) GYPSUM BOARD

-CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C.- 9.25.3. & 9.25.4. -2" X 6" (38mmX 140mm) WOOD STRAPPING @ 16" (400mm) O.C. R22 (RSI 3.52) RIGID INSULATION KSI 3.32J KIGID INSULATION \* (190mm) HOLLOW BLOCK (NORMAL WEIGHT AGGREGATE) 12.7mm) GYPSUM BOARD @ WALL & U/S OF CEILING BETWEEN

-TAPE AND SEAL ALL JOINTS GAS TIGHT O.B.C. 9.10.11. & 3.1.10. & SB-3 WALL = B6e (STC = 57, FIRE = 2 HR) IE FIREWALL IS REQUIRED FOR EVERY 6460 S.F. (600 SQ.M) OF BUILDING AREA, O.B.C. T.3.2.2.47. -1/2" (12.7mm) GYPSUM BOARD W/ TAPED JOINTS

-2" X 2" (38mmX 38mm) WOOD STRAPPING @ 24" (600mm) O.C. ON BOTH SIDES SOUND ABSORPTIVE MATERIAL EACH SIDE FILLING 90% OF THE CAVITY 57 (1790mm) CONC. BLOCK, MIN. 2 HR. FIRE-RESISTANT RATING EVERY FIREWALL SHALL BE CONTINUOUS THROUGH ALL BUILDING STOREYS STAGGER JOISTS & BEAMS MIN. 5" (130mm) @ FIRE WALLS AS PER O.B.C. 9.10.9.9.(1) & TABLE 2.1.1 SB-2 ACOUSTICAL SEALANT AS PER O.B.C. SB-3 (NOTE (2) TO TABLE 1) PROTRUDE PAST FASCIA @ FAVES W/ BRICK CORBELLING EXTEND 5 7/8" (150mm) ABOVE ROOF SURFACES & HAVE ALUMINUM CAP W/IHROUGH WALL FLASHING PER O.B.C. 3.1.10.4.(1)

### -WHERE THE DIFFERENCE IN HEIGHT BETWEEN ADJACENT ROOFS IS GREATER THAN 9'10" (3m), WALL NEED NOT EXTEND PAST UPPER ROOF SURFACE PER O.B.C. 3.1.10.4.(2) 20 PARTY WALL - FOUNDATION:

O.B.C., 9.13.4.2.

-7 7/8" (200mm) SOLID CONC. FOUNDATION WALL @ 2200psi (15MPa)
COMPRESSIVE STRENGTH AFTER 28 DAYS
-FOUNDATION WALL TO REST ON FOOTING PER GENERAL NOTE #2

### PARTY WALL - WOOD STUD (TYPICAL): O.B.C. SB-3 WALL = W15c (STC = 61, FIRE = 1 HR) -MIN. 1HR FIRE-RESISTANCE RATING CONTINUOUS FROM TOP OF

FOOTINGS TO THE U/S OF ROOF DECK 2" X 4" (38mmX 89mm) BOTTOM PLATE & SEPARATE DOUBLE 2" X 4" 38mmX 89mm) TOP PLATES -SOUND ABSORPTIVE MATERIAL ON BOTH SIDES FILLING A MINIMUM OF -2 LAYERS OF GYSUM ON BOTH SIDES (as follows 1st LAYER - 5/8" (16mm) TYPE 'X' GYPSUM BOARD BOTH SIDES W/ JOINTS TAPED & FILLED. ACOUSTIC GREEN GLUE b/w GYPSUM 1st & 2nd LAYERS -2nd LAYER - 1/2" (12mm) REGULAR GYSUM BOARD BOTH SIDES WA JOINTS TAPED & FILLED -ACOUSTICAL SEALANT AS PER O.B.C. SB-3 (NOTE (2) TO TABLE 1 NOTE - SUPPORT FOR 2 + 3 FLOORS ABOVE - 0.B.C. T.9.23.10.1. =
-FOR 2 FLOORS SUPPORTED ABOVE, 2" X 4" (38MMX 89MM) STUDS ARE REQUIRED TO BE SPACED @ 12" (300MM) O.C. FOR 3 FLOORS SUPPORTED ABOVE, 2" X 6" (38MMX 140MM) STUDS AR REQUIRED TO BE SPACED @ 12" (300MM) O.C.

- IF 2"X6" STUDS ARE USED AT STAIR OPENING CONTINUE TO US

### ON REMAINING FLOORS AT THE STAIR OPENING AT 16" O.C (22) GARAGE WALL & CEILING:

O.B.C. 9.10.9.16.(3) 1/2" (12.7mm) GYPSUM BOARD ON BOTH SIDES OF WALL & U/S OF CELLING BETWEEN HOUSE AND GARAGE CEILING BEHWEEN HOUSE AND GARAGE
-TAPE AND SEAL ALL JOINTS GAS TIGHT
-R22 (RSI 3.87) INSULATION IN WALLS,
-R31 (RSI 5.41) INSULATION IN CEILINGS W/ FLOOR ABOVE
-CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C.9.25.3. & 9.25.4.. FOR FLOOR ABOVE.
-INSULATION AROUND DUCTS AND PIPING NOT TO ENCROACH MIN.
-PECHIPPER CAPACE A DEFAURE OF MINICIPAL STANDAPPS! REQUIRED GARAGE AREA (REFER TO MUNICIPAL STANDARDS). 1/2" (12.7mm) GYPSUM BOARD ROOF FRAMING MEMBERS ARE FASTENED TO TOP PLATES WITH 4 - 3 1/4" (82mm) TOE NAILS -BOTTOM PLATES ARE FASTENED TO FLOOR JOISTS, BLOCKING OR RIM JOIST WITH 3 1/4" (82mm) NAILS AT 7 7/8" (200mm) O.C.

### WALLS ADJACENT TO ATTIC SPACE: '2" (12.7mm) GYPSUM BOARD ONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C.-9.25.3. & 9.25.4.

-2" X 6" (38mmX 140mm) WOOD STUDS @ 16" (400mm) O.C. R22 (RSI 3.87) INSULATION (2" (12.7mm) GYPSUM BOARD OR 1/4" (6mm) PLYWOOD SHEATHING ATTIC ACCESS TO BE PROVIDED AS PER O.B.C. 9.19.2.1.

### 23 DOUBLE VOLUME WALLS: 3/8" (9.5mm) PLYWOOD, OSB OR WATERBOARD SHEATHING REFER TO PLAN FOR STUD SPECIFICATION STUDS FASTENED AT TOP & BOTTOM WITH 3/3-1/4" (82mm) TOE NAILS DOUBLE TOP PLATES FASTENED TOGETHER WITH 3" (76mm) AT

-SOLID BRIDGING AT 3'-11" (1200mm) O.C. -MIN. R22 (RSI 3.87) INSULATION (ZONE 1 OBC SB-12 T.3.1.1.2.A.) CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE WITH O.B.C 9.25.3. & 9.25.9.

# 24 EXPOSED FLOOR:

(33) CONVENTIONAL FRAMING: LOOR AS PER NOTE # 28 CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C.- 9.25.3. & 9.25.4.

240 SUNKEN FINISHED AREAS: - USE SOLID BUILT-UP WOOD BEARING POST TO SUPPORT SUNKEN AREA AT FOUNDATION WALLS. EXTEND FOOTINGS TO SUPPORT POSTS.
- WHERE GRADING CONDITIONS WILL ALLOW, CHECK FOUNDATION WALLS INSTEAD OF USING BEARING POSTS.
-FLOOR STRUCTURE AS PER NOTE # 28.

# 25 DOUBLE MASONRY WYTHE WALL:

6" SILL W/ 2" BEARING ON EACH SIDE & ANCHOR BOLTS @ 4'-0" O.0 NOTE: MASONRY TO BE SOLID & MORTAR JOINT FILLED SOLID FOR FLOOR JOISTS BEARING ON WYTHES, FLOOR JOISTS ARE NOT TO PROJECT INTO CAVITY

250 CORBEL MASONRY VENEER: -MASONRY VENEER TO BE CORBELLED AS PER O.B.C. 9.20.12.3.(1) FLOOR ASSEMBLIES:

# 26 SILL PLATE:

O.B.C. 9.23.7 -2" X 4" (38mm X 89mm) PLATE -2" X 4" (38mm X 89mm) PLAIE
-1/2" (12.7mm) DIA. ANCHOR BOLTS @ 7'-10" (2400mm) O.C. FASTENED TO
PLATE W/ NUTS AND WASHERS & SHALL BE EMBEDDED NOT LESS THAN 4"
(100mm) INTO FOUNDATION WALL.
-SILL PLATE TO BE CAULKED, OR PLACED ON A LAYER NOT LESS THAN 1"

### 25mm) THICK BEFORE COMPRESSING, OR FOAM GASKET, OR PLACED ON FULL BED OF MORTAR $\langle 27 \rangle$ Bridging & Strapping:

a) STRAPPING -1" X 3" (19mmX 64mm) NAILED TO U/S OF JOISTS @ MAX. 6-11" (2100mm) O.C.

NED TO SILL OR HEADER @ ENDS -1" X 3" (19mmX 64mm) OR 2" X 2" (38mmX 38mm) CROSS BRIDGING @ MAX. 6'-11" (2100mm) O.C. c) BRIDGING & STRAPPING

1 1/2" (38mm) SOLID BLOCKING @ MAX. 6'-11" (2100mm) O.C. USED WITH STRAPPING (0) 3) FURRING OR PANEL TYPE CEILING STRAPPING NOT REQUIRED IF FURRING STRIPS OR PANEL TYPE CEILING FINISH ATTACHED DIRECTLY TO JOISTS.

28 FLOOR ASSEMBLY: O.B.C. 9.23.14.3, 9.23.14.4 -5/8" (15.9mm) WAFERBOARD (R-1 GRADE) OR EQUIVALENT

### FLOOR JOISTS AS PER FLOOR PLANS 29 PORCH SLAB:

- a) & b) USED TOGETHER OR

-4 7/8" (125mm) 4650 psi (32 MPa) CONC. SLAB WITH 5 TO 8% AIR ENTRAINMENT -4 //6 | 1231mil | 430 JS | (32 MF) COMC, SARA WITH 5 | 0 8% AIR ENTRAINMEN--REINFORCE WITH 10M BARS @ 7 7/8" (200mm) EACH WAY -1 1/4" (30mm) CLEAR COVER FROM THE BOTTOM OF THE SLAB -3" (75mm) END BEARING ON FOUNDATION WALL -23 5/8" (600mm) X 23 5/8" (600mm) 10M DOWELS @ 23 5/8" (600mm) O.C. -IF A COLD CELLAR IS LOCATED BELOW THE SLAB, SUPPORT ON FOUNDATION WALLS NOT TO EXCEED 8'-2"

30 EXTERIOR BALCONY ASSEMBLY: -1 1/4" X 3 1/2" PRESURE TREATED DECKING W/ 1/4" SPACING -2"X4" WOOD PURLINS (CUT DIAGONALLY) @ 12" O.C. LAYING UNFASTENED ON SINGLE PLY WATERPROOF ROOF MEMBRANE OR EQUIVALENT ON 5/8" 15.9mm) EXTERIOR GRADE PLYWOOD SHEATHING ON 2"X4" WOOD PURLINS

(CUIT DIAGONALLY) @ 12" O.C. DIRECTLY ON 2"X8" ROOF JOISTS @ 12" O.C. (OR AS NOTED ON PLAN) -- EXTERIOR GUARD AS PER #36a - SLOPE ASSEMBLY MINIMUM 2% TO ROOF SCUPPER REQUIRED FOR OVER HEATED SPACES: -ADD 2"x2" (38mm x 38mm) CROSS PURLINS @ 16" (400mm) O.C. FOR VENTILATION OVER JOISTS (OBC 9.19.1.2, VENTING NOT LESS THAN 1/150 OF

ADD R31 (RSI 5.46) INSUI ATION RETWEEN IOISTS & 9.25.4. -ADD 1/2" (12.7mm) GYPSUM BOARD W/ PAINTED CEILING OR

-ADD 5/8" (15.9mm) GYPSUM BOARD W/ TEXTURED CEILING (O.B.C.-T.9.29.5.3.)

EXTERIOR FLAT ROOF ASSEMBLY: EXITERIOR FLAT KOUT ASSEMBLT:
SINGLE PLY WATERPROOF ROOF MEMBRANE OR EQUIVALENT
INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
-1/4" EXTERIOR GRADE WOOD PANEL TYPE UNDERLAY TAPERED PURLINS
SLOPED MIN. 2% TO ROOF SCUPPER.
-3/8" EXTERIOR GRADE PLYWOOD SHEATHING ON -2"X8" ROOF JOISTS @ 12" O.C. (OR AS NOTED ON PLAN)

REQUIRED FOR OVER HEATED SPACES: ADD 2"x2" (38mm x 38mm) CROSS PURLINS @ 16" (400mm) O.C. FOR TILATION OVER JOISTS (OBC 9.19.1.2. VENTING NOT LESS THAN 1/150 OF VENITIATION OVER 2013 (UBC 7.17.1.2. VENITIAG NOT LESS 11.9.4.1, 100 G. CELLING AREA)

-ADD R31 (RSI 5.46) INSULATION BETWEEN JOISTS

-ADD CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C. 9.25.3.

-ADD 1/2" (12.7mm) GYPSUM BOARD W/ PAINTED CEILING OR -ADD 5/8" (15.9mm) GYPSUM BOARD W/ TEXTURED CEILING (O.B.C. T.9.29.5.3.)

### ROOF ASSEMBLIES

SMOKE ALARM (44)

ALARM (CMA)

E VENTS AND INTAKES

COLD CELLAR VENT (50)

FIRE PLACE VENT

WATERPROOF DUPLEX OUTLET

₩ HOSE BIB

38 EXHAUST FAN

STOVE VENT

DRYER VENT

FLOOR DRAIN

SOLID BEARING

Ø

 POINT LOAD

2/ 2" X 8" SPR

2/ 2" X 10" SPR

2/ 2" X 12" SPR

CARBON MONOXIDE 45

(31) TYPICAL ROOF: O.B.C. 9.26 -NO. 210 (30. 5KG/m2) ASPHALT SHINGLES -FOR ROOFS BETWEEN 4:12 & 8:12 PITCH PROVIDE EAVES PROTECTION TO -FOR ROOFS BEI WEEN 4:12 & 8:12 PIICH PROVIDE EAVES PROTECTION TO EXTEND UP I'THE ROOF SLOPE MIN. 2-11" (900mm) PROM EDGE TO A LINE NOT LESS THAN 12" (300mm) PAST THE INSIDE FACE OF EXTERIOR WALL.
-EAVES PROTECTION LAID BENEATH STARTER STRIP.
-EAVE PROTECTION NOT REQUIRED OVER UNHEATED SPACES.
-STARTER STRIP AS PER O.B.C. 9.26.7.2. (2) STARTER STRIP NOT REQUIRED AS PER O.B.C. 9.26.7.2.(3)

-3/8" (10mm) PLYWOOD SHEATHING OR OSB (0-2 GRADE) WITH "H" CLIPS APPROVED WOOD TRUSSES @ 24" (600mm) O.C. (REFER TO MANUFACTURER'S RIUSS BRACING AS PER TRUSS MANUFACTURER EAVESTROUGH ON PREFINISHED FASCIA AND VENTED SOFFIT (VINYL OR -ATTIC VENTILATION 1:300 OF INSULATED CEILING AREA WITH, 50% AT SOFFIT.

### 32 CEILING: -R60 (RSI 10.56) INSULATION TINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C. 9.25.3.

1/2" (12.7mm) GYPSUM BOARD W/ PAINTED CEILING OF 5/8" (15.9mm) GYPSUM BOARD W/ TEXTURED CEILING (O.B.C. T.9.29.5.3.) 320 VAULTED OR CATHEDRAL CEILING:

O.B.C. 9.26. & TABLE A4 -NO. 210 (30, 5KG/m2) ASPHALT SHINGLES -NO. 210 (30. SKG/m2) ASPHALT SHINGLES
FOR ROOFS BETWEEN 412 & 8:12 PITCH PROVIDE EAVES PROTECTION TO
EXTEND UP THE ROOF SLOPE MIN. 2-11" (900mm) FROM EDGE TO A LINE NOT
LESS THAN 12" (300mm) PAST THE INSIDE FACE OF EXTERIOR WALL.
-EAVES PROTECTION LAID BENEATH STARTER STRIP.
-EAVE PROTECTION NOT REQUIRED OVER UNHEATED SPACES OR WHERE ROOF SLOPES ARE 8:12 OR GREATER PER O.B.C. 9.26.5.1. -STARTER STRIP NOT REQUIRED AS PER O.B.C. 9.26.7.2.(3)

3/8" (10mm) PLYWOOD SHEATHING OR OSB (0-2 GRADE) WITH "H" CLIPS 7-2/8" (38mm x 184mm) @ 16" O.C. W) 2"x2" (38mm x 38mm) CROSS PURLINS @ 24" O.C. MAX. SPAN 13"-3" (4050mm) OR -2"x10" (38mm x 235mm) @ 16" O.C. W, 2"x2" (38mm x 38mm) CROSS PURLINS @ 24" O.C. MAX. SPAN 17"-0" (5180mm) -R31 (RSI 5.46) INSULATION

MIN. 3" CLEARANCE FROM U/S OF ROOF SHEATHING TO INSULATION CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE WITH O.B.C. 9.25.3. & 9.25.4.

LINTELS

4-7/8" X 3-1/2" X 1/4" L L13 5-7/8" X 3-1/2" X 3/8" L

<u>LEGEND</u> FLAT ARCH EXT. LIGHT FIXTURE (WALL MOUNTED) HYDRO METER

**(G**) GAS METER DJ DOUBLE JOIST PT PRESSURE TREATED LUMBER GT GIRDER TRUSS

**AFF** ABOVE FINISHED FLOOR BREM BEAM BY FLOOR MANUE (FL) FLUSH DROPPED 'DO' REPEAT SAME JOIST SIZE U/S UNDER SIDE FIXED GLAZING GLASS BLOCK BG

4/ 2" X 10" SPR 5/ 2" X 10" SPR 3/ 2" X 12" SPR WD8 4/ 2" X 12" SPR 5/ 2" X 12" SPR WD10 2/ 1 3/4" X7 1/4" (2.0E) LV BLACK GLASS WD12A 1/ 1 3/4" X9 1/2" (2.0E) LV WD13 3/ 1 3/4" X9 1/2" (2.0E) LV L9 4" X 3-1/2" X 1/4" L L14 5-7/8" X 3-1/2" X 1/2 L10 4-7/8" X 3-1/2" X 5/16" L L15 5-7/8" X 4" X 1/2" L WD14 2/ 1 3/4" X11 7/8" (2.0E) L L11 4-7/8" X 3-1/2" X 3/8" L L16 7-1/8" X 4" X 3/8" L 3-1/2" X 3-1/2" X 1/4" L L12 5 7/8" X 3-1/2" X 5/16" L L17 7-1/8" X 4" X 1/2" L WD16A 1/ 1 3/4" X14" (2.0E) LVL

-PRECAST CONC. STEP
-2 RISERS MAXIMUM PERMITTED TO BE LAID ON GROUND

O.B.C. TABLE A6 OR A7

RAFTERS & MIN. 1 1/2" (38mm) THICK

(34) ATTIC ACCESS HATCH:

GENERAL: 35 PRIVATE STAIRS:

O.B.C. 9.8.4. -MAX. RISE -MIN. RUN

-MIN. TREAD

-MIN. RUN -MIN. AVG. RUN

HANDRAILS:

HEIGHT: O.B.C. 9.8.7.4

PROJECTIONS: O.B.C. 9.8.7.6

O.B.C. 9.8.4.

350 PUBLIC STAIRS:

-MAX. RISE

-MIN. RUN

HANDRAILS:

DIRECTION

O.B.C. 9.8.7

HEIGHT: O.B.C. 9.8.7.4

PROJECTIONS: O.B.C. 9.8.7.6

TERMINATION: O.B.C. 9.8.7.3

(36) INTERIOR GUARDS: O.B.C. SB-7 & 9.8.8.3.

360 EXTERIOR GUARDS:

23.5/8" (600mm)

O.B.C. SB-7 & 9.8.8.3.

36b EXTERIOR GUARDS @ JULIET BALCONY:

-PICKETS TO HAVE 4" (100mm) MAX. SPACING -PROVIDE MID-SPAN POSTS AS PER SB-7.

CONFORM WITH O.B.C. APPENDIX A-9.8.8.5.

37 -LINEN CLOSET 4 SHELVES MIN. 1'-2" (350mm) DEEP

38 AIR CHANGE PER HOUR, O.B.C.- 9.32.1.3.(3)

 $\langle 40 \rangle$  -1"X2" (19mmX38mm) BOTH SIDES OF STEEL.

CONCRETE W/ 6 mil POLYETHYLENE.

A 865x2030x45 (2'10"x6'8"x1-3/4

815x2030x35 (2'8"x6'8"x1-3/8"

760x2030x35 (2'6"x6'8"x1-3/8"

460x2030x35 (1'6"x6'8"x1-3/8"

610x2030x35 (2'0"x6'8"x1-3/8")

OVER SIZED EXTERIOR DOOF

STEEL BEAMS

ST1 W 6 X 15

ST2 W 6 X 20

ST3 W 8 X 18

ST4 W 8 X 21

ST5 W 8 X 24

**WOOD BEAMS** 

3/ 2" X 8" SPR

4/ 2" X 8" SPR

5/ 2" X 8" SPR

3/ 2" X 10" SPR

WD17 3/13/4" X14" (2.0F) I VI

MIN. TREAD

MAX. NOSING

-MAX. NOSING

-MIN. HEADROOM

ANGLED TREADS:

(BETWEEN WALL FACES)

-MIN. WIDTH = 2'-11" (9 (EXIT STAIRS, BETWEEN GUARDS)

2"X4" (38mm X 89mm) COLLAR TIES AT MIDSPANS

-2" X 6" (38mm X 140mm) RAFTERS @ 16" (400mm) O.C. MAX. SPAN 12'-9"

CEILING JOISTS TO BE 2" X 6" (38mmX 140mm) @ 16" (400mm) O.C.

OBC 9.19.2.1. & 58-12 3.1.1.8.(1)
-19 3/4" X 27 1/2" (500mm X 700mm) ATTIC HATCH WITH WEATHERSTRIPPING & BACKED W/ R20 (RSI 3.52) INSULATION.

= 9-1/4" (235mm) = 1" (25mm)

= 6'-5" (1950mm) = 2'-10" (860mm)

= 5 7/8" (150mm) = 7 7/8" (200mm)

-FINISHED RAILING ON WOOD PICKETS MAX, 4" BETWEEN PICKETS

-EXTERIOR CONC. STEPS TO HAVE MIN. 9 1/4" (235mm) TREAD & MAX. 7 7/8" (200mm) RISE
-FOUND. WALL REQUIRED WHEN NUMBER OF RISERS EXCEEDS 2
-FTG. FOR FOUND. WALL TO BE MIN. 4"-0" (1220mm) BELOW GRADE

O.B.C. 9.8.7 -ONE HANDRAIL REQUIRED WHERE STAIR WIDTH IS LESS THAN 3'-7" (1100mm)

TWO HANDRAILS REQUIRED WHERE STAIR WIDTH EXCEEDS 3-'7" (1100mm)

HANDRAILS ARE TO BE CONTINUOUS EXCEPT WHERE INTERRUPTED BY DOOR

-ONE HANDRAIL IS REQUIRED ON CURVED STAIRS OF ANY WIDTH WITHIN

WAYS, LANDINGS OR POSTS AT CHANGES IN DIRECTION

· 3'-6" (1070mm) WHERE GUARDS ARE REQUIRED ON LANDINGS

MEASURED VERTICALLY FROM THE TOP OF THE HANDRAIL TO A

STRAIGHT LINE DRAWN FROM THE TANGENT TO THE TREAD NOSING

= 7-3/32" (180mm)

(EXIT STAIRS, BETWEEN GUARDS)
-FINISHED RAILING ON WOOD PICKETS MAX. 4" BETWEEN PICKETS

-FOUND. WALL REQUIRED WHEN NUMBER OF RISERS EXCEEDS 2 -FTG. FOR FOUND. WALL TO BE MIN. 4'-0" (1220mm) BELOW GRADE

-ONE HANDRAIL REQUIRED WHERE STAIR WIDTH IS LESS THAN 3'-7" (1100mm)

-TIMO HANDRAILS REQUIRED WHERE STAIR WIDTH EXCEEDS 3-7" (1100ml -TWO HANDRAILS REQUIRED WHERE STAIR WIDTH EXCEEDS 3-7" (1100ml -TWO HANDRAILS ARE REQUIRED ON CURVED STAIRS OF ANY WIDTH -HANDRAILS ARE TO BE CONTINUOUS INCLUDING AT LANDINGS EXCEPT WHERE INTERRUPTED BY DOOR WAYS OR NEWEL POSTS AT CHANGES IN

- 2°-10" (865mm) MIN. TO 3°-2" (965mm) MAX. - 3°-6" (1070mm) WHERE GUARDS ARE REQUIRED ON LANDINGS) - MEASURED VERTICALLY FROM THE TOP OF THE HANDRAIL TO A STRAIGHT LINE DRAWN FROM THE TANGENT TO THE TREAD NOSING

HANDRAILS AND PROJECTIONS BELOW HANDRAILS INCLUDING STEP

STRINGERS TO PROJECT A MAXIMUM OF 4" (100mm) INTO THE REQUIRED WIDTH OF THE STAIR

- ONE HAND RAIL SHALL EXTEND HORIZONTALLY NOT LESS THAN 11 3/4"

FINISH:

O.B.C. 9.8.9.6

-TREADS ARE TO BE WEAR AND SUP RESISTANT, SMOOTH, EVEN AND FREE

VISUAL PATTERN TO DEMARCATE THE LEADING EDGE OF THE TREADS

-GUARDS TO BE 3'-6" (1070mm) HIGH -FOR DWELLING UNITS GUARDS TO BE A MIN. OF 2'-11" (900mm) HIGH

INCLUDES WINDOWS OVER STAIRS, RAMPS AND LANDINGS
-PICKETS TO HAVE 4" (100mm) MAX. SPACING
-GUARDS FOR FLIGHTS OF STEPS (EXCEPT EXIT STAIRS) TO BE 2'-11" (900mm) HIGH

-GUARDS ARE REQUIRED WHEN WALKING SURFACE TO GRADE IS GREATER THAN

-GUARDS TO BE 3'-6" (1070mm)
-FOR DWELLING UNITS GUARDS TO BE A MIN. OF 2'-11" (900mm) HIGH
-FOR DWELLING UNITS GUARDS TO BE 3'-6" (1070mm) HIGH WHERE WALKING
SURFACE IS MORE THAN 5'-11" (1800mm) ABOVE ADJACENT GRADE.

-GUARDS FOR FLIGHTS OF STEPS (EXCEPT EXIT STAIRS) TO BE 2'-11" (900mm) HIGH

-FOR RAILING SPANNING MAXIMUM OF 6'-0".
-PROVIDE PREFIN. METAL RAILING W/ 76mm VERTICAL OPENING TO

-GUARDS TO BE 3"-6" (1070mm)
-FOR DWELLING UNITS GUARDS TO BE 2"-11" (900mm) WHERE FLOOR TO GRADE DIFFERENCE IS LESS THAN 5"-11" (1800mm) AS PER O.B.C.

9.8.8.2. OR -FOR DWELLING UNITS GUARDS TO BE 3'-6" WHERE FLOOR TO GRADE DIFFERENCE IS 5'-11" (1800mm) OR GREATER AS PER O.B.C. 9.8.8.2. -VERTICAL END RAILING ANCHORED TO CORNER DOUBLE STUDS USING 3

PROVIDE SAME ANCHOR BOLTS @ 36" O.C. FOR BASE PLATE CONNECTION.

-WOOD FRAMING MEMBERS SUPPORTED ON CONCRETE IN CONTACT

ONTARIO REGULATION 332/12 OBC. AMMENDMENT O. REG. 139/17 JAN 1,

◆ CLIENT SPECIFIC REVISION

Areas:

with ground or fill shall be pressure treated or separated from

ROWS OF 3/8"Ø MIN. ANCHOR BOLTS EQUALLY SPACED WITH 3" MIN

FROM DEFECTS PER OBC 9.8.9.6.(4)
- STAIRS AND RAMPS SHALL HAVE A COLOUR CONTRAST OR DISTINCTIVE

(300mm) BEYOND THE TOP & BOTTOM OF EACH STAIR

LANDING AND THE BEGINNING AND END OF A RAMP.

C.D.C. 7.0.1.0 HANDRAILS AND PROJECTIONS BELOW HANDRAILS INCLUDING STEP STRINGERS TO PROJECT A MAXIMUM OF 4" (100mm) INTO THE REQUIRED WIDTH OF THE STAIR

· 2'-10" (865mm) MIN. TO 3'-2" (965mm) MAX.

= 2'-11" (900mm)

UNLESS OTHERWISE NOTED.

-HIP & VALLEY RAFTERS TO BE MIN. 2" (50mm) LARGER THAN COMMON

44 SMOKE ALARM, O.B.C.- 9.10.19. -PROVIDE 1 ON EACH FLOOR INCLUDING BASEMENTS -FROVIDE I ON EACH FLOOR INCLUDING BASEMENTS -PROVIDE I IN EACH BEDROOM -PROVIDE I IN EACH HALLWAY SERVICING BEDROOMS - INSTALLED AT OR NEAR CEILING -ALARMS TO BE CONNECTED IN CIRCUIT AND INTERCONNECTED SO ALL ALARMS WILL BE ACTIVATED IF ANY ONE OF THEM SOUNDS AND HAVE A VISUAL SIGNALLING COMPONENT -ALARMS MUST BE HARDWIRED AND HAVE AN ALTERNATE POWER SOURCE THAT CAN POWER ALARM FOR 7 DAYS, FOLLOWED BY 4 MINUTES OF ALARM

CARBON MONOXIDE ALARM (CMA), O.B.C.- 9.33.4. CANDON MORPHILE ALAM (2014), 05:27-33-4.

"HHERE THERE IS A FUEL BURNING APPLIANCE A CMA SHALL BE PROVIDED ADJACENT TO EACH SLEEPING AREA.

"CMA TO BE WIRED IN CIRCUIT TO SOUND SMOKE ALARMS WHEN

46 -MAIN DOOR TO BE OPERABLE FROM INSIDE W/OUT KEY -PROVIDE A VIEWER WITH A VIEWING ANGLE OF NOT LESS THAN 160 DEG. UNLESS GLAZING IS PROVIDED IN DOOR OR A SIDELIGHT IS PRESENT.

-R4 (RSI 0.70) WHERE A STORM DOOR IS NOT PROVIDED -GARAGE MAN DOORS TO BE GAS PROOFED WITH SELF CLOSER, WEATHERSTRIPPING, THRESHOLD & DEAD BOLT PER O.B.C. 9.10.13.15.

-R4 (RSI 0.70)

2) WHERE THAT ELOOR LEVEL HAS A WINDOW PROVIDING AN ) where that floor level has a window providing an Mobstructed Opening of Not Less than 3'-3" (1000mm) in Height IND 21 5/8" (550mm) in Width; such Window Shall be Located So Hat the Sill is Not More Than 3'-3" (1000mm) above floor and 23'-0" (7.0m) ABOVE ADJACENT GROUND LEVEL

## $\langle 49 \rangle$ EXTERIOR COLUMN W/ MASONRY PIER:

-MIN. 6"X6" (140mm X 140mm) WOOD POST ANCHORED TO PORCH SLAB W/ METAL SADDLE.

-TOP PORTION OF POST CLAD W/ DECOR, SURROUND PER ELEVATION DRAWINGS.
-MASONRY VENEER SURROUND W/ PRECAST CONCRETE CAP. REFER TO ELEVATION DRAWINGS FOR PIER SIZE AND CAP HEIGHT. SURROUND TO BE TIED W/ METAL TIES @ 16" (400mm) O.C. VERT. INSTALLED PER O.B.C. 9.20.9.4. -3/4" AIR SPACE AROUND POST.

OR
-MIN. 6"X6" (140mm X 140mm) WOOD POST CLAD W/ DECOR. SURROUND
(PER ELEVATION DRAWINGS) ANCHORED TO CONC. CAP W/ METAL SADDLE
-MASONRY PIER TO BE CONSTRUCTED SOLID W/ PRECAST CONCRETE CAP. REFER TO ELEVATION DRAWINGS FOR PIER SIZE AND CAP HEIGHT NOTE: DECORATIVE STRUCTURAL COLUMNS MAY REPLACE 6" X 6" POST PROVIDED THAT THEY ARE IN CONFORMANCE WITH O.B.C. 9.17.

MIN. 6"X6" (140mm X 140mm) WOOD POST CLAD W/ DECOR. SURROUND (PER ELEVATION DRAWINGS) ANCHORED TO PORCH SLAB W METAL SADDLE METAL SADDLE NOTE: DECORATIVE STRUCTURAL COLUMNS MAY REPLACE 6" X 6" ABOVE PROVIDED THAT THEY ARE IN ACCORDANCE WITH O.B.C. 9.17.4.

50 COLD CELLARS: FOR COLD CELLARS PROVIDE THE FOLLOWING: -VENTING AREA TO BE EQUIVALENT TO 0.2% OF COLD CELLAR AREA. -COVER VENT W/ BUG SCREEN WALL MOUNTED LIGHT FIXTURE -WALL MOUNTED LIGHT FIXTURE
-L1HL7 FOR DOOR OPENING
-22-8" X 6-8" EXTERIOR TYPE DOOR (MIN.R-4 RSI 0.7)
-INSULATE FULL HEIGHT OF INTERIOR BASEMENT WALL W/ MIN. R12 (RSI 2.11)

# 51 STUD WALL REINFORCEMENT:

O.B.C. 9.5.2.3.
-WALL STUDS ADJACENT TO WATER CLOSETS & SHOWER BATH TUBS IN MAIN PARTICIONS ADJACENT TO WATER CLOSETS & SHOWER BATH TUBS
BATHROOM ARE TO BE REINFORCED TO PERMIT THE FUTURE INSTALL
OF GRAB BARS AS PER O.B.C. 3.8.3.8.(3)(a)&(c) & 3.8.3.13.(2)(f) & -GRAB BARS TO BE INSTALLED AS PER O.B.C. 9.8.7.7.(2)

### ELECTRICAL VEHICLE CHARGING REQUIREMENTS: REFER TO OBC 9.34.4.1. FOR REQUIRMENTS (EFFECTIVE JANUARY 2018)

(53) WINDOW GUARDS: @ STAIRS, LANDINGS & RAMPS - OBC 9.8.8.1.(8)
WINDOW SILL AT 3"-0" (900mm) OR GREATER DOES NOT REQUIRE GUARDS
@ FLOORS - OBC 9.8.8.1.(6)
WINDOWS LESS THAN 1"-7" (480mm) ABOVE FLOORS WHERE ADJACENT GRADE

IS GREATER THAN 5'-11" (1800mm) REQUIRE A GUARD PER OBC 9.8.8.2.

### WINDOW TO BE NON-OPERABLE AND DESIGNED TO WITHSTAND LATERAL LOADS PER OBC 9.8.8.1.(8)(b) FRAME CONSTRUCTION:

-ALL FRAMING LUMBER TO BE No.1 AND No. 2 SPF UNLESS NOTED -ROOF LOADING IS BASED ON 1.5kPa SPECIFIED COMPOSITE SNOW AND RAIN LOADS. -JOISTS TO HAVE MIN. 1-1/2" (38mm) END BEARING

### -BEAMS TO HAVE MIN. 3-1/2" (89mm) END BEARING -DOUBLE STUDS @ OPENINGS -DOUBLE HEADER JOISTS AROUND FLOOR OPENINGS WHEN THEY ARE BETWEEN 3'-11" (1200mm) AND 10'-6" (3200mm) -DOUBLE TRIMMER JOISTS WHEN HEADER JOIST LENGTH IS BETWEEN 2'-7"

(800mm) AND 6'-7" (2000mm) DOUBLE JOISTS OR SOLID BLOCKING UNDER NON-LOAD BEARING PARALLEL PARTITIONS -BEAMS TO BE PLACED UNDER LOADBEARING WALLS WHEN WALLS ARE

PARALLEL TO FLOOR JOISTS -BEAMS MAY BE A MAX. 24" (600mm) FROM LOADBEARING WALLS WHEN WALLS ARE PERPENDICULAR TO FLOOR JOISTS

-APPROVED METAL HANGERS TO BE USED FOR JOISTS AND BEAMS WHEN THEY FRAME INTO SIDES OF BEAMS, TRIMMERS AND HEADERS. LOOR JOISTS SUPPORTING ROOF LOADS SHALL NOT BE CANTILEVERED MORE THAN 15 3/4" (400mm) BEYOND SUPPORTS FOR 2" X 8" (38mm X

-FLOOR JOISTS SUPPORTING ROOF LOADS SHALL NOT BE CANTILEVERED MORE THAN 23 5/8" (600mm) BEYOND SUPPORTS FOR 2" X 10" (38mm  $\rm X$ 

### 235mm) OR LARGER. WATERPROOF WALLS IN BATHROOMS:

### -REQUIRED AS PER OBC 9.29.2.1.

-WINDOWS TO BE SEALED TO THE AIR & VAPOR BARRIER -WINDOWS THAT SEPARATE HEATED SPACE FROM UNHEATED SPACE SHALL HAVE AN OVERALL COEFFICIENT OF HEAT TRANSFER OF 1.6 W/(m2.K) OR

AN ENERGY RATING OF NOT LESS THAN 25 FOR WINDOWS -BASEMENT WINDOWS WITH LOAD BEARING STRUCTURAL FRAME SHALL BE DOUBLE GLAZED WITH LOW-E COATING -SKYLIGHTS SHALL HAVE AN OVERALL COEFFICIENT OF HEAT TRANSFER OF

### -FOR GROSS GLAZED AREAS LESS THAN AND EQUAL TO 17%

DRAIN WATER HEAT RECOVERY:

- DWHR UNITS TO BE INSTALLED AS PER OBC SB-12 3.1.1.1.(22) & 3.1.1.12. DWHR ARE REQUIRED IN ALL DWELLING UNITS TO RECEIVE DRAIN WATER ROM ALL SHOWERS OR FROM AT LEAST 2 SHOWERS WHERE THERF ARF 2 PROVIDED THERE IS A CRAWL SPACE OR STOREY PAPERSHON?

R. J. C. GOHLICH 100502549 Aug 29/2019

FLESON!	ION A		JONA, R.	ELEVAI	ION C	LOI	61L
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990.9	92.5	990.9	92.5	990.9	92.5	1100.4	102.2
949.3	88.1	949.3	88.1	949.3	88.1	957.8	89
	SF 123\$770 00F.01T 016F£20	1235 FRLE ETC. (22000) 12046 COENT 12005 1005 1005 1005 1005 1005 1005 100	SF SNE OF SP 1273\$ TRUE PURT 122 CORRENT NOSS, FROM 01656 DO (153-7) 4648 EA 990.9 92.5 990.9	SF SNE OF SP SM  1.73\$ TRUETURA 12 0 0864  CORRENT RUSS, FROOR TOIS  1.06\$ 20 (4.52.7) 464\$ 4 715286  990.9 92.5 990.9 92.5	SF SNE OF SP SM SF  1.73\$. TRUE PURT 152 ON 1857 735.2  (CRUDING 4 ENGINEE 460 919.6  OOF OT RUSS, FROOK 5015T (0.0)  108\$20(153.7) 164\$5. 132.8 5652.8  990.9 92.5 990.9 92.5 990.9	SF SNE OF SP SM SF SM  1.73\$.70.467.1732 0.6864 735.2 68.3  1.73\$.70.467.1732 0.6864 735.2 68.3  1.73\$.70.464.60.00.00.00  1.00.00.00.00.00.00.00.00  1.00.00.00.00.00.00.00.00.00  1.00.00.00.00.00.00.00.00.00.00  1.00.00.00.00.00.00.00.00.00.00.00  1.00.00.00.00.00.00.00.00.00.00.00.00  1.00.00.00.00.00.00.00.00.00.00.00.00.00	SF SNE OF SP SM SF SM SF 743.7

# Drawing List:

RN design

lmagine 🕨 Inspire 🕨 Create

I. JORGE MORENO DECLARE THAT I HAVE REVIEWED AND TAKEN

DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF

OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS

W

REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

OF RN DESIGN LTD, UNDER DIVISION C, PART-3 SUBSECTION-3.2.4

A1 BASEMENT FLOOR PLAN ELEV. 'A' & 'C'
PARTIAL BASEMENT FLOOR PLAN ELEV. 'B' & 'C'
A2 GROUND FLOOR PLAN ELEV. 'A'

QUALIFIED DESIGNER BCIN:

DATE:

SIGNATURE:

PARTIAL GROUND FLOOR PLAN ELEV. 'B' A3 SECOND FLOOR PLAN ELEV. 'A'
PARTIAL SECOND FLOOR PLAN ELEV. 'B'
A4 PARTIAL GROUND FLOOR PLAN ELEV. 'C'

PARTIAL SECOND FLOOR PLAN ELEV. 'C' A5 FRONT ELEVATION 'A' FRONT FLEVATION 'P A6 RIGHT SIDE ELEVATION 'B LEFT SIDE ELEVATION 'A'

A7 REAR SIDE ELEVATION 'A', 'B', & 'C' TYPICAL CROSS SECTION - SEMI (BRICK)
A8 FRONT ELEVATION 'C' RIGHT SIDE ELEVATION 'C

A10 GROUND FLOOR ELEVATION 'C' CORNER UPGRADE BASEMENT FLOOR ELEVATION 'C' CORNER LIPGRADE A11 SECOND FLOOR ELEVATION 'C' CORNER UPGRADE
A12 FRONT ELEVATION 'C' CORNER UPGRADE A13 LEFT ELEVATION 'C' CORNER UPGRADE

A14 REAR ELEVATION 'C' CORNER UPGRADE REAR ELEVATION 'C' UPGRADE A15 PARTIAL BASEMENT FLOOR ELEVATION 'A' CORNER UPGRADE PARTIAL GROUND FLOOR ELEVATION 'A' CORNER UPGRADE

A16 PARTIAL SECOND FLOOR ELEVATION 'A' CORNER UPGRADE A17 FRONT ELEVATION 'A' CORNER UPGRADE ROOF PLAN 'A' LOT 61L ROOF PLAN 'B'
A18 LEFT SIDE ELEVATION 'A' CORNER UPGRADE

A19 REAR ELEVATION 'A' CORNER UPGRADE REAR ELEVATION 'B' UPGRADE A20 PARTIAL BASEMENT FLOOR PLAN ELEV. 'A', 'B' & 'C' W/ WOD CONDITION
PARTIAL GROUND FLOOR PLAN ELEV. 'A', 'B' & 'C' W/ WOD CONDITION
PARTIAL REAR ELEV. 'A', 'B' & 'C' W/ WOD CONDITION PARTIAL BASEMENT FLOOR PLAN W/SIDE DOOR ELEV. 'A' & 'C' PARTIAL GROUND FLOOR PLAN W/SIDE DOOR ELEV. 'A' & 'C PARTIAL SECOND FLOOR PLAN W/SIDE DOOR ELEV. 'A' & 'C

> It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements and an application regulations and requirement including zoning provisions and any provisior in the subdivision agreement. The Contre Architect is not responsible in any way for examining or approving site (lotting) plans of working drawings with respect to any zoning of building code or permit matter or that an house can be properly built or located on its lo This is to certify that these plans comply

with the applicable Architectural Design

Guidelines approved by the City of BRAMPTON.

#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	04/07/2014	ng	rpa
2	REVISED AS PER ARCH, CONTROL COMMENTS.	13/08/2014	rpa	djh
3	REVISED AS PER ROOF TRUSS COORDINATION.	14-Aug-14	rpa	djh
4	REVISED AS PER FLOOR COORDINATION.	15-Aug-14	rpa	djh
5	REVISED AS PER ENGINEERING COMM.	27/05/2015	RPA	DJH
6	ISSUED FOR PERMIT	16/06/2015	RPA	DJH
7	REVISED PER 2017 OBC ENACTMENT	21-Feb-17	PM	JP
8	ISSUED FOR CLIENT REVIEW	6/28/2017	ММ	JM
9	ISSUED FOR PERMIT	2017-08-29	ММ	JM
11	REVISED PER ENG. COMMENTS, ISSUED FOR PERMIT PH 2	28-AUG-19	LO	JM
11				

Homes

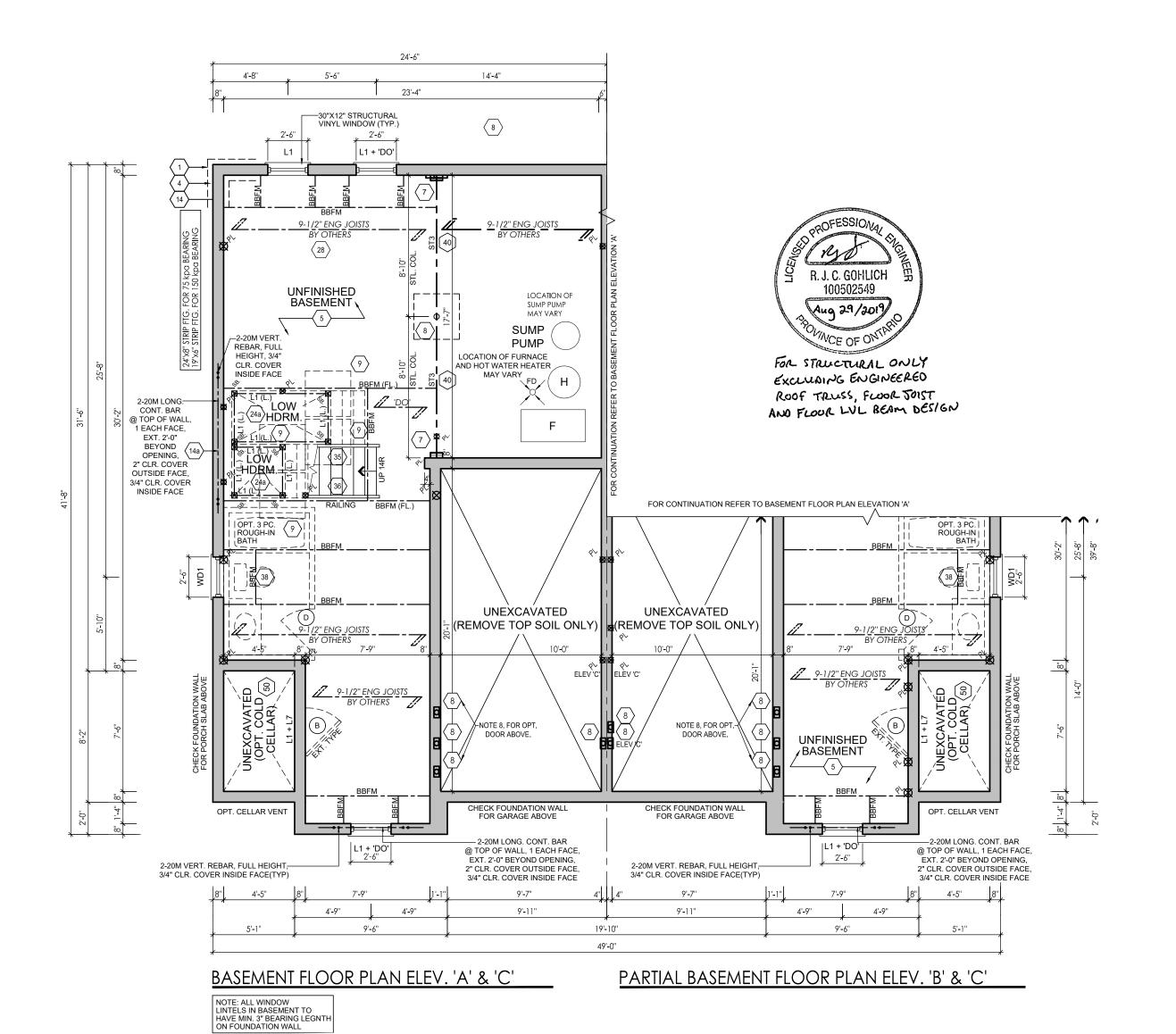
Mayfield

Gold Park

Mclaughlin and

SD-2 Brampton

3/16" = 1'0"





I, JORGE MORENO DECLARE THAT I HAVE REVIEWED AND TAKEN I, JORGE MORENO DECLARE HALL HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD, UNDER DIVISION C.PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN:

SIGNATURE:

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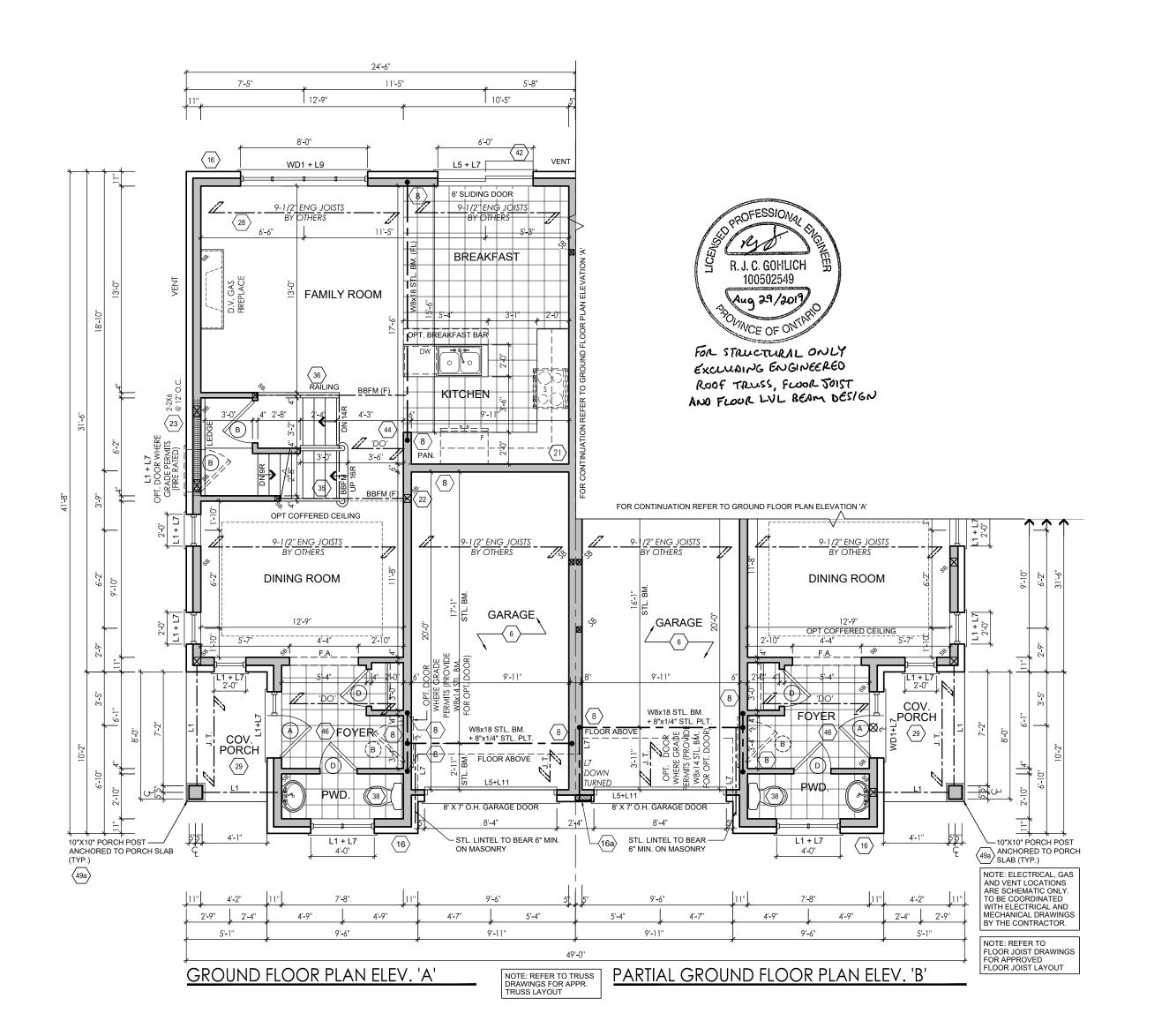
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5	ISSUED FOR PERMIT	16/06/2015	RPA	DJH
6	REVISED PER 2017 OBC ENACTMENT	21-Feb-17	PM	JP
7	ISSUE FOR FINAL	22-Aug-17	lo	jm
8	ADDED SUMP PUMP, FOR LOT 8	21-NOV-17	JM	JM
9	CHANGE PARTY WALLS TO DBL STUD	4-JUNE-19	JM	JM
11	REVISED PER ENG. COMMENTS, ISSUED FOR PERMIT PH 2	28-AUG-19	LO	JM
11				
12				

Gold Park Homes

Mclaughlin and Mayfield

SD-2 Brampton

13098







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3	revised as per floor coordination.	15/08/2014	RPA	DJH
4	REVISED AS PER ENGINEERING COMM.	27/05/2015	RPA	DJH
5	ISSUED FOR PERMIT	16/06/2015	RPA	DJH
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Gold Park Homes

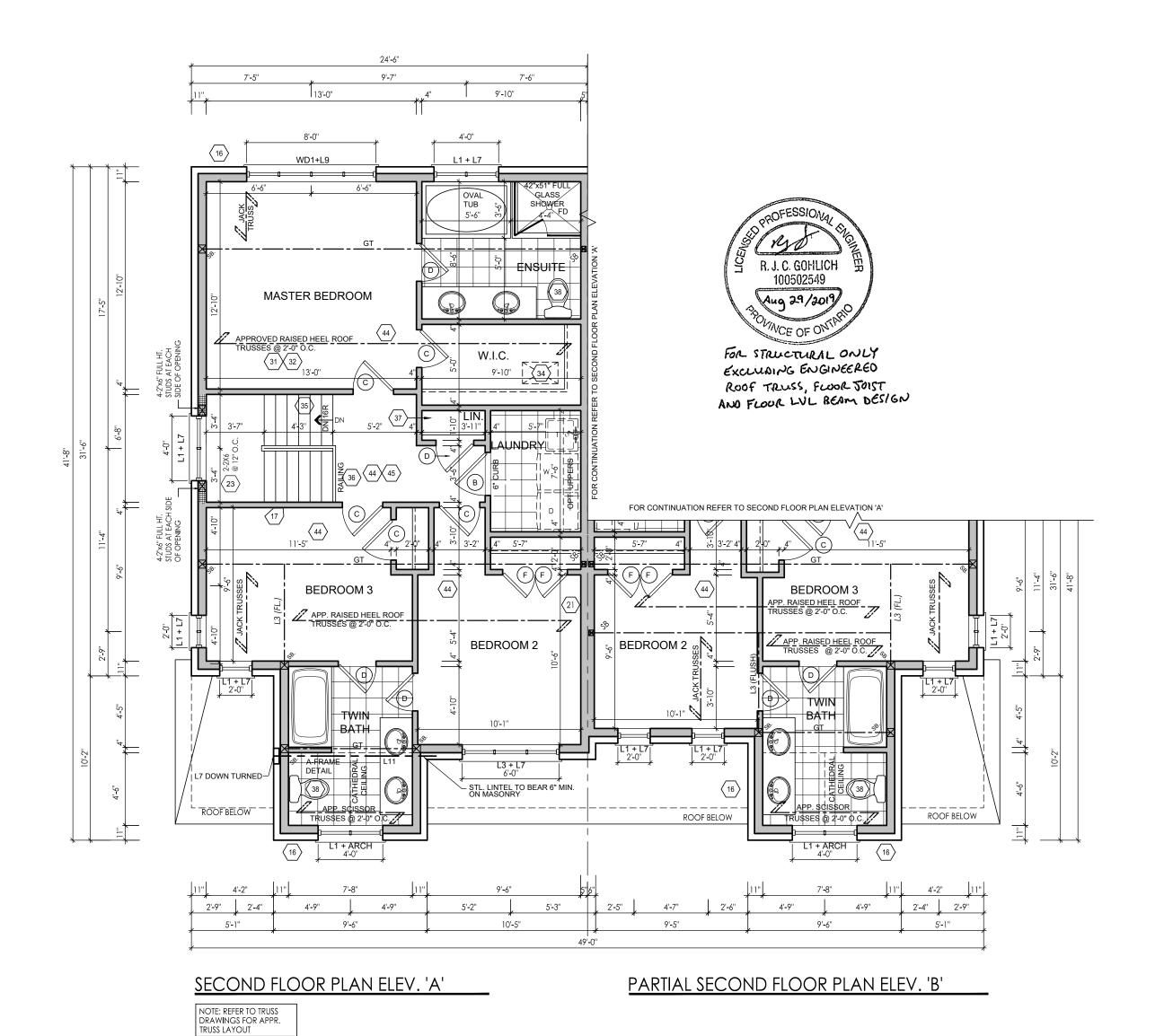
Mclaughlin and Mayfield

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Brampton

13098

3/16" = 1'0"





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QUALIFIED DESIGNER BCIN: FIRM BCIN:

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SIGNATURE:

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Gold Park Homes

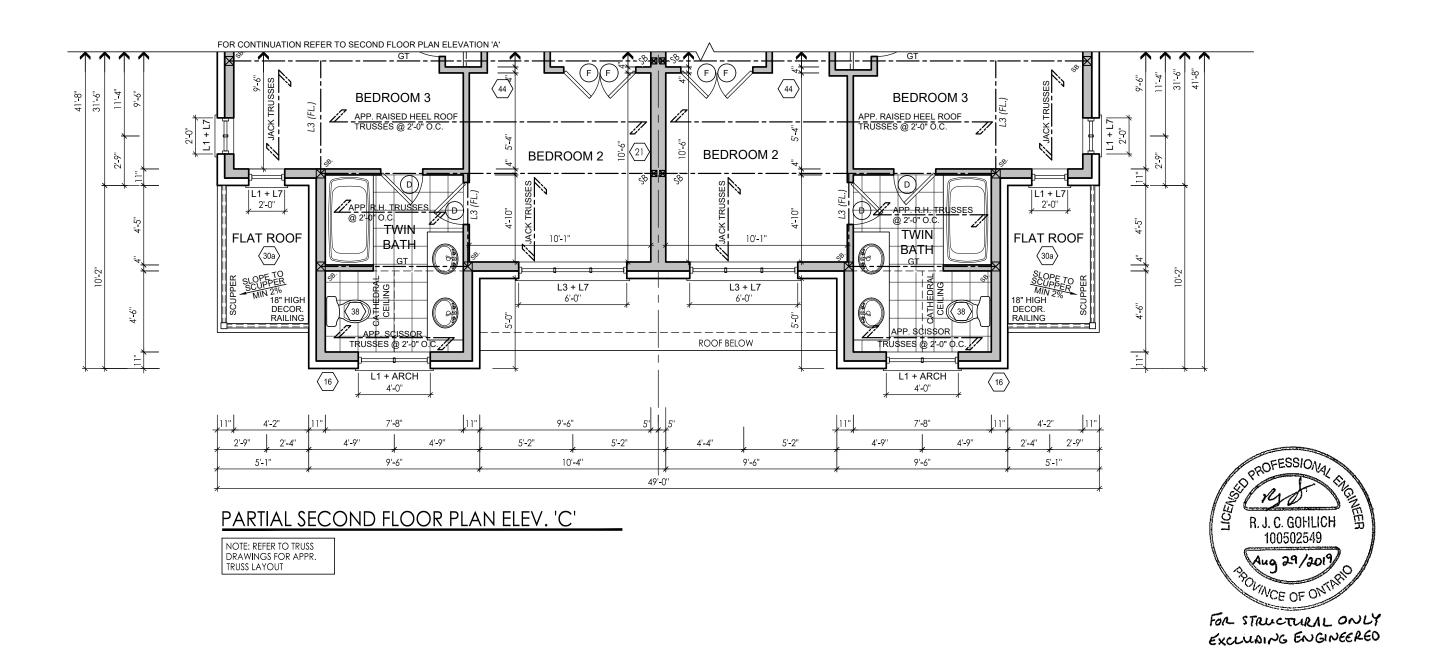
Mclaughlin and Mayfield

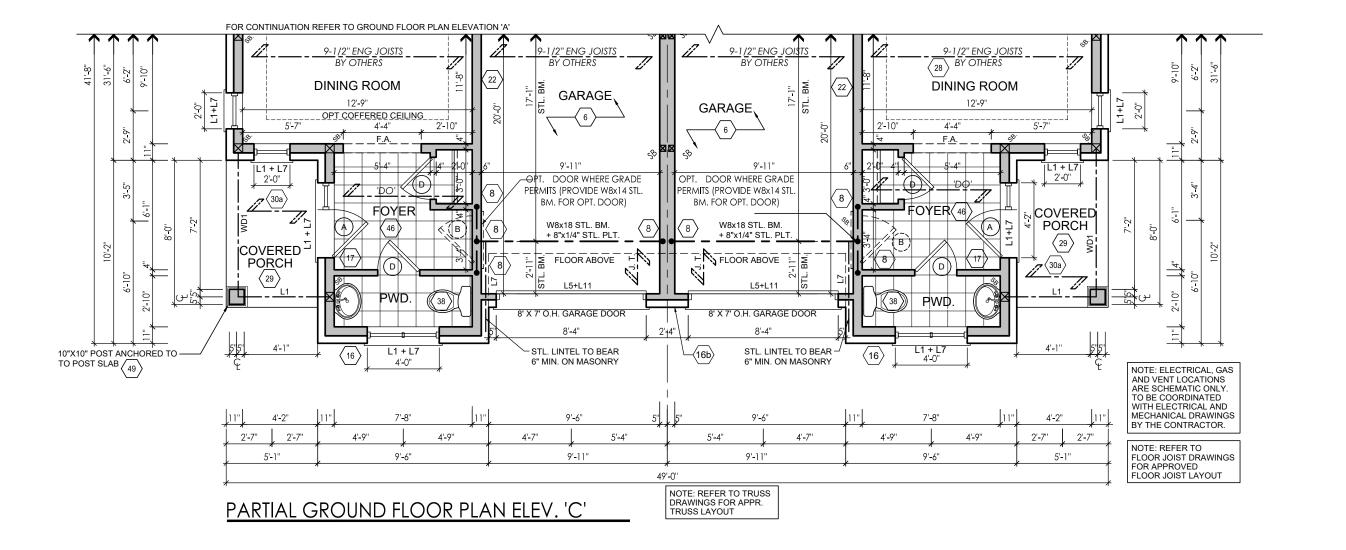
model

SD-2 Brampton

scale

3/16" = 1'0"







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QUALIFIED DESIGNER BCIN: FIRM BCIN:

DATE:

SIGNATURE:

ROOF TRUSS, FLOOR JOIST AND FLOOR LVL BEAM DESIGN RE:

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clie

Gold Park Homes

Mclaughlin and Mayfield

model

SD-2 Brampton

pject # 13098

scale 3/16" = 1'0"

# **GROSS GLAZING AREA 'A'**

TOTAL PERIPHERAL WALL AREA FRONT GLAZING AREA LEFT SIDE GLAZING AREA RIGHT SIDE GLAZING AREA REAR GLAZING AREA	2385.07 SF 81.25 SF 41.53 SF 0 SF 140.19 SF	221.57 m <sup>2</sup> 7.55 m <sup>2</sup> 3.86 m <sup>2</sup> 0.00 m <sup>2</sup> 13.02 m <sup>2</sup>
TOTAL GLAZING AREA TOTAL GLAZING PERCENTAGE	262.97 SF 11.03 %	24.43 m²

# **GROSS GLAZING AREA 'B'**

TOTAL PERIPHERAL WALL AREA	2378.29 SF	220.94 m <sup>2</sup>
FRONT GLAZING AREA	76.06 SF	7.07 m <sup>2</sup>
LEFT SIDE GLAZING AREA	0.0 SF	0.00 m <sup>2</sup>
RIGHT SIDE GLAZING AREA	41.53 SF	3.86 m <sup>2</sup>
REAR GLAZING AREA	140.19 SF	13.02 m <sup>2</sup>
TOTAL GLAZING AREA TOTAL GLAZING PERCENTAGE	257.78 SF 10.84 %	23.95 m²



RN design

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QUALIFIED DESIGNER BCIN: FIRM BCIN: DATE:

SIGNATURE:

47245 26995

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1	ISSUED FOR CLIENT REVIEW	04/07/2014	ps	rpa
2	ISSUED FOR PERMIT	16/06/2015	RPA	DJH
3	ISSUED FOR PERMIT	2017-08-25	ММ	JM
4	REVISED GROUND FLOOR FRONT WINDOWS AS PER CLIENT REQUEST	2-Jan-18	HZ	DJH
5	REVISED PER ENG. COMMENTS, ISSUED FOR PERMIT PH 2	28-AUG-19	LO	JM
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Gold Park Homes

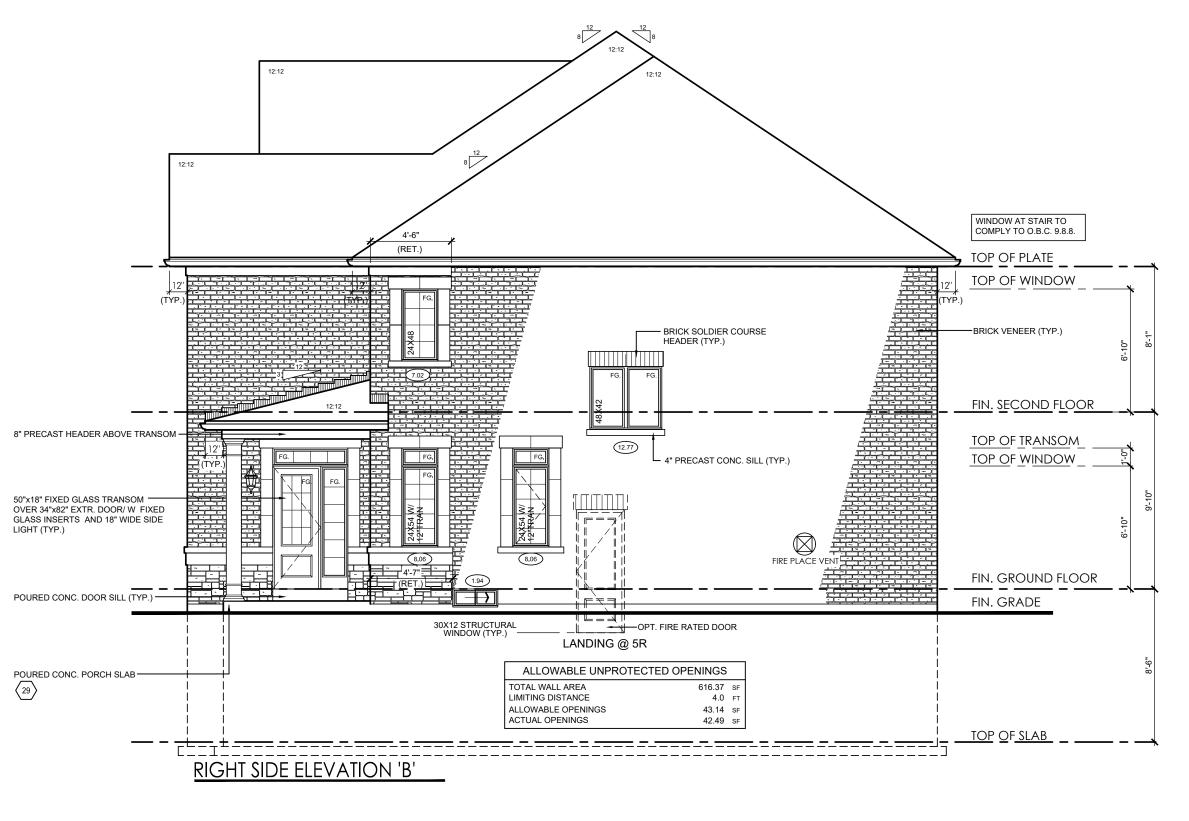
Mclaughlin and Mayfield

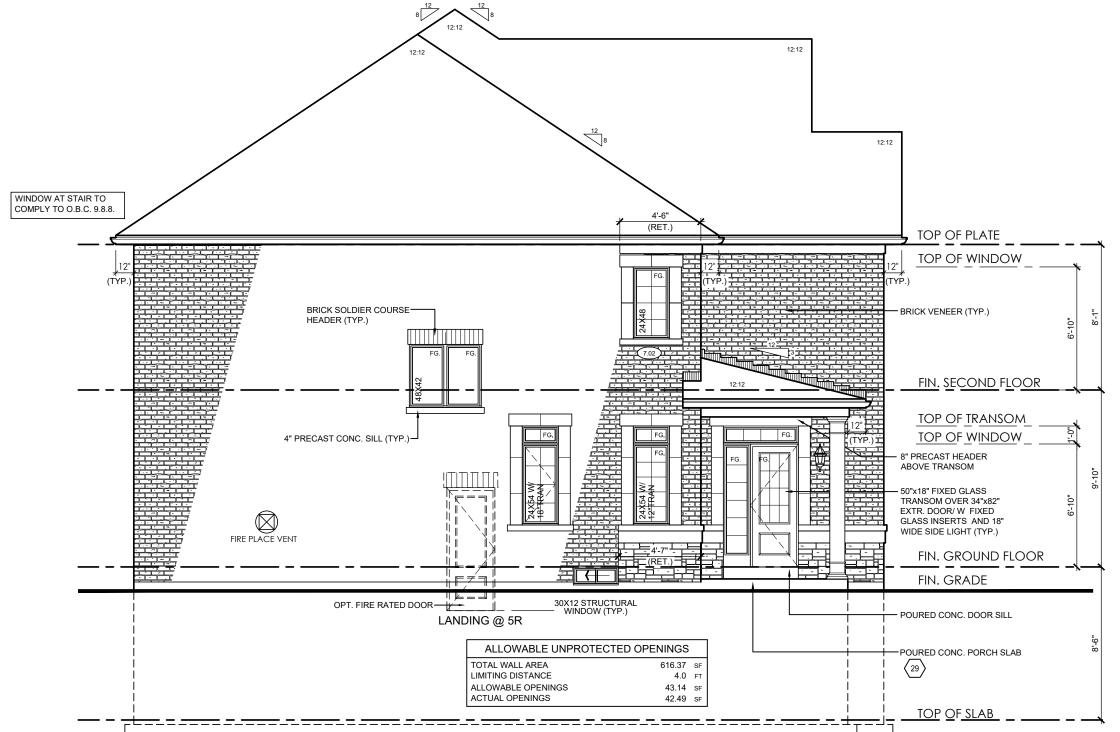
model

SD-2 Brampton

3/16" = 1'0"

t(s)





LEFT SIDE ELEVATION 'A'

RN designation | Imagine - Inspire - Create



I, JORGE MORENO DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF **RN DESIGN LID**, UNDER ON/SION C., PART-3 SUBSECTION-3, 2, 4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

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Gold Park Homes

Mclaughlin and Mayfield

nodel

SD-2 Brampton

project # 13098

3/16" = 1'0"

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I, JORGE MORENO DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF **RN DESIGN LTD**, UNDER DIVISION C, PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

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clie

Gold Park Homes

Mclaughlin and Mayfield

model

SD-2 Brampton

3/16" = 1'0"

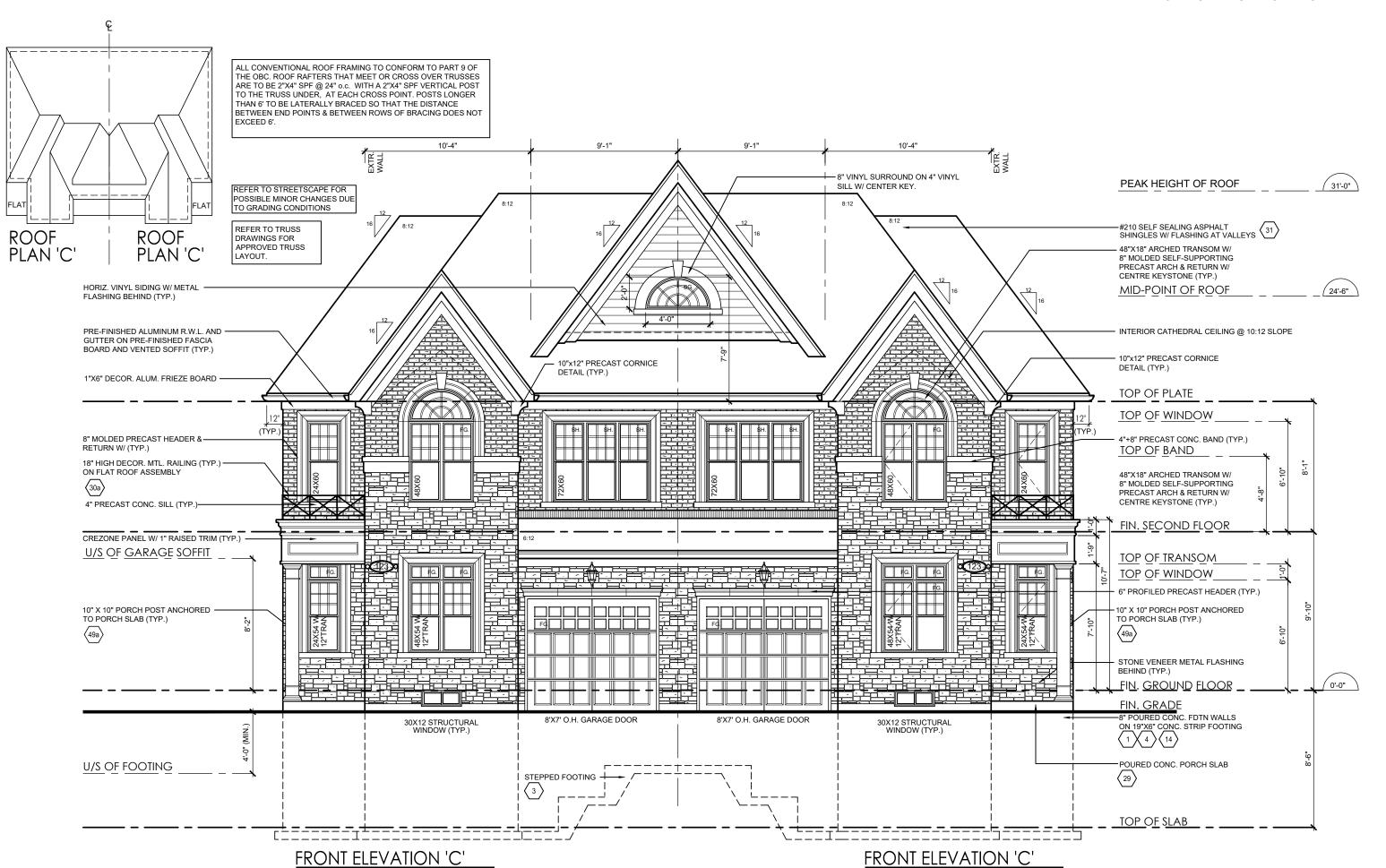
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# **GROSS GLAZING AREA 'C'**

TOTAL PERIPHERAL WALL AREA	2378.29 SF	220.94 m <sup>2</sup>
FRONT GLAZING AREA	91.7 SF	8.52 m <sup>2</sup>
LEFT SIDE GLAZING AREA	0.0 SF	0.00 m <sup>2</sup>
RIGHT SIDE GLAZING AREA	41.53 SF	3.86 m <sup>2</sup>
REAR GLAZING AREA	140.19 SF	13.02 m <sup>2</sup>
TOTAL GLAZING AREA TOTAL GLAZING PERCENTAGE	273.42 SF 11.50 %	25.40 m²

# GROSS GLAZING AREA 'C' RIGHT

TOTAL PERIPHERAL WALL AREA	2378.29 SF	220.94 m <sup>2</sup>
FRONT GLAZING AREA	101.27 SF	9.41 m <sup>2</sup>
LEFT SIDE GLAZING AREA	0.0 SF	0.00 m <sup>2</sup>
RIGHT SIDE GLAZING AREA	65.09 SF	6.05 m <sup>2</sup>
REAR GLAZING AREA	143.89 SF	13.37 m <sup>2</sup>
TOTAL GLAZING AREA TOTAL GLAZING PERCENTAGE	310.25 sf 13.05 %	28.82 m²



Imagine - Inspire - Create



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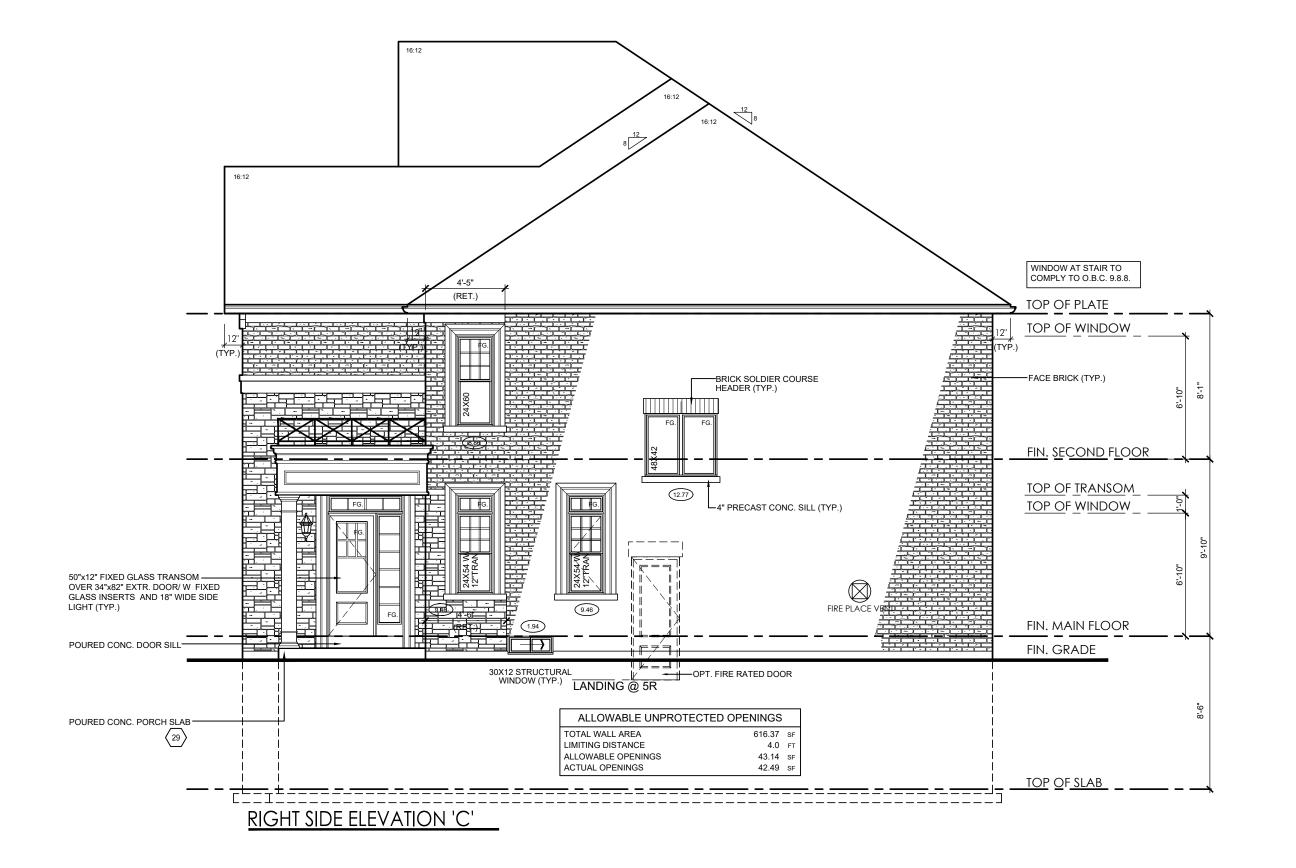
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Gold Park Homes

Mclaughlin and Mayfield

SD-2 Brampton

13098





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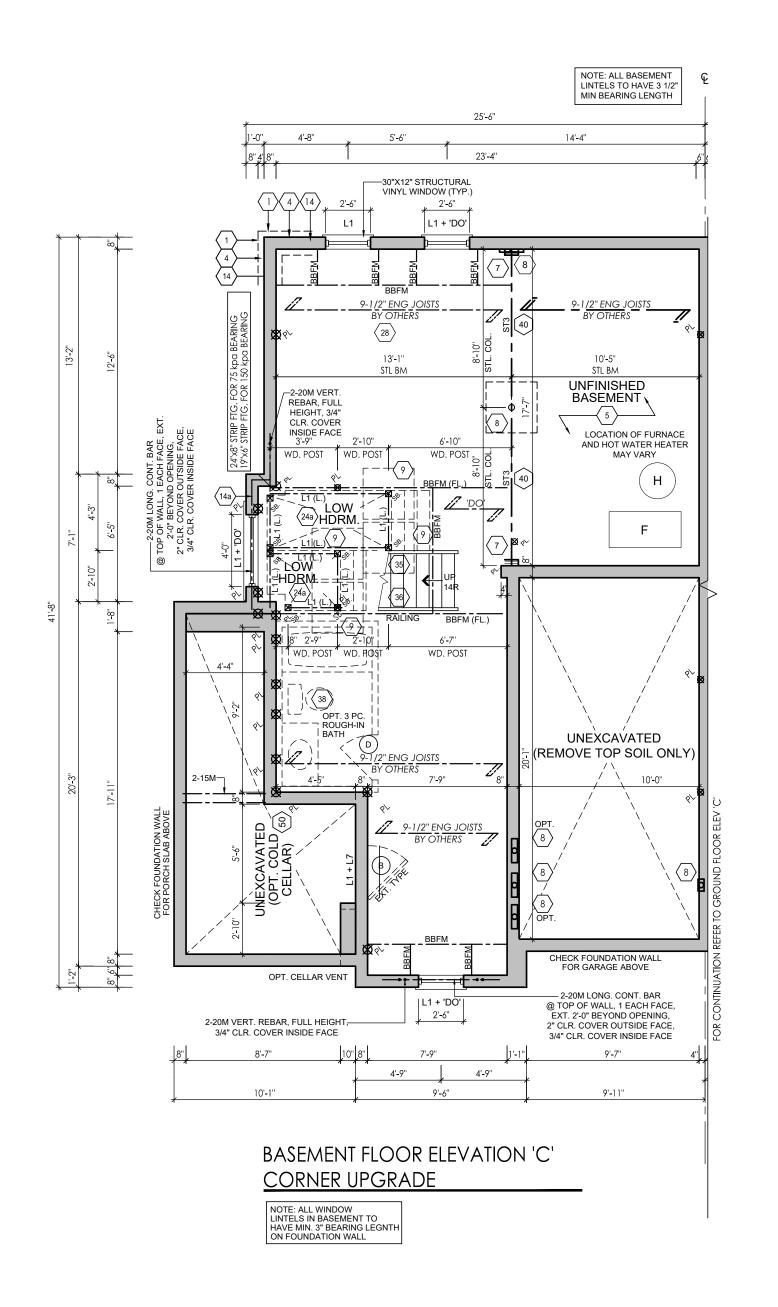
Gold Park Homes

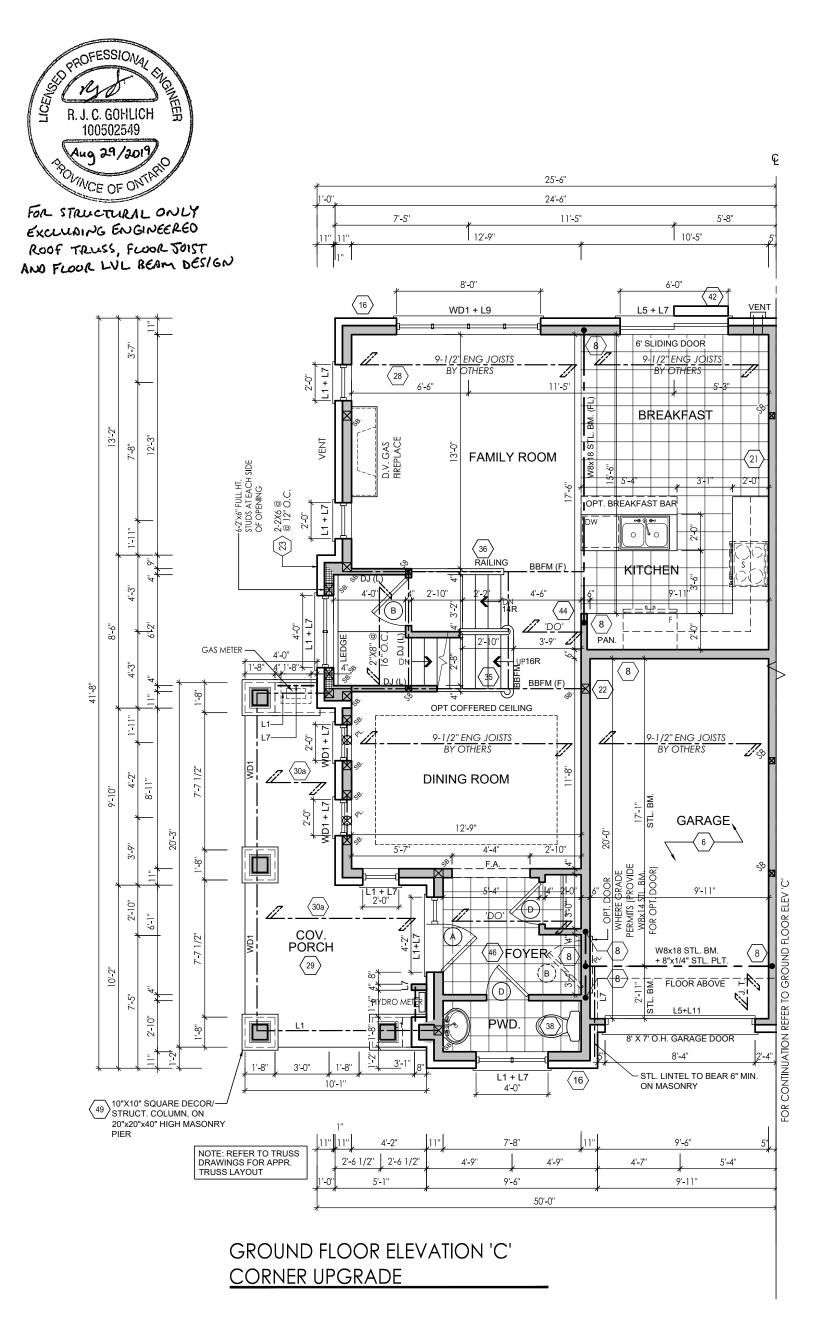
Mclaughlin and Mayfield

SD-2 Brampton

13098

3/16" = 1'0"







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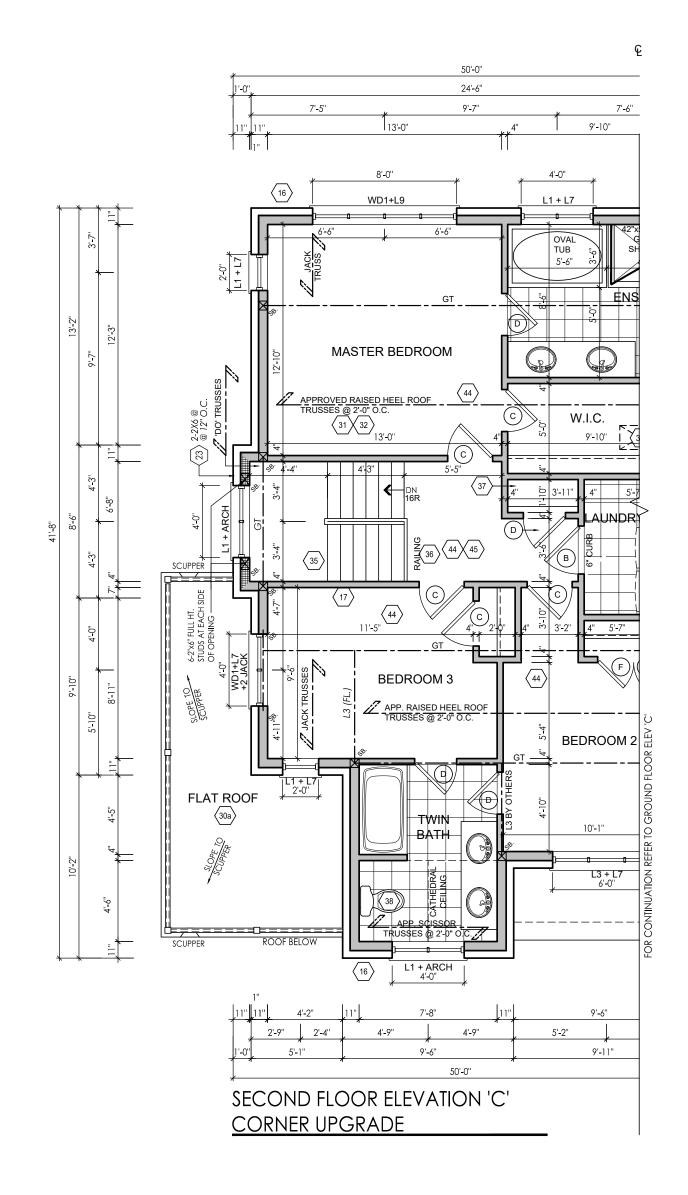
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Gold Park Homes

Mclaughlin and Mayfield

SD-2 Brampton

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FOR STRUCTURAL ONLY EXCLUSING ENGINEERED ROOF TRUSS, FLOOR JOIST AND FLOOR LYL BEAM DESIGN



Imagine - Inspire - Create



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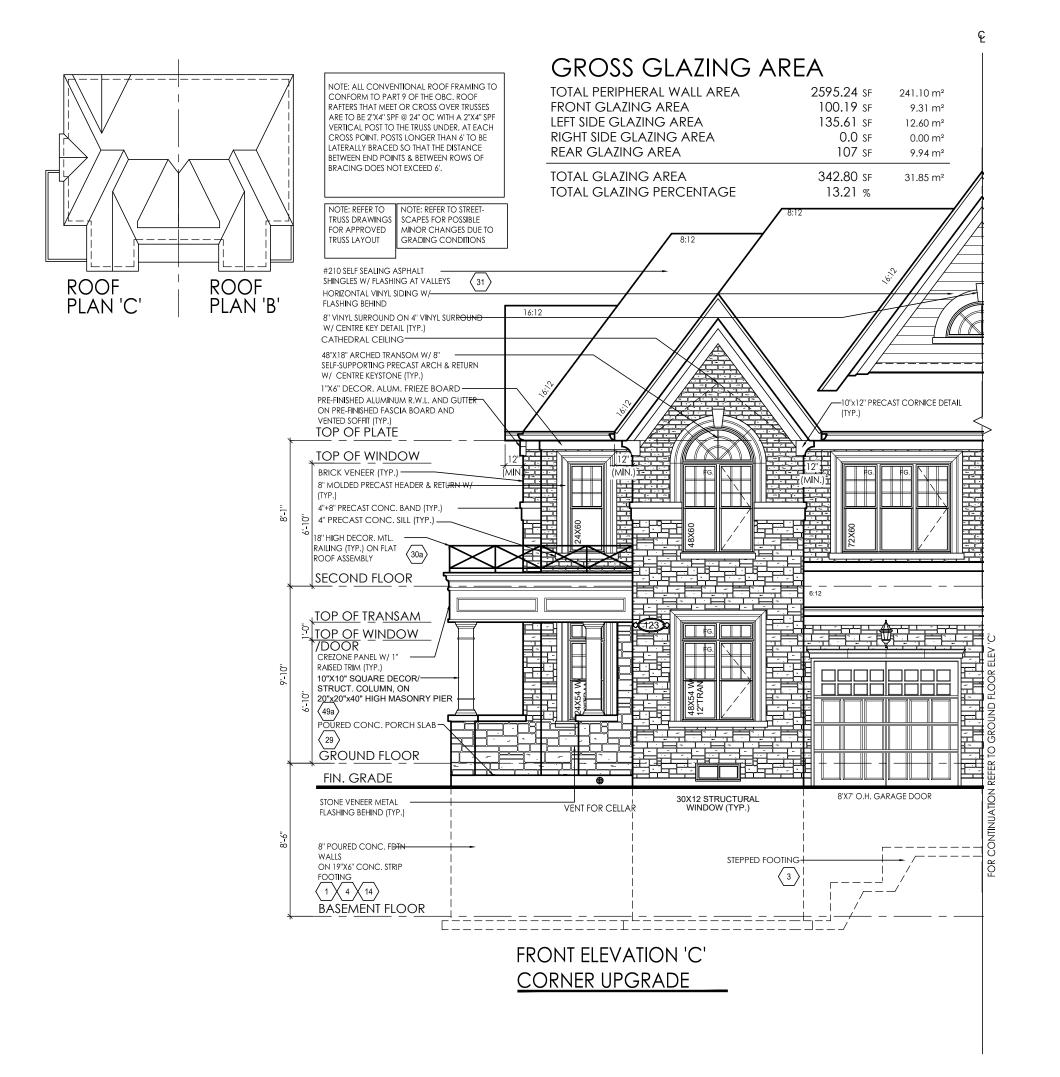
Gold Park Homes

Mclaughlin and Mayfield

SD-2 Brampton

13098

3/16" = 1'0"



Imagine - Inspire - Create



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Gold Park Homes

Mclaughlin and Mayfield

SD-2 Brampton

13098

3/16" = 1'0"



LEFT ELEVATION 'C'
CORNER UPGRADE

RN design

Imagine - Inspire - Create



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clie

Gold Park Homes

Mclaughlin and Mayfield

model

SD-2 Brampton

13098

roject #

3/16" = 1'0"

lot(s)





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Gold Park Homes

Mclaughlin and Mayfield

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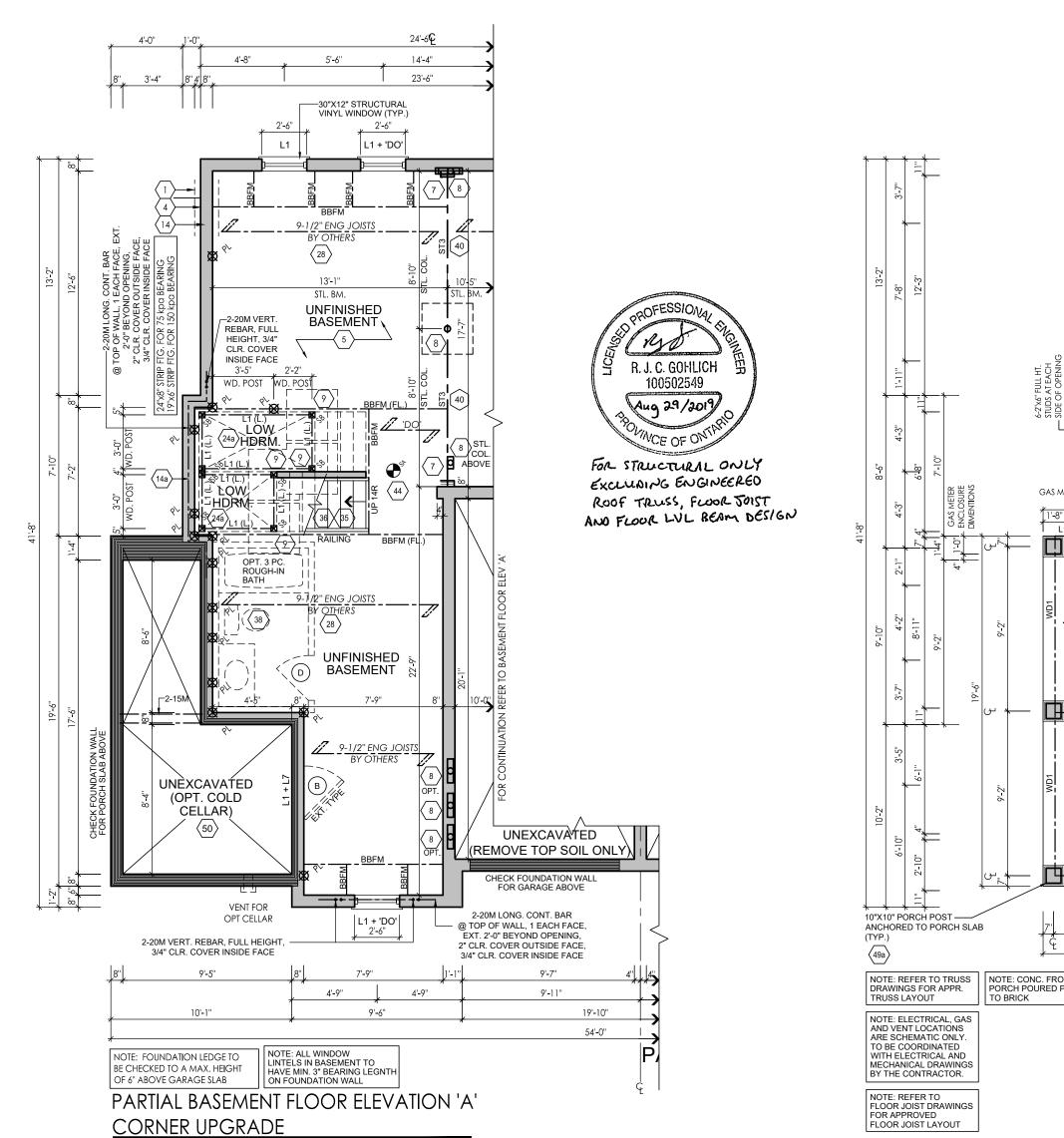
SD-2 Brampton

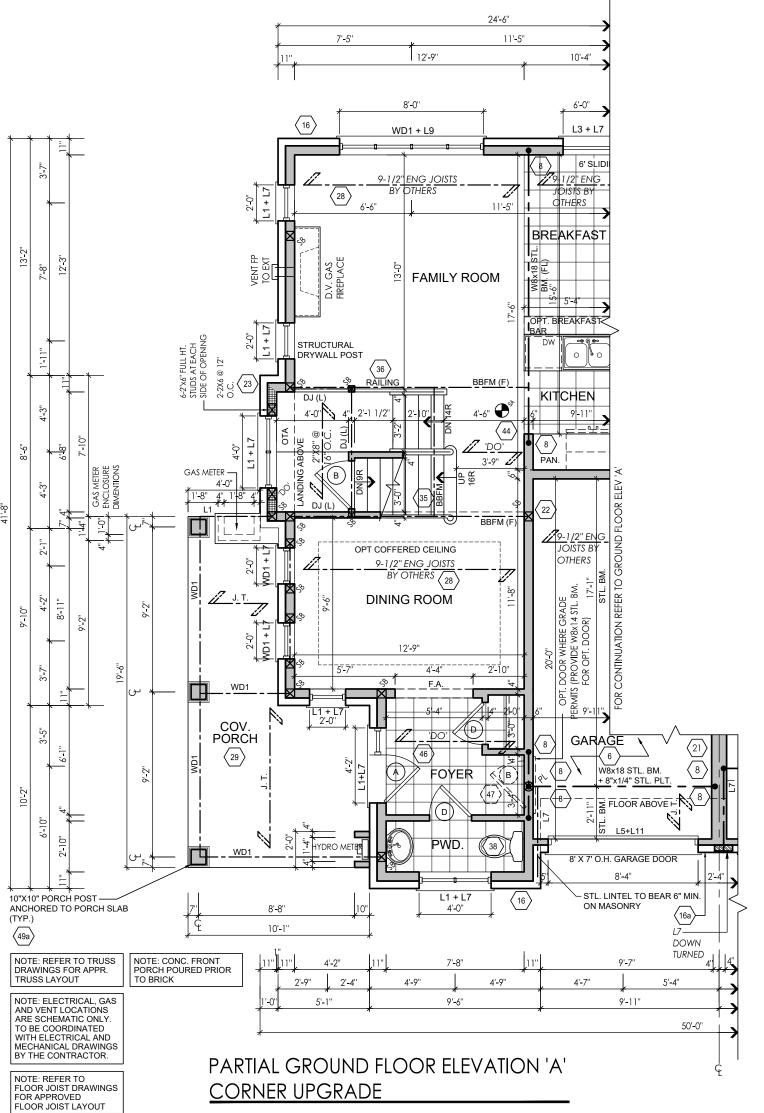
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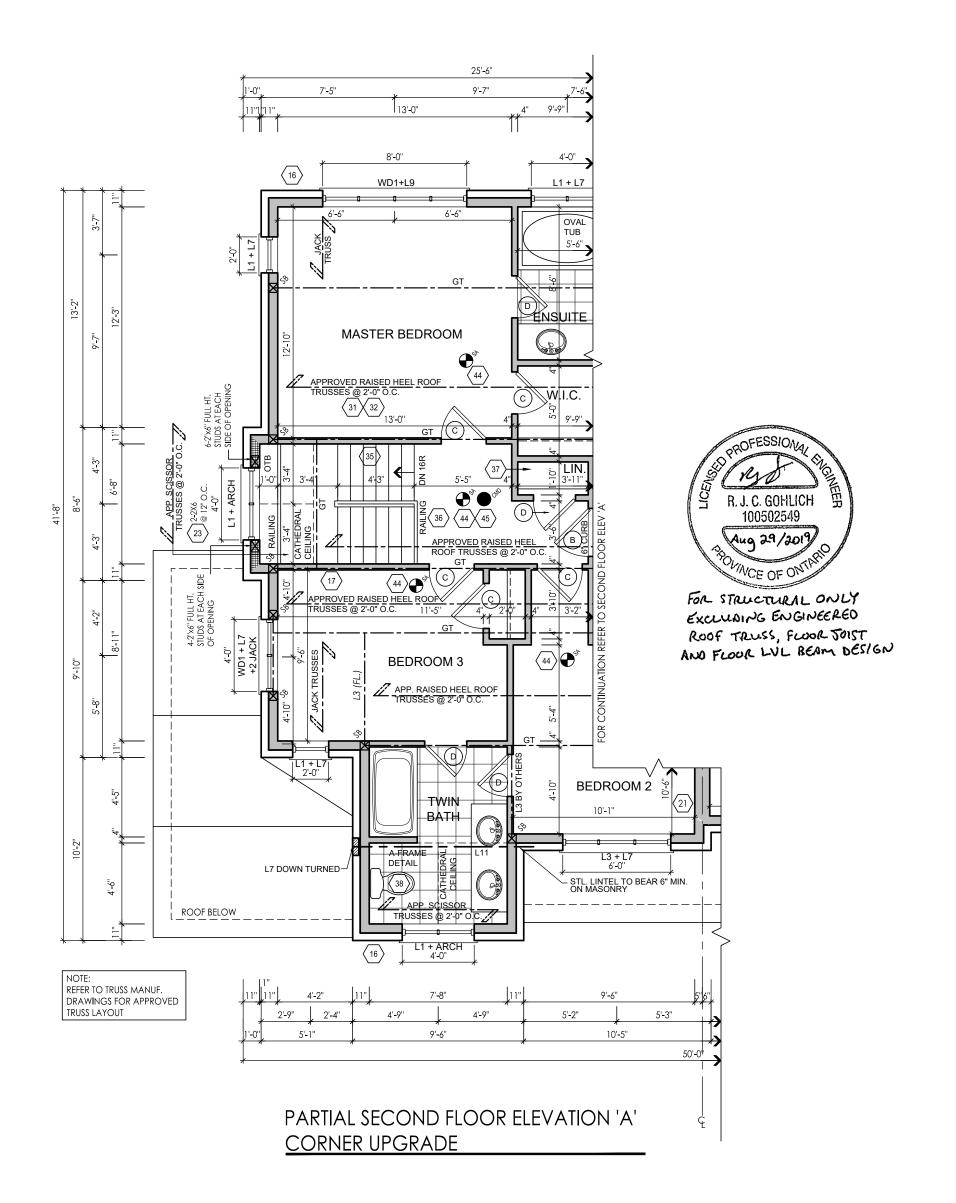
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Gold Park Homes

Mclaughlin and Mayfield

SD-2 Brampton

13098





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Gold Park Homes

Mclaughlin and Mayfield

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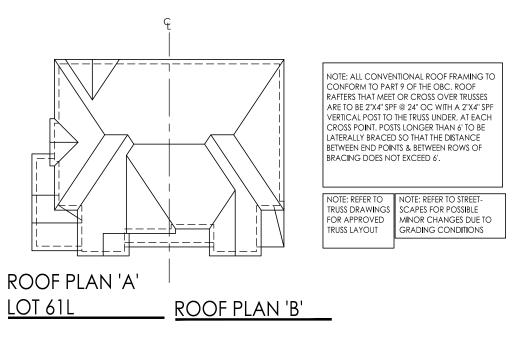
SD-2 Brampton

13098

project #

3/16" = 1'0"

t(s)





# GROSS GLAZING AREA

TOTAL GLAZING PERCENTAGE

TOTAL PERIPHERAL WALL AREA	2595.32 SF	241.11 n
FRONT GLAZING AREA	91.55 SF	8.50 n
LEFT SIDE GLAZING AREA	144.04 SF	13.38 n
RIGHT SIDE GLAZING AREA	0.0 sf	0.00 n
REAR GLAZING AREA	143.89 SF	13.37 n
TOTAL GLAZING AREA	379.48 SF	35.25 n

14.62 %



lmagine → Inspire → Create



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client

Gold Park Homes

Mclaughlin and Mayfield

model

SD-2 Brampton

project #

3/16" = 1'0"

ot(s)

A17



LEFT SIDE ELEVATION 'A' CORNER UPGRADE

RN designation | Inspire - Create



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REVISED GROUND FLOOR FRONT WINDOWS AS PER CLIENT REQUEST	2-Jan-18	HZ	DJH
REVISED PER ENG. COMMENTS, ISSUED FOR PERMIT PH 2	28-AUG-19	LO	JM
	ISSUED FOR CLIENT REVIEW  REVISED PER FLOOR/TRUSS COORD  ISSUED FOR PERMIT  REVISED GROUND FLOOR FRONT WINDOWS AS PER CLIENT REQUEST  REVISED PER ENG. COMMENTS, ISSUED	ISSUED FOR CLIENT REVIEW   6/28/2017   REVISED PER FLOOR/TRUSS COORD   31-AUG-17   ISSUED FOR PERMIT   4-OCF-17   REVISED GROUND FLOOR FRONT WINDOWS AS PER CLIENT REQUEST   2-Jan-18   REVISED PER FING. COMMENTS, ISSUED   29 AUG-19	ISSUED FOR CLIENT REVIEW 6/28/2017 MM  REVISED PER FLOOR/TRUSS COORD 31-AUG-17 MM  ISSUED FOR PERMIT 4-OCT-17 PV  REVISED GROUND FLOOR FRONT WINDOWS AS per CLIENT REQUEST 2-Jan-18 HZ  REVISED PER ENG. COMMENTS, ISSUED 98 AUG-19 JO

clie

Gold Park Homes

Mclaughlin and Mayfield

model

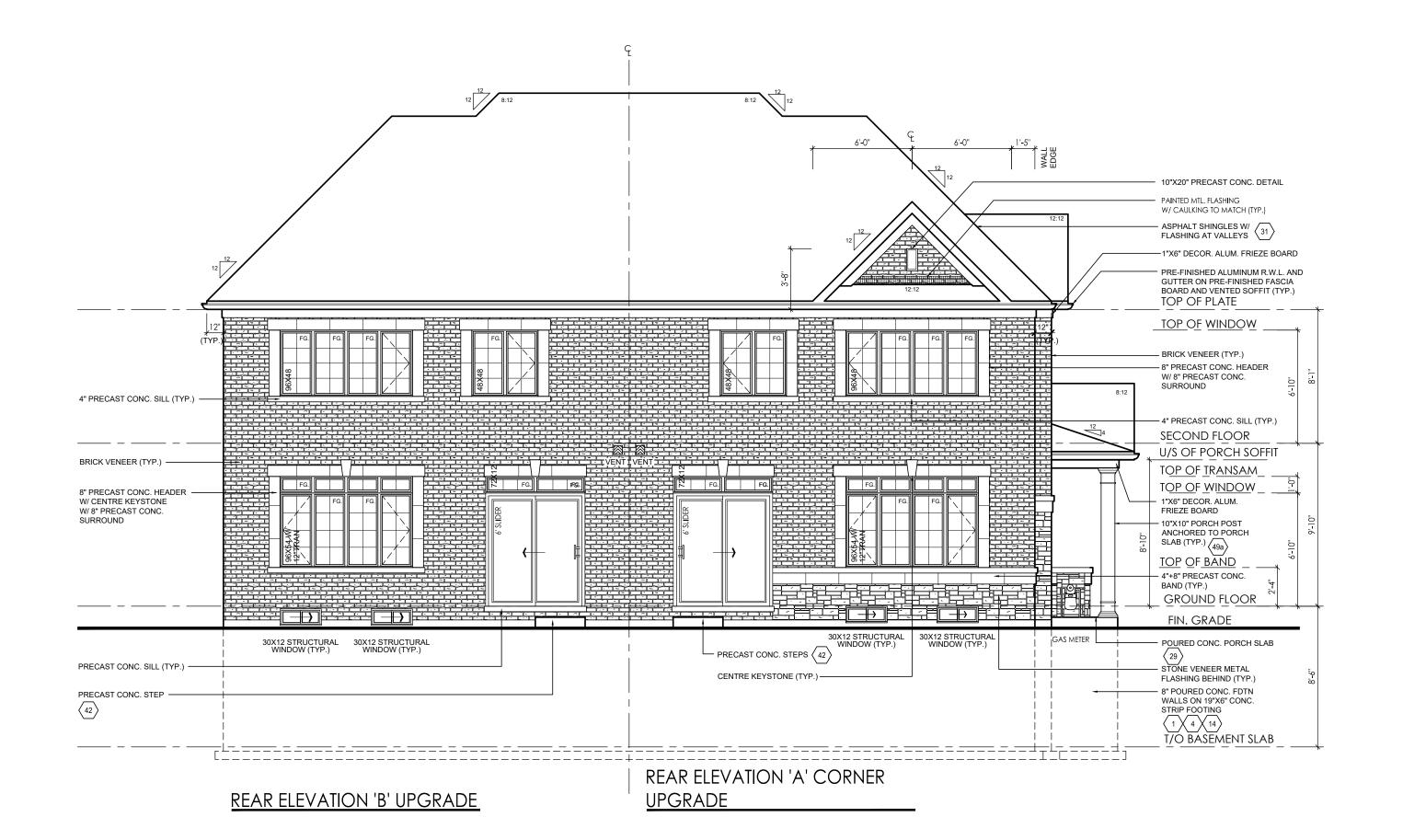
SD-2 Brampton

13098

project #

3/16'' = 1'0''

lot(s)





I, JORGE MORENO DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD, UNDER DIVISION C, PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: FIRM BCIN:

SIGNATURE:

· Wy \_\_\_\_

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	6/28/2017	ММ	JM
2	REVISED PER FLOOR/TRUSS COORD	31-AUG-17	мм	JM
3	ISSUED FOR PERMIT	4-OCT-17	PV	JM
4	REVISED GROUND FLOOR FRONT WINDOWS AS PER CLIENT REQUEST	2-Jan-18	HZ	DJH
5	REVISED PER ENG. COMMENTS, ISSUED FOR PERMIT PH 2	28-AUG-19	LO	JM
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C

Gold Park Homes

Mclaughlin and Mayfield

model

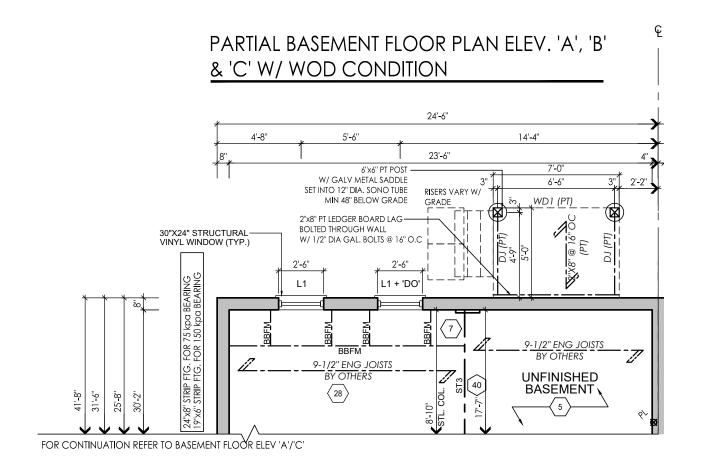
SD-2 Brampton

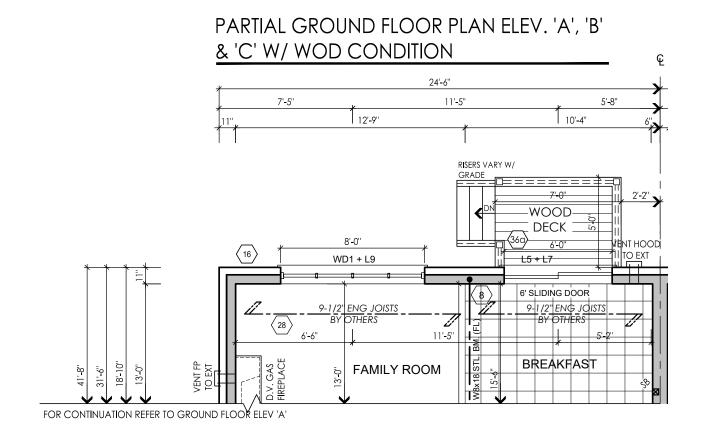
13098

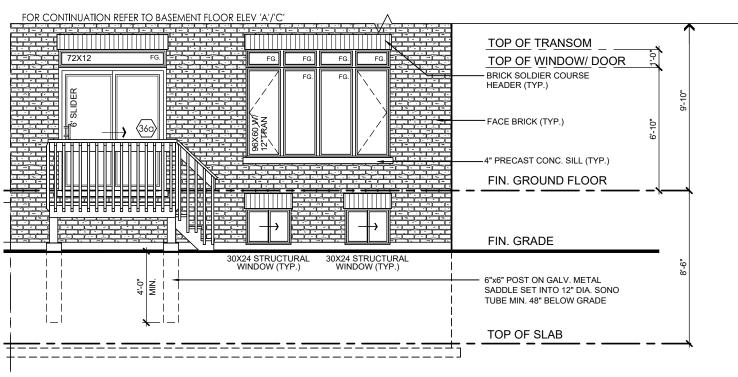
project #

3/16" = 1'0"

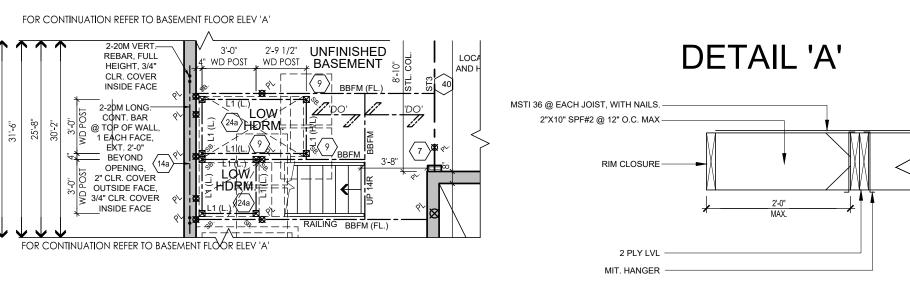
lot(s)



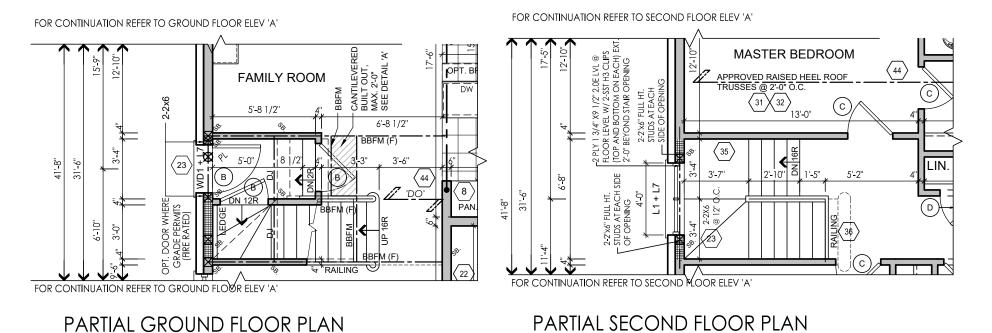


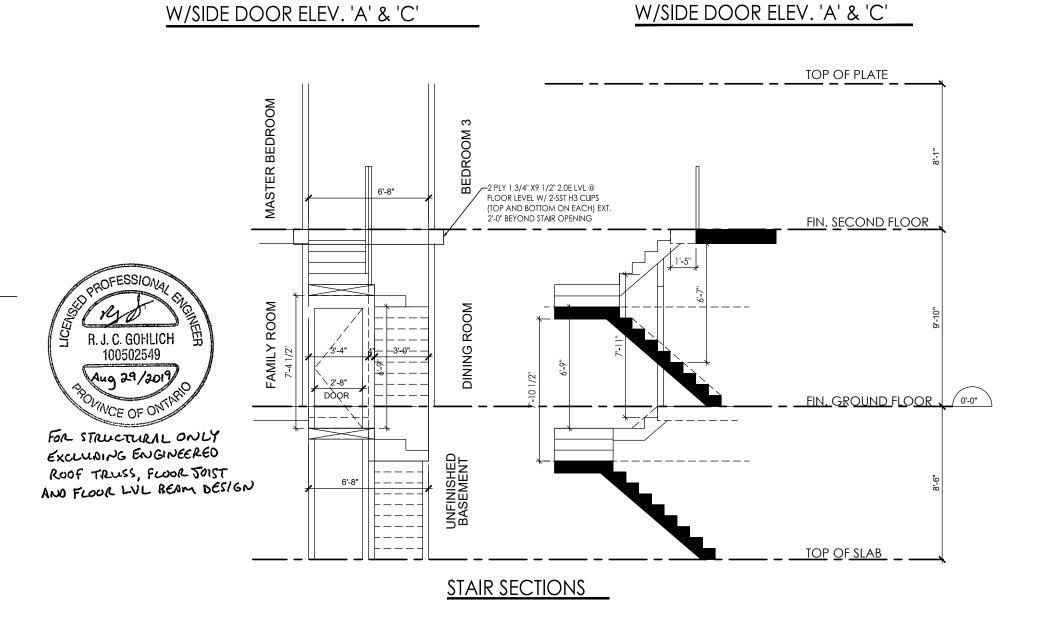


PARTIAL REAR ELEV. 'A', 'B' & 'C' W/ WOD CONDITION



# PARTIAL BASEMENT FLOOR PLAN W/SIDE DOOR ELEV. 'A' & 'C'









I, JORGE MORENO DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD.UNDER DIVISION C.PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 47245

PREM BCIN:
DATE:

SIGNATURE:

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot. This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

1	#	revisions	date	dwn	chk
	1	ISSUED FOR CLIENT REVIEW	15-Aug-17	LO	JM
2	2	ISSUED FOR PERMIT	2017-08-25	ММ	JM
		REVISED PER ENG. COMMENTS, ISSUED FOR PERMIT PH 2	28-AUG-19	LO	JM
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Gold Park Homes

> Mclaughlin and Mayfield

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SD-2 Brampton

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