

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

**JOHN G. WILLIAMS LTD., ARCHITECT**  
ARCHITECTURAL CONTROL REVIEW AND APPROVAL

APPROVED BY:

DATE: MAY 16, 2019

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

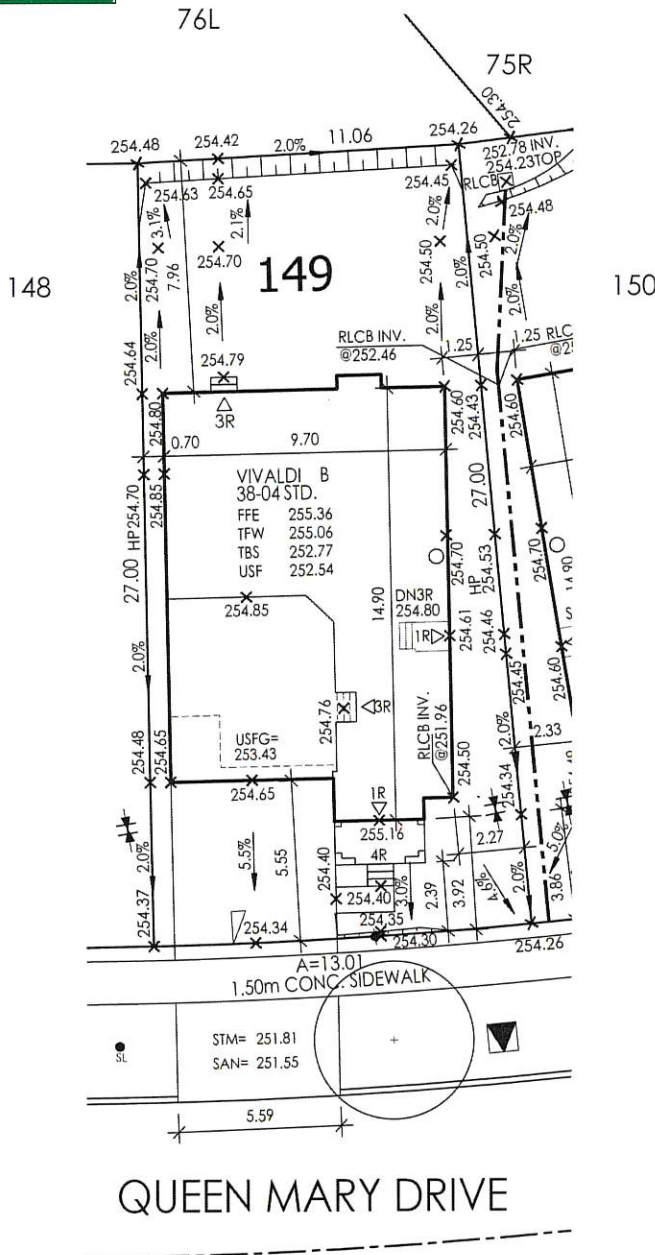
NOTE: BUILDER TO VERIFY LOCATION OF ALL HYDRANTS, STREET LIGHTS, TRANSFORMERS AND OTHER SERVICES. IF MIN. DIMENSIONS ARE NOT MAINTAINED BUILDER IS TO RELOCATE AT HIS OWN EXPENSE.

**BUILDING STATISTICS**

REG. PLAN No.	21T-110098Bb
ZONE	R1F-9-38FT
LOT NUMBER	LOT 149
LOT AREA(m) <sup>2</sup>	325.71
BLDG AREA(m) <sup>2</sup>	NA
LOT COVERAGE(%)	NA
No. OF STOREYS	2
MEAN HEIGHT(m)	8.74
PEAK HEIGHT(m)	.
DECK LINE(m)	.

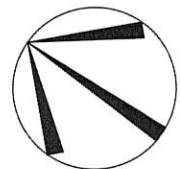
**LEGEND**

FFE FINISHED FLOOR ELEVATION	☒ BELL PEDESTAL
TFW TOP OF FOUNDATION WALL	▣ CATCH BASIN
TBS TOP OF BASEMENT SLAB	□ DBL. CATCH BASIN
USF UNDER SIDE FOOTING	* ENGINEERED FILL
USFR UNDER SIDE FOOTING @ REAR	—+— HYDRO CONNECTION
USFG UNDER SIDE FOOTING @ GARAGE	—●— FIRE HYDRANT
TEF TOP OF ENGINEERED FILL	—○— STREET LIGHT
R NUMBER OF RISERS TO GRADE	⊠ MAIL BOX
WOD WALKOUT DECK	⊡ TRANSFORMER
LOB LOOKOUT BASEMENT	▽ SEWER CONNECTIONS 2 LOTS
WOB WALK OUT BASEMENT	▽ SEWER CONNECTIONS 1 LOT
REV REVERSE PLAN	⬆ WATER CONNECTION
STD STANDARD PLAN	⊕ WATER VALVE CHAMBER
△ DOOR	⊕+ HYDRANT AND VALVE
○ WINDOW	⊕+ HYDRO METER
AC AIR CONDITIONING	⊕+ GAS METER
⊓ DOWN SPOUT TO SPLASH PAD	⊕+ MANHOLE - STORM
SD SWALE DIRECTION	⊕+ MANHOLE - SANITARY
SP SUMP PUMP	
	—X— CHAINLINK FENCE
	—XX— PRIVACY FENCE
	—XXX— SOUND BARRIER
	— — — FOOTING TO BE EXTENDED TO 1.22 (MIN) BELOW GRADE



**ISSUED OR REVISION COMMENTS**

NO.	DESCRIPTION	DATE	DWN	CHK
1.	ISSUED FOR REVIEW	MAY-06-19	RP	DJH
2.	ISSUED FINAL	MAY-08-19	RP	DJH



**Imagine • Inspire • Create RN DESIGN LTD.**  
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VAUGHAN, ONTARIO. L4K 5Y2  
T: 905-738-3177 | F: 905-738-5449

I, DANIEL HANNINEN DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD. UNDER DIVISION C, PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.  
QUALIFIED DESIGNER BCIN: 20888  
FIRM BCIN: 26995  
DATE: MAY-01-2019  
SIGNATURE:

CLIENT: **GOLD PARK HOMES**  
PROJECT/LOCATION: **MCLAUGHLIN AND MAYFIELD-PH2  
BRAMPTON, ON**

DRAWING: **SITE PLAN**

DRAWN BY RP	SCALE 1:250
PROJECT No. 13098-PH-2	LOT NUMBER LOT 149

- URBANTECH NOTES:**
- 1) No final utility location information at this time. Urbantech will not be responsible for future changes to design. Builder should notify purchaser's that street hardware and above ground utility furniture may be added or removed from their frontages.
  - 2) Builder to lower underside of footings where adjacent to RLCB leads. Exact depth to be determined on site during footing excavation.
  - 3) Builder to stake out driveway curb depressions at time of curb installation.
  - 4) Builder to verify location of all hydrants, street lights, transformers and all other services. If min. dimensions are not maintained as per City standards, builder is to relocate at his own expense.
  - 5) Builder to confirm service connection elevations and review for absence of conflict prior to footing excavation.
  - 6) Final fence design have not been provided at this time. Purchaser to be advised that actual fencing details may not be as shown on this plan.

**URBANTECH CONSULTING**  
We certify that the proposed grades at the lot corners are correct, and that the lot grading of the subject lot is in conformity to the approved subdivision grading plans and City standards.  
REVIEWED BY: m.w. DATE: May 16/19

