

I, JORGE MORENO DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD. UNDER DIVISION C.PART-3 SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 47245  
FIRM BCIN: 26995  
DATE: \_\_\_\_\_

SIGNATURE: \_\_\_\_\_

## Drawing List:

- A0 TITLE SHEET  
A1 BASEMENT FLOOR PLAN ELEV. 'A' & 'C'  
A2 PARTIAL BASEMENT FLOOR PLAN ELEV. 'B' & 'C'  
A3 GROUND FLOOR PLAN ELEV. 'A'  
A4 PARTIAL GROUND FLOOR PLAN ELEV. 'B'  
A5 SECOND FLOOR PLAN ELEV. 'A'  
A6 PARTIAL SECOND FLOOR PLAN ELEV. 'B'  
A7 PARTIAL GROUND FLOOR PLAN ELEV. 'C'  
A8 PARTIAL SECOND FLOOR PLAN ELEV. 'C'  
A9 RIGHT SIDE ELEVATION 'B'  
A10 LEFT SIDE ELEVATION 'A'  
A11 RIGHT SIDE ELEVATION 'A'  
A12 LEFT SIDE ELEVATION 'A'  
A13 RIGHT SIDE ELEVATION 'C'  
A14 GROUND FLOOR ELEVATION 'C' CORNER UPGRADE  
A15 BASEMENT FLOOR PLAN ELEV. 'A' CORNER UPGRADE  
A16 PARTIAL GROUND FLOOR PLAN ELEV. 'A' CORNER UPGRADE  
A17 PARTIAL SECOND FLOOR PLAN ELEV. 'A' CORNER UPGRADE  
A18 PARTIAL SECOND FLOOR PLAN ELEV. 'A' CORNER UPGRADE  
A19 PARTIAL SECOND FLOOR PLAN ELEV. 'A' CORNER UPGRADE  
A20 PARTIAL SECOND FLOOR PLAN ELEV. 'A' CORNER UPGRADE  
A21 PARTIAL SECOND FLOOR PLAN ELEV. 'A' CORNER UPGRADE  
A22 PARTIAL SECOND FLOOR PLAN ELEV. 'A' CORNER UPGRADE  
A23 PARTIAL SECOND FLOOR PLAN ELEV. 'A' CORNER UPGRADE  
A24 PARTIAL SECOND FLOOR PLAN ELEV. 'A' CORNER UPGRADE  
A25 PARTIAL SECOND FLOOR PLAN ELEV. 'A' CORNER UPGRADE  
A26 PARTIAL SECOND FLOOR PLAN ELEV. 'A' CORNER UPGRADE  
A27 PARTIAL SECOND FLOOR PLAN ELEV. 'A' CORNER UPGRADE  
A28 PARTIAL SECOND FLOOR PLAN ELEV. 'A' CORNER UPGRADE  
A29 PARTIAL SECOND FLOOR PLAN ELEV. 'A' CORNER UPGRADE  
A30 PARTIAL SECOND FLOOR PLAN ELEV. 'A' CORNER UPGRADE  
A31 PARTIAL SECOND FLOOR PLAN ELEV. 'A' CORNER UPGRADE  
A32 PARTIAL SECOND FLOOR PLAN ELEV. 'A' CORNER UPGRADE  
A33 PARTIAL SECOND FLOOR PLAN ELEV. 'A' CORNER UPGRADE  
A34 PARTIAL SECOND FLOOR PLAN ELEV. 'A' CORNER UPGRADE  
A35 PARTIAL SECOND FLOOR PLAN ELEV. 'A' CORNER UPGRADE  
A36 PARTIAL SECOND FLOOR PLAN ELEV. 'A' CORNER UPGRADE  
A37 PARTIAL SECOND FLOOR PLAN ELEV. 'A' CORNER UPGRADE  
A38 PARTIAL SECOND FLOOR PLAN ELEV. 'A' CORNER UPGRADE  
A39 PARTIAL SECOND FLOOR PLAN ELEV. 'A' CORNER UPGRADE  
A40 PARTIAL SECOND FLOOR PLAN ELEV. 'A' CORNER UPGRADE  
A41 PARTIAL SECOND FLOOR PLAN ELEV. 'A' CORNER UPGRADE  
A42 PARTIAL SECOND FLOOR PLAN ELEV. 'A' CORNER UPGRADE  
A43 PARTIAL SECOND FLOOR PLAN ELEV. 'A' CORNER UPGRADE  
A44 PARTIAL SECOND FLOOR PLAN ELEV. 'A' CORNER UPGRADE  
A45 PARTIAL SECOND FLOOR PLAN ELEV. 'A' CORNER UPGRADE  
A46 PARTIAL SECOND FLOOR PLAN ELEV. 'A' CORNER UPGRADE  
A47 PARTIAL SECOND FLOOR PLAN ELEV. 'A' CORNER UPGRADE  
A48 PARTIAL SECOND FLOOR PLAN ELEV. 'A' CORNER UPGRADE  
A49 PARTIAL SECOND FLOOR PLAN ELEV. 'A' CORNER UPGRADE  
A50 PARTIAL SECOND FLOOR PLAN ELEV. 'A' CORNER UPGRADE  
A51 PARTIAL SECOND FLOOR PLAN ELEV. 'A' CORNER UPGRADE  
A52 PARTIAL SECOND FLOOR PLAN ELEV. 'A' CORNER UPGRADE  
A53 PARTIAL SECOND FLOOR PLAN ELEV. 'A' CORNER UPGRADE  
A54 PARTIAL SECOND FLOOR PLAN ELEV. 'A' CORNER UPGRADE  
A55 PARTIAL SECOND FLOOR PLAN ELEV. 'A' CORNER UPGRADE  
A56 PARTIAL SECOND FLOOR PLAN ELEV. 'A' CORNER UPGRADE  
A57 PARTIAL SECOND FLOOR PLAN ELEV. 'A' CORNER UPGRADE  
A58 PARTIAL SECOND FLOOR PLAN ELEV. 'A' CORNER UPGRADE  
A59 PARTIAL SECOND FLOOR PLAN ELEV. 'A' CORNER UPGRADE  
A60 PARTIAL SECOND FLOOR PLAN ELEV. 'A' CORNER UPGRADE  
A61 PARTIAL SECOND FLOOR PLAN ELEV. 'A' CORNER UPGRADE  
A62 PARTIAL SECOND FLOOR PLAN ELEV. 'A' CORNER UPGRADE  
A63 PARTIAL SECOND FLOOR PLAN ELEV. 'A' CORNER UPGRADE  
A64 PARTIAL SECOND FLOOR PLAN ELEV. 'A' CORNER UPGRADE  
A65 PARTIAL SECOND FLOOR PLAN ELEV. 'A' CORNER UPGRADE  
A66 PARTIAL SECOND FLOOR PLAN ELEV. 'A' CORNER UPGRADE  
A67 PARTIAL SECOND FLOOR PLAN ELEV. 'A' CORNER UPGRADE  
A68 PARTIAL SECOND FLOOR PLAN ELEV. 'A' CORNER UPGRADE  
A69 PARTIAL SECOND FLOOR PLAN ELEV. 'A' CORNER UPGRADE  
A70 PARTIAL SECOND FLOOR PLAN ELEV. 'A' CORNER UPGRADE  
A71 PARTIAL SECOND FLOOR PLAN ELEV. 'A' CORNER UPGRADE  
A72 PARTIAL SECOND FLOOR PLAN ELEV. 'A' CORNER UPGRADE  
A73 PARTIAL SECOND FLOOR PLAN ELEV. 'A' CORNER UPGRADE  
A74 PARTIAL SECOND FLOOR PLAN ELEV. 'A' CORNER UPGRADE  
A75 PARTIAL SECOND FLOOR PLAN ELEV. 'A' CORNER UPGRADE  
A76 PARTIAL SECOND FLOOR PLAN ELEV. 'A' CORNER UPGRADE  
A77 PARTIAL SECOND FLOOR PLAN ELEV. 'A' CORNER UPGRADE  
A78 PARTIAL SECOND FLOOR PLAN ELEV. 'A' CORNER UPGRADE  
A79 PARTIAL SECOND FLOOR PLAN ELEV. 'A' CORNER UPGRADE  
A80 PARTIAL SECOND FLOOR PLAN ELEV. 'A' CORNER UPGRADE  
A81 PARTIAL SECOND FLOOR PLAN ELEV. 'A' CORNER UPGRADE  
A82 PARTIAL SECOND FLOOR PLAN ELEV. 'A' CORNER UPGRADE  
A83 PARTIAL SECOND FLOOR PLAN ELEV. 'A' CORNER UPGRADE  
A84 PARTIAL SECOND FLOOR PLAN ELEV. 'A' CORNER UPGRADE  
A85 PARTIAL SECOND FLOOR PLAN ELEV. 'A' CORNER UPGRADE  
A86 PARTIAL SECOND FLOOR PLAN ELEV. 'A' CORNER UPGRADE  
A87 PARTIAL SECOND FLOOR PLAN ELEV. 'A' CORNER UPGRADE  
A88 PARTIAL SECOND FLOOR PLAN ELEV. 'A' CORNER UPGRADE  
A89 PARTIAL SECOND FLOOR PLAN ELEV. 'A' CORNER UPGRADE  
A90 PARTIAL SECOND FLOOR PLAN ELEV. 'A' CORNER UPGRADE  
A91 PARTIAL SECOND FLOOR PLAN ELEV. 'A' CORNER UPGRADE  
A92 PARTIAL SECOND FLOOR PLAN ELEV. 'A' CORNER UPGRADE  
A93 PARTIAL SECOND FLOOR PLAN ELEV. 'A' CORNER UPGRADE  
A94 PARTIAL SECOND FLOOR PLAN ELEV. 'A' CORNER UPGRADE  
A95 PARTIAL SECOND FLOOR PLAN ELEV. 'A' CORNER UPGRADE  
A96 PARTIAL SECOND FLOOR PLAN ELEV. 'A' CORNER UPGRADE  
A97 PARTIAL SECOND FLOOR PLAN ELEV. 'A' CORNER UPGRADE  
A98 PARTIAL SECOND FLOOR PLAN ELEV. 'A' CORNER UPGRADE  
A99 PARTIAL SECOND FLOOR PLAN ELEV. 'A' CORNER UPGRADE  
A100 PARTIAL SECOND FLOOR PLAN ELEV. 'A' CORNER UPGRADE

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Building Code and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Civil Architect is not responsible in any way for examining or approving site drawings or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	04/07/2014	rgo	rho
2	REVISED AS PER ARCH. CONTROL COMMENTS	13/08/2014	rho	dh
3	REVISED AS PER ROOF TRUSS COORDINATION.	14-Aug-14	rho	dh
4	REVISED AS PER FLOOR COORDINATION.	15-Aug-14	rho	dh
5	REVISED AS PER ENGINEERING COMMENT.	27/05/2015	RPA	DJH
6	ISSUED FOR PERMIT	16/06/2015	RPA	DJH
7	REVISED PER 2017 OBC ENACTMENT	21-Feb-17	PM	JP
8	ISSUED FOR CLIENT REVIEW	6/28/2017	MM	JM
9	ISSUED FOR PERMIT	21/07-2018	MM	JM
10				
11				
12				

client

Gold Park  
Homes  
McLaughlin and  
Mayfield

project

GROUND FLOOR	735.2	68.3	735.2	68.3	735.2	68.3	743.7	69.1
SECOND FLOOR	920.0	85.4	909.7	84.5	919.6	85.4	928.1	86.2
SECOND FLOOR OTB	(0.0)	(0.0)	(0.0)	(0.0)	(0.0)	(0.0)	(6.7)	(0.6)
TOTAL AREA	<b>1665.2</b>	<b>153.7</b>	<b>1644.4</b>	<b>152.8</b>	<b>1654.8</b>	<b>153.7</b>	<b>1665.1</b>	<b>154.7</b>
COVERAGE INC PORCH	990.9	92.5	990.9	92.5	990.9	92.5	1100.4	102.2
COVERAGE NOT INC PORCH	949.3	88.1	949.3	88.1	949.3	88.1	975.8	89.8

project #

13098

scale

3/16" = 1'0"

SD-2  
Brampton

AO

### CONSTRUCTION NOTES:

#### COMPLIANCE PACKAGE A1 - OBC 2012 - 2017 ENACTMENT

(UNLESS OTHERWISE NOTED)  
-ALL CONSTRUCTION TO CONFORM TO THE ONTARIO BUILDING CODE (O.B.C.) AND ALL OTHER CODES AND LOCAL AUTHORITIES HAVING JURISDICTION.  
-ALL DIMENSIONS GIVEN FIRST IN IMPERIAL FOLLOWED BY METRIC.  
-THERMAL RESISTANCE VALUES BASED ON ZONE I

#### FOOTINGS / SLABS:

**TYPICAL STRIP FOOTING:**  
O.B.C. 9.15.3.3  
-BASED ON 16" (14" MIN.) MAX. SUPPORTED JOIST LENGTH  
-MIN. 2200psi (15MPa) CONCRETE AFTER 28 DAYS  
-SHALL REST ON UNDISTURBED SOIL, ROCK OR ON COMPACTED GRANULAR FILL W/ MIN. 10psi (75kPa) BEARING CAPACITY  
-FRTG. SIZES MAY BE REDUCED FOR SOILS W/ GREATER BEARING CAPACITY (AS PER SOILS ENGINEERING REPORT)  
-REFER TO WORKING DRAWINGS FOR SPECIFIC SIZES THAT MAY SUPERSEDE NOTES #1 & #2 FOR FOOTING SIZES

#### TYPICAL STRIP FOOTING: (EXTERIOR WALLS)

-FTG. TO EXTEND MIN. 4'-0" (1200mm) BELOW GRADE  
BRICK VENEER  
-1 STOREY - 13" X 4" (330mm X 100mm)  
-2 STOREY - 19" X 6" (485mm X 155mm)  
-3 STOREY - 26" X 9" (660mm X 230mm)

SIDING-  
-1 STOREY - 10" X 4" (255mm X 100mm)  
-2 STOREY - 14" X 4" (355mm X 100mm)  
-3 STOREY - 18" X 5" (457mm X 125mm)

#### TYPICAL STRIP FOOTING: (INTERIOR BEARING WALLS)

O.B.C. 9.15.3.6  
-1 STOREY MASONRY - 16" X 4" (405mm X 100mm)  
-1 STOREY STUCCO - 12" X 4" (305mm X 100mm)  
-2 STOREY MASONRY - 26" X 9" (660mm X 230mm)  
-2 STOREY STUCCO - 18" X 5" (457mm X 125mm)  
-3 STOREY MASONRY - 36" X 14" (915mm X 360mm)  
-3 STOREY STUCCO - 24" X 8" (609mm X 203mm)

#### STEP FOOTING:

O.B.C. 9.15.3.9  
-23" (585mm) MAX. VERTICAL RISE & 23 5/8" (600mm) MIN. HORIZONTAL RUN.

#### DRAINAGE TIE OR PIPE

O.B.C. 9.14.3  
-1 (100mm) MIN. DIA. LAID ON UNDISTURBED OR WELL COMPACTED SOIL W/ TOP OF TIE OR PIPE TO BE BELOW BOTTOM OF FLR. SLAB.  
-COVER TOP & SIDES OF TIE OR PIPE W/ 1/8" (150mm) OF CRUSHED STONE OR OTHER COURSE CLEAN GRANULAR MATERIAL.  
-TIE SHALL DRAIN TO A SEWER, DRAINAGE DITCH, OR DRY WELL.

#### BASEMENT SLAB

O.B.C. 9.13. & 9.16  
-3" (75mm) CONCRETE SLAB  
-2200psi (15MPa) AFTER 28 DAYS - O.B.C. 9.14.5  
-DAMP-PROOF BELOW SLAB W/ MIN. 0.006" (0.15mm) POLYETHYLENE OR TYPE 3 ROLL ROOFING W/ 4" (100mm) LAPPED JOINTS.  
-DAMP-PROOFING MAY BE OMITTED IF CONCRETE HAS MIN. 3000psi (25MPa) COMPRESSIVE STRENGTH AFTER 28 DAYS  
-4" (100mm) OF COURSE GRANULAR MATERIAL  
-PROVIDE BOND BREAKING MATERIAL BETWEEN SLAB & FTG.  
-WHERE SLAB IS REQUIRED TO BE WATERPROOFED TO SHALL CONFORM TO O.B.C. 9.13.13

-FLOOR DRAIN PER O.B.C. 9.31.4.4  
-R10 (RSI 1.76) INSULATION AT PERIMETER OF SLAB WHERE GRADE IS WITHIN 23-1/2" (600mm) OF BASEMENT SLAB EDGE. INSULATION TO EXTEND TO NOT LESS THAN 23-1/2" (600mm) BELOW EXTERIOR GRADE LEVEL. (OBC SB-12.3.1.1.2.1) (5)

-UNLESS IT CAN BE DEMONSTRATED THAT SOIL GASES DO NOT CONSTITUTE A PROBLEM, SOIL GAS CONTROL SHALL CONFORM TO SUPPLEMENTARY STANDARD (O.B.C. SB-9)

#### SLAB ON GROUND

O.B.C. 9.13. & 9.16  
-3" (75mm) CONCRETE SLAB  
-2200psi (15MPa) AFTER 28 DAYS - O.B.C. 9.14.5  
-DAMP-PROOF BELOW SLAB W/ MIN. 0.006" (0.15mm) POLYETHYLENE OR TYPE 3 ROLL ROOFING W/ 4" (100mm) LAPPED JOINTS.  
-DAMP-PROOFING MAY BE OMITTED IF CONCRETE HAS MIN. 3000psi (25MPa) COMPRESSIVE STRENGTH AFTER 28 DAYS  
-4" (100mm) OF COURSE GRANULAR MATERIAL  
-PROVIDE BOND BREAKING MATERIAL BETWEEN SLAB & FTG.  
-WHERE SLAB IS REQUIRED TO BE WATERPROOFED TO SHALL CONFORM TO O.B.C. 9.13.13

-FLOOR DRAIN PER O.B.C. 9.31.4.4  
-R10 (RSI 1.76) INSULATION AT PERIMETER OF SLAB WHERE GRADE IS WITHIN 23-1/2" (600mm) OF BASEMENT SLAB EDGE. INSULATION TO EXTEND TO NOT LESS THAN 23-1/2" (600mm) BELOW EXTERIOR GRADE LEVEL. (OBC SB-12.3.1.1.2.1) (5)

-UNLESS IT CAN BE DEMONSTRATED THAT SOIL GASES DO NOT CONSTITUTE A PROBLEM, SOIL GAS CONTROL SHALL CONFORM TO SUPPLEMENTARY STANDARD (O.B.C. SB-9)

#### GARAGE SLAB / EXTERIOR SLAB

-4" (100mm) CONCRETE SLAB  
-4600psi (32MPa) COMPRESSIVE STRENGTH AFTER 28 DAYS FOR UNREINFORCED CONC. & W/ 5-8% AIR ENTRAINMENT - O.B.C. 9.3.1.4  
-6" X 6" (W2.9 X W 2.9) WIRE MESH LOCATED NEAR MID-DEPTH OF SLAB  
-4" (100mm) OF COURSE GRANULAR MATERIAL  
-ANY FILL PLACED UNDER SLAB, OTHER THAN COURSE CLEAN GRANULAR MATERIAL, SHALL BE COMPACTED.

#### PILASTERS:

O.B.C. 9.15.5.3  
-CONCRETE NBR. 4" X 12" (100mm X 300mm)  
-BLOCK NBR. 4" X 12" (100mm X 300mm) BOND ED & TIED TO WALLS AS PER O.B.C. 9.2.11.2.2. TOP 7/8" (200mm) SOLD.  
OR  
-BEAM POKETS  
-4" (100mm) INTO FDN. WALL W/ WIDTH TO MATCH BEAM SIZE.  
-1/2" (12.7mm) SPACE AROUND WOOD BEAMS (O.B.C. 9.23.2.2)  
-STRUCTURAL JOINTS  
-SIZES BASED ON COLUMN SUPPORTING BEAMS CARRYING LOADS FROM NOT MORE THAN 2 WOOD FLOOR FLOORS, WHERE THE LENGTHS OF JOISTS CARRIED BY SUCH BEAMS DO NOT EXCEED 16'-1" (4.9m) AND THE LIVE LOAD ON ANY FLOOR DOES NOT EXCEED 50 psf (2.4kPa)

#### STIEE PIPE COLUMN:

O.B.C. 9.15.3.4 & 9.17.3  
-FIXED COLUMN  
-MIN. 3 1/2" (90mm) DIA. W/ 3 1/8" (4.7mm) WALL THICKNESS  
-FOR STEEL BEAMS, CLIPS @ TOP & MIN. 6" X 4" X 1/4" (152mm X 100mm X 6.35mm) STEEL BLM. PLATE  
-FOR WOOD BEAMS, MIN. 4" X 4" X 1/4" (102mm X 100mm X 6.35mm) STEEL TOP & BLM. PLATES, OR TOP PLATE TO EXTEND MIN. WIDTH OF BEAM  
-ADJUST COLUMN TO CONFORM TO CAN/COSB-2.24 WHERE IMPOSED LOAD DOES NOT EXCEED 1600 lbs (7.2kN)  
COL SPACING:  
2 STOREY  
-MAX. 9'-10" (297mm)  
-34" X 34" X 1/4" (860mm X 860mm X 6.35mm)  
-MAX. 16'-0" (4880mm)  
3 STOREY  
-MAX. 9'-10" (297mm)  
-40" X 40" X 1/4" (1016mm X 1016mm X 6.35mm)  
-MAX. 16'-0" (4880mm)  
-51" X 51" X 1/4" (1295mm X 1295mm X 6.35mm)

-WHERE COL. SITS ON FDN. WALL, USE 4" X 8" X 5/8" (100mm X 200mm X 16mm) STEEL PLATE WITH 2-5/8" (16mm) ANCHOR BOLTS

#### WOOD COLUMN:

O.B.C. 9.17.4.1, 9.17.4.2 & 9.17.4.3  
-5" x 5" (127mm X 127mm) SOLID WOOD COLUMN - OR  
-3" x 2" x 3" (89mm X 89mm X 89mm) LUGGED COLUMN NAILED TOGETHER W/ 3" (76mm) NAILS SPACED NOT MORE THAN 12" (300mm) APART OR BOLTED TOGETHER W/ 3/8" (9.5mm) DIA. BOLTS SPACED AT 16" (400mm) O.C.  
-WRAP COLUMN BASE W/ 6 MIL POLY  
-COLUMN TO SIT DIRECTLY ON CONC. PAD  
-25'x25" X 12" (640mm X 640mm X 300mm) CONC. PAD (1 FLOOR SUPPORTED W/ 9" (10" COL SPACING)  
-34" X 34" X 14" (860mm X 860mm X 360mm) CONC. PAD (2 FLOORS SUPPORTED W/ 9" (10" COL SPACING)

**BLOCK PARTY WALL BEAM END BEARING: (WOOD BEAM / GIRDER TRUSSES)**  
-2"x8"x12" LEGER BOARD FASTENED W/ 2 1/2" ANCHOR BOLTS @ 4" O.C.  
-WHERE WOOD BEAMS BEAR ON FIREWALLS USE GENERAL NOTE #11  
-WHERE REQUIRED TO OBTAIN S' SEPARATION DISTANCE BETWEEN ADJACENT BEAMS

**BLOCK PARTY WALL BEAM END BEARING: (STEEL BEAM)**  
-12"x11"x3/8" SLT. PLATE ON TOP OF SOLID CONCRETE BLOCK WITH 2 1/2" (25mm) ANCHOR BOLTS.

**WALL ASSEMBLIES:**  
**FOUNDATION WALL:**  
O.B.C. 9.15.4.2  
-FOR WALLS NOT EXCEEDING 8'-0" (2500mm) IN LATERALLY SUPPORTED HEIGHT, 8" (200mm) SOLID 2200psi (15MPa) CONCRETE  
-MAX. UNSUPPORTED HEIGHT OF 3'-11" (1200mm) & MAX. SUPPORTED HEIGHT OF 7'-0" (2100mm) MEASURED FROM GRADE TO FINISHED BASEMENT FLOOR.  
-FOR WALLS NOT EXCEEDING 9'-0" (2750mm) IN LATERALLY SUPPORTED HEIGHT, 10" (250mm) SOLID 2200psi (15MPa) CONCRETE  
-MAX. UNSUPPORTED HEIGHT OF 4'-7" (1400mm) & MAX. SUPPORTED HEIGHT OF 8'-4" (2600mm) MEASURED FROM GRADE TO FINISHED BASEMENT FLOOR.  
-LATERAL SUPPORT PROVIDED BY ANCHOR BOLT SLIT PLATE TO JOISTS.

-FOR CONDITIONS EXCEEDING THESE MAXIMUMS AN ALTERNATIVE IN CONFORMANCE TO O.B.C.-19.15.4.2.A SHALL BE USED OR IT SHALL BE DESIGNED UNDER O.B.C.-PART 4  
-WALL SHALL EXTEND A MIN. 5/8" (150mm) ABOVE GRADE  
-INSULATE W/ R20 (RSI 3.52) CONTINUOUS INSULATION FROM UNDERSIDE OF SUBFLOOR TO NOT MORE THAN 6" (200mm) ABOVE FINISHED FLOOR OF BASEMENT (ZONE I) OBC SB-12.13.1.1.2.A.1

-ALTERNATE INSULATION METHOD: 2" (51mm) R10 (RSI 1.76) RIGID INSULATION W/ 2"x(88mm X 88mm) WOOD STUD W/ R12 (RSI 2.1) BATT INSULATION  
-BACK FILL W/ NON-FROST SUSCEPTIBLE STUCCO  
-THESE DRAWINGS ARE NOT TO BE SCALED. ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR PRIOR TO COMMENCEMENT OF ANY WORK. ANY DISCREPANCIES MUST BE REPORTED DIRECTLY TO RN DESIGN LTD.

### REDUCTION OF THICKNESS:

O.B.C. 9.15.4.7  
-WHERE THE TOP OF THE FOUNDATION WALL IS REDUCED IN THICKNESS TO ALLOW MASONRY FACING, THE METAL TIES SPACED MAX. @ 7/8" (200mm) THICK.  
-TIES TO FACING MATERIAL WITHIN REDUCED THICKNESS MAX. @ 7/8" (200mm) VERTICALLY O.C. & 2'-11" (900mm) HORIZONTALLY.  
-RLL SPACE BETWEEN WALL AND FACING SOLID W/ MORTAR  
-WHERE WALL IS REDUCED FOR JOISTS, THE REDUCED THICKNESS SHALL BE MAX. 13'-3/4" (350mm) HIGH & MIN. 3'-1/2" (900mm) THICK  
-DAMP-PROOFING & WATERPROOFING:

-DAMP-PROOF THE EXTERIOR FACE OF WALL BELOW GRADE AS PER O.B.C. 9.13.2  
-WHERE INSULATION EXTENDS TO MORE THAN 2'-11" (900mm) BELOW GRADE, A FDN. WALL DRAINAGE LAYER SHALL BE PROVIDED IN CONFORMANCE TO O.B.C. 9.14.2.1 (2) (3) (4)  
-FINISHED BASEMENTS SHALL HAVE INTERIOR DAMP-PROOFING EXTENDING FROM SLAB TO GRADE LEVEL & SHALL CONFORM TO O.B.C. 9.13.3.3 (3)  
-WHERE HYDROSTATIC PRESSURE OCCURS, FDN. WALLS SHALL BE WATERPROOFED AS PER O.B.C. 9.13.3.  
-WALLS THAT ARE WATERPROOFED DO NOT REQUIRE DAMP-PROOFING.

**FOUNDATION WALLS @ UNSUPPORTED OPENINGS:**  
-2-20M BARS IN TOP PORTION OF WALL [UP TO 8'-0" (OPENING)  
-3-20M BARS IN TOP PORTION OF WALL [8'-0" TO 10'-0" (OPENING)  
-4-20M BARS IN TOP PORTION OF WALL [10'-0" TO 15'-0" (OPENING)  
-BARS STACKED VERTICALLY AT INTERIOR FACE. APPROX 4" TO 6" APART.  
-BARS TO HAVE MIN. 2" (50mm) LAP.  
-BARS TO EXTEND 2'-0" (600mm) BEYOND BOTH SIDES OF OPENING.

**FRAME WALL CONSTRUCTION:**  
O.B.C. 9.23.2  
-SIDING OR STUCCO AS PER ELEVATIONS, MIN. 7/8" (200mm) FROM FINISHED GRADE (O.B.C. 9.28.1.4 & 9.27.2)  
-WALL SHEATHING MEMBRANE AS PER O.B.C. 9.27.2.2  
-1/4" (6mm) PLYWOOD (EXTERIOR TYPE) OR EQUIVALENT AS PER O.B.C. 9.23.16  
-2" X 4" (88mm X 140mm) WOOD STUDS @ 16" (400mm) O.C.  
-MIN. R22 (RSI 3.87) INSULATION (ZONE I) OBC SB-12.13.1.1.2.A.1  
-CONTINUOUS AIR/VAPOR BARRIER IN CONFORMANCE W/ O.B.C. 9.25.3 & 9.25.4  
-1/2" (12.7mm) GYPSUM BOARD  
-NOTE: SUPPORT FOR 2 + 3 FLOORS ABOVE - O.B.C. 19.23.10.1 =  
-FOR 2 FLOORS SUPPORTED ABOVE, 2" X 4" (88mm X 140mm) STUDS ARE REQUIRED TO BE SPACED @ 12" (300mm) O.C.  
-FOR 3 FLOORS SUPPORTED ABOVE, 2" X 6" (96mm X 140mm) STUDS ARE REQUIRED TO BE SPACED @ 12" (300mm) O.C.  
-REQ. FOR FIRE RATING: LESS THAN 4'-0" LIMITING DISTANCE:

O.B.C. SB-3 WALL - EW1b (STC = N/A, FIRE = 45 MIN)  
FOR 45 MINUTE FIRE RATED WALL REQUIREMENTS SUBSTITUTE AND/OR ADD THE FOLLOWING MATERIALS:  
-REPLACE R22 (RSI 3.87) INSULATION WITH R22 (RSI 3.87) ABSORPTIVE INSULATING MATERIAL WITH A MASS OF AT LEAST 4.8 kg/sq.m.  
-REPLACE 1/2" (12.7mm) INTERIOR GYPSUM BOARD WITH 1/2" (12.7mm) TYPE 'X' GYPSUM BOARD.  
-REQ. FOR FIRE RATING: LESS THAN 4'-0" LIMITING DISTANCE:

O.B.C. SB-3 WALL - EW1b (STC = N/A, FIRE = 45 MIN)  
FOR 45 MINUTE FIRE RATED WALL REQUIREMENTS SUBSTITUTE AND/OR ADD THE FOLLOWING MATERIALS:  
-REPLACE R22 (RSI 3.87) INSULATION WITH R22 (RSI 3.87) ABSORPTIVE INSULATING MATERIAL WITH A MASS OF AT LEAST 4.8 kg/sq.m.  
-REPLACE 1/2" (12.7mm) INTERIOR GYPSUM BOARD WITH 1/2" (12.7mm) TYPE 'X' GYPSUM BOARD.  
-REQ. FOR FIRE RATING: LESS THAN 4'-0" LIMITING DISTANCE:

O.B.C. SB-3 WALL - EW1b (STC = N/A, FIRE = 45 MIN)  
FOR 45 MINUTE FIRE RATED WALL REQUIREMENTS SUBSTITUTE AND/OR ADD THE FOLLOWING MATERIALS:  
-REPLACE R22 (RSI 3.87) INSULATION WITH R22 (RSI 3.87) ABSORPTIVE INSULATING MATERIAL WITH A MASS OF AT LEAST 4.8 kg/sq.m.  
-REPLACE 1/2" (12.7mm) INTERIOR GYPSUM BOARD WITH 1/2" (12.7mm) TYPE 'X' GYPSUM BOARD.  
-REQ. FOR FIRE RATING: LESS THAN 4'-0" LIMITING DISTANCE:

O.B.C. SB-3 WALL - EW1b (STC = N/A, FIRE = 45 MIN)  
FOR 45 MINUTE FIRE RATED WALL REQUIREMENTS SUBSTITUTE AND/OR ADD THE FOLLOWING MATERIALS:  
-REPLACE R22 (RSI 3.87) INSULATION WITH R22 (RSI 3.87) ABSORPTIVE INSULATING MATERIAL WITH A MASS OF AT LEAST 4.8 kg/sq.m.  
-REPLACE 1/2" (12.7mm) INTERIOR GYPSUM BOARD WITH 1/2" (12.7mm) TYPE 'X' GYPSUM BOARD.  
-REQ. FOR FIRE RATING: LESS THAN 4'-0" LIMITING DISTANCE:

O.B.C. SB-3 WALL - EW1b (STC = N/A, FIRE = 45 MIN)  
FOR 45 MINUTE FIRE RATED WALL REQUIREMENTS SUBSTITUTE AND/OR ADD THE FOLLOWING MATERIALS:  
-REPLACE R22 (RSI 3.87) INSULATION WITH R22 (RSI 3.87) ABSORPTIVE INSULATING MATERIAL WITH A MASS OF AT LEAST 4.8 kg/sq.m.  
-REPLACE 1/2" (12.7mm) INTERIOR GYPSUM BOARD WITH 1/2" (12.7mm) TYPE 'X' GYPSUM BOARD.  
-REQ. FOR FIRE RATING: LESS THAN 4'-0" LIMITING DISTANCE:

O.B.C. SB-3 WALL - EW1b (STC = N/A, FIRE = 45 MIN)  
FOR 45 MINUTE FIRE RATED WALL REQUIREMENTS SUBSTITUTE AND/OR ADD THE FOLLOWING MATERIALS:  
-REPLACE R22 (RSI 3.87) INSULATION WITH R22 (RSI 3.87) ABSORPTIVE INSULATING MATERIAL WITH A MASS OF AT LEAST 4.8 kg/sq.m.  
-REPLACE 1/2" (12.7mm) INTERIOR GYPSUM BOARD WITH 1/2" (12.7mm) TYPE 'X' GYPSUM BOARD.  
-REQ. FOR FIRE RATING: LESS THAN 4'-0" LIMITING DISTANCE:

O.B.C. SB-3 WALL - EW1b (STC = N/A, FIRE = 45 MIN)  
FOR 45 MINUTE FIRE RATED WALL REQUIREMENTS SUBSTITUTE AND/OR ADD THE FOLLOWING MATERIALS:  
-REPLACE R22 (RSI 3.87) INSULATION WITH R22 (RSI 3.87) ABSORPTIVE INSULATING MATERIAL WITH A MASS OF AT LEAST 4.8 kg/sq.m.  
-REPLACE 1/2" (12.7mm) INTERIOR GYPSUM BOARD WITH 1/2" (12.7mm) TYPE 'X' GYPSUM BOARD.  
-REQ. FOR FIRE RATING: LESS THAN 4'-0" LIMITING DISTANCE:


O.B.C. SB-3 WALL - EW1b (STC = N/A, FIRE = 45 MIN)  
FOR 45 MINUTE FIRE RATED WALL REQUIREMENTS SUBSTITUTE AND/OR ADD THE FOLLOWING MATERIALS:  
-REPLACE R22 (RSI 3.87) INSULATION WITH R22 (RSI 3.87) ABSORPTIVE INSULATING MATERIAL WITH A MASS OF AT LEAST 4.8 kg/sq.m.  
-REPLACE 1/2" (12.7mm) INTERIOR GYPSUM BOARD WITH 1/2" (12.7mm) TYPE 'X' GYPSUM BOARD.  
-REQ. FOR FIRE RATING: LESS THAN 4'-0" LIMITING DISTANCE:

O.B.C. SB-3 WALL - EW1b (STC = N/A, FIRE = 45 MIN)  
FOR 45 MINUTE FIRE RATED WALL REQUIREMENTS SUBSTITUTE AND/OR ADD THE FOLLOWING MATERIALS:  
-REPLACE R22 (RSI 3.87) INSULATION WITH R22 (RSI 3.87)





I, JORGE MORENO DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD. UNDER DIVISION C, PART 3 SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 47245  
FIRM BCIN: 26995  
DATE: 

SIGNATURE:

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	04/07/2014	ps	rpo
2	REVISED AS PER ROOF TRUSS COORDINATION.	14-Aug-14	rpo	djh
3	REVISED AS PER FLOOR COORDINATION.	15/08/2014	RPA	DJH
4	REVISED AS PER ENGINEERING COMM.	27/05/2015	RPA	DJH
5	ISSUED FOR PERMIT	16/04/2015	RPA	DJH
6	REVISED PER 2017 OBC ENACTMENT	21-Feb-17	PM	JP
7	ISSUE FOR FINAL	22-Aug-17	jo	jm
8	ADDED SUMP PUMP, FOR LOT 8	21-NOV-17	JM	JM
9	CHANGE PARTY WALLS TO DBL STUD.	4-JUNE-19	JM	JM
10				
11				
12				

client

Gold Park  
Homes

project

McLaughlin and  
Mayfield

model

SD-2  
Brampton

project #

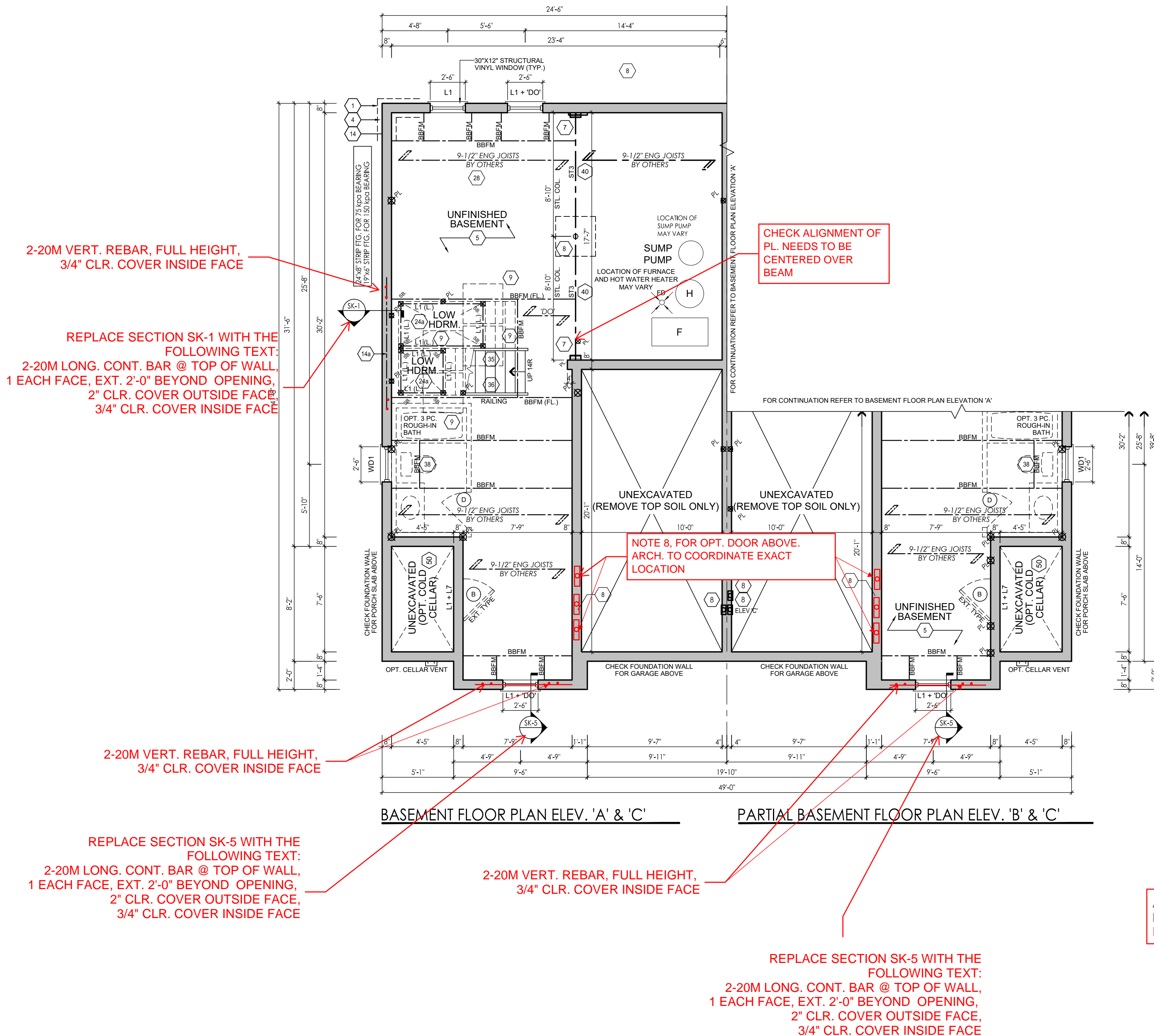
13098

scale

3/16" = 1'0"

tot(s)

A1



QUALIFIED DESIGNER BCIN: 47245  
FIRM BCIN: 26995  
DATE: J. My  
SIGNATURE: \_\_\_\_\_

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

---

---

client

---

project

---

model

---

project # 13098

scale  $3/16" = 1'0"$

 $\log(s)$



I, JORGE MORENO DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF **RN DESIGN LTD** UNDER DIVISION C, PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 47245  
FIRM BCIN: 26995  
DATE: July

SIGNATURE:

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	04/07/2014	ps	rpa
2	REVISED AS PER ROOF TRUSS COORDINATION.	14/08/2014	rpa	gh
3	REVISED AS PER ENGINEERING COMM.	27/05/2015	RPA	DJH
4	ISSUED FOR PERMIT	16/06/2015	RPA	DJH
5	REVISED PER 2017 CBC ENACTMENT	21-Feb-17	PM	JP
6	ISSUE FOR FINAL	22-Aug-17	lo	jm
7	CHANGE PARTY WALLS TO DBL STUD	4-JUNE-19	JM	JM
8				
9				
10				
11				
12				

client

Gold Park  
Homes

project

Mclaughlin and  
Mayfield

model

SD-2

Brampton

project #

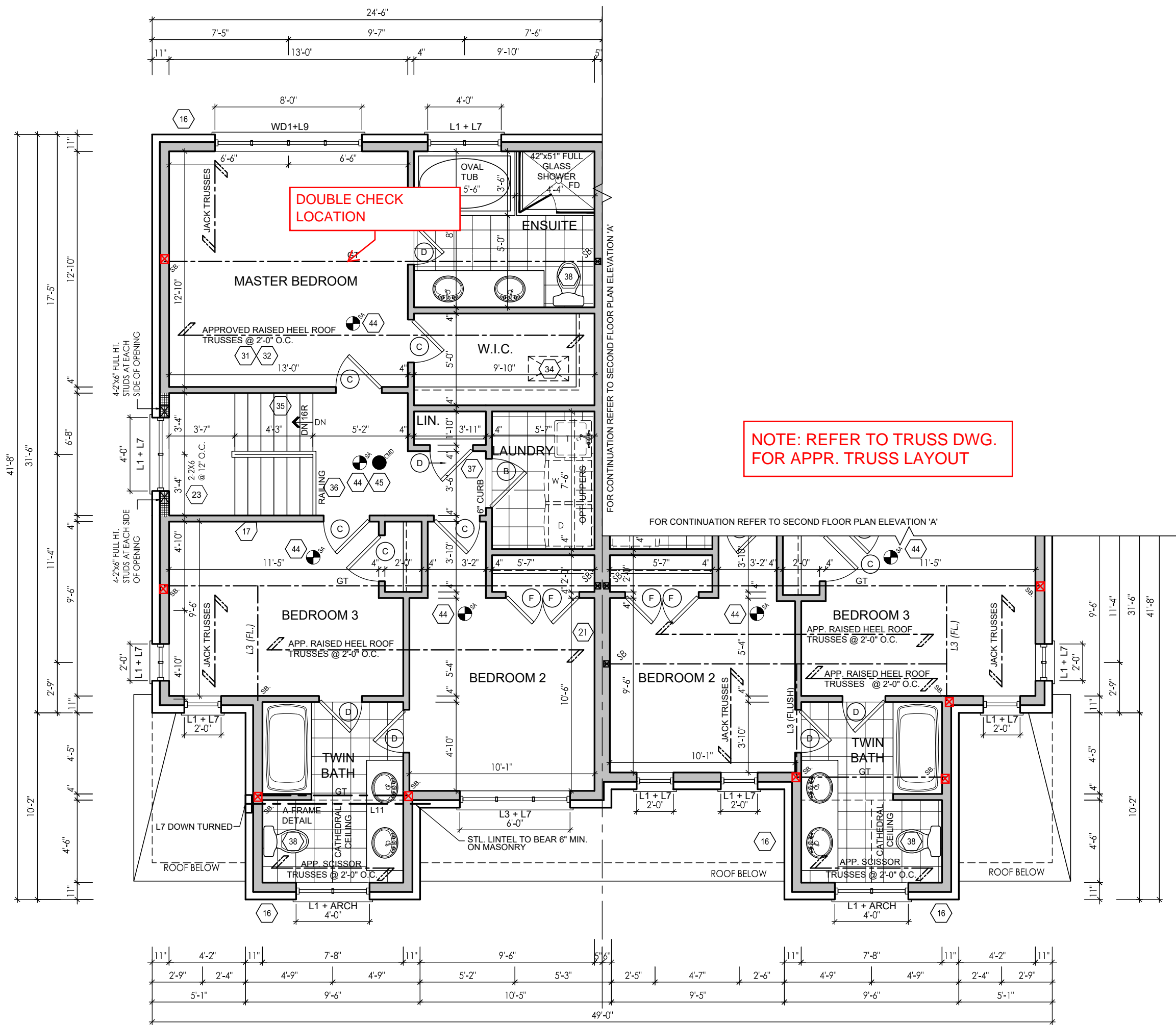
13098

scale

3/16" = 1'0"

lot(s)

A3



SECOND FLOOR PLAN ELEV. 'A'

PARTIAL SECOND FLOOR PLAN ELEV. 'B'

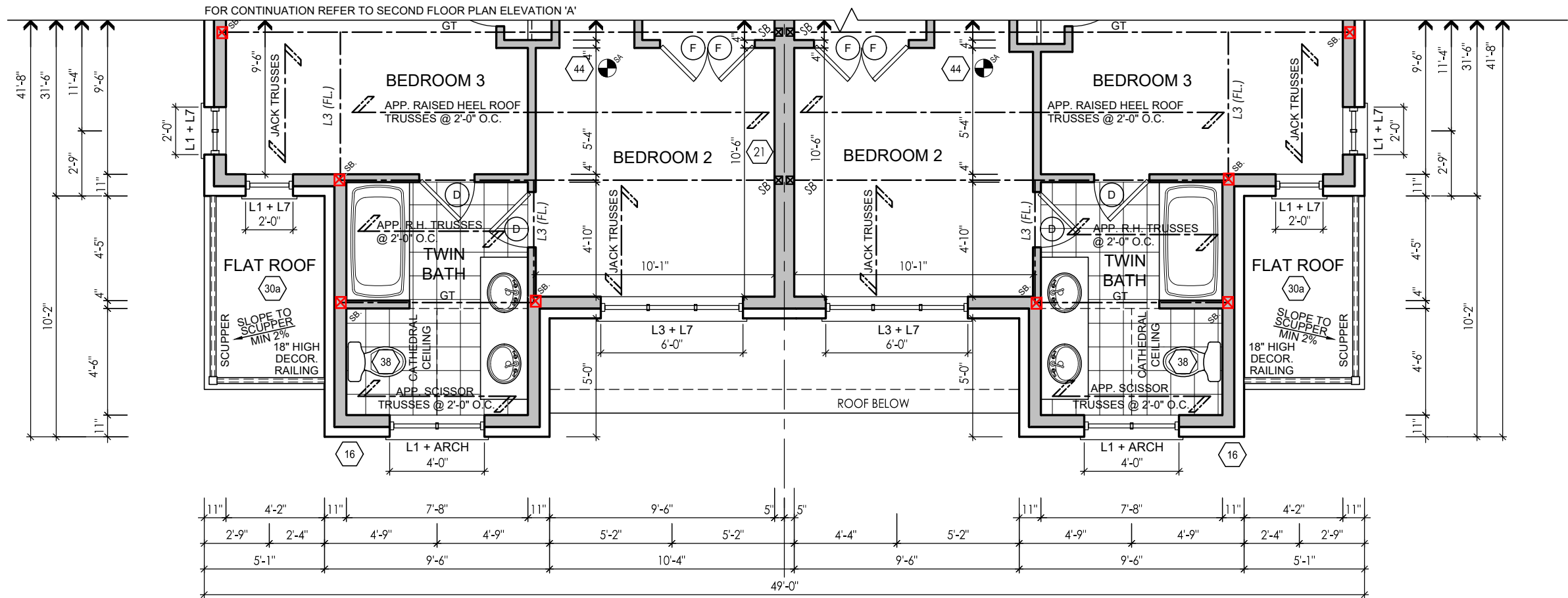




I, JORGE MORENO DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF **RN DESIGN LTD** UNDER DIVISION C, PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

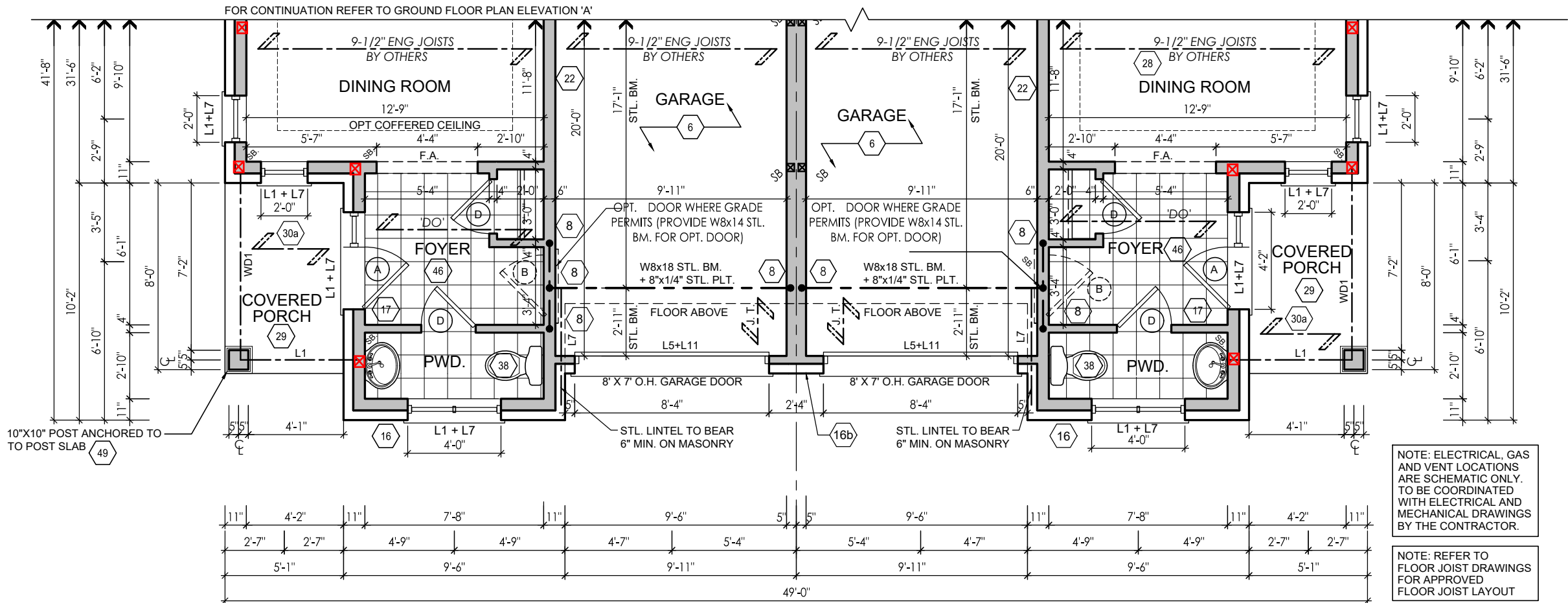
QUALIFIED DESIGNER BCIN: 47245  
FIRM BCIN: 26995  
DATE: *J. W.*

SIGNATURE:



PARTIAL SECOND FLOOR PLAN ELEV. 'C'

NOTE: REFER TO TRUSS DWG.  
FOR APPR. TRUSS LAYOUT



PARTIAL GROUND FLOOR PLAN ELEV. 'C'

NOTE: REFER TO TRUSS  
DRAWINGS FOR APPR.  
TRUSS LAYOUT

NOTE: ELECTRICAL, GAS  
AND VENT LOCATIONS  
ARE SCHEMATIC ONLY.  
TO BE COORDINATED  
WITH ELECTRICAL AND  
MECHANICAL DRAWINGS  
BY THE CONTRACTOR.

NOTE: REFER TO  
FLOOR JOIST DRAWINGS  
FOR APPROVED  
FLOOR JOIST LAYOUT

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	04/07/2014	ps	rpa
2	REVISED AS PER ROOF TRUSS COORDINATION.	14-Aug-14	rpa	gh
3	REVISED AS PER FLOOR COORDINATION.	15/08/2014	RPA	DJH
4	REVISED AS PER ENGINEERING COMM.	27/05/2015	RPA	DJH
5	ISSUED FOR PERMIT	16/06/2015	RPA	DJH
6	REVISED PER 2017 OBC ENACTMENT	21-Feb-17	PM	JP
7	ISSUE FOR FINAL	22-Aug-17	to	jm
8	CHANGE PARTY WALLS TO DBL STUD	4-JUNE-19	JM	JM
9				
10				
11				
12				

client

Gold Park  
Homes

project

Mclaughlin and  
Mayfield

model

SD-2  
Brampton

project #

13098

scale

3/16" = 1'0"

lot(s)

A4



GROSS GLAZING AREA 'A'

TOTAL PERIPHERAL WALL AREA	2385.07 SF	221.57 m²
FRONT GLAZING AREA	81.25 SF	7.55 m²
LEFT SIDE GLAZING AREA	41.53 SF	3.86 m²
RIGHT SIDE GLAZING AREA	0 SF	0.00 m²
REAR GLAZING AREA	140.19 SF	13.02 m²

TOTAL GLAZING AREA	262.97 SF	24.43 m²
TOTAL GLAZING PERCENTAGE	11.03 %	

GROSS GLAZING AREA 'B'

TOTAL PERIPHERAL WALL AREA	2378.29 SF	220.94 m²
FRONT GLAZING AREA	76.06 SF	7.07 m²
LEFT SIDE GLAZING AREA	0.0 SF	0.00 m²
RIGHT SIDE GLAZING AREA	41.53 SF	3.86 m²
REAR GLAZING AREA	140.19 SF	13.02 m²

TOTAL GLAZING AREA	257.78 SF	23.95 m²
TOTAL GLAZING PERCENTAGE	10.84 %	

RN design

Imagine • Inspire • Create

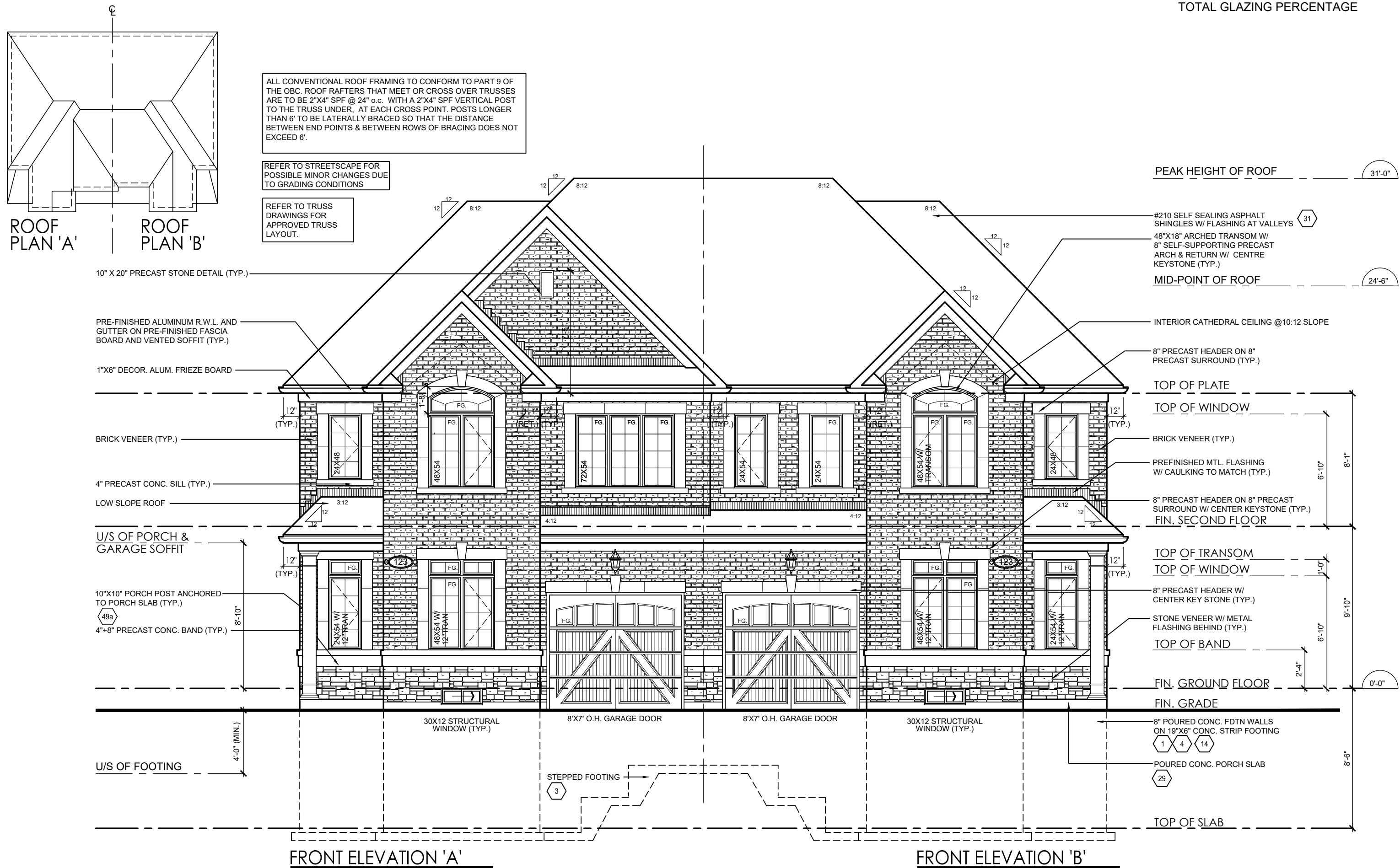


I, JORGE MORENO DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD. UNDER DIVISION C, PART 3 SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 47245  
FIRM BCIN: 26995  
DATE:

SIGNATURE:

J. Moreno



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	04/07/2014	ps	rpo
2	ISSUED FOR PERMIT	16/04/2015	RPA	DJH
3	ISSUED FOR PERMIT	2017-08-25	MM	JM
4	REVISED GROUND FLOOR FRONT WINDOWS AS PER CLIENT REQUEST	2-Jan-18	HZ	DJH
5				
6				
7				
8				
9				
10				
11				
12				

client

Gold Park  
Homes

project

Mclaughlin and  
Mayfield

model

SD-2  
Brampton

project #

13098

scale

3/16" = 1'0"

lot(s)

A5

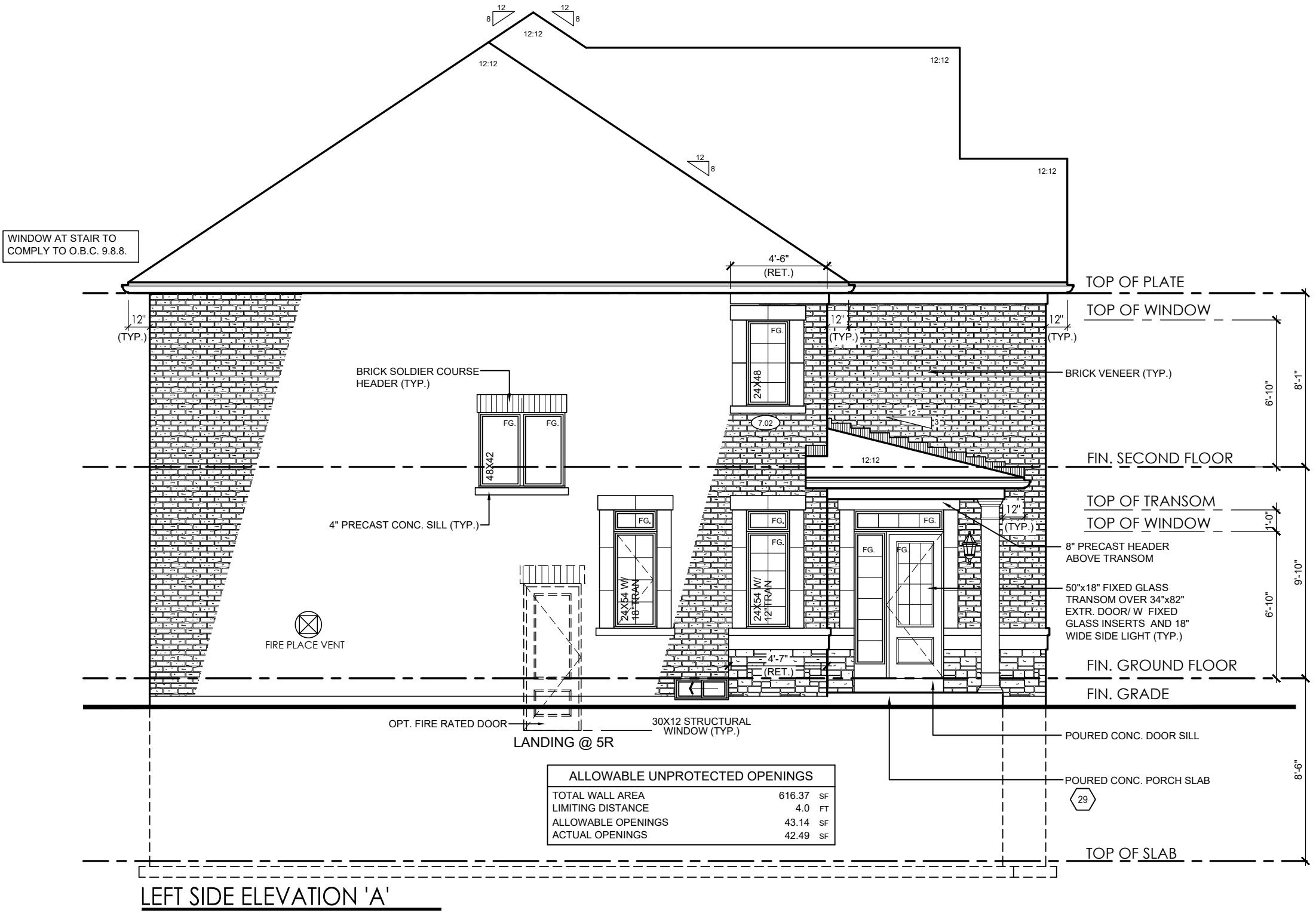
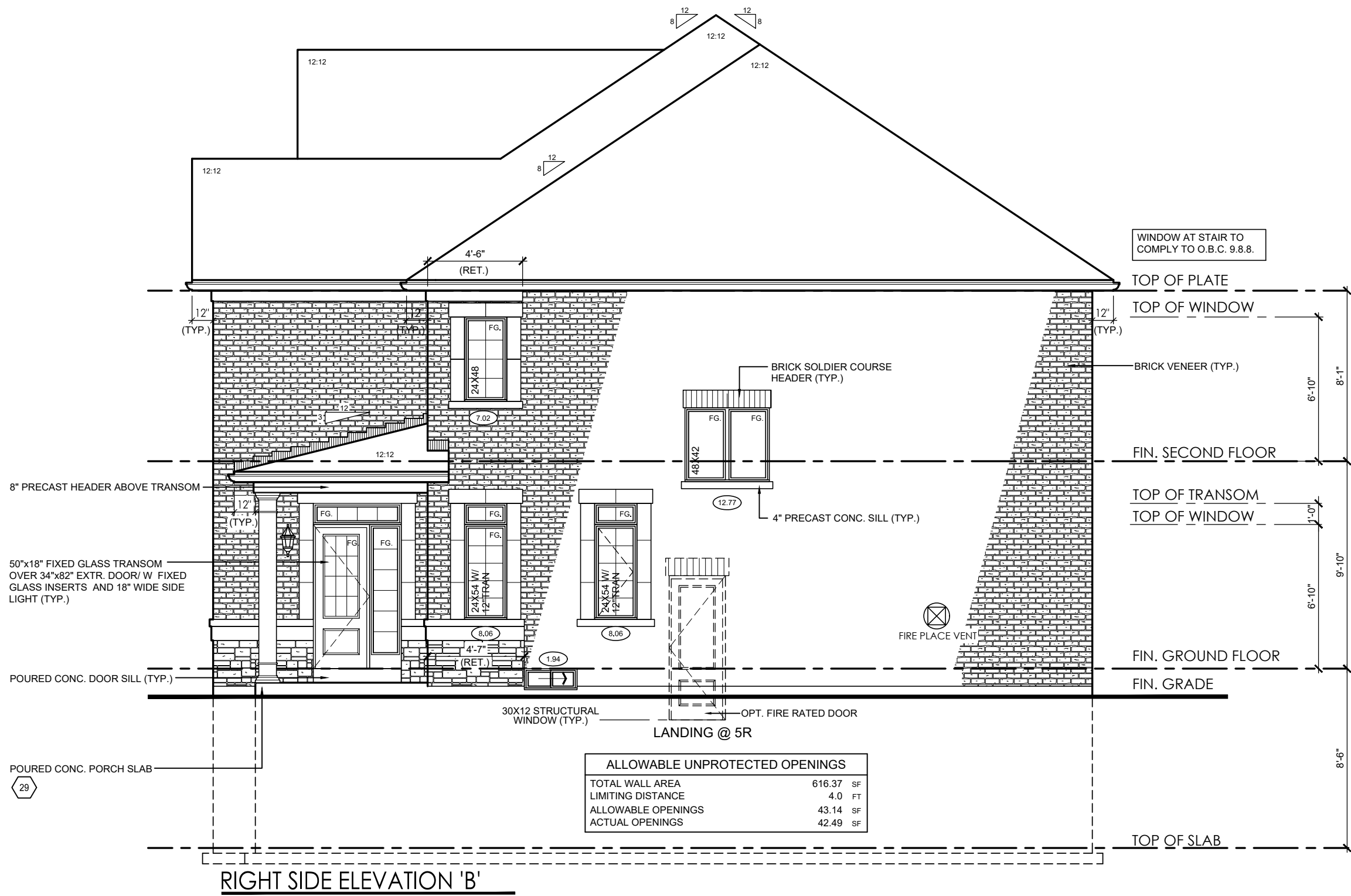




I, JORGE MORENO DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF **RN DESIGN LTD.** UNDER DIVISION C, PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 47245  
FIRM BCIN: 26995  
DATE: \_\_\_\_\_

SIGNATURE: \_\_\_\_\_



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	04/07/2014	DS	RPO
2	ISSUED FOR PERMIT	16/06/2015	RPA	DJH
3	ISSUED FOR PERMIT	2017-08-25	MM	JM
4	REVISED GROUND FLOOR FRONT WINDOWS AS PER CLIENT REQUEST	2-Jan-18	HZ	DJH
5				
6				
7				
8				
9				
10				
11				
12				

client	Gold Park Homes
project	McLaughlin and Mayfield
model	SD-2 Brampton
project #	13098
scale	3/16" = 1'0"
lot(s)	

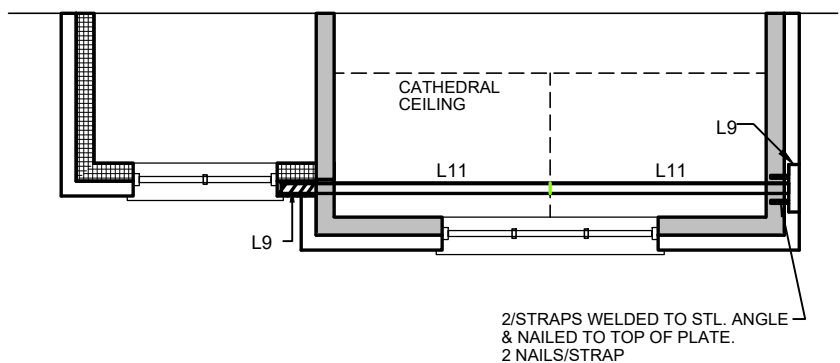
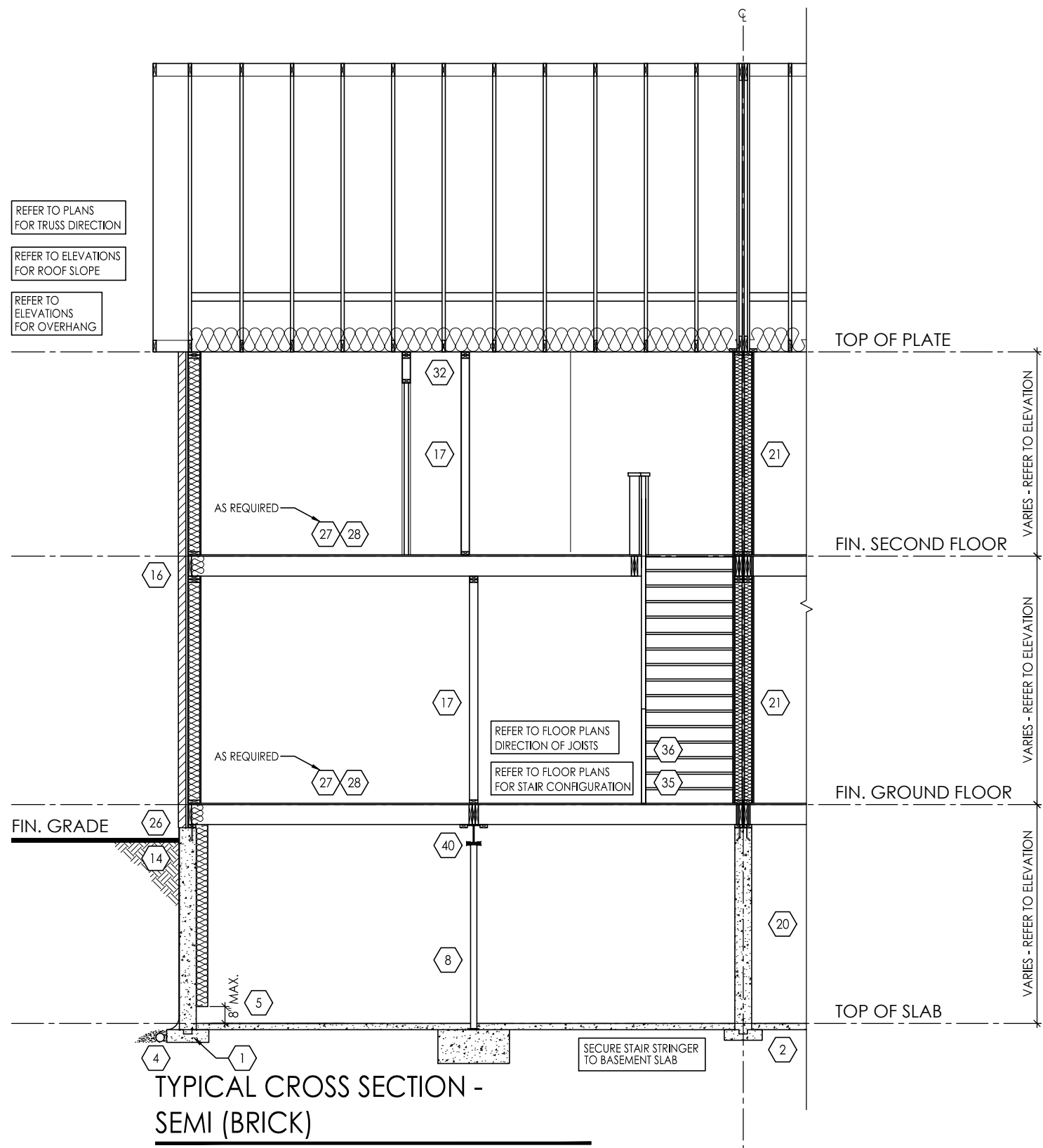




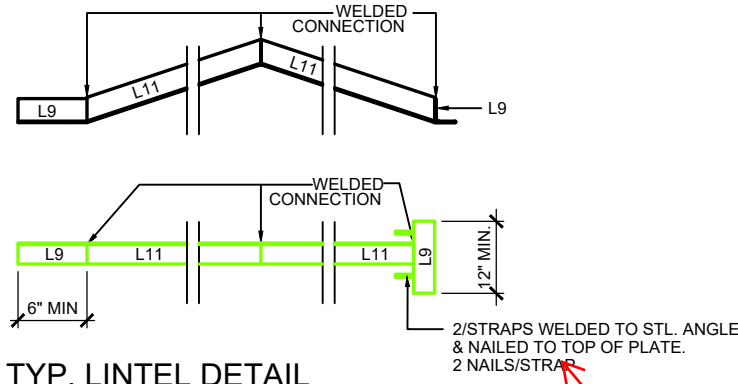
I, JORGE MORENO DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF **RN DESIGN LTD.** UNDER DIVISION C, PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 47245  
FIRM BCIN: 26995  
DATE: \_\_\_\_\_

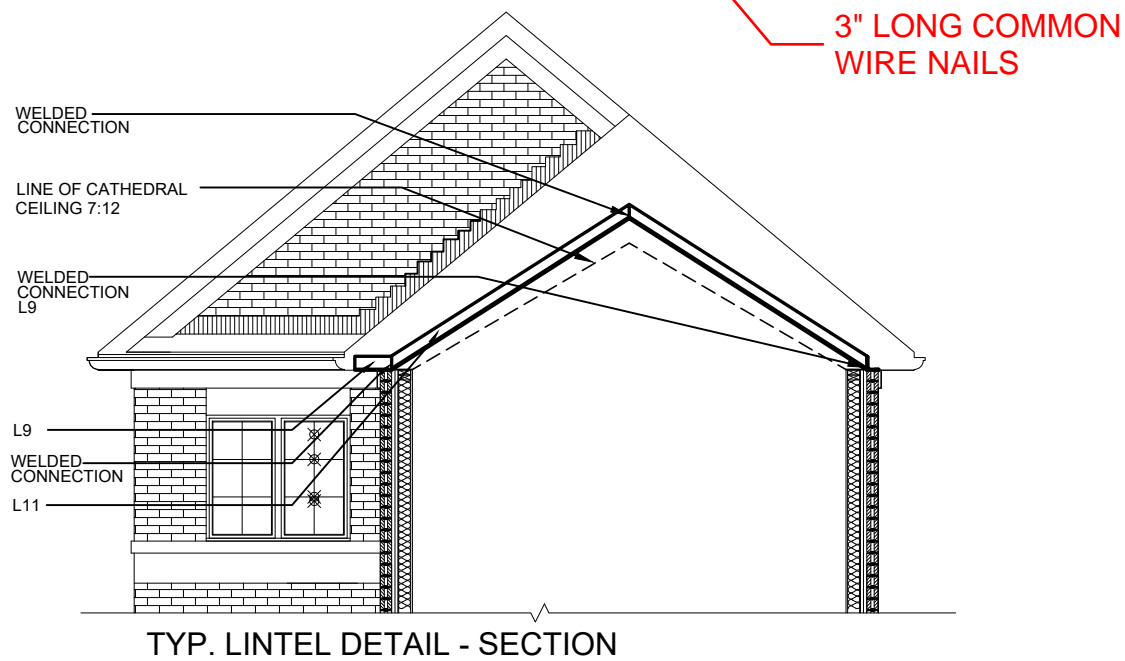
SIGNATURE: \_\_\_\_\_



TYP. LINTEL DETAIL - PLAN



TYP. LINTEL DETAIL



TYP. LINTEL DETAIL - SECTION

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	04/07/2014	ps	rpa
2	ISSUED FOR PERMIT	14/04/2015	RPA	DJH
3	ISSUED FOR PERMIT	2017-08-25	MM	JM
4				
5				
6				
7				
8				
9				
10				
11				
12				

client	Gold Park Homes
project	Mclaughlin and Mayfield
model	SD-2 Brampton
project #	13098
scale	3/16" = 1'0"
lot(s)	



GROSS GLAZING AREA 'C'

TOTAL PERIPHERAL WALL AREA	2378.29 SF	220.94 m²
FRONT GLAZING AREA	91.7 SF	8.52 m²
LEFT SIDE GLAZING AREA	0.0 SF	0.00 m²
RIGHT SIDE GLAZING AREA	41.53 SF	3.86 m²
REAR GLAZING AREA	140.19 SF	13.02 m²
TOTAL GLAZING AREA	273.42 SF	25.40 m²
TOTAL GLAZING PERCENTAGE	11.50 %	

GROSS GLAZING AREA 'C' RIGHT

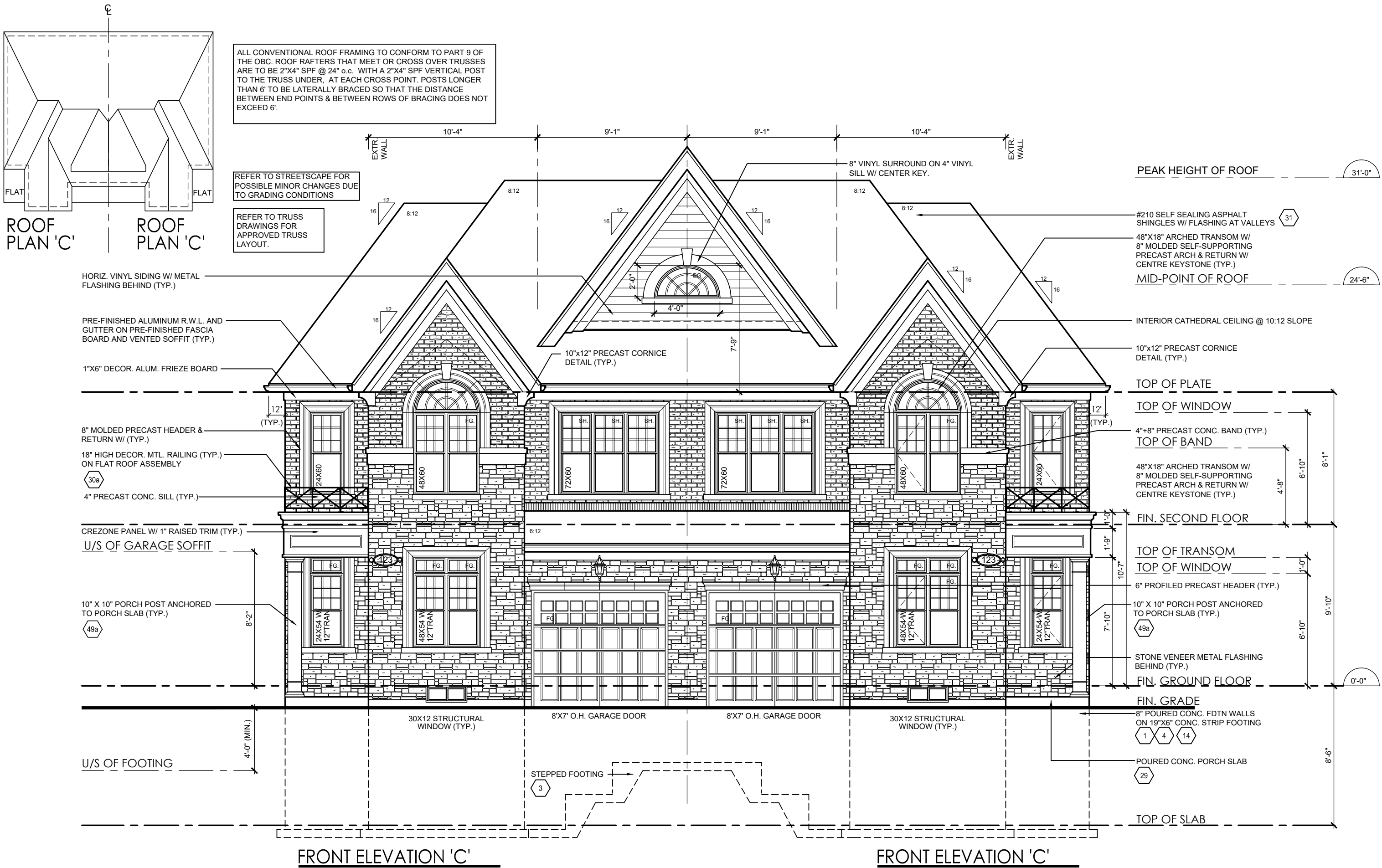
TOTAL PERIPHERAL WALL AREA	2378.29 SF	220.94 m²
FRONT GLAZING AREA	101.27 SF	9.41 m²
LEFT SIDE GLAZING AREA	0.0 SF	0.00 m²
RIGHT SIDE GLAZING AREA	65.09 SF	6.05 m²
REAR GLAZING AREA	143.89 SF	13.37 m²
TOTAL GLAZING AREA	310.25 SF	28.82 m²
TOTAL GLAZING PERCENTAGE	13.05 %	



I, JORGE MORENO DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF **RN DESIGN LTD.** UNDER DIVISION C, PART-3 SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 47245  
FIRM BCIN: 26995  
DATE:

SIGNATURE:



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	04/07/2014	ps	rpa
2	ISSUED FOR PERMIT	14/04/2015	RPA	DJM
3	ISSUED FOR PERMIT	2017-08-25	MM	JM
4				
5				
6				
7				
8				
9				
10				
11				
12				

client

Gold Park  
Homes

project

Mclaughlin and  
Mayfield

model

SD-2  
Brampton

project #

13098

scale

3/16" = 1'0"

lot(s)

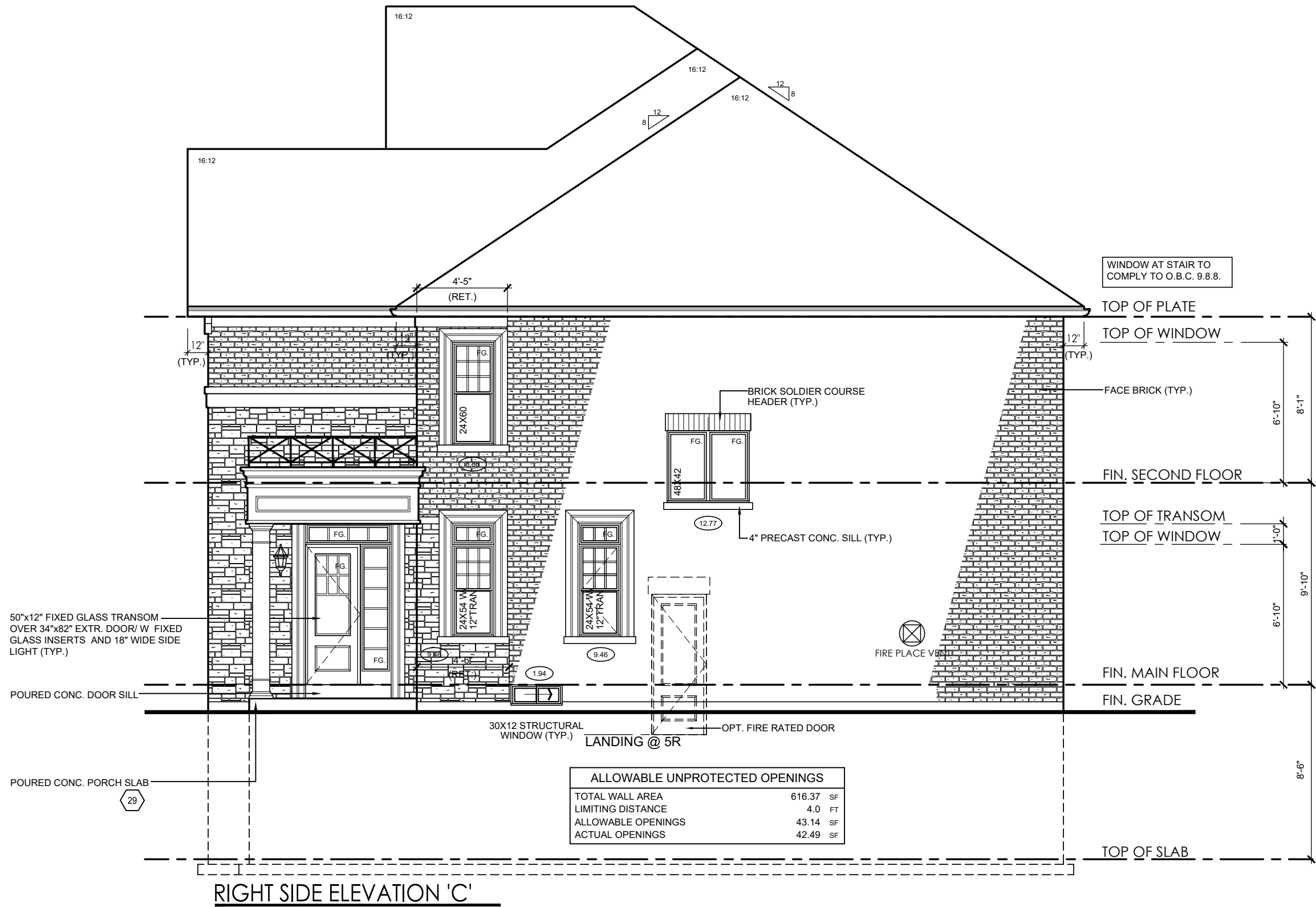
A8



I, JORGE MORENO DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF **RN DESIGN LTD.** UNDER DIVISION C, PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 47245  
FIRM BCIN: 26995  
DATE: \_\_\_\_\_

SIGNATURE: \_\_\_\_\_



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	04/07/2014	ps	rpa
2	REVISED AS PER ARCH. CONTROL COMMENTS.	13/08/2014	rpa	gh
3	ISSUED FOR PERMIT	16/06/2015	RPA	DJH
4	ISSUED FOR PERMIT	2017-08-25	MM	JM
5				
6				
7				
8				
9				
10				
11				
12				

client	Gold Park Homes
project	Mclaughlin and Mayfield
model	SD-2 Brampton
project #	13098
scale	3/16" = 1'0"
lot(s)	





QUALIFIED DESIGNER BCIN: 47243  
FIRM BCIN: 26993  
DATE:

\_\_\_\_\_  
SIGNATURE

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

#	revisions	date	dwn	ch
1	ISSUED FOR CLIENT REVIEW	1-JUN-17	mm	jm
2	REVISED PER FLOOR/TRUSS COORD	31-AUG-17	MM	JW
3	REVISED PER ENG. COMMENTS	26-SEP-17	PV	DJL
4	ISSUED FOR PERMIT	4-OCT-17	PV	JW
5				
6				
7				
8				
9				
10				
11				
12				

client

Gold Park  
Homes

project

Mclaughlin and  
Mayfield

---

modelSD-2  
Brampton

---

project #

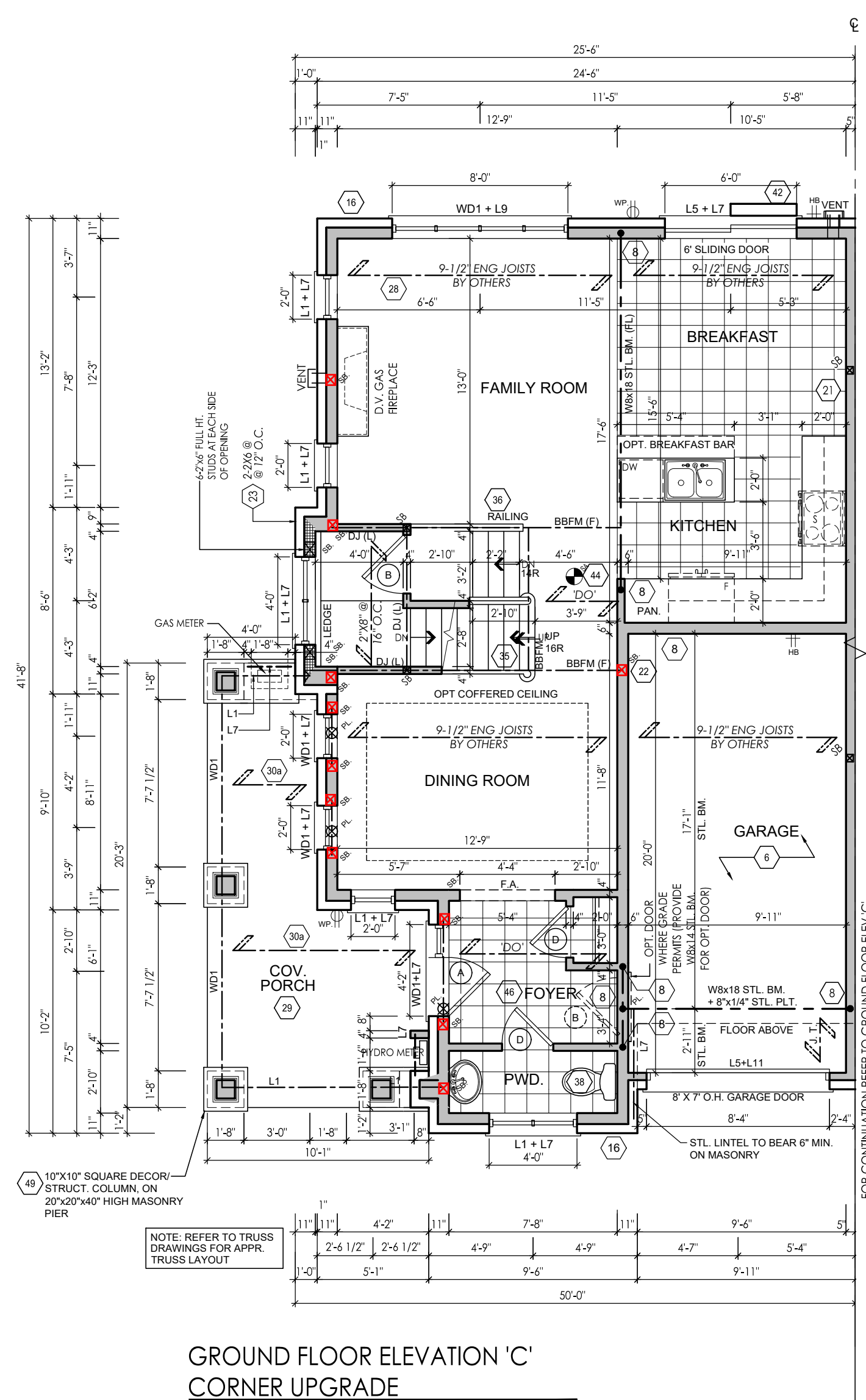
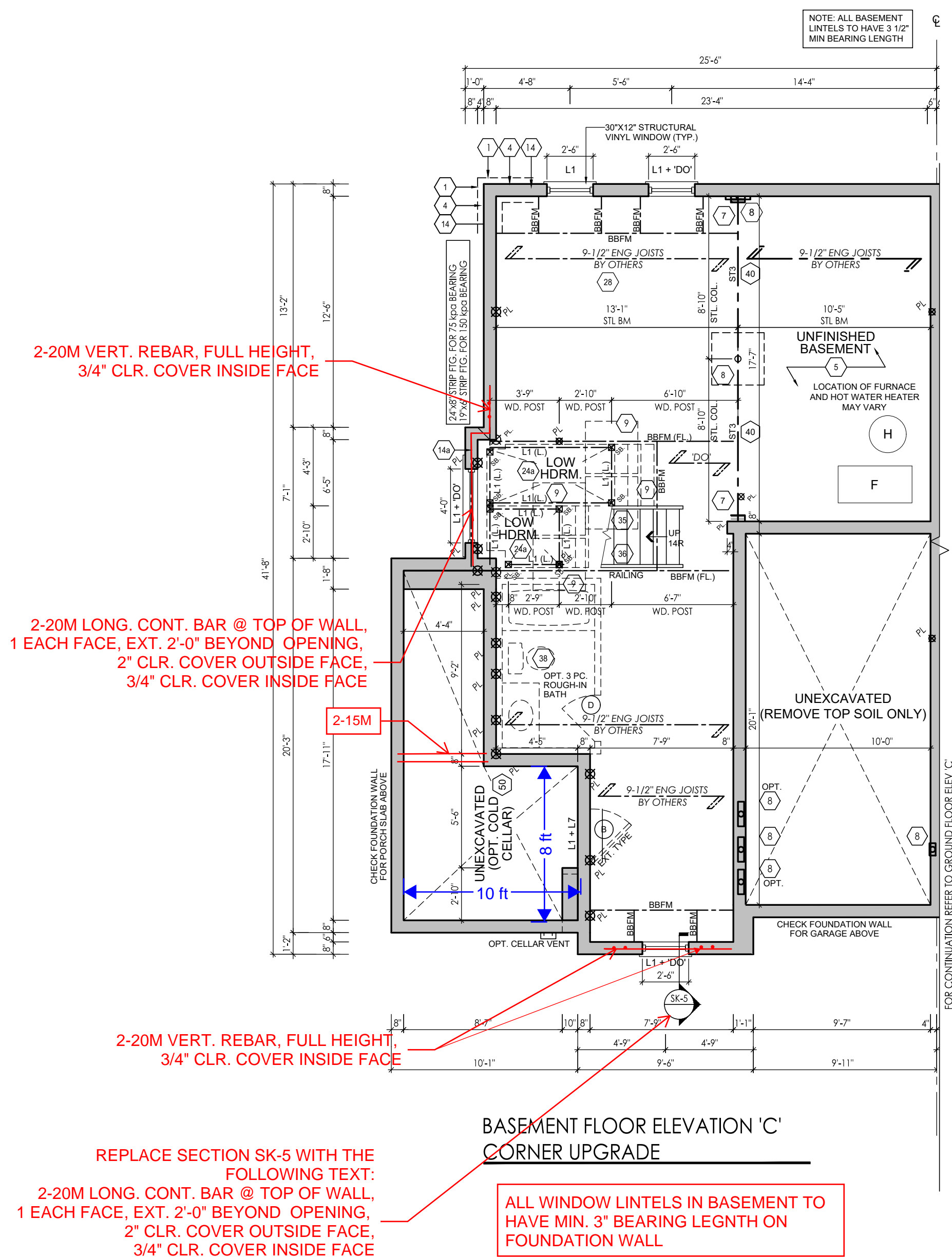
13098

scale

$$3/16'' = 1'0''$$

lot(s)

# A10



GROUND FLOOR ELEVATION 'C'  
CORNER UPGRADE

I, JORGE MORENO DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD UNDER DIVISION C, PART-3 SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 47245  
FIRM BCIN: 26995  
DATE:

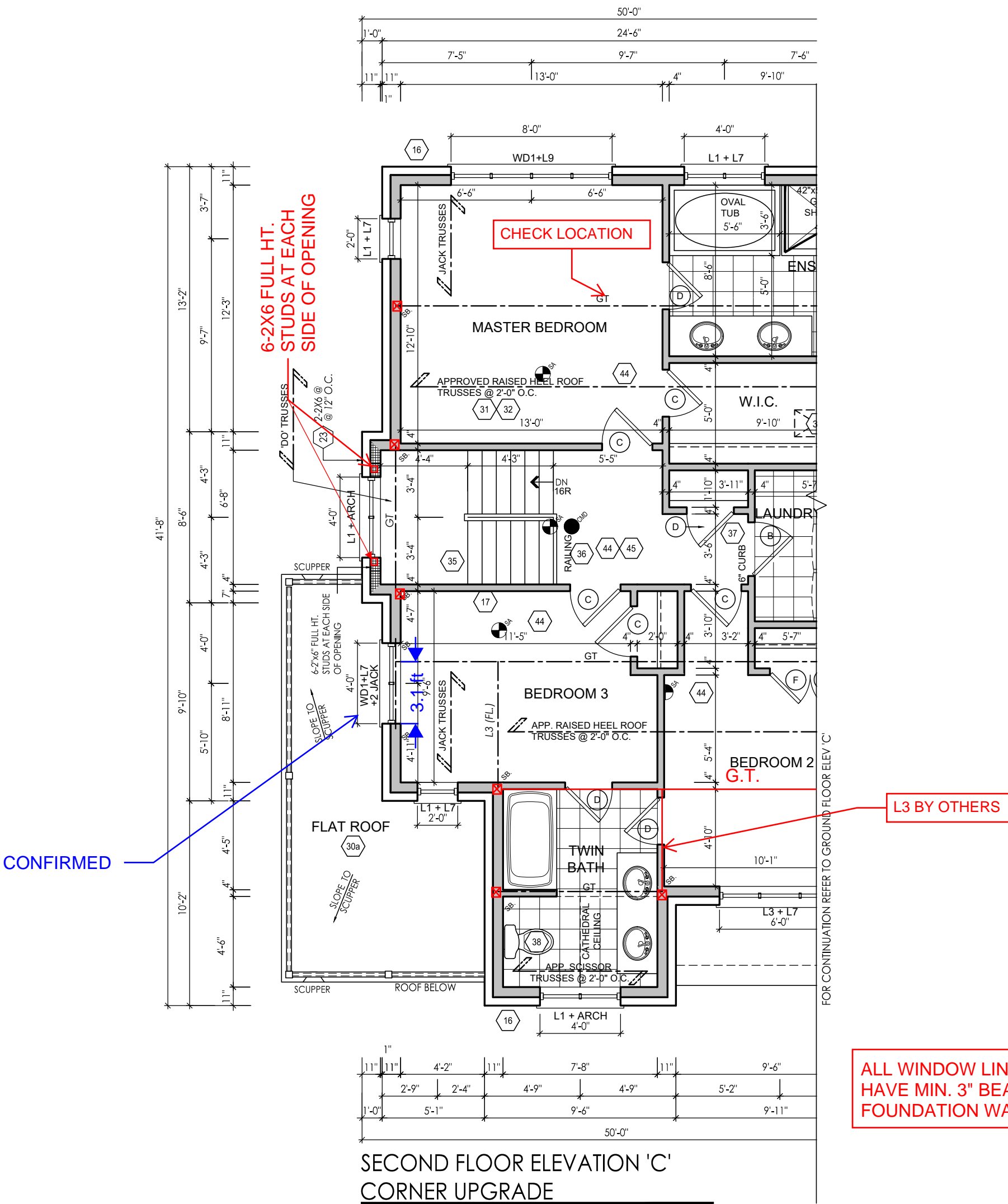
SIGNATURE: 

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	1-JUN-17	mm	jm
2	REVISED PER FLOOR/TRUSS COORD	31-AUG-17	MM	JM
3	REVISED PER ENG. COMMENTS	26-SEPT-17	PV	DJH
4	ISSUED FOR PERMIT	4-OCT-17	PV	JM
5				
6				
7				
8				
9				
10				
11				
12				

client	Gold Park Homes
project	Mclaughlin and Mayfield
model	SD-2 Brampton
project #	13098
scale	3/16" = 1'0"
lot(s)	







I, JORGE MORENO DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD UNDER DIVISION C, PART 3 SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 47245  
FIRM BCIN: 26995  
DATE: \_\_\_\_\_  
SIGNATURE: *J. Moreno*

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	1-JUN-17	mm	jm
2	REVISED PER FLOOR/TRUSS COORD	31-AUG-17	MM	JM
3	ISSUED FOR PERMIT	4-OCT-17	PV	JM
4				
5				
6				
7				
8				
9				
10				
11				
12				

client

Gold Park  
Homes

project

McLaughlin and  
Mayfield

model

SD-2  
Brampton

project #

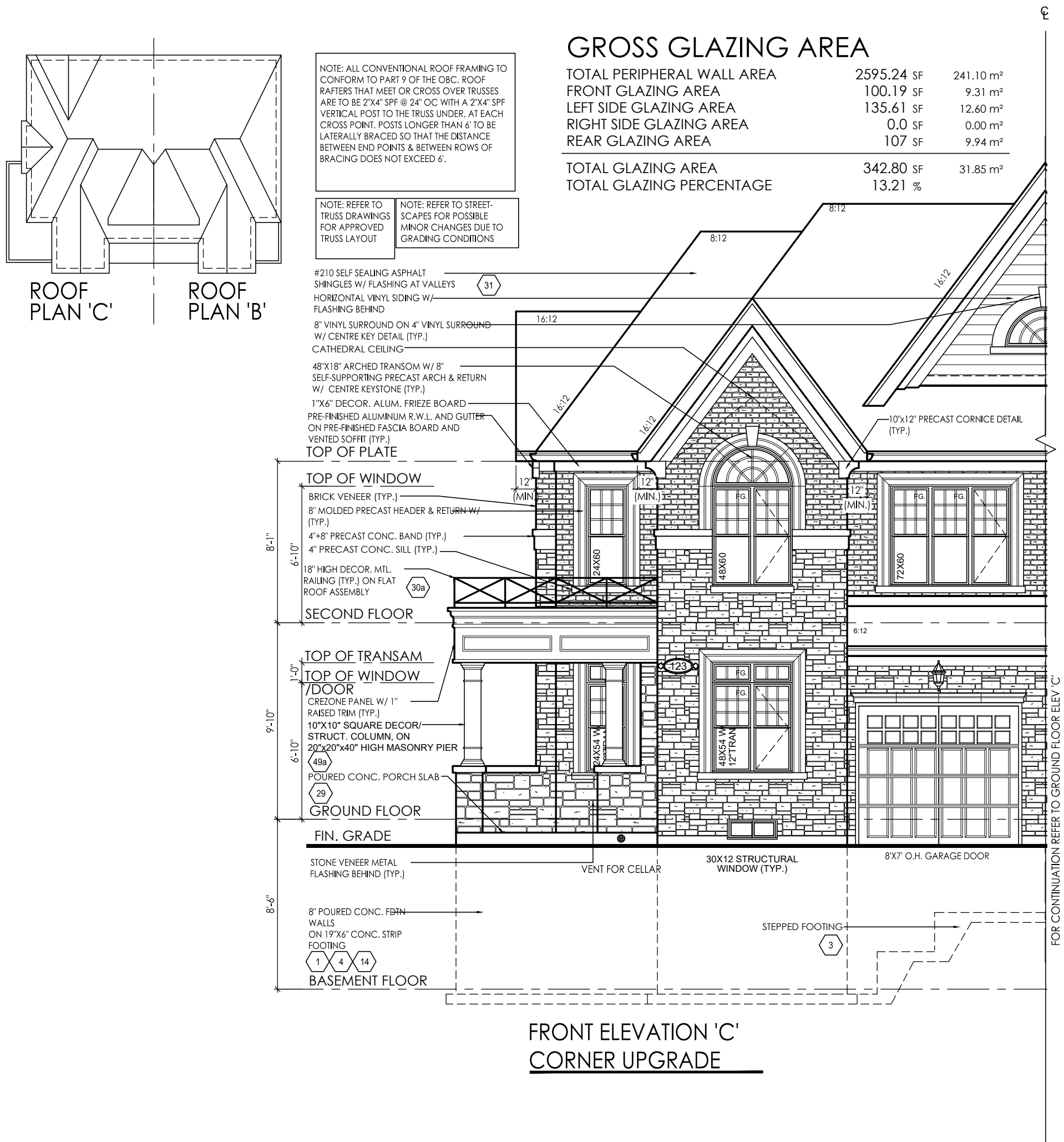
13098

scale

3/16" = 1'0"

lot(s)

A12





I, JORGE MORENO DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD UNDER DIVISION C, PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 47245  
FIRM BCIN: 26995  
DATE: \_\_\_\_\_

SIGNATURE:

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	1-JUN-17	mm	jm
2	REVISED PER FLOOR/TRUSS COORD	31-AUG-17	MM	JM
3	ISSUED FOR PERMIT	4-OCT-17	PV	JM
4				
5				
6				
7				
8				
9				
10				
11				
12				

client

Gold Park  
Homes

project

Mclaughlin and  
Mayfield

model

SD-2  
Brampton

project #

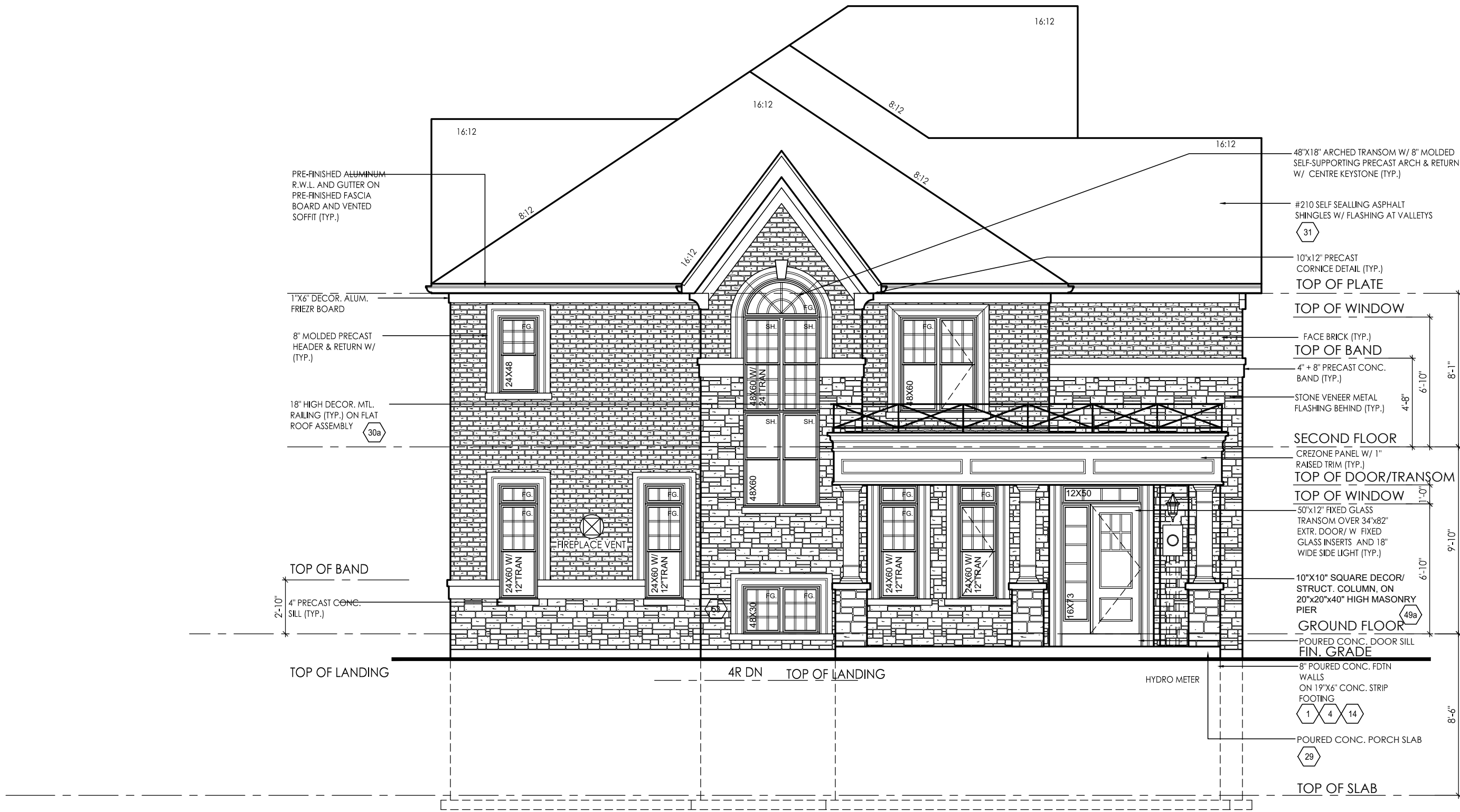
13098

scale

3/16" = 1'0"

lot(s)

A13



LEFT ELEVATION 'C'  
CORNER UPGRADE

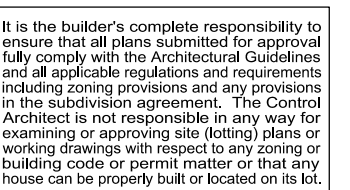


SIGNATURE:

245  
995

1995

ky



This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

#	revisions	dte	dwn	chk
1	ISSUED FOR CLIENT REVIEW	1-JUN-17	mm	jm
2	REVISED PER FLOOR/TRUSS COORD	31-AUG-17	MM	JM
3	ISSUED FOR PERMIT	4-OCT-17	PV	JM
4				
5				
6				
7				
8				
9				
10				
11				
12				

I, JORGE MORENO DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD UNDER DIVISION C, PART 3 SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN:  
FIRM BCIN:  
DATE:

47245  
26995

SIGNATURE:

J. WY

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	6/28/2017	MM	JM
2	REVISED PER FLOOR/TRUSS COORD	31-AUG-17	MM	JM
3	REVISED PER ENG. COMMENTS	26-SEPT-17	PV	DJH
4	ISSUED FOR PERMIT	4-OCT-17	PV	JM
5				
6				
7				
8				
9				
10				
11				
12				

client

Gold Park  
Homes

project

Mclaughlin and  
Mayfield

model

SD-2  
Brampton

project #

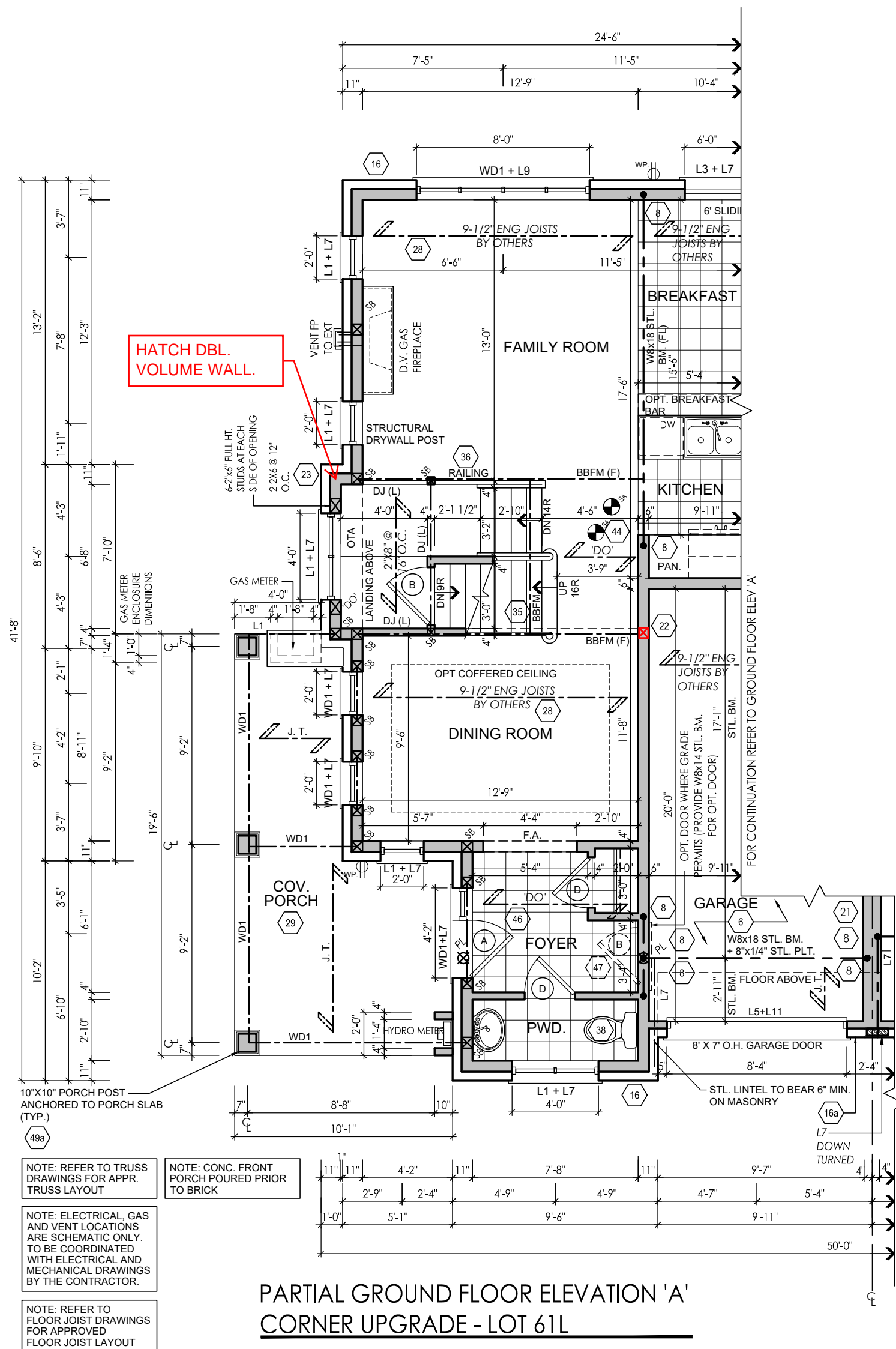
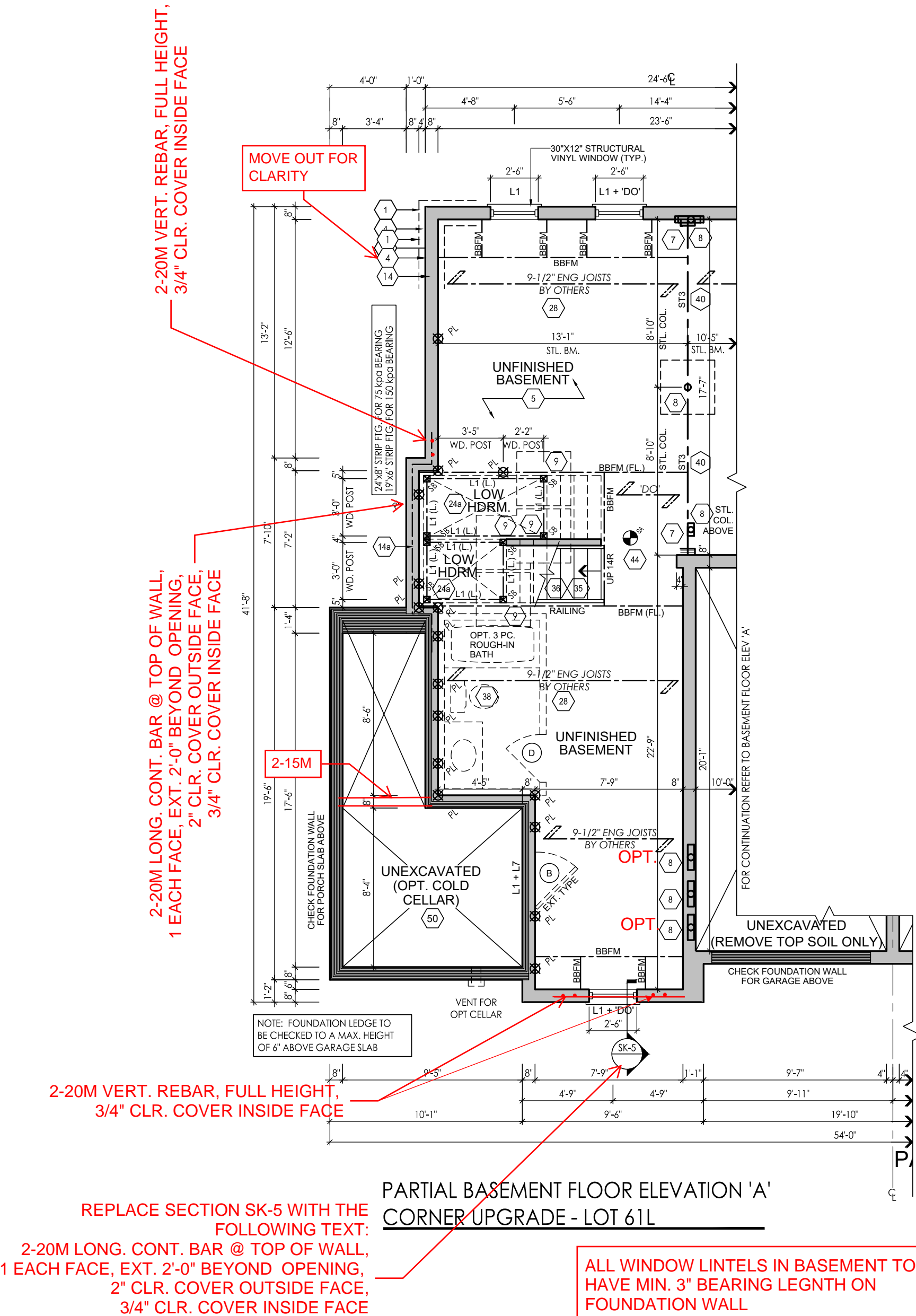
13098

scale

3/16" = 1'0"

lot(s)

A15







I, JORGE MORENO DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD UNDER DIVISION C, PART 3 SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 47245  
FIRM BCIN: 26995  
DATE:

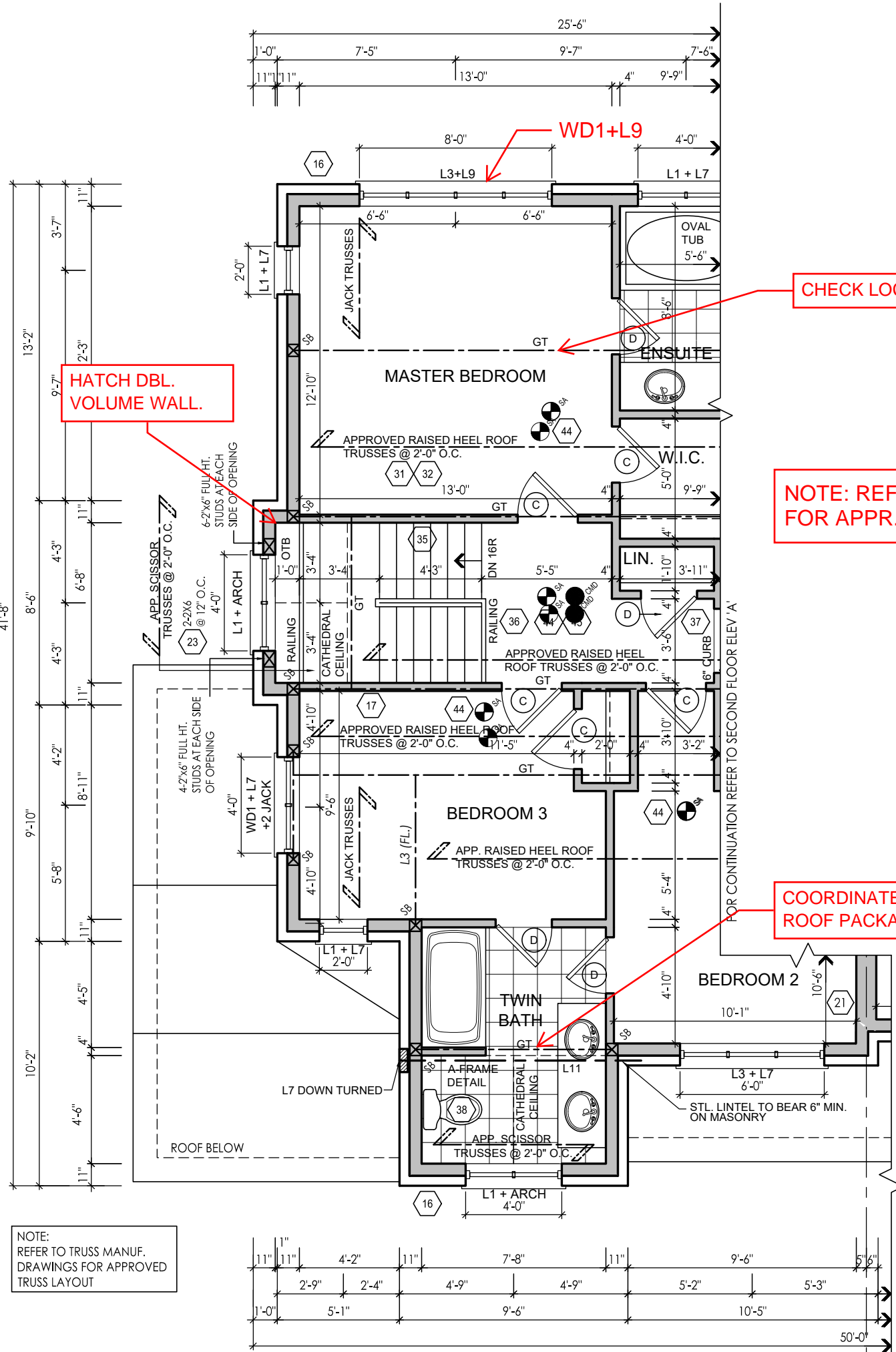
SIGNATURE: J. Moreno

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	6/28/2017	MM	JM
2	REVISED PER FLOOR/TRUSS COORD	31-AUG-17	MM	JM
3	REVISED PER ENG. COMMENTS	26-SEPT-17	PV	DJH
4	ISSUED FOR PERMIT	4-OCT-17	PV	JM
5	REVISED PER TRUSS COORDINATION	12oct-17	LO	JM
6				
7				
8				
9				
10				
11				
12				

client	Gold Park Homes
project	Mclaughlin and Mayfield
model	SD-2 Brampton
project #	13098
scale	3/16" = 1'0"
lot(s)	



PARTIAL SECOND FLOOR ELEVATION 'A'  
CORNER UPGRADE - LOT 61L

GROSS GLAZING AREA

TOTAL PERIPHERAL WALL AREA	2595.32 SF	241.11 m²
FRONT GLAZING AREA	91.55 SF	8.50 m²
LEFT SIDE GLAZING AREA	144.04 SF	13.38 m²
RIGHT SIDE GLAZING AREA	0.0 SF	0.00 m²
REAR GLAZING AREA	143.89 SF	13.37 m²
TOTAL GLAZING AREA	379.48 SF	35.25 m²
TOTAL GLAZING PERCENTAGE	14.62 %	

RN design

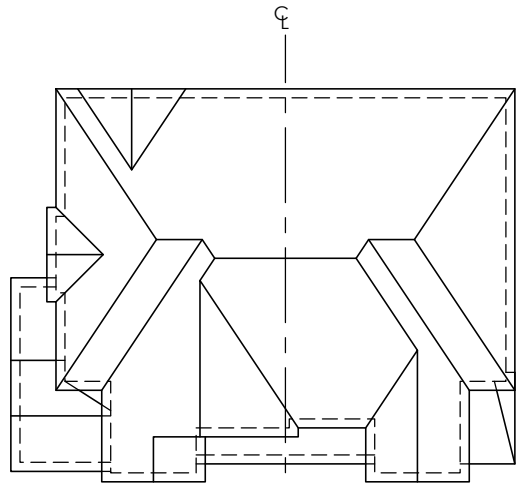
Imagine • Inspire • Create



I, JORGE MORENO DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD UNDER DIVISION C, PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 47245  
FIRM BCIN: 26995  
DATE:

SIGNATURE: J. Moreno



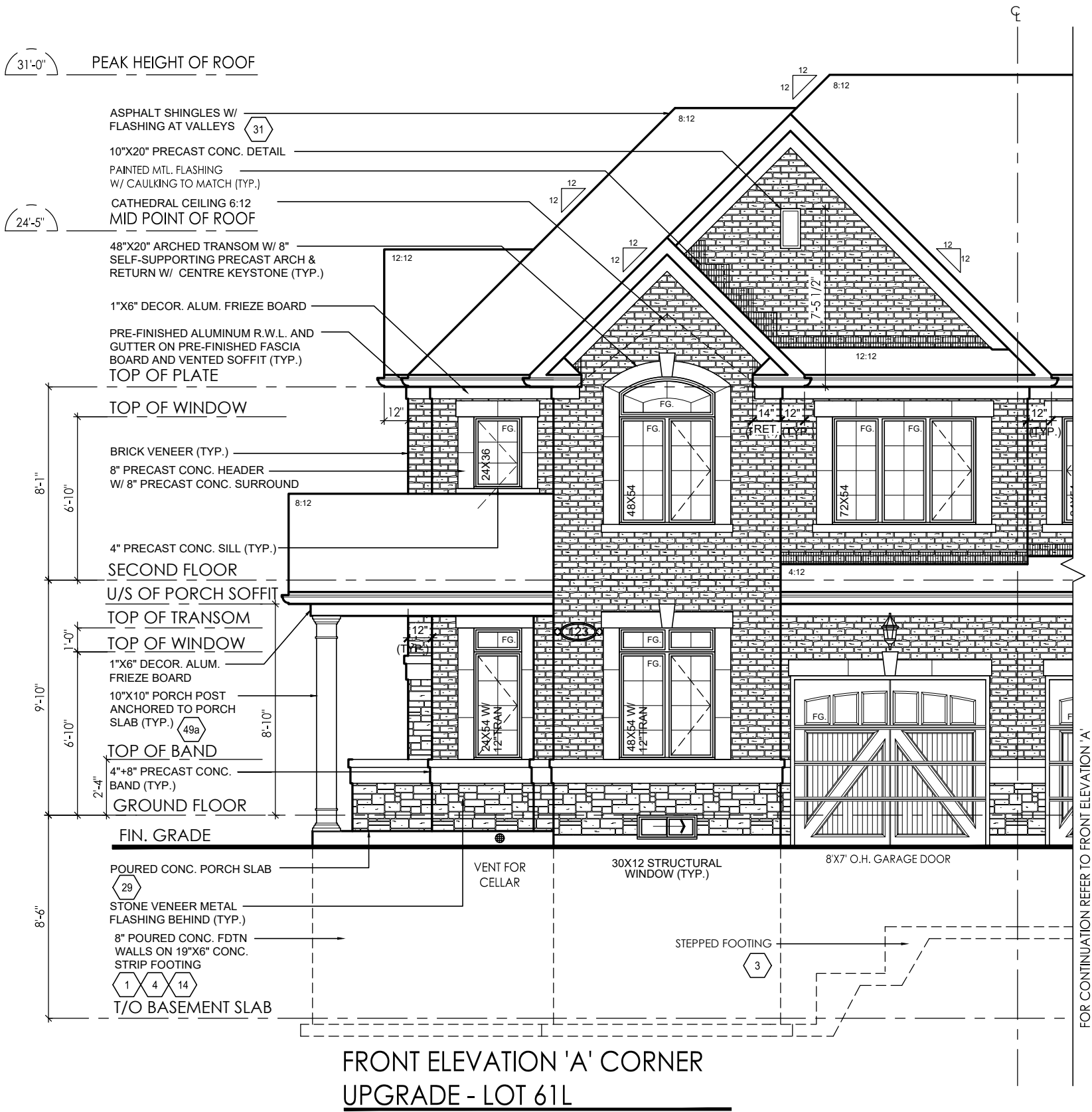
NOTE: ALL CONVENTIONAL ROOF FRAMING TO CONFORM TO PART 9 OF THE OBC. ROOF RAFTERS THAT MEET OR CROSS OVER TRUSSES ARE TO BE 2"x4" SPF @ 24" OC WITH A 2"x4" SPF VERTICAL POST TO THE TRUSS UNDER, AT EACH CROSS POINT. POSTS LONGER THAN 6' TO BE LATERALLY BRACED SO THAT THE DISTANCE BETWEEN END POINTS & BETWEEN ROWS OF BRACING DOES NOT EXCEED 6'.

NOTE: REFER TO TRUSS DRAWINGS FOR APPROVED TRUSS LAYOUT

NOTE: REFER TO STREET-SCAPES FOR POSSIBLE MINOR CHANGES DUE TO GRADING CONDITIONS

ROOF PLAN 'A'  
LOT 61L

ROOF PLAN 'B'



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	6/28/2017	MM	JM
2	REVISED PER FLOOR/TRUSS COORD	31-AUG-17	MM	JM
3	ISSUED FOR PERMIT	4-OCT-17	PV	JM
4	REVISED GROUND FLOOR FRONT WINDOWS AS PER CLIENT REQUEST	2-Jan-18	HZ	DJH
5				
6				
7				
8				
9				
10				
11				
12				

client	Gold Park Homes
project	Mclaughlin and Mayfield
model	SD-2 Brampton
project #	13098
scale	3/16" = 1'0"
lot(s)	



I, JORGE MORENO DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD UNDER DIVISION C, PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 47245  
FIRM BCIN: 26995  
DATE: \_\_\_\_\_

SIGNATURE: \_\_\_\_\_



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	6/28/2017	MM	JM
2	REVISED PER FLOOR/TRUSS COORD	31-AUG-17	MM	JM
3	ISSUED FOR PERMIT	4-OCT-17	PV	JM
4	REVISED GROUND FLOOR FRONT WINDOWS AS PER CLIENT REQUEST	2-Jan-18	HZ	DJH
5				
6				
7				
8				
9				
10				
11				
12				

client

Gold Park  
Homes

project

Mclaughlin and  
Mayfield

model

SD-2

Brampton

project #

13098

scale

3/16" = 1'0"

lot(s)

A18





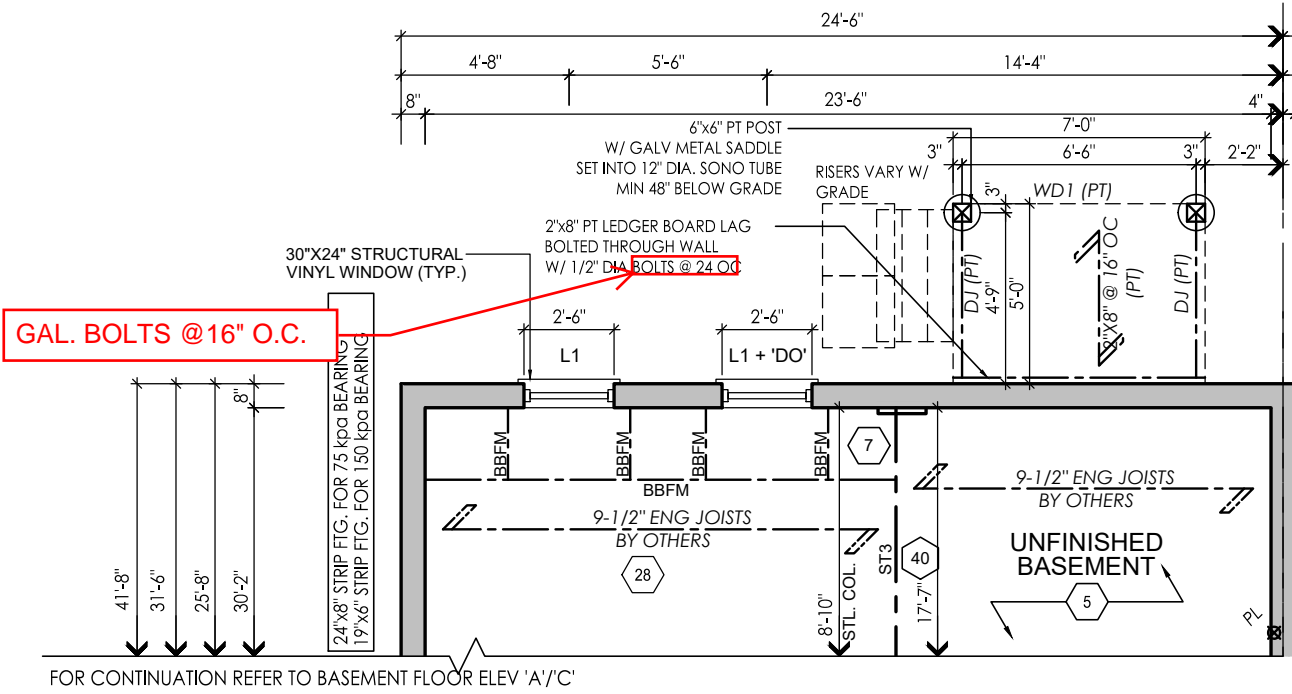


I, JORGE MORENO DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF **RN DESIGN LTD.** UNDER DIVISION C, PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

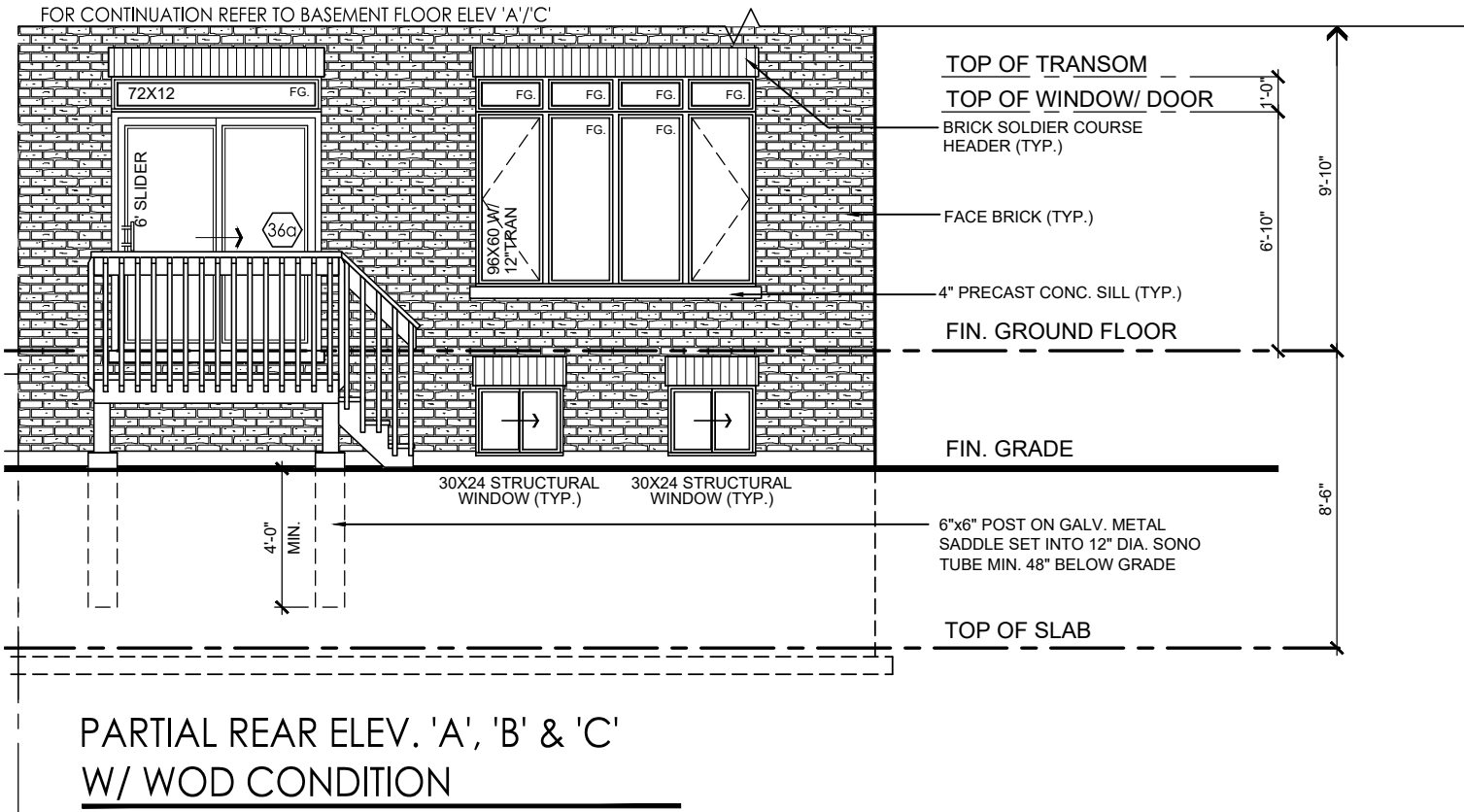
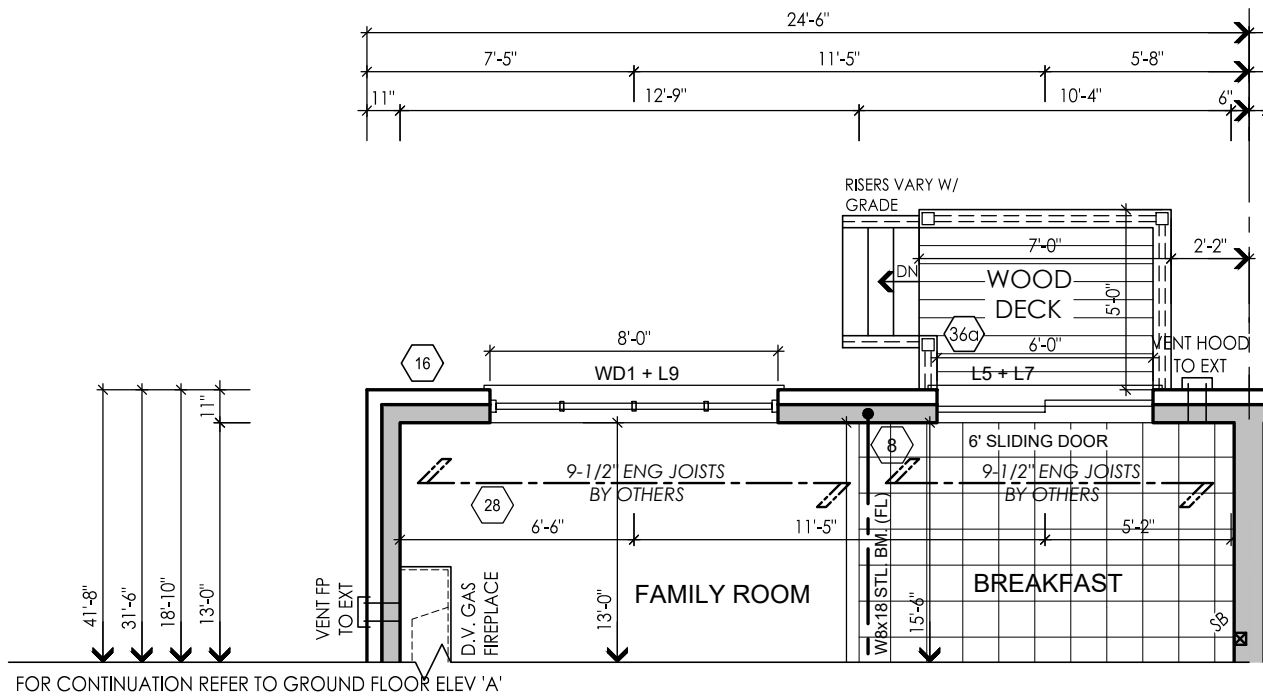
QUALIFIED DESIGNER BCIN: 47245  
FIRM BCIN: 26995  
DATE:

SIGNATURE: *J. Moreno*

PARTIAL BASEMENT FLOOR PLAN ELEV. 'A', 'B' & 'C' W/ WOD CONDITION



PARTIAL GROUND FLOOR PLAN ELEV. 'A', 'B' & 'C' W/ WOD CONDITION



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

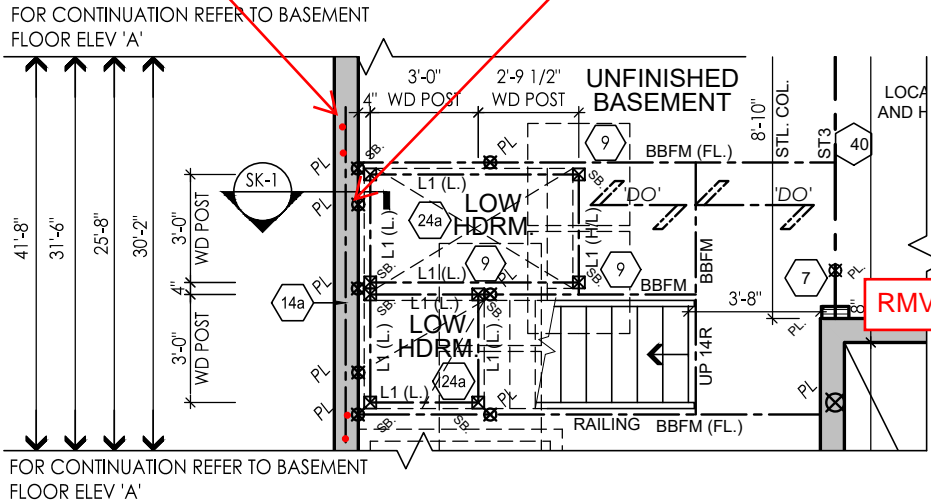
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	15-Aug-17	LO	JM
2	ISSUED FOR PERMIT	2017-09-25	MM	JM
3				
4				
5				
6				
7				
8				
9				
10				
11				
12				

client	Gold Park Homes
project	Mclaughlin and Mayfield
model	SD-2 Brampton
project #	13098
scale	3/16" = 1'0"
lot(s)	

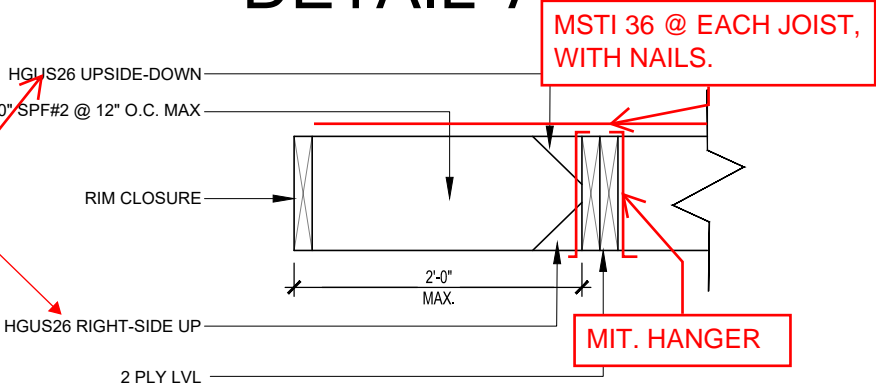
2-20M VERT. REBAR, FULL HEIGHT,  
3/4" CLR. COVER INSIDE FACE

REPLACE SECTION SK-1 WITH THE  
FOLLOWING TEXT:  
2-20M LONG. CONT. BAR @ TOP OF WALL,  
1 EACH FACE, EXT. 2'-0" BEYOND OPENING,  
2" CLR. COVER OUTSIDE FACE,  
3/4" CLR. COVER INSIDE FACE

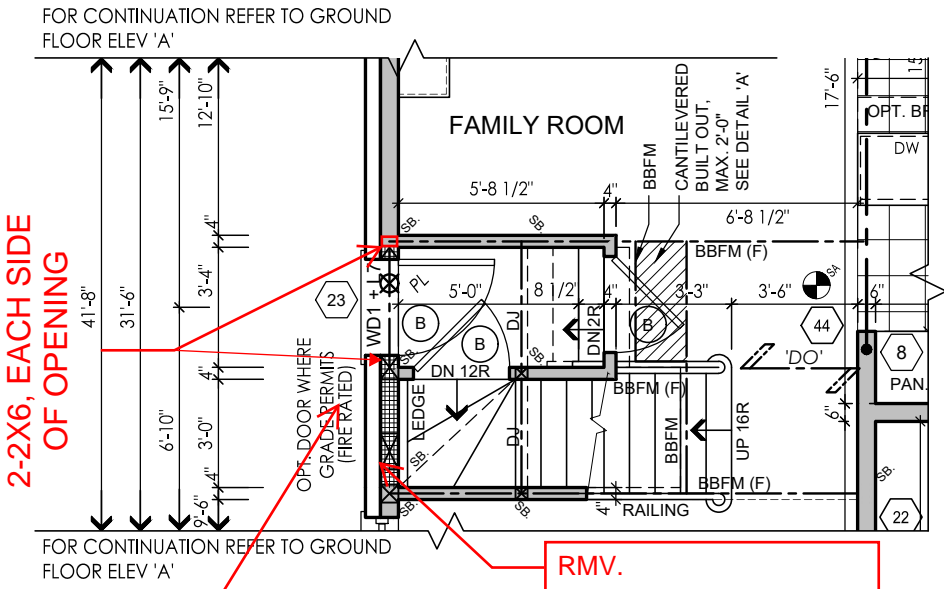


PARTIAL BASEMENT FLOOR PLAN  
W/SIDE DOOR ELEV. 'A' & 'C'

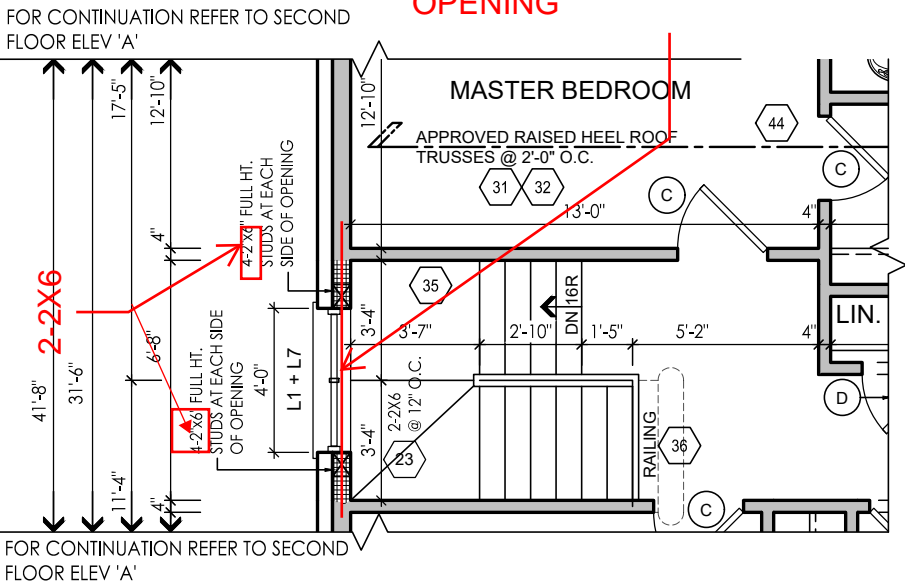
DETAIL 'A'



PROVIDE 2 PLY 1 3/4"X9 1/2" 2.0E  
LVL @ FLOOR LEVEL W/ 2-SST  
H3 CLIPS (TOP AND BOTTOM ON  
EACH) EXT. 2'-0" BEYOND STAIR  
OPENING

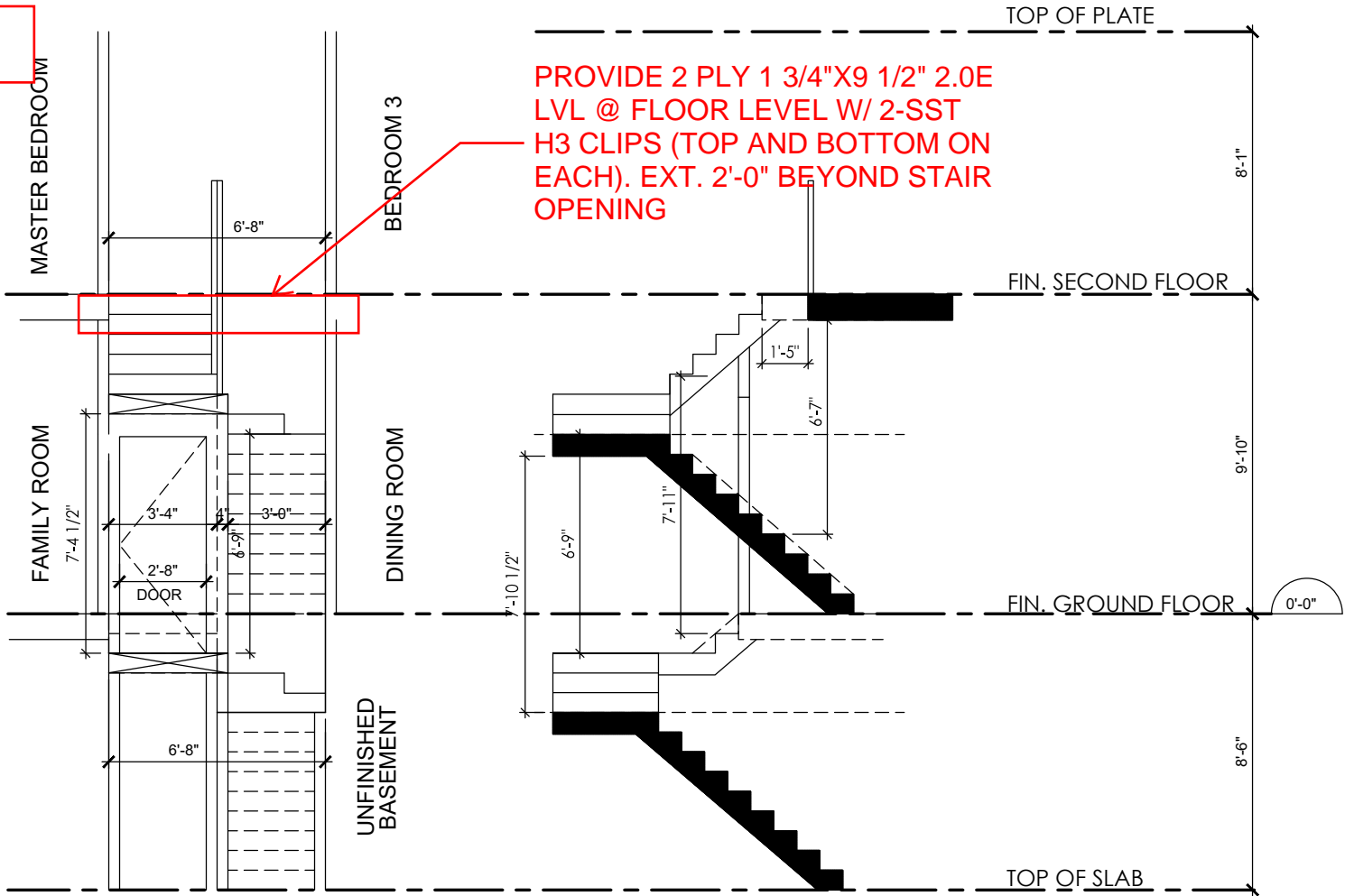


PARTIAL GROUND FLOOR PLAN  
W/SIDE DOOR ELEV. 'A' & 'C'



PARTIAL SECOND FLOOR PLAN  
W/SIDE DOOR ELEV. 'A' & 'C'

CHECK FOUNDATION  
WALL ELEVATION



STAIR SECTIONS

I, **DATEOUT**, DECLARE THAT I HAVE REVIEWED AND TAKEN  
DESIGN RESPONSIBILITY FOR THE DESIGN ON BEHALF  
OF **RN DESIGN LTD.** UNDER DESIGNATION-3.2.4  
OF THE BUILDING ACT. THE FIRM IS  
REGISTERED WITH THE REGISTRY.

SIGNATURE:

client  
**Gold Park Homes**  
project  
**Mclaughlin and Mayfield**

location  
**Brampton**  
marketing name

#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	19-MAR-19	JM	DJH					



WWW.RNDESIGN.COM  
TEL: 905-739-3177

model  
**SD-2**  
scale  
**3/16" = 1'0"**  
project #  
**13098**

page

A21