

I, JORGE MORENO DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD. UNDER DIVISION C-PART 3 SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 47245
FIRM BCIN: 26995
DATE: _____

SIGNATURE: _____

Drawing List:

A0	TITLE SHEET
A1	BASEMENT FLOOR PLAN ELEV. 'A' & 'C'
A2	PARTIAL BASEMENT FLOOR PLAN ELEV. 'B' & 'C'
A3	GROUND FLOOR PLAN ELEV. 'A'
A4	PARTIAL GROUND FLOOR PLAN ELEV. 'B'
A5	SECOND FLOOR PLAN ELEV. 'A'
A6	PARTIAL SECOND FLOOR PLAN ELEV. 'B'
A7	PARTIAL SECOND FLOOR PLAN ELEV. 'C'
A8	RIGHT SIDE ELEVATION 'A'
A9	LEFT SIDE ELEVATION 'A'
A10	RIGHT SIDE ELEVATION 'B'
A11	LEFT SIDE ELEVATION 'B'
A12	RIGHT SIDE ELEVATION 'C'
A13	LEFT SIDE ELEVATION 'C'
A14	RIGHT SIDE ELEVATION 'C'
A15	GROUND FLOOR ELEVATION 'C' CORNER UPGRADE
A16	BASEMENT FLOOR ELEVATION 'C' CORNER UPGRADE
A17	LEFT ELEVATION 'C' CORNER UPGRADE
A18	RIGHT ELEVATION 'C' CORNER UPGRADE
A19	REAR ELEVATION 'C' CORNER UPGRADE
A20	REAR ELEVATION 'B' UPGRADE
A21	PARTIAL BASEMENT FLOOR PLAN ELEV. 'A', 'B' & 'C' W/ WOOD CONDITION
A22	PARTIAL GROUND FLOOR PLAN ELEV. 'A', 'B' & 'C' W/ WOOD CONDITION
A23	PARTIAL SECOND FLOOR PLAN ELEV. 'A', 'B' & 'C' W/ WOOD CONDITION
A24	PARTIAL SECOND FLOOR PLAN ELEV. 'A', 'B' & 'C' W/ WOOD CONDITION
A25	PARTIAL SECOND FLOOR PLAN ELEV. 'A', 'B' & 'C' W/ WOOD CONDITION
A26	PARTIAL SECOND FLOOR PLAN ELEV. 'A', 'B' & 'C' W/ WOOD CONDITION
A27	PARTIAL SECOND FLOOR PLAN ELEV. 'A', 'B' & 'C' W/ WOOD CONDITION
A28	PARTIAL SECOND FLOOR PLAN ELEV. 'A', 'B' & 'C' W/ WOOD CONDITION
A29	PARTIAL SECOND FLOOR PLAN ELEV. 'A', 'B' & 'C' W/ WOOD CONDITION
A30	PARTIAL SECOND FLOOR PLAN ELEV. 'A', 'B' & 'C' W/ WOOD CONDITION

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Act and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Civil Architect is not responsible in any way for examining or approving site letters or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Act and Regulations. Guidelines approved by the City of BRAMPTON.

#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	04/07/2014	rg	pdo
2	REVISED AS PER ARCH. CONTROL COMMENTS	13/08/2014	rgo	dh
3	REVISED AS PER ROOF TRUSS COORDINATION.	14-Aug-14	rgo	dh
4	REVISED AS PER FLOOR COORDINATION.	15-Aug-14	rgo	dh
5	REVISED AS PER ENGINEERING COMMENT.	27/05/2015	RPA	DJH
6	ISSUED FOR PERMIT	16/06/2015	RPA	DJH
7	REVISED PER 2017 OBC ENACTMENT	21-Feb-17	PM	JP
8	ISSUED FOR CLIENT REVIEW	6/28/2017	MM	JM
9	ISSUED FOR PERMIT	20/17-08-2017	MM	JM
11	REVISED PER ENG. COMMENTS. ISSUED FOR PERMIT PH 2.	28-AUG-19	LO	JM
12				

client

Gold Park Homes
McLaughlin and Mayfield

model
SD-2
Brampton

project # 13098

scale 3/16" = 1'0"

AO

CONSTRUCTION NOTES:

COMPLIANCE PACKAGE A1 - OBC 2012 - 2017 ENACTMENT

[UNLESS OTHERWISE NOTED]
ALL CONSTRUCTION TO CONFORM TO THE ONTARIO BUILDING CODE (O.B.C.) AND ALL OTHER CODES AND LOCAL AUTHORITIES HAVING JURISDICTION.
ALL DIMENSIONS GIVEN FIRST IN IMPERIAL FOLLOWED BY METRIC.
THERMAL RESISTANCE VALUES BASED ON ZONE I

FOOTINGS / SLABS:

TYPICAL STRIP FOOTING:

O.B.C. 9.15.3.3
-BASED ON 16" (14.9mm) MAX. SUPPORTED JOIST LENGTH
-MIN. 2200psi (15MPa) CONCRETE AFTER 28 DAYS
-SHALL REST ON UNDISTURBED SOIL, ROCK OR ON COMPACTED GRANULAR FILL W/ MIN. 100psi (75kPa) BEARING CAPACITY
-FRTG. SIZES MAY BE REDUCED FOR SOILS W/ GREATER BEARING CAPACITY (AS PER SOILS ENGINEERING REPORT)
-REFER TO WORKING DRAWINGS FOR SPECIFIC SIZES THAT MAY SUPERSEDE NOTES #1 & #2 FOR FOOTING SIZES

TYPICAL STRIP FOOTING: (EXTERIOR WALLS)

O.B.C. 9.15.3.5
-FTG. TO EXTEND MIN. 4'-0" (1200mm) BELOW GRADE
-BRICK VENEER
-1 STOREY - 13" X 4" (330mm X 100mm)
-2 STOREY - 19" X 6" (485mm X 155mm)
-3 STOREY - 26" X 9" (660mm X 230mm)

TYPICAL STRIP FOOTING: (INTERIOR BEARING WALLS)

O.B.C. 9.15.3.6
-1 STOREY MASONRY - 16" X 4" (400mm X 100mm)
-1 STOREY STUD - 12" X 4" (300mm X 100mm)
-2 STOREY MASONRY - 26" X 9" (660mm X 230mm)
-2 STOREY STUD - 18" X 5" (450mm X 130mm)
-3 STOREY MASONRY - 36" X 14" (900mm X 360mm)
-3 STOREY STUD - 24" X 8" (600mm X 200mm)

STEP FOOTING:

O.B.C. 9.15.3.9
-23" (58mm) MAX. VERTICAL RISE & 23 5/8" (600mm) MIN. HORIZONTAL RUN

DRAINAGE TIE OR PIPE

O.B.C. 9.14.3
-1 (100mm) MIN. DIA. LAID ON UNDISTURBED OR WELL COMPACTED SOIL W/ TOP OF TIE OR PIPE TO BE BELOW BOTTOM OF FLR. SLAB.
-COVER TOP & SIDES OF TIE OR PIPE W/ 1/8" (150mm) OF CRUSHED STONE OR OTHER COURSE CLEAN GRANULAR MATERIAL
-TIE SHALL DRAIN TO A SEWER, DRAINAGE DITCH, OR DRY WELL

BASEMENT SLAB

O.B.C. 9.13.1 & 9.16
-3" (75mm) CONCRETE SLAB
-2200psi (15MPa) AFTER 28 DAYS - O.B.C. 9.14.5
-DAMP-PROOF BELOW SLAB W/ MIN. 0.006" (0.15mm) POLYETHYLENE OR TYPE 3 ROLL ROOFING W/ 4" (100mm) LAPPED JOINTS
-DAMP-PROOFING MAY BE OMITTED IF CONCRETE HAS MIN. 3000psi (25MPa) COMPRESSIVE STRENGTH AFTER 28 DAYS
-1 (100mm) OF COURSE GRANULAR MATERIAL
-PROVIDE BOND BREAKING MATERIAL BETWEEN SLAB & FTG.
-WHERE SLAB IS REQUIRED TO BE WATERPROOFED, IT SHALL CONFORM TO O.B.C. 9.13.13

SLAB ON GROUND

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REDUCTION OF THICKNESS:

O.B.C. 9.15.4.7
-WHERE THE TOP OF THE FOUNDATION WALL IS REDUCED IN THICKNESS TO ALLOW MASONRY FACING, THE METAL TIES SPACED MAX. @ 7/8" (200mm) THICK.
-TIES TO FACING MATERIAL SHALL BE SPACED MAX. @ 7/8" (200mm) VERTICALLY O.C. & 2'-11" (900mm) HORIZONTALLY.
-RLL SPACE BETWEEN WALL AND FACING SOLID W/ MORTAR
-WHERE WALL IS REDUCED FOR JOISTS, THE REDUCED THICKNESS SHALL BE MAX. 13'-3/4" (350mm) HIGH & MIN. 3'-1/2" (900mm) THICK
-DAMP-PROOFING & WATERPROOFING:
-DAMP-PROOF THE EXTERIOR FACE OF WALL BELOW GRADE AS PER O.B.C. 9.13.2
-WHERE INSULATION EXTENDS TO MORE THAN 2'-1" (500mm) BELOW GRADE, A FDN. WALL DRAINAGE LAYER SHALL BE PROVIDED IN CONFORMANCE TO O.B.C. 9.14.2.1 (2) (3) (4)
-FINISHED BASEMENTS SHALL HAVE INTERIOR DAMP-PROOFING EXTENDING FROM SLAB TO GRADE LEVEL & SHALL CONFORM TO O.B.C. 9.13.3.3 (3)
-WHERE HYDROSTATIC PRESSURE OCCURS, FDN. WALLS SHALL BE WATERPROOFED AS PER O.B.C. 9.13.3
-WALLS THAT ARE WATERPROOFED DO NOT REQUIRE DAMP-PROOFING.

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-WHERE INSULATION EXTENDS TO MORE THAN 2'-1" (500mm) BELOW GRADE, A FDN. WALL DRAINAGE LAYER SHALL BE PROVIDED IN CONFORMANCE TO O.B.C. 9.14.2.1 (2) (3) (4)
-FINISHED BASEMENTS SHALL HAVE INTERIOR DAMP-PROOFING EXTENDING FROM SLAB TO GRADE LEVEL & SHALL CONFORM TO O.B.C. 9.13.3.3 (3)
-WHERE HYDROSTATIC PRESSURE OCCURS, FDN. WALLS SHALL BE WATERPROOFED AS PER O.B.C. 9.13.3
-WALLS THAT ARE WATERPROOFED DO NOT REQUIRE DAMP-PROOFING.

REDUCTION OF THICKNESS:

O.B.C. 9.15.4.7
-WHERE THE TOP OF THE FOUNDATION WALL IS REDUCED IN THICKNESS TO ALLOW MASONRY FACING, THE METAL TIES SPACED MAX. @ 7/8" (200mm) THICK.
-TIES TO FACING MATERIAL SHALL BE SPACED MAX. @ 7/8" (200mm) VERTICALLY O.C. & 2'-11" (900mm) HORIZONTALLY.
-RLL SPACE BETWEEN WALL AND FACING SOLID W/ MORTAR
-WHERE WALL IS REDUCED FOR JOISTS, THE REDUCED THICKNESS SHALL BE MAX. 13'-3/4" (350mm) HIGH & MIN. 3'-1/2" (900mm) THICK
-DAMP-PROOFING & WATERPROOFING:
-DAMP-PROOF THE EXTERIOR FACE OF WALL BELOW GRADE AS PER O.B.C. 9.13.2
-WHERE INSULATION EXTENDS TO MORE THAN 2'-1" (500mm) BELOW GRADE, A FDN. WALL DRAINAGE LAYER SHALL BE PROVIDED IN CONFORMANCE TO O.B.C. 9.14.2.1 (2) (3) (4)
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REDUCTION OF THICKNESS:

O.B.C. 9.15.4.7
-WHERE THE TOP OF THE FOUNDATION WALL IS REDUCED IN THICKNESS TO ALLOW MASONRY FACING, THE METAL TIES SPACED MAX. @ 7/8" (200mm) THICK.
-TIES



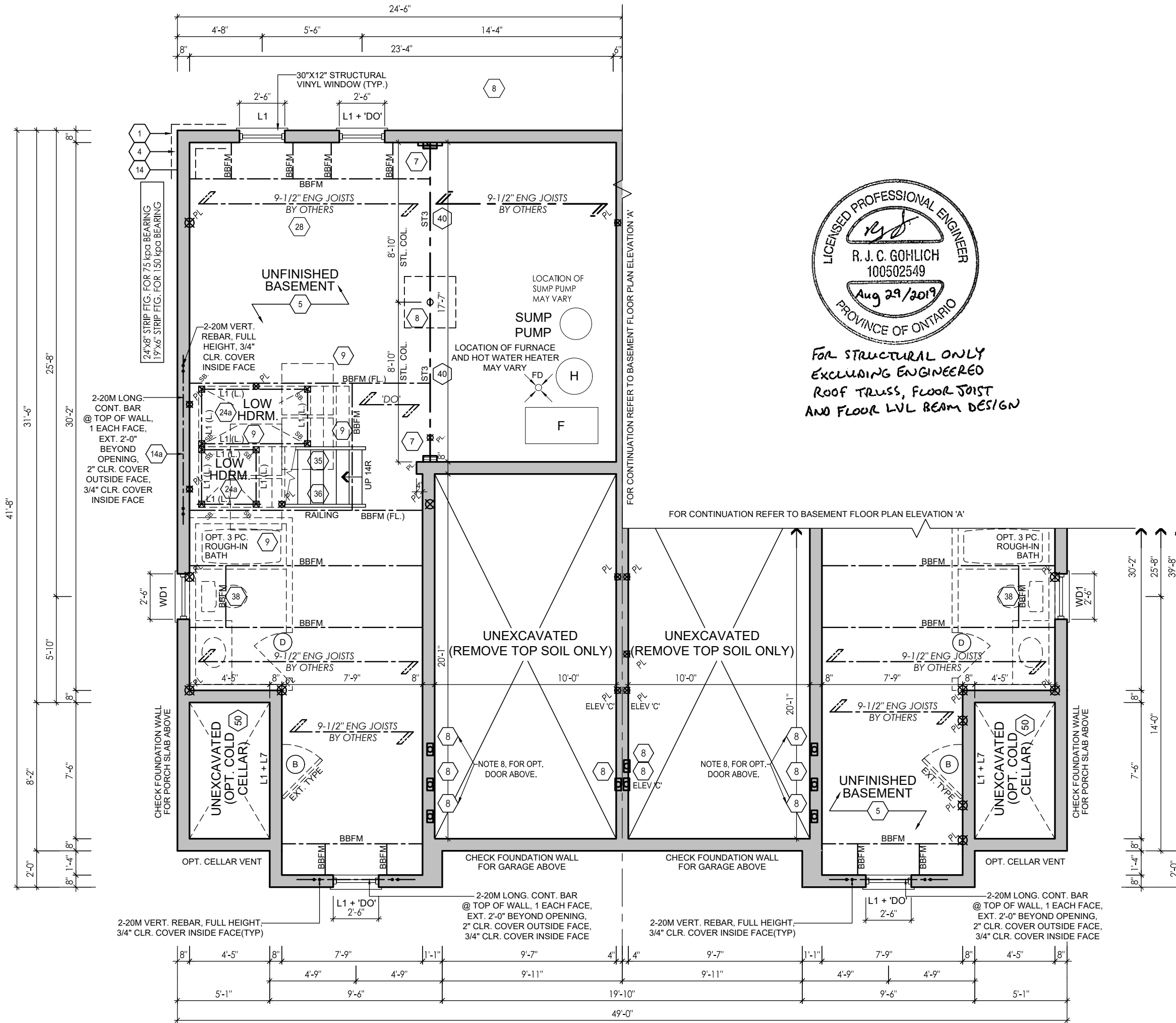
I, JORGE MORENO DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD. UNDER DIVISION C, PART 3 SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 47245
FIRM BCIN: 26995
DATE: *J. W.*

SIGNATURE: _____



FOR STRUCTURAL ONLY
EXCLUDING ENGINEERED
ROOF TRUSS, FLOOR JOIST
AND FLOOR LVL BEAM DESIGN



BASEMENT FLOOR PLAN ELEV. 'A' & 'C'

PARTIAL BASEMENT FLOOR PLAN ELEV. 'B' & 'C'

NOTE: ALL WINDOW
LINTELS IN BASEMENT TO
HAVE MIN. 3" BEARING LENGTH
ON FOUNDATION WALL

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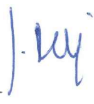
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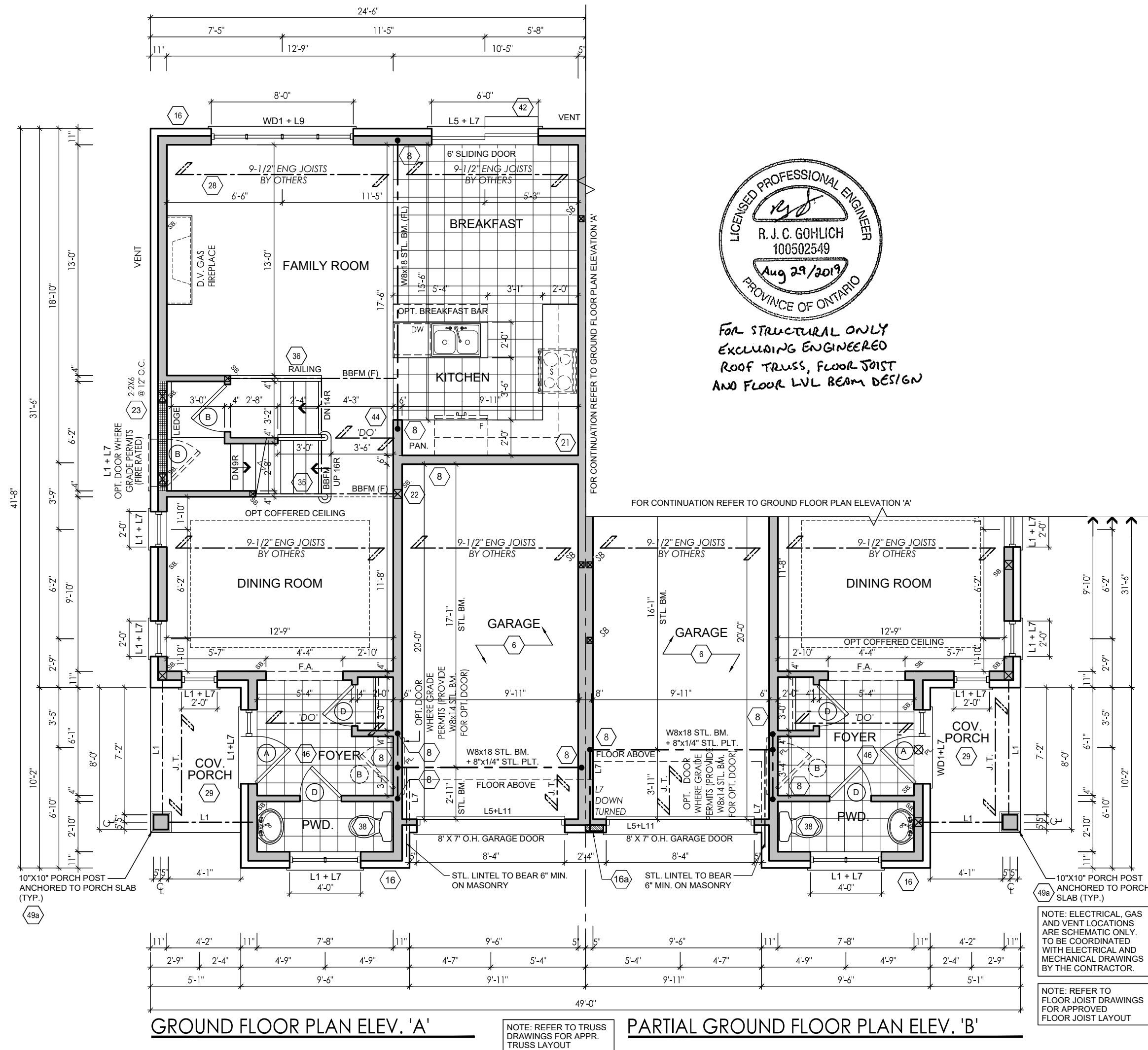
#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	04/07/2014	ps	rpo
2	REVISED AS PER ROOF TRUSS COORDINATION.	14-Aug-14	rpo	djh
3	REVISED AS PER FLOOR COORDINATION.	15/08/2014	RPA	DJH
4	REVISED AS PER ENGINEERING COMM.	27/05/2015	RPA	DJH
5	ISSUED FOR PERMIT	16/04/2015	RPA	DJH
6	REVISED PER 2017 OBC ENACTMENT	21-Feb-17	PM	JP
7	ISSUE FOR FINAL	22-Aug-17	lo	JM
8	ADDED SUMP PUMP, FOR LOT 8	21-NOV-17	JM	JM
9	CHANGE PARTY WALLS TO DBL STUD.	4-JUNE-19	JM	JM
11	REVISED PER ENG. COMMENTS, ISSUED FOR PERMIT PHASE 2.	28-AUG-19	LO	JM
12				

client	Gold Park Homes
project	Mclaughlin and Mayfield
model	SD-2 Brampton
project #	13098
scale	3/16" = 1'0"
tot(s)	



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9	CHANGE PARTY WALLS TO DBL STUD	4-JUNE-19	JM	JM
10	REVISED PER ENG. COMMENTS, ISSUED FOR PERMIT PH 2	28-AUG-19	LO	JM
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12				

client	Gold Park Homes
project	Mclaughlin and Mayfield
model	SD-2 Brampton
project #	13098
scale	3/16" = 1'0"
lot(s)	



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client

Gold Park
Homes

project

Mclaughlin and
Mayfield

model

SD-2

Brampton

project #

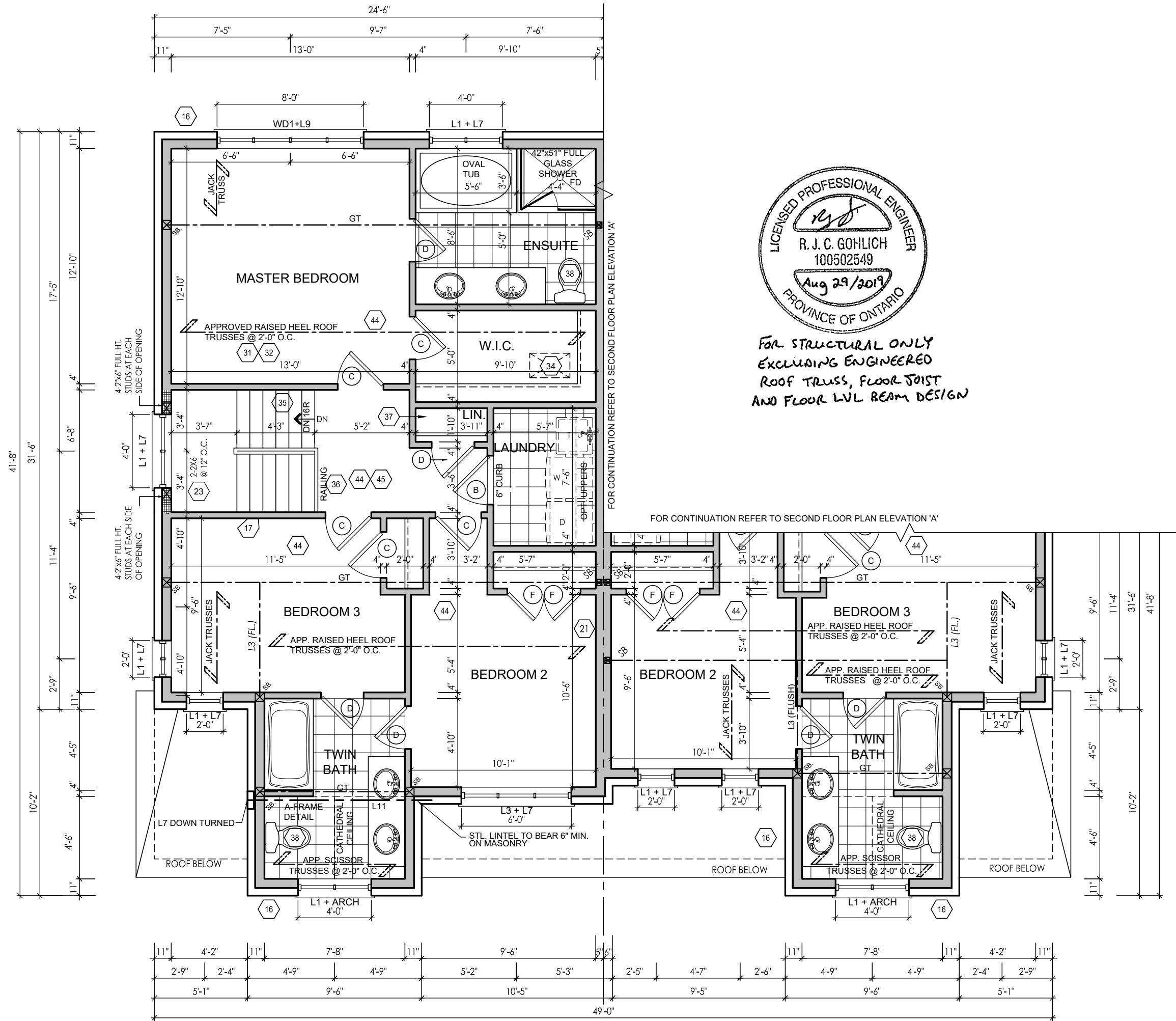
13098

scale

3/16" = 1'0"

lot(s)

A3



SECOND FLOOR PLAN ELEV. 'A'

NOTE: REFER TO TRUSS
DRAWINGS FOR APPR.
TRUSS LAYOUT

PARTIAL SECOND FLOOR PLAN ELEV. 'B'

GROSS GLAZING AREA 'A'

TOTAL PERIPHERAL WALL AREA	2385.07 SF	221.57 m²
FRONT GLAZING AREA	81.25 SF	7.55 m²
LEFT SIDE GLAZING AREA	41.53 SF	3.86 m²
RIGHT SIDE GLAZING AREA	0 SF	0.00 m²
REAR GLAZING AREA	140.19 SF	13.02 m²

TOTAL GLAZING AREA	262.97 SF	24.43 m²
TOTAL GLAZING PERCENTAGE	11.03 %	

GROSS GLAZING AREA 'B'

TOTAL PERIPHERAL WALL AREA	2378.29 SF	220.94 m²
FRONT GLAZING AREA	76.06 SF	7.07 m²
LEFT SIDE GLAZING AREA	0.0 SF	0.00 m²
RIGHT SIDE GLAZING AREA	41.53 SF	3.86 m²
REAR GLAZING AREA	140.19 SF	13.02 m²

TOTAL GLAZING AREA	257.78 SF	23.95 m²
TOTAL GLAZING PERCENTAGE	10.84 %	

RN design

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J. W.



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3	ISSUED FOR PERMIT	2017-08-25	MM	JM
4	REVISED GROUND FLOOR FRONT WINDOWS AS PER CLIENT REQUEST	2-Jan-18	HZ	DJH
5	REVISED PER ENG. COMMENTS. ISSUED FOR PERMIT PH 2	28-AUG-19	LO	JM
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11				
12				

client

Gold Park
Homes

project

Mclaughlin and
Mayfield

model

SD-2

Brampton

project #

13098

scale

3/16" = 1'0"

lot(s)

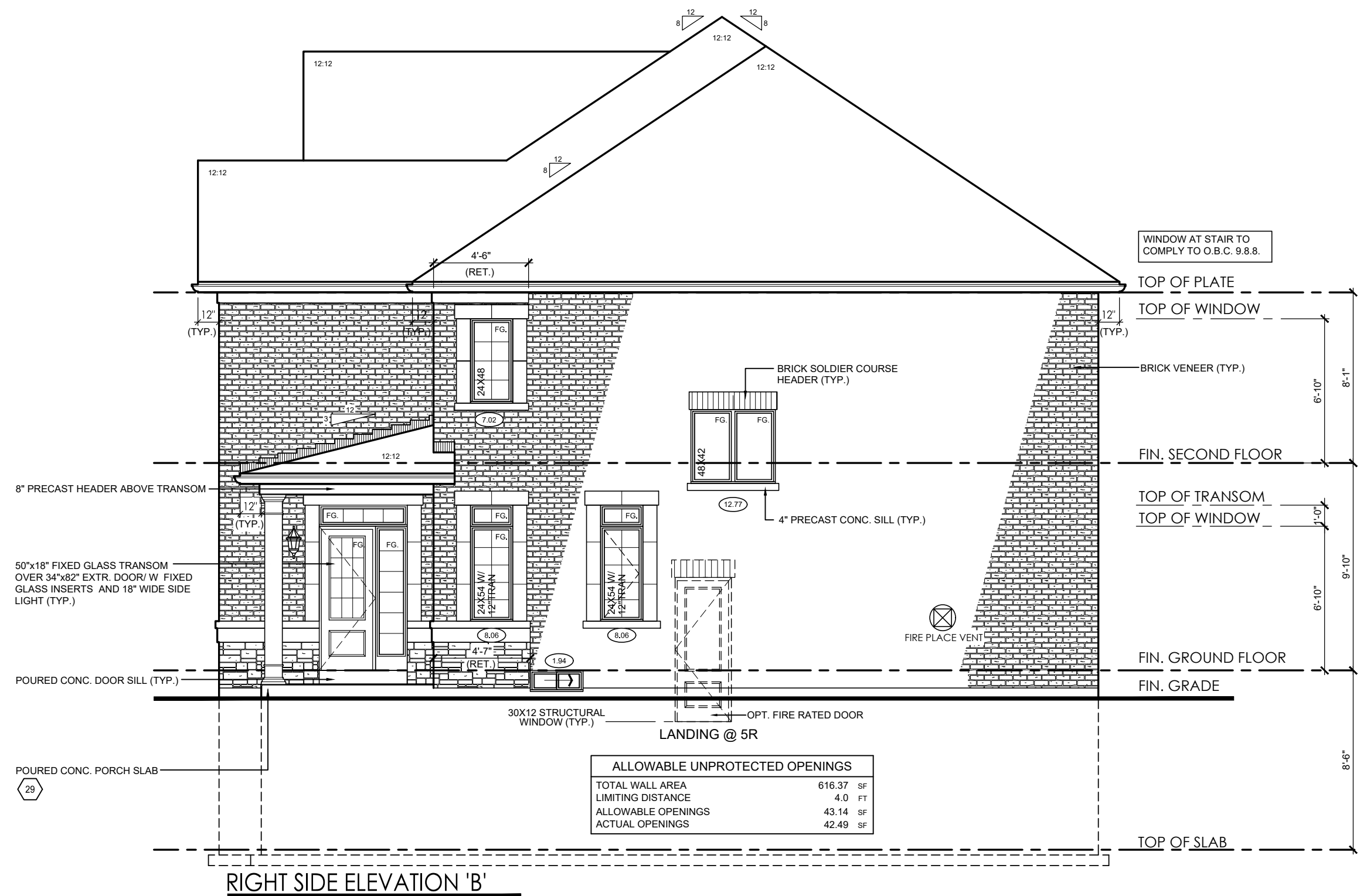
A5



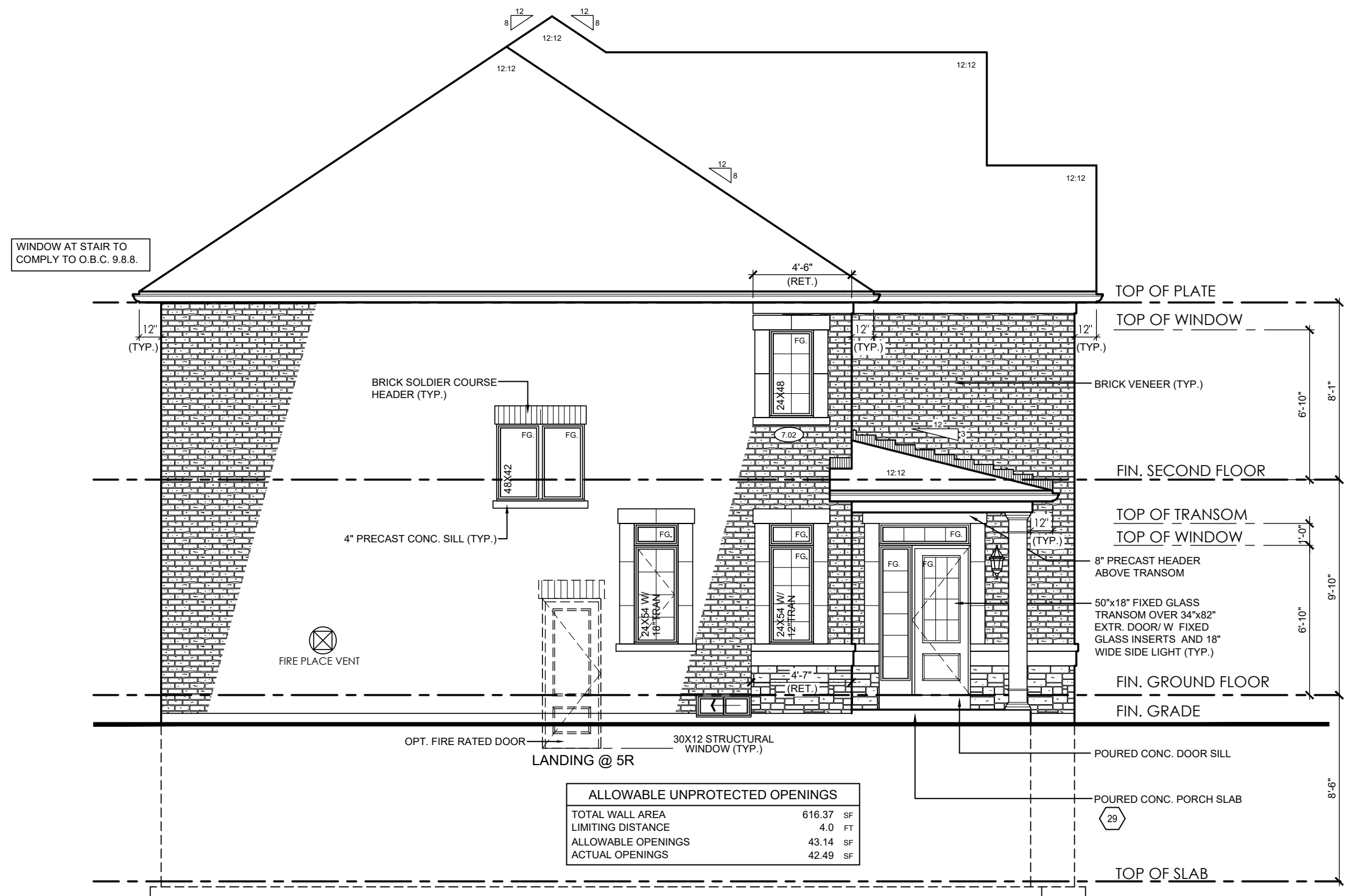
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RIGHT SIDE ELEVATION 'B'



LEFT SIDE ELEVATION 'A'

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client

Gold Park
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project

Mclaughlin and
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Brampton

project #

13098

scale

3/16" = 1'0"

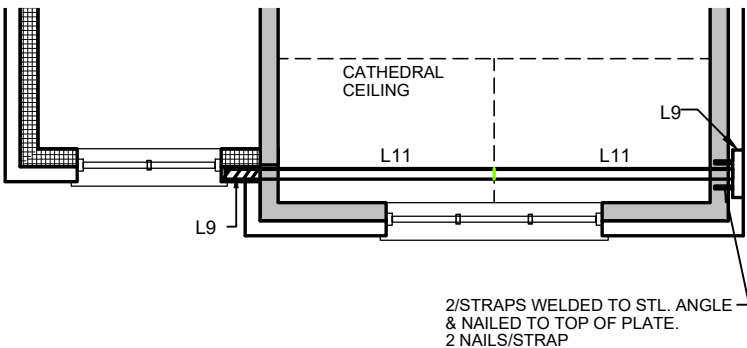
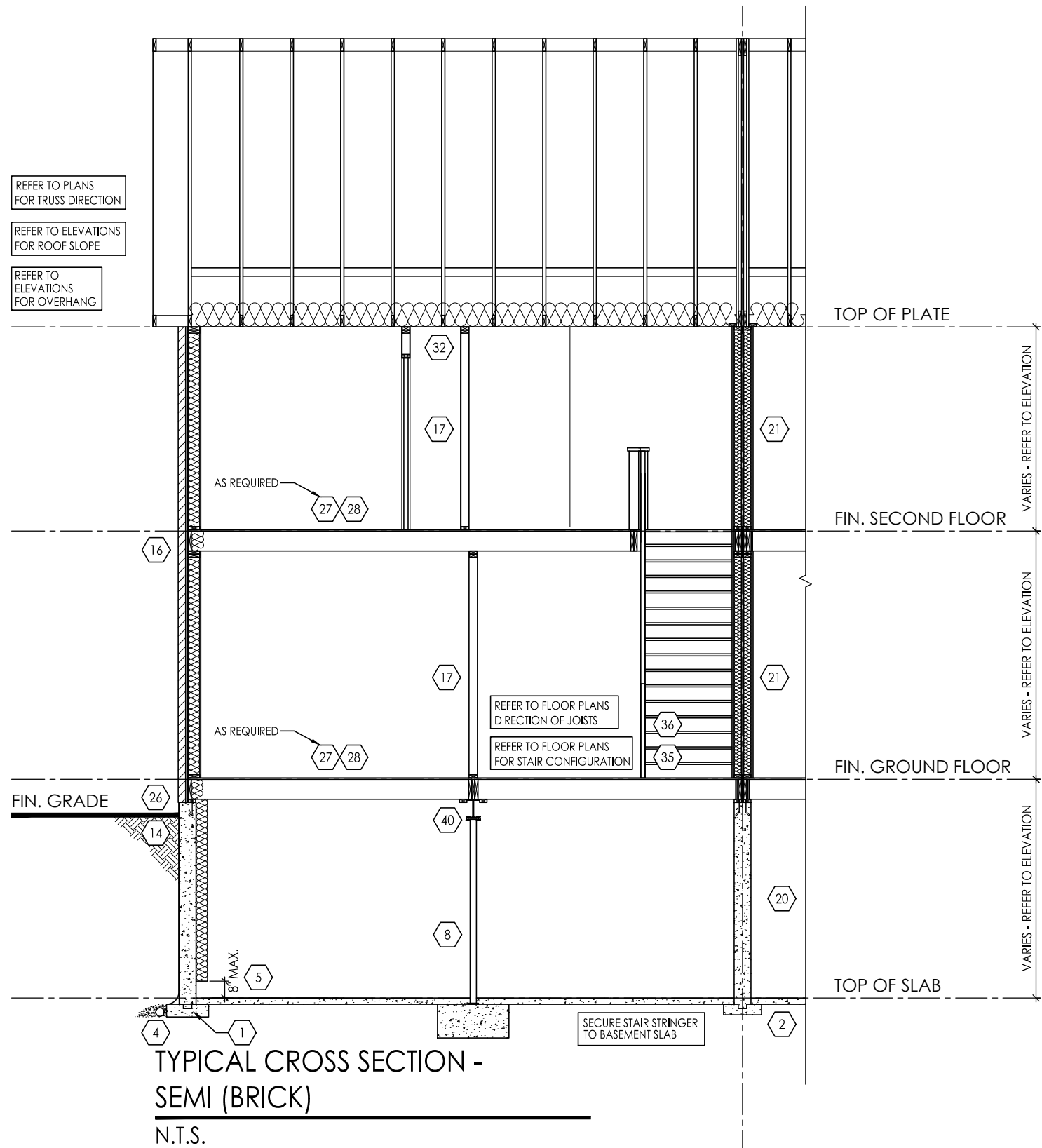
lot(s)



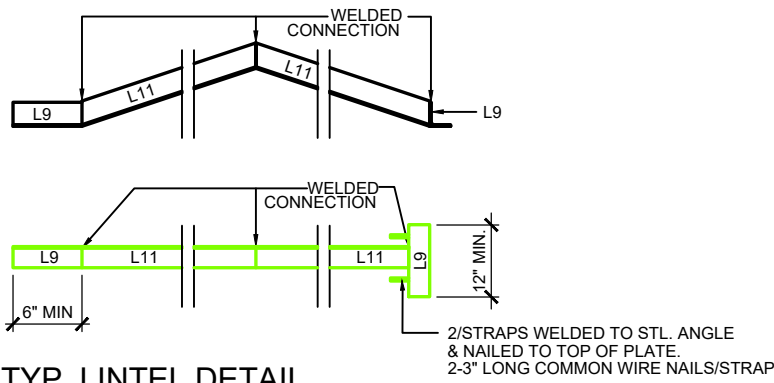
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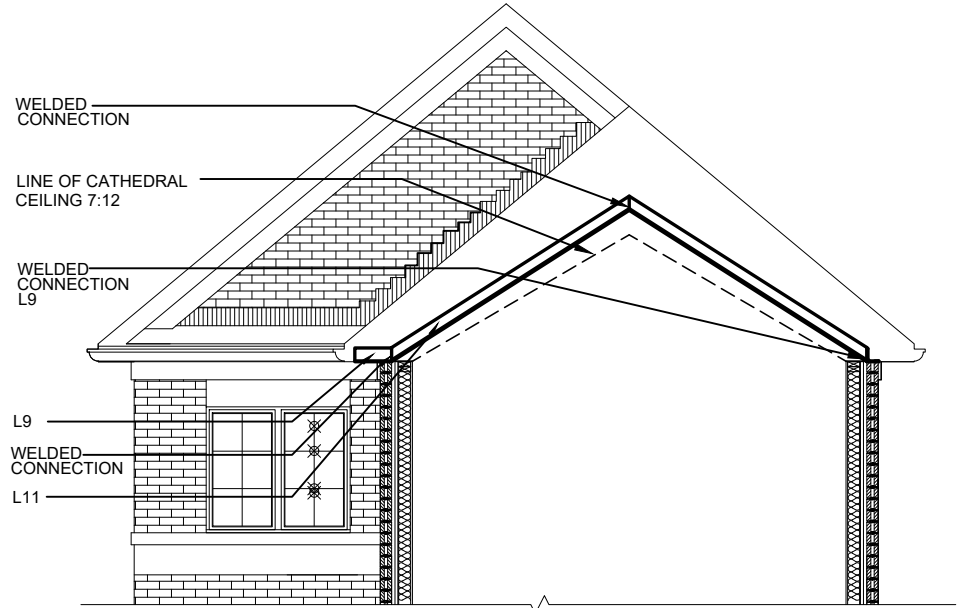
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TYP. LINTEL DETAIL - PLAN



TYP. LINTEL DETAIL



TYP. LINTEL DETAIL - SECTION

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12				

client	Gold Park Homes
project	Mclaughlin and Mayfield
model	SD-2 Brampton
project #	13098
scale	3/16" = 1'0"
lot(s)	

GROSS GLAZING AREA 'C'

TOTAL PERIPHERAL WALL AREA	2378.29 SF	220.94 m²
FRONT GLAZING AREA	91.7 SF	8.52 m²
LEFT SIDE GLAZING AREA	0.0 SF	0.00 m²
RIGHT SIDE GLAZING AREA	41.53 SF	3.86 m²
REAR GLAZING AREA	140.19 SF	13.02 m²
TOTAL GLAZING AREA	273.42 SF	25.40 m²
TOTAL GLAZING PERCENTAGE	11.50 %	

GROSS GLAZING AREA 'C' RIGHT

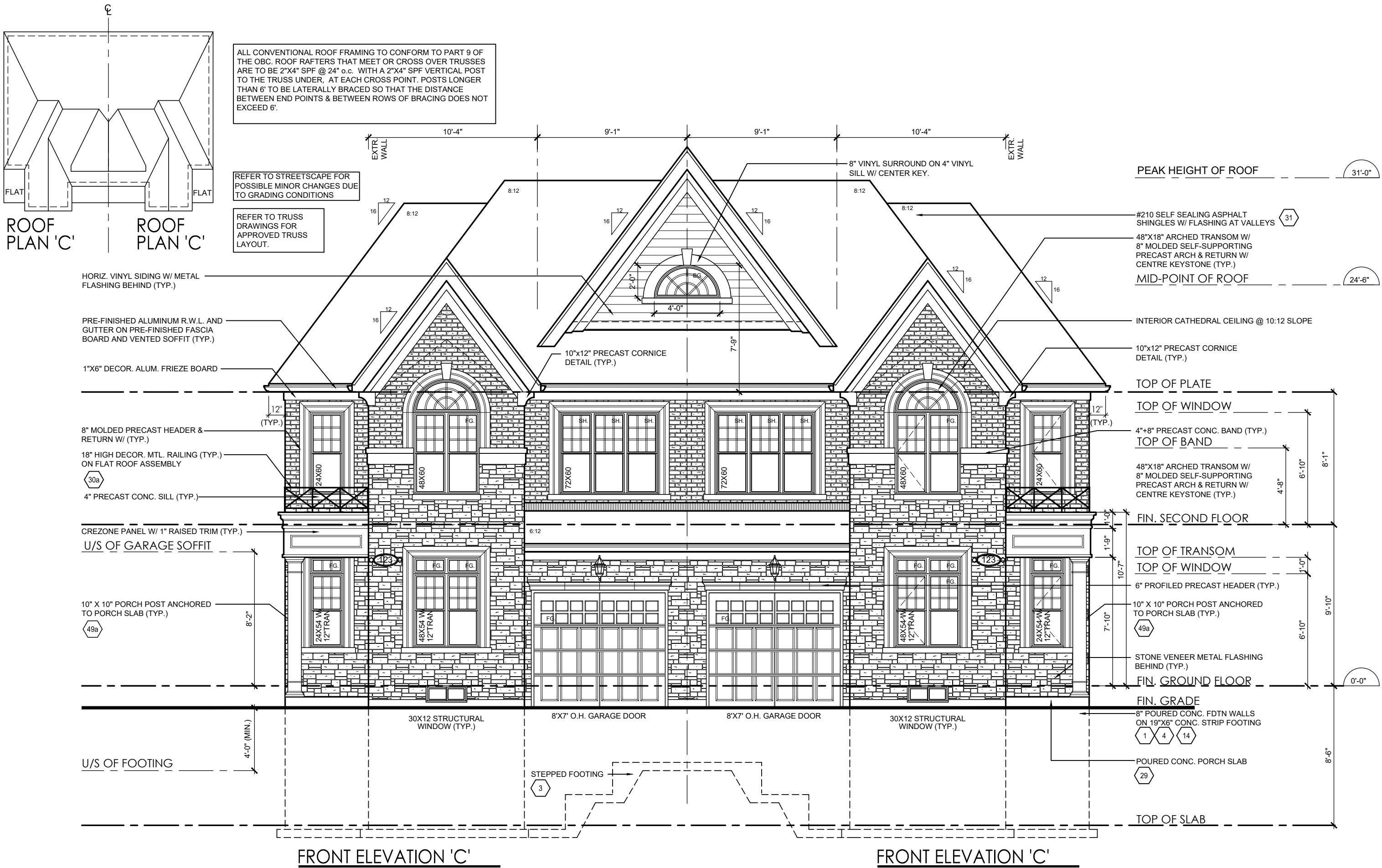
TOTAL PERIPHERAL WALL AREA	2378.29 SF	220.94 m²
FRONT GLAZING AREA	101.27 SF	9.41 m²
LEFT SIDE GLAZING AREA	0.0 SF	0.00 m²
RIGHT SIDE GLAZING AREA	65.09 SF	6.05 m²
REAR GLAZING AREA	143.89 SF	13.37 m²
TOTAL GLAZING AREA	310.25 SF	28.82 m²
TOTAL GLAZING PERCENTAGE	13.05 %	



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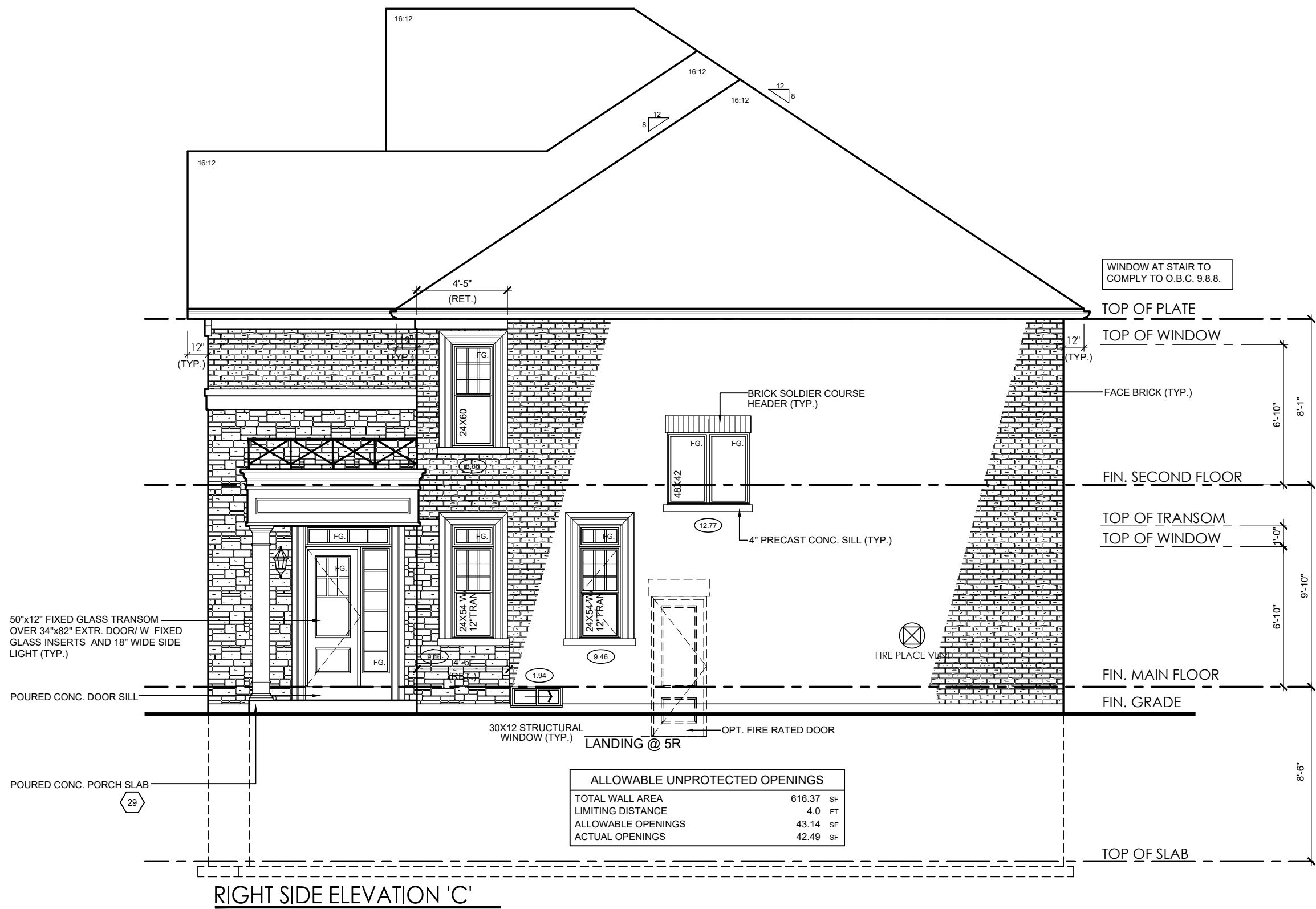
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project	Mclaughlin and Mayfield
model	SD-2 Brampton
project #	13098
scale	3/16" = 1'0"
lot(s)	



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client

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project

Mclaughlin and
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SD-2
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project #

13098

scale

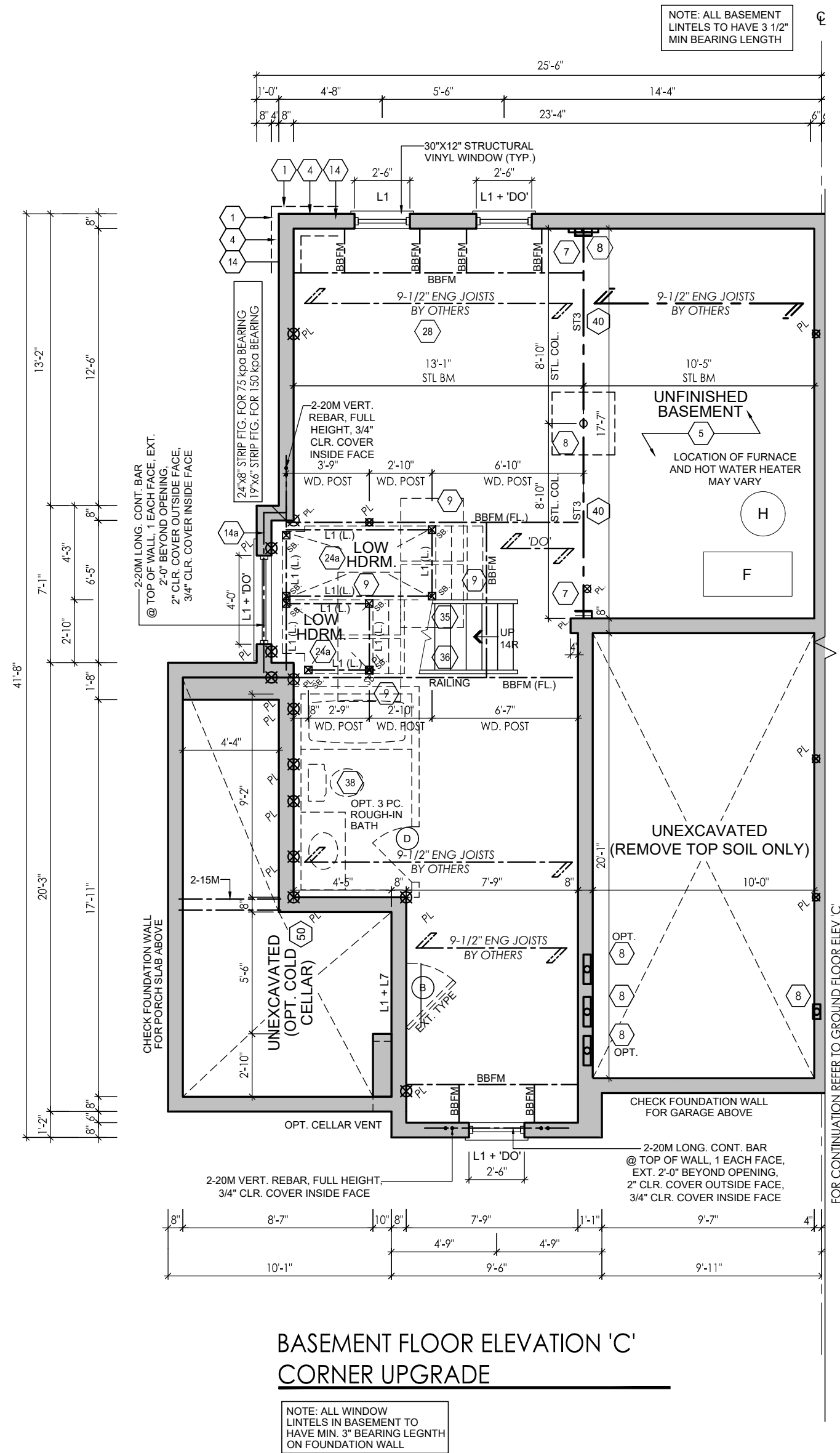
3/16" = 1'0"

lot(s)

A10

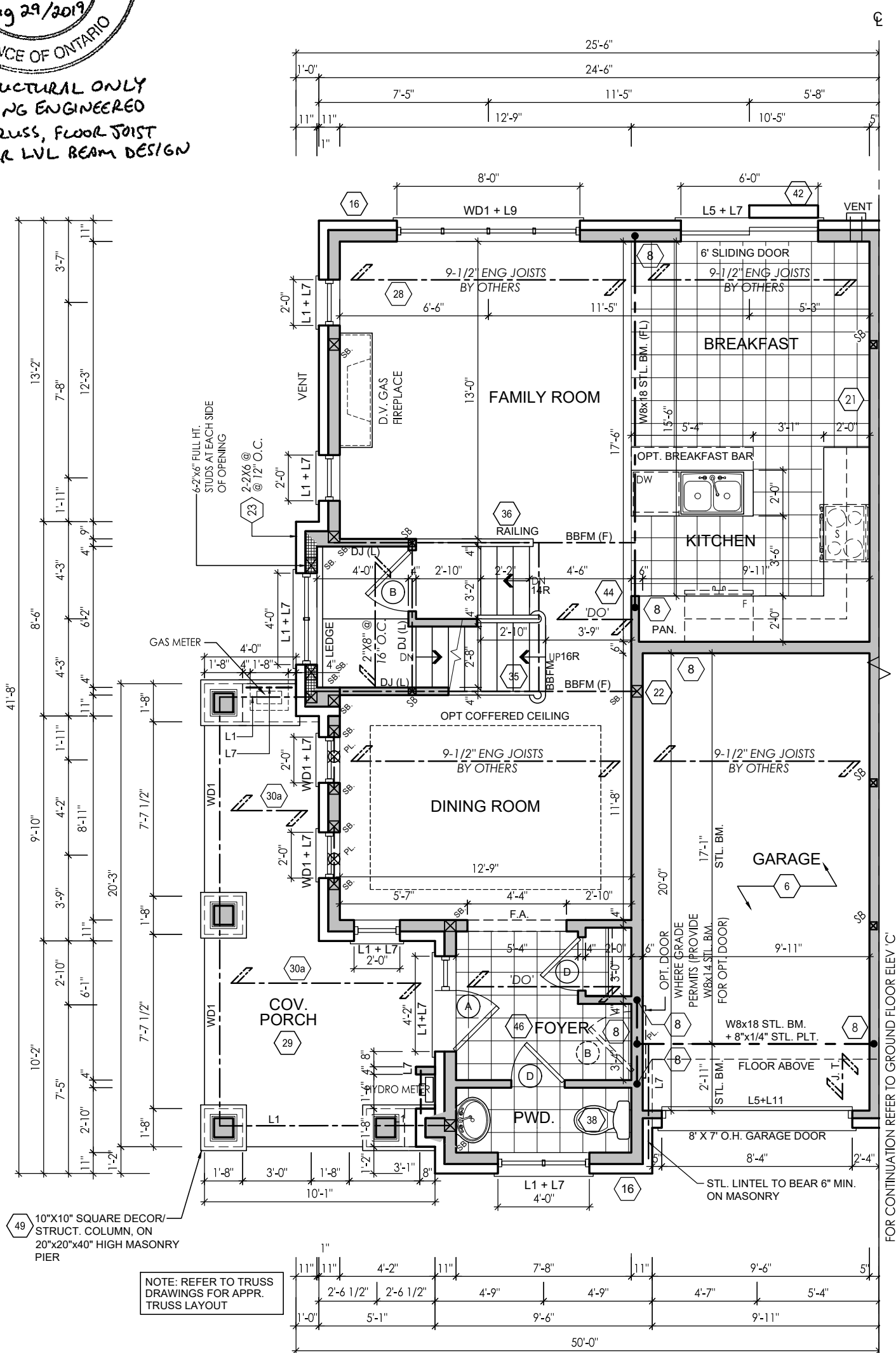


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ROOF TRUSS, FLOOR JOIST
AND FLOOR LVL BEAM DESIGN



BASEMENT FLOOR ELEVATION 'C'
CORNER UPGRADE

NOTE: ALL WINDOW
LINTELS IN BASEMENT TO
HAVE MIN. 3\"/>



GROUND FLOOR ELEVATION 'C'
CORNER UPGRADE

NOTE: REFER TO TRUSS
DRAWINGS FOR APPR.
TRUSS LAYOUT

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SD-2
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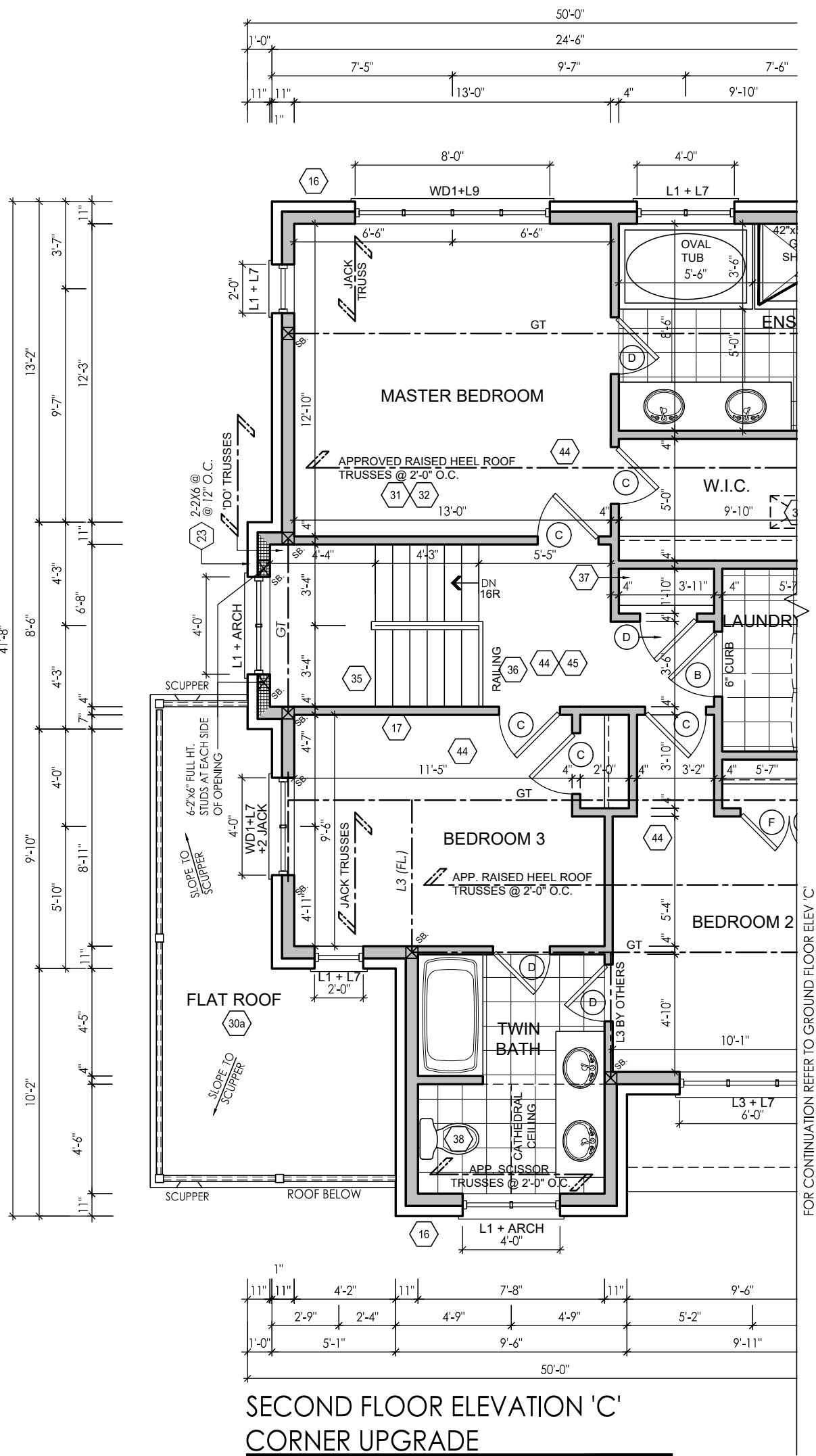
13098

scale

3/16" = 1'0"

lot(s)

A11





I, JORGE MORENO DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF **RN DESIGN LTD** UNDER DIVISION C, PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 47245
FIRM BCIN: 26995
DATE:

SIGNATURE:

J. Moreno

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	1-JUN-17	mm	jm
2	REVISED PER FLOOR/TRUSS COORD	31-AUG-17	MM	JM
3	ISSUED FOR PERMIT	4-OCT-17	PV	JM
4	REVISED PER ENG. COMMENTS. ISSUED FOR PERMIT PH 2.	28-AUG-19	LO	JM
5				
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11				
12				

client

Gold Park
Homes

project

Mclaughlin and
Mayfield

model

SD-2

Brampton

project #

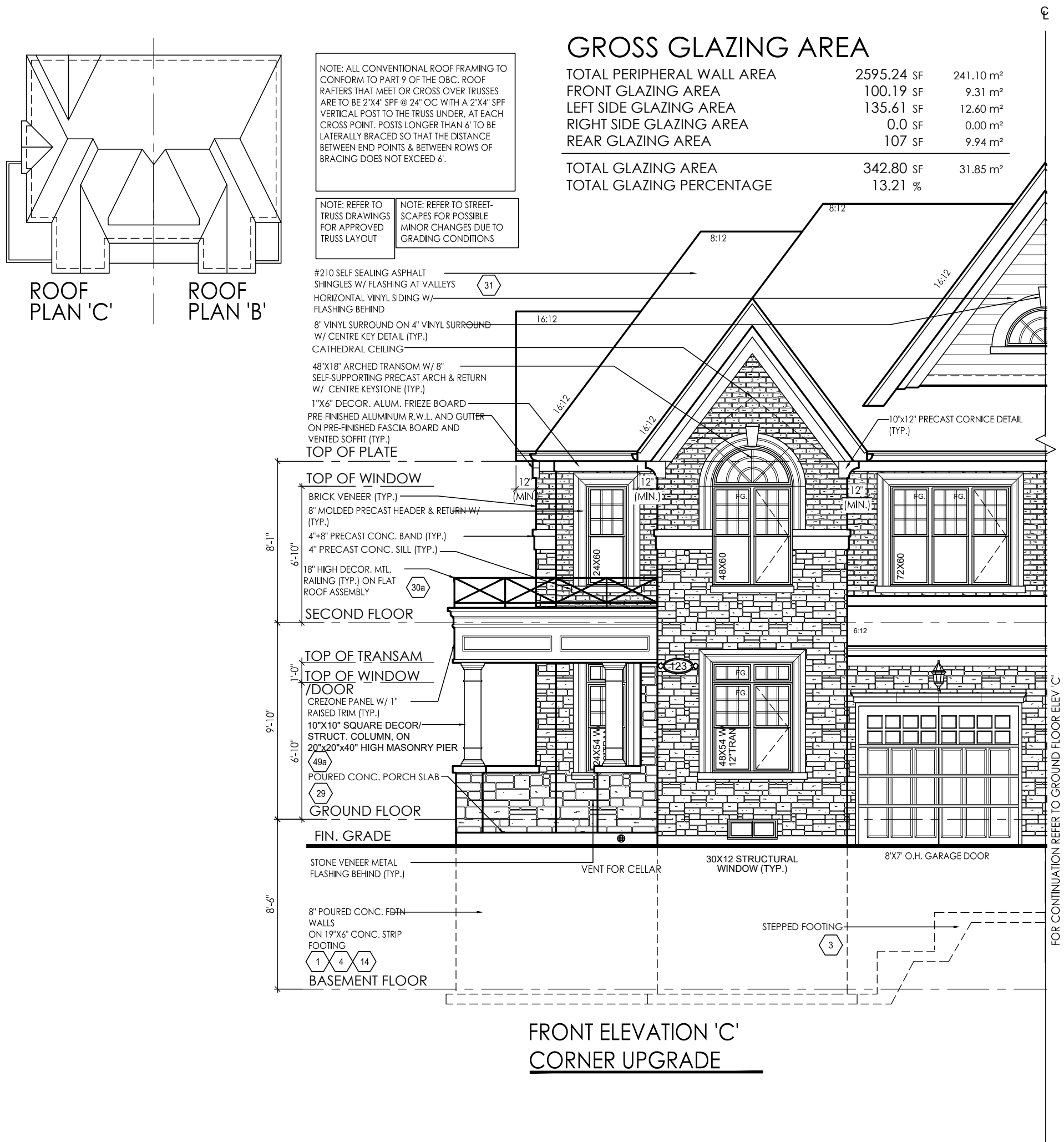
13098

scale

3/16" = 1'0"

lot(s)

A12

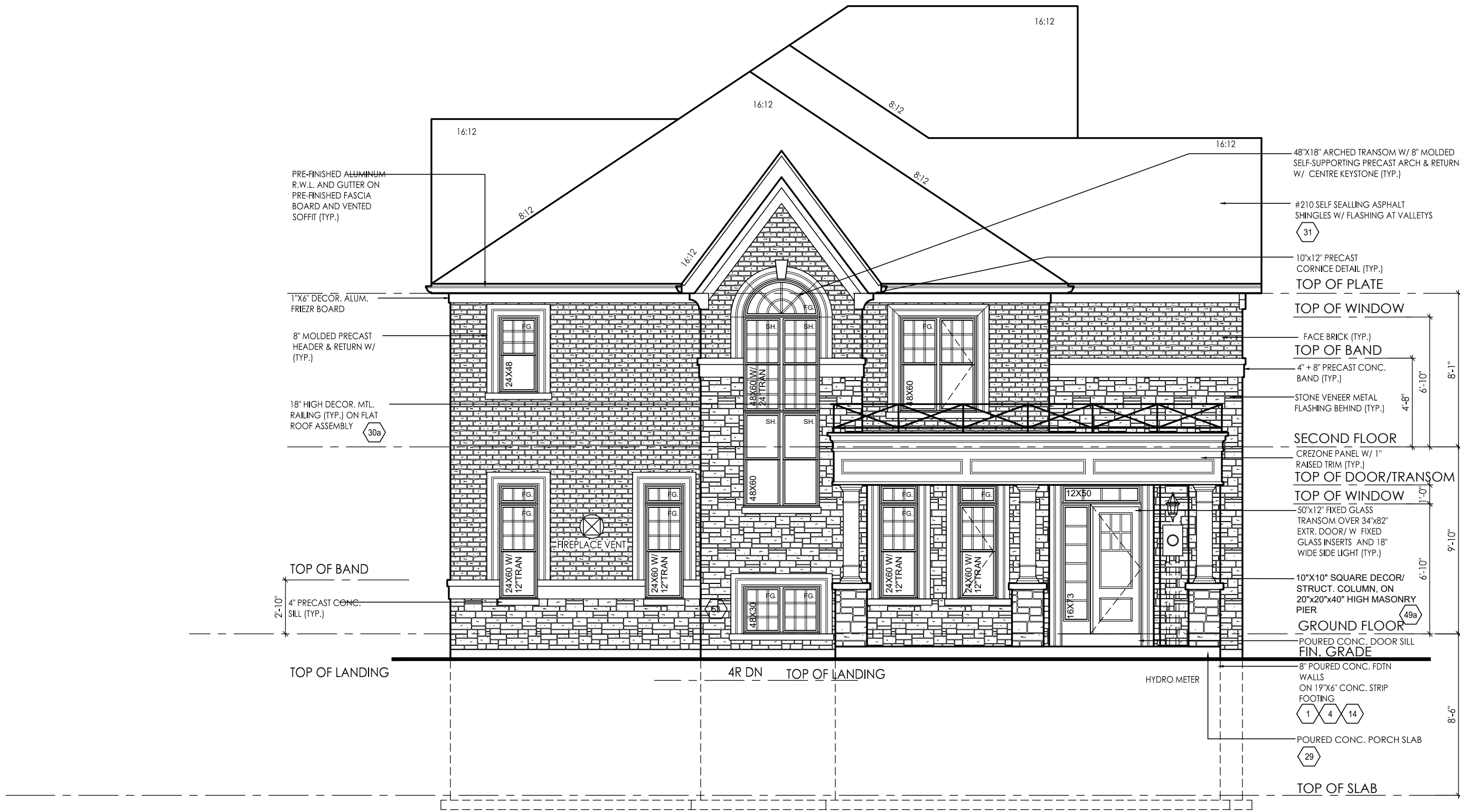




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DATE: _____

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LEFT ELEVATION 'C'
CORNER UPGRADE

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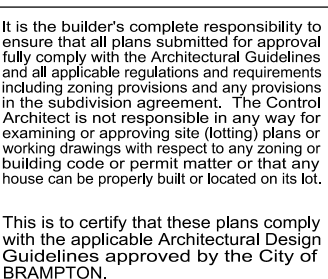
#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	1-JUN-17	mm	jm
2	REVISED PER FLOOR/TRUSS COORD	31-AUG-17	MM	JM
3	ISSUED FOR PERMIT	4-OCT-17	PV	JM
4	REVISED PER ENG. COMMENTS, ISSUED FOR PERMIT PH 2	28-AUG-19	LO	JM
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12				

client	Gold Park Homes
project	Mclaughlin and Mayfield
model	SD-2 Brampton
project #	13098
scale	3/16" = 1'0"
lot(s)	

SIGNATURE: _____

245
995

47
28
- 144



#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	1-jun-17	nm	JM
2	REVISED PER FLOOR/TRUSS COORD	31-aug-17	MM	JM
3	ISSUED FOR PERMIT	4-oct-17	PV	JM
4	REVISED PER ENG. COMMENTS, ISSUED FOR PERMIT PV 2	28-aug-19	LO	JM
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client

project

model

project #

scale

lot(s)

A14

I, JORGE MORENO DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD UNDER DIVISION C, PART 3 SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 47245
FIRM BCIN: 26995
DATE:

SIGNATURE:

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#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	6/28/2017	MM	JM
2	REVISED PER FLOOR/TRUSS COORD	31-AUG-17	MM	JM
3	REVISED PER ENG. COMMENTS	26-SEPT-17	PV	DJH
3	ISSUED FOR PERMIT	4-OCT-17	PV	JM
4	REVISED PER ENG. COMMENTS, ISSUED FOR PERMIT PH 2	28-AUG-19	LO	JM
6				
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client

Gold Park
Homes

project

Mclaughlin and
Mayfield

model

SD-2
Brampton

project #

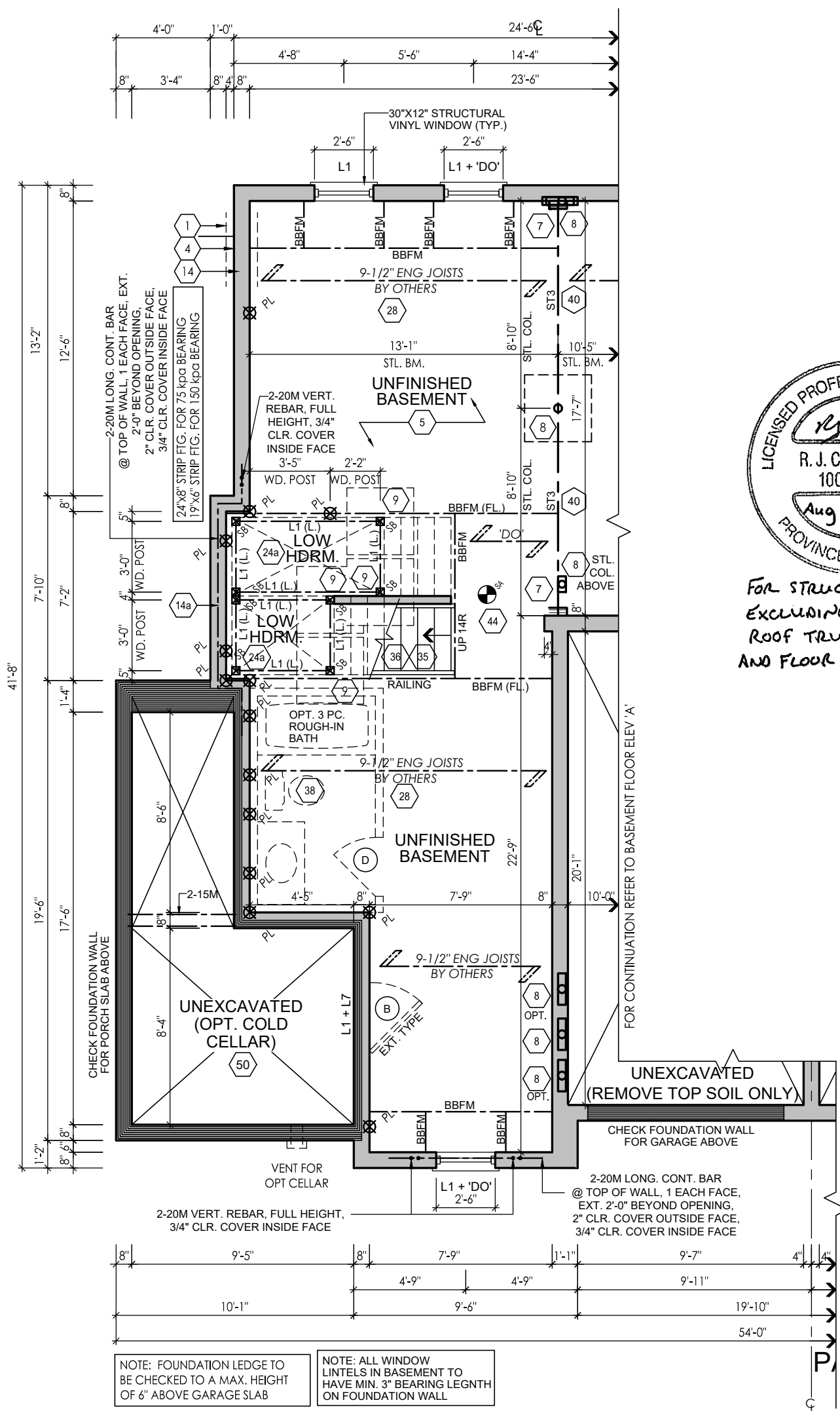
13098

scale

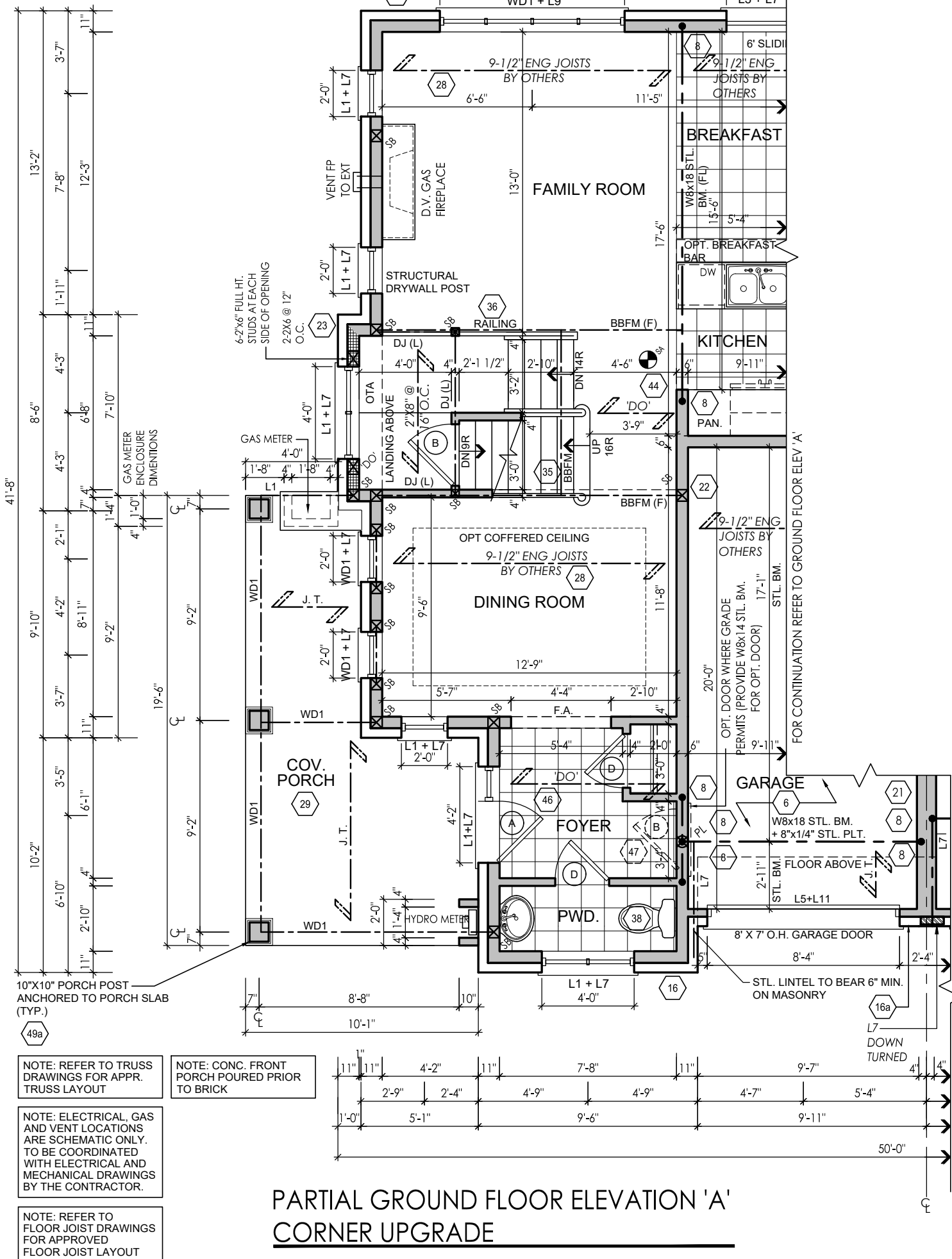
3/16" = 1'0"

lot(s)

A15



FOR STRUCTURAL ONLY
EXCLUDING ENGINEERED
ROOF TRUSS, FLOOR JOIST
AND FLOOR LVL BEAM DESIGN



NOTE: REFER TO TRUSS
DRAWINGS FOR APPR.
TRUSS LAYOUT

NOTE: CONC. FRONT
PORCH POURED PRIOR
TO BRICK

NOTE: ELECTRICAL, GAS
AND VENT LOCATIONS
ARE SCHEMATIC ONLY.
TO BE COORDINATED
WITH ELECTRICAL AND
MECHANICAL DRAWINGS
BY THE CONTRACTOR.

NOTE: REFER TO
FLOOR JOIST DRAWINGS
FOR APPROVED
FLOOR JOIST LAYOUT

I, JORGE MORENO DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD UNDER DIVISION C, PART-3 SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 47245
FIRM BCIN: 26995
DATE: _____

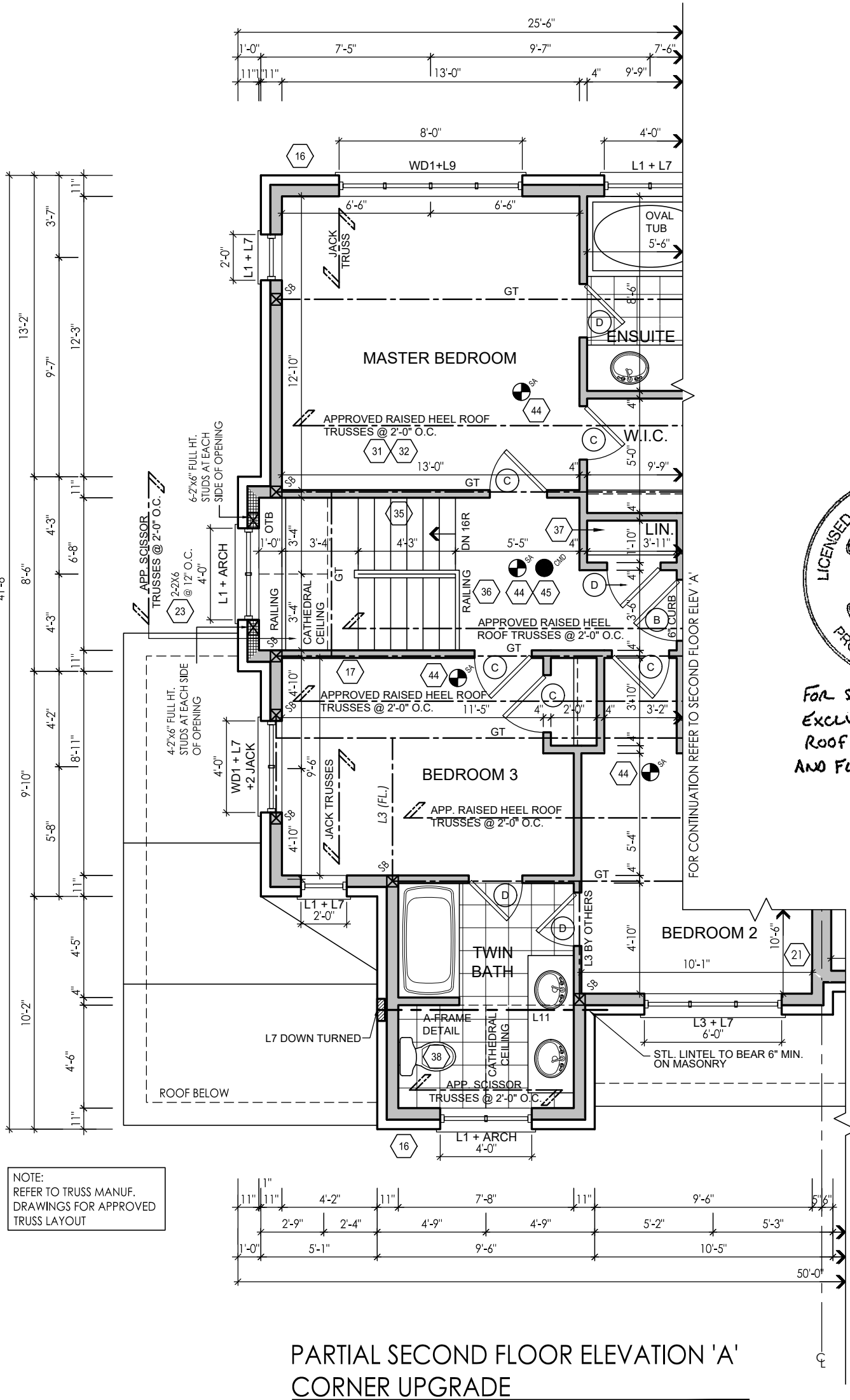
SIGNATURE: _____

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1	ISSUED FOR CLIENT REVIEW	6/28/2017	MM	JM
2	REVISED PER FLOOR/TRUSS COORD	31-AUG-17	MM	JM
3	REVISED PER ENG. COMMENTS	26-SEPT-17	PV	DJH
4	ISSUED FOR PERMIT	4-OCT-17	PV	JM
5	REVISED PER TRUSS COORDINATION	12-oct-17	LO	JM
6	REVISED PER ENG. COMMENTS, ISSUED FOR PERMIT PH 2	28-AUG-19	LO	JM
7				
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10				
11				
12				

client	Gold Park Homes
project	Mclaughlin and Mayfield
model	SD-2 Brampton
project #	13098
scale	3/16" = 1'0"
lot(s)	



GROSS GLAZING AREA

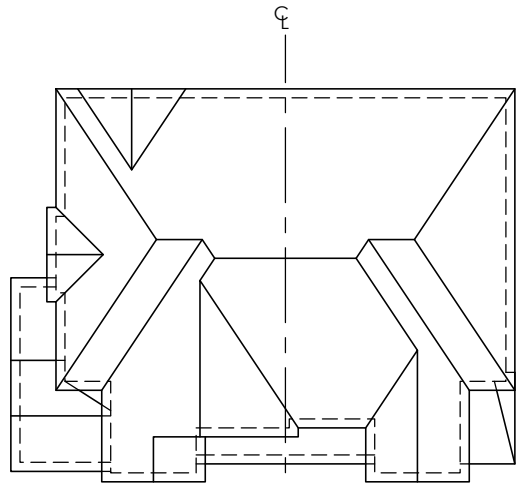
TOTAL PERIPHERAL WALL AREA	2595.32 SF	241.11 m²
FRONT GLAZING AREA	91.55 SF	8.50 m²
LEFT SIDE GLAZING AREA	144.04 SF	13.38 m²
RIGHT SIDE GLAZING AREA	0.0 SF	0.00 m²
REAR GLAZING AREA	143.89 SF	13.37 m²
TOTAL GLAZING AREA	379.48 SF	35.25 m²
TOTAL GLAZING PERCENTAGE	14.62 %	



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QUALIFIED DESIGNER BCIN: 47245
FIRM BCIN: 26995
DATE:

SIGNATURE: *J. Moreno*



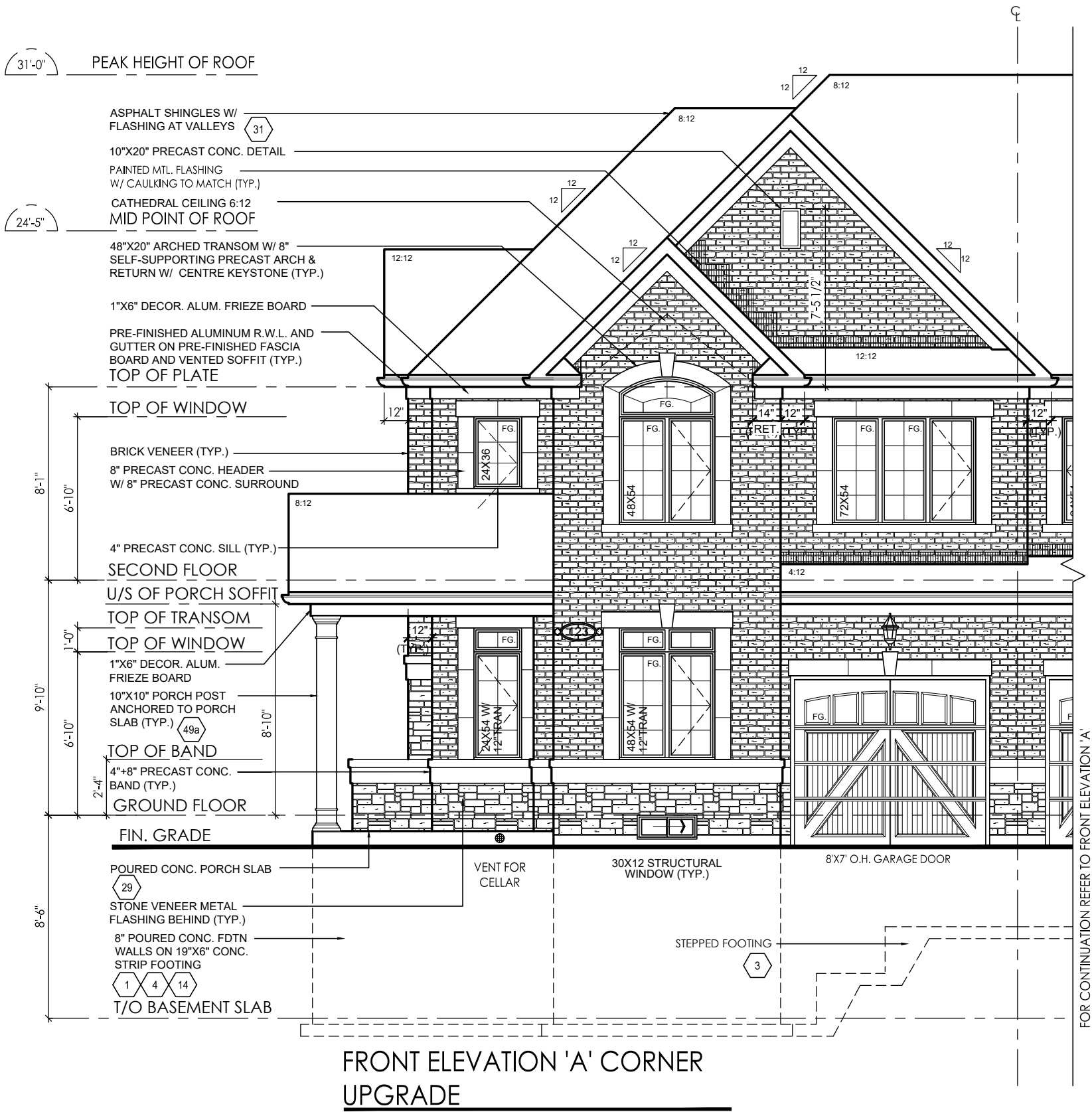
NOTE: ALL CONVENTIONAL ROOF FRAMING TO CONFORM TO PART 7 OF THE OBC. ROOF RAFTERS THAT MEET OR CROSS OVER TRUSSES ARE TO BE 2"x4" SPF @ 24" OC WITH A 2"x4" SPF VERTICAL POST TO THE TRUSS UNDER, AT EACH CROSS POINT. POSTS LONGER THAN 6' TO BE Laterally Braced so that the distance BETWEEN END POINTS & BETWEEN ROWS OF BRACING DOES NOT EXCEED 6'.

NOTE: REFER TO TRUSS DRAWINGS FOR APPROVED TRUSS LAYOUT

NOTE: REFER TO STREET-SCAPES FOR POSSIBLE MINOR CHANGES DUE TO GRADING CONDITIONS

ROOF PLAN 'A'
LOT 61L

ROOF PLAN 'B'



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1	ISSUED FOR CLIENT REVIEW	6/28/2017	MM	JM
2	REVISED PER FLOOR/TRUSS COORD	31-AUG-17	MM	JM
3	ISSUED FOR PERMIT	4-OCT-17	PV	JM
4	REVISED GROUND FLOOR FRONT WINDOWS AS PER CLIENT REQUEST	2-Jan-18	HZ	DJH
5	REVISED PER ENG. COMMENTS. ISSUED FOR PERMIT PH 2	28-AUG-19	LO	JM
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client	Gold Park Homes
project	Mclaughlin and Mayfield
model	SD-2 Brampton
project #	13098
scale	3/16" = 1'0"
lot(s)	

SIGNATURE: _____

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client

project

model

project #

scale

 $\log(s)$

A18





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FIRM BCIN: 26995
DATE:

SIGNATURE:

J. WY



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3	ISSUED FOR PERMIT	4-OCT-17	PV	JM
4	REVISED GROUND FLOOR FRONT WINDOWS AS PER CLIENT REQUEST	2-Jan-18	HZ	DJH
5	REVISED PER ENG. COMMENTS. ISSUED FOR PERMIT PH 2	28-AUG-19	LO	JM
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client

Gold Park
Homes

project

Mclaughlin and
Mayfield

model

SD-2

Brampton

project #

13098

scale

3/16" = 1'0"

lot(s)

A19

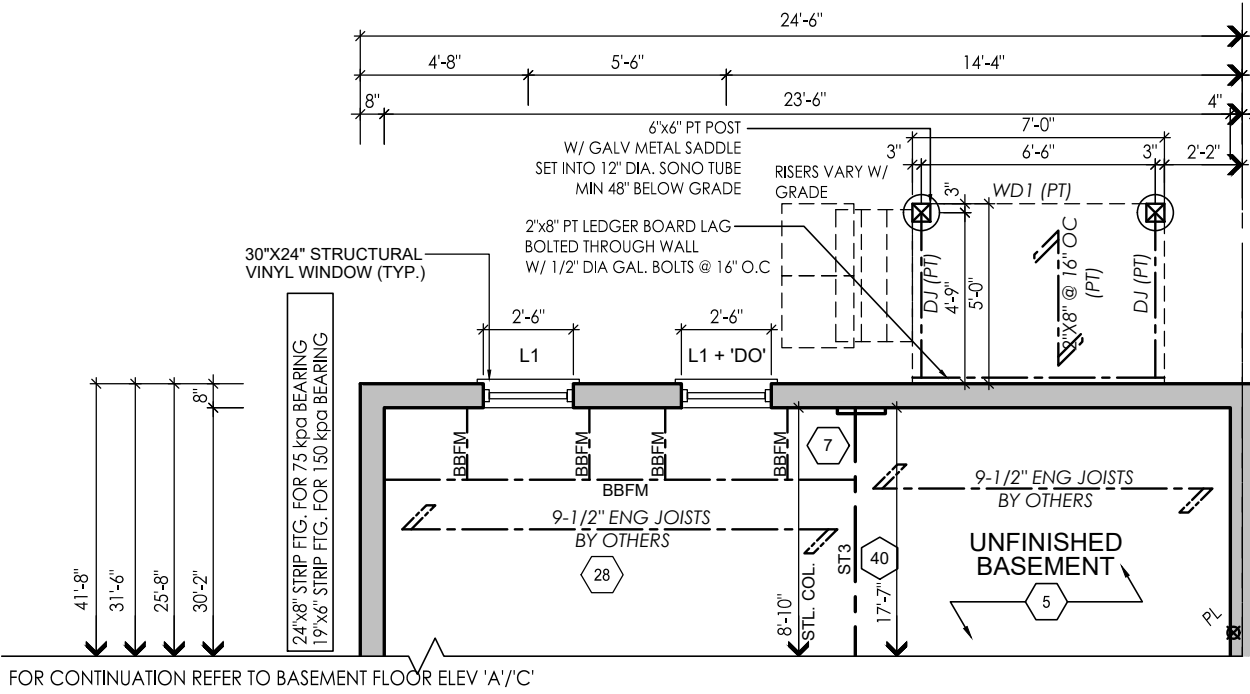


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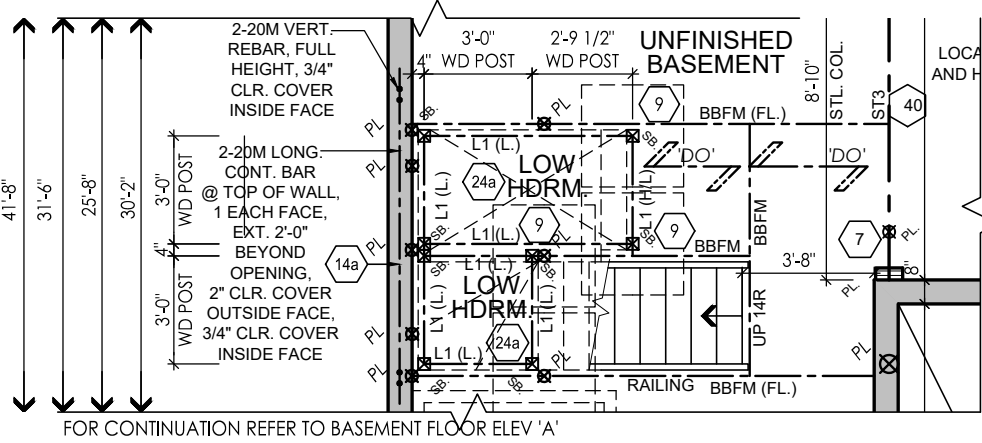
QUALIFIED DESIGNER BCIN: 47245
FIRM BCIN: 26995
DATE: _____

SIGNATURE: _____

PARTIAL BASEMENT FLOOR PLAN ELEV. 'A', 'B' & 'C' W/ WOD CONDITION

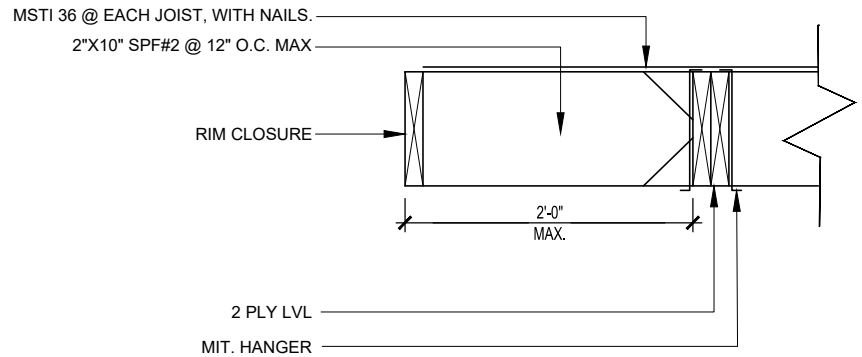


FOR CONTINUATION REFER TO BASEMENT FLOOR ELEV 'A'

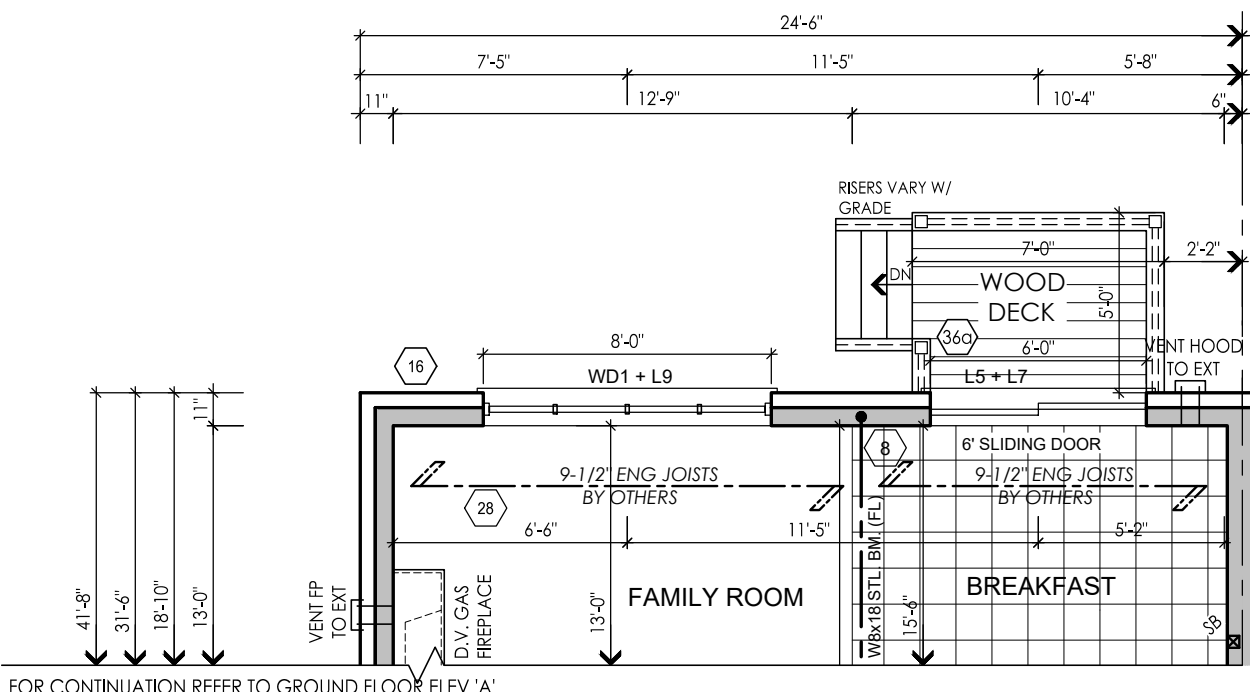


PARTIAL BASEMENT FLOOR PLAN W/SIDE DOOR ELEV. 'A' & 'C'

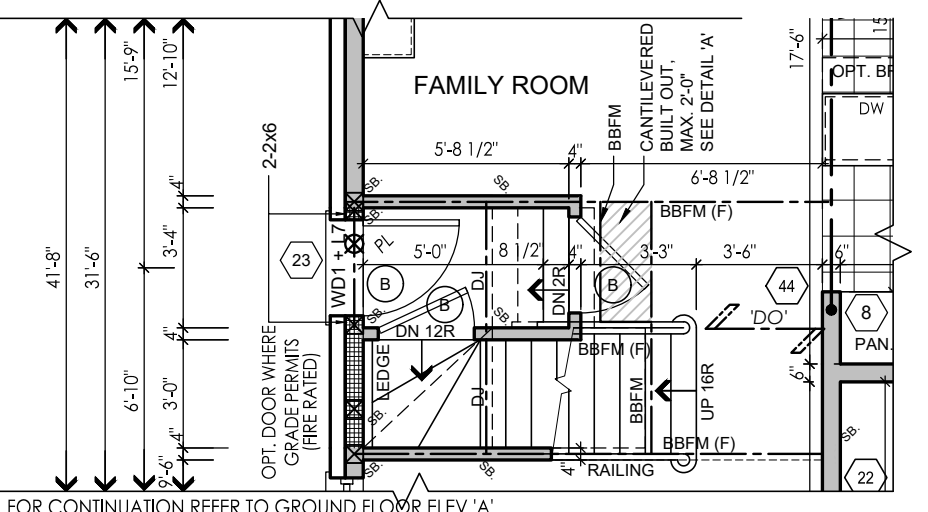
DETAIL 'A'



PARTIAL GROUND FLOOR PLAN ELEV. 'A', 'B' & 'C' W/ WOD CONDITION

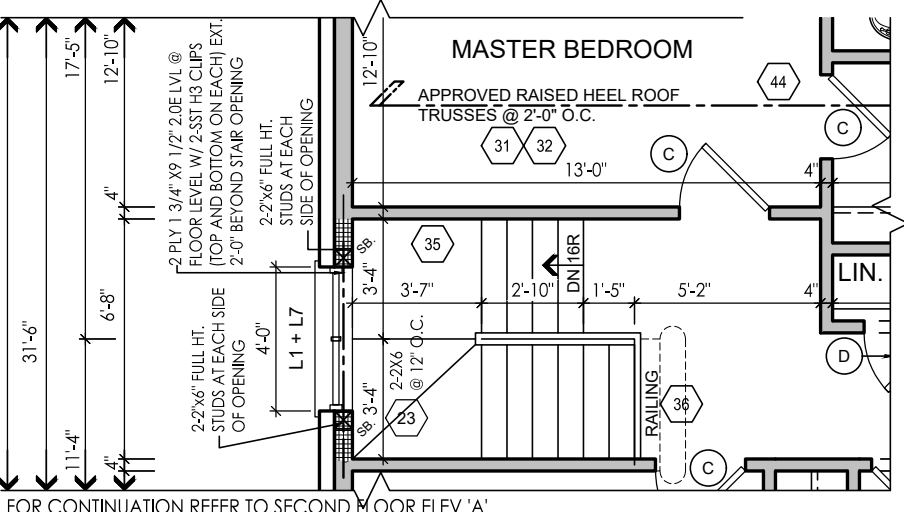


FOR CONTINUATION REFER TO GROUND FLOOR ELEV 'A'



PARTIAL GROUND FLOOR PLAN W/SIDE DOOR ELEV. 'A' & 'C'

FOR CONTINUATION REFER TO SECOND FLOOR ELEV 'A'



PARTIAL SECOND FLOOR PLAN W/SIDE DOOR ELEV. 'A' & 'C'

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#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	15-Aug-17	LO	JM
2	ISSUED FOR PERMIT	2017-08-25	MM	JM
3	REVISED PER ENG. COMMENTS, ISSUED FOR PERMIT PH 2	28-AUG-19	LO	JM
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12				

client

Gold Park
Homes

project

Mclaughlin and
Mayfield

model

SD-2

Brampton

project #

13098

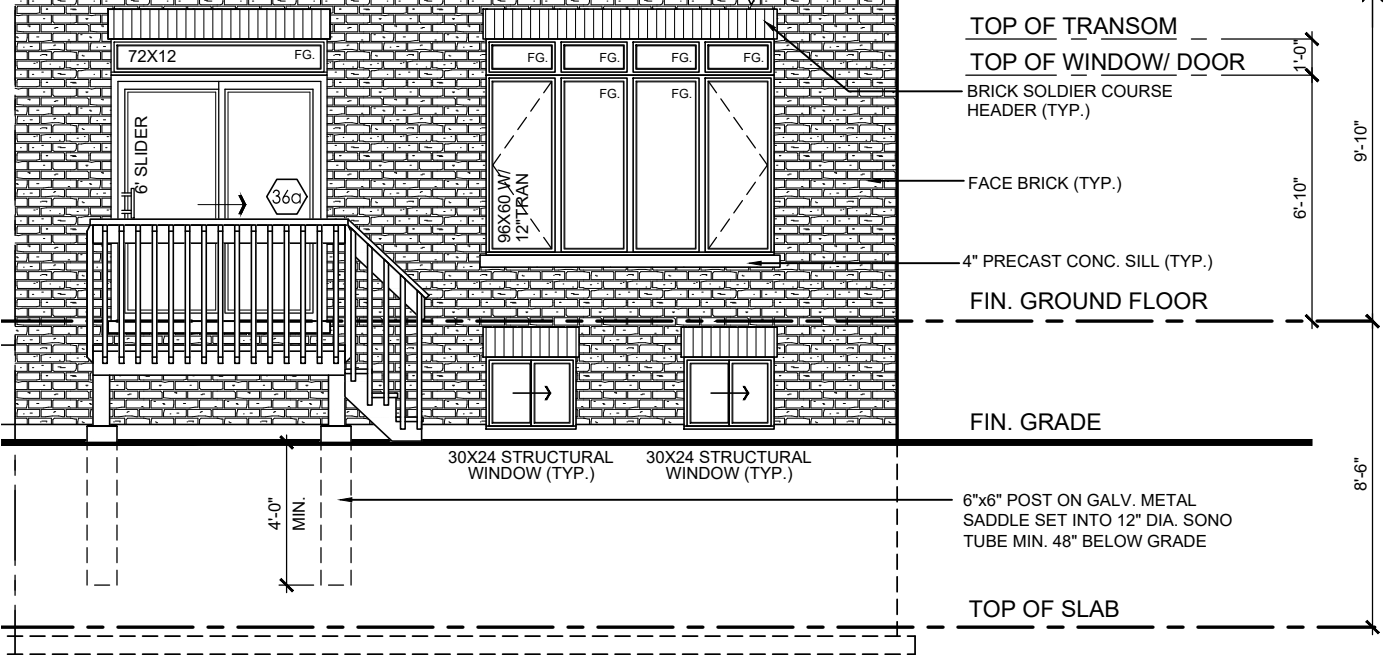
scale

3/16" = 1'0"

lot(s)

A20

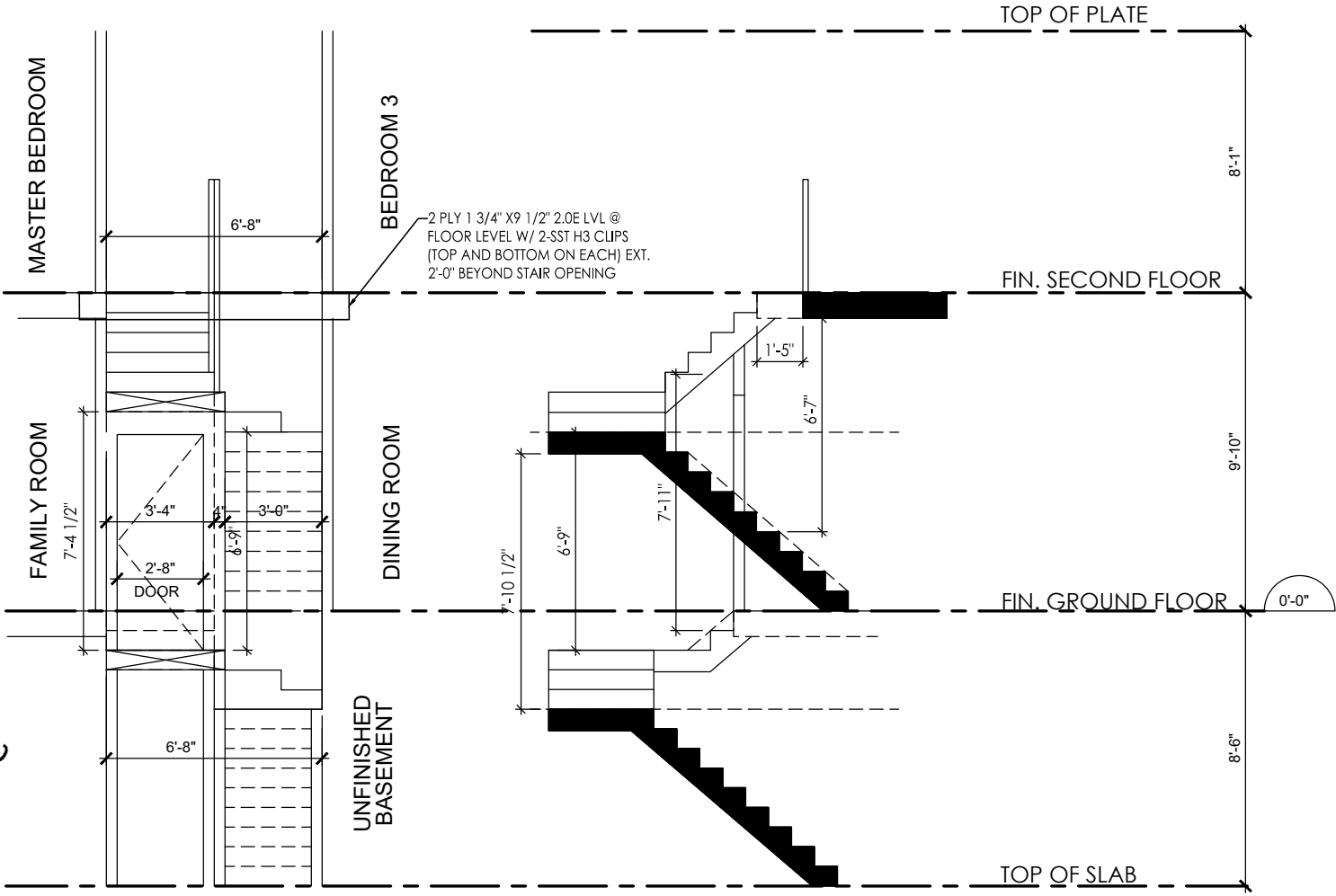
FOR CONTINUATION REFER TO BASEMENT FLOOR ELEV 'A'/'C'



PARTIAL REAR ELEV. 'A', 'B' & 'C' W/ WOD CONDITION



FOR STRUCTURAL ONLY
EXCLUDING ENGINEERED
ROOF TRUSS, FLOOR JOIST
AND FLOOR LVL BEAM DESIGN



STAIR SECTIONS