

SIGNATURE: _____

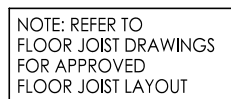
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client

model

lot(s)

A1



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QUALIFIED DESIGNER BCIN: 47245
FIRM BCIN: 26995
DATE: *J. Moreno*

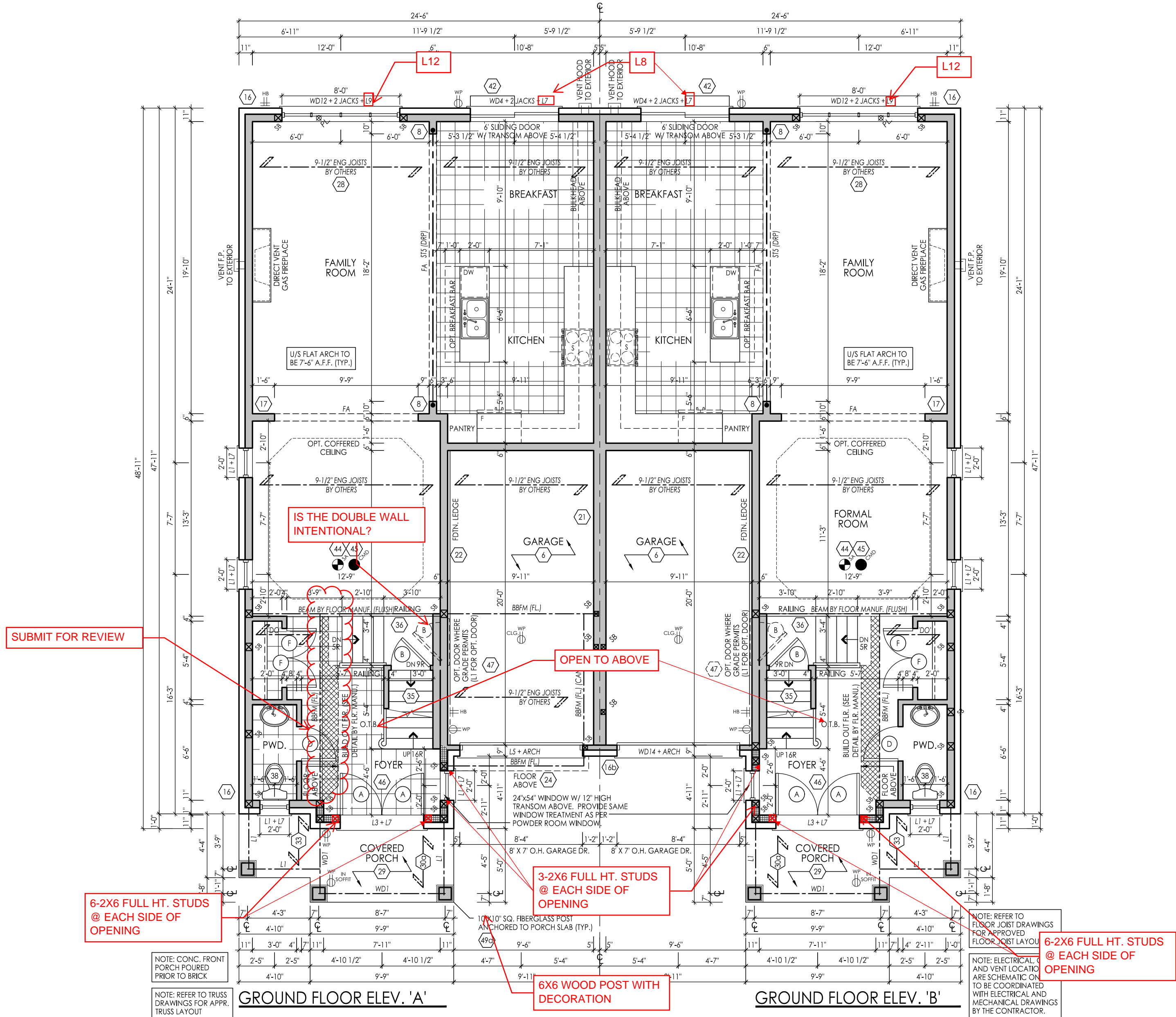
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#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	04/07/2014	kk	cr
2	REVISED AS PER ARCH. CONTROL COMMENTS.	13/08/2014	ppa	djh
3	REVISED AS PER FLOOR COORDINATION.	18-Aug-14	ppa	djh
4	REVISED AS PER ENGINEERING COMM.	29-May-15	RPA	DJH
5	ISSUED FOR PERMIT	16/06/2015	RPA	DJH
6	REVISED PER 2017 OBC ENACTMENT	23-Mar-17	mmm	jm
7	REVISED AS PER FLOOR COORDINATION & ISSUED FOR PERMIT	AUG-10-17	PV	JM
8	CHANGE PARTY WALLS TO DBL STUD	4-JUNE-19	JM	JM
9				
10				
11				
12				

client	Gold Park Homes
project	Mclaughlin and Mayfield
model	SD-7 Brampton
project #	13098
scale	3/16" = 1'0"
lot(s)	





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3	REVISED AS PER ROOF COORD.	17-Aug-14	rpa	djh
4	REVISED AS PER ENGINEERING COMM.	29-May-15	RPA	DJH
5	ISSUED FOR PERMIT	16/06/2015	RPA	DJH
6	REVISED PER 2017 OBC ENACTMENT	23-Mar-17	mmm	jm
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8	CHANGE PARTY WALLS TO DBL STUD	4-JUNE-19	JM	JM
9				
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11				
12				

client

Gold Park
Homes

project

McLaughlin and
Mayfield

model

SD-7
Brampton

project #

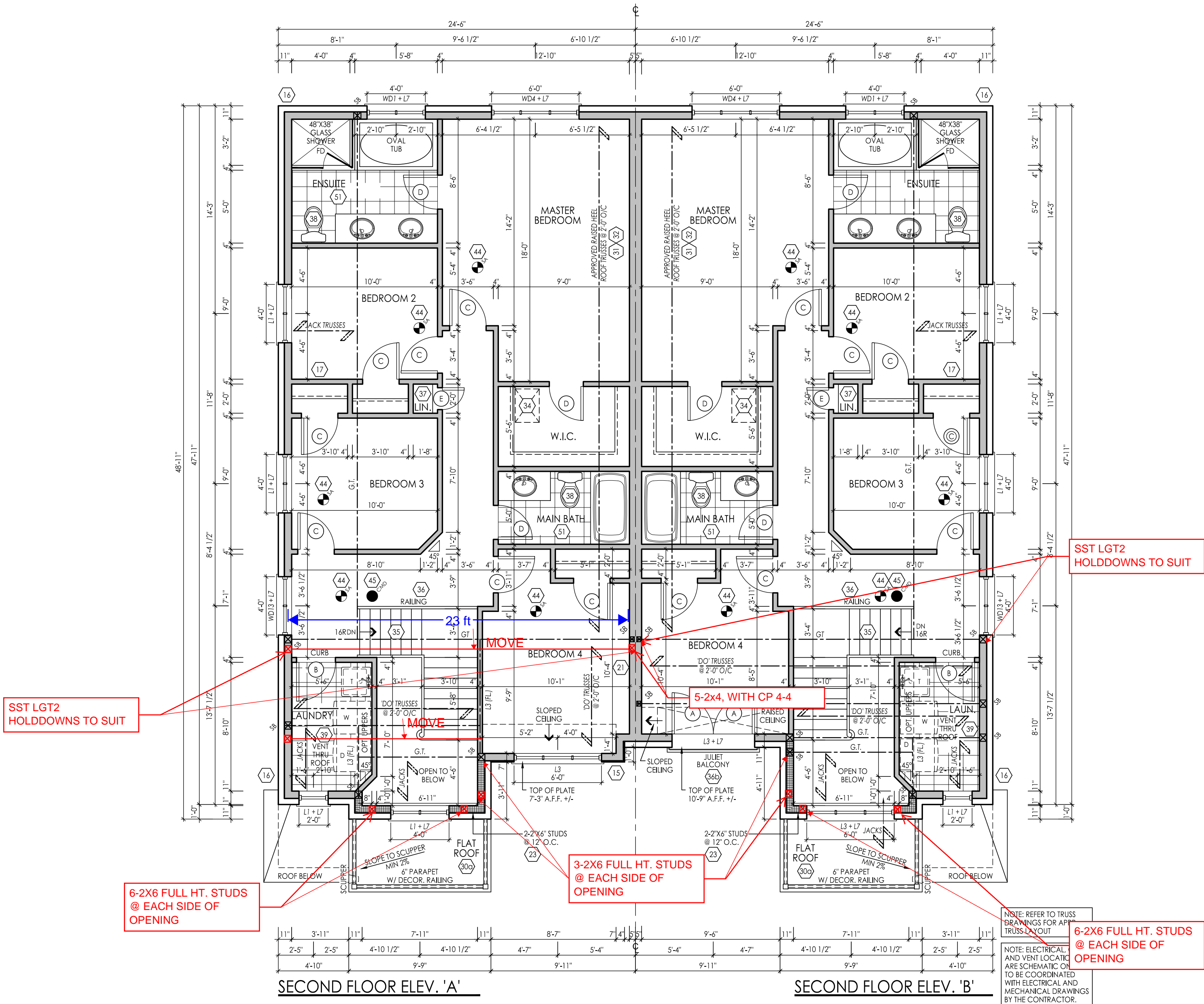
13098

scale

3/16" = 1'0"

lot(s)

A3





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10				
11				
12				

client

Gold Park
Homes

project

McLaughlin and
Mayfield

model

SD-7
Brampton

project #

13098

scale

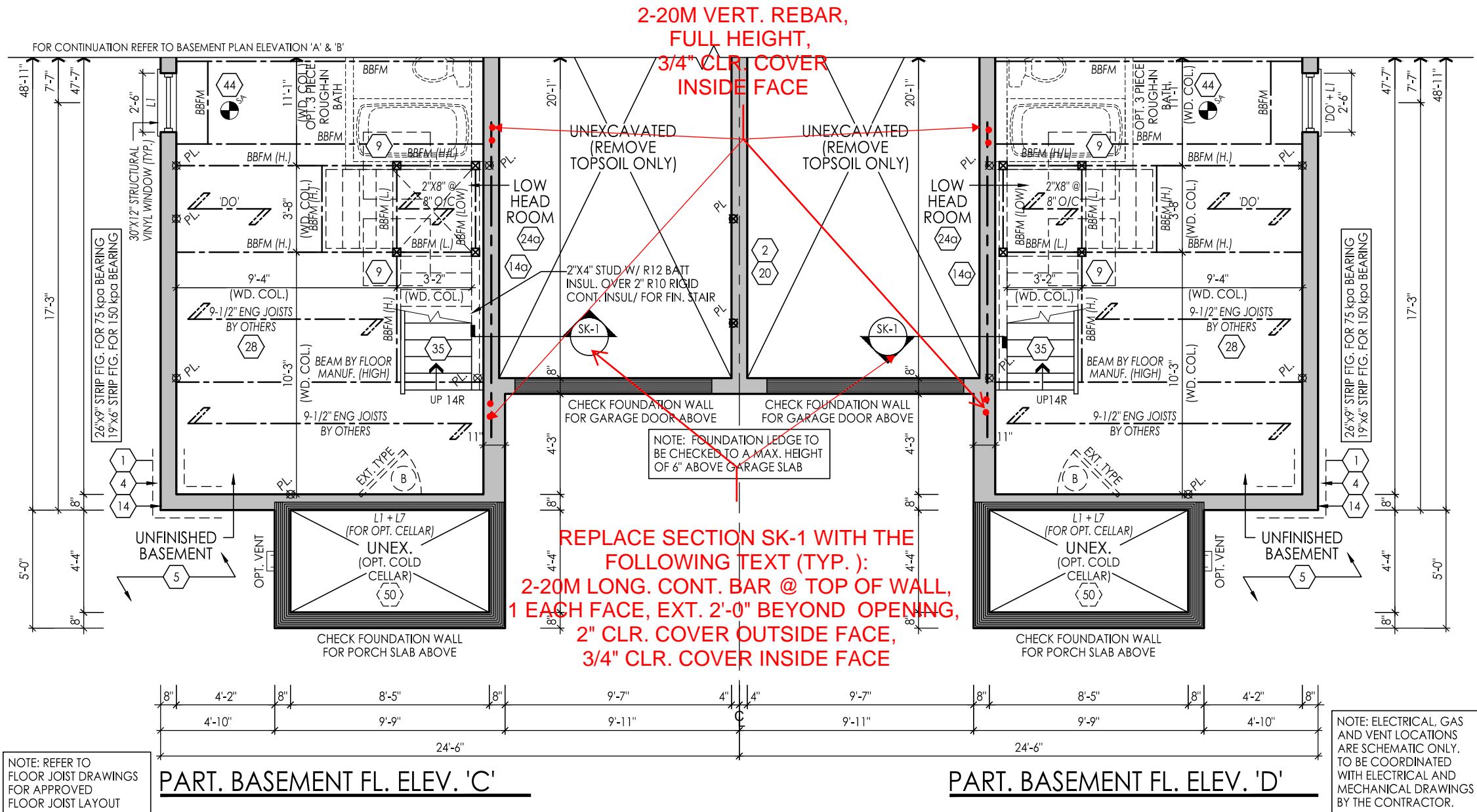
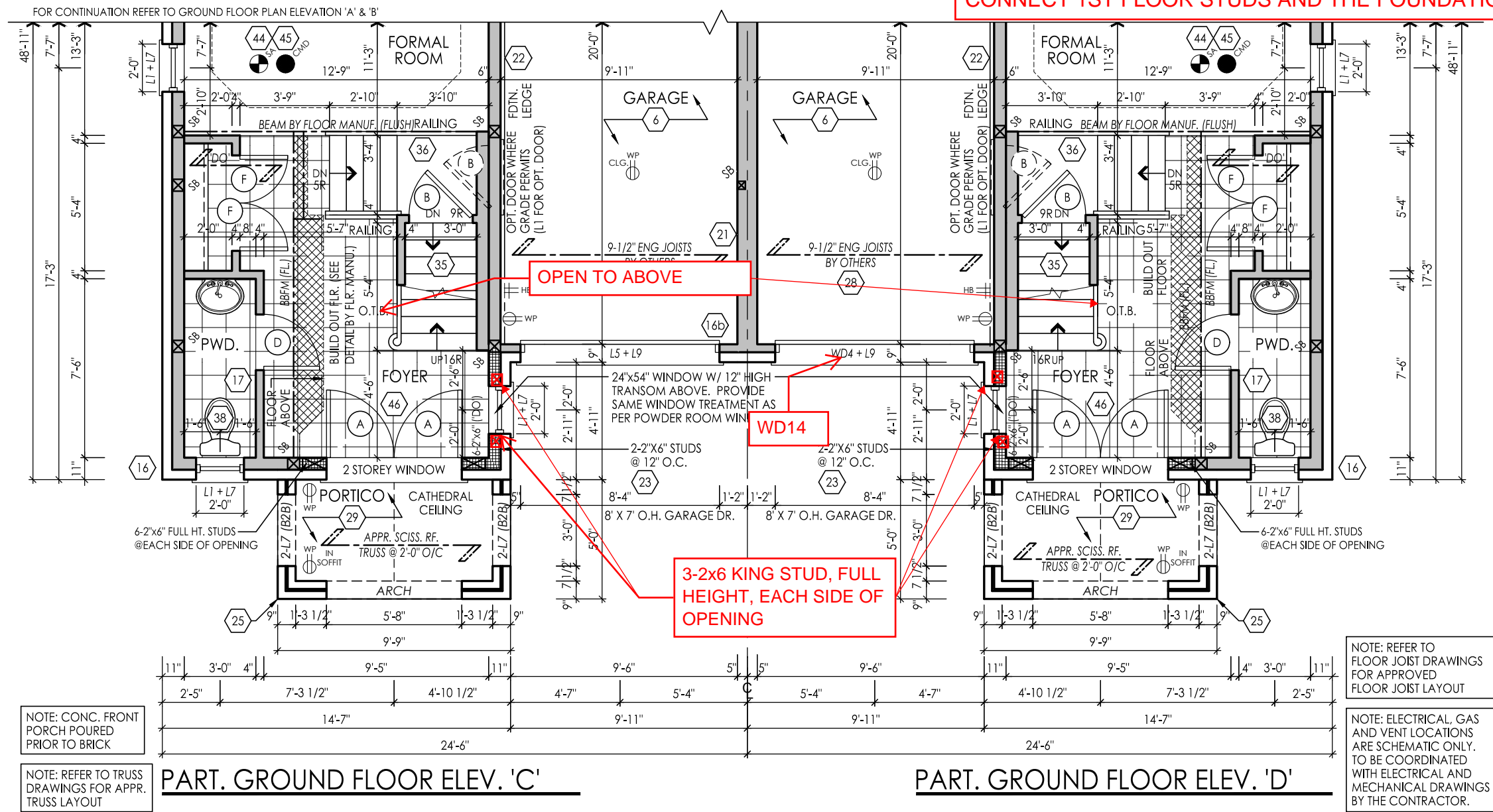
3/16" = 1'0"

lot(s)

A4

FOR ELEV. D ONLY:

- FOR TRUSSES EXCEEDING 40'-0", PROVIDE SST H2.5A EACH END PER ROOF MANU.
- WHERE LINTELS SUPPORT TRUSSES WITH LENGTH EXCEEDING 40'-0", PROVIDE SST. 2-LSTA36 EACH END.
- WHERE STUD WALL SUPPORTS TRUSSES WITH LENGTH EXCEEDING 40'-0", CONNECT 2ND AND 1ST FLOOR STUDS W/ LSTA36 @ 4'-0"
- WHERE STUD WALL SUPPORTS TRUSSES WITH LENGTH EXCEEDING 40'-0", CONNECT 1ST FLOOR STUDS AND THE FOUNDATION WALL W/ MSTA36 @ 4'-0"



ALL WINDOW LINTELS IN BASEMENT TO HAVE MIN. 3" BEARING LEGNTH ON FOUNDATION WALL

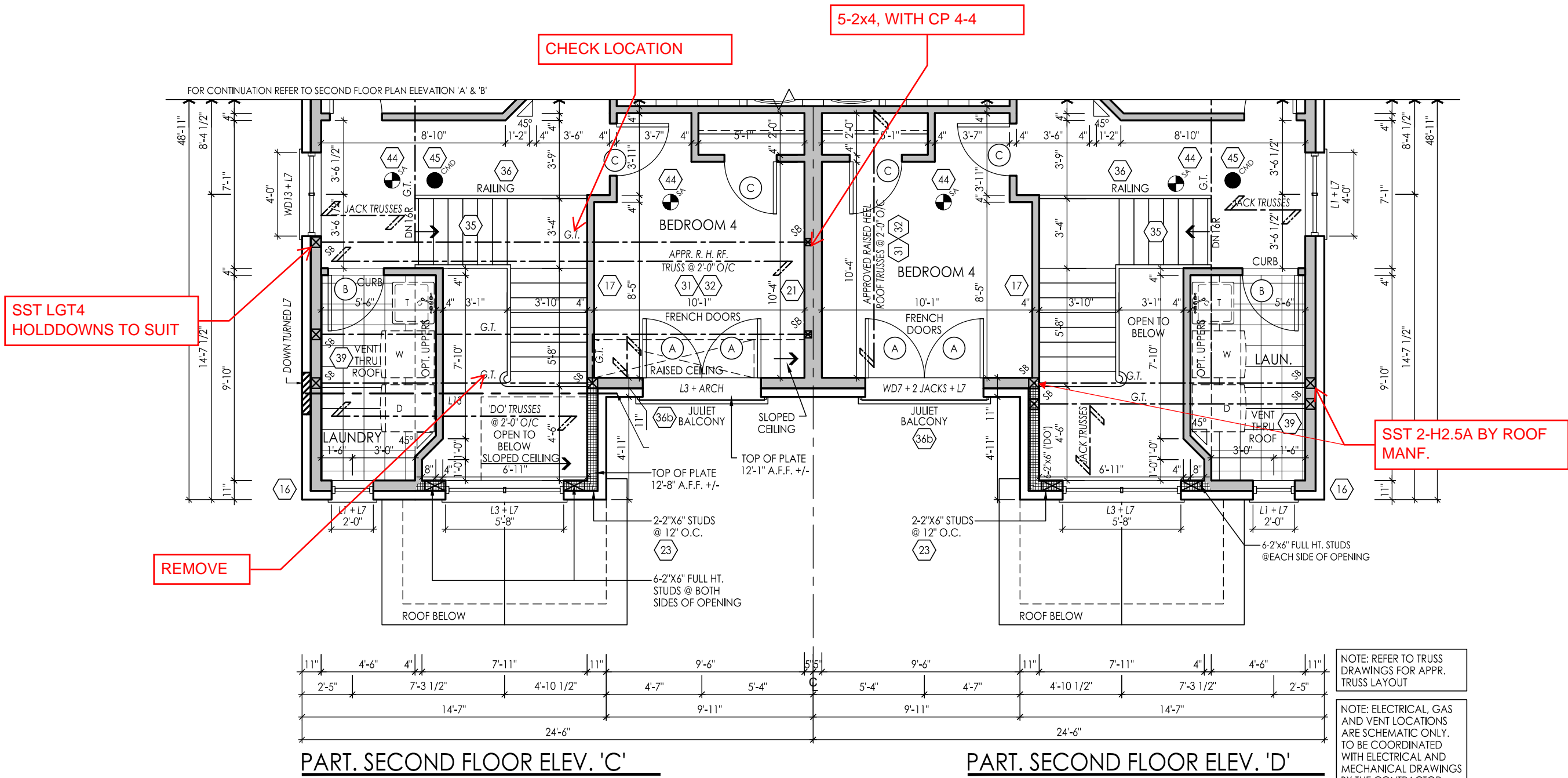


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3	REVISED AS PER PLR./ROOF COORD.	18-Aug-14	rpa	djh
4	ADDED SLOPED CEILING OVER 'C' FOYER	SEPT. 03/14	djh	djh
5	REVISED AS PER ENGINEERING COMM.	29-May-15	RPA	DJH
6	ISSUED FOR PERMIT	16/06/2015	RPA	DJH
7	REVISED PER 2017 OMC ENACTMENT.	23-Mar-17	mmn	jm
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client

Gold Park
Homes

project

Mclaughlin and
Mayfield

model

SD-7
Brampton

project #

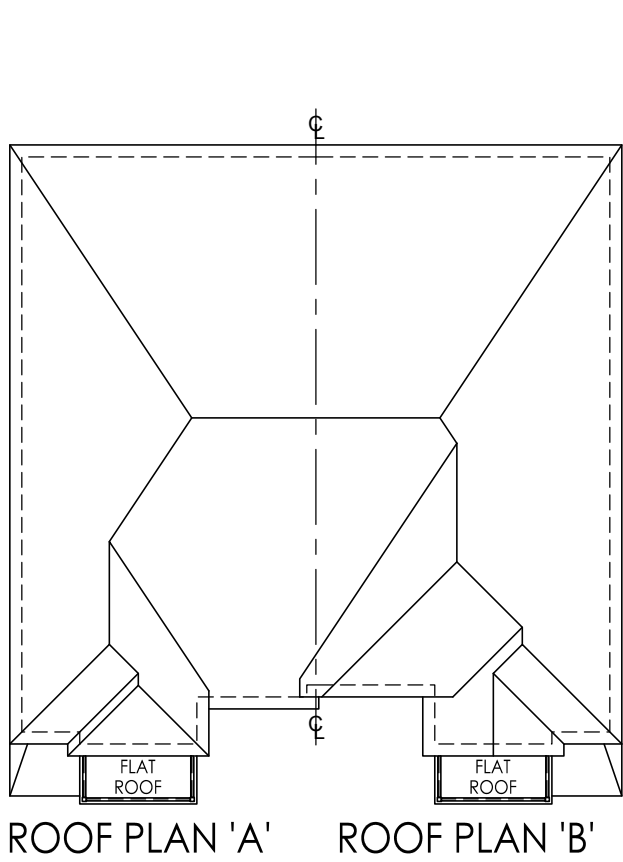
13098

scale

3/16" = 1'0"

lot(s)

A5



NOTE: ALL CONVENTIONAL ROOF FRAMING TO CONFORM TO PART 9 OF THE OBC. ROOF RAFTERS THAT MEET OR CROSS OVER TRUSSES ARE TO BE 2"x4" SPF @ 24" O.C. WITH A 2"x4" SPF VERTICAL POST TO THE TRUSS UNDER. AT EACH CROSS POINT, POSTS LONGER THAN 6' TO BE Laterally BRACED SO THAT THE DISTANCE BETWEEN END POINTS & BETWEEN ROWS OF BRACING DOES NOT EXCEED 6'.

NOTE: REFER TO TRUSS DRAWINGS FOR APPROVED TRUSS LAYOUT

NOTE: REFER TO STREET-SCAPES FOR POSSIBLE MINOR CHANGES DUE TO GRADING CONDITIONS



FRONT ELEVATION 'A'

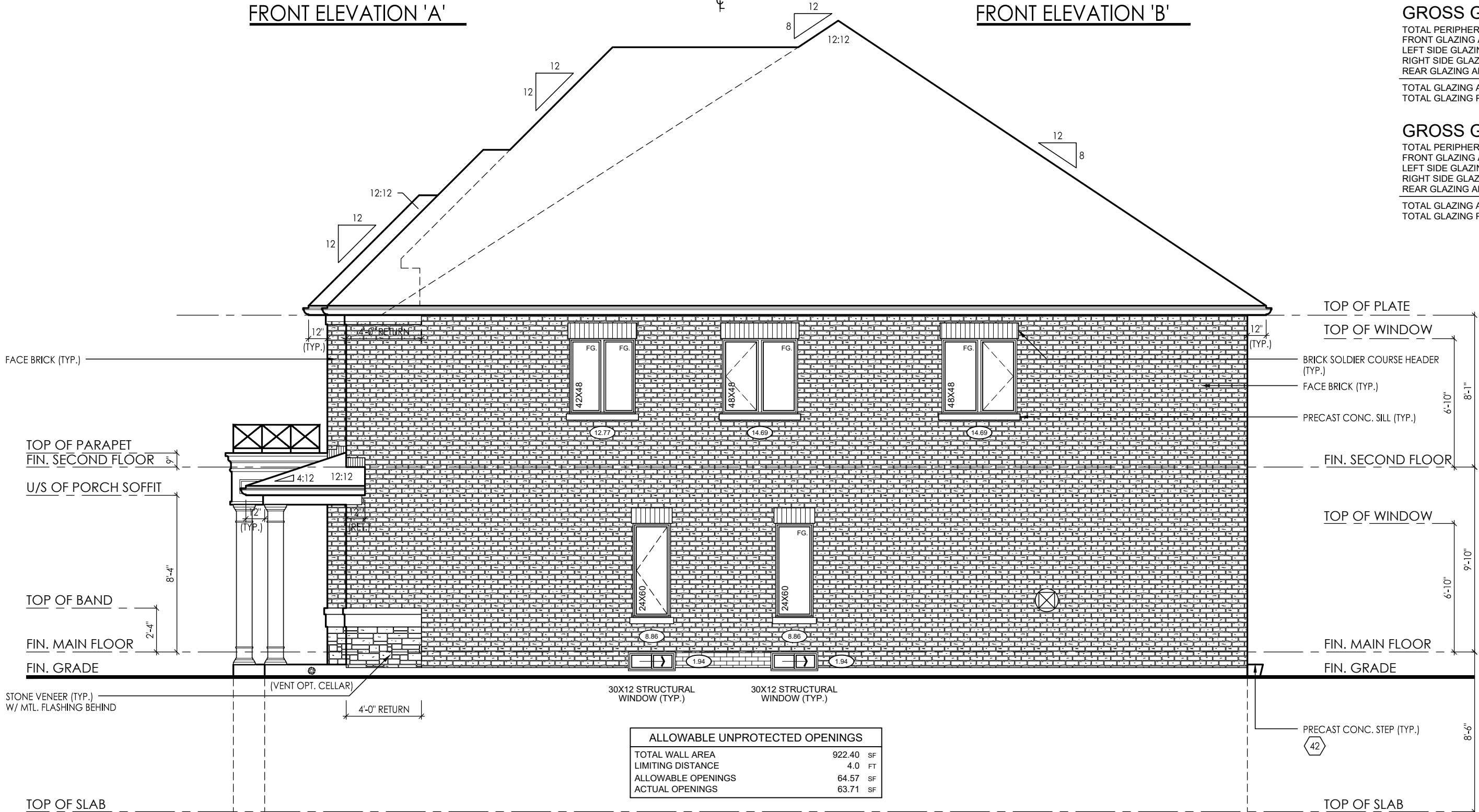
FRONT ELEVATION 'B'

GROSS GLAZING AREA 'A'

TOTAL PERIPHERAL WALL AREA	2637.98 sf	245.07 m²
FRONT GLAZING AREA	61.72 sf	5.73 m²
LEFT SIDE GLAZING AREA	63.78 sf	5.93 m²
RIGHT SIDE GLAZING AREA	0 sf	0.00 m²
REAR GLAZING AREA	117.89 sf	10.95 m²
TOTAL GLAZING AREA	243.39 sf	22.61 m²
TOTAL GLAZING PERCENTAGE	9.23 %	

GROSS GLAZING AREA 'B'

TOTAL PERIPHERAL WALL AREA	2637.98 sf	245.07 m²
FRONT GLAZING AREA	90.49 sf	8.41 m²
LEFT SIDE GLAZING AREA	0 sf	0.00 m²
RIGHT SIDE GLAZING AREA	63.78 sf	5.93 m²
REAR GLAZING AREA	117.89 sf	10.95 m²
TOTAL GLAZING AREA	272.16 sf	25.28 m²
TOTAL GLAZING PERCENTAGE	10.32 %	



RIGHT SIDE ELEVATION 'B'

ALLOWABLE UNPROTECTED OPENINGS	
TOTAL WALL AREA	922.40 SF
LIMITING DISTANCE	4.0 FT
ALLOWABLE OPENINGS	64.57 SF
ACTUAL OPENINGS	63.71 SF



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client	Gold Park Homes
project	Mclaughlin and Mayfield
model	SD-7 Brampton
project #	13098
scale	3/16" = 1'0"
lot(s)	



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client

Gold Park
Homes

project

Mclaughlin and
Mayfield

model

SD-7
Brampton

project #

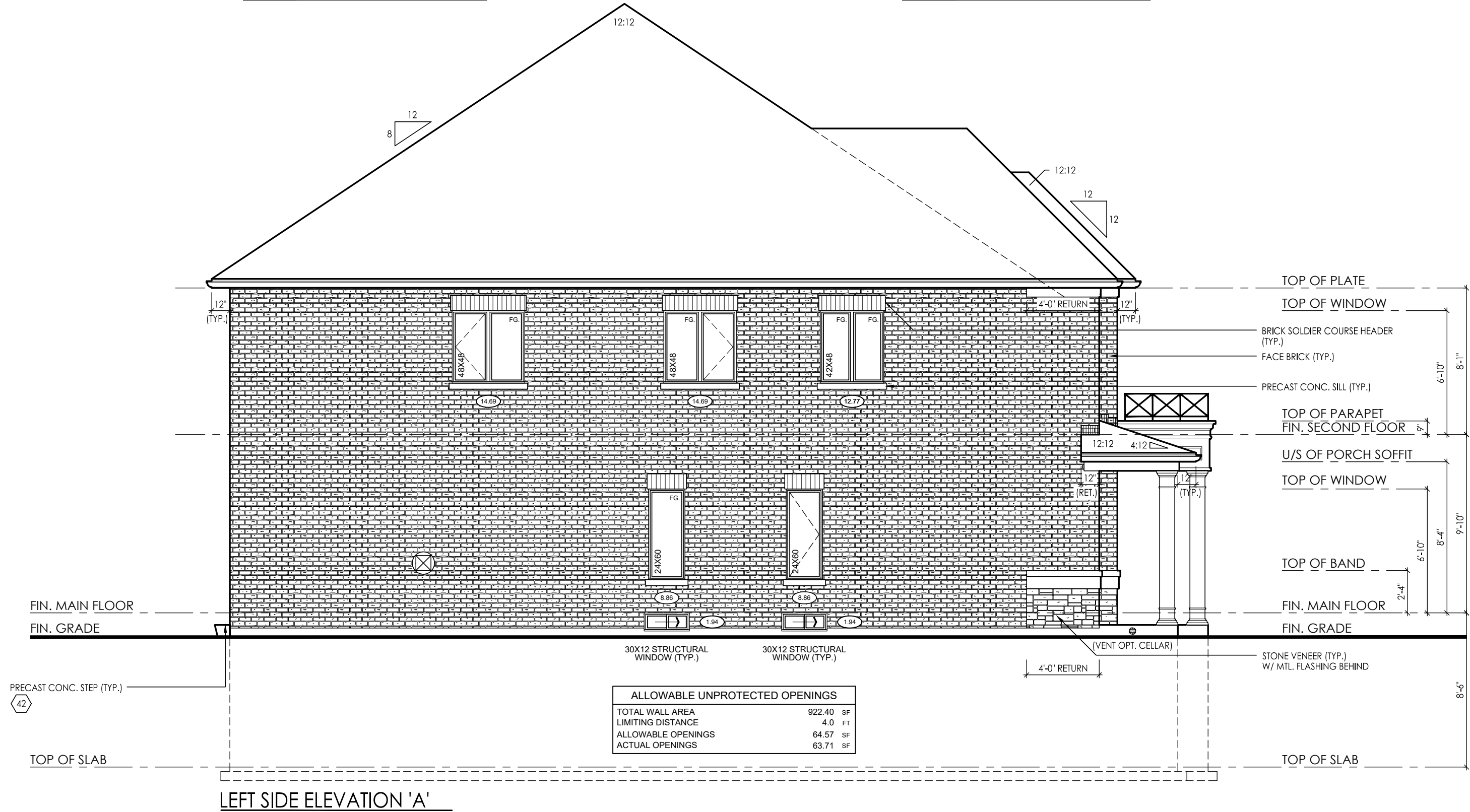
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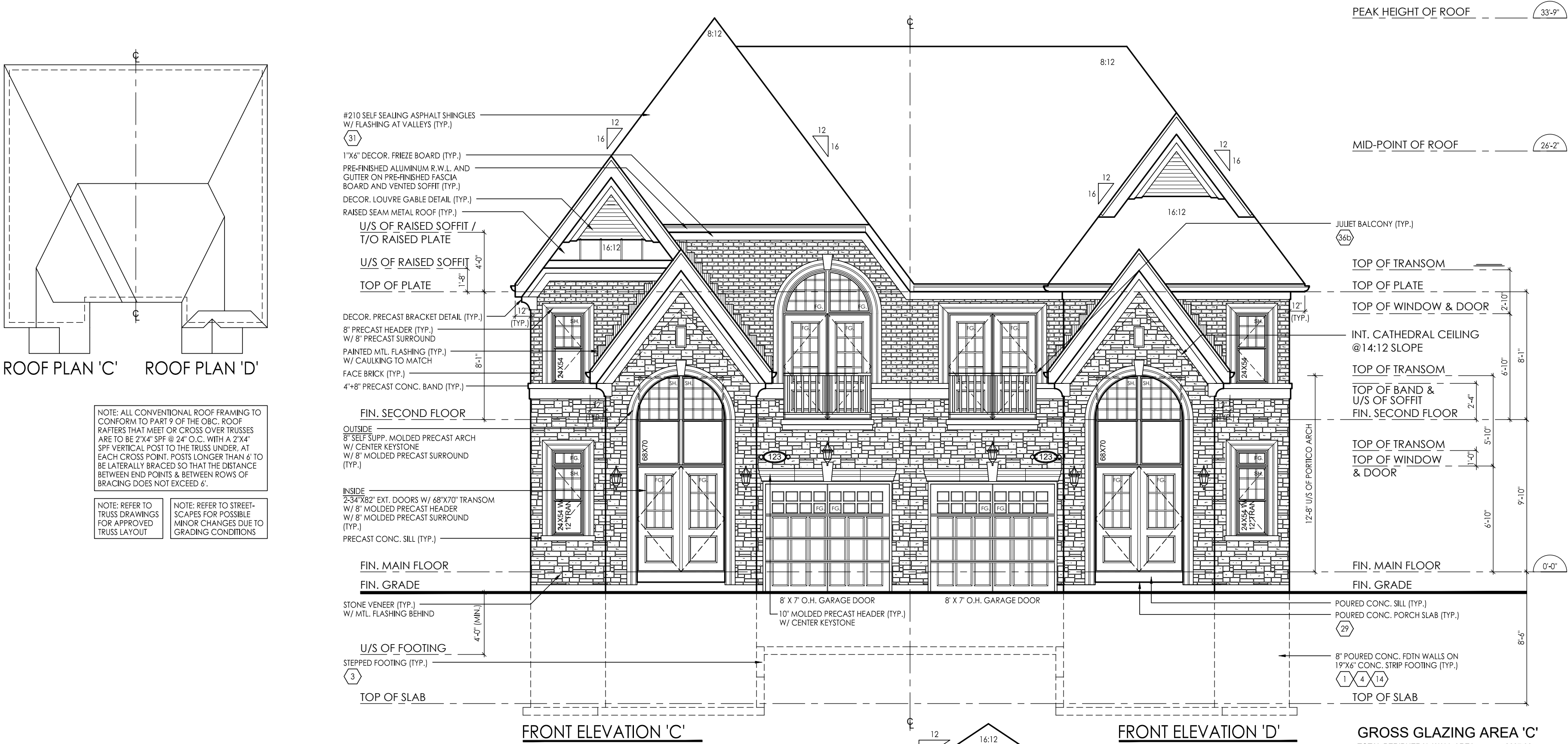
scale

3/16" = 1'0"

lot(s)

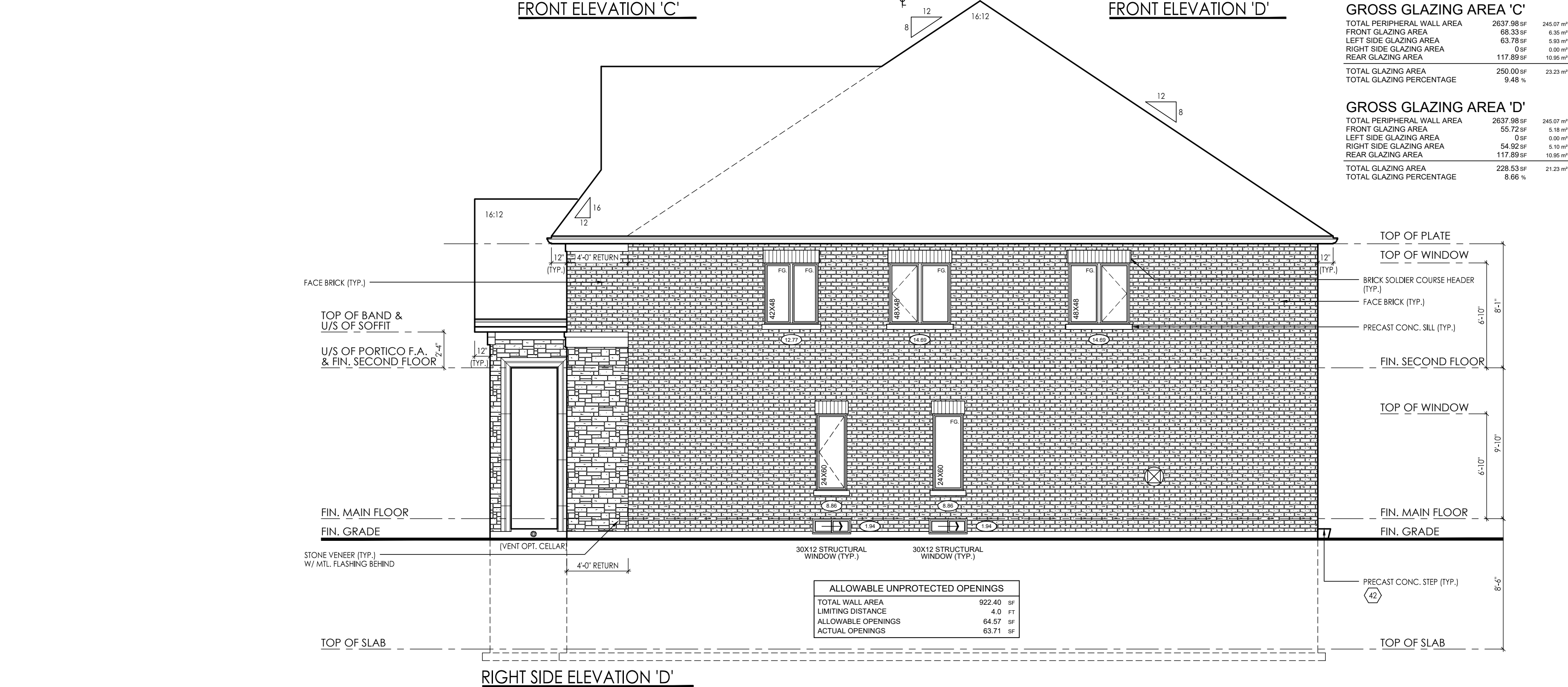
A7





GROSS GLAZING AREA 'C'			
TOTAL PERIPHERAL WALL AREA	2637.98 SF	245.07 m²	
FRONT GLAZING AREA	68.33 SF	6.35 m²	
LEFT SIDE GLAZING AREA	83.78 SF	7.74 m²	
RIGHT SIDE GLAZING AREA	0 SF	0.00 m²	
REAR GLAZING AREA	117.89 SF	10.95 m²	
TOTAL GLAZING AREA	250.00 SF	23.23 m²	
TOTAL GLAZING PERCENTAGE	9.48 %		

GROSS GLAZING AREA 'D'			
TOTAL PERIPHERAL WALL AREA	2637.98 SF	245.07 m²	
FRONT GLAZING AREA	55.72 SF	5.18 m²	
LEFT SIDE GLAZING AREA	0 SF	0.00 m²	
RIGHT SIDE GLAZING AREA	54.92 SF	5.10 m²	
REAR GLAZING AREA	117.89 SF	10.95 m²	
TOTAL GLAZING AREA	228.53 SF	21.23 m²	
TOTAL GLAZING PERCENTAGE	8.66 %		



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SIGNATURE: J.uy

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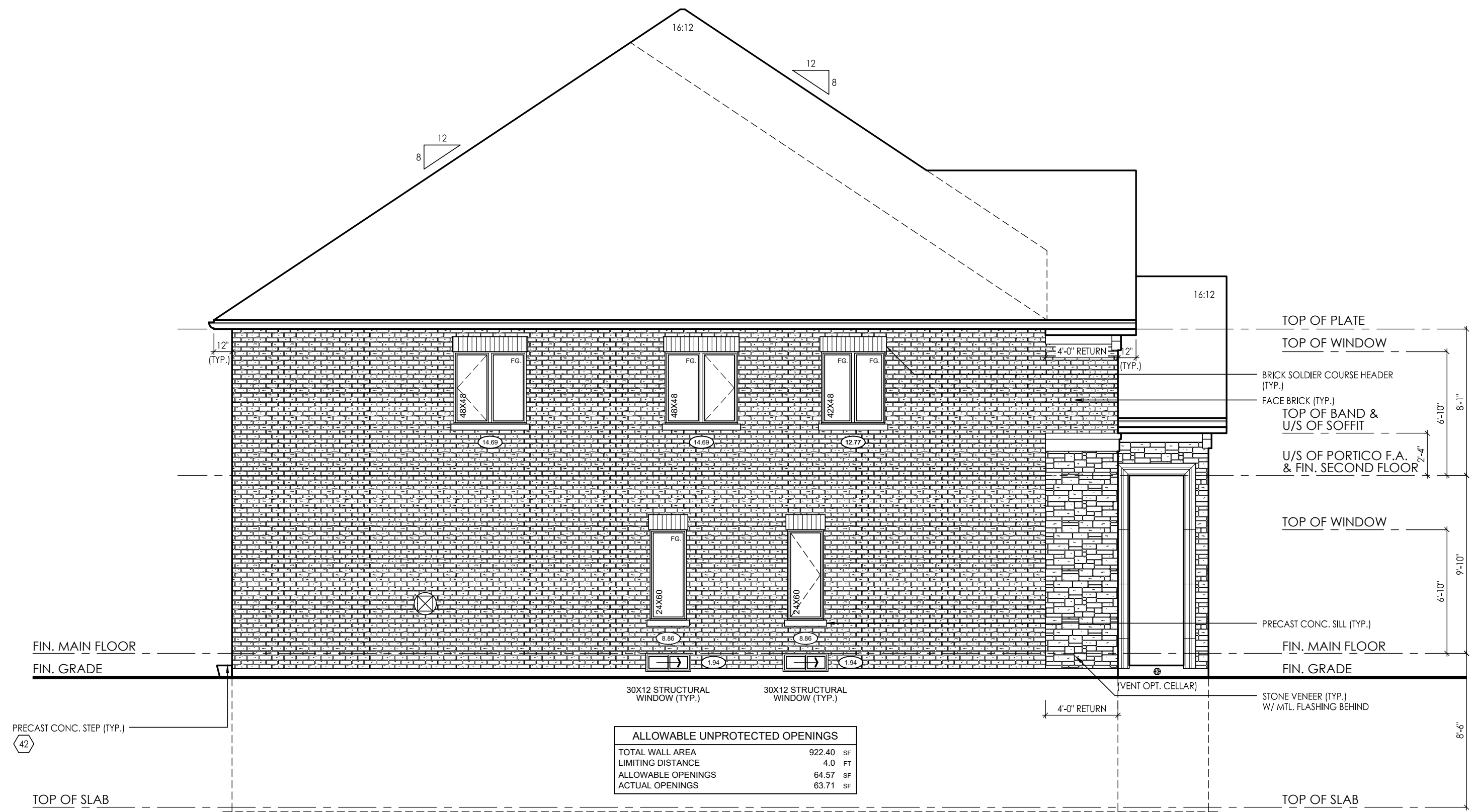
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model	SD-7 Brampton
project #	13098
scale	3/16" = 1'0"
lot(s)	



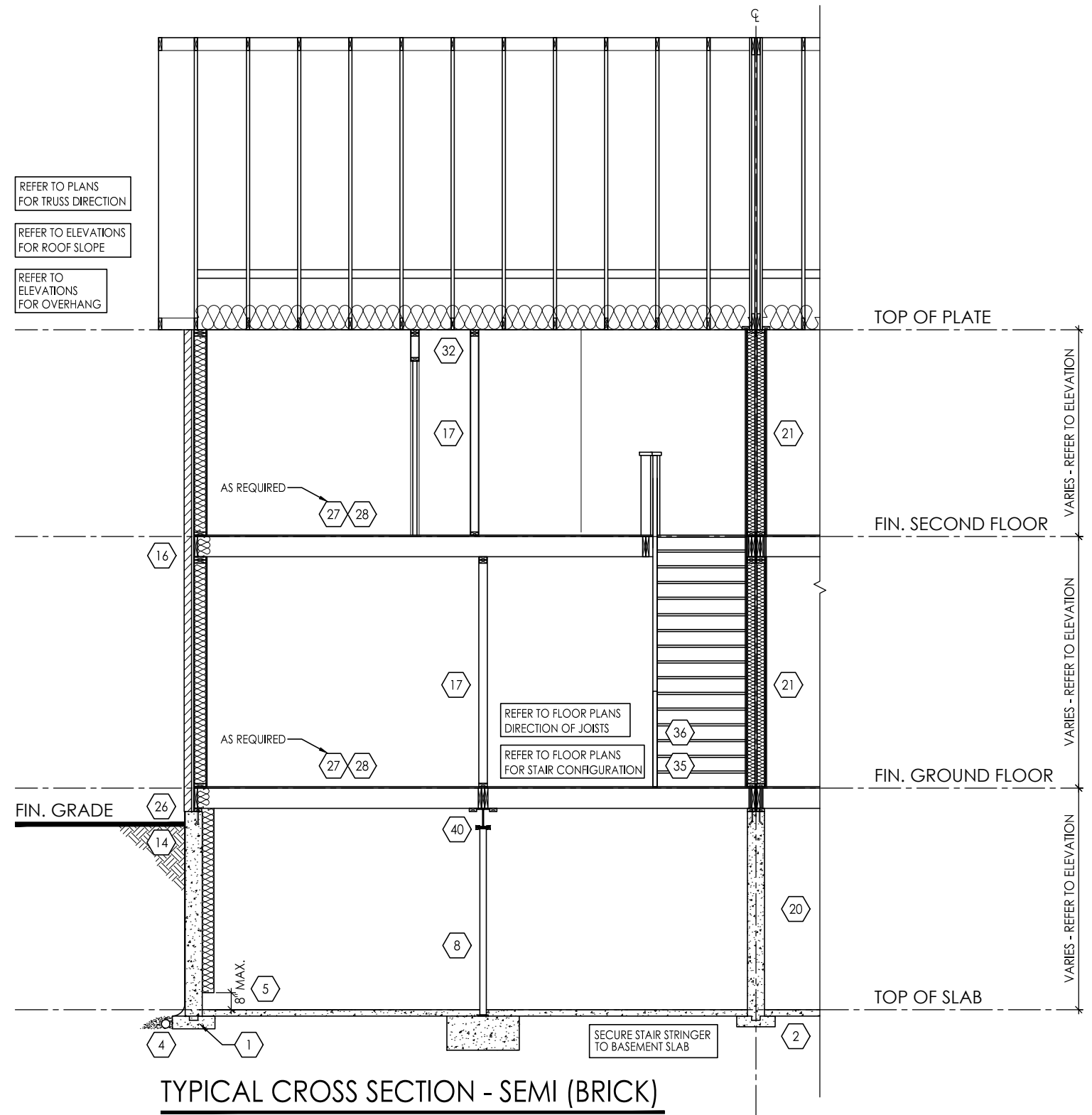
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SIGNATURE: _____



LEFT SIDE ELEVATION 'C'



TYPICAL CROSS SECTION - SEMI (BRICK)

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model	SD-7 Brampton
project #	13098
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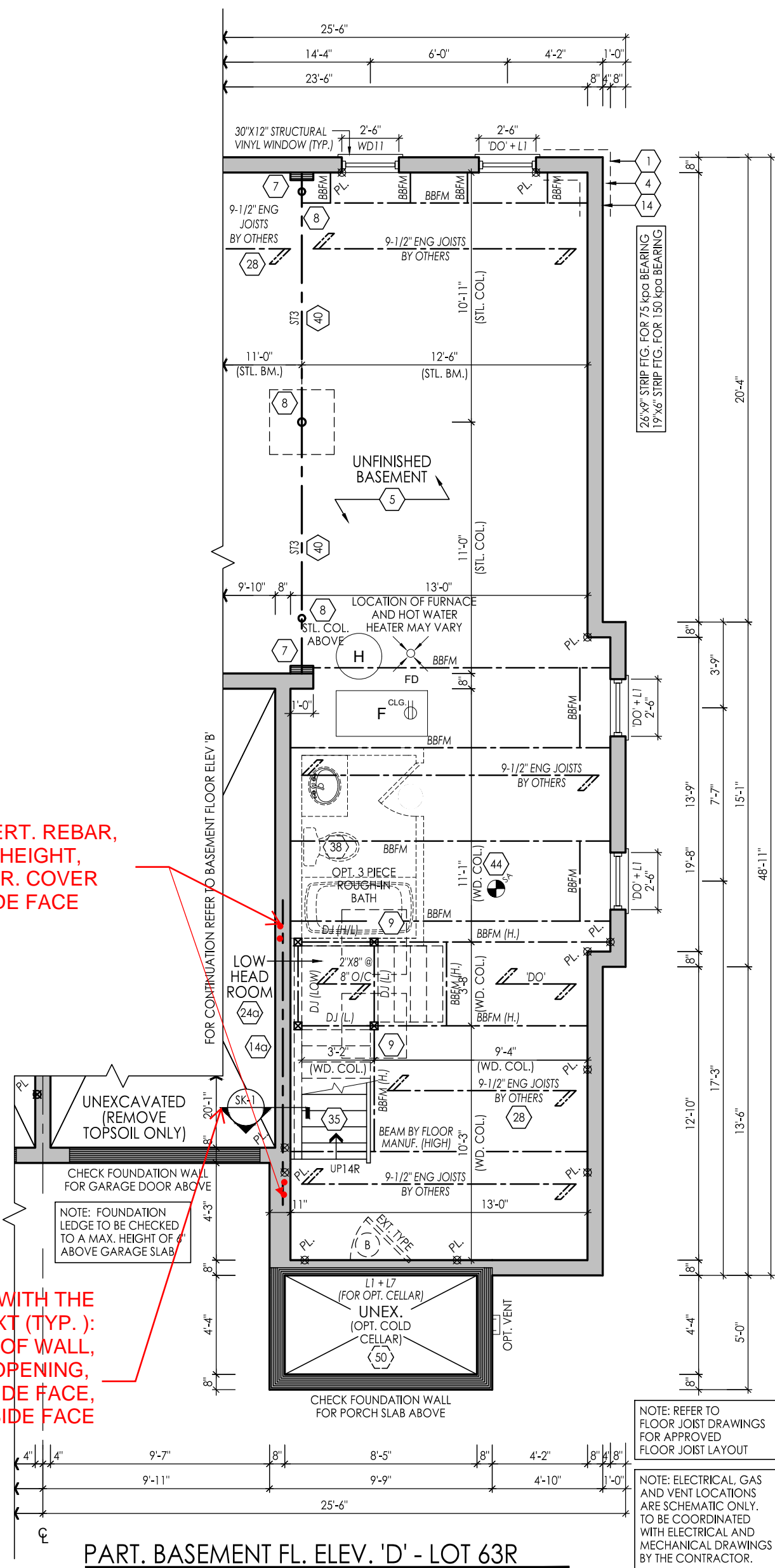
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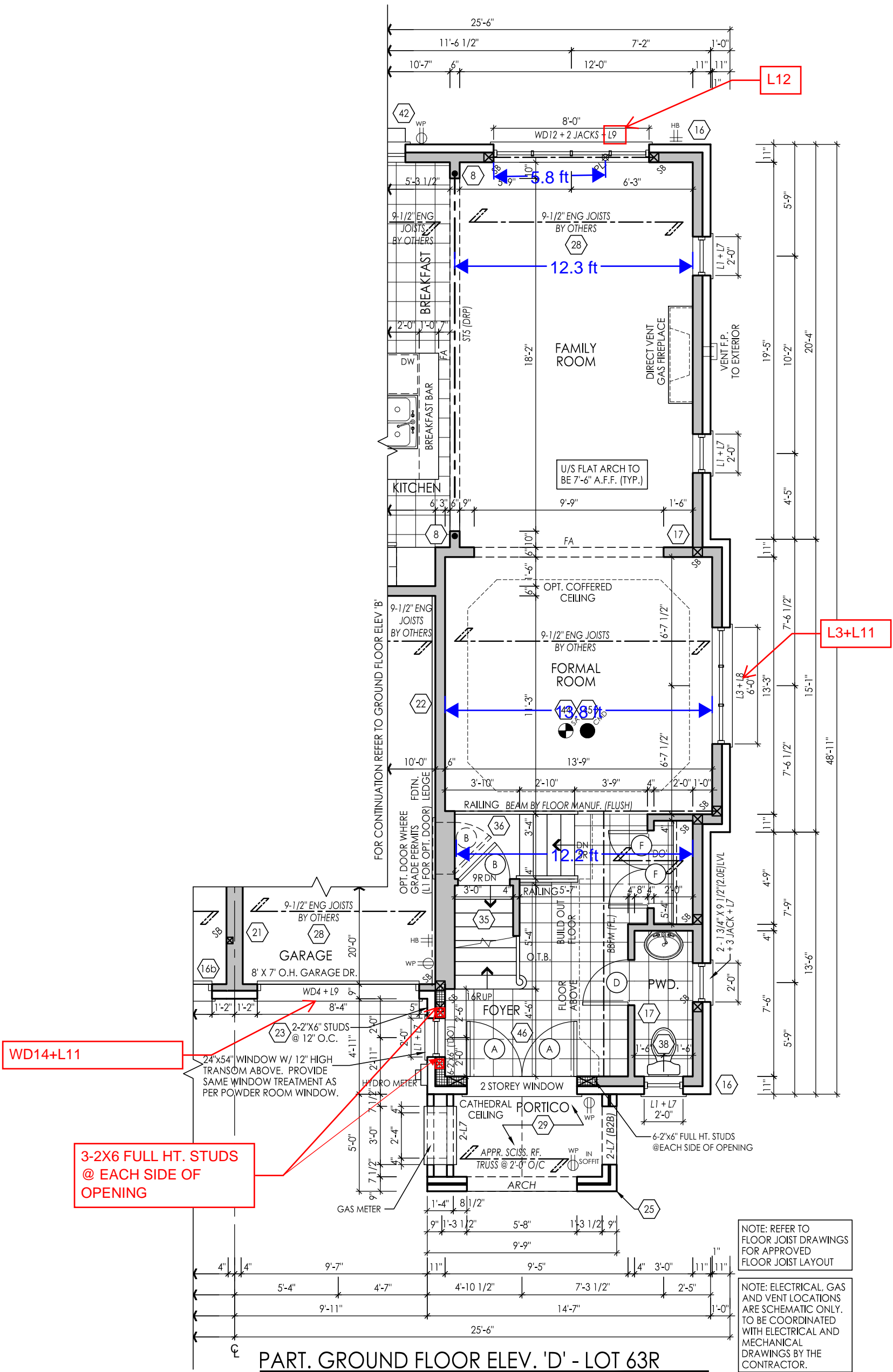


2-20M VERT. REBAR, FULL HEIGHT, 3/4" CLR. COVER INSIDE FACE

REPLACE SECTION SK-1 WITH THE FOLLOWING TEXT (TYP.):
2-20M LONG. CONT. BAR @ TOP OF WALL, 1 EACH FACE, EXT. 2'-0" BEYOND OPENING, 2" CLR. COVER OUTSIDE FACE, 3/4" CLR. COVER INSIDE FACE

PART. BASEMENT FL. ELEV. 'D' - LOT 63R

ALL WINDOW LINTELS IN BASEMENT TO HAVE MIN. 3' BEARING LENGTH ON FOUNDATION WALL



WD14+L11

3-2X6 FULL HT. STUDS @ EACH SIDE OF OPENING

PART. GROUND FLOOR ELEV. 'D' - LOT 63R

NOTE: REFER TO FLOOR JOIST DRAWINGS FOR APPROVED FLOOR JOIST LAYOUT

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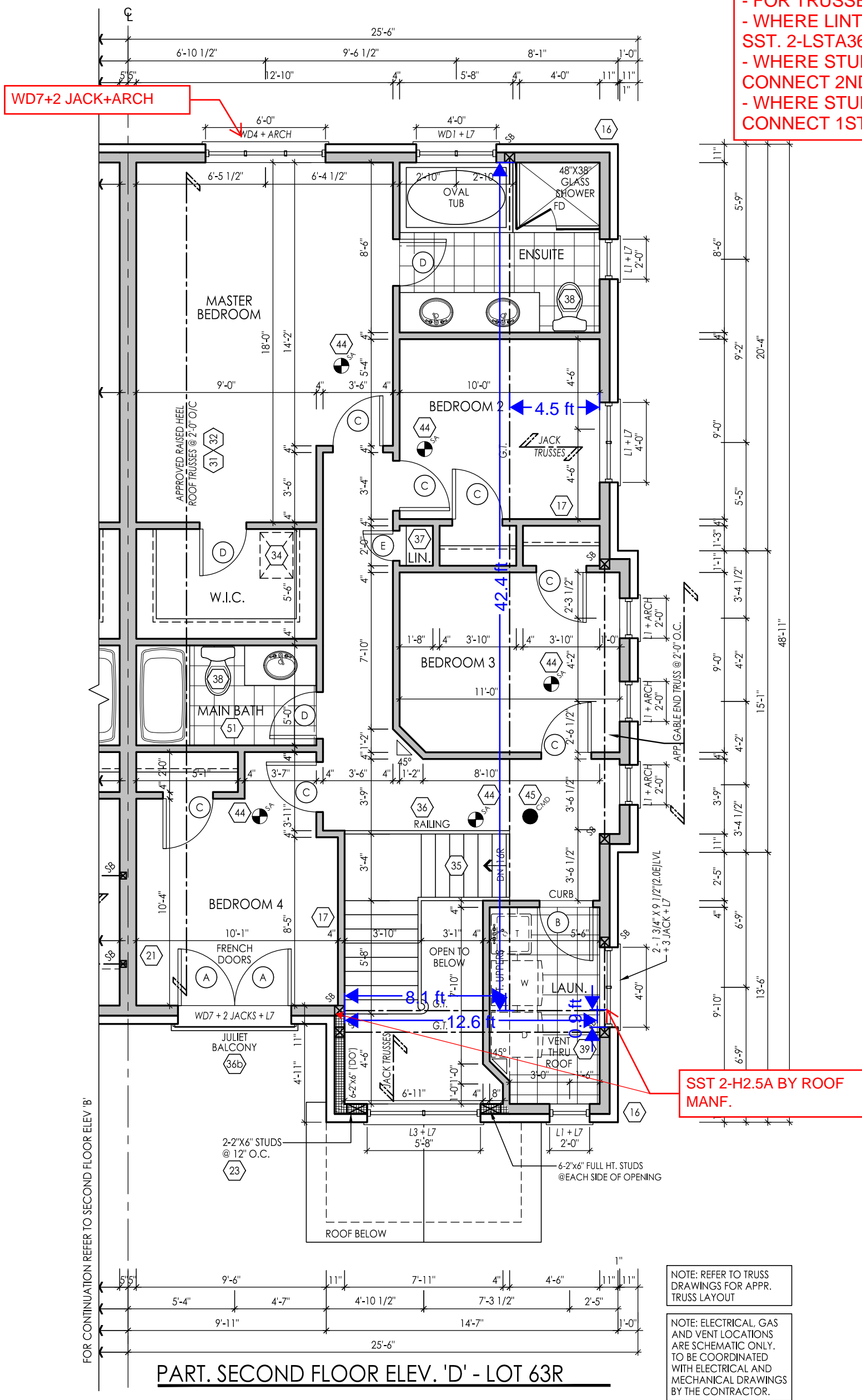
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lot(s)	

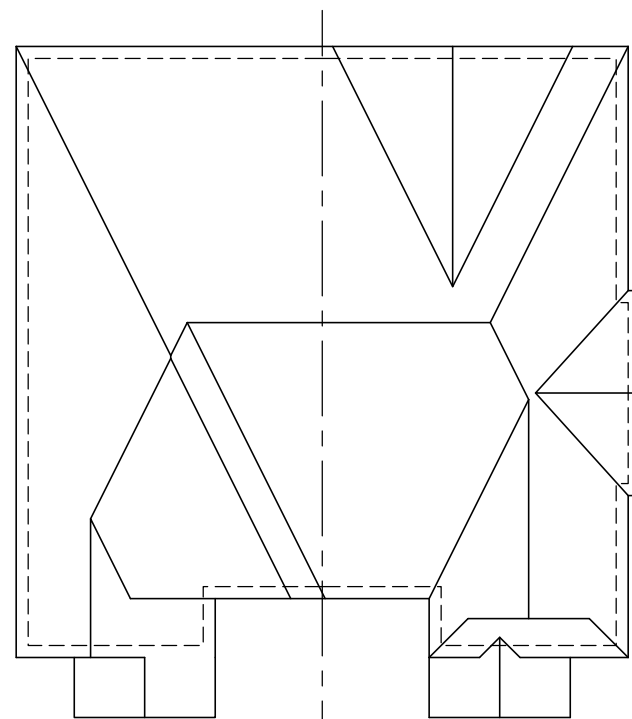




I, JORGE MORENO DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF **RN DESIGN LTD** UNDER DIVISION C, PART 3 SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 47245
FIRM BCIN: 26995
DATE: _____

SIGNATURE: *J. Moreno*



ROOF PLAN 'C'

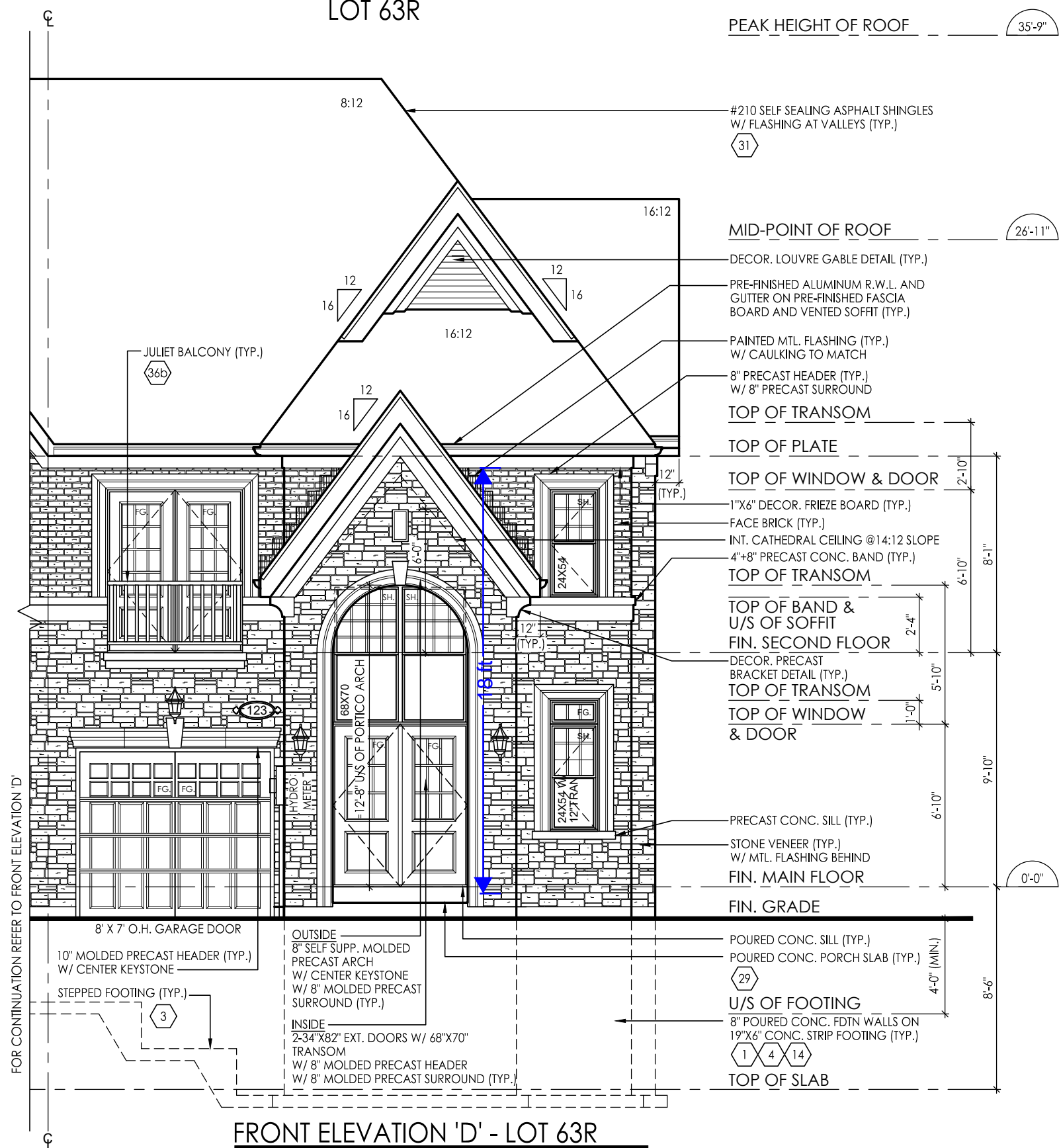
ROOF PLAN 'D' - LOT 63R

NOTE: ALL CONVENTIONAL ROOF FRAMING TO CONFORM TO PART 9 OF THE OBC. ROOF RAFTERS THAT MEET OR CROSS OVER TRUSSES ARE TO BE 2"x4" SPF @ 24" O.C. WITH A 2"x4" SPF VERTICAL POST TO THE TRUSS UNDER. AT EACH CROSS POINT, POSTS LONGER THAN 6' TO BE Laterally Braced so that the distance between end points & between rows of bracing does not exceed 6'.

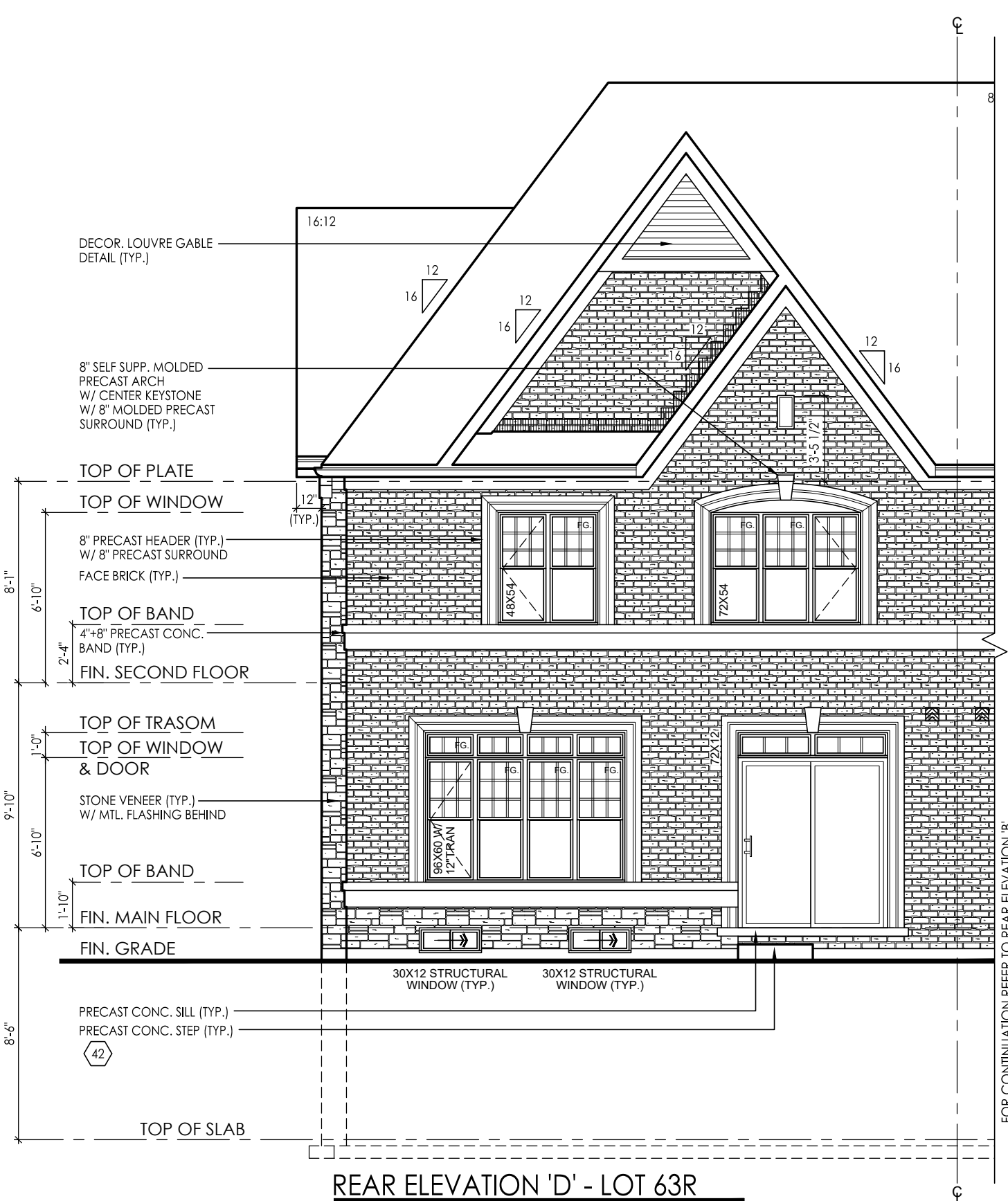
NOTE: REFER TO TRUSS DRAWINGS FOR APPROVED TRUSS LAYOUT

NOTE: REFER TO STREET-SCAPES FOR POSSIBLE MINOR CHANGES DUE TO GRADING CONDITIONS

PEAK HEIGHT OF ROOF 35'-9"



FRONT ELEVATION 'D' - LOT 63R



REAR ELEVATION 'D' - LOT 63R

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	2017-08-10	MM	JM
2	REVISED PER FLOOR/TRUSS COORD	31-AUG-17	MM	JM
4	ISSUED FOR PERMIT	4-OCT-17	PV	JM
4				
5				
6				
7				
8				
9				
10				
11				
12				

client	Gold Park Homes
project	Mclaughlin and Mayfield
model	SD-7 Brampton
project #	13098
scale	3/16" = 1'0"
lot(s)	



I, JORGE MORENO DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF **RN DESIGN LTD** UNDER DIVISION C, PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 47245
FIRM BCIN: 26995
DATE: _____

SIGNATURE: _____



RIGHT SIDE ELEVATION 'D' - LOT 63R

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5				
6				
7				
8				
9				
10				
11				
12				

client

Gold Park
Homes

project

McLaughlin and
Mayfield

model

SD-7
Brampton

project #

13098

scale

3/16" = 1'0"

lot(s)

A13



I, JORGE MORENO DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF **RN DESIGN LTD** UNDER DIVISION C, PART 3 SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 47245
FIRM BCIN: 26995
DATE: _____

SIGNATURE: *J. Moreno*

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#	revisions	date	dwn	chk
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2	REVISED PER FLOOR/TRUSS COORD	31-AUG-17	MM	JM
4	ISSUED FOR PERMIT	4-OCT-17	PV	JM
5	ADDED REAR UPGRADE ELEV 'C' FOR LOT 63R	3-NOV-17	JM	JM
6				
7				
8				
9				
10				
11				
12				

client

Gold Park
Homes

project

Mclaughlin and
Mayfield

model

SD-7
Brampton

project #

13098

scale

3/16" = 1'0"

lot(s)

A14

